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A002



CONTACT INFORMATION

Kristine Giornalista

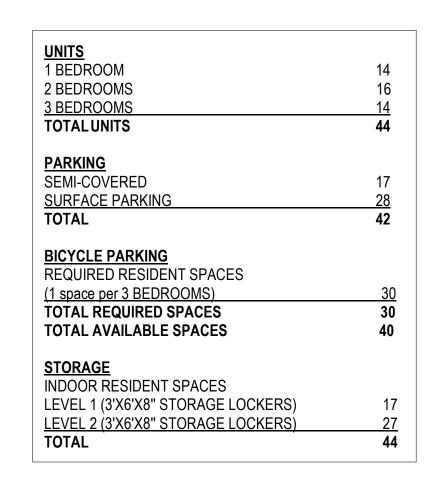
Vice President, Real Estate Development Impact Seven

PH | 608.514.2108 EMAIL | kristine.giornalista@impactseven.org

Michael Carlson

Director, Real Estate Development Impact Seven

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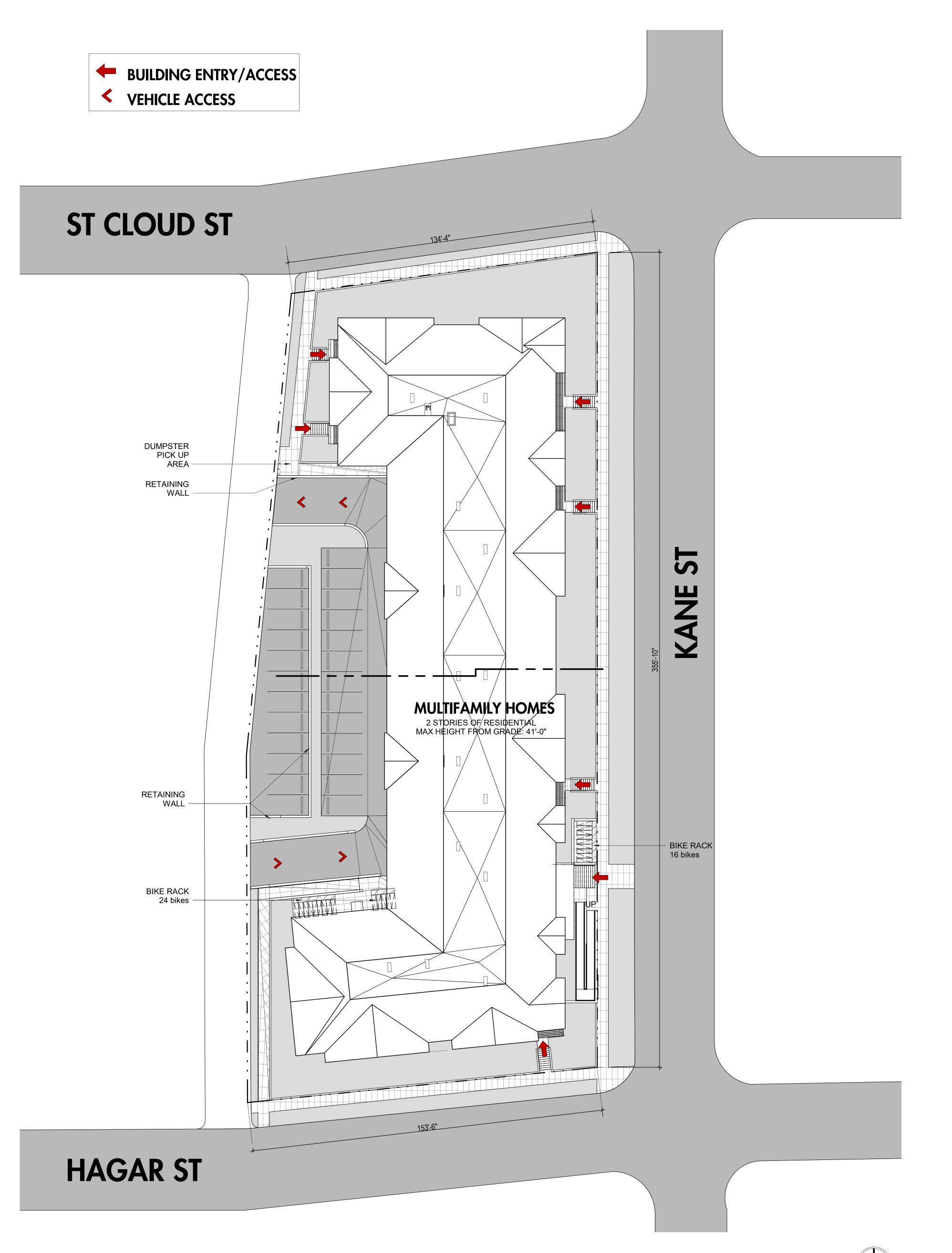
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ARCHITECTURAL SITE PLAN + SITE IMAGES

Garden Terrace – Multifamily Apartments
LA CROSSE, WISCONSIN









VICINITY PLAN



Garden Terrace -Multifamily Apartments

733 Kane Street La Crosse, WI 54603 Impact La Crosse, LLC Impact Seven 2961 Decker Drive Rice Lake, WI 54868

PROJECT NUMBER

ISSUED FOR:	
CITY REVIEW SET	12-01-2017
REVISION FOR:	DATE
	-,











SITE PHOTOS

DRAWN BY CHECKED BY

ARCHITECTURAL SITE PLAN & SITE PHOTOS



A002



PROJECT ADDRESS / LOCATION: 733 KANE STREET LA CROSSE, WI 54603

SECTION/TOWNSHIP/RANGE SEC 29 / TWP 16 / R 7

LA CROSSE, WISCONSIN

PROJECT GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS

2. CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.

3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

4. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

5. DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

6. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

7. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.

8. THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.

9. THE CONTRACTOR IS TO CONTACT "DIGGER'S HOTLINE" FOR UTILITY LOCATIONS, MINIMUM 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (811 OR 1-800-242-8511)



SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LA CROSSE STANDARD SPECIFICATIONS, CURRENT EDITION, WISDOT STANDARD SPECIFICATIONS, 2017 EDITION, WISDOT CONSTRUCTION AND MATERIALS MANUAL, CURRENT EDITION, WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES STATE PLUMBING CODE, CURRENT EDITION, AND STANDARD SPECIFICATION FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, 6th EDITION, UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 2011 ADJUSTMENT (NAD83(2011)) ON THE LA CROSSE COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED ON 9/16, 1/17, & 11/17 BY ISG.

B.M. ELEVATION=644.08

TOP NUT OF FIRE HYDRANT LOCATED
ON THE NORTHEAST CORNER OF THE
INTERSECTION OF KANE ST AND HAGAR ST

LEGEND

	SECTION LINE
	QUARTER SECTION LINE
	RIGHT OF WAY LINE
	PROPERTY / LOTLINE
	EASEMENT LINE
ΔΔ	ACCESS CONTROL
	WATER EDGE
WET	WETLAND BOUNDARY
<u>योर योर योर योर योर</u>	WETLAND / MARSH
xxxx	FENCE LINE
><	CULVERT
	STORM SEWER
	SANITARY SEWER
	SANITARY SEWER FORCEMAIN
	WATER
——————————————————————————————————————	GAS
——————————————————————————————————————	OVERHEAD ELECTRIC
——————————————————————————————————————	UNDERGROUND ELECTRIC
——————————————————————————————————————	UNDERGROUND TELEPHONE
UTV	UNDERGROUND TV
——————————————————————————————————————	OVERHEAD UTILITY
——————————————————————————————————————	UNDERGROUND UTILITY
——————————————————————————————————————	UNDERGROUND FIBER OPTIC
 990 	CONTOUR (MAJOR)
— — <u> </u>	CONTOUR (MINOR)
₹·}	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE LINE
\circ	MANHOLE/STRUCTURE
	CATCH BASIN
- -	HYDRANT
\bowtie	VALVE
⊗	CURB STOP
Ø	POWER POLE
	UTILITY PEDESTAL / CABINET

PROPOSED LOT LINE

	RIGHT OF WAY
	EASEMENT
 «	CULVERT
	STORM SEWER
	STORM SEWER (PIPE W
	SANITARY SEWER
	SANITARY SEWER (PIPE
——— I ———	WATER
G	GAS
OE	OVERHEAD ELECTRIC
UE	UNDERGROUND ELECT
UTV	UNDERGROUND TV
1015	CONTOUR
•	MANHOLE
	CATCH BASIN
+	HYDRANT
H	VALVE

CIVIL SHEET INDEX

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C5-20 PLANTING PLAN
C5-21 PLANTING NOTES & DETAILS

GAKDEN LEKKACE MULTIFAMILY APARTMEN

MILWAUKEE | MADISON | TUSCON | CHICAGO

Garden Terrace -

Townhomes

733 Kane Street La Crosse, WI 54603

Impact Seven

2961 Decker Drive Rice Lake, WI 54868

PROJECT NUMBER

ISSUED FOR:

REVISION FOR:

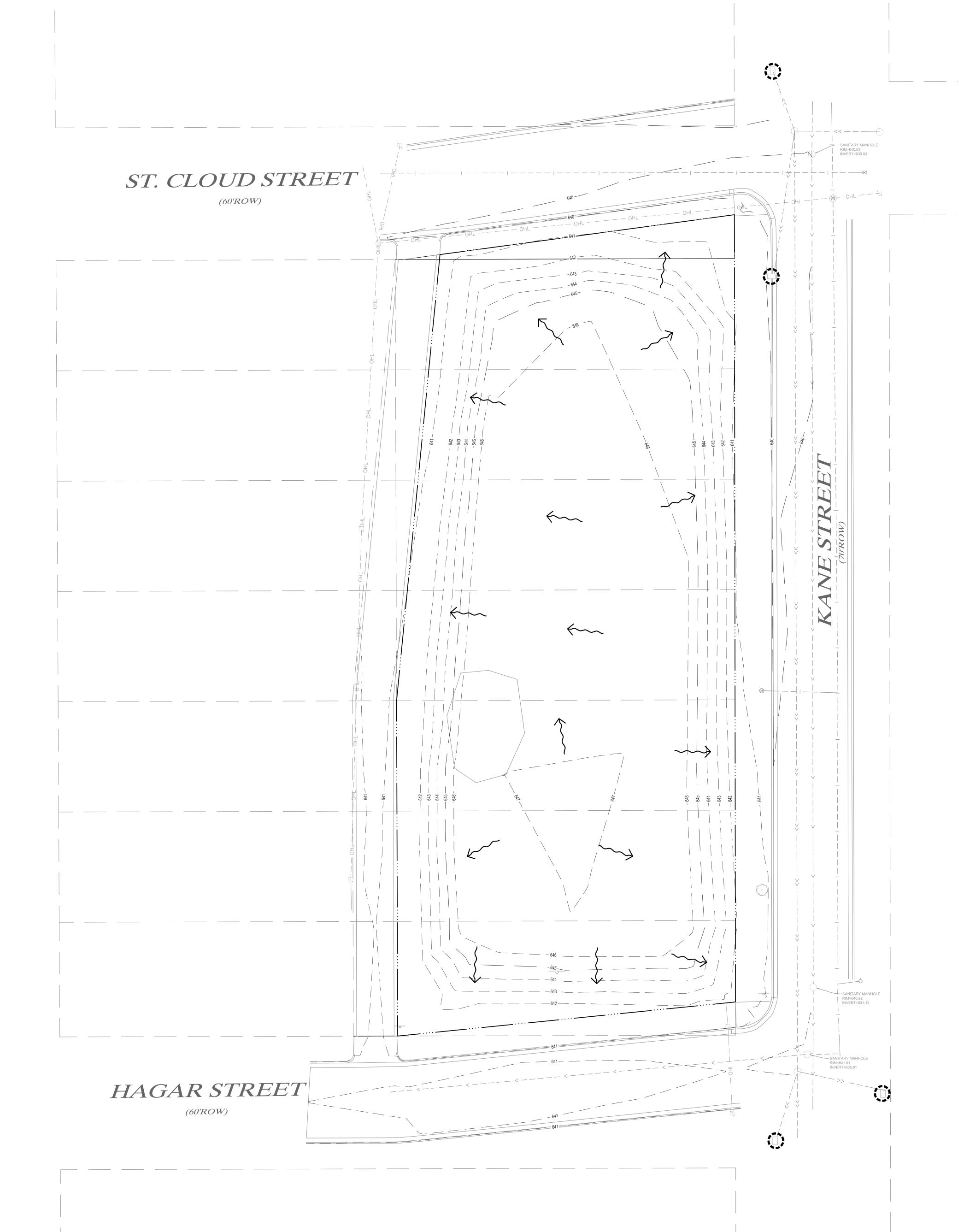
CITY REVIEW SET

NO. DESCRIPTION

DRAWN BY CLF
CHECKED BY KBR

SITE DATA

C0-10



	EROSION	N CONTROL LEGE	END	
	SYMBOL	DESCRIPTION	UNITS	QUANTIT
_	0	EXISTING STORM DRAIN INLET PROTECTION	EACH	4
		EXISTING DRAINAGE ARROW		
	— ·101· — —	EXISTING CONTOUR (MINOR INTERVAL)		
	——————————————————————————————————————	EXISTING CONTOUR (MAJOR INTERVAL)		

QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.

THE QUANTITIES SHOWN ARE TOTAL FOR THE ENTIRE PROJECT NOT SPECIFIC TO THIS SHEET.

SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS EROSION CONTROL PLAN INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

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Garden Terrace -Multifamily Apartments

733 Kane Street La Crosse, WI 54603

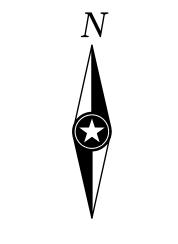
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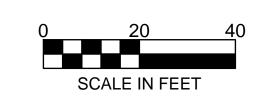
2961 Decker Drive

Rice Lake, WI 54868

PROJECT NUMBER

ISSUED F	FOR:	
CITY	REVIEW SET	12/01/17
REVISION	N FOR:	DATE
NO.	DESCRIPTION	





CHECKED BY **EROSION CONTROL PLAN** (EXISTING CONDITIONS)



SYMBOL	DESCRIPTION	UNITS	QUANTITY
	*PERIMETER CONTROL	LF	1000
0	EXISTING STORM DRAIN INLET PROTECTION	EACH	4
0	PROPOSED STORM DRAIN INLET PROTECTION	EACH	2
+++++++++++++++++++++++++++++++++++++++	BIO-ROLL	LF	50
00000	STABILIZED CONSTRUCTION EXIT	EACH	1
	EXISTING DRAINAGE ARROW		
<u> </u>	PROPOSED DRAINAGE ARROW		
— ·101· — —	EXISTING CONTOUR (MINOR INTERVAL)		
——————————————————————————————————————	EXISTING CONTOUR (MAJOR INTERVAL)		
101	PROPOSED CONTOUR (MINOR INTERVAL)		
100	PROPOSED CONTOUR (MAJOR INTERVAL)		
PERIMETER CONTROL CAN BE SILT FI	ENCE, BIO-ROLL OR WOOD MULCH.		

SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT

NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE

INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

REQUIREMENTS OF THIS EROSION CONTROL PLAN INCLUDING PROVIDING THEIR OWN RESTORATION IF



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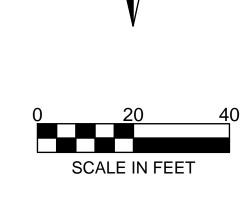
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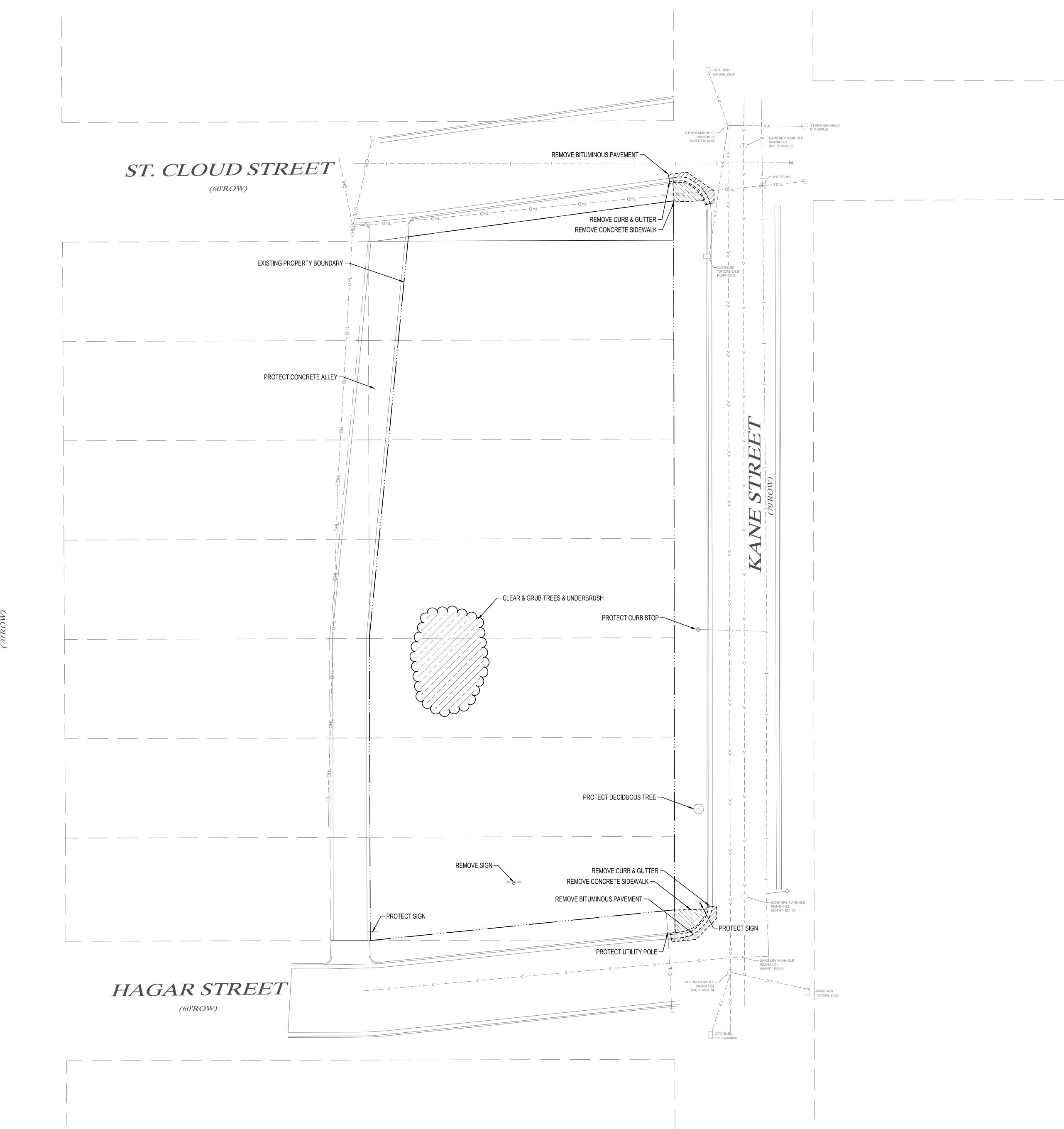
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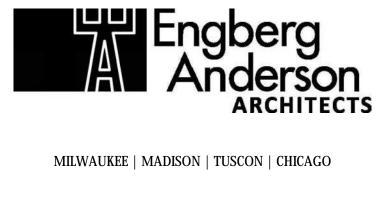
ISSUED FOR: CITY REVIEW SET



EROSION CONTROL PLAN (PROPOSED CONDITIONS)







REMOVA	L LEGEND
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE SIDEWALK
	CLEAR & GRUB TREES & UNDERBRUSH
CONTRACTOR SHALL VERIFY AND NOTIFY ENGINEER OF A	'EXISTING PAVEMENT SECTION NY DISCREPANCIES.
PAVEMENT REMOVALS SHAL SAWCUT & SECTION REMOVA	L INCLUDE FULL DEPTH

ISG

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733 Kane Street La Crosse, WI 54603

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Owner Impact Seven

2961 Decker Drive Rice Lake, WI 54868

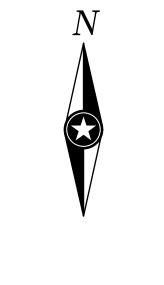
Rice Lake, WI 54868

NO. DESCRIPTION

ISSUED FOR:
CITY REVIEW SET 12/01/17

REVISION FOR: DATE

GARDEN TERRACE MULTIFAMILY APARTMENTS



EXISTING SITE & REMOVAL PLAN

PAVEMENT LEGEND

SYMBOL DESCRIPTION

ASPHALT PAVEMENT

CONCRETE PAVEMENT

CONCRETE SIDEWALK

Engberg Anderson ARCHITECTS

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|--|--|

Garden Terrace -Multifamily Apartments

733 Kane Street La Crosse, WI 54603

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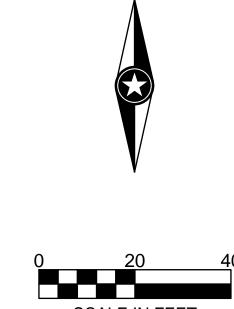
Rice Lake, WI 54868

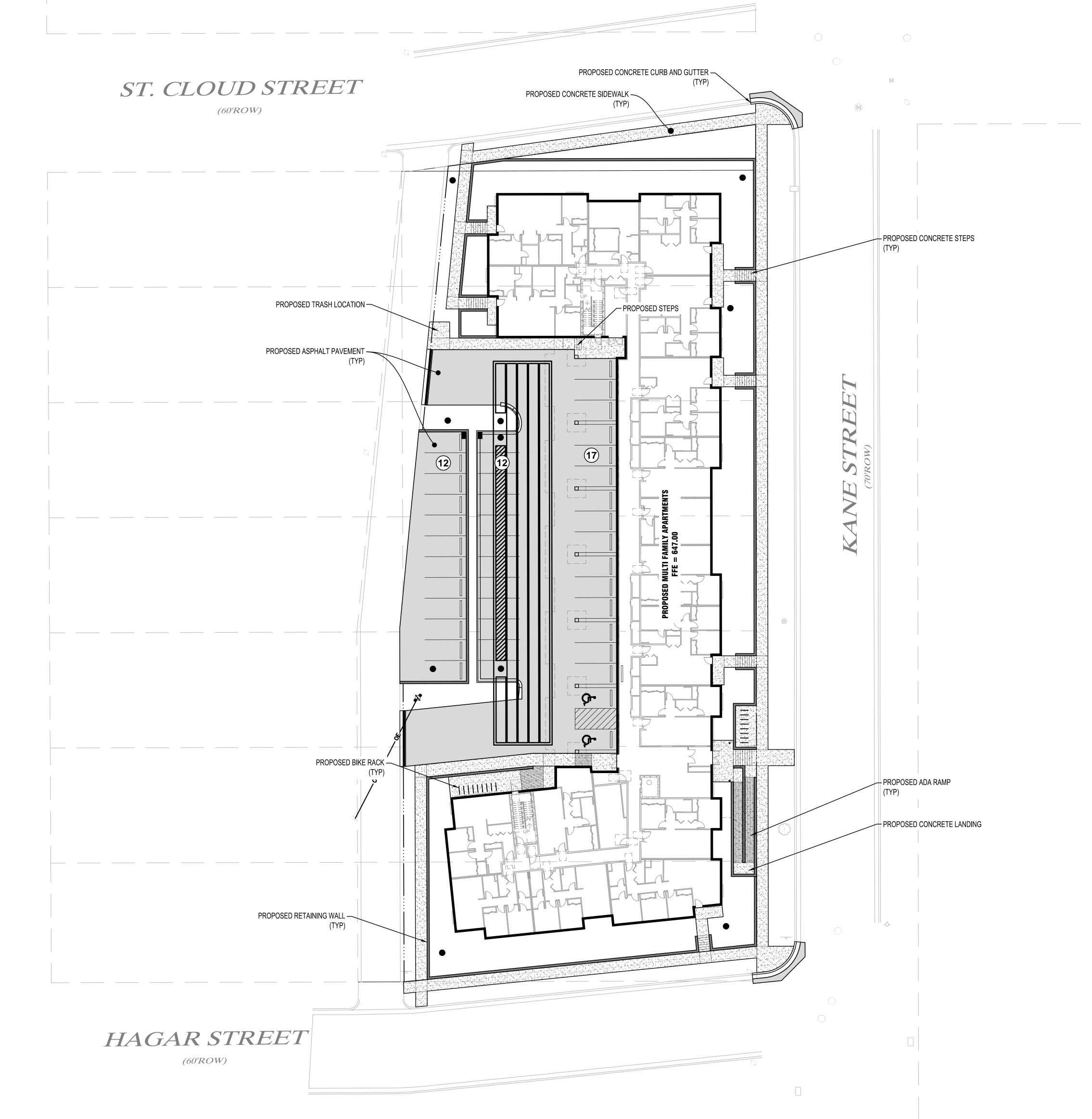
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CITY REVIEW SET	12/01/17
REVISION FOR: NO. DESCRIPTION	DATE

GARDEN TERRACE MULTIFAMILY APARTMENTS KANF ST

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PROPOSED SITE PLAN





PROPOSED TRENCH DRAIN

PROPOSED CATCH BASIN

ISOLATOR ROW —

PROPOSED UNDERGROUND STORM —

WATER MANAGEMENT ADS STORMTECH SC-740 (112 CHAMBERS)

PROPOSED POLE MOUNTED TRANSFORMER -

ACTUAL LOCATION TO BE DETERMINED BY EXCEL ENERGY

HAGAR STREET

(60'ROW)

APPROXIMATE LOCATION

PROPOSED TRENCH DRAIN —

P-100 23'x 12" @ 0.50% —

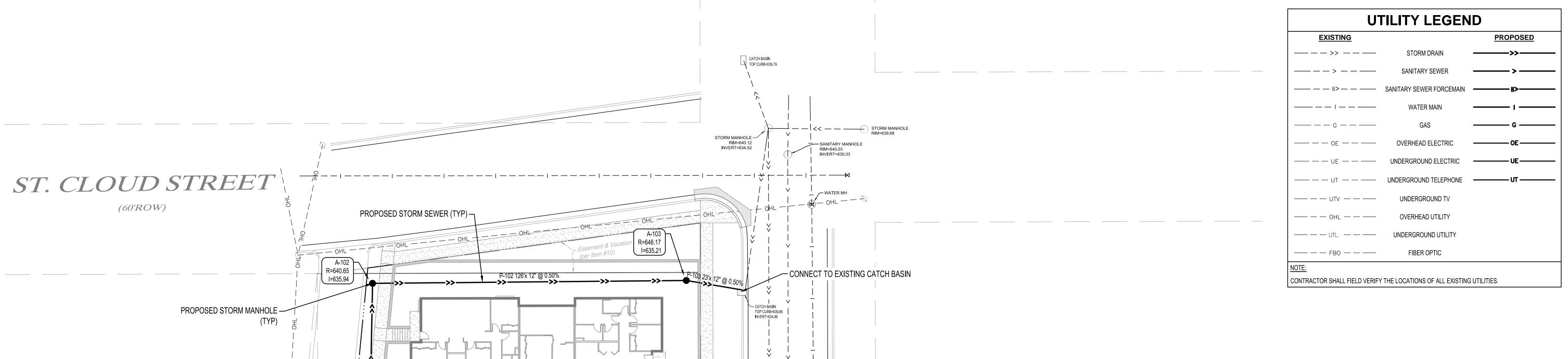
R=640.28 |=636.58

P-104 6'x 12" @ 0.50% —

A-111 R=642.04 I=636.65

A-105 R=646.55 I=636.55

OUTLET STRUCTURE
6" ORIFICE INV = 638.00
4' STRUCTURE WEIR INV=639.00



PROPOSED 10" ROOF DRAIN

PROPOSED VALVE

PROPOSED WATER SERVICE

PROPOSED SANITARY SEWER

CATCH BASIN TOP CURB=640.66

EXISTING		PROPOSED
>>	— STORM DRAIN	>>
———> ——	— SANITARY SEWER	>
	— SANITARY SEWER FORCEMAIN	———II>——
	WATER MAIN	—— ı —
——————————————————————————————————————	— GAS	G
———— OE ———	OVERHEAD ELECTRIC	OE
——————————————————————————————————————	UNDERGROUND ELECTRIC	UE
———— UT ———	— UNDERGROUND TELEPHONE	
——————————————————————————————————————	- UNDERGROUND TV	
—— — OHL — — —	OVERHEAD UTILITY	
UTL	— UNDERGROUND UTILITY	
—— — FBO — — —	— FIBER OPTIC	



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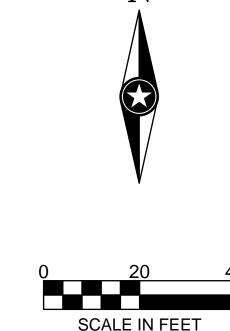
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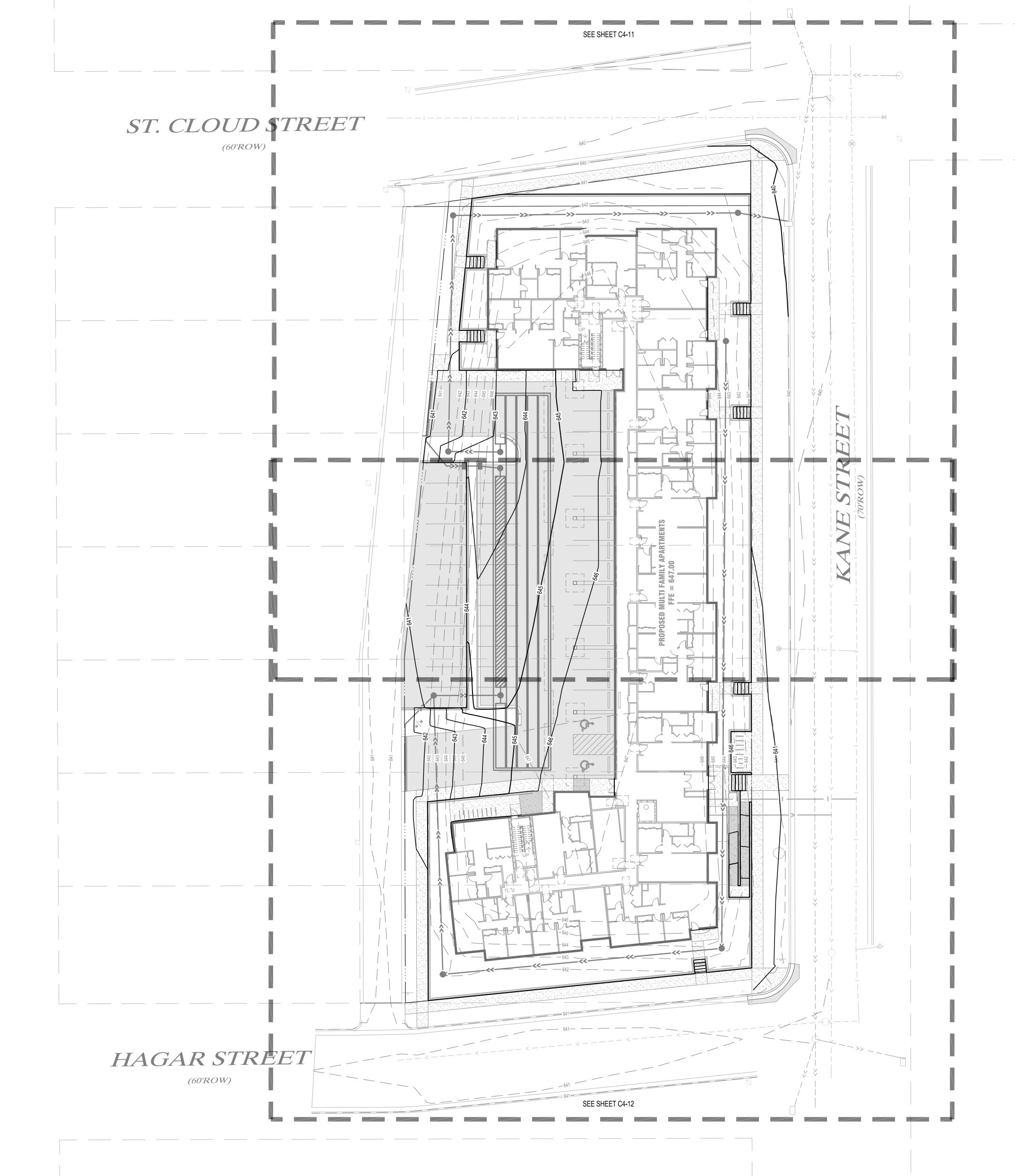
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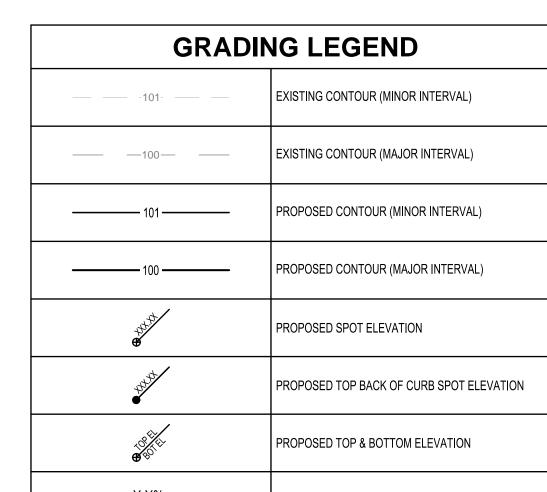
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PROPOSED SITY UTILITY PLAN







GENERAL GRADING NOTES

EXCAVATED MATERIAL SHALL BE COMPACTED TO 100% PROCTOR DENSITY FOR THE UPPER 3', AND 95% PROCTOR DENSITY BELOW 3' IN ALL BUILDING PADS. REFER TO THE QUALITY COMPACTION METHOD IN ALL OTHER AREAS. PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED.

GRADIN	IG LEGEND
101	EXISTING CONTOUR (MINOR INTERVAL)
———————————————————————————————————————	EXISTING CONTOUR (MAJOR INTERVAL)
101	PROPOSED CONTOUR (MINOR INTERVAL)
100	PROPOSED CONTOUR (MAJOR INTERVAL)
	PROPOSED SPOT ELEVATION
40 to 1	PROPOSED TOP BACK OF CURB SPOT ELEVATION
6	PROPOSED TOP & BOTTOM ELEVATION
<u>-X.X%</u>	SURFACE GRADE / DIRECTION

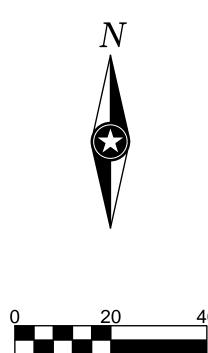
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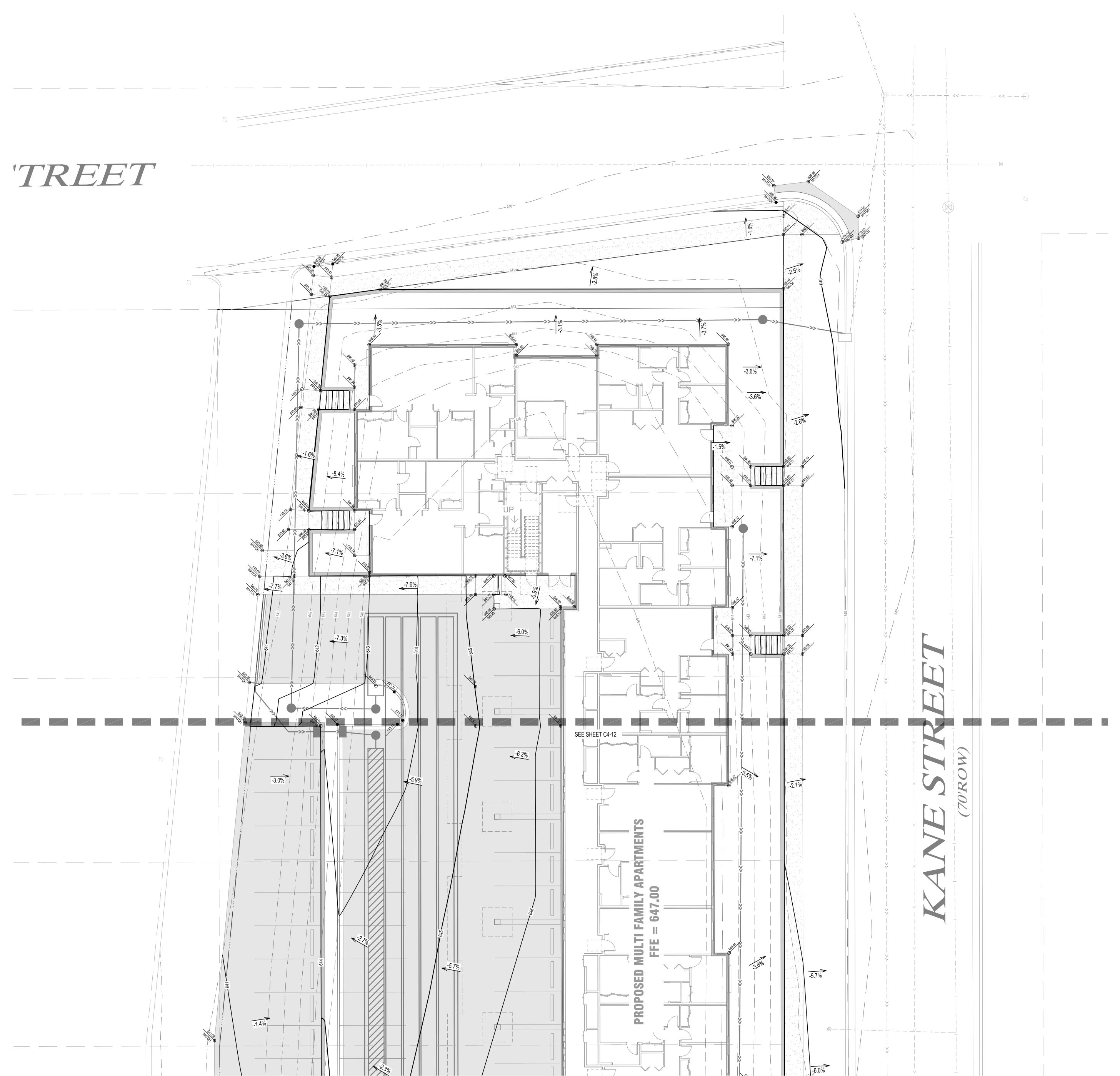
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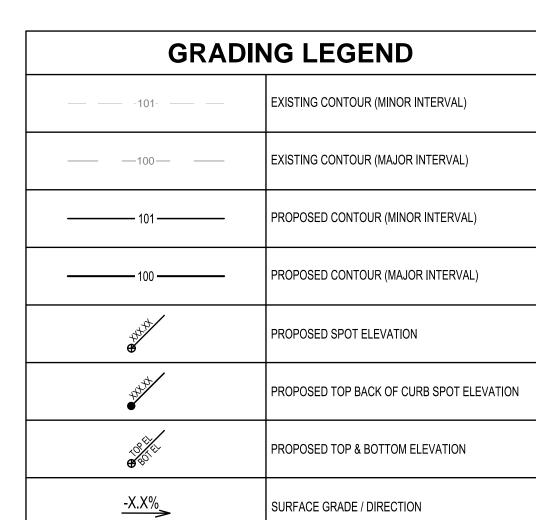
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OVERALL GRADING PLAN





GENERAL GRADING NOTES

EXCAVATED MATERIAL SHALL BE COMPACTED TO 100% PROCTOR DENSITY FOR THE UPPER 3', AND 95% PROCTOR DENSITY BELOW 3' IN ALL BUILDING PADS. REFER TO THE QUALITY COMPACTION METHOD IN ALL OTHER AREAS.

PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED.

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Garden Terrace -Multifamily Apartments

733 Kane Street La Crosse, WI 54603

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Rice Lake, WI 54868

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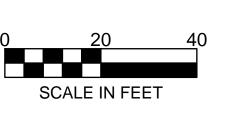
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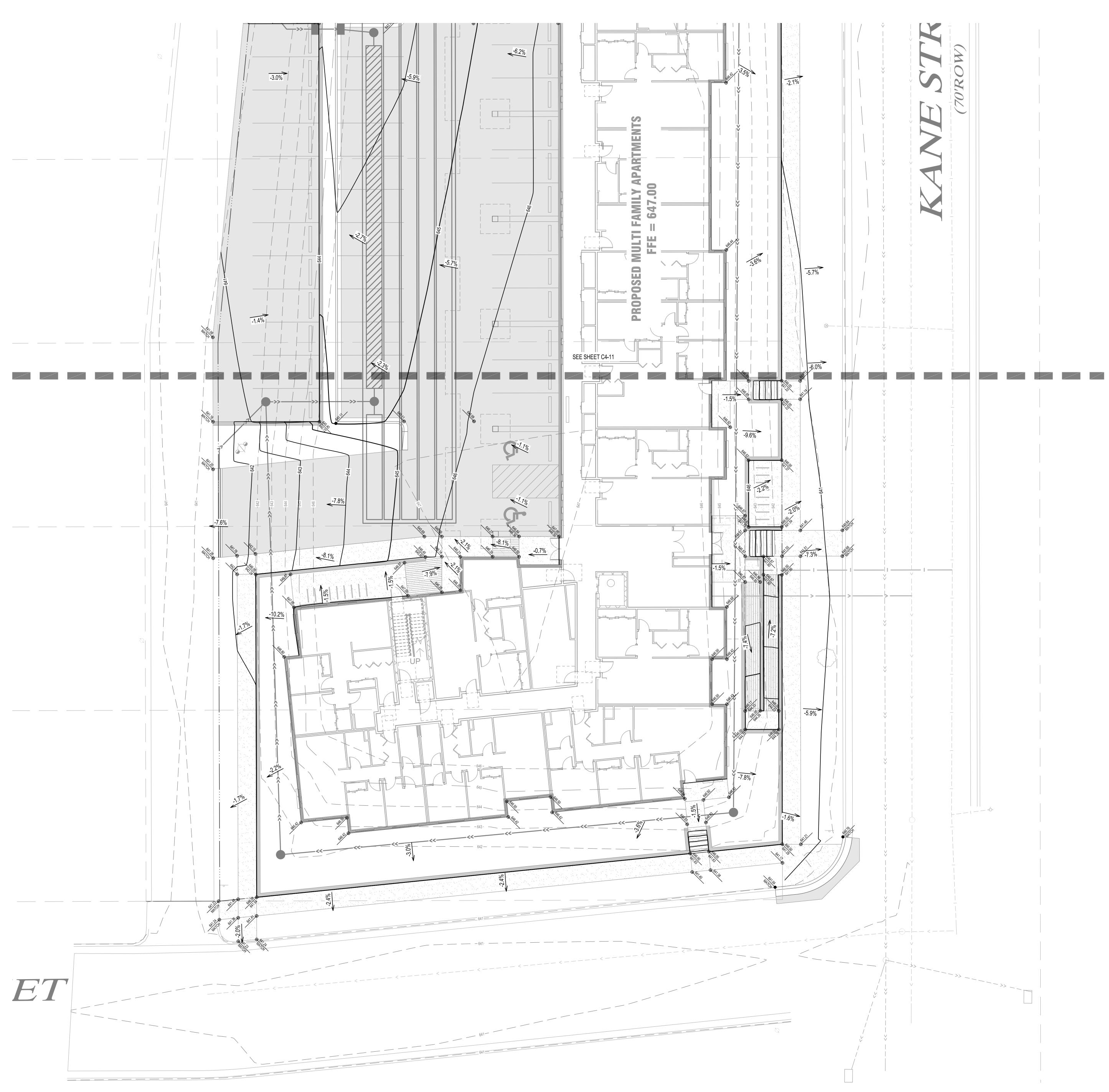
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CITY REVIEW SET	12/01/17					
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LVIOION I OIN.	DATE					

MULTIFAMILY APARTMENTS -KANF ST



DETAILED GRADING PLAN





GRAD	ING LEGEND
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
101	PROPOSED CONTOUR (MINOR INTERVAL)
100	PROPOSED CONTOUR (MAJOR INTERVAL)
	PROPOSED SPOT ELEVATION
	PROPOSED TOP BACK OF CURB SPOT ELEVATION
	PROPOSED TOP & BOTTOM ELEVATION
<u>-X.X%</u>	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES

EXCAVATED MATERIAL SHALL BE COMPACTED TO 100% PROCTOR DENSITY FOR THE UPPER 3', AND 95% PROCTOR DENSITY BELOW 3' IN ALL BUILDING PADS. REFER TO THE QUALITY COMPACTION METHOD IN ALL OTHER AREAS.

PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED.

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Garden Terrace -

733 Kane Street La Crosse, WI 54603

2961 Decker Drive

Rice Lake, WI 54868

PROJECT NUMBER

REVISION FOR:

NO. DESCRIPTION

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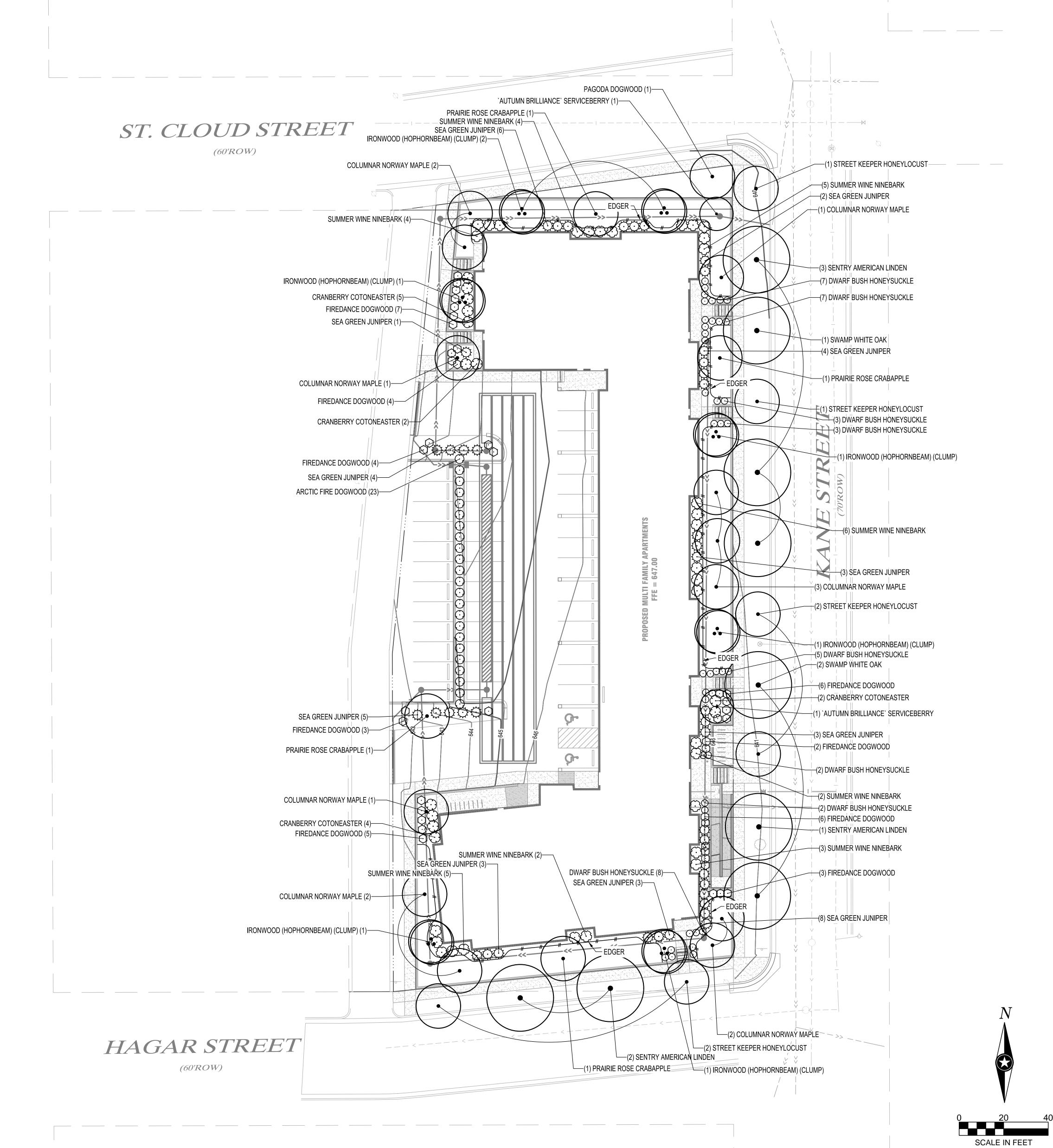
Multifamily Apartments

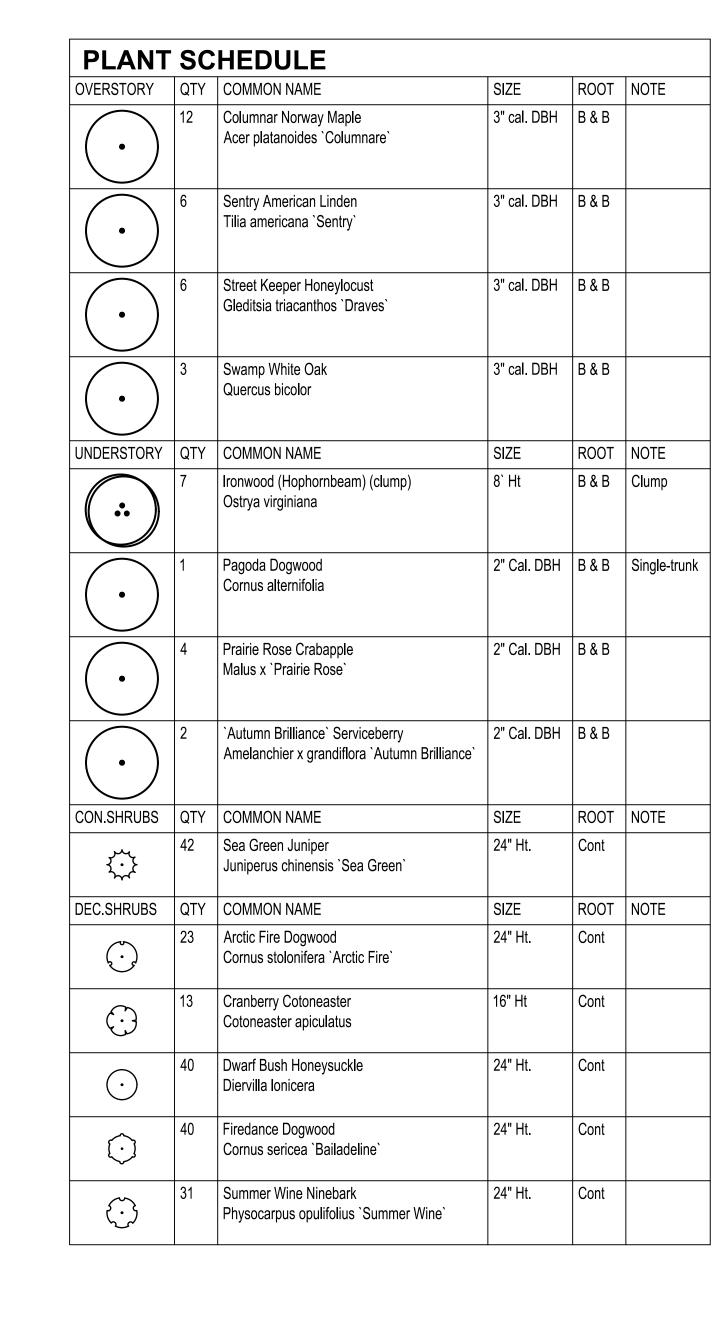
GARDEN TERRACE MULTIFAMILY APARTMENTS . KANF ST

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CHECKED BY KBR

DETAILED GRADING PLAN

C4-12





UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES

ON-SITE PRIOR TO CONSTRUCTION.

AS REQUIRED IN THE CITY OF LA CROSSE, WISCONSIN ZONING CODE. 11,367 SF = LANDSCAPED AREA 643 LF = LOT FRONTAGE 16 TREES REQUIRED CODE: 1 TREE PER 40 LF OF LOT FRONTAGE (643 LF / 40 = 16.1 OR 16 TREES) 16 TREES REQUIRED CODE: 1 TREE PLACED IN BOULEVARD PER 40 LF OF LOT FRONTAGE (643 LF / 40 = 16.1 OR 16 BOULEVARD TREES) 19 TREES REQUIRED CODE: 1 TREE PER 600 SF OF LANDSCAPED AREA (11,367 SF / 600 = 18.9 OR 19 TREES) 189 SHRUBS REQUIRED CODE: 10 SHRUBS PER 600 SF OF LANDSCAPED AREA (11,367 SF / 600 x 10 = 189 SHRUBS) TOTAL PLANT REQUIREMENTS

51 TREES

189 SHRUBS

189 SHRUBS

TOTAL PLANTS SHOWN ON PLAN

CITY LANDSCAPE REQUIREMENTS



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Garden Terrace -Multifamily Apartments

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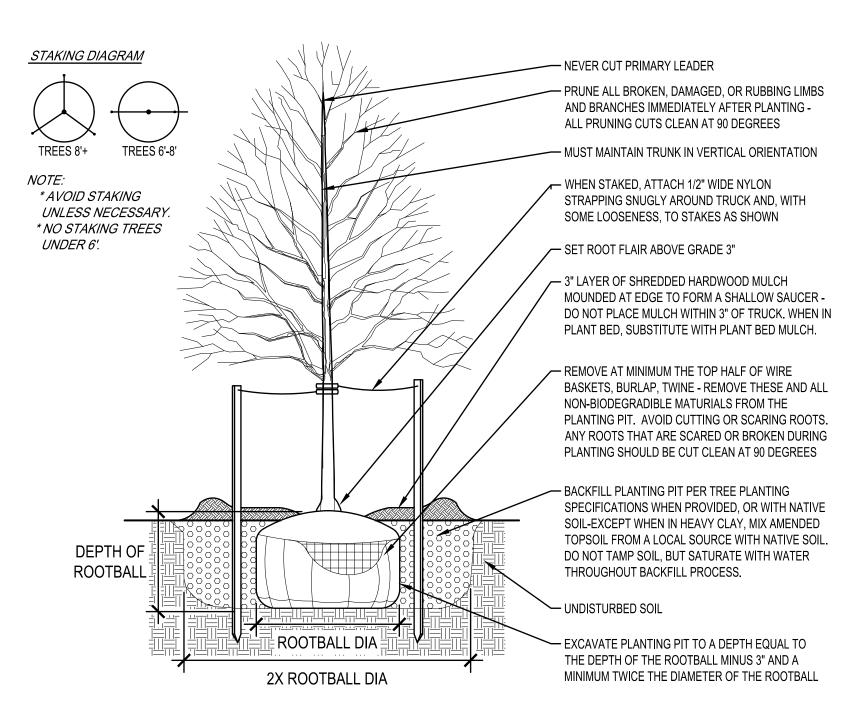
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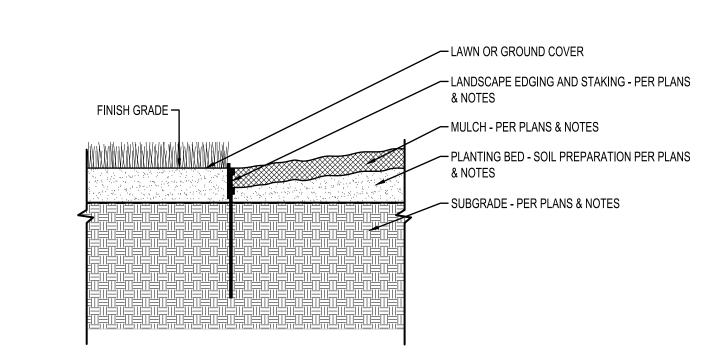
DATE

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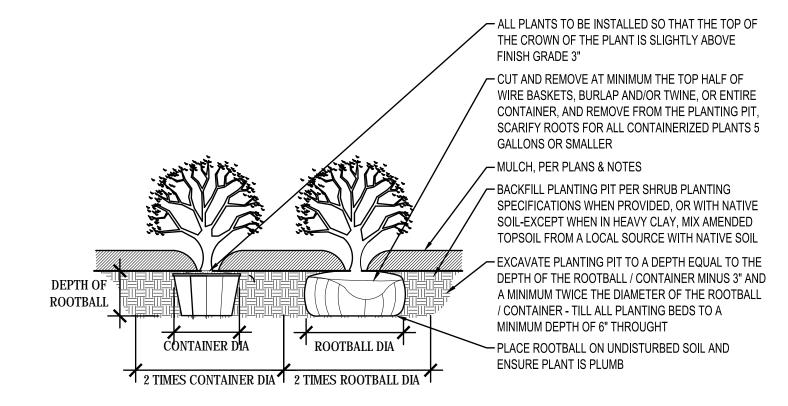
PLANTING PLAN



TREE PLANTING DETAIL



LANDSCAPE EDGING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

GENERAL PLANTING NOTES

- 1. COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
 REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- 4. LAWN AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL BE COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- 5. REFER TO PLANTING DETAILS PLAN FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES. REFER TO SPECIFICATIONS FOR MIX TYPE.
- 6. FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING
- LAYOUT AT TIME OF INSTALLATION.
 7. ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND
- SIZE AS INDICATED IN THE PLANT SCHEDULE.

 8. IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- 9. OWNER RESERVES THE RIGHT TO REVISE QUANTITIES TO SUIT BUDGET LIMITATIONS. CONTRACTOR'S UNIT BID PRICES SHALL PREVAIL FOR ANY CHANGES IN QUANTITIES.
- CHANGES IN QUANTITIES.

 10. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER
- WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.

 11. ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.
- 12. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES. ALL TREES SHALL HAVE A STRONG CENTRAL LEADER.
- 13. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS.
 ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL
 CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- 14. PLANTING BED EDGING USE 1/8" x 4" METAL EDGING IN ALL AREAS WHERE PLANTING BED MEETS LAWN AREAS OR WHERE INDICATED. USE 12" METAL SPIKES AS INSTRUCTED BY MANUFACTURER.
- 15. PROVIDE SHREDDED HARDWOOD MULCH, NATURAL COLOR, SURROUNDING ALL PROPOSED TREES TO A 3-INCH MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. IF LOCATED WITHIN A PLANT BED, SUBSTITUTE THIS MULCH WITH THE MULCH CALLED FOR WITHIN THAT PLANT BED. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- 16. PROVIDE SHREDDED HARDWOOD MULCH, NATURAL COLOR, IN ALL PLANTING BEDS 3-INCH MINIMUM DEPTH. DO <u>NOT</u> USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- 17. ALL TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED.

 SOD SECTIONS SHALL BE NO SMALLER THAN 24" X 36" STAKED IN PLACE
 WITH BIODEGRADABLE SOD STAKES WHEN SLOPE IS STEEPER THAN 5:1
 OR WHEN CONDITIONS REQUIRE.
- 18. FOR PLANT, SHRUB, AND TREE LOCATIONS: CONTRACTOR IS PERMITTED TO USE DISCRETION AS NECESSARY TO AVOID DRIVEWAYS, UTILITIES, OR OTHER CONFLICTS. THE TOTAL NUMBER OF PLANTS, INCLUDING SHRUBS AND TREES SHALL MEET CITY CODE.
- 19. INDICATED QUANTITIES ARE ESTIMATES AND SHOULD BE CONFIRMED BY THE CONTRACTOR/BIDDER.



MILWAUKEE | MADISON | TUSCON | CHICAGO



Garden Terrace -Multifamily Apartments

733 Kane Street La Crosse, WI 54603

Owner

Impact Seven

2961 Decker Drive Rice Lake, WI 5486

Rice Lake, WI 54868

PROJECT NUMBER

ISSUED FOR:

CITY REVIEW SET

12/01/17

REVISION FOR:

NO. DESCRIPTION

DATE

GARDEN IERRAGE MULTIFAMILY APARTMEN KANE ST

DRAWN BY CWT
CHECKED BY KBR

PLANTING NOTES & DETAILS



Garden Terrace -Multifamily Apartments

733 Kane Street
La Crosse, WI 54603
Impact Lacrosse, LLC
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER

ISSUED FOR: CITY REVIEW SET

REVISION FOR: NO. DESCRIPTION

12-01-2017

DATE

CITY REVIEW SET - NOT FOR CONSTRUCTION

DRAWN BY

CHECKED BY





Luminaire Schedule									
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	Total Watts		
2	A2-01	SINGLE	6116	59	0.900	McGRAW-EDISON + GLEON-AF-01-LED-E1-T2 (10' POLE 3' BASE)	118		
3	A4-01H	SINGLE	5059	59	0.980	McGRAW-EDISON + GLEON-AF-01-LED-E1-SL4-HSS (13' POLE 3' BASE)	177		
6	B5	SINGLE	1779	21.3	0.900	CREE + PWY-EDG-5M-P4-02-E-UL-xxK	127.8		
22	S	SINGLE	1571	28.7	0.900	KUZCO + EW7024-GH	631.4		

Calculation Summary							
_abel	CalcType	Units	Avg	Max	MIn	Avg/MIn	Max/Min
5' OFF PROP LINE	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
PROP LINE	Illuminance	Fc	0.14	0.5	0.0	N.A.	N.A.
SITE	Illuminance	Fc	1,46	10.1	0.0	N.A.	N.A.
PARKING LOT 1	Illuminance	Fc	1.86	4.5	0.9	2.07	5.00
PARKING LOT 2	Illuminance	Fc	2.79	5.2	0.3	9.30	17.33

walkways, parking lots, roadways, building areas and security lighting

applications. IP66 rated and UL/cUL Listed for wet locations.

SPECIFICATION FEATURES

Construction Extruded aluminum driver enclosure thermally isolated from performance. Heavy-wall, diecast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with circuit module designed to superior structural rigidity. 3G vibration tested and rated. Optional surge. The Galleon LED luminaire tool-less hardware available for ease of entry into electrical

chamber. Housing is IP66 rated. Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K

Electrical LED drivers are mounted to removable tray assembly for ease Light Squares for optimal thermal of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary withstand 10kV of transient line is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000

hours. Available in standard 1A

drive current and optional 600mA,

800mA and 1200mA drive currents (nominal). Mounting STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during matches available. mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture

without having to access the driver

compartment. A knock-out enables

round pole mounting. Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color

Warranty Five-year warranty.



ORDERING INFORMATION

Options (Add as Suffix)

7030=70 CRI 3000K 12

8030=80 CRI 3000K 1

7050=70 CRI 5000K 12

7060=70 CRI 6000K 12

2L=Two Circuits 16, 17

DIM=External 0-10V Dimming Leads

AHD145=After Hours Dim, 5 Hours 18

AHD245=After Hours Dim, 6 Hours 18

AHD255=After Hours Dim, 7 Hours 18

AHD355=After Hours Dim, 8 Hours 18

HA=50°C High Ambient 19

L90=Optics Rotated 90° Left

R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top TH=Tool-less Door Hardware

CE=CE Marking 29

Factory installed.
 Maximum 8 light squares.

Sample Number: GLEON-AF-04-LED-E1-T3-GM-QM

Product Family 1,2 Light Engine Light Squares 1

600=Drive Current Factory Set to Nominal 600mA 14

800=Drive Current Factory Set to Nominal 800mA 14

1200=Drive Current Factory Set to Nominal 1200mA 14.15

FF=Double Fuse (208, 240 or 480V. Must Specify Voltage)

P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Volatage)

MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height 26,21

MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) 28,24

MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height 20.22

MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height **.**. **
MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) ***.**

MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height 20,21

MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) 28, 24

High Leg Delta and Three Phase Corner Grounded Delta systems).

8. May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.

MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height 29,21,25 MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height 29,22,25

MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height 26, 22

more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.

9.50°C lumen maintenance data applies to 600mA, 800mA and 1A drive currents.

Approximately 60' detection diameter at 40' mounting height.
 Approximately 100' detection diameter at 40' mounting height.

EW7024

SPECIFICATION SHEET

Graphite metal finish

Color Temp 3000K

Voltage Watt

28W

CRI (Ra)

120V

Dimming

Rated Life

Custom options available

>90

27. Not available with house side shield (HSS).

30. One required for each Light Square.

LCF=Light Square Trim Plate Painted to Match Housing 27

HSS=Factory Installed House Side Shield 28

MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height 20.23

LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height 26

LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height 26

MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height 20.29

F=Single Fuse (120, 277 or 347V. Must Specify Voltage)

PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle

R=NEMA Twistlock Photocontrol Receptacle

07=7 *

GLEON=Galleon AF=1A Drive 01=1

Light Emitting E1=120-277V T2=Type II T2R=Type II

Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
 DesignLights Consortium Oualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
 Standard 4000K CCT and minimum 70 CRI.

11. Maximum 6 light squares.

12. Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.

13. Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.

14. 1 Amp standard. Use dedicated IES files for 600mA, 800mA and 1200mA when performing layouts. These files are published on the Galleon luminaire product page on the website.

17. Not available with LumaWatt wireless sensors.

18. Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.

Standard 4000K CCT and minimum 70 CRI.
 Not compatible with extended quick mount arm (QMEA).
 Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
 Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A.
 Only for use with 4800 Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase

16. 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in AF-02 through AF-04 requires a larger housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or

25. Replace X with number of Light Squares operating in low output mode.

26. LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.

20. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
21. Approximately 22' detection diameter at 8' mounting height.
22. Approximately 40' detection diameter at 20' mounting height.

480=480V 6.7 T3=Type III

Diodes

T2R=Type II Roadway

T3R=Type III Roadway

T4W=Type IV Wide

5NQ=Type V Narrow

5MQ=Type V Square Medium

5WQ=Type V Square Wide

SL2=Type II w/Spill Control SL3=Type III w/Spill Control

SL4=Type IV w/Spill Control

RW=Rectangular Wide Type I

AFL=Automotive Frontline

SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right

Accessories (Order Separately)

OA/RA1014=120V Photocontrol

GLEON-QM=Quick Mount Arm Kit

GLEON-QMEA=Quick Mount Extended Arm Kit LS/HSS=Field Installed House Side Shield 24.30

OA/RA1027=NEMA Photocontrol - 480V

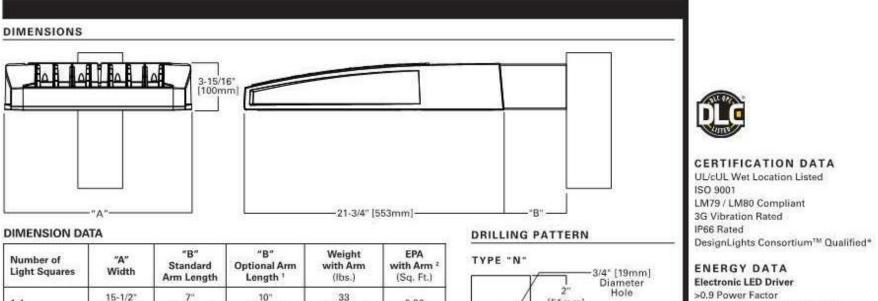
OA/RA1201=NEMA Photocontrol - 347V

OA/RA1013=Photocontrol Shorting Cap

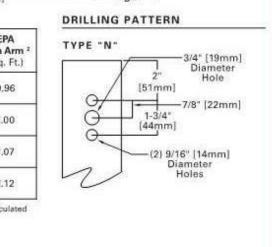
MA1252=10kV Surge Module Replacement

GLEON GALLEON LED

1-10 Light Squares Solid State LED AREA/SITE LUMINAIRE



Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8° (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12





Type B5





Sophisticated LED technology meets modern outdoor wall sconces

Delivered Lumens

Finish(es)

GH - Graphite

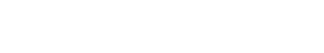
Formed aluminum with art glass shade, lit from both sides

Dimmable with ELV dimmer (Not included)

100% - 10%

50,000 hours

29. CE is not available with the LWR, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.



Garden Terrace

KUZCO + EW7024-GH

Type S

GLEON GALLEON LED

[Blank]=Arm for Round or

(Standard Length) 1

Arm (Extended

TD500020EN

2016-09-28 15:31:55

EA=Extended Arm*

QM=Quick Mount Arm

QMEA=Quick Mount

MA=Mast Arm Adapter 9

Color SPECIFY

DP=Dark Platinum

GM=Graphite Metallic | WM=Wall Mount

BK=Black

WH=White

OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V

MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon

MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon

MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon

MA1189-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon

MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon

MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon

MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon

MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon

MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon

MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon

MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon

MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon

FSIR-100=Wireless Configuration Tool for Occupancy Sensor 25

GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares

GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares

GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares

GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares

MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon

THE EDGE® PWY-EDG-2M Pathway Luminaire - Type II Medium

Product Description

F:T-N

Duable die-cast aluminum luminaire housing mounts directly to 4" (102mm) diameter pole without visible mounting hardware for clean apperance. Pole mounts to rugged die cast aluminum internal flange secured by (3) 3/8-16 anchor bolts (provided). Note: T45 Torx 3/8 socket required for head installation. Top mounted LEDs for superior optical performance and light control.

Performance Summary

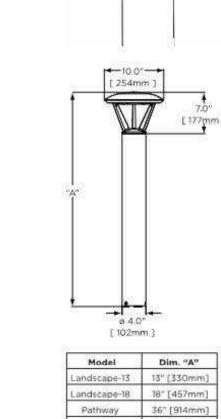
Utilizes BetaLED® Technology Patented NanoOptic® Product Technology Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI CCT: 5700K (+/- 500K) Standard, 4000K (+/- 300K)

Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish® EPA and Weight: Reference EPA and Weight spec sheet

Accessories

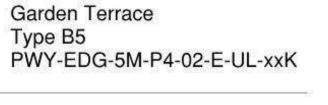
XA-XBP8RSV XA-XBP8BK XA-XBP8RWH XA-XBP8RBZ XA-XBP8RPB - Used for replacement of existing bollards



Ordering Information Example: PWY-EDG-2M-PO-02-D-UL-SV-350-OPTIONS

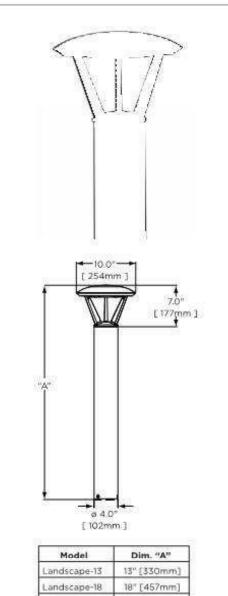
PWY-EDG	2M		02	D				
Product	Optic	Mounting	LED Count (x9)	Version	Voltage	Color Options	Drive Current	Options
PWY-EDG	2M Type II Medium	P0 13" (330mm) landscape P1 18" (457mm) landscape P3 3' (0.9m) landscape P4 42" (1068mm) landscape P8 8' (2.4m) landscape	02	D	UL Universal 120-277V UH' Universal 347-480V 12 120V 24 240V 27 347V 34' 347V 48' 480V	SV Silver (Standard) BK Black BZ Bronze PB Platinum Bronze WH White	350mA 525" 525mA	40K 4000K Color Temperature - Color temperature per luminaire F Fuse - When code dictates fusing, use time delay fuse - Not available with all ML options. Refer to ML specisheet for availability with ML options HL Hi / Low (175/350/525 Dual Circuit Input) - Refer to ML specisheet for details - Sensor not included TL Two-Level (175/525 w/ integrated sensor control) - Refer to ML specisheet for details TL2 Two-Level (0/350 w/ integrated sensor control) - Refer to ML specisheet for details TL3 Two-Level (0/525 w/ integrated sensor control) - Refer to ML specisheet for details WB Welded Base - Standard on P8 mounting option, available with P1, P3, and P4 mounting options

** Available with P1, P3, P4 and P8 mounting options. † See www.cree.com/lighting for warranty terms.



20% Total Harmonic Distortion

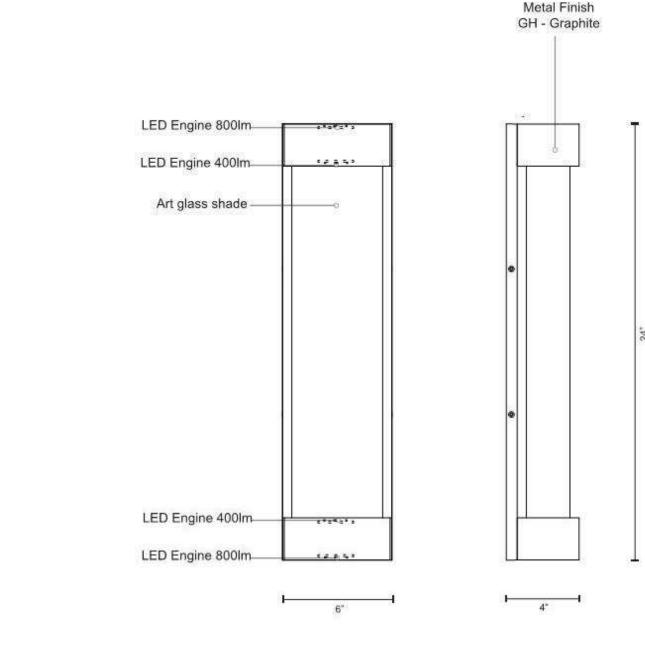
20V-277V 50/60Hz



Pathway 42" [1067mm]

Pedestrian 96" [2438mm]







EW7024-GH

F: 604 538 7196 Surrey, BC, Canada W: Kuzcolighting.com



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Garden Terrace -Multifamily Apartments

733 Kane Street La Crosse, WI 54603 Impact Lacrosse, LLC Impact Seven 2961 Decker Drive Rice Lake, WI 54868

PROJECT NUMBER

ISSUED FOR:	
CITY REVIEW SET	12-01-2017
REVISION FOR:	DATE

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SCHEDULED **FIXTURES**

MILWAUKEE | MADISON | TUSCON | CHICAGO

Garden Terrace -Multifamily Apartments 733 Kane Street La Crosse, WI 54603

Impact La Crosse, LLC
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

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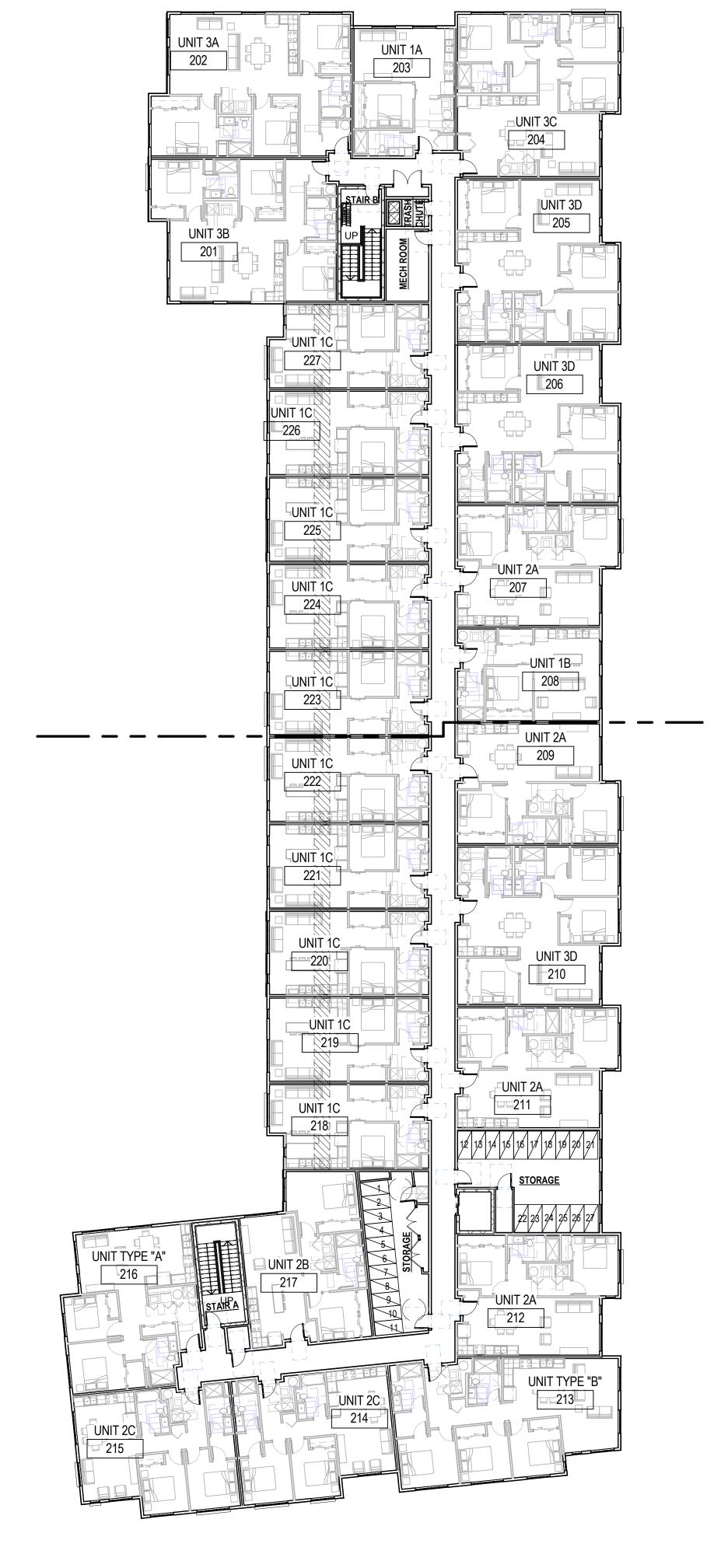
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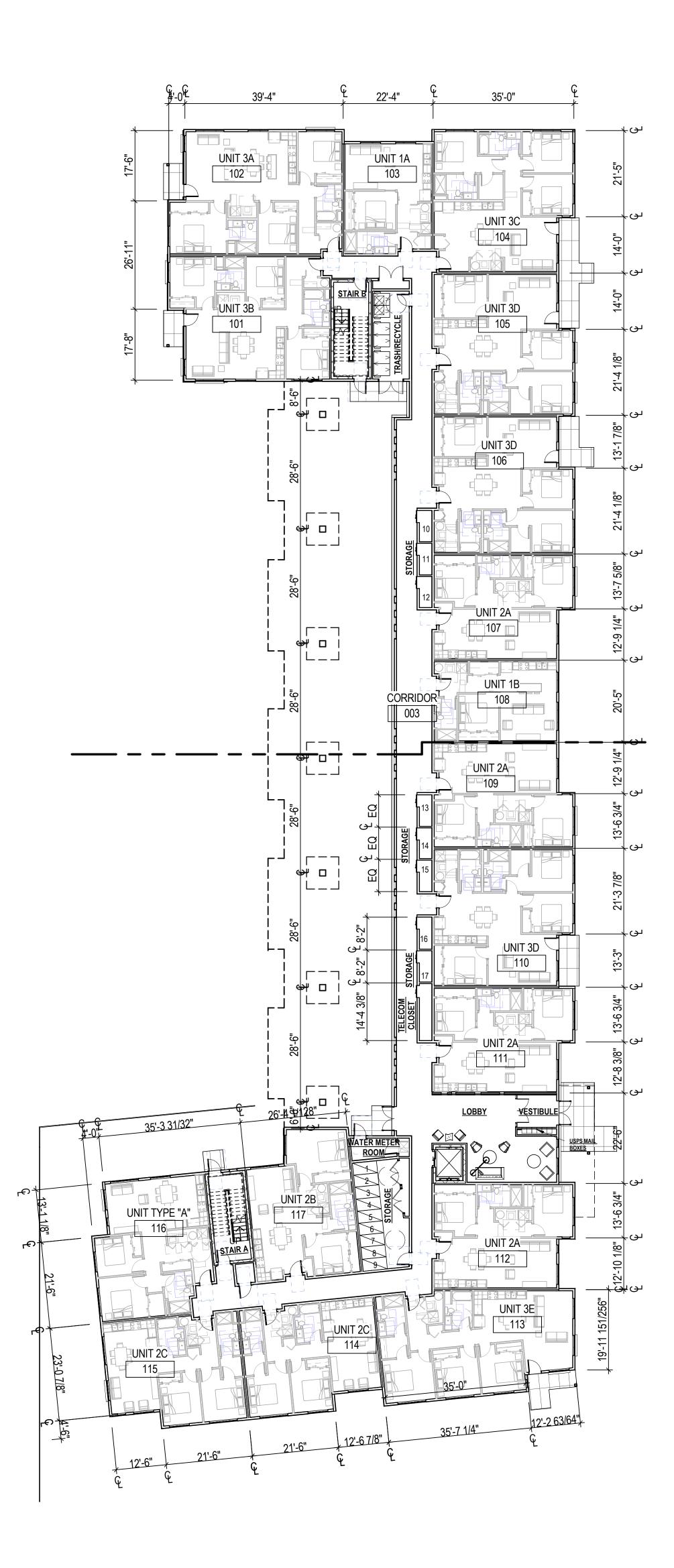
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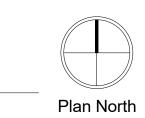
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OVERALL FLOOR PLANS









8 OVERALL EAST ELEVATION
SCALE: 3/64" = 1'-0"



1 EAST ELEVATION SOUTH SCALE: 1/8" = 1'-0"



2 EAST ELEVATION NORTH

Engberg Anderson ARCHITECTS

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Garden Terrace -Multifamily Apartments

733 Kane Street La Crosse, WI 54603 Impact La Crosse, LLC Impact Seven

2961 Decker Drive Rice Lake, WI 54868

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DATE

NO. DESCRIPTION

CHY REWEW SET - NOT FOR OUT SHOW SET - NOT SHOW SET

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BUILDING ELEVATIONS

A400



SOUTH



2 INTERIOR SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH





5 INTERIOR NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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Garden Terrace -Multifamily Apartments 733 Kane Street La Crosse, WI 54603

Impact La Crosse, LLC Impact Seven 2961 Decker Drive Rice Lake, WI 54868

SHINGLED ROOF

FIBERGLASS WINDOWS

5/4" COMPOSITE BOARD WINDOW TRIM

CEMENT BOARD LAP SIDING, COLOR A

FIBER CEMENT BOARD, WOOD FINISH

2nd FLOOR 662' - 9 3/8"

1st FLOOR 647' - 0"

ISSUED FOR: 12-01-2017 CITY REVIEW SET REVISION FOR: DATE NO. DESCRIPTION

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BUILDING ELEVATIONS

SOUTH



OVERALL WEST ELEVATION SCALE: 3/64" = 1'-0"



WEST ELEVATION NORTH SCALE: 1/8" = 1'-0"



3 WEST ELEVATION SOUTH
SCALE: 1/8" = 1'-0"



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Garden Terrace -Multifamily Apartments 733 Kane Street La Crosse, WI 54603

Impact La Crosse, LLC Impact Seven 2961 Decker Drive

Rice Lake, WI 54868

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BUILDING ELEVATIONS

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Garden Terrace -Multifamily Apartments 733 Kane Street La Crosse, WI 54603

Impact Seven 2961 Decker Drive Rice Lake, WI 54868

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STREET FACING FACADES STUDY -DESIGN REVIEW CHECKLIST - K.7

Impact La Crosse, LLC

12-01-
* *************************************
DA
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OVERALL EAST ELEVATION - street facing facade

20% study
SCALE: 3/32" = 1'-0"



NORTH ELEVATION - STraCAT - street facing facade 20% study
SCALE: 3/32" = 1'-0"



3 SOUTH ELEVATION - street facing facade 20% study
SCALE: 3/32" = 1'-0"

WINDOWS / DOOR AREA ON STREET FACADE 20% MINIMUM REQUIREMENT

	TOTAL WALL		
window / door ar	ea minimum requirement	20%	1669.158 sf
WINDOW TYPE	SF	UNITS	TOTAL
TYPE A	30	27	810 sf
TYPE B	24	4	96 sf
TYPE C	42	14	588 sf
TYPE D	36	7	252 sf
TYPE E	12	7	84 sf
UNIT DOOR	22.43	4	89.72 sf
LOBBY DOOR	54.61	1	54.61 sf
TOTAL AREA WINDOWS/DOOR			1974.33 sf

SOUTH ELEVATION					
	TO	3141.14 sf			
window / door a	rea minimum requirement	20%	628.228 sf		
WINDOW TYPE	SF	UNITS	TOTAL		
TYPE A	30	12	360 sf		
TYPE B	24	0	0 sf		
TYPE C	42	8	336 sf		
TYPE D	36	0	0 sf		
TYPE E	12	3	36 sf		
UNIT DOOR	22.43	1	22.43 sf		
LOBBY DOOR	54.61	0	0 sf		
TOTAL AREA WINDOWS/DOOR		754.43 sf			

NORTH ELEVATION					
	TO	2621.7 sf			
window / door a	rea minimum requirement	20%	524.34 sf		
WINDOW TYPE	SF	UNITS	TOTAL		
TYPE A	30	6	180 sf		
TYPE B	24	0	0 sf		
TYPE C	42	8	336 sf		
TYPE D	36	0	0 sf		
TYPE E	12	0	0 sf		
UNIT DOOR	22.43	0	0 sf		
LOBBY DOOR	54.61	0	0 sf		
TOTAL AREA WINDOWS/DOOR		516 sf			

SOUTH