

1 SEG-B BASEMENT FLOOR PLAN
 1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
- A. ○ SYMBOL INDICATES WALL TYPE - SEE SHEET A211 FOR WALL TYPE DETAILS.
 - B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS. SEE GEN NOTE F ON SHEET A400.
 - C. NEW EXTERIOR WINDOW TYPES INDICATED (X) ON FLOOR PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES.
 - E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL.
 - F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE.
 - G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1/2 X12 TUBE STEEL STRINGERS AND 4" CONCRETE/FORM DECK LANDINGS.
 - H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
 - J. TOP OF ALL HANDRAILS TO BE 36" A.F.F. TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
 - K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
 - L. ALL BALCONY DOOR THRESHOLDS SHALL BE ADA COMPLIANT.

- FLOOR PLAN KEY NOTES:**
- 1 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE - BASEMENT AND FIRST FLOORS SEG-A ONLY. SEE DETAILS 6 & 9A211R.
 - 2 CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS.
 - 3 INTAKE AIR LOUVER. SEE MECH.
 - 4 EXHAUST AIR LOUVER. SEE MECH.
 - 5 NEW OPENINGS THRU EXISTING FOUNDATION WALL: GARAGE DOORS, MAN DOOR & LOUVER.
 - 6 NEW RAMP AS REQUIRED - SEE SECTION 5A301.
 - 7 NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
 - 8 GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
 - 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
 - 10 NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN HATCHED) SEE STRUCTURAL.
 - 11 NEW MOP SINK - SEE PLUMBING.
 - 12 NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. (BIKE WASH).
 - 13 CHASE CREATED FROM CHIMNEY REMOVAL.
 - 14 NEW FIREWALL EXTENTS.
 - 15 ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
 - 16 VOID SPACE BEHIND STAIR (NOT A CHASE).
 - 17 NEW ENTRANCE CANOPY.
 - 18 RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS.
 - 19 PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD BOARDS TO 6'-0" HIGH.
 - 20 2 HOUR RATED DUCT CHASE.
 - 21 EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
 - 22 LAUNDRY CLOTHES DRYER VENTING THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
 - 23 UTILITY SINK - SEE PLUMBING.
 - 24 (LAUNDROMAT) DRYERS.
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 - 29 APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
 - 30 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS & DRAINS.
 - 31 CLOSET FOR WATER HEATER IN LAUNDROMAT.
 - 32 4" CMU AROUND STEEL COLUMNS AT FIREWALL.
 - 33 REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
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 - 43 VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
 - 44 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY REQUIREMENTS W/ ELECTRICAL - VERIFY SHEATHING & SIDING. CAP FLASH.
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**ARCHITECTURE
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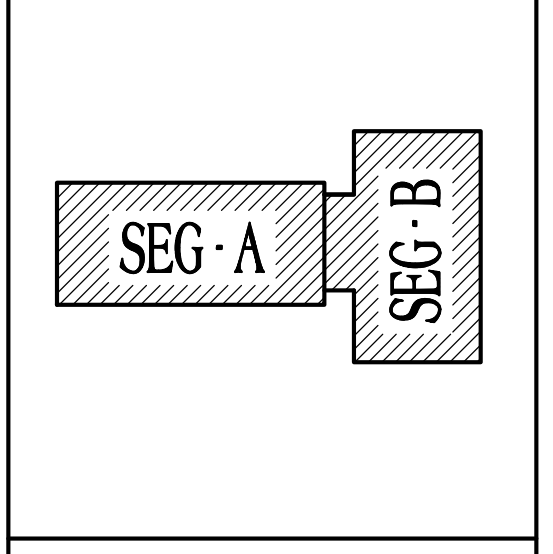
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 Sheet Title:

HSR Project Number:
16031

Project Date:
APRIL 2017

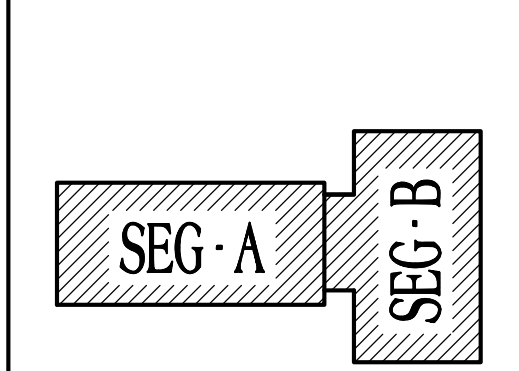
Drawn By:
tkampa

Key Plan:



Last Update:
6/23/2017

A101R

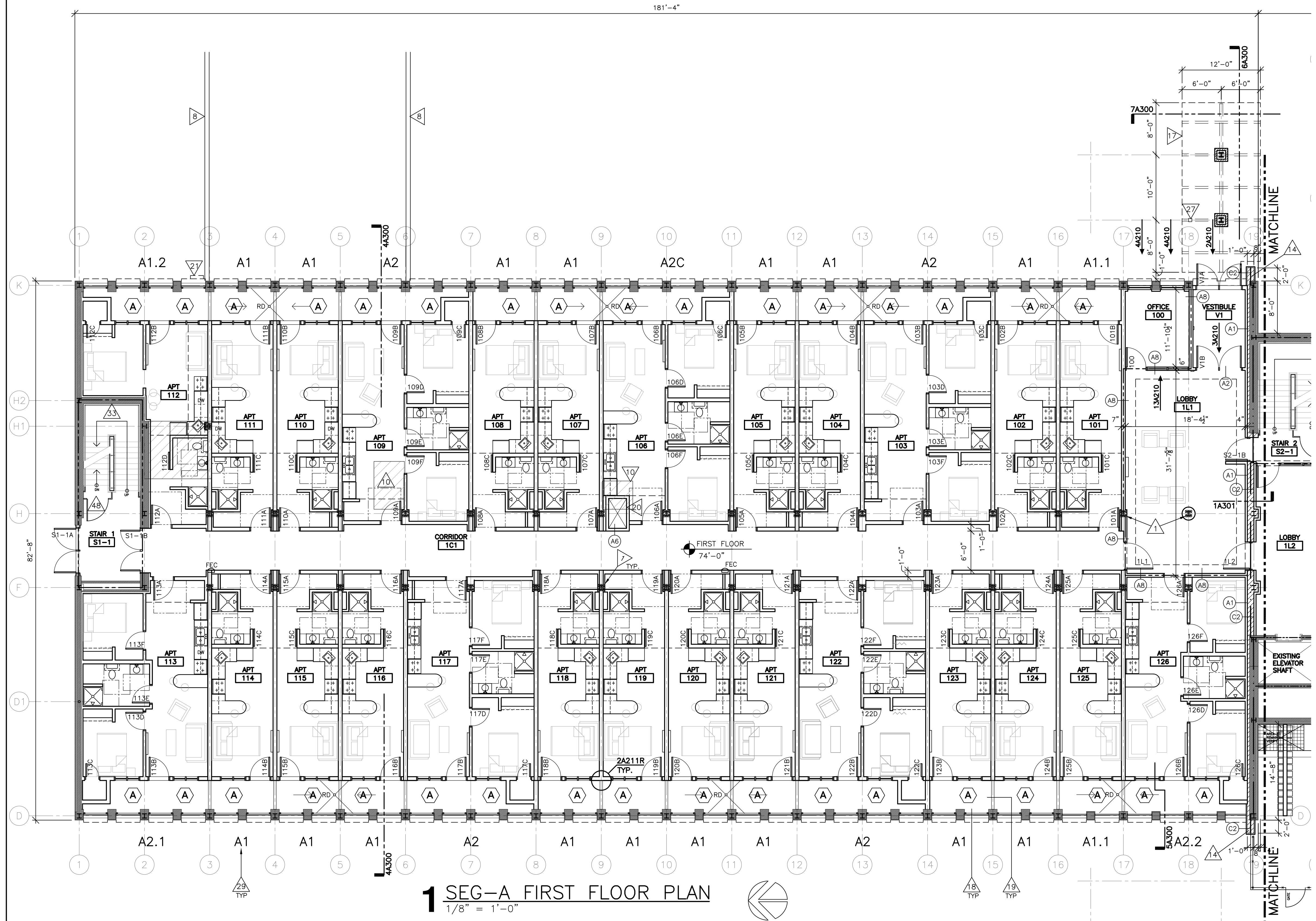


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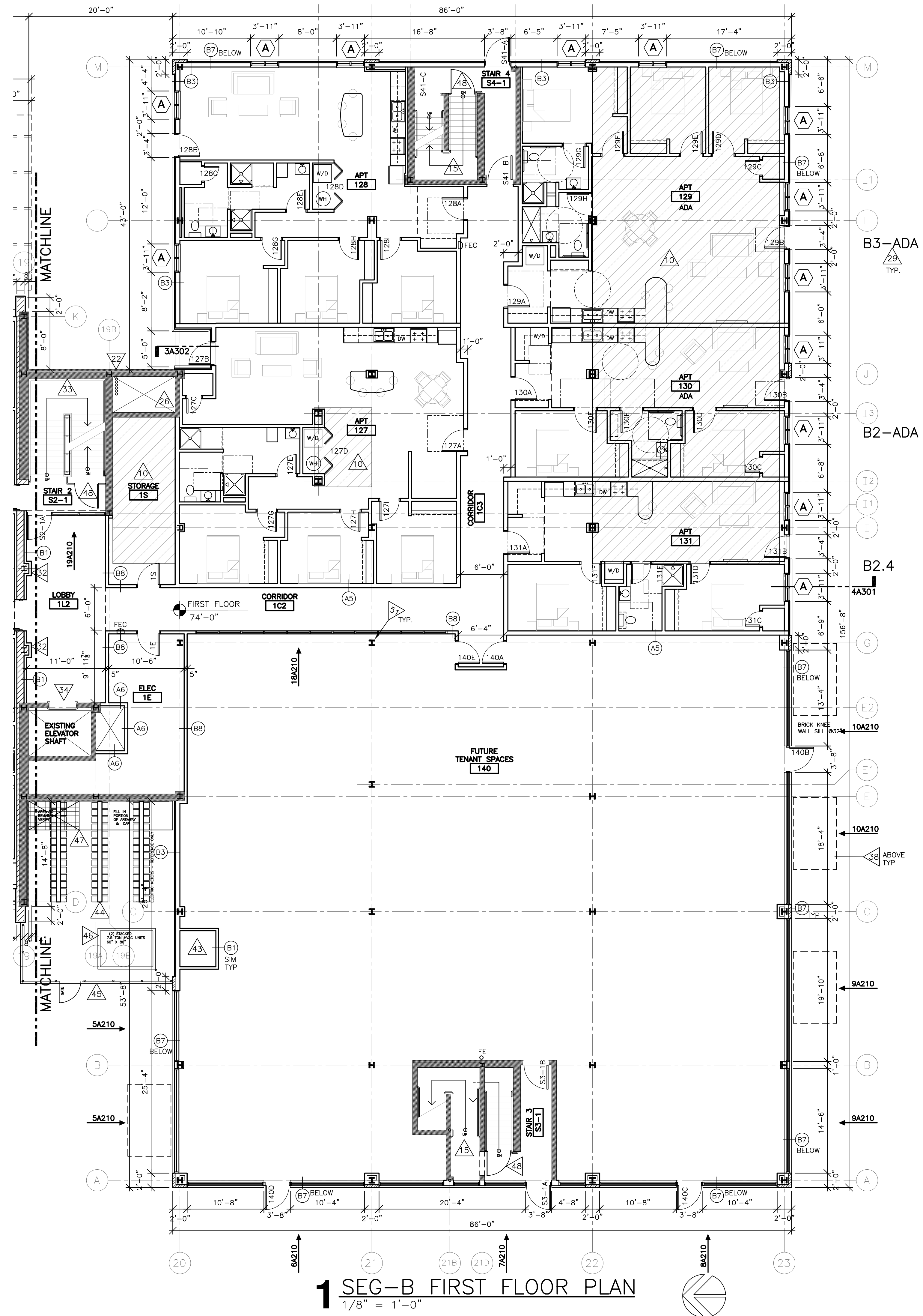
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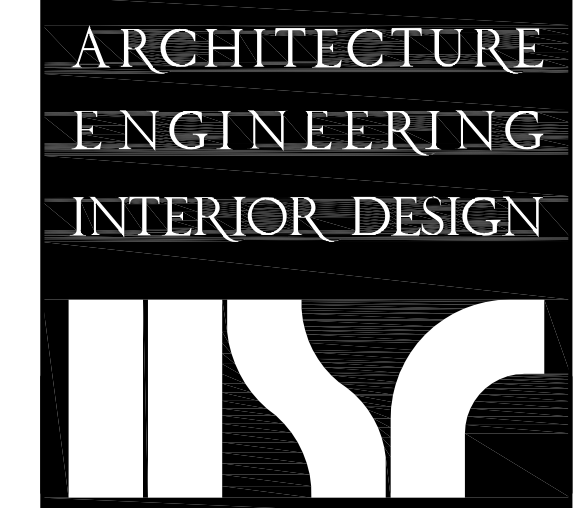
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THE HUB ON 6TH

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SEBB FIRST FLOOR PLAN

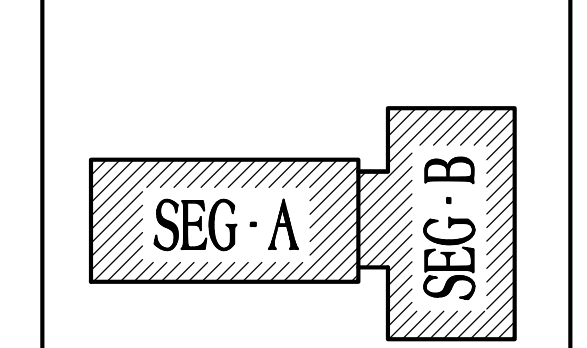
Project Title: THE HUB ON 6TH
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 Sheet Title: SEBB FIRST FLOOR PLAN

HSR Project Number: 16031

Project Date: APRIL 2017

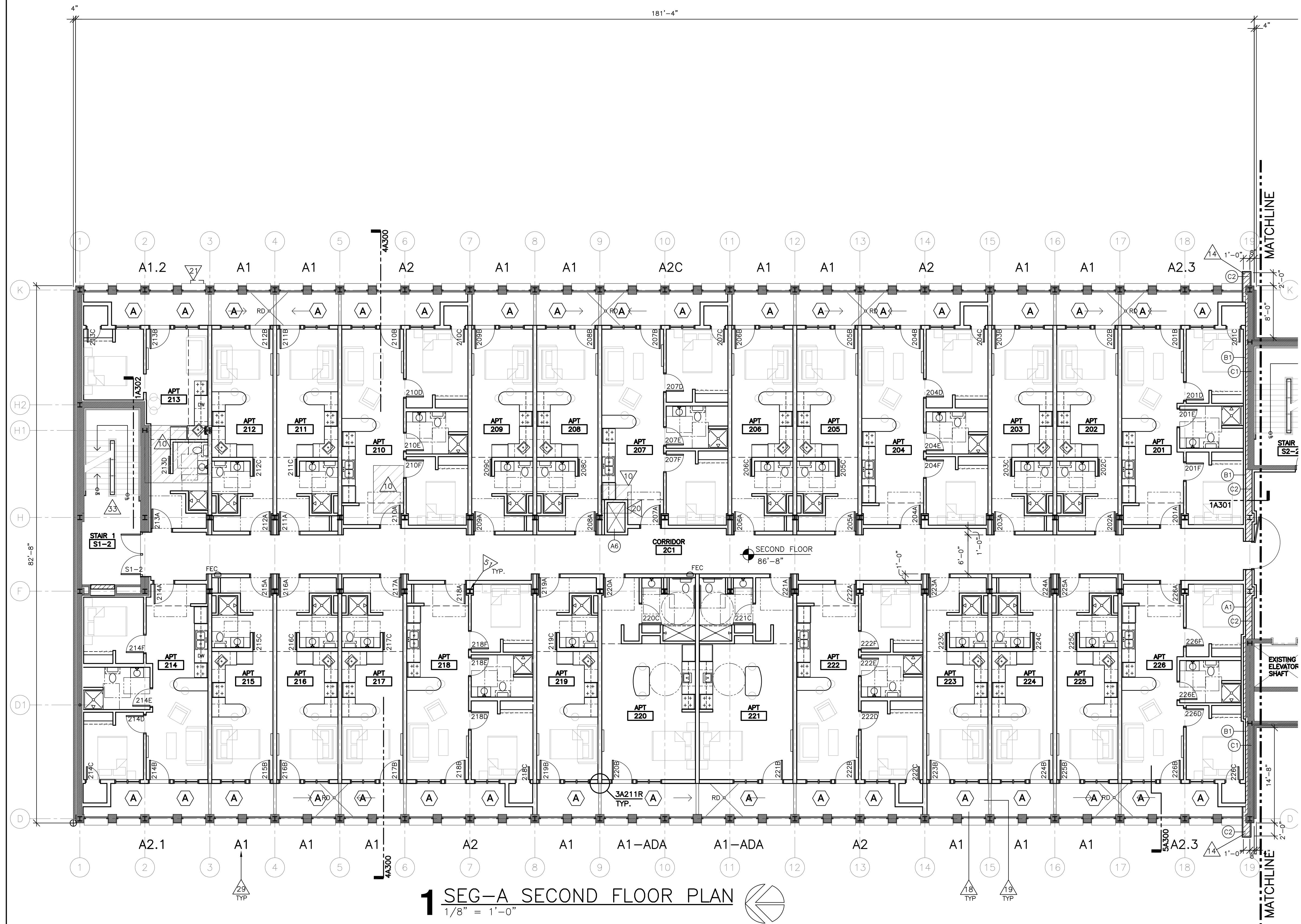
Drawn By: tkampa

Key Plan:



Last Update: 6/23/2017

A103R



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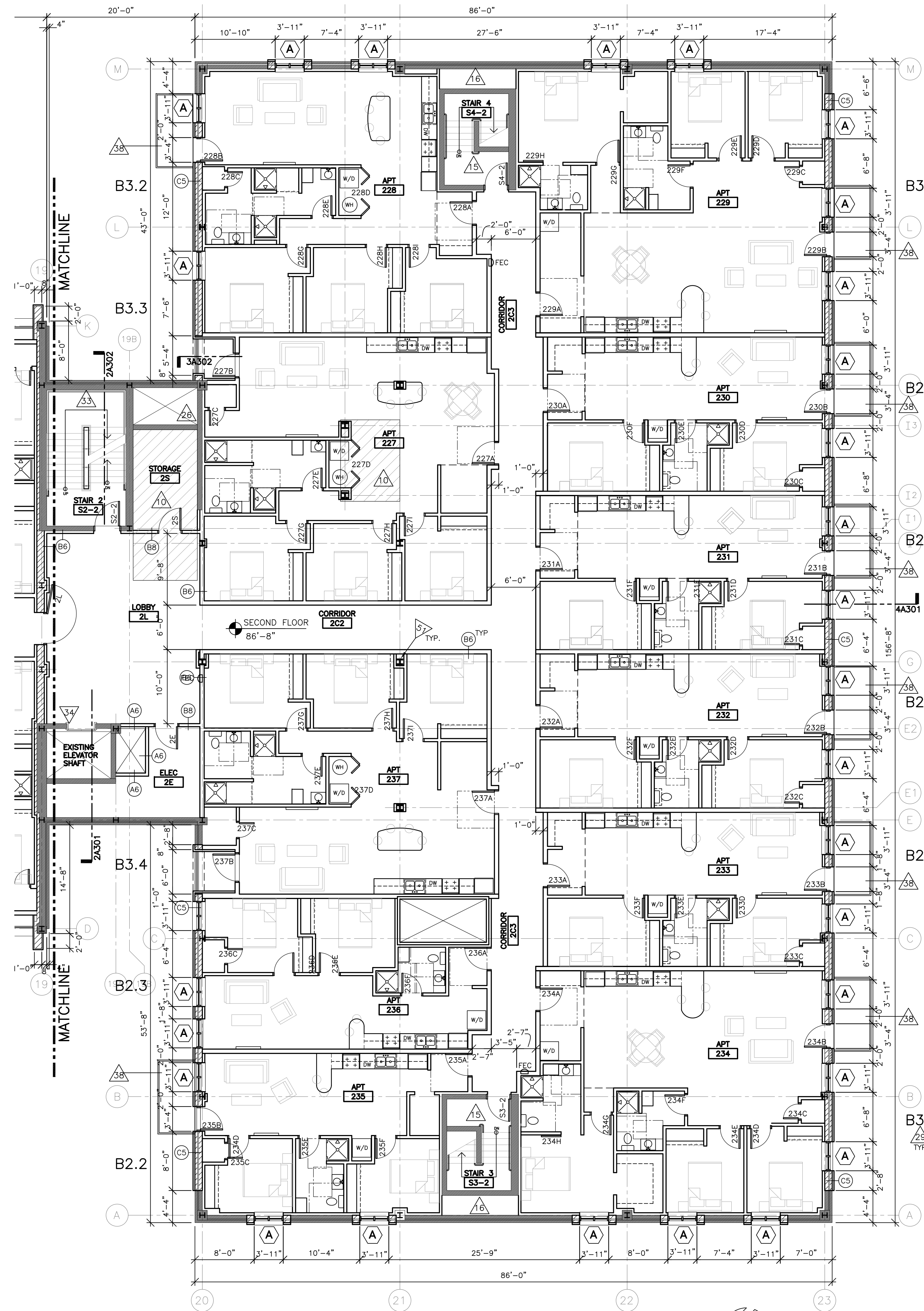
Project Date:
APRIL 2017

Drawn By:
tkampa

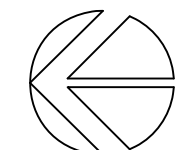
Key Plan:

Last Update:
6/23/2017

A104R



1 SEG-B SECOND FLOOR PLAN
1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES:

- A. ○ SYMBOL INDICATES WALL TYPE - SEE SHEET A211 FOR WALL TYPE DETAILS.
- B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS. SEE GEN NOTE F ON SHEET A400.
- C. NEW EXTERIOR WINDOW TYPES INDICATED (X) ON FLOOR PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES.
- E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL.
- F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE.
- G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1/2 X12 TUBE STEEL STRINGERS AND 4" CONCRETE/FORM DECK LANDINGS.
- H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
- J. TOP OF ALL HANDRAILS TO BE 36" A.F.F.
TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
- K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
- L. ALL BALCONY DOOR THRESHOLDS SHALL BE ADA COMPLIANT.

FLOOR PLAN KEY NOTES:

- 1. 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE - BASEMENT AND FIRST FLOORS SEG-A ONLY. SEE DETAILS 6 & 9A211R. CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS.
- 2. INTAKE AIR LOUVER. SEE MECH.
- 3. EXHAUST AIR LOUVER. SEE MECH.
- 4. NEW OPENINGS THRU EXISTING FOUNDATION WALL: GARAGE DOORS, MAN DOOR & LOUVER.
- 5. NEW RAMP AS REQUIRED - SEE SECTION 5A301.
- 6. NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
- 7. GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
- 8. EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
- 9. NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN HATCHED) SEE STRUCTURAL.
- 10. NEW MOP SINK - SEE PLUMBING.
- 11. NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. (BIKE WASH).
- 12. CHASE CREATED FROM CHIMNEY REMOVAL.
- 13. NEW FIREWALL EXTENTS.
- 14. ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
- 15. VOID SPACE BEHIND STAIR (NOT A CHASE).
- 16. NEW ENTRANCE CANOPY.
- 17. RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS.
- 18. PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD BOARDS TO 6'-0" HIGH.
- 19. 2 HOUR RATED DUCT CHASE.
- 20. EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- 21. LAUNDRY CLOTHES DRYER VENTING THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- 22. UTILITY SINK - SEE PLUMBING.
- 23. (LAUNDROMAT) DRYERS.
- 24. (LAUNDROMAT) WASHERS.
- 25. EXISTING 2 HOUR RATED MASONRY CHASE TO REMAIN.
- 26. FUTURE AUTOMATIC DOOR OPERATOR / ACTUATOR PEDESTAL LOCATION. VERIFY REQUIREMENTS.
- 27. MINI STORAGE COMPARTMENTS: 2X4 WOOD STUDS TO 8'-0" W/ OSB SHEATHING AND DOOR. WIRE MESH SECURITY TOPS.
- 28. APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
- 29. 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS & DRAINS.
- 30. CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 31. 4" CMU AROUND STEEL COLUMNS AT FIREWALL.
- 32. REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- 33. EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN. EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 34. X INDICATES AREA OPEN TO ABOVE.
- 35. X INDICATES AREA OPEN TO BELOW.
- 36. REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
- 37. NEW SUSPENDED BALCONY.
- 38. BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE.
- 39. NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK. (R28)
- 40. NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN.
- 41. REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS. SEE STRUCTURAL.
- 42. VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 43. 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY REQUIREMENTS W/ ELECTRICAL - VERIFY SHEATHING & SIDING. CAP FLASH.
- 44. CONC PAD AND SITE FENCING - VERIFY.
- 45. HVAC UNITS AT GRADE, STACKED - VERIFY.
- 46. REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR - INFILL PORTION OF AREAWELL.
- 47. NEW STAIRWAY INTERRUPTION GATE.
- 48. STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE.
- 49. 1 HOUR RATED ASSEMBLY AT COLUMNS - SEE DETAIL 11A211R.
- 50. 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS - SEE DETAILS 5, 8, 10 & 11 SHEET A211R.
- 51. TRASH & RECYCLING DUMPSTERS AREA.

**ARCHITECTURE
ENGINEERING
INTERIOR DESIGN**

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LA CROSSE, WISCONSIN
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WEB SITE: www.hsrassociates.com

THE HUB ON 6TH

**415 NORTH 6TH STREET
LA CROSSE, WISCONSIN**

SEBB SECOND FLOOR PLAN

Project Title: _____
Project Location: _____
Sheet Title: _____

HSR Project Number: **16031**

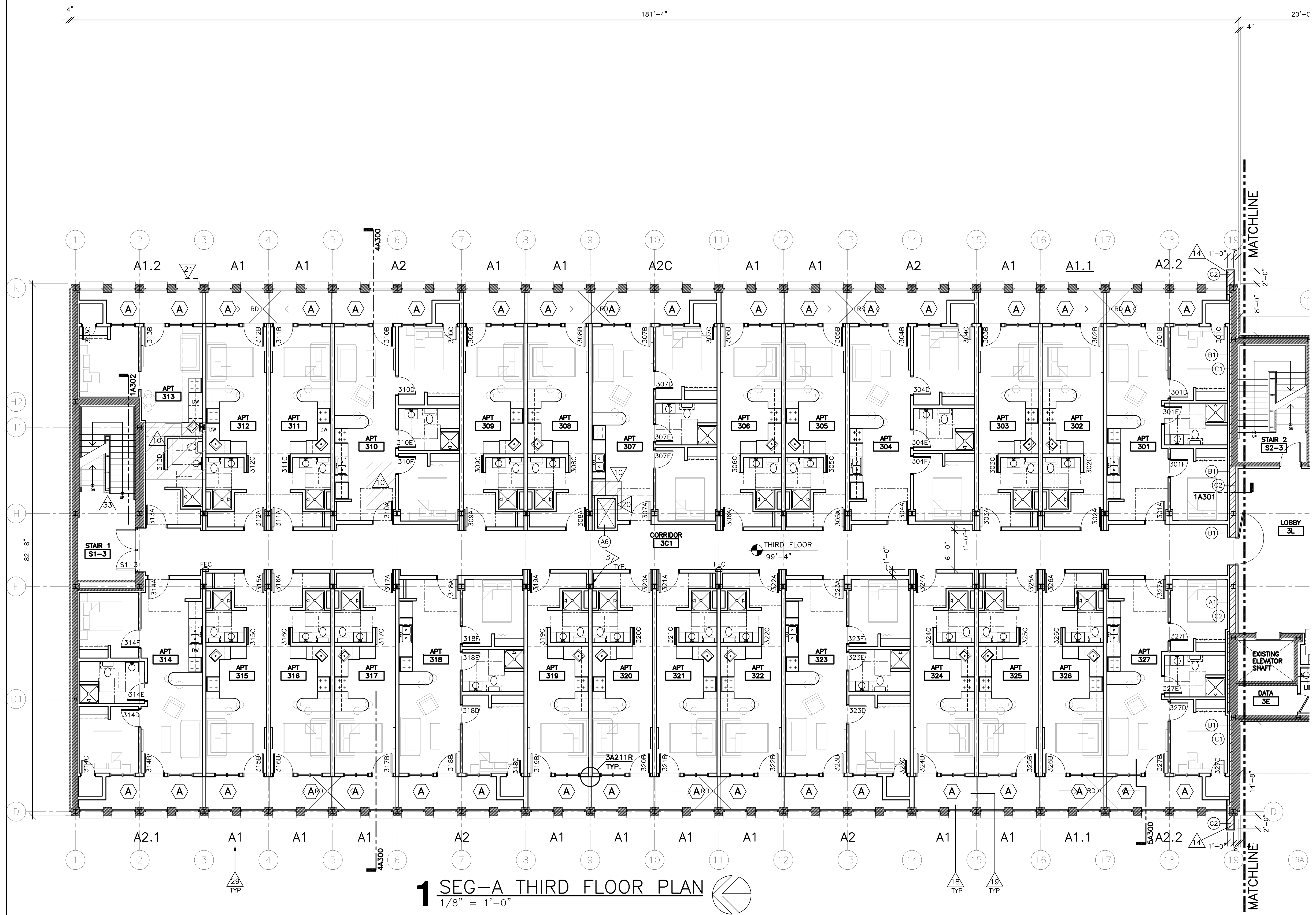
Project Date: **APRIL 2017**

Drawn By: **tkampa**

Key Plan:

Last Update: **6/23/2017**

A105R



1 SEG-A THIRD FLOOR PLAN
 1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
- A. ○ SYMBOL INDICATES WALL TYPE - SEE SHEET A211 FOR WALL TYPE DETAILS.
 - B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS. SEE GEN NOTE F ON SHEET A400.
 - C. NEW EXTERIOR WINDOW TYPES INDICATED (X) ON FLOOR PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES.
 - E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL.
 - F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE.
 - G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1/2 X12 TUBE STEEL STRINGERS AND 4" CONCRETE/FORM DECK LANDINGS.
 - H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
 - J. TOP OF ALL HANDRAILS TO BE 36" A.F.F. TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
 - K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
 - L. ALL BALCONY DOOR THRESHOLDS SHALL BE ADA COMPLIANT.

- FLOOR PLAN KEY NOTES:**
- 1 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE - BASEMENT AND FIRST FLOORS SEG-A ONLY. SEE DETAILS 6 & 9A211R.
 - 2 CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS.
 - 3 INTAKE AIR LOUVER. SEE MECH.
 - 4 EXHAUST AIR LOUVER. SEE MECH.
 - 5 NEW OPENINGS THRU EXISTING FOUNDATION WALL: GARAGE DOORS, MAN DOOR & LOUVER.
 - 6 NEW RAMP AS REQUIRED - SEE SECTION 5A301.
 - 7 NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
 - 8 GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
 - 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
 - 10 NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN HATCHED) SEE STRUCTURAL.
 - 11 NEW MOP SINK - SEE PLUMBING.
 - 12 NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. (BIKE WASH).
 - 13 CHASE CREATED FROM CHIMNEY REMOVAL.
 - 14 NEW FIREWALL EXTENTS.
 - 15 ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
 - 16 VOID SPACE BEHIND STAIR (NOT A CHASE).
 - 17 NEW ENTRANCE CANOPY.
 - 18 RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS.
 - 19 PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD BOARDS TO 6'-0" HIGH.
 - 20 2 HOUR RATED DUCT CHASE.
 - 21 EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
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 - 23 UTILITY SINK - SEE PLUMBING.
 - 24 (LAUNDROMAT) DRYERS.
 - 25 (LAUNDROMAT) WASHERS.
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 - 28 MINI STORAGE COMPARTMENTS: 2X4 WOOD STUDS TO 8'-0" W/ OSB SHEATHING AND DOOR. WIRE MESH SECURITY TOPS.
 - 29 APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
 - 30 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS & DRAINS.
 - 31 CLOSET FOR WATER HEATER IN LAUNDROMAT.
 - 32 4" CMU AROUND STEEL COLUMNS AT FIREWALL.
 - 33 REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
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 - 35 X INDICATES AREA OPEN TO ABOVE.
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 - 37 REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
 - 38 NEW SUSPENDED BALCONY.
 - 39 BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE.
 - 40 NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK. (R2B)
 - 41 NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN.
 - 42 REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS. SEE STRUCTURAL.
 - 43 VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
 - 44 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY REQUIREMENTS W/ ELECTRICAL - VERIFY SHEATHING & SIDING. CAP FLASH.
 - 45 CONC PAD AND SITE FENCING - VERIFY.
 - 46 HVAC UNITS AT GRADE, STACKED - VERIFY.
 - 47 REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR - INFILL PORTION OF AREAWELL.
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 - 50 1 HOUR RATED ASSEMBLY AT COLUMNS - SEE DETAIL 11A211R.
 - 51 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS - SEE DETAILS 5, 8, 10 & 11 SHEET A211R.
 - 52 TRASH & RECYCLING DUMPSTERS AREA.

**ARCHITECTURE
ENGINEERING
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THE HUB ON 6TH
 415 NORTH 6TH STREET
 LA CROSSE, WISCONSIN
 SEGA THIRD FLOOR PLAN

Project Title:
 Project Location:
 Sheet Title:

HSR Project Number:
16031

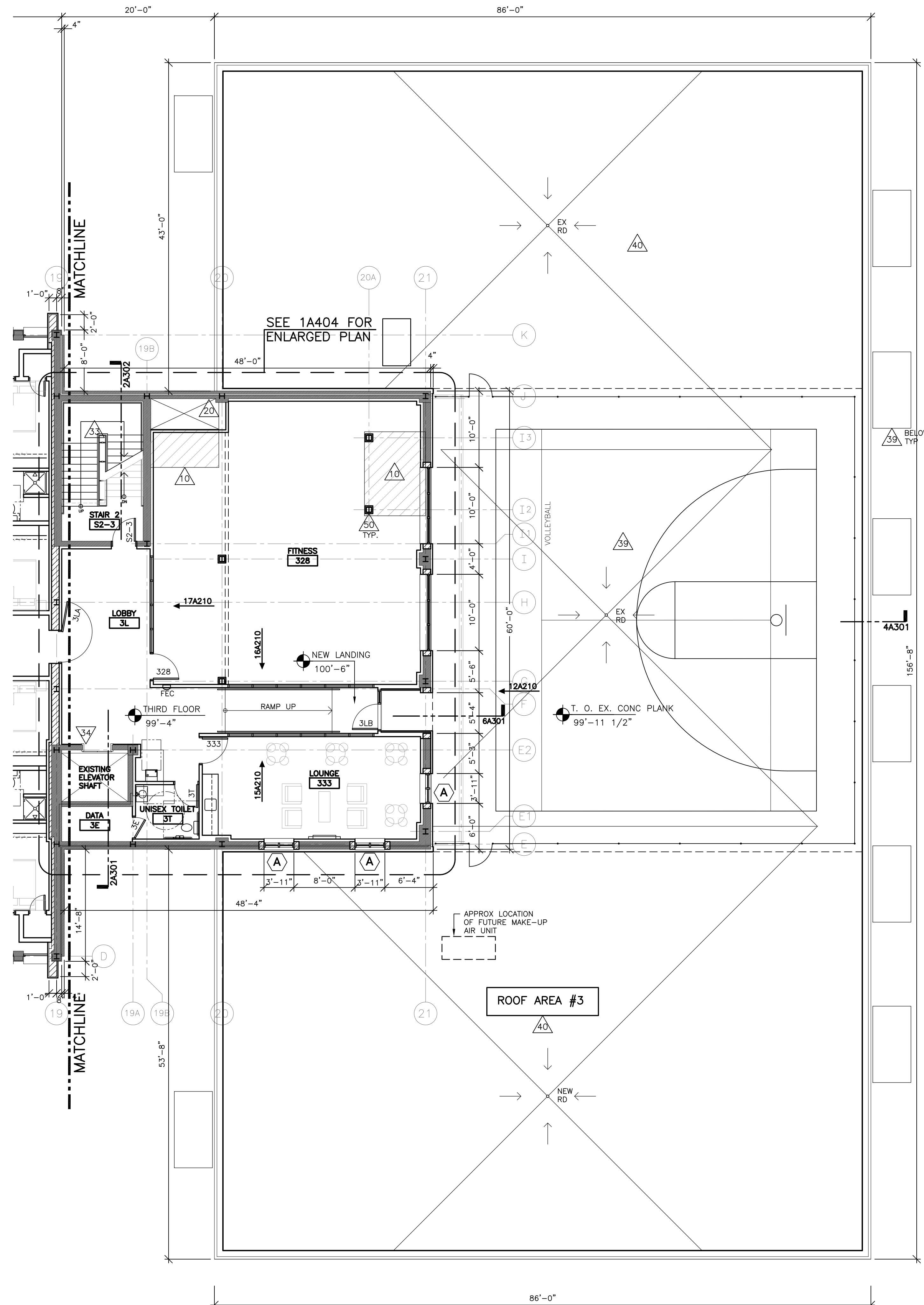
Project Date:
APRIL 2017

Drawn By:
tkampa

Key Plan:

Last Update:
6/23/2017

A106R



1 SEG-B THIRD FLOOR PLAN
 1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
- A. ○ SYMBOL INDICATES WALL TYPE - SEE SHEET A211 FOR WALL TYPE DETAILS.
 - B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS. SEE GEN NOTE F ON SHEET A400.
 - C. NEW EXTERIOR WINDOW TYPES INDICATED (X) ON FLOOR PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES.
 - E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL.
 - F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE.
 - G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1/2 X12 TUBE STEEL STRINGERS AND 4" CONCRETE/FORM DECK LANDINGS.
 - H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
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 - L. ALL BALCONY DOOR THRESHOLDS SHALL BE ADA COMPLIANT.
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 - 8 GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
 - 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
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 - 12 NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. (BIKE WASH).
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 - 22 LAUNDRY CLOTHES DRYER VENTING THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
 - 23 UTILITY SINK - SEE PLUMBING.
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 - 28 MINI STORAGE COMPARTMENTS: 2X4 WOOD STUDS TO 8'-0" W/ OSB SHEATHING AND DOOR. WIRE MESH SECURITY TOPS.
 - 29 APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
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 - 38 NEW SUSPENDED BALCONY.
 - 39 BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE.
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 - 41 NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN.
 - 42 REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS. SEE STRUCTURAL.
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 - 52 TRASH & RECYCLING DUMPSTERS AREA.

**ARCHITECTURE
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THE HUB ON 6TH

Project Location: **415 NORTH 6TH STREET
LA CROSSE, WISCONSIN**

Sheet Title: **SEBB THIRD FLOOR PLAN**

Project Title: **THE HUB ON 6TH**

HSR Project Number: **16031**

Project Date: **APRIL 2017**

Drawn By: **tkampa**

Key Plan:

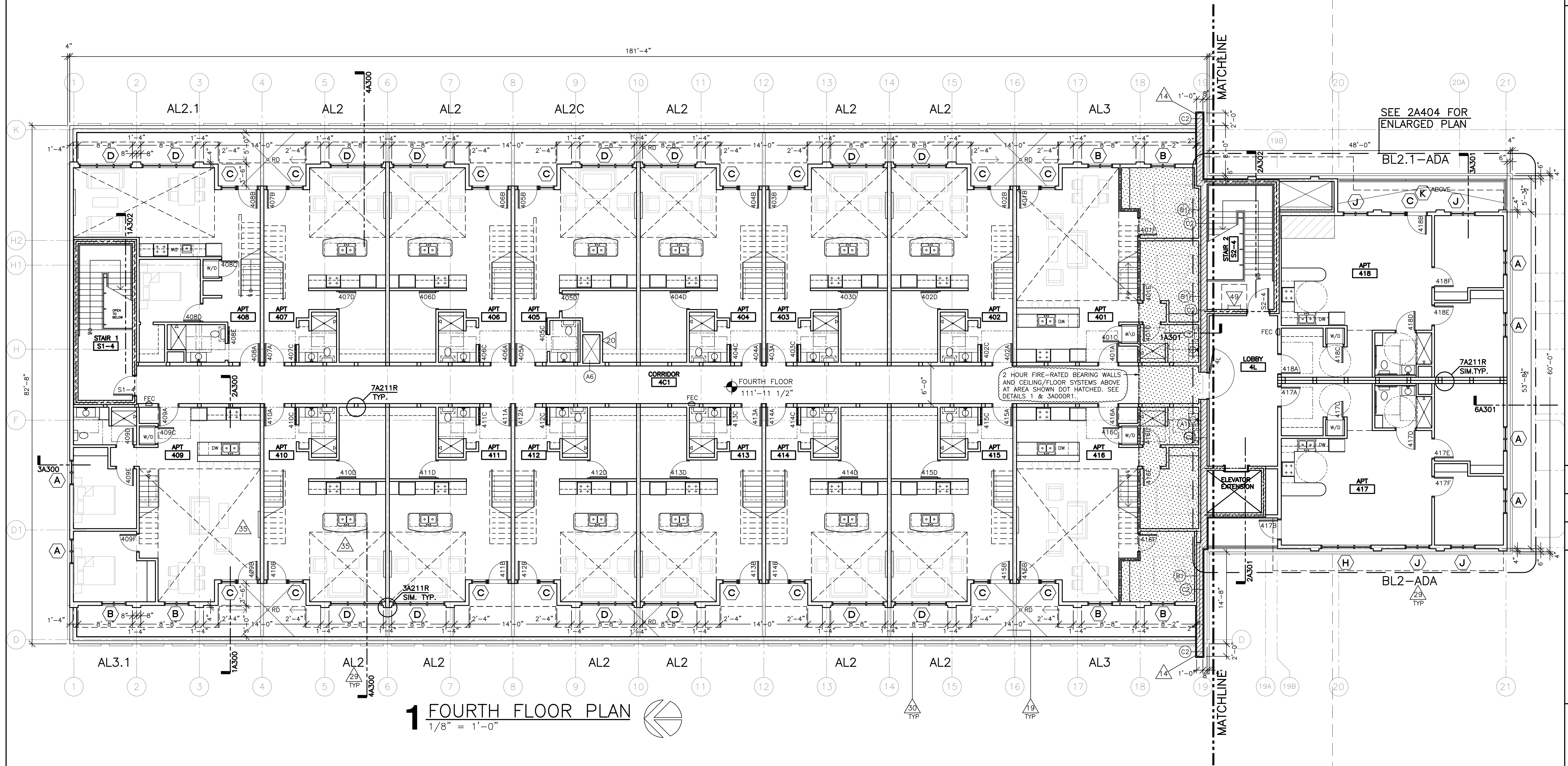
Last Update: **6/23/2017**

SEE SHEET A107 FOR NOTES

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN



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1 FOURTH FLOOR PLAN
1/8" = 1'-0"

THE HUB ON 6TH

415 NORTH 6TH STREET
LA CROSSE, WISCONSIN
FOURTH FLOOR PLAN

Project Title:	THE HUB ON 6TH
Project Location:	415 NORTH 6TH STREET LA CROSSE, WISCONSIN
Sheet Title:	FOURTH FLOOR PLAN
HSR Project Number:	16031
Project Date:	APRIL 2017
Drawn By:	tkampa
Key Plan:	

Last Update: 7/3/2017

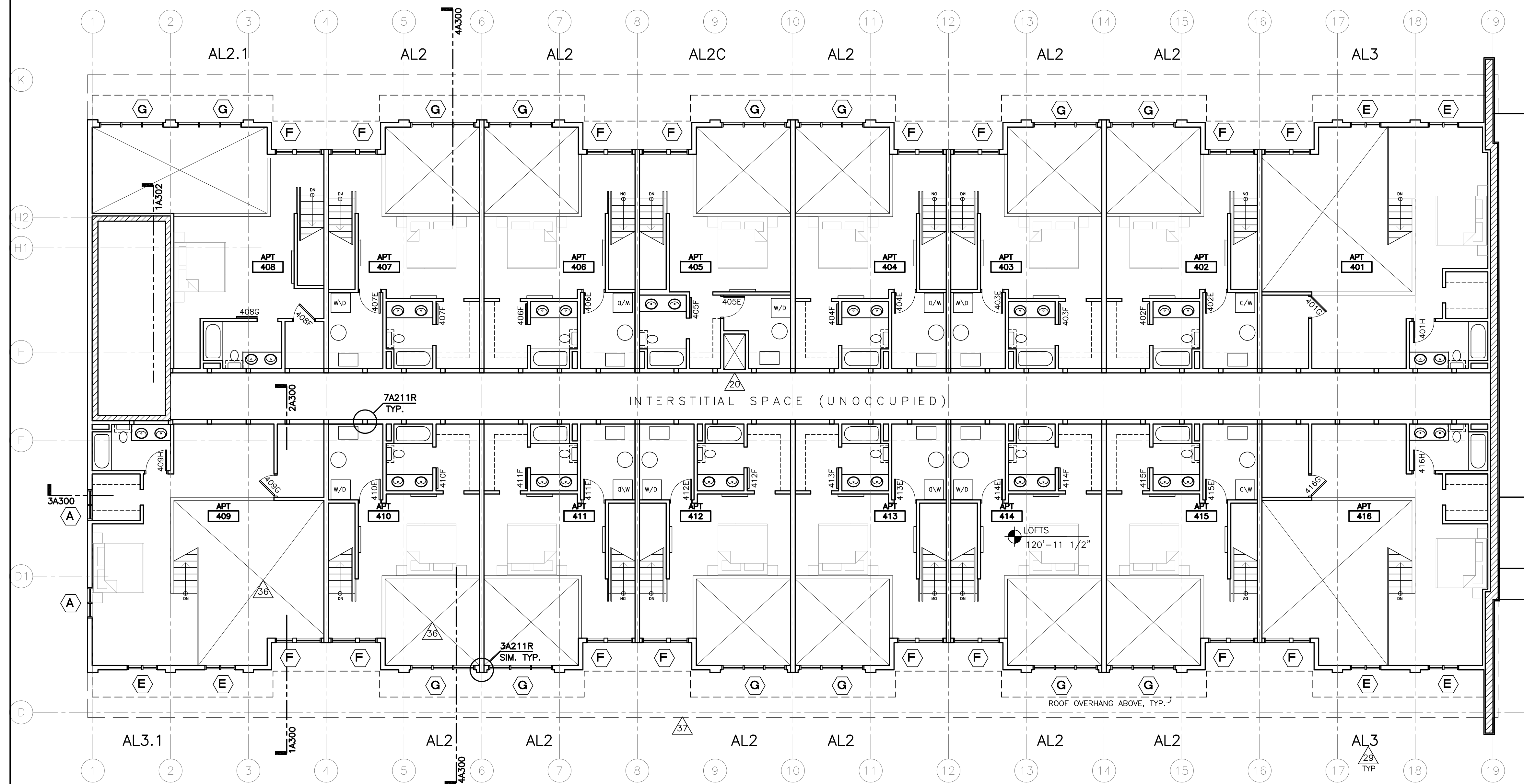
A108R1

FLOOR PLAN GENERAL NOTES:

- A. ○ SYMBOL INDICATES WALL TYPE - SEE SHEET A211 FOR WALL TYPE DETAILS.
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FLOOR PLAN KEY NOTES:

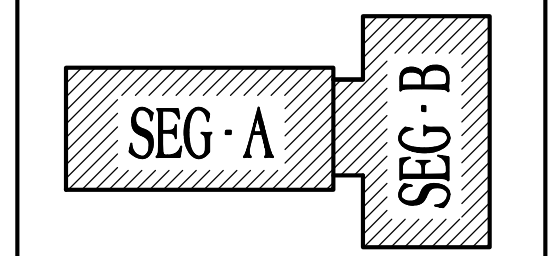
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- 31. CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 32. 4" CMU AROUND STEEL COLUMNS AT FIREWALL.
- 33. REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- 34. EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN. EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 35. X INDICATES AREA OPEN TO ABOVE.
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- 38. NEW SUSPENDED BALCONY.
- 39. BASKETBALL COURT PAVEMENT SYSTEM & FENCING PER CODE. (R28)
- 40. NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK.
- 41. NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN.
- 42. REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS. SEE STRUCTURAL.
- 43. VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 44. 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY REQUIREMENTS W/ ELECTRICAL - VERIFY SHEATHING & SIDING. CAP FLASH.
- 45. CONC PAD AND SITE FENCING - VERIFY.
- 46. HVAC UNITS AT GRADE. STACKED - VERIFY.
- 47. REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR - INFILL PORTION OF AREAWELL.
- 48. NEW STAIRWAY INTERRUPTION GATE.
- 49. STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE.
- 50. 1 HOUR RATED ASSEMBLY AT COLUMNS - SEE DETAIL 11A211R.
- 51. 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS - SEE DETAILS 5, 8, 10 & 11 SHEET A211R.



1 FIFTH (LOFTS) FLOOR PLAN
1/8" = 1'-0"

Project Title: **THE HUB ON 6TH**
Project Location: **415 NORTH 6TH STREET
LA CROSSE, WISCONSIN**
Sheet Title: **FIFTH (LOFTS) FLOOR PLAN**

Project Number: **HSR Project Number: 16031**
Project Date: **JULY 27, 2017**
Drawn By: **tkampa**
Key Plan:



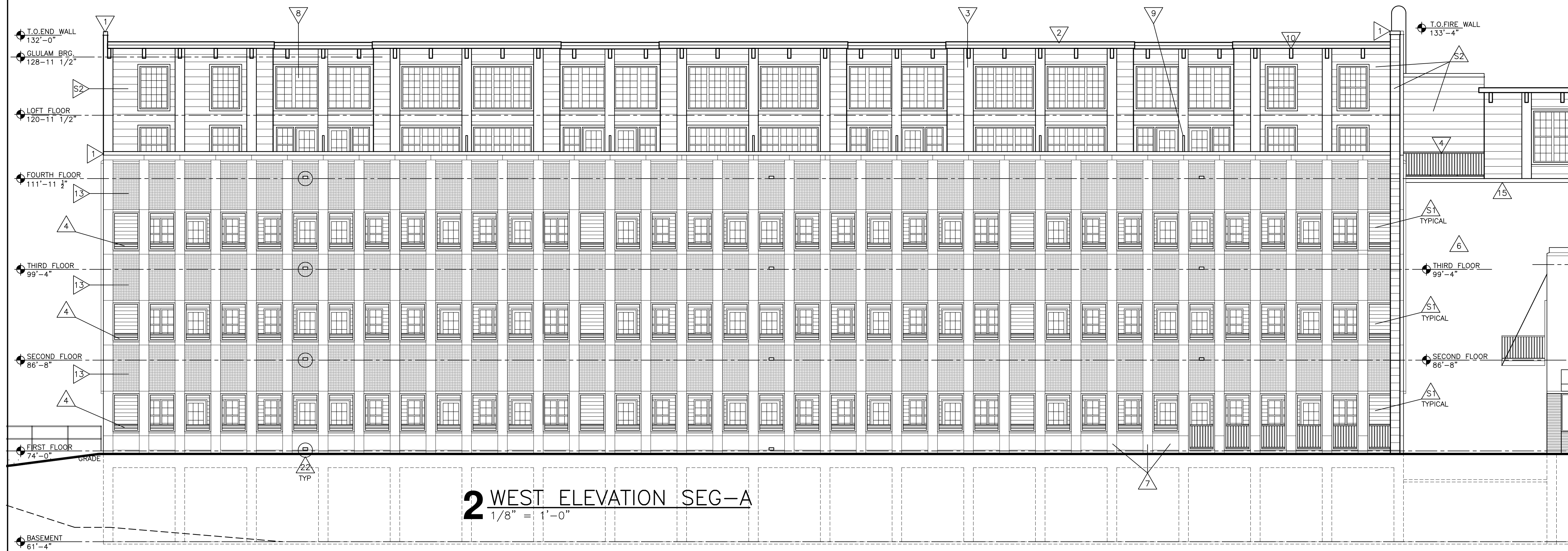
Last Update: **7/27/2017**

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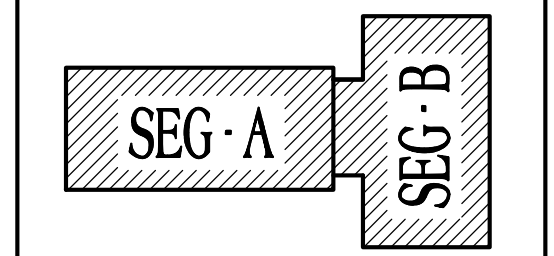


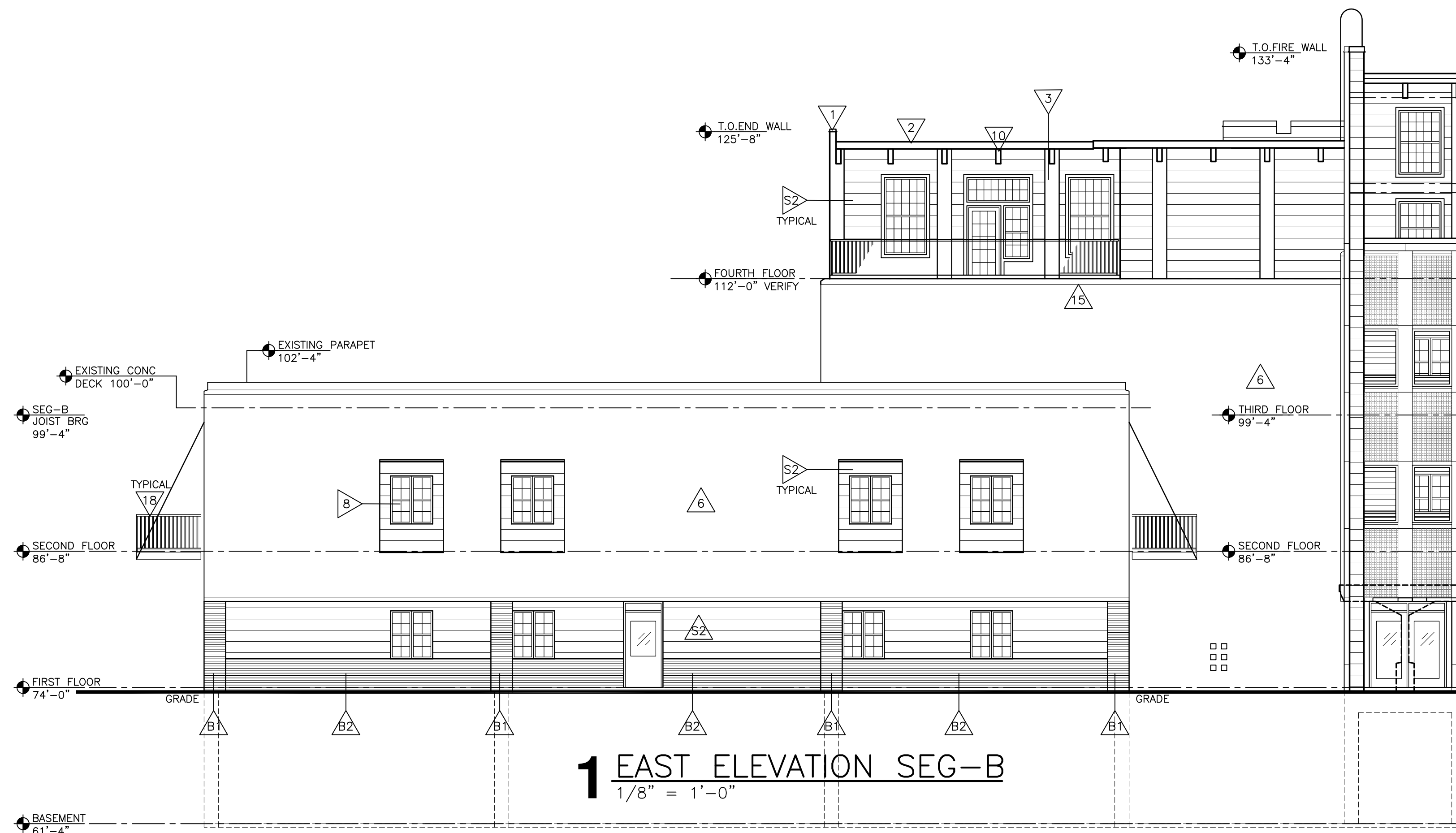
1 EAST ELEVATION SEG-A
1/8" = 1'-0"

- BUILDING ELEVATION GEN. NOTES:**
- FIELD VERIFY EXISTING CONDITIONS. BRING ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS TO THE ARCHITECT'S ATTENTION.
 - FURRING FOR METAL PANEL SYSTEM SHALL BE ATTACHED AT MORTAR JOINTS, NOT THROUGH MASONRY UNITS.
 - EXISTING WINDOW FRAMES TO REMAIN AT SEG-A RECESSED BALCONIES, WRAP W/ PREFINISHED METAL WRAP.
- BUILDING ELEVATION KEY NOTES:**
- REFINISHED METAL CAP FLASHING.
 - REFINISHED METAL FASCIA WRAP.
 - REFINISHED METAL VERTICAL "COLUMN" PIECE.
 - PARTIAL HEIGHT GUARDRAIL.
 - FULL HEIGHT GUARDRAIL.
 - EXISTING FACE BRICK.
 - EXISTING STONE VENEER.
 - NEW EXTERIOR WINDOWS AND DOORS TYP.
 - BALCONY PRIVACY PARTITIONS.
 - WOOD GLULAM ROOF FRAMING BEAMS.
 - MECHANICAL EXHAUST LOUVER.
 - GARAGE DOOR.
 - EXISTING FACE BRICK HEADERS.
 - NEW EXHAUST LOUVERS. VERIFY SIZES & LOCATIONS.
 - REFINISHED METAL HORIZONTAL BAND/ FLASHING.
 - NEW ENTRANCE CANOPY - SEE 7A300.
 - RETAINING WALLS, GUARDRAILS & ENTRY DRIVE/WELL.
 - SUSPENDED BALCONY.
 - ALCOVE BALCONY.
 - ROOF DRAIN OVERFLOW PIPE THRU WALL - SEE PLUMBING.
 - AWNING - VERIFY MATERIAL.
 - OVERFLOW THRU WALL SCUPPER.
 - CODE COMPLIANT (<4" SPACES) STEEL GUARDRAIL.
- NEW BRICK & SIDING:**
- | | | | |
|----|----------|----|------------------|
| B1 | BRICK 1 | B2 | BRICK 2 |
| S1 | SIDING 1 | S2 | SIDING 2 (METAL) |

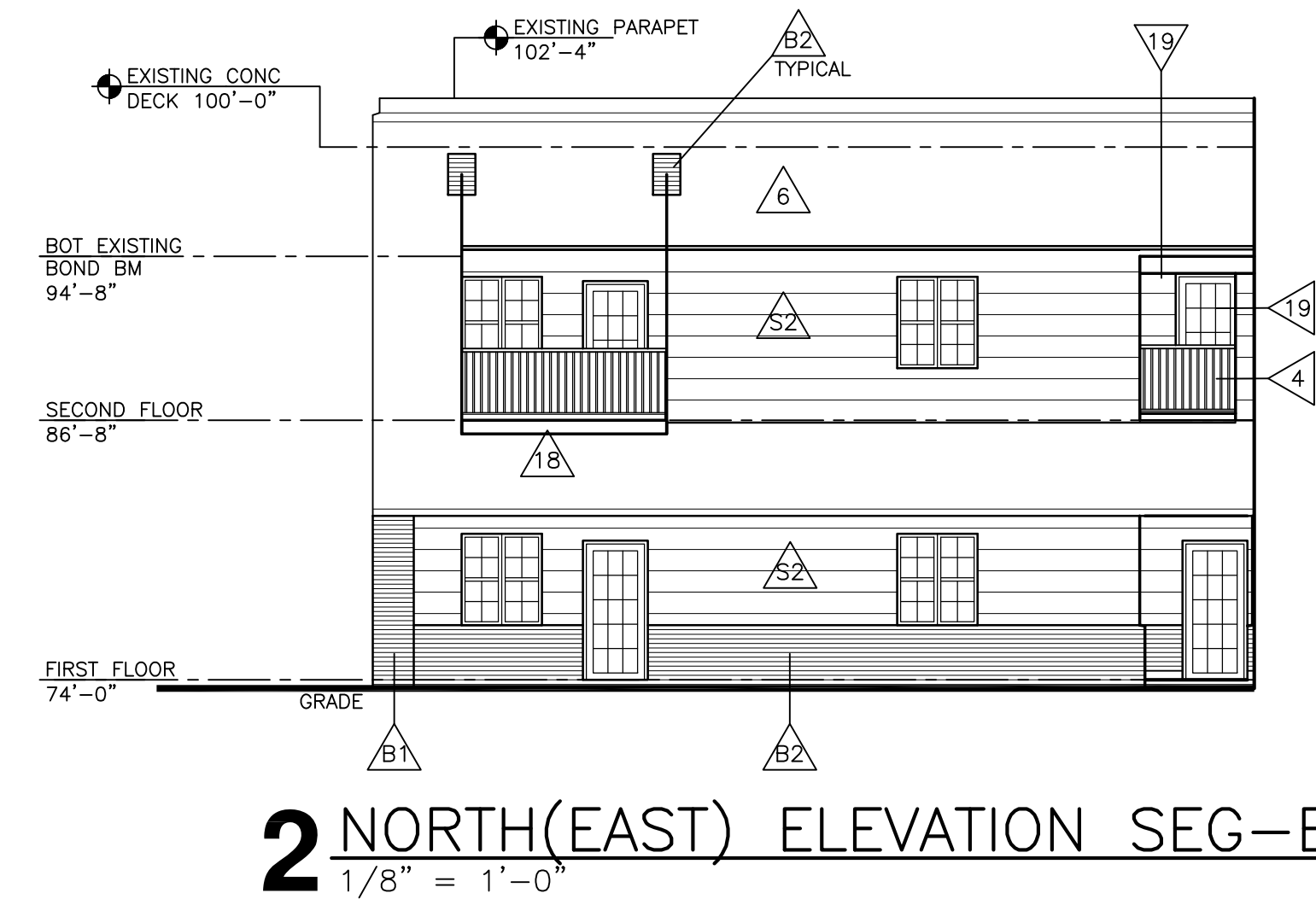


2 WEST ELEVATION SEG-A
1/8" = 1'-0"

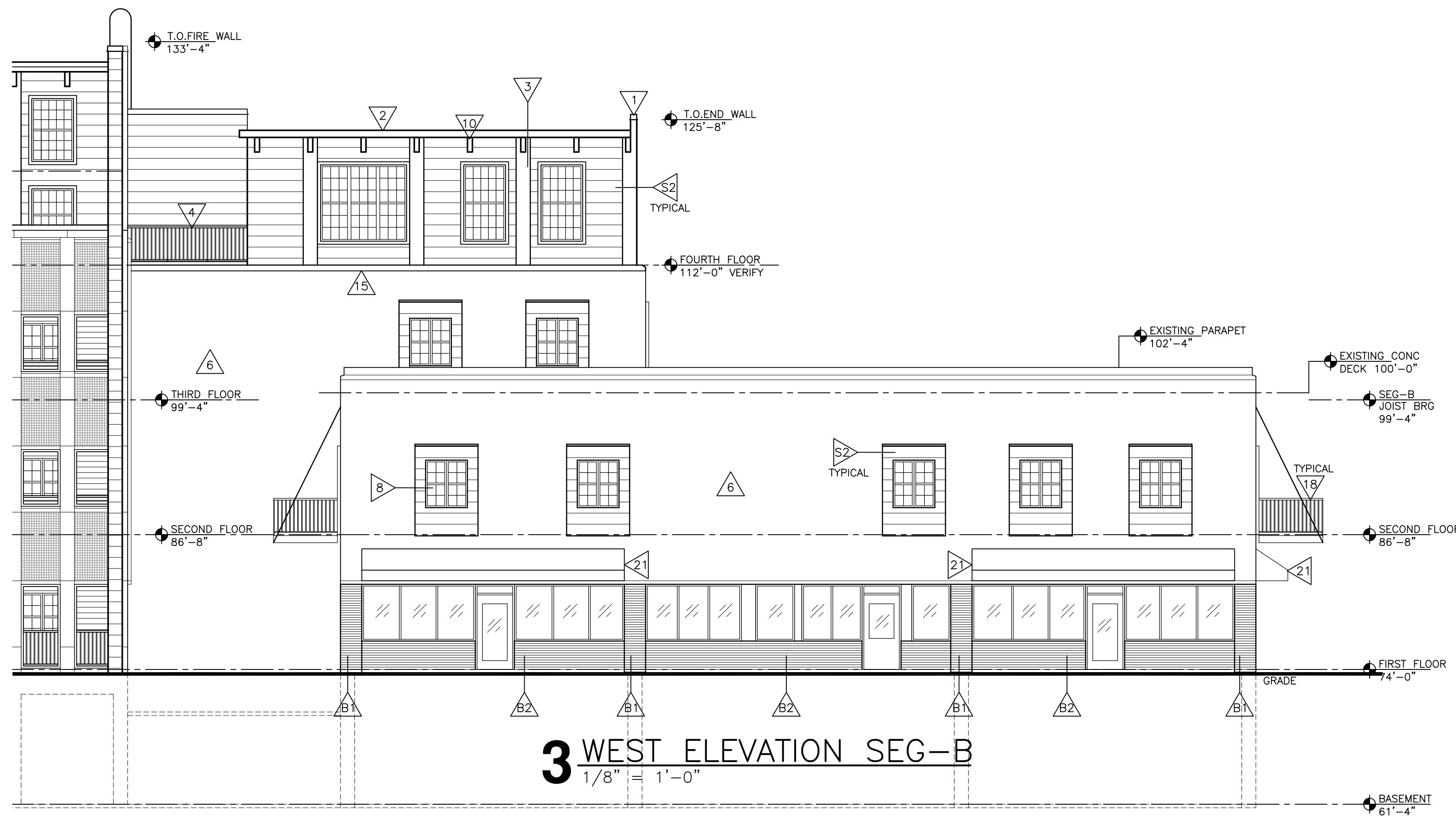




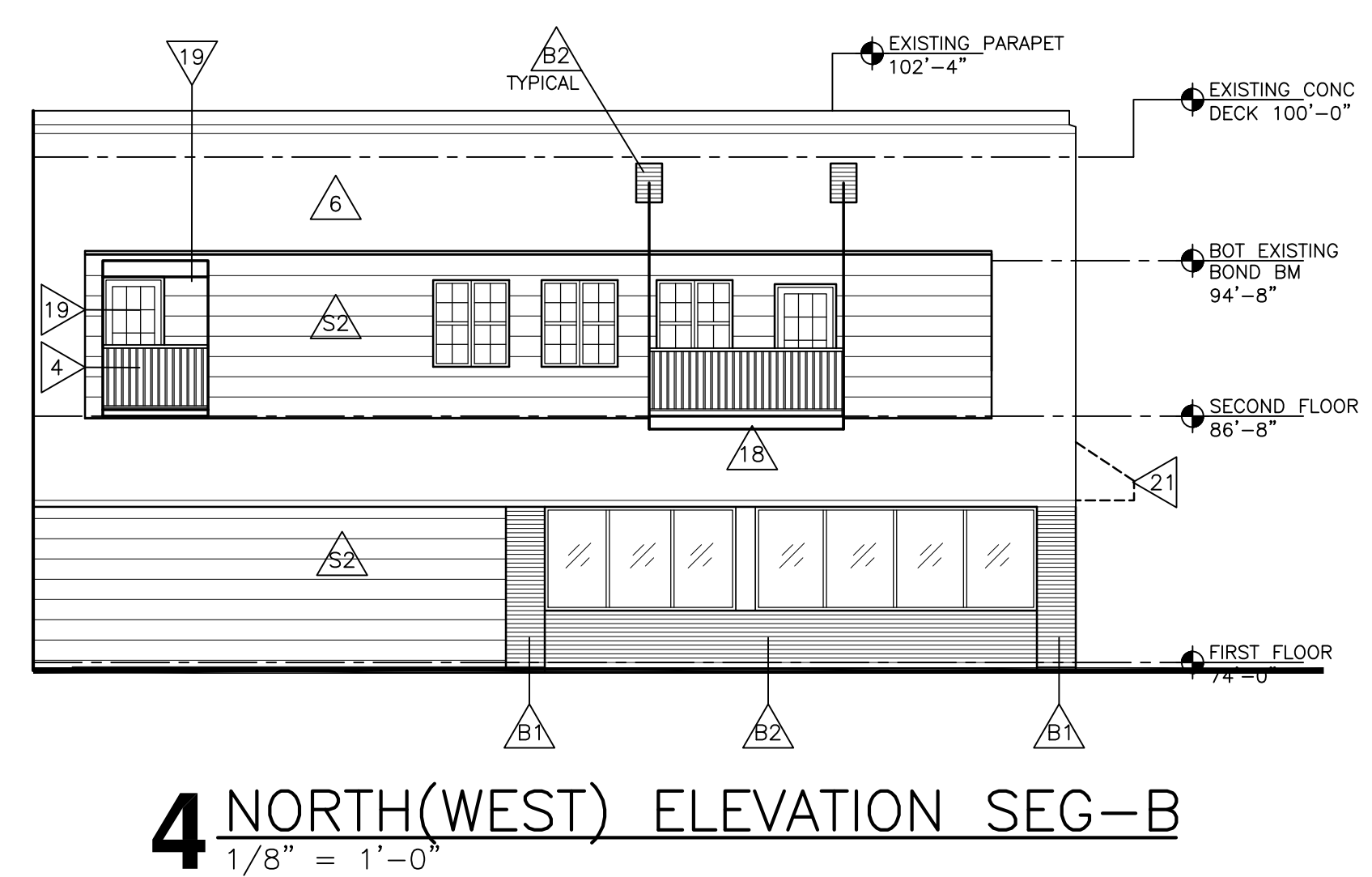
1 EAST ELEVATION SEG-B
1/8" = 1'-0"



2 NORTH(EAST) ELEVATION SEG-B
1/8" = 1'-0"



3 WEST ELEVATION SEG-B
1/8" = 1'-0"



4 NORTH(WEST) ELEVATION SEG-B
1/8" = 1'-0"

BUILDING ELEVATION GEN. NOTES:

- A. FIELD VERIFY EXISTING CONDITIONS, BRING ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS TO THE ARCHITECT'S ATTENTION.
- B. FURRING FOR METAL PANEL SYSTEM SHALL BE ATTACHED AT MORTAR JOINTS, NOT THROUGH MASONRY UNITS.
- C. EXISTING WINDOW FRAMES TO REMAIN AT SEG-A RECESSED BALCONIES, WRAP W/ PREFINISHED METAL WRAP.

BUILDING ELEVATION KEY NOTES:

- 1> PREFINISHED METAL CAP FLASHING.
- 2> PREFINISHED METAL FASCIA WRAP.
- 3> PREFINISHED METAL VERTICAL "COLUMN" PIECE.
- 4> PARTIAL HEIGHT GUARDRAIL.
- 5> FULL HEIGHT GUARDRAIL.
- 6> EXISTING FACE BRICK.
- 7> EXISTING STONE VENER.
- 8> NEW EXTERIOR WINDOWS AND DOORS TYP.
- 9> BALCONY PRIVACY PARTITIONS.
- 10> WOOD GLULAM ROOF FRAMING BEAMS.
- 11> MECHANICAL EXHAUST LOUVER.
- 12> GARAGE DOOR.
- 13> EXISTING FACE BRICK HEADERS.
- 14> NEW EXHAUST LOUVERS. VERIFY SIZES & LOCATIONS.
- 15> PREFINISHED METAL HORIZONTAL BAND/ FLASHING.
- 16> NEW ENTRANCE CANOPY - SEE 7A300.
- 17> RETAINING WALLS, GUARDRAILS & ENTRY DRIVE/WELL.
- 18> SUSPENDED BALCONY.
- 19> ALCOVE BALCONY.
- 20> ROOF DRAIN OVERFLOW PIPE THRU WALL - SEE PLUMBING.
- 21> AWNING - VERIFY MATERIAL.
- 22> OVERFLOW THRU WALL SCUPPER.

NEW BRICK & SIDING:

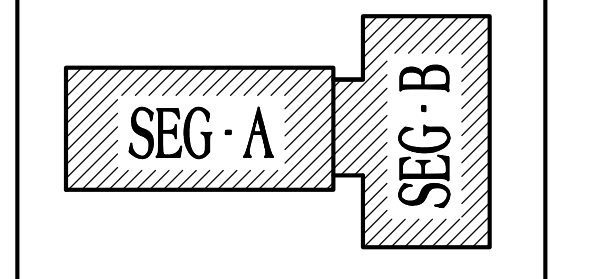
- B1> BRICK 1
- B2> BRICK 2
- S1> SIDING 1
- S2> SIDING 2 (METAL)

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN

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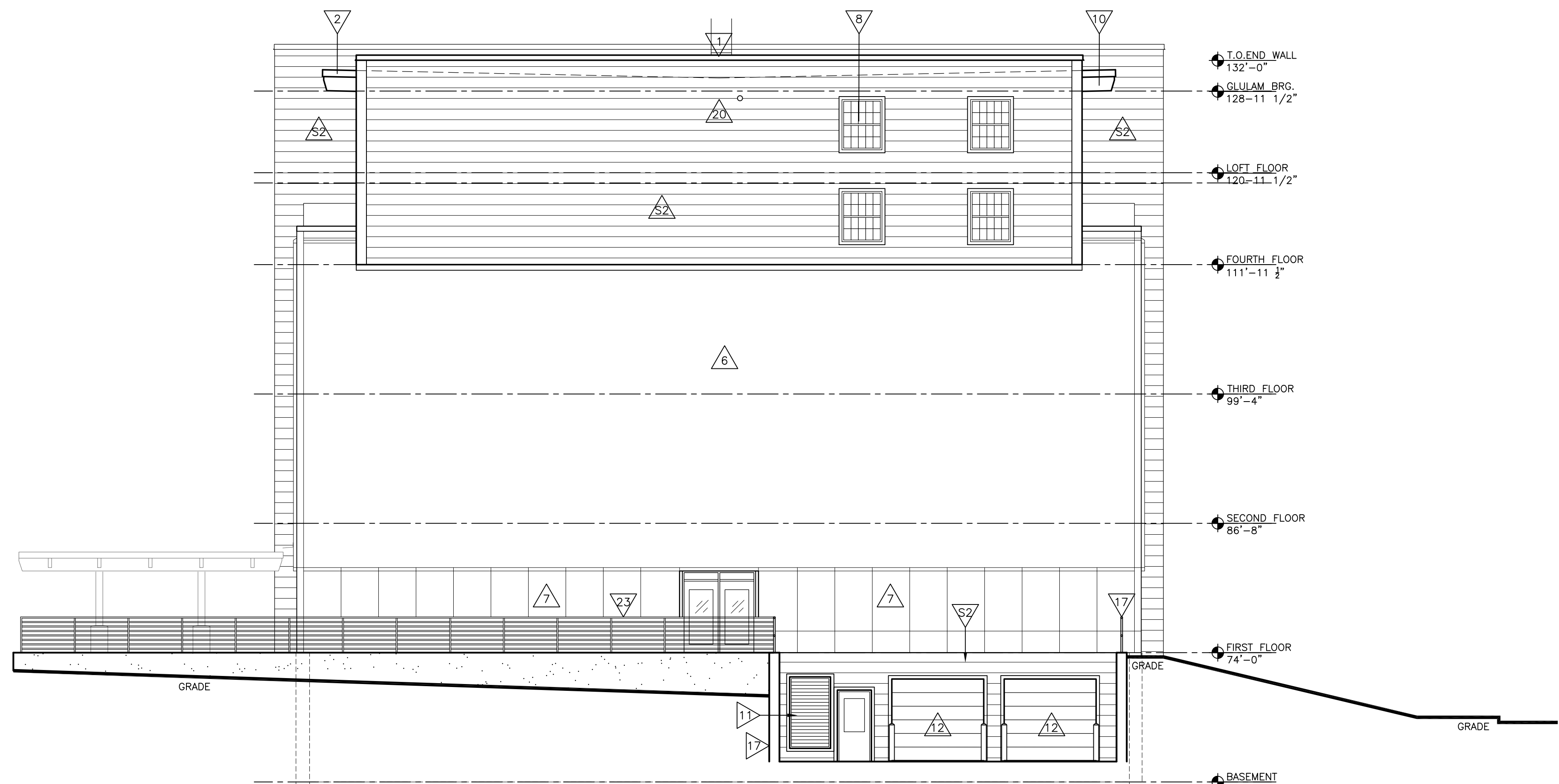
Project Title: **THE HUB ON 6TH**
Project Location: **415 NORTH 6TH STREET
LA CROSSE, WISCONSIN**
Sheet Title: **BUILDING ELEVATIONS**

HSR Project Number: **18031**
Project Date: **APRIL 2017**
Drawn By: **tkampa**
Key Plan:



Last Update: **4/17/2017**

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1 NORTH ELEVATION SEG-A
 1/8" = 1'-0"

BUILDING ELEVATION GEN. NOTES:

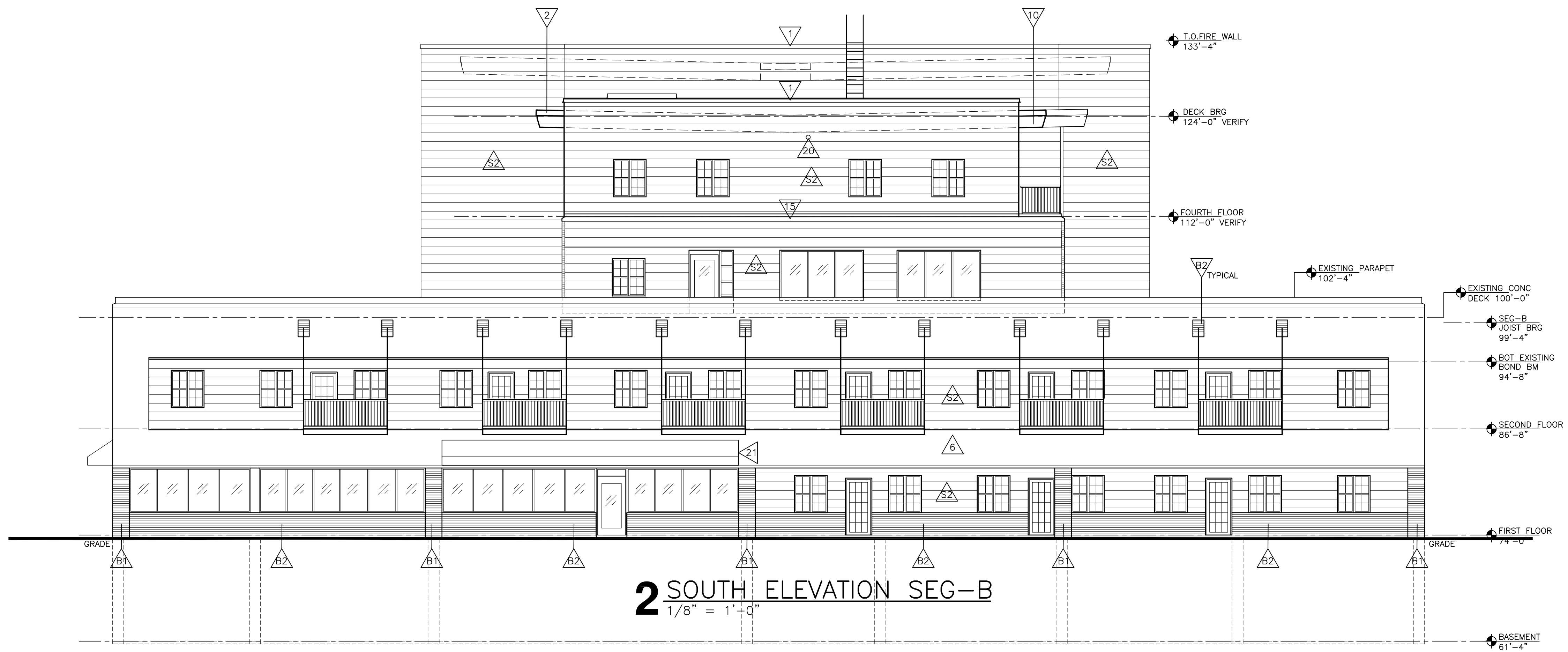
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- 21> AWNING - VERIFY MATERIAL.
- 22> OVERFLOW THRU WALL SCUPPER.
- 23> CODE COMPLIANT (<4" SPACES) STEEL GUARDRAIL.

NEW BRICK & SIDING:

- B1> BRICK 1
- B2> BRICK 2
- S1> SIDING 1
- S2> SIDING 2 (METAL)



2 SOUTH ELEVATION SEG-B
 1/8" = 1'-0"

