JULY 28, 2020

Tim Acklin Senior Planner City Of La Crosse 400 La Crosse Street La Crosse, WI 54601 Acklint@cityoflacrosse.org



RE: LA CROSSE CENTER SIGNAGE CUP NARRATIVE -CITY OF LA CROSSE - 400 LA CROSSE STREET, LA CROSSE, WI 54601

Tim

Thank you for your email and call on July 28, 2020 regarding the La Crosse Center Signage CUP. We have prepared the following information to address EMU categories and their standards. Please note that for your convenience each category is stated below followed by the requirement along with our corresponding response.

1. **Height-14** ft (above natural grade)

ISG Response: Refer to sheet 3A3-23 WALL SECTIONS- ENTRANCE HALL & EAST CONNECTOR

- i. In View 4, Wall Section-Outer Lobby it is illustrated that the Electronic Message Unit (EMU) is 8'-0" off first floor. The height of the unit is 6'-0" making the combined height at 14 ft. The total height of the EMU is 14'-0". This information can also be found highlighted on pg 8 of the CUP package
- 2. Maximum Percentage of Monument Sign 35 percent, no pylon or freestanding EMUs

ISG Response: Not Applicable

3. **The Overall Maximum Size** - 60 sq. ft. (sign cabinet space) EMU portion no more than 22 sq. ft. or 35% of 60 sq. ft (rounded to 22 sq. ft.). Pylon EMUs are prohibited.

ISG Response: Cabinet size is 60 sq. ft. The EMU size is 45 sq. ft. We are asking council to make a consideration for a sign which is 45 sq. ft. making it 75% of Cabinet. The cabinet size determined based on vehicular viewing distance from 2<sup>nd</sup> Street.

4. Illumination Standards Nits shall be measured from: (a) the computer control system of the sign; (b) directly from the sign's face; or (c) the most current Illuminating Engineering Society of North America (IESNA) standards for measuring trespass or nuisance brightness from the appropriate size and type of LED sign, whichever is most restrictive. Footcandles shall be measured at: (a) a height of 5 feet (which is approximately eye height) and viewing the display head-on (directly at a 90-degree angle) from nearest adjacent property line or 100 feet for on-premises signs; (b) 250 feet for off-premises signs; or (c) the most current Illuminating Engineering Society of North America (IESNA) standards for measuring trespass or nuisance brightness for illuminated signs, whichever is most restrictive. Signs found to be too bright shall be adjusted to meet these standards after notification by the City.

A maximum of 5,000 Nits during the day, 100 Nits between sunset and sunrise and at no time more than 100 Nits above ambient light levels and must be equipped with an automatic dimmer and a letter from the manufacturer or UL listed is required. Nits shall be measured from the computer control of the sign or directly from the sign's face or using the most current Illuminating Engineering Society of North America (IESNA) standards for measuring light trespass or nuisance brightness from the appropriate size and type of LED sign.

ISG Response: The EMU has a maximum of 1,600 Nits with dimming capability at 256 levels



5. **Distance from Residential Zoning District**- 200 feet from a residential zoning district line and shall not be visible from a residence or residential zoning district line

ISG Response: The new EMU for the La Crosse Center is more than 200 feet from a residential zoning district line. There are residences on upper floors of adjacent downtown buildings. Also, there is a hotel across 2<sup>nd</sup> street (Holiday Inn). The previous sign was three-sided and viewable from all of these residence locations. The new sign has been strategically angled to minimize direct viewing from hotel and majority of upper floor residences. Also, the new sign is lower to the ground than the previous sign.

6. Hours of Operation/Use- On when business is open and off when business is closed

ISG Response: The intention of this sign is to display and inform the public of present and upcoming events at the La Crosse Center. While the La Crosse Center will adhere to this requirement, it would also like the council to consider allowing the sign to be on at times when the center is closed. When the center is closed the sign would only be used to strategically promote upcoming events.

7. **Dwell Time**- 60 seconds (Time from one screen to the next)

ISG Response: The La Crosse Center requests this to be reduced to 08 seconds to better promote upcoming events.

8. **Operating Modes for Transitions**- Level 1 maximum (Segmented message static display only - message change with no transition). maximum

ISG Response: Noted.

9. Spacing Between Signs- 200 feet from another EMU and one EMU per parcel

ISG Response: The EMU is more than 200 feet from another EMU, there is not another one on site or an adjacent site.

10. Spacing from Other uses - 200 feet from residential use lot line (linear and radius)

ISG Response: The Emu is more than 200 feet away from a residential lot line.

11. Setbacks from Property lines- Three feet from property line or sidewalk along a street

ISG Response: The EMU is 10 feet from the sidewalk along the street

12. Portable (commander board, delivery trucks, semi trailers, cabinet on vehicles or trailers). - Prohibited

ISG Response: Noted, The EMU is not portable.

13. Interactivity - Prohibited

ISG Response: Noted, The EMU is not interactive.

14. Light Trespass - 0.5 lumens at the property line where sign is located.



ISG Response: Noted.

15. Nonconforming EMUs - Dwell time 60 seconds.

ISG Response: Not Applicable.

I have included the original CUP with this letter for your reference. Please contact me at 563.568.8227 or via email at Stephanie.Runkle@ISGInc.com with any questions or if there is any additional information we can provide in support of this project.

Sincerely,

**Stephanie Runkle**Project Coordinator

Stephenieffeld

Stephanie.Runkle@ISGInc.com

JUNE 07, 2020 Common Council City of La Crosse

400 La Crosse Street La Crosse, WI 54601



#### RE: LA CROSSE CENTER SIGN PERMIT

Good Afternoon,

The purpose of this email is to obtain the required Conditional Use Permit for the signage for the new La Crosse Center. The signage information is located within this file and illustrates the location, design, and signage type needed for this project. You will also find a recordable legal description for the property and the Conditional Use Permit Application.

If there is anything you would need from me regarding this permit submittal, please feel free to contact me at 563.568.8227

Sincerely,

**Stephanie Runkle,** Project Coordinator

Stephenighta

Stephanie.Runkle@ISGInc.com

# **CONDITIONAL USE PERMIT APPLICATION**

Applicant (name and address): City of La Crosse - La Crosse Center
300 Harborview Plaza, La Crosse, WI 54301
Owner of property (name and address), if different than Applicant:  Art Fahev - La Crosse Center  300 Harborview Plaza, La Crosse, WI 54301
Architect (name and address), if applicable:  Kevin Bills, AIA - ISG  201 Main Street, Suite 1020, La Crosse, WI 54601
Professional Engineer (name and address), if applicable:  Kristopher Roppe. PE - ISG
201 Main Street, Suite 1020, La Crosse, WI 54601
Contractor (name and address), if applicable:  Peter M. Linsmeier, Senior Project Manager - Kraus-Anderson Construction Company  151 East Wilson Street, Suite 100, Madison, WI 53703
Address(es) of subject parcel(s): 300 Harborview Plaza
Tax Parcel Number(s): 17-20002-80
Legal Description (must be a recordable legal description; see Requirements): Please see attached exhibit.
Zoning District Classification: PS - Public and Semi-Public
A Conditional Use Permit is required per La Crosse Municipal Code Sec. 115-347.(6)e.11  If the use is defined in Sec.:  115-347(6)(c)(1) or (2), see "*" on the next page.  115-353 or 356, see "**" on the next page.  *Please reference Sec. 111-95.B(4) On-premises electronic message unit signs in Arts Districts
Is the property/structure listed on the local register of historic places? Yes NoX
Description of subject site and CURRENT use: The La Crosse Center is a multi-purpose arena and
convention center in Downtown La Crosse. A new ballroom and supporting areas will be added to the
facility as part of a current project. The CUP is requested to allow an EMU for this Arts District facility.
Description of <b>PROPOSED</b> site and operation/use (detailed plan of the proposed site):
The use and owner will remain the same. No exterior site changes are associated with the proposed
CUP which will only encompass installation of an Electronic Message Unit on the interior of the facility
facing an exterior window.
Type of Structure <b>proposed</b> : Electronic Message Unit (EMU) on interior of space facing exterior window
Number of current employees, if applicable: Not Applicable to CUP Request
Number of <b>proposed</b> employees, if applicable: Not Applicable to CUP Request
Number of current off-street parking spaces: Not Applicable to CUP Request
Number of <b>proposed</b> off-street parking spaces: Not Applicable to CUP Request

**REQUIREMENTS.** Applications must be completed in full and filed with the City Clerk's Office no later than 5:00 p.m. on Friday preceding the regularly scheduled Common Council meeting, which is held on the second Thursday of the month. **Applications that are incomplete or illegible will not be accepted.** 

Prior to filing the Conditional Use Permit application, applicants shall be required to meet with the Planning & Development Department to discuss the proposed use and why a conditional use is necessary and to review the applicable section of the Municipal Code. In addition, applicant shall verify the parcel address (include all the street addresses for the subject parcel), tax parcel number, legal description and current zoning. The legal description provided must be a recordable legal description. Recordable legal descriptions can be obtained from the La Crosse County Register of Deeds or can be found on the property deed. Note: Legal descriptions from tax bills or zoning website are not recordable.

FEE. Cash or a check payable to the City Treasurer the amount of \$450.00 is due at time of filing.

# ATTACHMENTS. Applicants shall be required to provide the following attachments:

<u>Sketch/Drawing</u> showing the location, dimensions and size of the following: existing and proposed structures, existing and proposed easements, streets and other public ways, architectural plans, landscaping plans, off-street parking, loading areas and driveways and existing and proposed front, side, and rear yards. In addition, sketches shall show the location and use of any abutting lands and their structures within twenty (20) feet of the subject site.

<u>Plat of Survey</u> prepared by a registered land surveyor showing the location, boundaries, dimensions and size of subject site. Such plat of survey is to be at a scale of not less than one (1) inch equals 50 feet. If topography of the subject site varies by more than ten (10) feet from the highest point to the lowest point, contours at vertical interval of not more than two (2) feet must be shown.

Additional Information as may be required by the Planning & Development Department, City Engineer, Fire Prevention & Building Safety Department and/or Common Council.

- Commercial Uses in Residential Zoning Districts additional information, see Sec. 115-347(6)(b).
- Mini-warehouse buildings additional information, see Sec. 115-352.
- Parking lots additional information, see Sec. 115-353(b).
- Class "B" beer and liquor license establishments additional information, see Sec. 115-359(b)(3).
- Community living arrangements additional information, see Sec. 115-364(a)(2) and (3).

**AUTHORIZATION.** All applications shall be signed by the owner(s) of the property. If an agent of the property owner files an application on behalf of the property owner, the agent must provide a signed affidavit from the property owner authorizing the pursuit of the specified conditional use permit.

**NOTICE.** Owners of record within a two hundred (200) foot radius excluding right-of-way shall be given notice of the proposed conditional use not less than seven (7) days prior to the Judiciary & Administration Committee meeting. *Note:* A 500-foot notification is required for certain uses defined in Sec. 115-347(6)(c)(1)or(2) or Sec.115-350 and a 2,500-foot notification is required for use defined in Sec. 115-362.

**FENCES, WALLS AND SCREENING**. A Conditional Use Permit required pursuant to the sections noted below require the City Clerk's Office to notify residential property owners abutting the site for the Conditional Use Permit and inform said abutting property owners that they may require an opaque privacy fence of a minimum of five (5) feet and no more than eight (8) feet in height in residential zoned districts. The fence shall be placed on the property line and shall run from the front set back line to the rear property line.

- Commercial Uses in Residential Zoning Districts see Sec. 115-347(6)(e)(9).
- Parking Lots see Sec. 115-353(b).
- Demolition for Green Space see Sec. 115-356(c).

# CONDITIONAL USE PERMIT APPLICATION INSTRUCTIONS CITY OF LA CROSSE

# Application.

Forms are available in the Planning & Development Department (3<sup>rd</sup> Flr), the City Clerk's Office (2<sup>nd</sup> Flr) or on the City website at www.cityoflacrosse.org/Departments/City Clerk/Forms.

# Schedule an appointment with the Planning & Development Department (789-7512).

A. Verify the following:

Parcel address(es), tax parcel number, recordable legal description and zoning classification.

B. Discuss proposed use and why a conditional use is necessary; review applicable section of the Municipal Code.

## Complete Application.

Applications shall be signed by owner(s) of the property or agent with a signed affidavit. Complete the Application in its entirety, including necessary attachments – see Attachments.

Incomplete or illegible applications will be refused.

Submit application to the City Clerk's Office, along with cash or a check made payable to the City Treasurer in the amount of \$450.00.

Applications must be submitted no later than 5:00 p.m. on the Friday preceding the regularly scheduled Council meeting, which is held the second Thursday of the month.

Committee	Meeting Date			
Submittal Deadline	Friday,			
Introduction to the Common Council	Thursday,			
City Plan Commission (CPC)* 4:00 p.m. in the 3 <sup>rd</sup> Floor Conference Room	Monday,			
Judiciary & Administration Committee (J&A)* 6:00 p.m. in Council Chambers	Tuesday,			
Common Council (Final Action) 6:00 p.m. in Council Chambers	Thursday,			

<sup>\*</sup> attendance recommended – public hearing is allowed at CPC and J&A (required public hearing).

#### Receipt and Approval:

The Common Council shall review the detailed site plan, existing and proposed structures and uses, architectural plans, neighborhood uses, parking areas including consideration of whether utilization for parking will decrease the City's property tax base, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems and the proposed operation.

Conditions, such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, increased yards, parking requirements or payments in lieu of property taxes may be required by the Common Council upon its finding that these are necessary to fulfill the purpose and intent of this chapter. Compliance with this chapter, such as lot width and area, yards, height, parking, traffic, highway access and performance standards shall be required of all conditional uses.

* If the proposed use is defined in Sec. 115-347(6)(c) Not Applicable
(1) and is proposed to have 3 or more employees at one time, a 500-foot notification is required and off-street parking shall be provided. Will there be 3 or more employees at one time? Y_ N_
or
(2) a 500-foot notification is required and off-street parking is required.
Where the side or rear lot line abuts or is located across an alley from any residential zoning district, abutting residential property owners shall be notified of the privacy fence provision by the City Clerk.
Any Conditional Use Permit required pursuant Sec. 115-347(6) shall be recorded with the La Crosse County Register of Deeds at the owner's expense. Not Applicable
**If the proposed use is defined in Sec. 115-353 or 115-356, abutting property owners shall be notified of the privacy fence provision by the City Clerk.
Check here if proposed operation or use will be a parking lot:  Not Applicable
Check here if proposed operation or use will be <b>green space</b> :
Applicant/property owner may be subject to a payment in lieu of taxes for a period of twenty (20) years or until the property tax valuation of any new structure or improvements is equal to or greater than the base year valuation of the improvement or structure being demolished. Not Applicable
In accordance with Sec. 115-356 of the La Crosse Municipal Code, a Conditional Use Permit is required for demolition or moving permits if the application does not include plans for a replacement structure of equal or greater value. Any such replacement structure shall be completed within two (2) years of the issuance of any demolition or moving permit.  Not Applicable
If the above paragraph is applicable, the Conditional Use Permit shall be recorded with the La Crosse County Register of Deeds and should the applicant not complete the replacement structure of equal or greater value within two (2) years of the issuance of any demolition/moving permit, the applicant or property owner shall be subject to a forfeiture of up to \$5,000 per day for each day not completed.  Not Applicable
CERTIFICATION: I hereby certify that I am the owner of the subject parcel(s) or authorized agent and that I have read and understand the content of this application and that the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.
1116 February 02/14/2020
(signature) (date)
(608) 789-7400 afahey@lacrosseseriter.com
(telephone) (email)
STATE OF WISCONSIN )
)ss. COUNTY OF LA CROSSE )
Personally appeared before me this 24 day of February, 2020, the above named individual, to me known to be the person who executed the foregoing instrument and acknowledged the same.
Size L W: eman
Notary Public
My Commission Expires: _/2 -5 - 2/
Applicant shall, before filing with the City Clerk's Office, have this application reviewed and the information verified by the Director of Planning & Development.
Review was made on the day of, 20
Signed:
Director of Planning & Development

# **AFFIDAVIT OF OWNER**

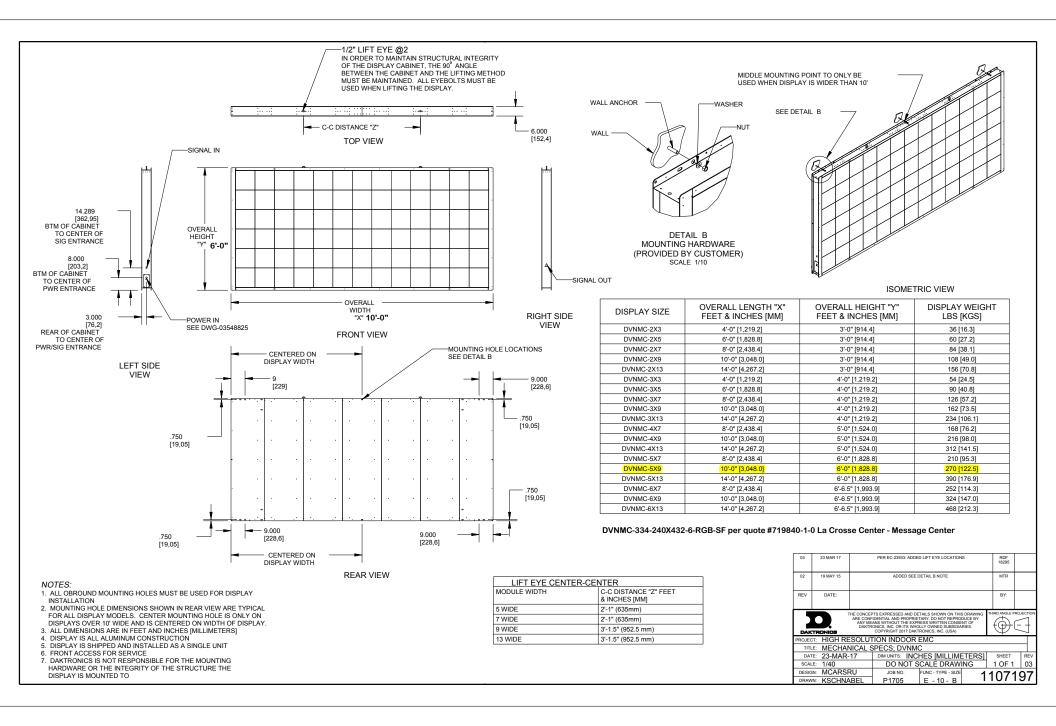
STATE OF Wisconsin )
COUNTY OF La Crosse )
The undersigned, City of La Crosse, being duly, being duly
sworn states:
That the undersigned is an adult resident of the City of La Crosse  State of Wisconsin
2. That the undersigned is a/the legal owner of the property located at:  300 Harborview Plaza, La Crosse, WI 54601  (address of subject parcel for Conditional Use)
By signing this affidavit, the undersigned property owner authorizes the application for a conditional use permit/district change or amendment (circle one) for said property.  Property Owner  Property Owner
Subscribed and sworn to before me this 24 day of February, 20 38.  Notary Public My Commission expires 12-5-21.

# Land Description

Part of Lots 6, 7, 8, 9 and 10 of Block 3, Town of La Crosse Addition; Part of Lot 6 of Block 2, Town of La Crosse Addition; Part of Lots 1, 8, 9 and 10, Levy's Subdivision; Part of Lot 6 of Block 7, Town of La Crosse Addition; All of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and 10 of Block 6, Town of La Crosse Addition; Part of Lots 1 and 2 of Block 5, Town of La Crosse Addition; Part of vacated alley, Block 7, Town of La Crosse Addition; All of vacated alley, Block 6, Town of La Crosse Addition; Part of vacated Front Street, Town of La Crosse Addition; Part of vacated Pearl Street, Town of La Crosse Addition; Part of vacated Mt. Vernon Street, Town of La Crosse Addition; now City of La Crosse, La Crosse County, Wisconsin, more fully described as follows: Beginning at the most Southerly corner of Lot 6, Block 6, said Town of La Crosse Addition, which is the intersection of the Northwesterly line of Second Street and the Northeasterly line of Mt. Vernon Street; thence North 26 degrees 58 minutes 20 seconds East, 382.55 feet, along said Northwesterly line of Second Street; thence North 64 degrees 07 minutes 20 seconds West, 444.56 feet, to the Southeasterly line of Front Street, as opened December 14, 1972; thence South 27 degrees 50 minutes West, 41.31 feet, along said Southeasterly line of Front Street to the beginning of a 770 foot radius curve, concave to the East; thence 374.05 feet along the arc of said curve with a chord bearing of South 13 degrees 55 minutes West, and a chord distance of 370.39 feet to the end of said curve; thence South, 61.79 feet, along said Southeasterly line of Front Street, to the beginning of a 630 foot radius curve, concave to the West; thence 91.26 feet along the arc of said curve with a chord bearing of South 4 degrees 09 minutes West, and the chord distance of 91.19 feet, to the Town line and the South line of said Town of La Crosse Addition; thence East, 61.53 feet, along said South line to the Westerly right of way line of Mt. Vernon Street, as opened December 14, 1972; thence North, 72.51 feet, along said Westerly right of way line to the Southwesterly right of way line of Mt. Vernon Street as platted; thence North 25 degrees 12 minutes East, 66.00 feet; to the Northeasterly right of way line of Mt. Vernon Street as platted; thence South 64 degrees 48 minutes East, 278.28 feet, along said Northeasterly line of Mt. Vernon Street to the point of beginning. EXCEPT the following described parcel: Part of Lot 6 in Block 7 of the original plat of the Town of La Crosse, now City of La Crosse, part of the vacated alley in Block 7, part of vacated Pearl Street, part of Lots 1, 8, 9 and 10 of Levy's Subdivision of Lots 4 and 5 and the south half of Lot 3 in Block 7 of Original Plat of the Town of La Crosse and part of the vacated alley in Levy's Subdivision, described as follows: Commencing at the most Southerly corner of Lot 6 in Block 6 of the Town of La Crosse, now City of La Crosse, said corner also being the intersection of the Northwesterly right-of-way line of Second Street and the Northeasterly right-of-way line of Mt. Vernon Street; thence North 26 degrees 58 minutes 20 seconds East, along the Northwesterly right-of-way line of Second Street, 382.55 feet to the point of beginning of this description: Thence North 64 degrees 07 minutes 20 seconds West, 280.0 feet; thence South 26 degrees 58 minutes 20 seconds West 18.0 feet; thence South 64 degrees 07 minutes 20 seconds East, 275.0 feet; thence North 26 degrees 58 minutes 20 seconds East 3.0 feet; thence South 64 degrees 07 minutes 20 seconds East 5.0 feet to said Northwesterly right-of-way line of Second Street; thence North 26 degrees 58 minutes 20 seconds East, along said line, 15.0 feet to the point of beginning.

### AND ALSO

Lots One (1), Two (2) and Three (3) in Block Six (6) of C. & F.J. Dunn, H.L. Dousman and Peter Cameron's Addition to the Town, now City, of La Crosse, La Crosse County, Wisconsin. The West 1/2 of the vacated alley adjacent on the East of said lots as recorded in Document No. 842639. The North 13 feet of vacated Jay Street adjacent south of said Lot 3 and the West 1/2 of the vacated alley as recorded in Document No. 1203482.



DVNMC 6MM / 10MM							
SIZE	AMPS	WATTS	PIXELS (6MM) PIXELS (10MM)				
2X3	2.3	276	96X144	64X96			
2X5	3.7	444	96X240	64X160			
2X7	5.2	624	96X336 64X224				
2X9	6.7	804	96X432	64X288			
2X13	9.6	1152	96X624	64X416			
3X3	3.4	408	144X144	96X96			
3X5	5.6	672	144X240	96X160			
3X7	7.8	936	144X336	96X224			
3X9	10	1200	144X432	96X288			
3X13	14.4	1728	144X624	96X416			
4X7	10.4	1248	192X336	128X224			
4X9	13.3	1596	192X432	128X288			
5X7	13	1560	240X336	160X224			
5X9	16.6	1992	240X432	160X288			
6X7	15.5	1860	288X336	192X224			

DVNMC-334-240X432-6-RGB-SF per quote #719840-1-0 La Crosse Center - Message Center





#### 20A RECEPTACLE

THESE SMALLER DISPLAYS ONLY USE A 20AMP 120VAC POWER CORD, AND REQUIRE A 20AMP RECEPTACLE. DETAIL SHOWN. 13' POWER CORD PROVIDED BY DAKTRONICS.

#### SPEC TAG



DVNMC 6MM / 10MM PIXELS (6MM) | PIXELS (10MM) SIZE L1 (A) L2 (A) WATTS 4X13 11.9 7.3 2304 192X624 128X416 240X624 5X13 14.9 9.1 2880 160X416 288X432 6X9 14.8 5.1 2388 192X288 6X13 16 4 12.4 3456 288X624 192X416

SPEC TAG



THESE LARGER DISPLAYS REQUIRE A 2-POLE 120/240VAC CIRCUIT (2 HOTS + 1 NEUTRAL + 1 GROUND) DIRECTLY HARD-WIRED FROM A POWER PANEL.

03

DATE:

23 MAY 19

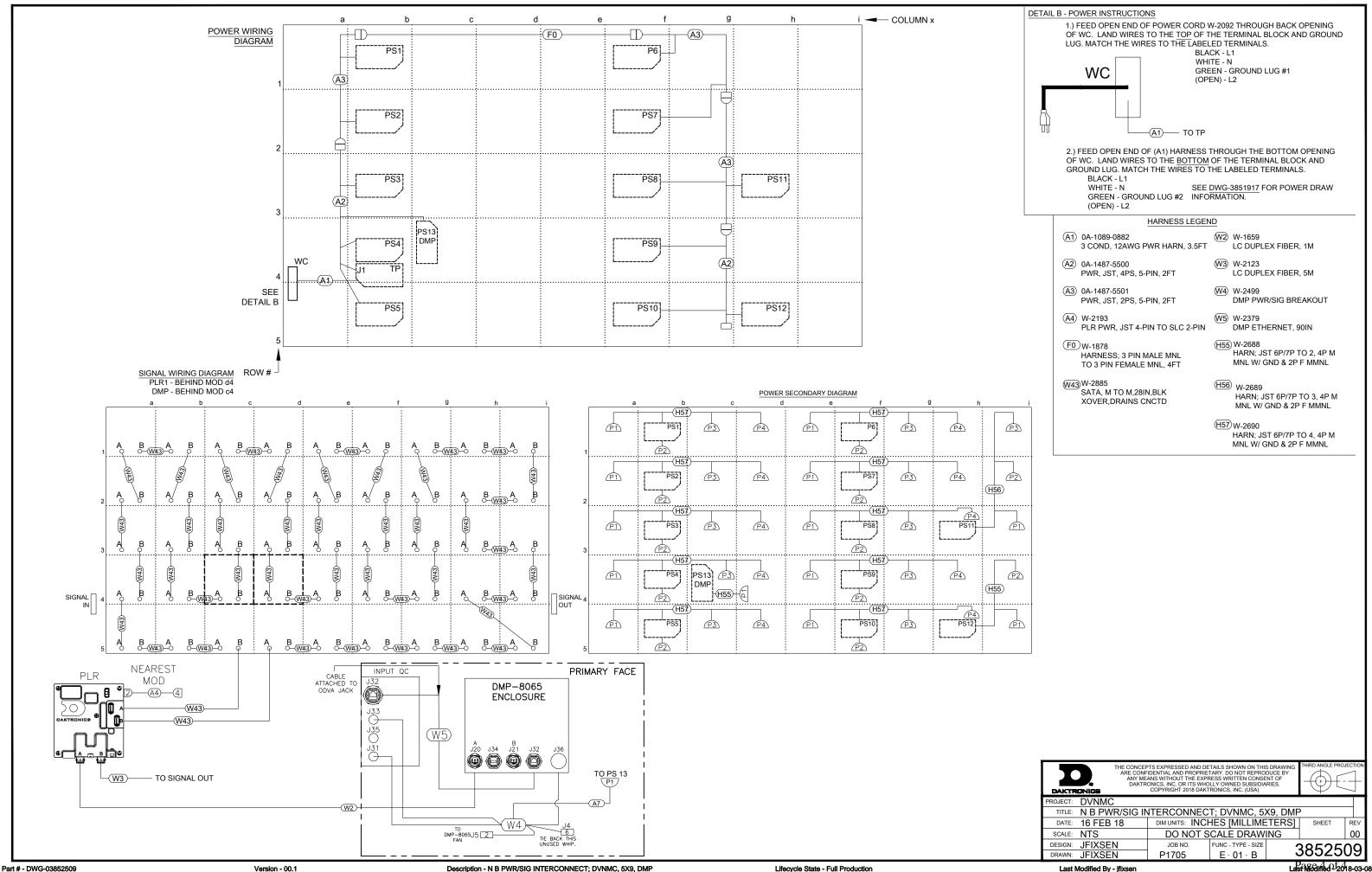
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REV 01	DATE: 20 SEP 18	ADDED 4	MM TO TABLE			BY: JWW	
THE CONCEPTS EXPRESSED AND DETAILS SHOWN ON THIS DRAWING ARE CONFIDENTIAL AND PROPRIETARY. DO NOT REPRODUCE BY ANY MEANS WITHOUT THE EXPRESS WRITTEN CONSENT OF DAKTRONICS, INC. (USD SUBSIDIARIES. COPYRIGHT 2018 DAKTRONICS, INC. (USD).							
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DAT	E: 15 FEB 1	18	DIM UNITS: INC	HES [MILLIME	TERS]	SHEET	REV
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DRAW	N: JFIXSEN	1	P1705	E-01-A	J	8519	111

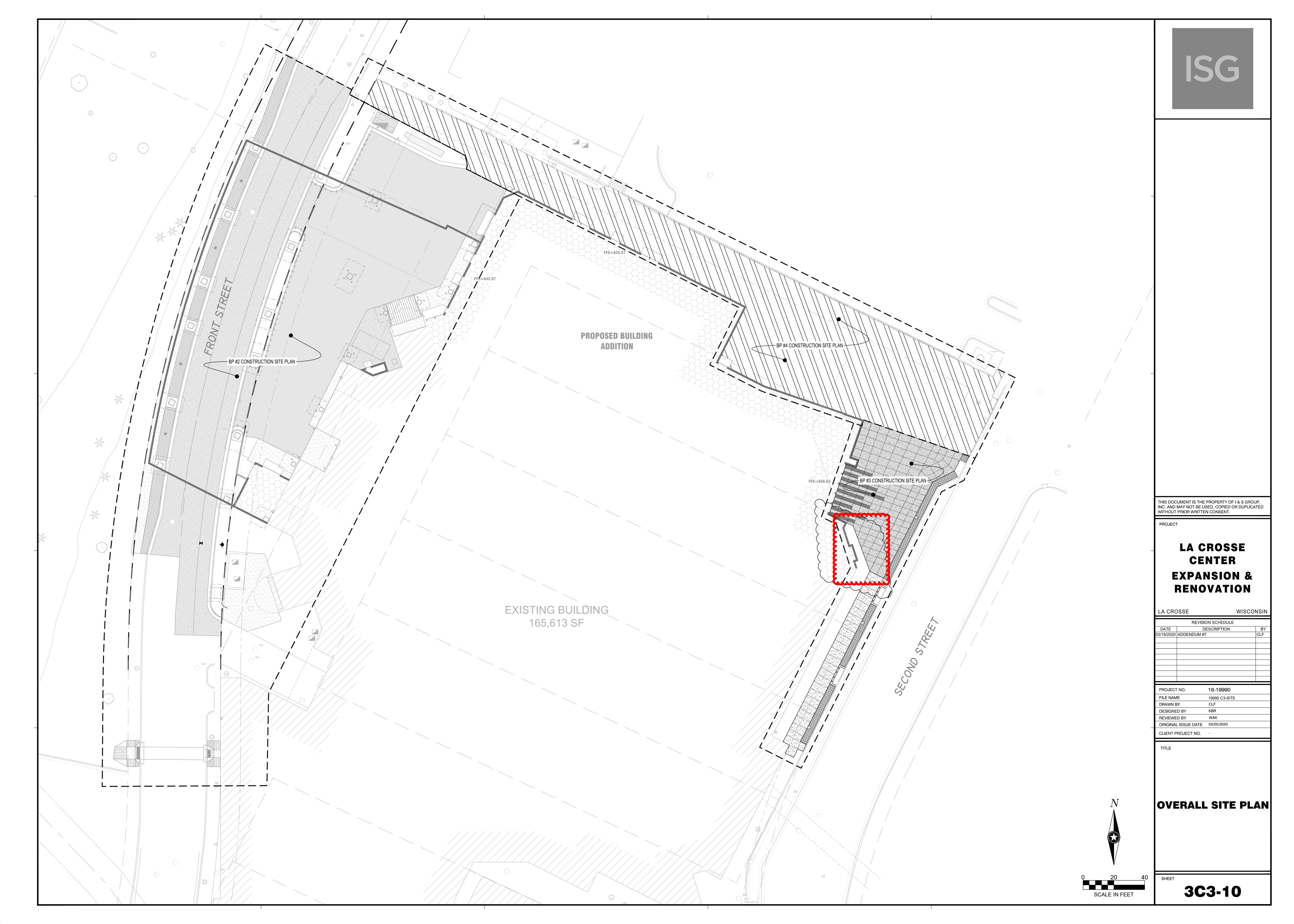
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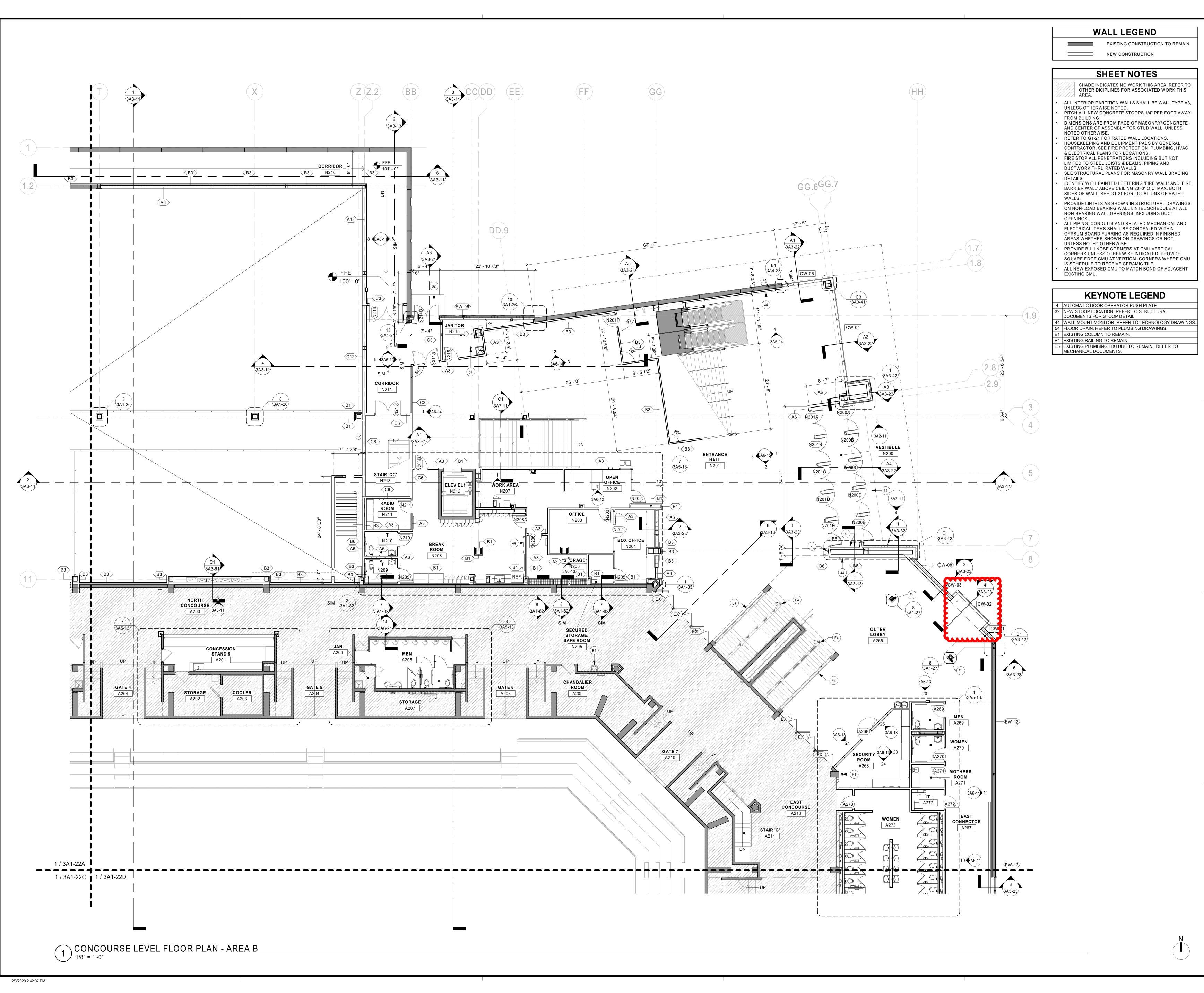
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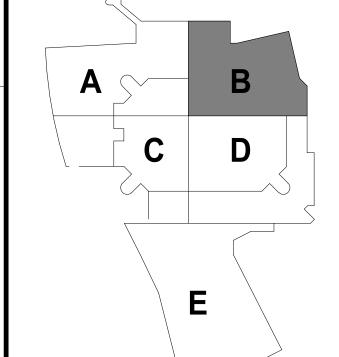
ICE

Part # - DWG-03851917









**KEYPLAN** 

HIS DOCUMENT IS THE PROPERTY OF I & S GROUP,

PROJECT

LA CROSSE CENTER EXPANSION & RENOVATION

REVISION SCHEDULE

DATE DESCRIPTION BY

PROJECT NO. 16-19990

FILE NAME 19990 Arch R18.rvt

DRAWN BY JMB

DESIGNED BY JPW/KMB

REVIEWED BY JPW/KMB

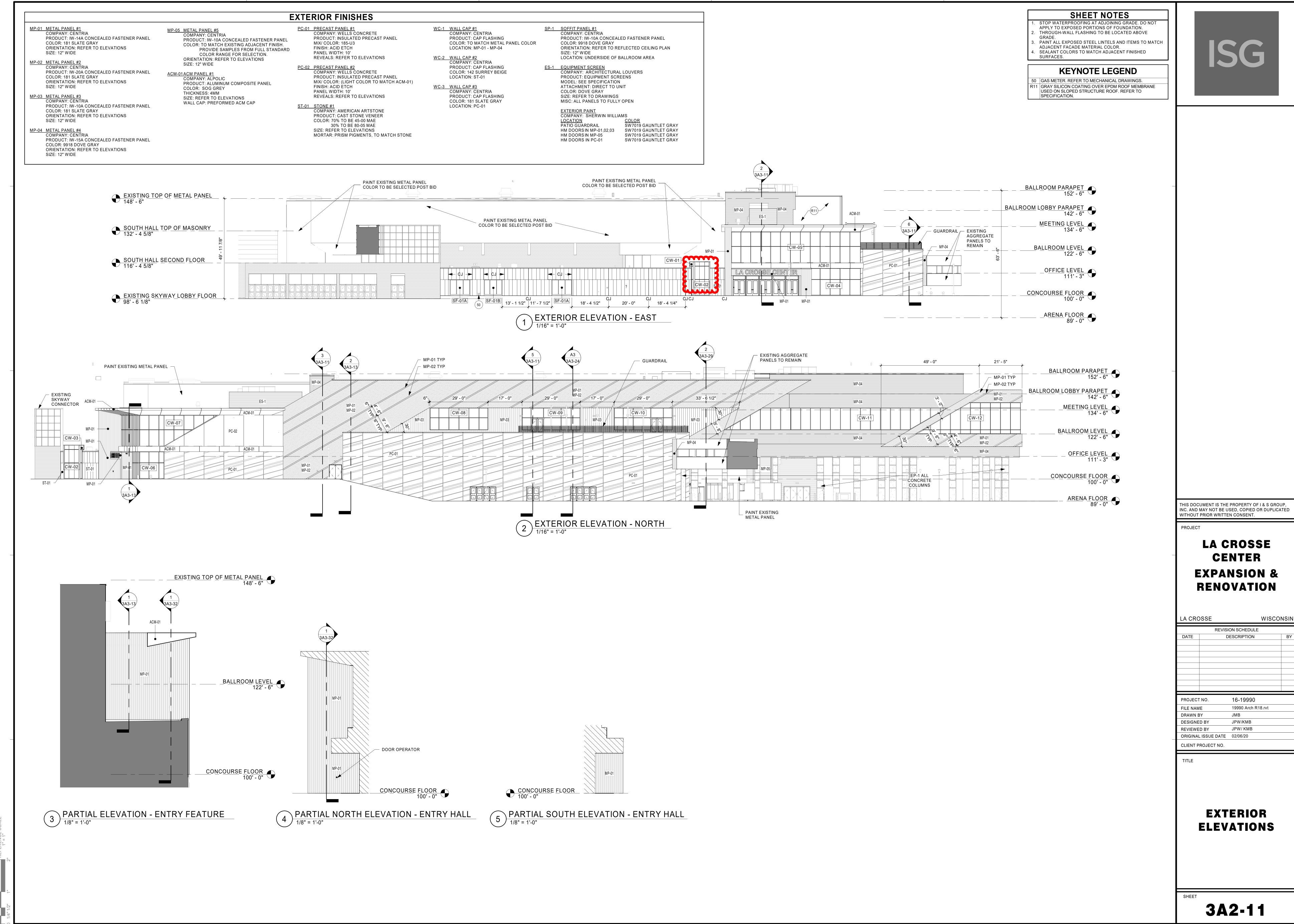
ORIGINAL ISSUE DATE 02/06/20

TITLE

CLIENT PROJECT NO.

CONCOURSE LEVEL FLOOR PLAN - AREA B

3A1-22B



2/6/2020 2:58:08 PM

