

# Board of Zoning Appeals

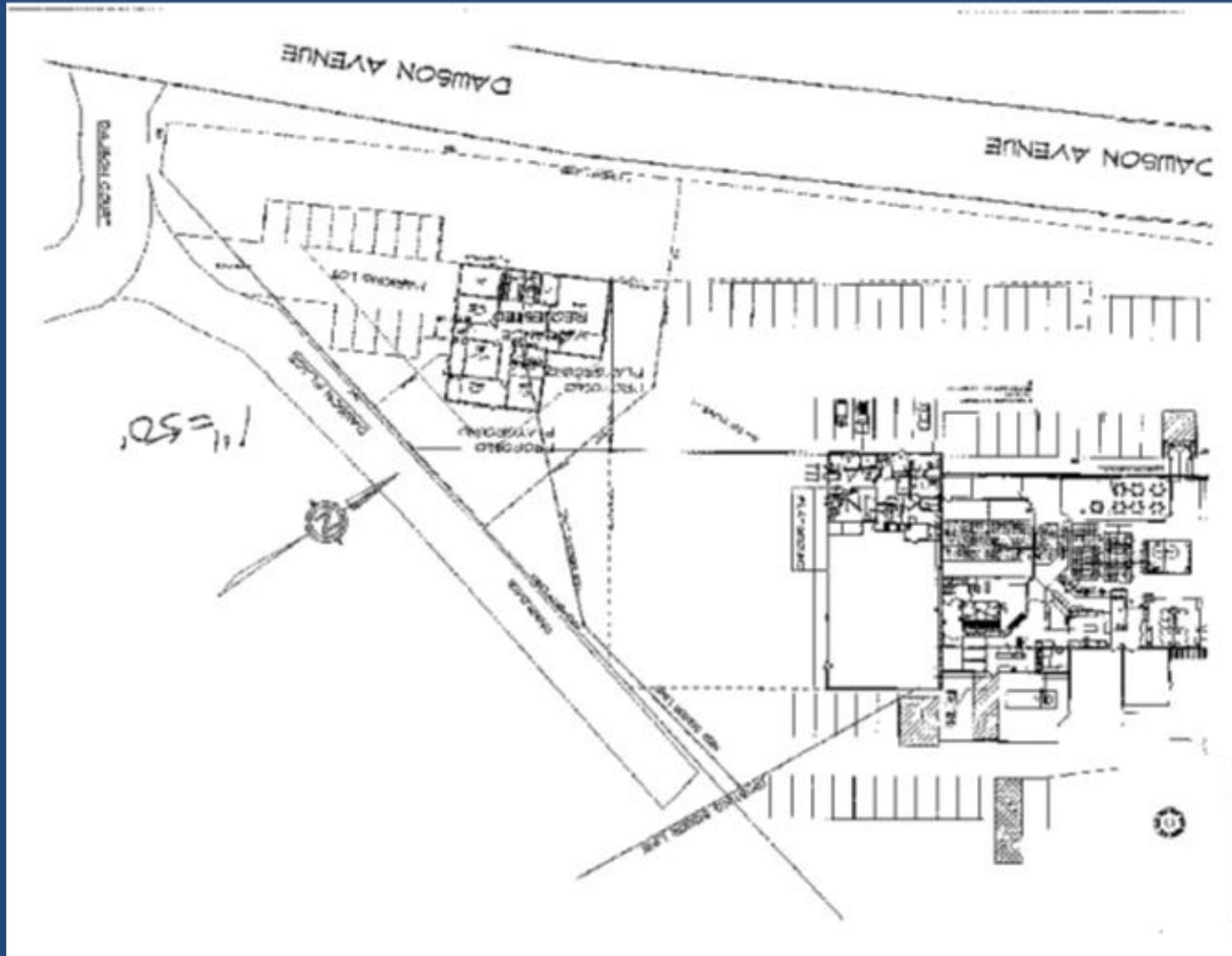
November 15, 2017

7:00 pm

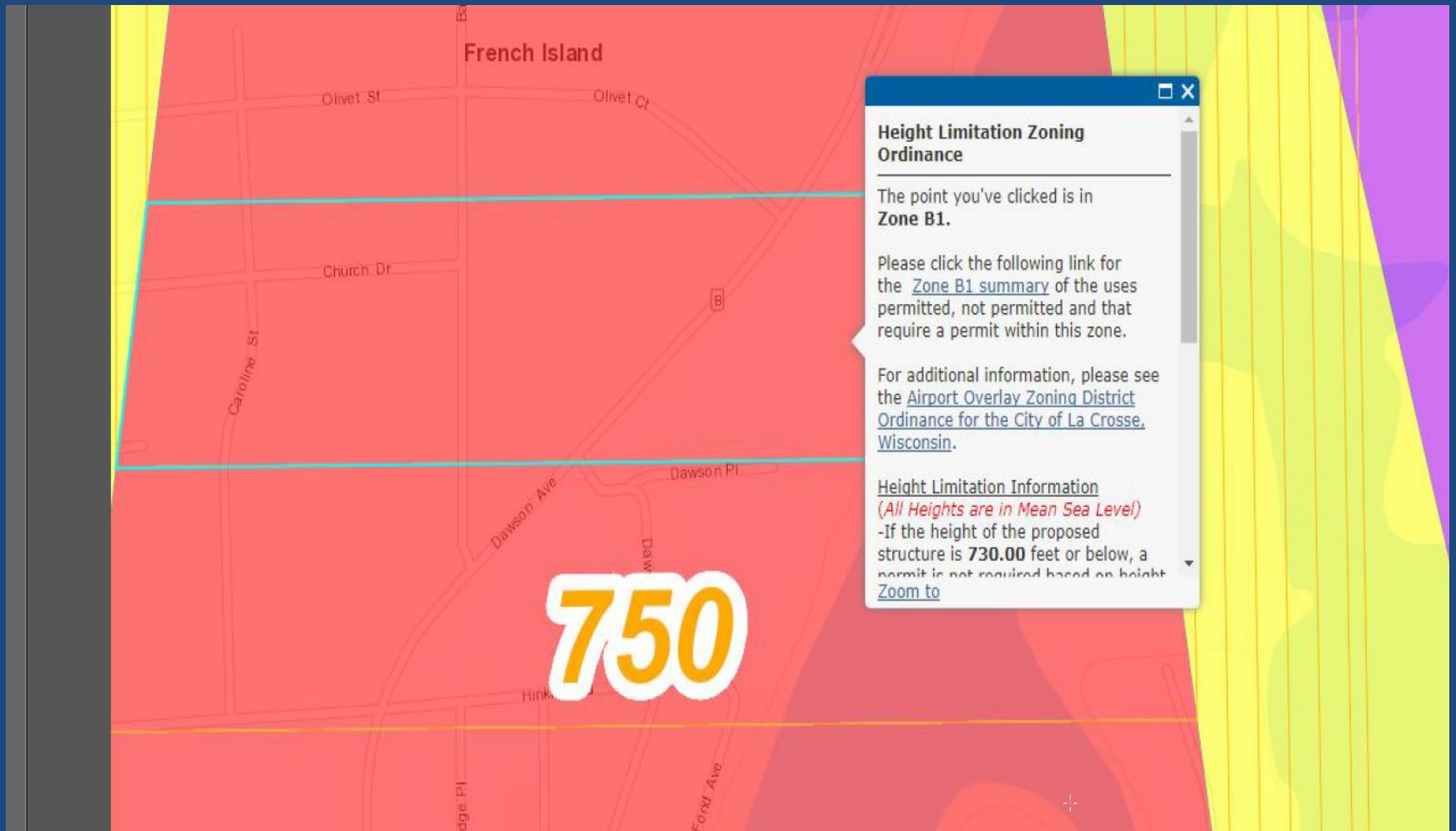
# 2100 Dawson Ave.

- The owner has applied for a height permit in conjunction with a building project at this address.
- Municipal code section 8-170 (1) (b) states any existing use can otherwise be enlarged as long as the expansion meets the requirements of the La Crosse Regional Airport Height Limitations Zoning Map.
- This project is in a B-1 zone on the HLZO. A daycare building is not a permitted use in this zone.
- For this project to proceed as proposed the board would have to grant a variance to allow the construction of the new building in a B-1 zone of the HLZO.

# 2100 Dawson Ave.



# 2100 Dawson Ave.



# 2100 Dawson Ave.





# 1619 Palace St.

- A permit has been applied for and granted for an addition to the dwelling at this address.
- Municipal code 115-281 states that the elevation of the lowest floor shall be at FPE on fill. The fill shall be one foot above base flood elevation extending at least 15 feet beyond the limits of the structure.
- This requirement was a condition of the permit approval.
- Upon inspecting the addition for occupancy it was discovered that the perimeter fill was not in place.
- A variance of 15 feet to the 15 foot perimeter fill requirement will be need to be granted for occupancy to be granted on this addition as it has been constructed.

# 1619 Palace St.



## Building and Inspection Department

400 La Crosse St., La Crosse, WI 54601 • (608) 789-7530 • Fax: (608) 789-7589  
<http://www.cityoflacrosse.org> [inspection@cityoflacrosse.org](mailto:inspection@cityoflacrosse.org)

**PARCEL ID:** 017010242050  
**ADDRESS:** 1619 PALACE ST  
**PROJECT:** RESIDENTIAL 1 FAM ADD  
1ST AND 2ND STORY ADDITIONS PER PLAN

### PERMIT CONDITIONS:

SPS 320.10 MUST PASS FIELD INSPECTIONS.

PER MUNICIPAL CODE 115-281 the finished floor of the addition to the east is required to be at a minimum elevation of 646' amsl. and there must be 15 feet of perimeter fill surrounding the additions at a minimum elevation of 645' amsl.

SEPARATE ELECTRICAL, PLUMBING AND/OR HVAC PERMITS REQUIRED

SPS 321.09 Smoke detectors.

SPS 321.09(1)(1) A listed and labeled multiple-station smoke alarm with battery backup shall be installed in all of the following locations:

SPS 321.09(1)(a) (a) An alarm shall be installed inside each sleeping room.

SPS 321.09(1)(b) (b) On floor levels that contain one or more sleeping areas, an alarm shall be installed outside of the sleeping rooms, within 21 feet of the centerline of the door opening to any sleeping room and in an exit path from any sleeping room.

SPS 321.09(1)(c) (c) On floor levels that do not contain a sleeping area, an alarm shall be installed in a common area on each floor level.



SPS 321.09 Note Note: Section 50.035 (2), Stats., requires the installation of a complete low voltage, interconnected or radio-transmitting smoke detection system in all community-based residential facilities including those having 8 or fewer beds.

SPS 321.09 Note Note: Section 101.645 (3), Stats., requires the owner of a dwelling to install a functional smoke detector in the basement of the dwelling and on each floor level except the attic or storage area of each dwelling unit. The occupant of such a dwelling unit shall maintain any smoke detector in that unit, except that if any occupant who is not the owner, or any state, county, city, village or town officer, agent or employee charged under statute or municipal ordinance with powers or duties involving inspection of real or personal property, gives written notice to the owner that the smoke detector is not functional the owner shall provide, within 5 days after receipt of that notice, any maintenance necessary to make that smoke detector functional.

SPS 321.09 Note Note: Section 101.745 (4), Stats., requires that the manufacturer of a modular home shall install a functional smoke detector on each floor level except the attic or storage area of each dwelling unit.

SPS 321.09(2) (2)


# 1619 Palace St.

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 <b>Federal Emergency Management Agency</b> Washington, D.C. 20472								
<b>LETTER OF MAP REVISION BASED ON FILL DETERMINATION DOCUMENT (REMOVAL)</b>								
<b>COMMUNITY AND MAP PANEL INFORMATION</b>				<b>LEGAL PROPERTY DESCRIPTION</b>				
<b>COMMUNITY</b>	CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN			Lots 9 and 10, Block 4, Johnston's Addition, as described in the Warranty Deed recorded as Document No. 1135667, in Volume 1090, Page 591, in the Office of the Register of Deeds, La Crosse County, Wisconsin				
	COMMUNITY NO.: 555562							
	AFFECTED MAP PANEL NUMBER: S5063C0251D							
DATE: 1/6/2012								
FLOODING SOURCE: BLACK RIVER - LA CROSSE				APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 43.865615, -91.233978				
				SOURCE OF LAT & LONG: LOMA LOGIC		DATUM: NAD 83		
<b>DETERMINATION</b>								
LOT	BLOCK/SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NAVD 88)	LOWEST ADJACENT GRADE ELEVATION (NAVD 88)	LOWEST LOT ELEVATION (NAVD 88)
9-10	4	Johnston's Addition	1619 Palace Street	Structure (Residence)	X (shaded)	--	644.0 feet	--
<b>Special Flood Hazard Area (SFHA)</b> - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).								
<b>ADDITIONAL CONSIDERATIONS</b> (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)								
PORTIONS REMAIN IN THE SFHA STATE LOCAL CONSIDERATIONS								
This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Revision based on Fill for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the structure(s) on the property(ies) is/are not located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document revises the effective NFIP map to remove the subject property from the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan. A Preferred Risk Policy (PRP) is available for buildings located outside the SFHA. Information about the PRP and how one can apply is enclosed.								
This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.								
 Luis V. Rodriguez, P.E., Director Engineering and Modeling Division Federal Insurance and Mitigation Administration								



# 1619 Palace St.

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**Federal Emergency Management Agency**  
Washington, D.C. 20472

**LETTER OF MAP REVISION BASED ON FILL  
DETERMINATION DOCUMENT (REMOVAL)**  
ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

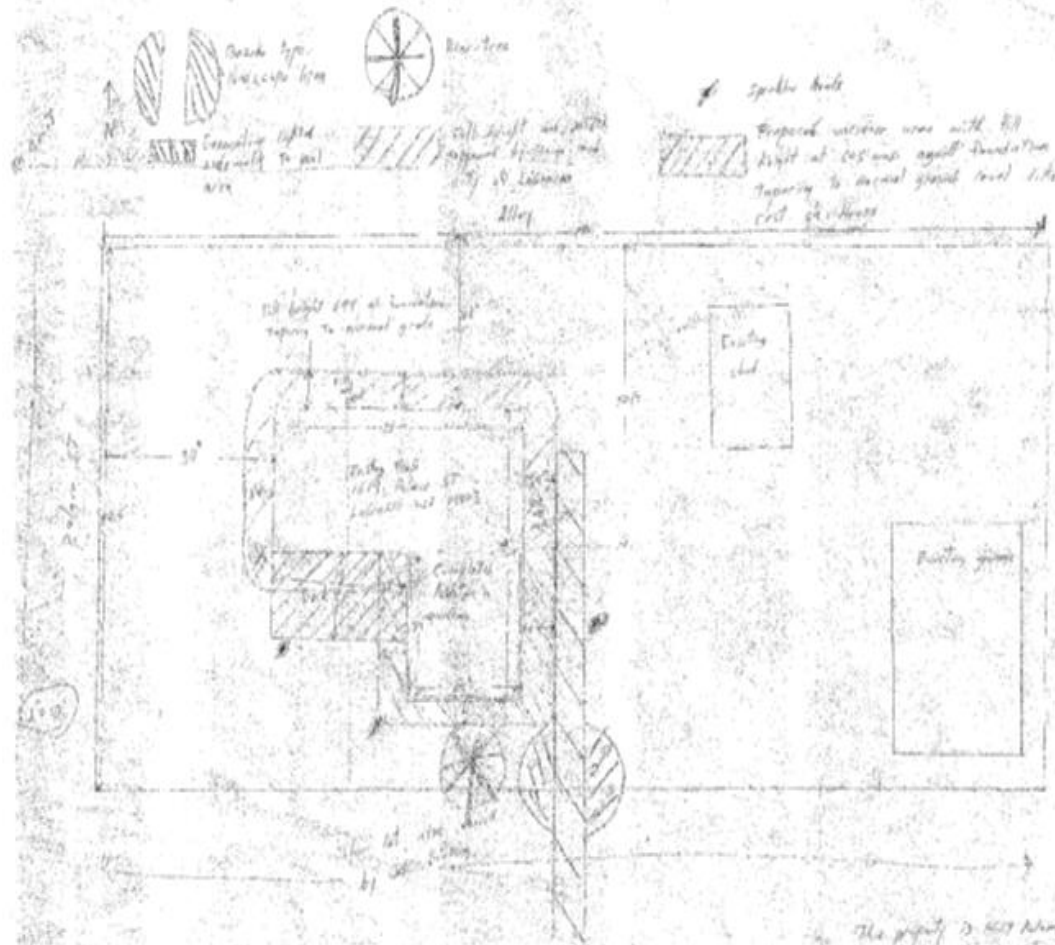
**PORTIONS OF THE PROPERTY REMAIN IN THE SFHA (This Additional Consideration applies to the preceding 1 Property.)**  
Portions of this property, but not the subject of the Determination/Comment document, may remain in the Special Flood Hazard Area. Therefore, any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management.

**STATE AND LOCAL CONSIDERATIONS (This Additional Consideration applies to all properties in the LOMR-F DETERMINATION DOCUMENT (REMOVAL))**  
Please note that this document does not override or supersede any State or local procedural or substantive provisions which may apply to floodplain management requirements associated with amendments to State or local floodplain zoning ordinances, maps, or State or local procedures adopted under the National Flood Insurance Program.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 335-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 847 South Pickett Street, Alexandria, VA 22304-4605.

  
Luis V. Rodriguez, P.E., Director  
Engineering and Modeling Division  
Federal Insurance and Mitigation Administration

# 1619 Palace St.



The property is 1619 Palace St. and the drawing represents the subject property. The plan is a sketch and not a final plan.

John D. Dwyer, Jr.

# 1619 Palace St.





# 1619 Palace St.

