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CONTACT INFORMATION

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Director, Real Estate Development
Impact Seven

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UNITS	
1 BEDROOM	14
2 BEDROOMS	16
3 BEDROOMS	14
TOTAL UNITS	44
PARKING	
SEMI-COVERED	17
SURFACE PARKING	28
TOTAL	42
BICYCLE PARKING	
REQUIRED RESIDENT SPACES (1 space per 3 BEDROOMS)	30
TOTAL REQUIRED SPACES	30
TOTAL AVAILABLE SPACES	40
STORAGE	
INDOOR RESIDENT SPACES	
LEVEL 1 (3'x6'x8" STORAGE LOCKERS)	17
LEVEL 2 (3'x6'x8" STORAGE LOCKERS)	27
TOTAL	44

Garden Terrace – Multifamily Apartments

LA CROSSE, WISCONSIN



**Garden Terrace -
Multifamily Apartments**

733 Kane Street
La Crosse, WI 54603
Impact La Crosse, LLC
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

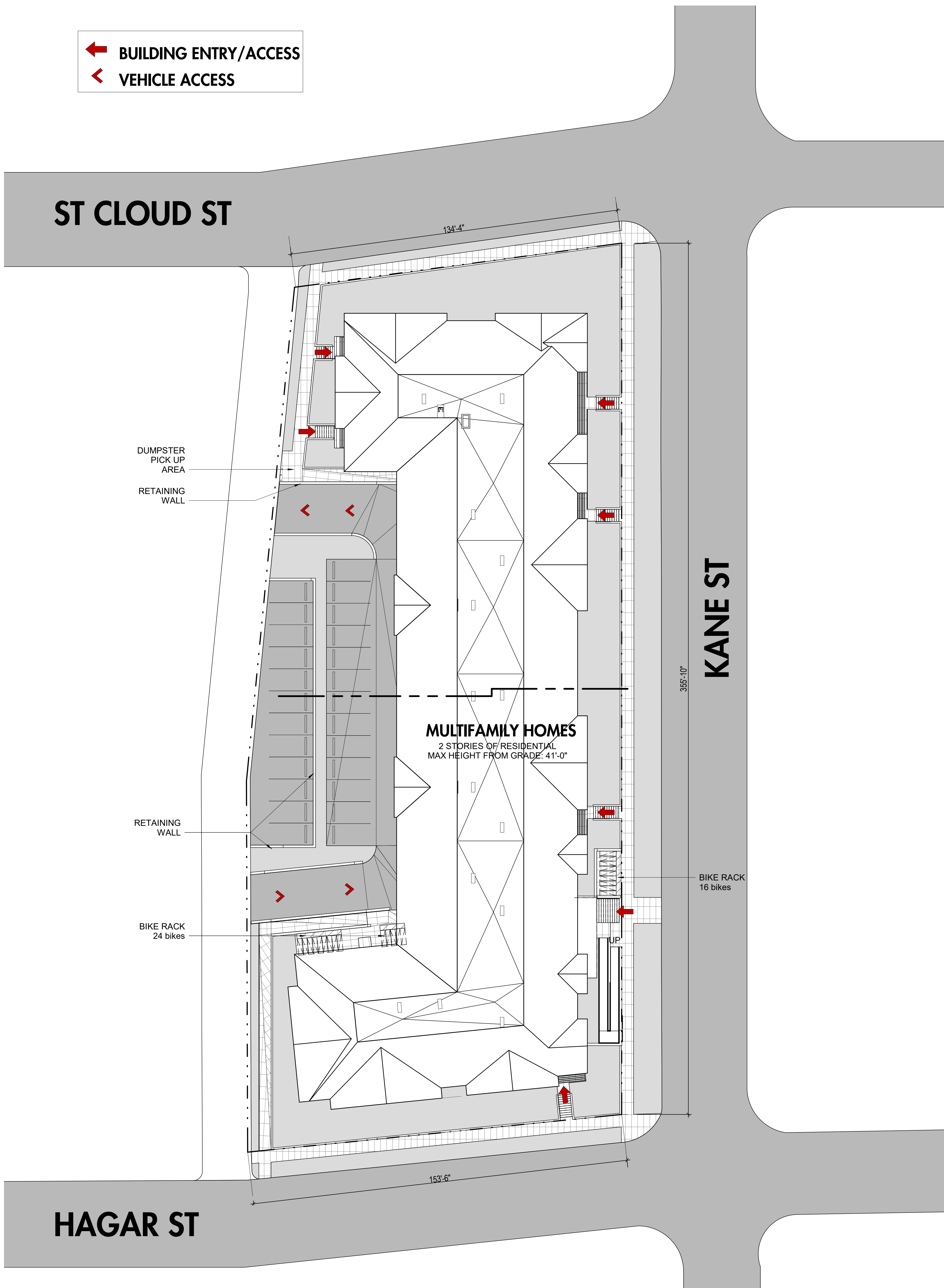
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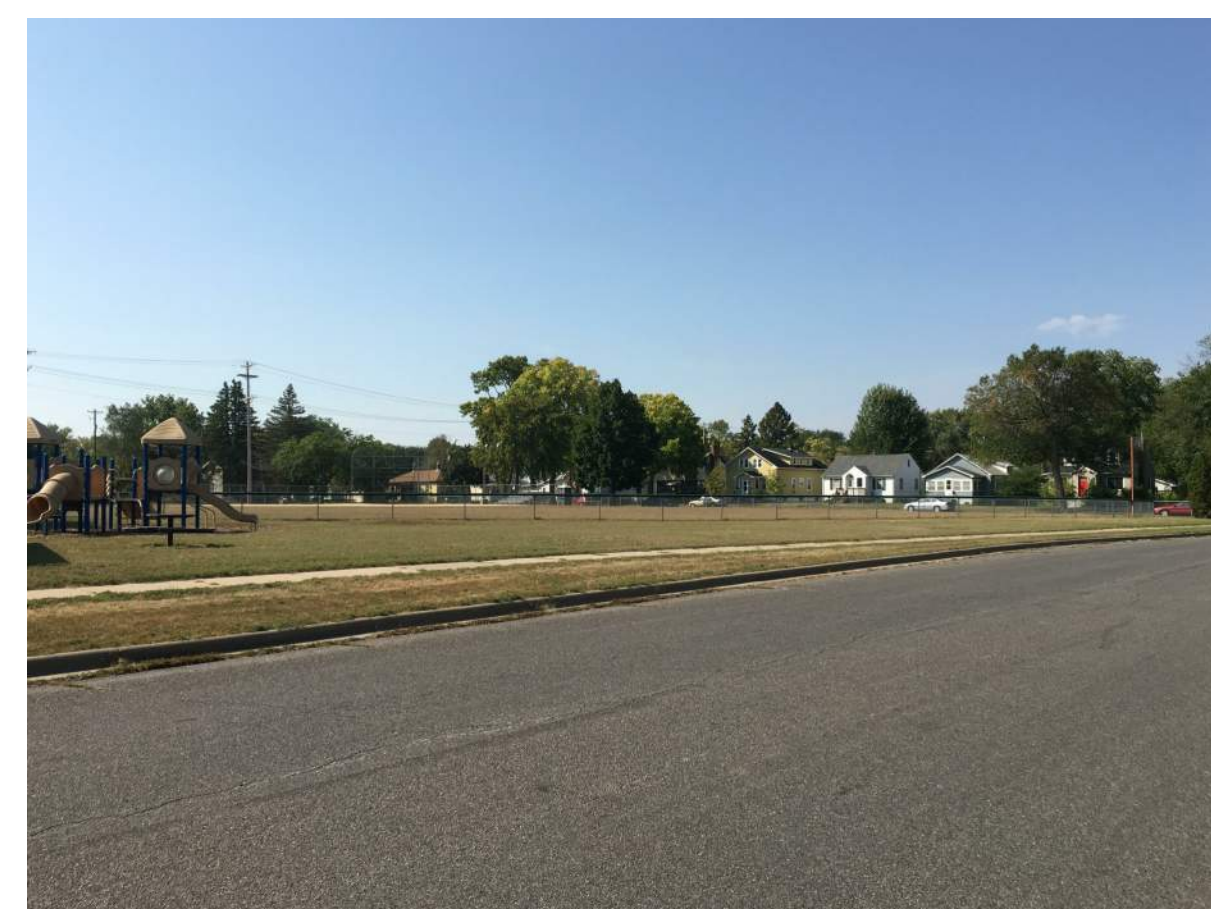
VICINITY PLAN

ISSUED FOR:
CITY REVIEW SET 12-01-2017

REVISION FOR:
NO. DESCRIPTION DATE



1 SITE PLAN
SCALE: 1" = 20'-0"



SITE PHOTOS

**CITY REVIEW SET - NOT FOR
CONSTRUCTION**

DRAWN BY _____ Author
CHECKED BY _____ Checker

**ARCHITECTURAL
SITE PLAN & SITE
PHOTOS**



CITY OF
LA CROSSE, WI

LOCATION MAP

SCALE IN FEET
0 100 200

**PROJECT
ADDRESS / LOCATION:
733 KANE STREET
LA CROSSE, WI 54603**

**SECTION/TOWNSHIP/RANGE
SEC 29 / TWP 16 / R 7**

LA CROSSE, WISCONSIN

PROJECT GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
2. CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
5. DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
6. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
7. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
8. THE LOCATION AND TYPE OF ALL IN PLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL IN PLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
9. THE CONTRACTOR IS TO CONTRACT "DIGGER'S HOTLINE" FOR UTILITY LOCATIONS. MINIMUM 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (811 OR 1-800-242-8511).

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LA CROSSE STANDARD SPECIFICATIONS, CURRENT EDITION, WISDOT STANDARD SPECIFICATIONS, 2017 EDITION, WISDOT CONSTRUCTION AND MATERIALS MANUAL, CURRENT EDITION, WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES STATE PLUMBING CODE, CURRENT EDITION, AND STANDARD SPECIFICATION FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, 6th EDITION, UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 2011 ADJUSTMENT (NAD83/2011) ON THE LA CROSSE COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED ON 9/16, 1/17, & 1/17 BY ISG.

B.M. ELEVATION=644.08

TOP NUT OF FIRE HYDRANT LOCATED ON THE NORTHEAST CORNER OF THE INTERSECTION OF KANE ST AND HAGAR ST

LEGEND

EXISTING	
---	CITY LIMITS
---	SECTION LINE
---	QUARTER SECTION LINE
---	RIGHT OF WAY LINE
---	PROPERTY / LOTLINE
---	EASEMENT LINE
---	ACCESS CONTROL
---	WATER EDGE
---	WETLAND BOUNDARY
---	WETLAND / MARSH
---	FENCE LINE
---	CULVERT
---	STORM SEWER
---	SANITARY SEWER
---	SANITARY SEWER FORCEMAIN
---	WATER
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	UNDERGROUND TV
---	OVERHEAD UTILITY
---	UNDERGROUND UTILITY
---	UNDERGROUND FIBER OPTIC
---	900 CONTOUR (MAJOR)
---	989 CONTOUR (MINOR)
---	DECIDUOUS TREE
---	CONIFEROUS TREE
---	TREE LINE
---	MANHOLE/STRUCTURE
---	CATCH BASIN
---	HYDRANT
---	VALVE
---	CURB STOP
---	POWER POLE
---	UTILITY PEDESTAL / CABINET

PROPOSED

---	LOT LINE
---	RIGHT OF WAY
---	EASEMENT
---	CULVERT
---	STORM SEWER
---	STORM SEWER (PIPE WIDTH)
---	SANITARY SEWER
---	SANITARY SEWER (PIPE WIDTH)
---	WATER
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TV
---	1015 CONTOUR
---	MANHOLE
---	CATCH BASIN
---	HYDRANT
---	VALVE

CIVIL SHEET INDEX

Sheet List Table

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**Garden Terrace -
Townhomes**

733 Kane Street
La Crosse, WI 54603
Owner
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 17-19647

ISSUED FOR: CITY REVIEW SET 12/01/17

REVISION FOR: NO. DESCRIPTION DATE

GARDEN TERRACE
MULTIFAMILY APARTMENTS -
KANE ST

DRAWN BY CLF

CHECKED BY KBR

SITE DATA

**Garden Terrace -
Multifamily Apartments**

733 Kane Street
La Crosse, WI 54603
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**GARDEN TERRACE
MULTIFAMILY APARTMENTS -
KANE ST**

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**EROSION CONTROL PLAN
(EXISTING CONDITIONS)**

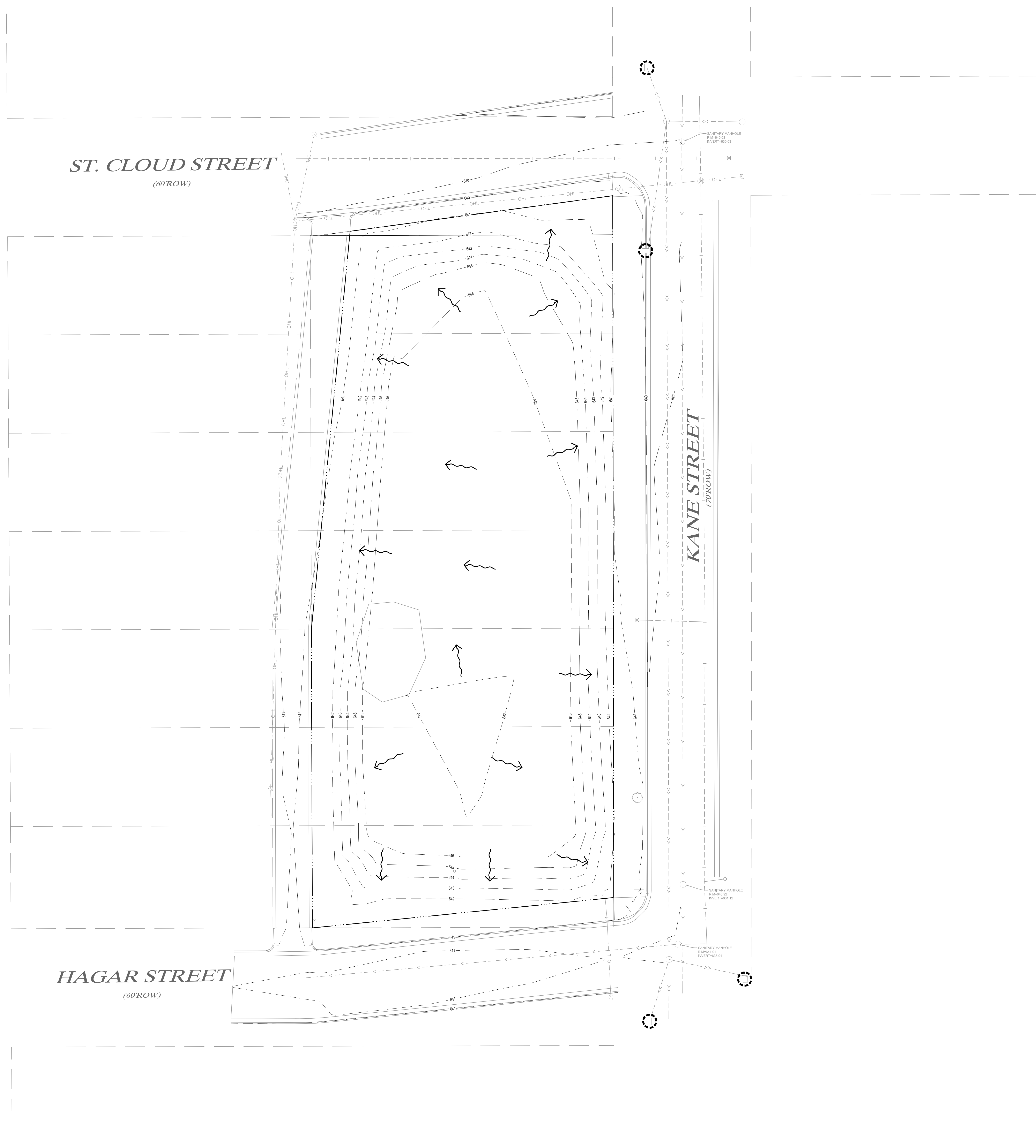
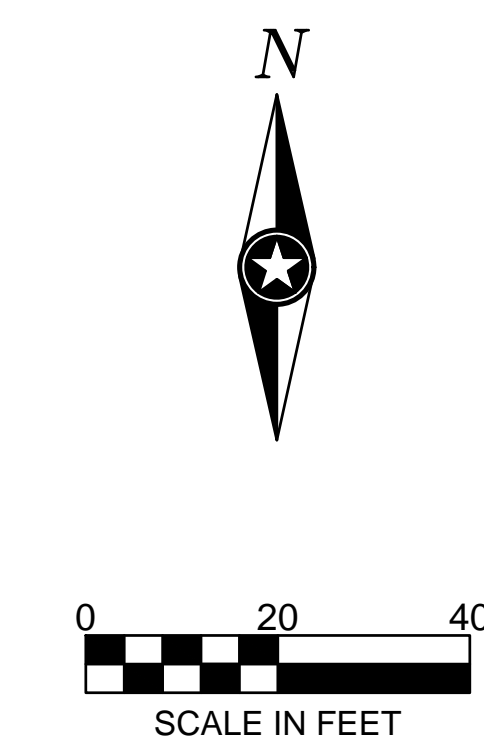
EROSION CONTROL LEGEND			
SYMBOL	DESCRIPTION	UNITS	QUANTITY
	EXISTING STORM DRAIN INLET PROTECTION	EACH	4
	EXISTING DRAINAGE ARROW		
	EXISTING CONTOUR (MINOR INTERVAL)		
	EXISTING CONTOUR (MAJOR INTERVAL)		

QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.

THE QUANTITIES SHOWN ARE TOTAL FOR THE ENTIRE PROJECT NOT SPECIFIC TO THIS SHEET.

SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT

NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS EROSION CONTROL PLAN INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.



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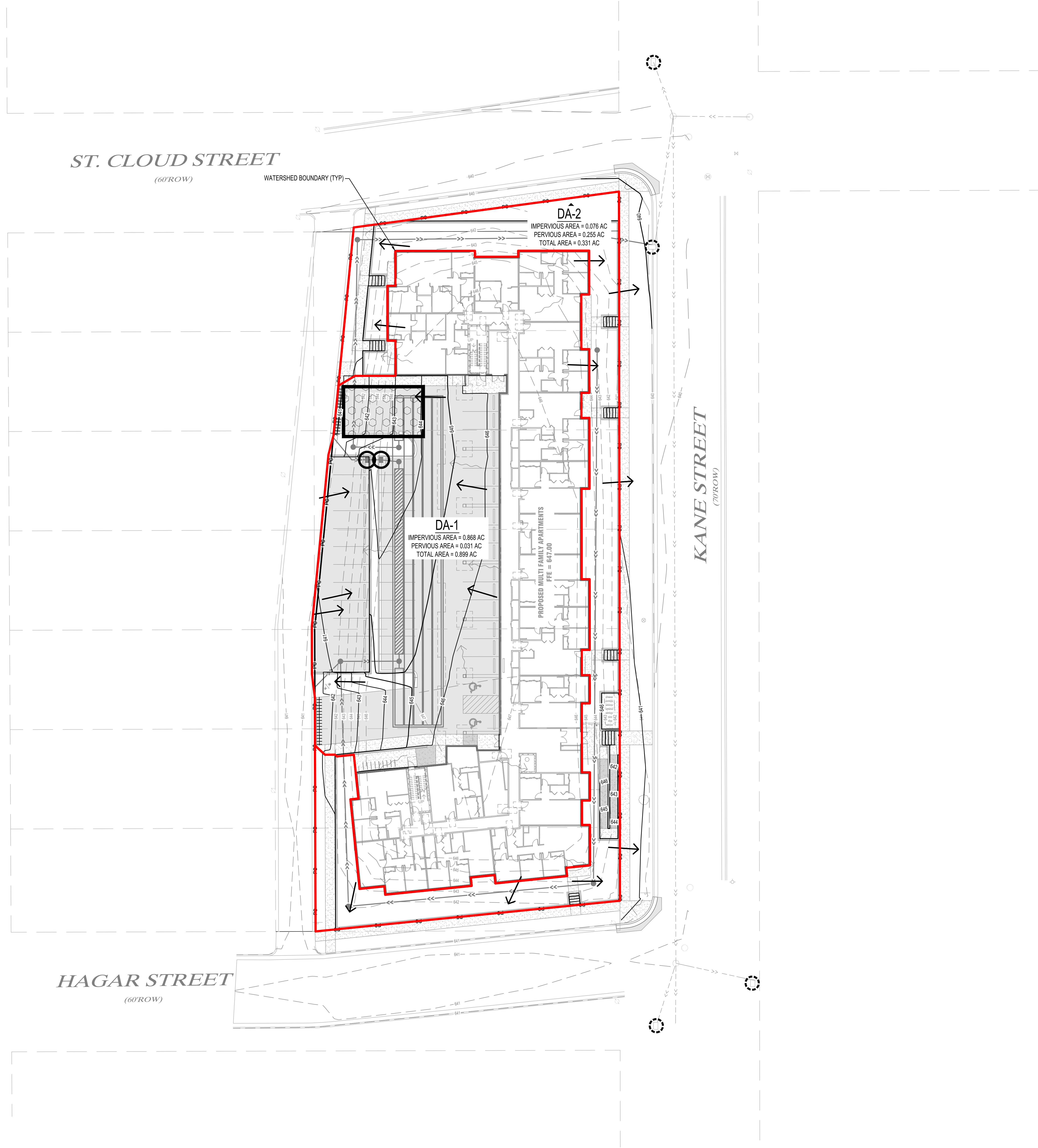
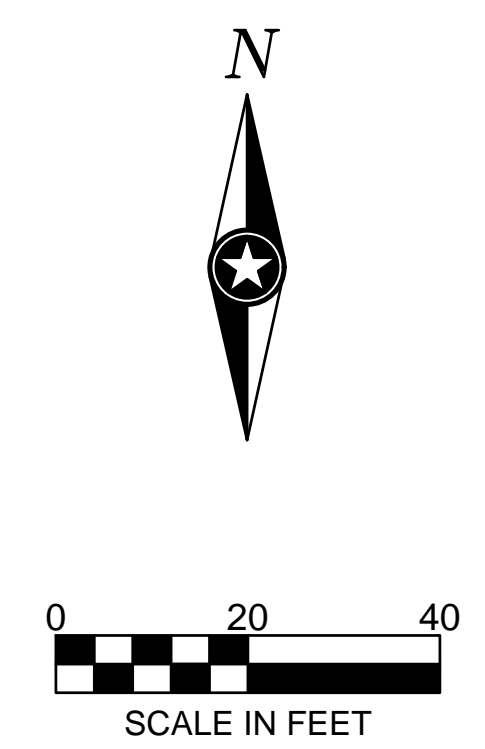
**GARDEN TERRACE
MULTIFAMILY APARTMENTS -
KANE ST**

DRAWN BY CLF
CHECKED BY KBR

**EROSION CONTROL PLAN
(PROPOSED CONDITIONS)**

EROSION CONTROL LEGEND			
SYMBOL	DESCRIPTION	UNITS	QUANTITY
— PC —	PERIMETER CONTROL	LF	1000
⊙	EXISTING STORM DRAIN INLET PROTECTION	EACH	4
○	PROPOSED STORM DRAIN INLET PROTECTION	EACH	2
	BIO-ROLL	LF	50
⊠	STABILIZED CONSTRUCTION EXIT	EACH	1
↗	EXISTING DRAINAGE ARROW		
↖	PROPOSED DRAINAGE ARROW		
- - - 101 - - -	EXISTING CONTOUR (MINOR INTERVAL)		
- - - 100 - - -	EXISTING CONTOUR (MAJOR INTERVAL)		
— 101 —	PROPOSED CONTOUR (MINOR INTERVAL)		
— 100 —	PROPOSED CONTOUR (MAJOR INTERVAL)		

PERIMETER CONTROL CAN BE SILT FENCE, BIO-ROLL OR WOOD MULCH.
 QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.
 THE QUANTITIES SHOWN ARE TOTAL FOR THE ENTIRE PROJECT NOT SPECIFIC TO THIS SHEET.
 SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT
 NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS EROSION CONTROL PLAN INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.



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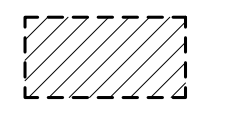
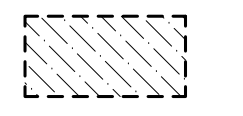
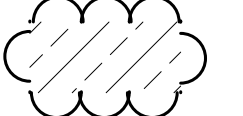
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**GARDEN TERRACE
MULTIFAMILY APARTMENTS -
KANE ST**

DRAWN BY CLF
CHECKED BY KBR

**EXISTING SITE &
REMOVAL PLAN**

REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE SIDEWALK
	CLEAR & GRUB TREES & UNDERBRUSH

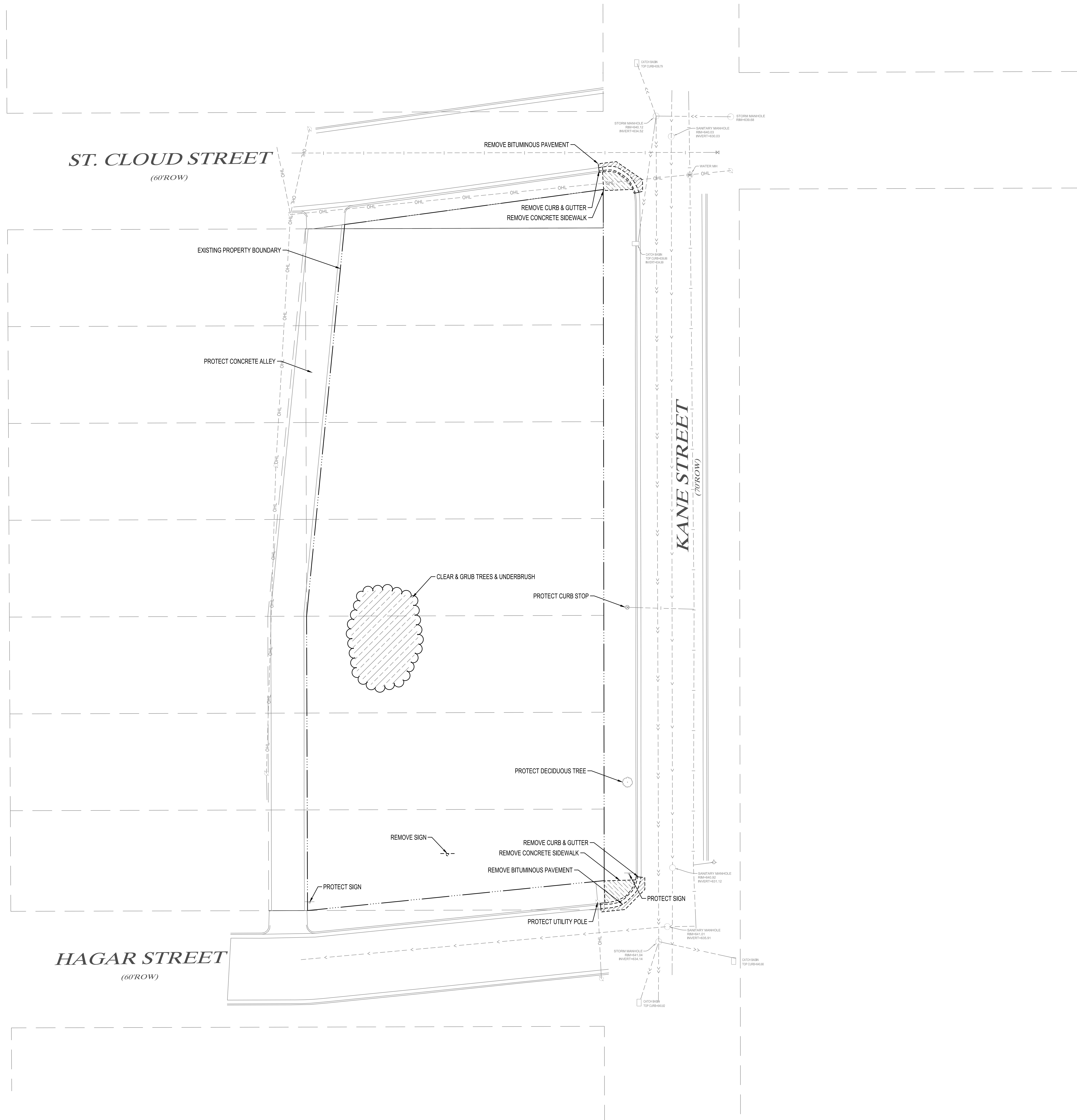
CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT & SECTION REMOVAL.

CHARLES STREET
(70'ROW)

ST. CLOUD STREET
(60'ROW)

KANE STREET
(70'ROW)

HAGAR STREET
(60'ROW)





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**GARDEN TERRACE
MULTIFAMILY APARTMENTS -
KANE ST**

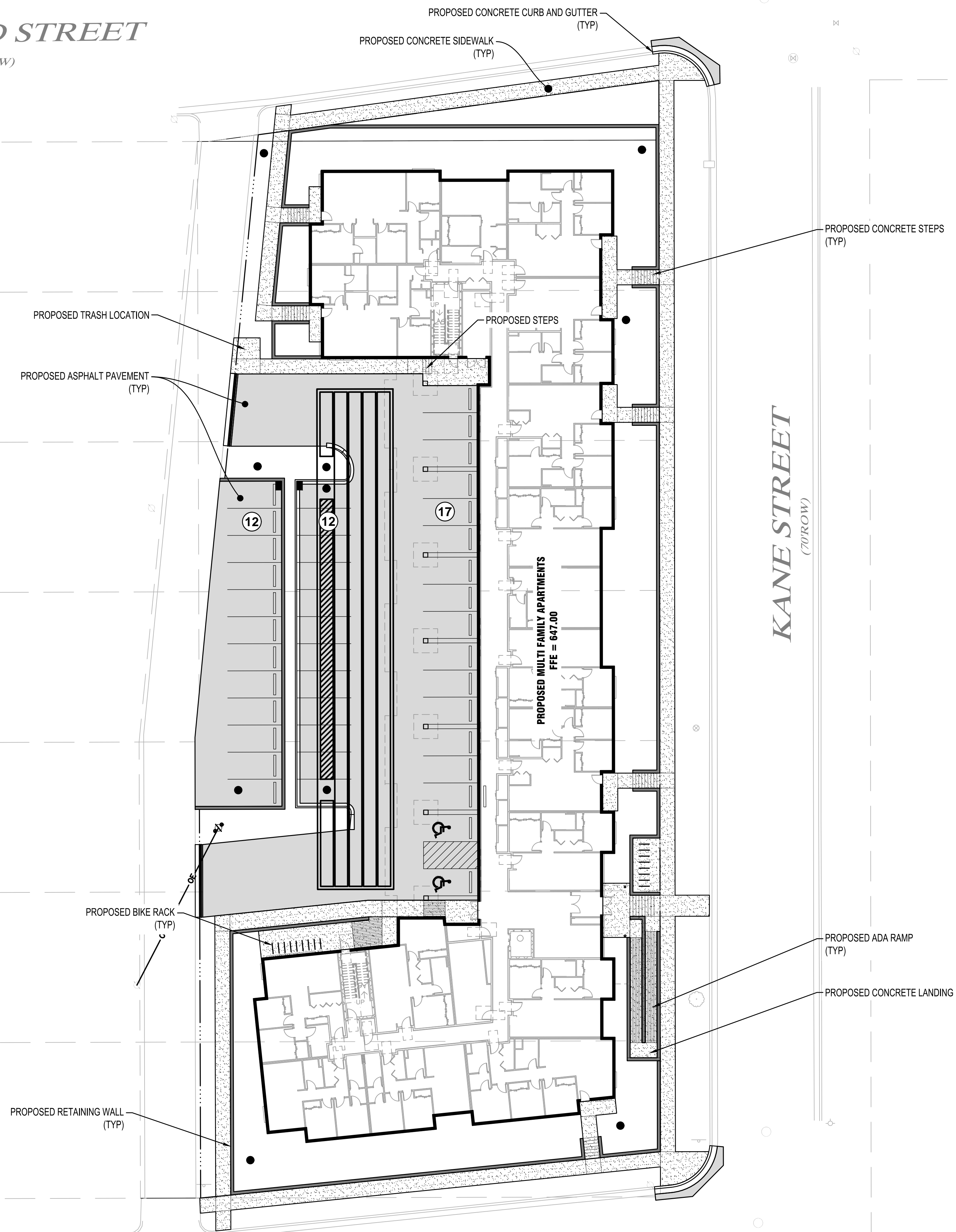
DRAWN BY CLF
CHECKED BY KBR

PROPOSED SITE PLAN

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK

CHARLES STREET
(70'ROW)

ST. CLOUD STREET
(60'ROW)



KANE STREET
(70'ROW)

HAGAR STREET
(60'ROW)



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**GARDEN TERRACE
MULTIFAMILY APARTMENTS -
KANE ST**

DRAWN BY CLF
CHECKED BY KBR

**PROPOSED CITY UTILITY
PLAN**

EXISTING		PROPOSED	
--->>---	STORM DRAIN	--->>---	STORM DRAIN
--->---	SANITARY SEWER	--->---	SANITARY SEWER
--- >---	SANITARY SEWER FORCEMAIN	--- >---	SANITARY SEWER FORCEMAIN
--- ---	WATER MAIN	--- ---	WATER MAIN
---G---	GAS	---G---	GAS
---OE---	OVERHEAD ELECTRIC	---OE---	OVERHEAD ELECTRIC
---UE---	UNDERGROUND ELECTRIC	---UE---	UNDERGROUND ELECTRIC
---UT---	UNDERGROUND TELEPHONE	---UT---	UNDERGROUND TELEPHONE
---UTV---	UNDERGROUND TV	---UTV---	UNDERGROUND TV
---OHL---	OVERHEAD UTILITY	---OHL---	OVERHEAD UTILITY
---ULT---	UNDERGROUND UTILITY	---ULT---	UNDERGROUND UTILITY
---FBO---	FIBER OPTIC	---FBO---	FIBER OPTIC

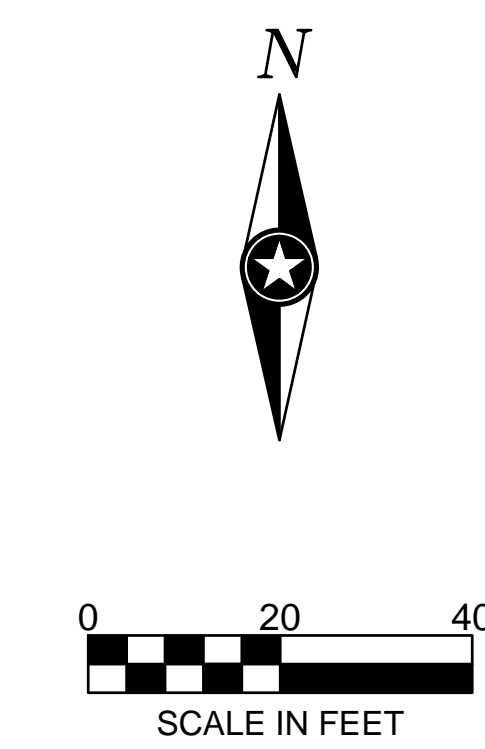
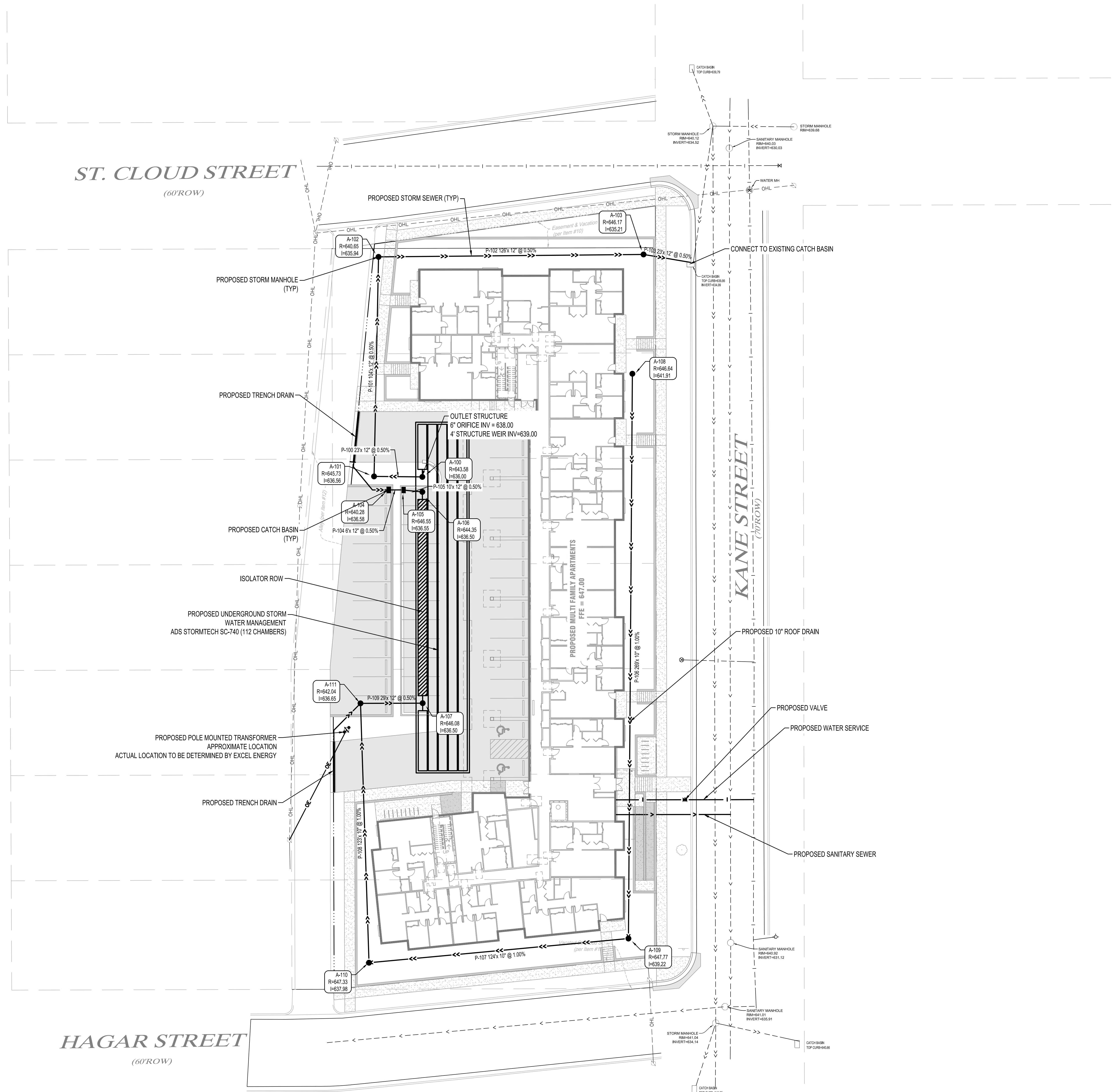
NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

CHARLES STREET
(70' ROW)

ST. CLOUD STREET
(60' ROW)

HAGAR STREET
(60' ROW)

KANE STREET
(70' ROW)



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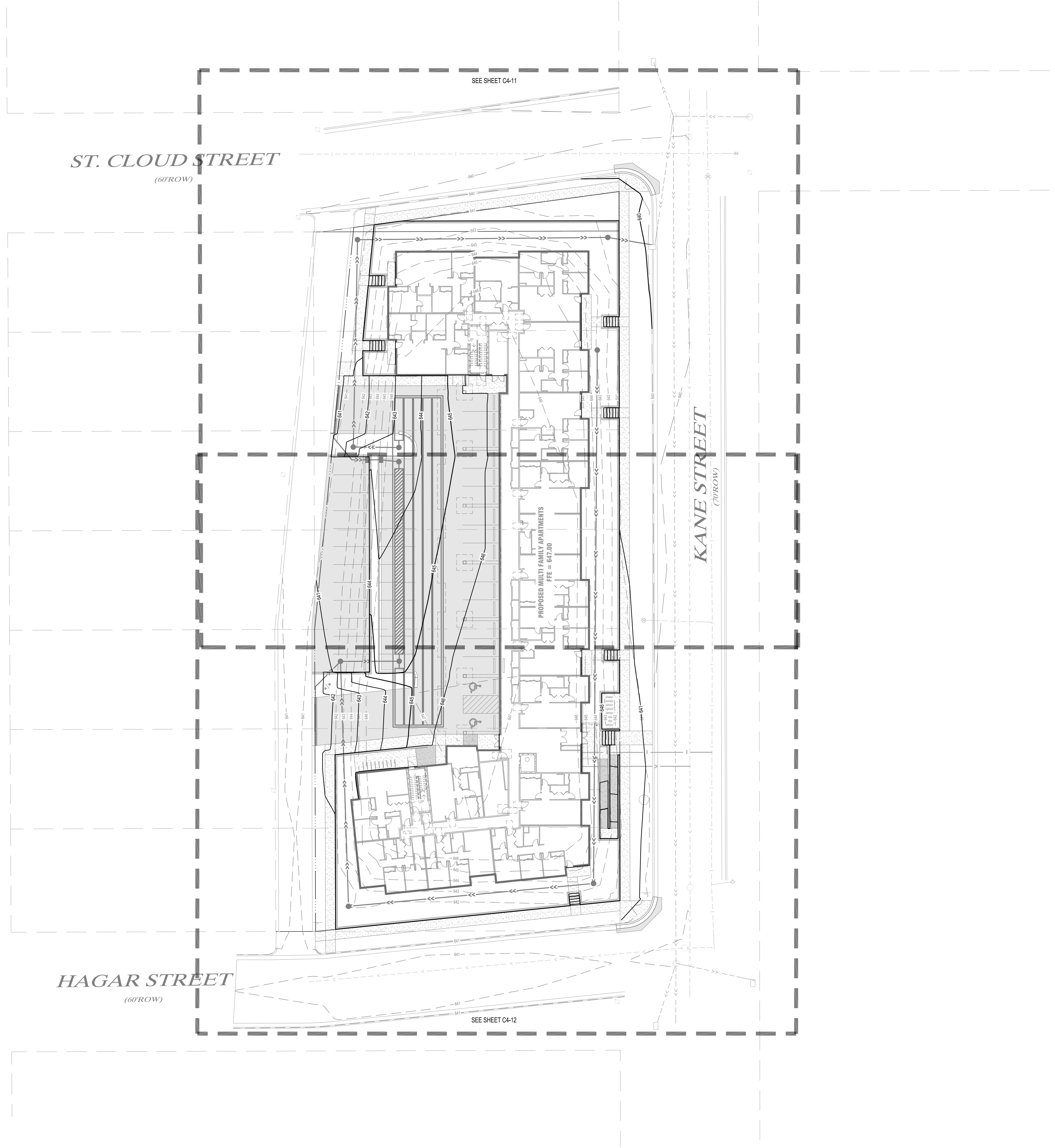
**GARDEN TERRACE -
MULTIFAMILY APARTMENTS -
KANE ST**

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OVERALL GRADING PLAN

GRADING LEGEND	
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)
	PROPOSED SPOT ELEVATION
	PROPOSED TOP BACK OF CURB SPOT ELEVATION
	PROPOSED TOP & BOTTOM ELEVATION
	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES
EXCAVATED MATERIAL SHALL BE COMPACTED TO 100% PROCTOR DENSITY FOR THE UPPER 3' AND 95% PROCTOR DENSITY BELOW 3' IN ALL BUILDING PADS. REFER TO THE QUALITY COMPACTION METHOD IN ALL OTHER AREAS.
PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED.



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**GARDEN TERRACE -
MULTIFAMILY APARTMENTS -
KANE ST**

DRAWN BY CWT
CHECKED BY KBR

PLANTING PLAN

PLANT SCHEDULE					
OVERSTORY	QTY	COMMON NAME	SIZE	ROOT	NOTE
	12	Columnar Norway Maple Acer platanoides 'Columnare'	3" cal. DBH	B & B	
	6	Sentry American Linden Tilia americana 'Sentry'	3" cal. DBH	B & B	
	6	Street Keeper Honeylocust Gleditsia triacanthos 'Draves'	3" cal. DBH	B & B	
	3	Swamp White Oak Quercus bicolor	3" cal. DBH	B & B	
UNDERSTORY	QTY	COMMON NAME	SIZE	ROOT	NOTE
	7	Ironwood (Hophornbeam) (clump) Ostrya virginiana	8' HT	B & B	Clump
	1	Pagoda Dogwood Cornus alternifolia	2" Cal. DBH	B & B	Single-trunk
	4	Prairie Rose Crabapple Malus x 'Prairie Rose'	2" Cal. DBH	B & B	
	2	'Autumn Brilliance' Serviceberry Amelanchier x grandiflora 'Autumn Brilliance'	2" Cal. DBH	B & B	
CON. SHRUBS	QTY	COMMON NAME	SIZE	ROOT	NOTE
	42	Sea Green Juniper Juniperus chinensis 'Sea Green'	24" HL	Cont	
DEC. SHRUBS	QTY	COMMON NAME	SIZE	ROOT	NOTE
	23	Arctic Fire Dogwood Cornus stolonifera 'Arctic Fire'	24" HL	Cont	
	13	Cranberry Cotoneaster Cotoneaster apiculatus	16" HT	Cont	
	40	Dwarf Bush Honeysuckle Diervilla lonicera	24" HL	Cont	
	40	Firedance Dogwood Cornus sericea 'Balladine'	24" HL	Cont	
	31	Summer Wine Ninebark Physocarpus opulifolius 'Summer Wine'	24" HL	Cont	

UTILITY LOCATIONS SHOWN ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES
ON-SITE PRIOR TO CONSTRUCTION.

CITY LANDSCAPE REQUIREMENTS

AS REQUIRED IN THE CITY OF LA CROSSE, WISCONSIN ZONING CODE.

11,367 SF = LANDSCAPED AREA
643 LF = LOT FRONTAGE

16 TREES REQUIRED
CODE: 1 TREE PER 40 LF OF LOT FRONTAGE
(643 LF / 40 = 16.1 OR 16 TREES)

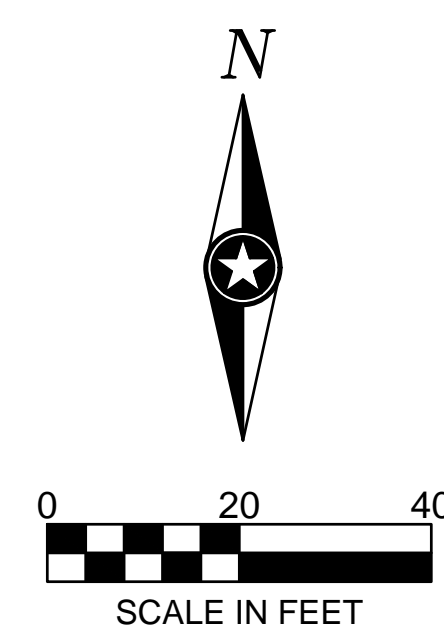
PLUS
16 TREES REQUIRED
CODE: 1 TREE PLACED IN BOULEVARD PER 40 LF OF LOT FRONTAGE
(643 LF / 40 = 16.1 OR 16 BOULEVARD TREES)

PLUS
19 TREES REQUIRED
CODE: 1 TREE PER 600 SF OF LANDSCAPED AREA
(11,367 SF / 600 = 18.9 OR 19 TREES)

PLUS
189 SHRUBS REQUIRED
CODE: 10 SHRUBS PER 600 SF OF LANDSCAPED AREA
(11,367 SF / 600 x 10 = 189 SHRUBS)

TOTAL PLANT REQUIREMENTS
51 TREES
189 SHRUBS

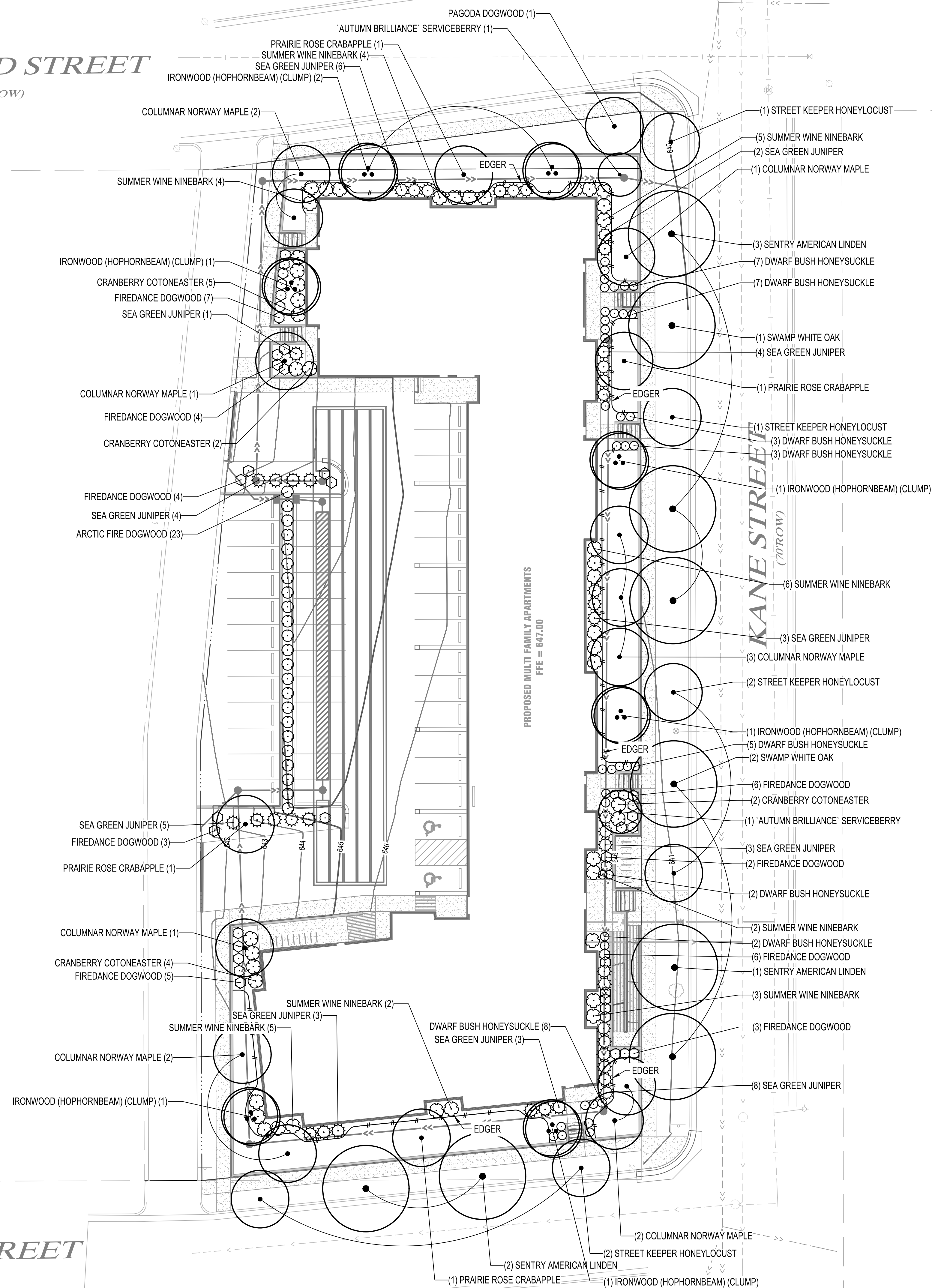
TOTAL PLANTS SHOWN ON PLAN
41 TREES
189 SHRUBS



ST. CLOUD STREET
(60' ROW)

CHARLES STREET
(70' ROW)

HAGAR STREET
(60' ROW)





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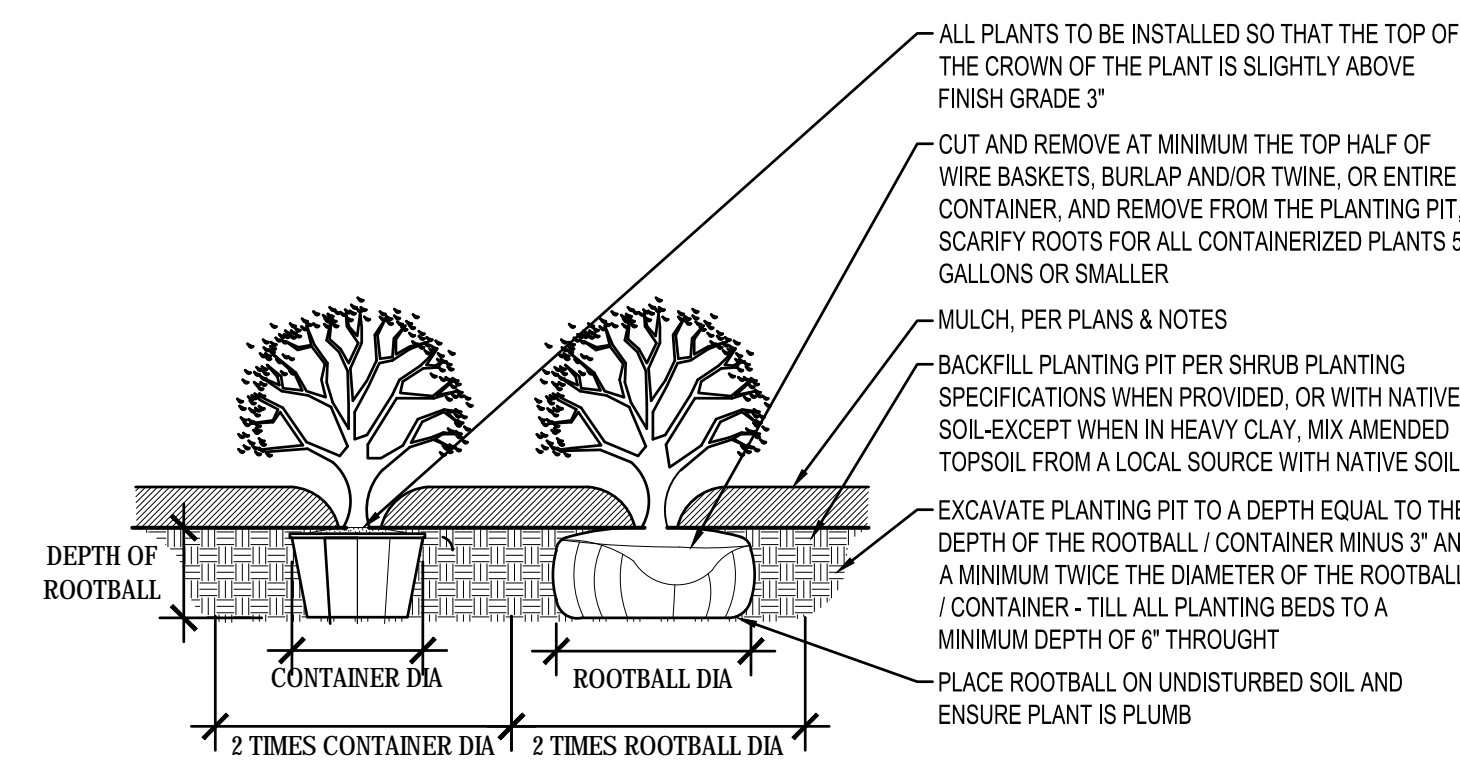
**GARDEN TERRACE
MULTIFAMILY APARTMENTS -
KANE ST**

DRAWN BY CWT
CHECKED BY KBR

**PLANTING NOTES &
DETAILS**

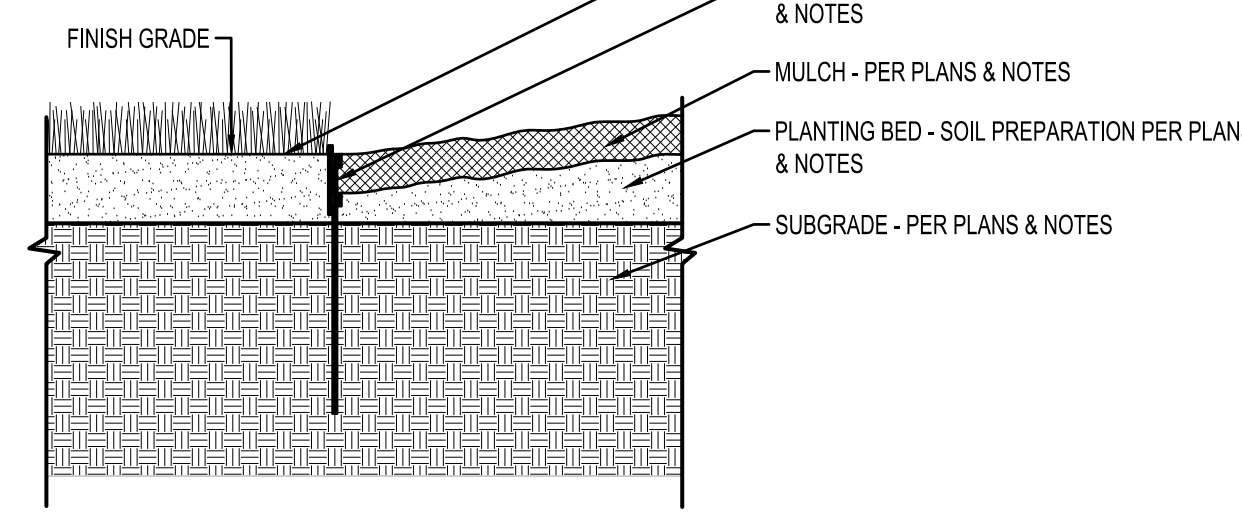
GENERAL PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- LAWN AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL BE COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- REFER TO PLANTING DETAILS PLAN FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES. REFER TO SPECIFICATIONS FOR MIX TYPE.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- OWNER RESERVES THE RIGHT TO REVISE QUANTITIES TO SUIT BUDGET LIMITATIONS. CONTRACTOR'S UNIT BID PRICES SHALL PREVAIL FOR ANY CHANGES IN QUANTITIES.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, WASHINGTON, D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES. ALL TREES SHALL HAVE A STRONG CENTRAL LEADER.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING BED EDGING - USE 1/8" x 4" METAL EDGING IN ALL AREAS WHERE PLANTING BED MEETS LAWN AREAS OR WHERE INDICATED. USE 12" METAL SPIRES AS INSTRUCTED BY MANUFACTURER.
- PROVIDE SHREDDDED HARDWOOD MULCH, NATURAL COLOR, SURROUNDING ALL PROPOSED TREES TO A 3-INCH MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. IF LOCATED WITHIN A PLANT BED, SUBSTITUTE THIS MULCH WITH THE MULCH CALLED FOR WITHIN THAT PLANT BED. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- PROVIDE SHREDDDED HARDWOOD MULCH, NATURAL COLOR, IN ALL PLANTING BEDS 3-INCH MINIMUM DEPTH. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- ALL TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE SOODED. SOD SECTIONS SHALL BE NO SMALLER THAN 24" X 36" STAKED IN PLACE WITH BIODEGRADABLE SOD STAKES WHEN SLOPE IS STEEPER THAN 5:1 OR WHEN CONDITIONS REQUIRE.
- FOR PLANT, SHRUB, AND TREE LOCATIONS, CONTRACTOR IS PERMITTED TO USE DISCRETION AS NECESSARY TO AVOID DRIVEWAYS, UTILITIES, OR OTHER CONFLICTS. THE TOTAL NUMBER OF PLANTS, INCLUDING SHRUBS AND TREES SHALL MEET CITY CODE.
- INDICATED QUANTITIES ARE ESTIMATES AND SHOULD BE CONFIRMED BY THE CONTRACTOR/BIDDER.



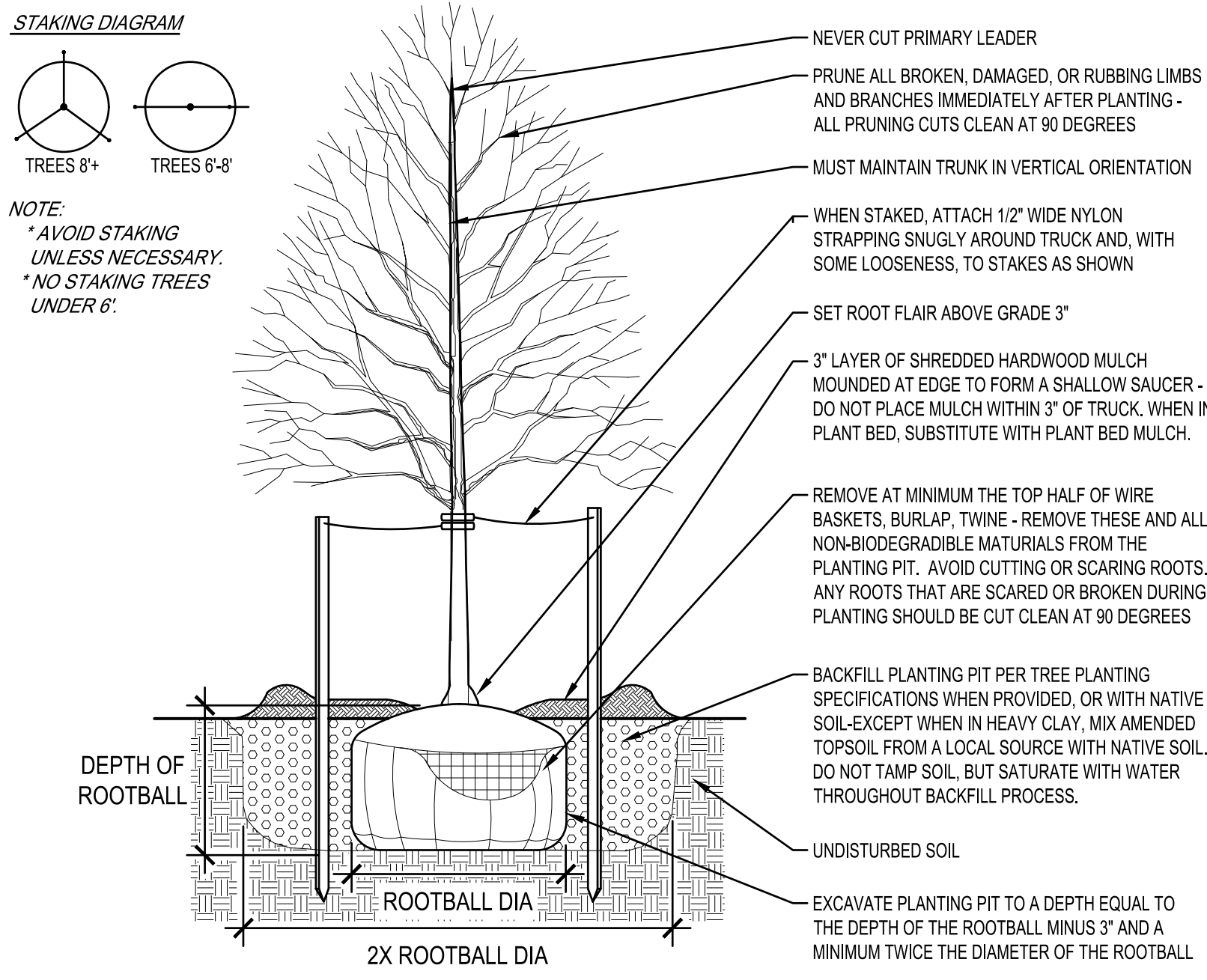
SHRUB PLANTING DETAIL

NO SCALE



LANDSCAPE EDGING DETAIL

NO SCALE



TREE PLANTING DETAIL

NO SCALE

**Garden Terrace -
Multifamily Apartments**

733 Kane Street
La Crosse, WI 54603
Impact Lacrosse, LLC
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 162624

ISSUED FOR:
CITY REVIEW SET 12-01-2017

REVISION FOR:
NO. DESCRIPTION DATE



**CITY REVIEW SET - NOT FOR
CONSTRUCTION**

Luminaire Schedule							
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	Total Watts
2	A2-01	SINGLE	6116	59	0,900	McGRAW-EDISON + GLEON-AF-01-LED-E1-T2 (10' POLE 3' BASE)	118
3	A4-01H	SINGLE	5059	59	0,980	McGRAW-EDISON + GLEON-AF-01-LED-E1-SL4-HSS (13' POLE 3' BASE)	177
6	B5	SINGLE	1779	21.3	0,900	CREE + PWY-EDG-5M-P4-02-E-UL-xxK	127.8
22	S	SINGLE	1571	28.7	0,900	KUZCO + EW7024-GH	631.4

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
25' OFF PROP LINE	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
PROP LINE	Illuminance	Fc	0.14	0.5	0.0	N.A.	N.A.
SITE	Illuminance	Fc	1.46	10.1	0.0	N.A.	N.A.
PARKING LOT 1	Illuminance	Fc	1.86	4.5	0.9	2.07	5.00
PARKING LOT 2	Illuminance	Fc	2.79	5.2	0.3	9.30	17.33

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LIGHTING PLAN

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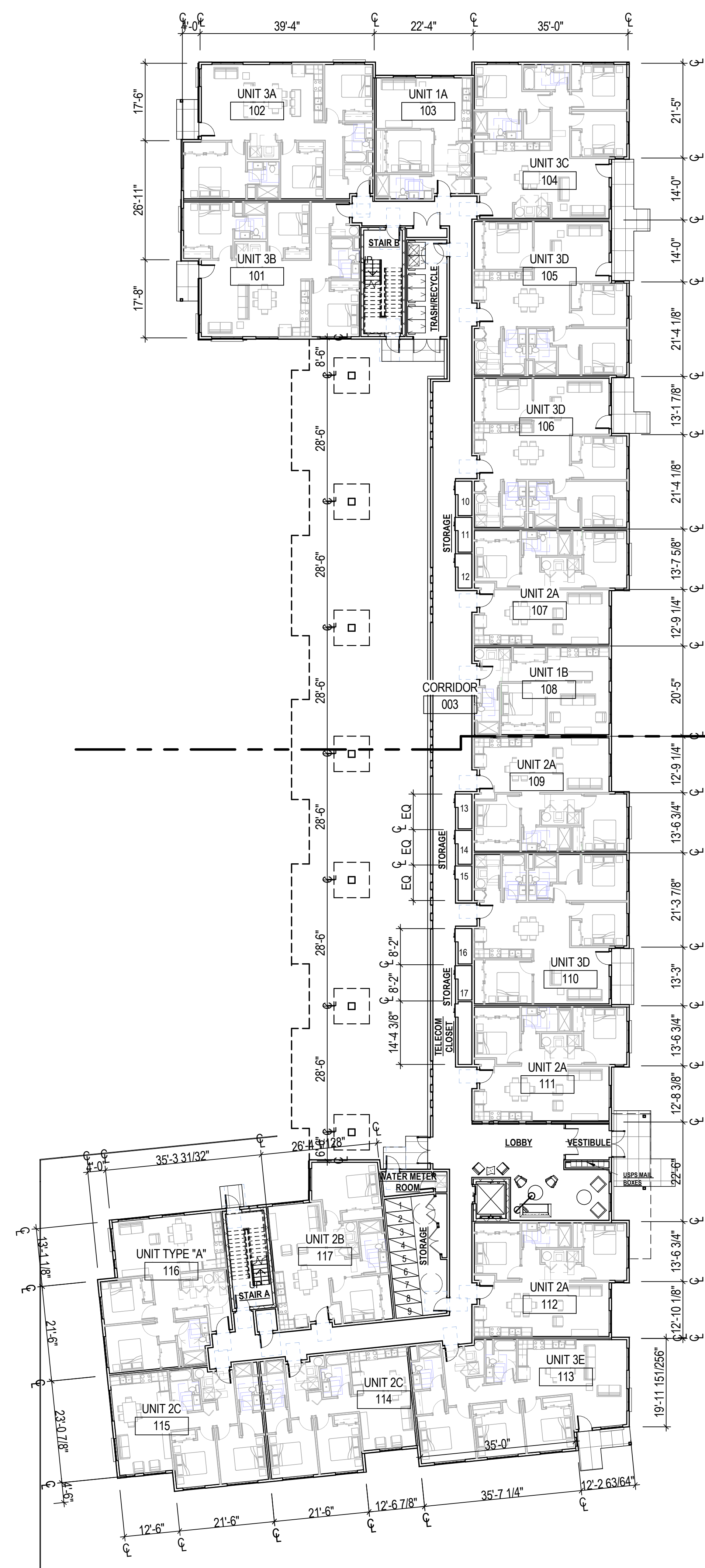
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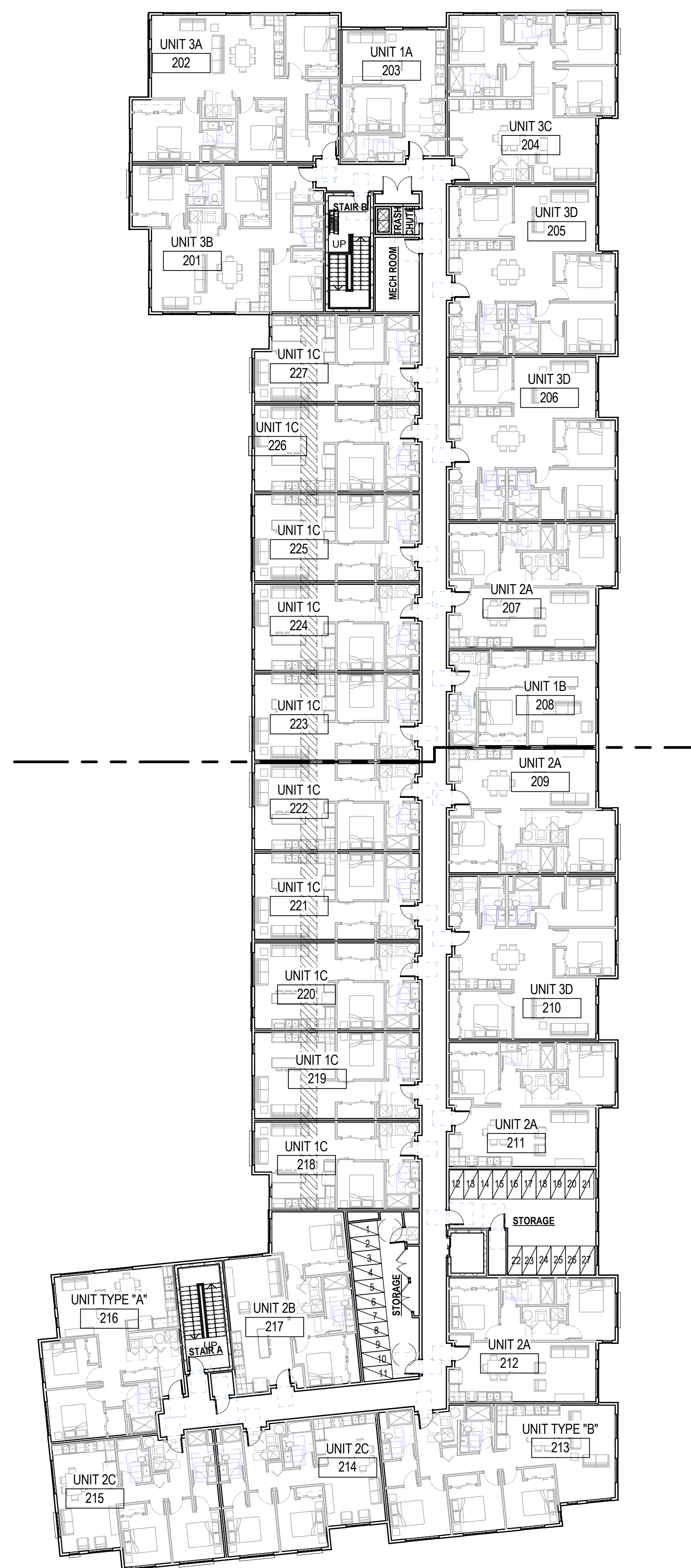
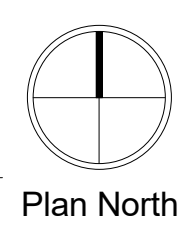
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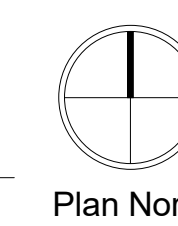
**OVERALL FLOOR
PLANS**



1 LEVEL 1 OVERALL PLAN
SCALE: 1/16" = 1'-0"



2 LEVEL 2 OVERALL PLAN
SCALE: 1/16" = 1'-0"





8 OVERALL EAST ELEVATION
SCALE: 3/64" = 1'-0"



1 EAST ELEVATION SOUTH
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION NORTH
SCALE: 1/8" = 1'-0"

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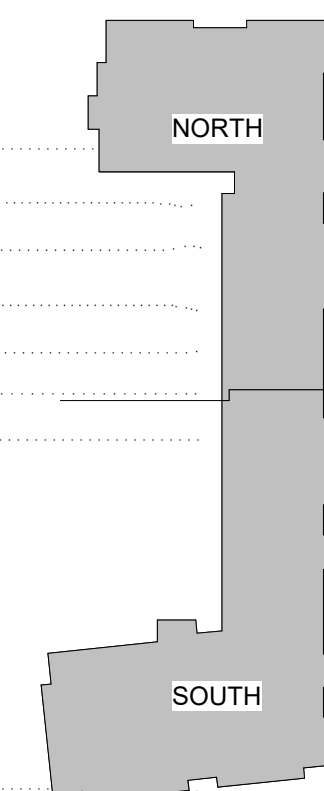
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**BUILDING
ELEVATIONS**





1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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2 INTERIOR SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 INTERIOR NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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**BUILDING
ELEVATIONS**



2 OVERALL WEST ELEVATION
SCALE: 3/64" = 1'-0"



1 WEST ELEVATION NORTH
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION SOUTH
SCALE: 1/8" = 1'-0"

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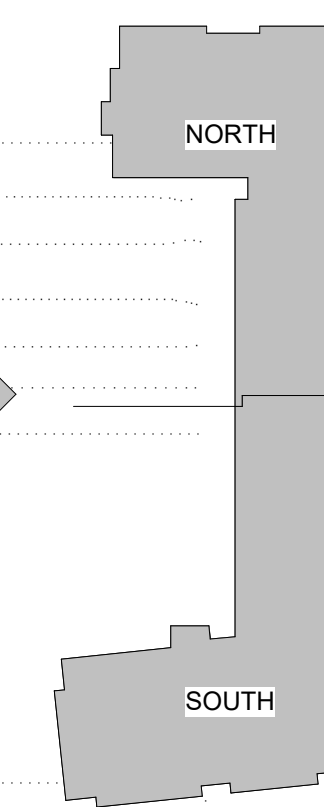
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**BUILDING
ELEVATIONS**





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OVERALL EAST ELEVATION - street facing facade

20% study
SCALE: 3/32" = 1'-0"

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NORTH ELEVATION - STraCAT - street facing facade

20% study
SCALE: 3/32" = 1'-0"

WINDOWS / DOOR AREA ON STREET FACADE 20% MINIMUM REQUIREMENT

EAST ELEVATION			
TOTAL WALL		8345.79	sf
window / door area minimum requirement		20%	1669.158 sf
WINDOW TYPE	SF	UNITS	TOTAL
TYPE A	30	27	810 sf
TYPE B	24	4	96 sf
TYPE C	42	14	588 sf
TYPE D	36	7	252 sf
TYPE E	12	7	84 sf
UNIT DOOR	22.43	4	89.72 sf
LOBBY DOOR	54.61	1	54.61 sf
TOTAL AREA WINDOWS/DOOR		1974.33	sf

SOUTH ELEVATION			
TOTAL WALL		3141.14	sf
window / door area minimum requirement		20%	628.228 sf
WINDOW TYPE	SF	UNITS	TOTAL
TYPE A	30	12	360 sf
TYPE B	24	0	0 sf
TYPE C	42	8	336 sf
TYPE D	36	0	0 sf
TYPE E	12	3	36 sf
UNIT DOOR	22.43	1	22.43 sf
LOBBY DOOR	54.61	0	0 sf
TOTAL AREA WINDOWS/DOOR		754.43	sf

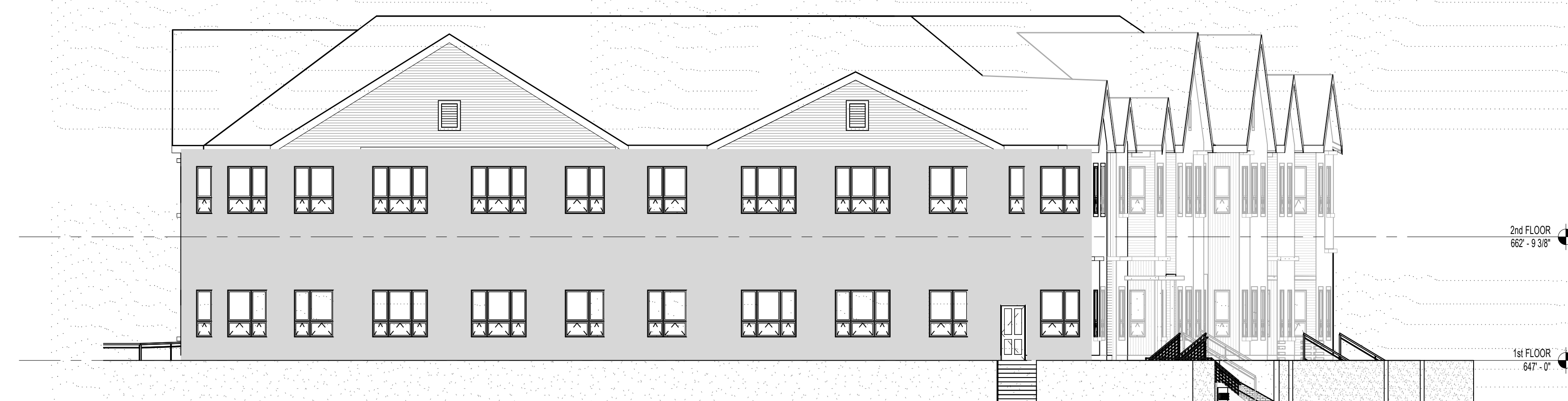
NORTH ELEVATION			
TOTAL WALL		2621.7	sf
window / door area minimum requirement		20%	524.34 sf
WINDOW TYPE	SF	UNITS	TOTAL
TYPE A	30	6	180 sf
TYPE B	24	0	0 sf
TYPE C	42	8	336 sf
TYPE D	36	0	0 sf
TYPE E	12	0	0 sf
UNIT DOOR	22.43	0	0 sf
LOBBY DOOR	54.61	0	0 sf
TOTAL AREA WINDOWS/DOOR		516	sf

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STREET FACING
FACADES STUDY -
DESIGN REVIEW
CHECKLIST - K.7



SOUTH ELEVATION - street facing facade 20% study

SCALE: 3/32" = 1'-0"