

PETITION FOR CHANGE TO ZONING  
CITY OF LA CROSSE

AMENDMENT OF ZONING DISTRICT BOUNDARIES

Petitioner (name and address): WILLOW GROVE LLC MICHAEL AND REGINA OJELABI  
MICHAEL OJELABI, REGINA OJELABI  
1431 KING STREET LA CROSSE WI, 54601

Owner of site (name and address): WILLOW GROVE LLC  
MICHAEL O OJELABI REGINA OJELABI  
1431 KING STREET LA CROSSE WI, 54601

Address of subject premises: 1417 13TH ST S , LA CROSSE WI, 54601

Tax Parcel No.: 17- 40015 - 40

Legal Description: PARK ADDITION LOTS 6,7 & 8 BLOCK 5  
LOT S2 : 68 x166 EACH LOT

Zoning District Classification: R2- RESIDENCE

Proposed Zoning Classification: R5- Multiple Dwelling

- Is the property located in a floodway/floodplain zoning district?  Yes  No
- Is the property/structure listed on the local register of historic places?  Yes  No
- Is the Rezoning consistent with Future Land Use Map of the Comprehensive Plan?  Yes  No
- Is the Rezoning consistent with the policies of the Comprehensive Plan?  Yes  No

Property is Presently Used For:  
IT HAS BEEN EMPTY FOR TWO YEARS. IT BUILT AS A SCHOOL AND OPERATED AS ONE FOR  
DECADES UNTIL IT CLOSED IN 2002 DUE TO DECLINING ENROLLMENT. IT OPERATED AS A DAY  
CARE UNTIL 2019.

Property is Proposed to be Used For:  
Conversion to multifamily apartments that will be rented at market rates. It will be attractive for families,  
singles, workers who want to walk to work, students, empty nesters -anybody who wants high quality  
housing with in-unit laundry, dishwashers central A/C without being tied to a 30 year mortgage, shovel  
snow or mow the lawn. 5 of the units will be handicapped accessible/adaptable.

Proposed Rezoning is Necessary Because (Detailed Answer):  
Rezoning needed for conversion into 19 unit apartment building. the property has been placed on the  
national and state's registers of historic places with tax credits. This ensures the continued survival of the  
property as an economically viable historic property.

Proposed Rezoning will not be Detrimental to the Neighborhood or Public Welfare Because (Detailed Answer):  
Instead of falling into disrepair and becoming a neighborhood nuisance being broken into and vandalized  
-a drain on police and fire service. it becomes a home for 19 households. The injection of a up to two  
million dollars will raise property values.

Proposed Rezoning will not be Detrimental to the City's Long Range Comprehensive Plan Goals, Objectives, Actions and Policies Because (Detailed Answer):  
The city has limited land area and the population has grown by less than 1000 people in 50 years. This is the most efficient use of the property which also protects a historic property. Expansion of city's tax base and attraction of new residents and workers to the city and new students to support our public schools.

The undersigned depose and state that I/we am/are the owner of the property involved in this petition and that said property was purchased by me/us on the 30th day of October, 2019.

I hereby certify that I am the owner or authorized agent of the owner (include affidavit signed by owner) and that I have read and understand the content of this petition and that the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

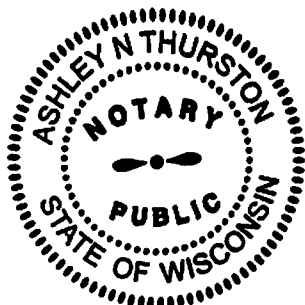
Mjelabi                      Gelabi  
 \_\_\_\_\_  
 (signature)

608-461-1858 267-471-0502                      06/04/2021  
 \_\_\_\_\_  
 (telephone)    (date)

moojelabi@yahoo.com ginaojay@yahoo.com  
 \_\_\_\_\_  
 (email)

STATE OF WISCONSIN                      )  
   ) ss.  
 COUNTY OF LA CROSSE                    )

Personally appeared before me this 4 day of June, 2021, the above named individual, to me known to be the person who executed the foregoing instrument and acknowledged the same.



Ashley N. Thurston  
 \_\_\_\_\_  
 Notary Public  
 My Commission Expires: 11/24/2023

PETITIONER SHALL, **BEFORE FILING**, HAVE PETITION REVIEWED AND INFORMATION VERIFIED BY THE DIRECTOR OF PLANNING & DEVELOPMENT.

Review was made on the 4th day of June, 2021

Signed: [Signature] Plan Admin  
 \_\_\_\_\_  
 Director of Planning & Development

AFFIDAVIT

STATE OF )  
 ) ss  
COUNTY OF )

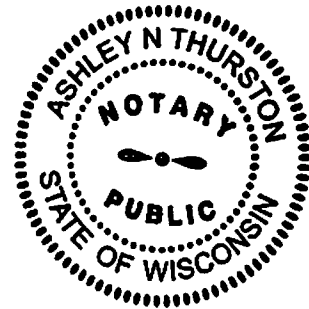
The undersigned, WILLOW GROVE LLC MICHAEL AND REGINA OJELABI, being duly sworn states:

1. That the undersigned is an adult resident of the City of LA CROSSE, State of WISCONSIN.
2. That the undersigned is (one of the) legal owner(s) of the property located at 1417 13TH ST S, LA CROSSE.
3. By signing this affidavit, the undersigned authorizes the application for a conditional use permit/district change or amendment (circle one) for said property.

*[Signature]* *[Signature]*  
 Property Owner

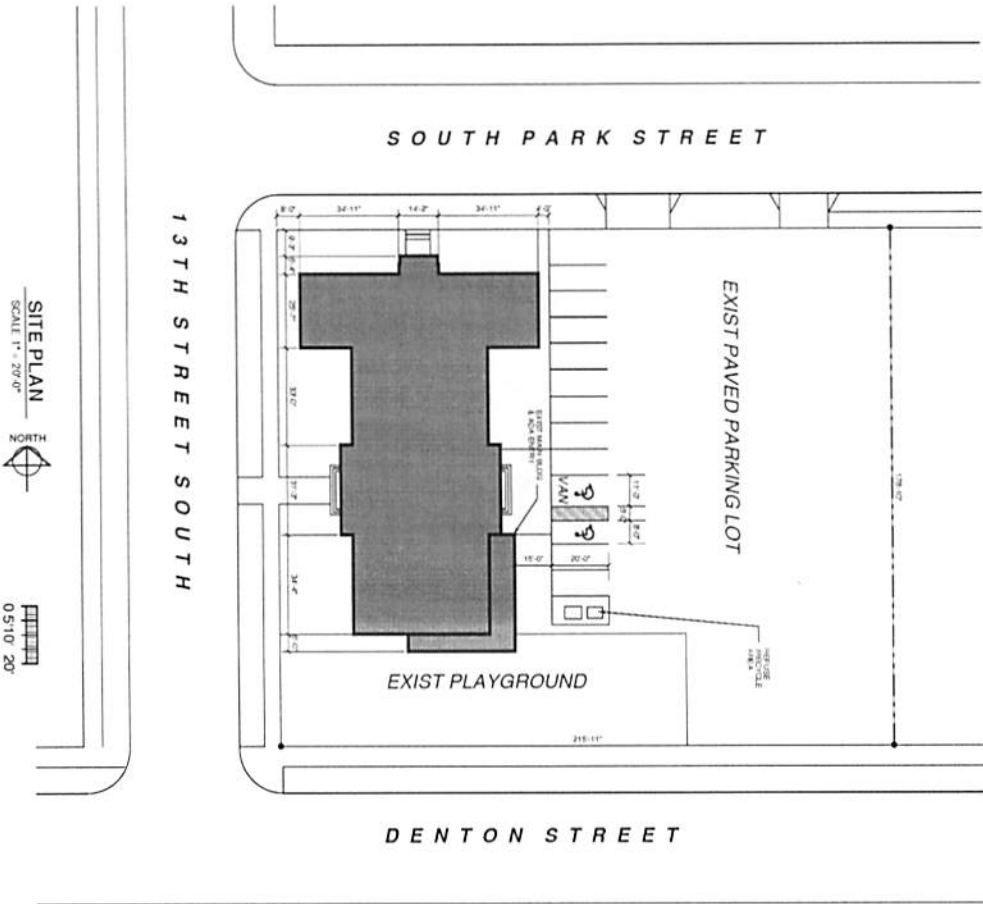
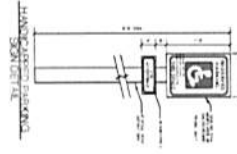
Subscribed and sworn to before me this 4 day of June, 2021

*Ashley N Thurston*  
 Notary Public  
 My Commission expires 11/24/2023



### Accessibility Notes:

- 1. The new exterior door assembly shall comply with the door and threshold requirements of 2010 ICC A117.1, and shall be accessible from both sides of the door.
- 2. The door shall be self-closing and shall be equipped with a door pull.
- 3. The door shall be equipped with a door pull that is accessible from both sides of the door.
- 4. The door shall be equipped with a door pull that is accessible from both sides of the door.
- 5. The door shall be equipped with a door pull that is accessible from both sides of the door.
- 6. The door shall be equipped with a door pull that is accessible from both sides of the door.
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- 15. The door shall be equipped with a door pull that is accessible from both sides of the door.
- 16. The door shall be equipped with a door pull that is accessible from both sides of the door.
- 17. The door shall be equipped with a door pull that is accessible from both sides of the door.
- 18. The door shall be equipped with a door pull that is accessible from both sides of the door.
- 19. The door shall be equipped with a door pull that is accessible from both sides of the door.
- 20. The door shall be equipped with a door pull that is accessible from both sides of the door.



**SITE PLAN**  
SCALE 1" = 20'-0"



### DRAWING INDEX

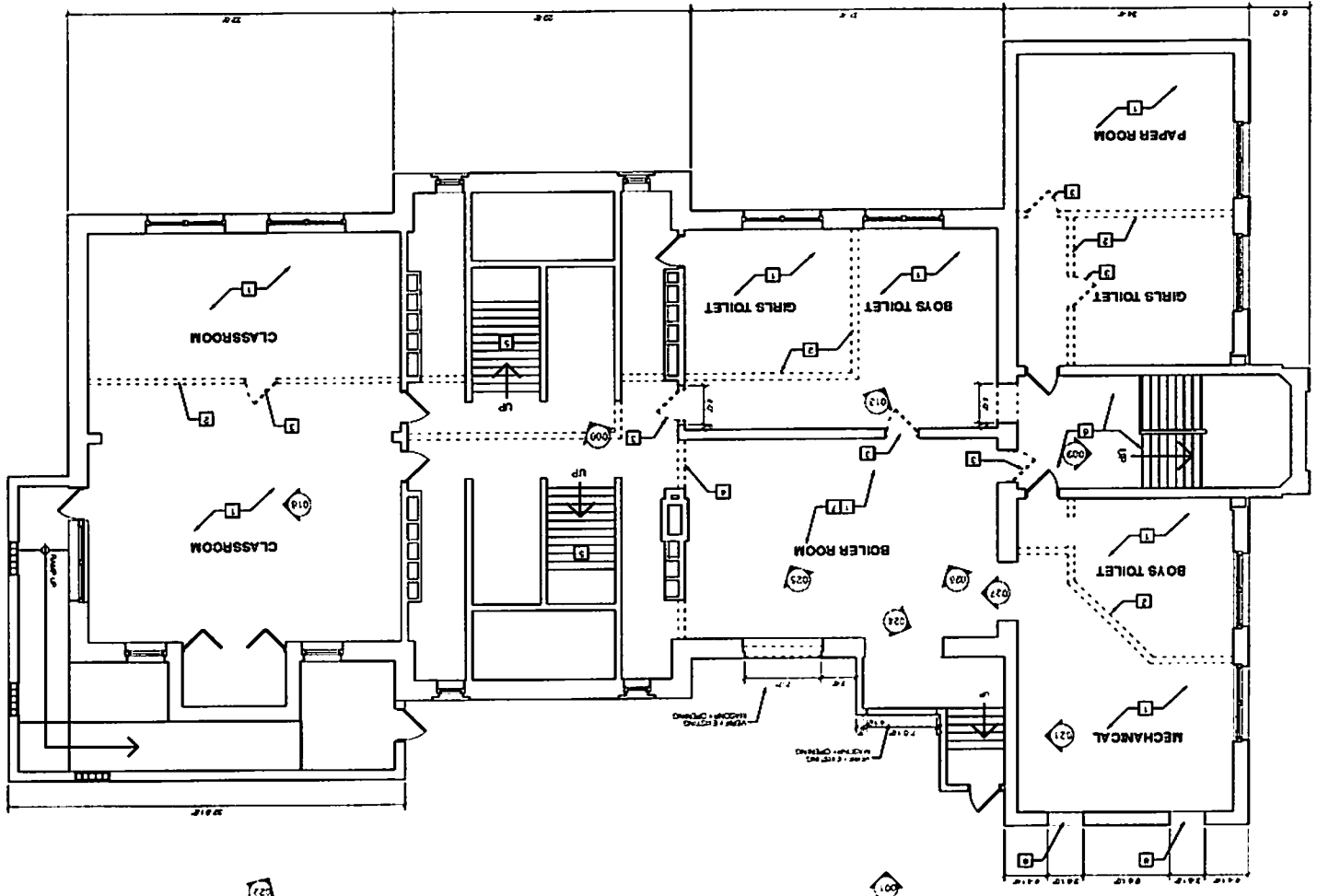
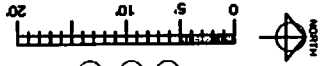
AS1	SITE PLAN
EA1	EXISTING BASEMENT PLAN
EA2	EXISTING FIRST FLOOR PLAN
EA3	EXISTING SECOND FLOOR PLAN
EAA	EXISTING ATTIC FLOOR PLAN
A1	NEW BASEMENT PLAN
A2	NEW FIRST FLOOR PLAN
A3	NEW SECOND FLOOR PLAN
A4	NEW ATTIC FLOOR PLAN
A5	WEST EXTERIOR ELEVATION
A6	SOUTH EXTERIOR ELEVATION
A7	EAST EXTERIOR ELEVATION
A8	NORTH EXTERIOR ELEVATION
A9	DOOR SCHEDULE
A10	WINDOW SCHEDULE/FLOOR TYPES
A11	ACCESSIBLE DET DETAILS
A12	ATTIC FLOOR PLAN
A13	ATTIC ROOF FRAMING
A14	Ceiling Plans



**CHRIS LA SHORNE**  
**ARCHITECTURE**  
323 State Street Apt 307, La Crosse, WI 54601  
(608) 785-2626  
Sustainable Architecture and Design  
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**Project: HOLY TRINITY SCHOOL APARTMENTS  
FOR MICHAEL OJELABI  
1417 13TH STREET S  
LA CROSSE WI**

SCALE 3/8" = 1'-0"  
**EXISTING BASEMENT FLOOR PLAN**

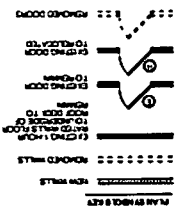


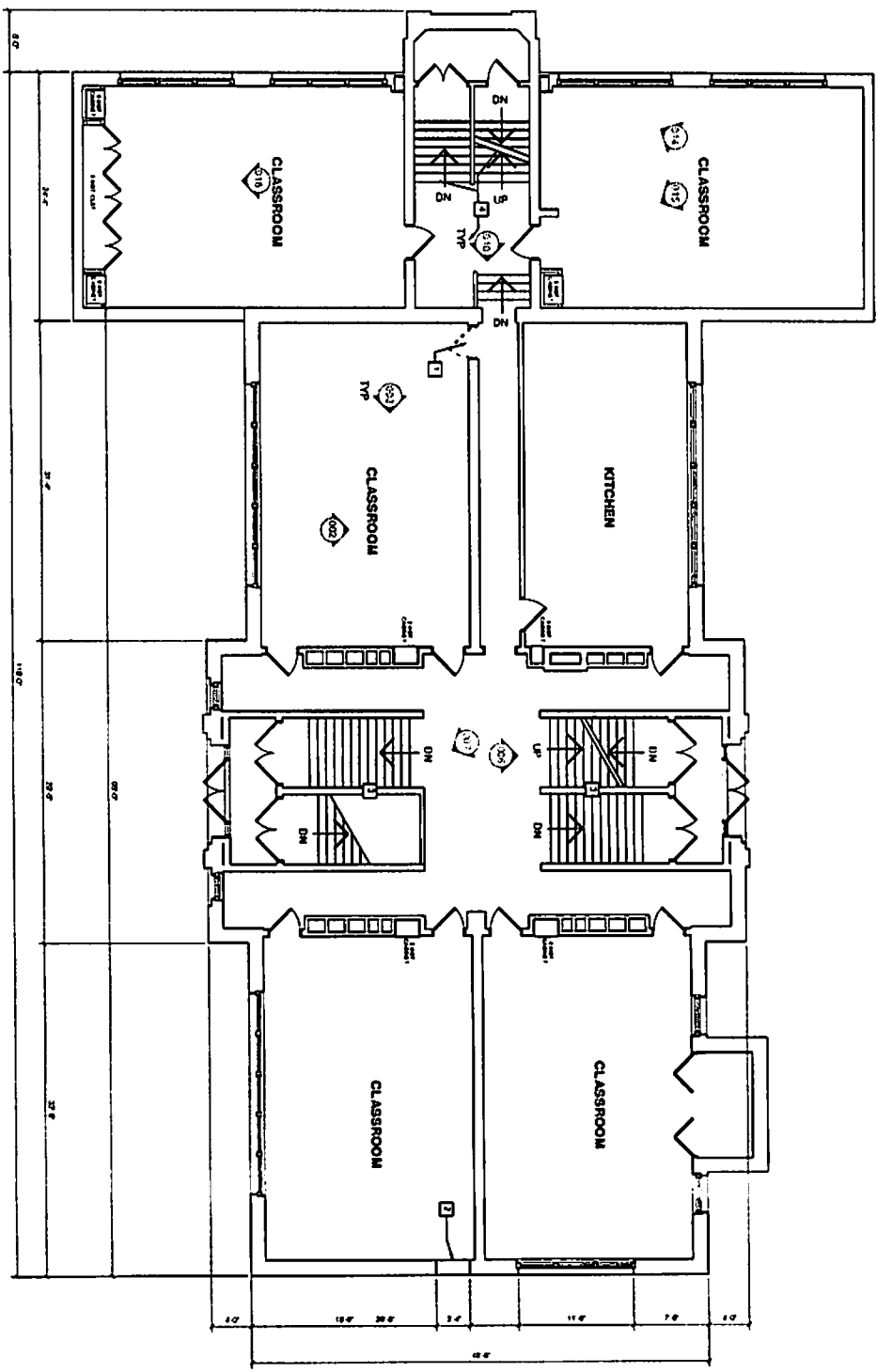
**GENERAL DEMOLITION NOTES:**

1. ALL EXISTING WALLS AND PARTITIONS TO REMAIN UNLESS INDICATED OTHERWISE.  
2. ALL EXISTING FLOORING TO REMAIN UNLESS INDICATED OTHERWISE.  
3. ALL EXISTING CEILING TO REMAIN UNLESS INDICATED OTHERWISE.  
4. ALL EXISTING MECHANICAL AND ELECTRICAL TO REMAIN UNLESS INDICATED OTHERWISE.  
5. ALL EXISTING PIPING TO REMAIN UNLESS INDICATED OTHERWISE.  
6. ALL EXISTING STAIRS TO REMAIN UNLESS INDICATED OTHERWISE.  
7. ALL EXISTING ELEVATORS TO REMAIN UNLESS INDICATED OTHERWISE.  
8. ALL EXISTING DOORS AND WINDOWS TO REMAIN UNLESS INDICATED OTHERWISE.  
9. ALL EXISTING PARTITIONS TO REMAIN UNLESS INDICATED OTHERWISE.  
10. ALL EXISTING WALLS TO REMAIN UNLESS INDICATED OTHERWISE.

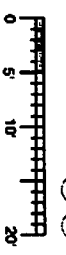
**KEYED DEMOLITION NOTES:**

1. EXISTING CONCRETE SLAB AND EXISTING REINFORCING TO REMAIN UNLESS INDICATED OTHERWISE.  
2. EXISTING CONCRETE WALLS TO REMAIN UNLESS INDICATED OTHERWISE.  
3. EXISTING CONCRETE FLOORING TO REMAIN UNLESS INDICATED OTHERWISE.  
4. EXISTING CONCRETE CEILING TO REMAIN UNLESS INDICATED OTHERWISE.  
5. EXISTING CONCRETE MECHANICAL AND ELECTRICAL TO REMAIN UNLESS INDICATED OTHERWISE.  
6. EXISTING CONCRETE PIPING TO REMAIN UNLESS INDICATED OTHERWISE.  
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9. EXISTING CONCRETE DOORS AND WINDOWS TO REMAIN UNLESS INDICATED OTHERWISE.  
10. EXISTING CONCRETE PARTITIONS TO REMAIN UNLESS INDICATED OTHERWISE.





EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

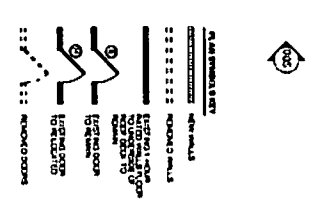


**GENERAL DEMOLITION NOTES:**

- 1. ALL EXISTING DEMOLITION AREAS TO BE REMOVED AND RECONSTRUCTED TO MATCH ADJACENT AREAS.
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- 3. ALL EXISTING DEMOLITION AREAS TO BE REMOVED AND RECONSTRUCTED TO MATCH ADJACENT AREAS.
- 4. ALL EXISTING DEMOLITION AREAS TO BE REMOVED AND RECONSTRUCTED TO MATCH ADJACENT AREAS.

**KEY DEMOLITION NOTES:**

- 1. REMOVE EXISTING DOORS AND REFRAME TO OPEN.
- 2. REMOVE EXISTING PARTITION WALLS TO OPEN UP SPACE.
- 3. REMOVE EXISTING PARTITION WALLS TO OPEN UP SPACE.
- 4. REMOVE EXISTING PARTITION WALLS TO OPEN UP SPACE.

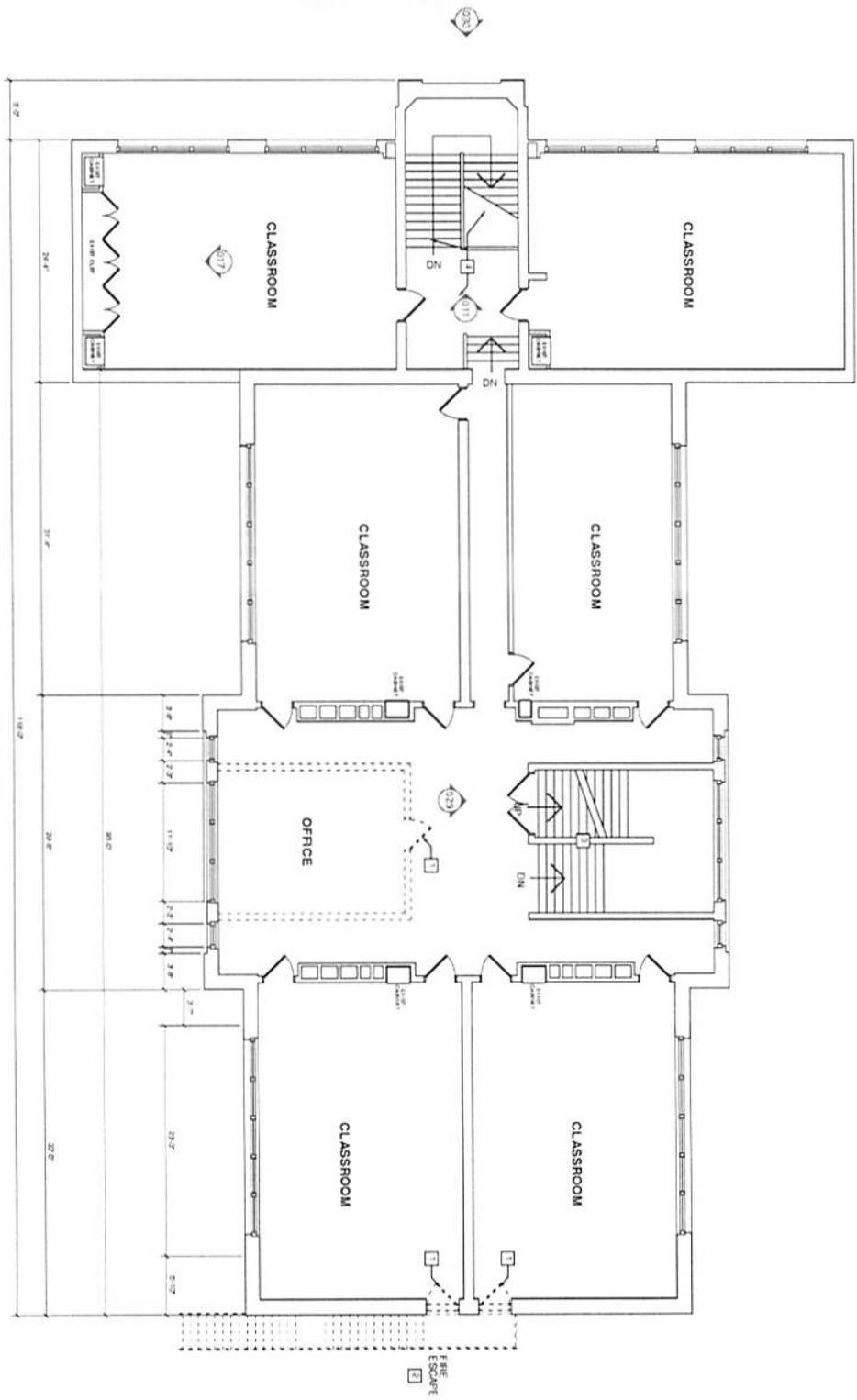
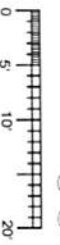


**HOLY TRINITY SCHOOL APARTMENTS  
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LA CROSSE WI**

**CHRIS LA SHORNE  
ARCHITECTURE**  
121 Main Street Apt. 207, La Crosse, WI 54601  
608-785-1111  
www.chrislashorne.com

**EA2**

EXISTING SECOND FLOOR PLAN  
SCALE 3/16" = 1'-0"

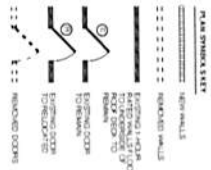


GENERAL DEMOLITION NOTES:

- 1. ALL EXISTING WALLS AND DOORS SHALL BE DEMOLISHED TO EXPOSE THE INTERIOR SURFACE OF THE EXISTING WALLS AND DOORS. ALL EXISTING WALLS AND DOORS SHALL BE DEMOLISHED TO EXPOSE THE INTERIOR SURFACE OF THE EXISTING WALLS AND DOORS.
- 2. ALL EXISTING WALLS AND DOORS SHALL BE DEMOLISHED TO EXPOSE THE INTERIOR SURFACE OF THE EXISTING WALLS AND DOORS.
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- 10. ALL EXISTING WALLS AND DOORS SHALL BE DEMOLISHED TO EXPOSE THE INTERIOR SURFACE OF THE EXISTING WALLS AND DOORS.

KEYED DEMOLITION NOTES:

- 1. REMOVE EXISTING ROOMS AND FINISHES AS SHOWN.
- 2. REMOVE EXISTING FIRE ESCAPE CHUTE.
- 3. REMOVE EXISTING WALLS AND FINISHES TO EXPOSE THE INTERIOR SURFACE OF THE EXISTING WALLS AND FINISHES.
- 4. REMOVE EXISTING WALLS AND FINISHES TO EXPOSE THE INTERIOR SURFACE OF THE EXISTING WALLS AND FINISHES.
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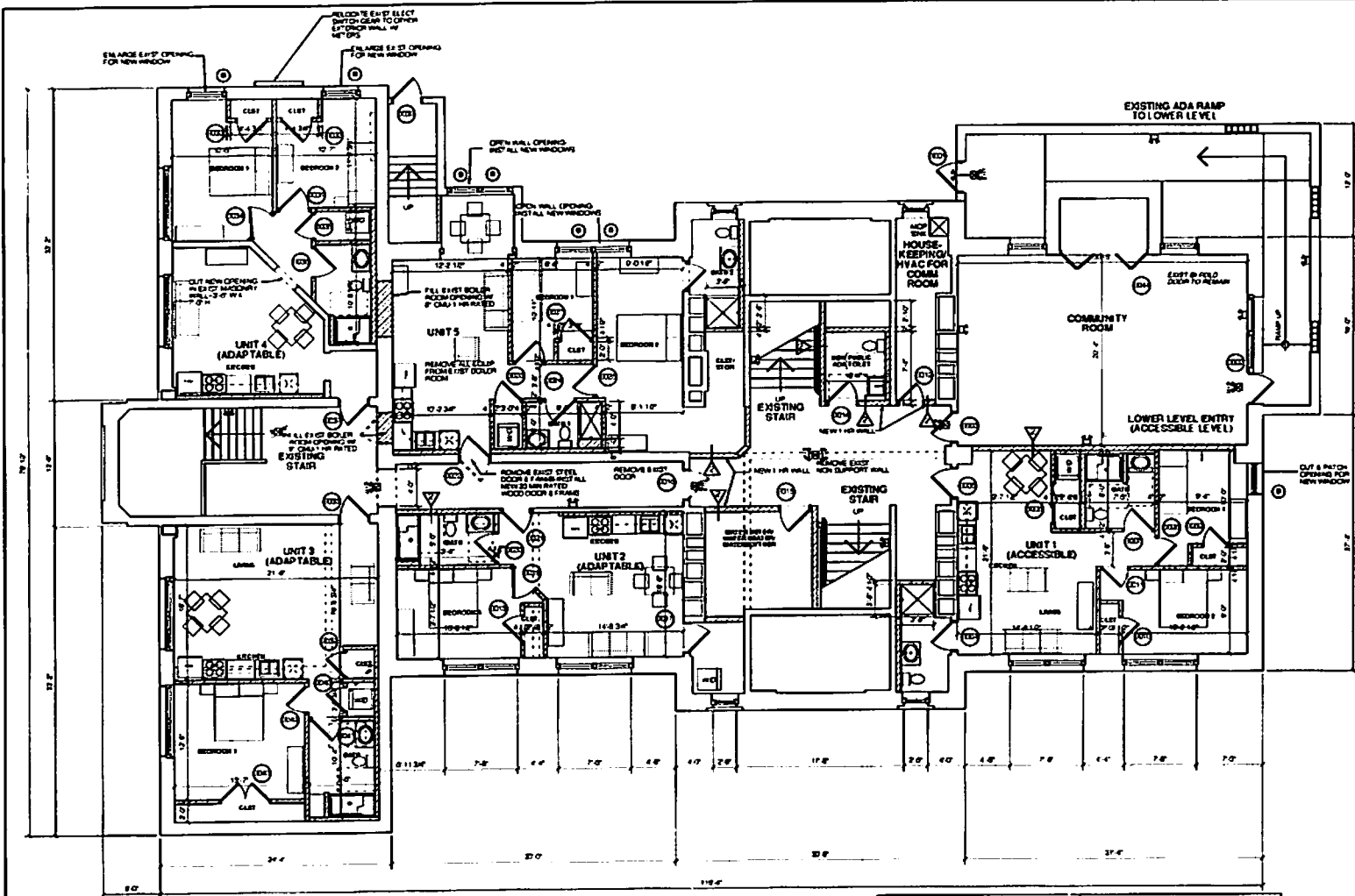
**HOLY TRINITY SCHOOL APARTMENTS  
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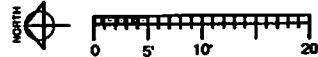
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Date: 2018.06.06  
Time: 11:04 AM  
Drawing: EA3  
Scale: 3/16" = 1'-0"







**NEW BASEMENT FLOOR PLAN**  
SCALE 3/16" = 1'-0"



EMERGENCY EXIT LIGHT KEY		MINIMUM STANDARDS FOR EXIT SIGNS & EMERGENCY LIGHTING	
EXIT	ON FACES BUT DON DIRECT WARD BATTERY QUANTITY AND ELN 12 BURN FOOD WARE REED	EXIT SIGN	EXIT SIGN DIRECT WARD BUT NOT BURN FOOD WARE REED
EXIT	ON FACES BUT DON DIRECT WARD BATTERY QUANTITY AND ELN 12 BURN FOOD WARE REED	EXIT SIGN	EXIT SIGN DIRECT WARD BUT NOT BURN FOOD WARE REED
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EXIT	ON FACES BUT DON DIRECT WARD BATTERY QUANTITY AND ELN 12 BURN FOOD WARE REED	EXIT SIGN	EXIT SIGN DIRECT WARD BUT NOT BURN FOOD WARE REED

**CODE INFORMATION**

BUILDING CODE: 2015 IBC INTERNATIONAL EXISTING  
BUILDING CODE  
CHAPTER 12 CERTIFIED HISTORIC BUILDING  
ALTERATION LEVEL 3

THIS BUILDING IS A CERTIFIED HISTORIC  
STRUCTURE LISTED ON THE NATIONAL  
REGISTER OF HISTORIC PLACES

THE BUILDING HAS BEEN CLASSIFIED AS EDUCATIONAL  
USE & WILL BE CHANGED TO  
R2 RESIDENTIAL

BUILDING AREA  
 BASEMENT 7680 SF  
 1ST FLOOR 6527 SF  
 2ND FLOOR 6537 SF  
 ATTIC 3160 SF  
 TOTAL AREA 23904 SF

CONSTRUCTION TYPE 3B EXTERIOR MASONRY W/  
WOOD FRAMED INTERIOR WALLS FLOORS  
& ROOF

SPRINKLER SYSTEM NFPA 108  
 FIRE ALARM SYSTEM YES  
 SMOKE DETECTORS YES  
 OCCUPANCY GROUP R2 RESIDENTIAL  
 MINIMUM 1 HOUR SEPARATION 1ST TO 2ND FLOOR  
 MINIMUM 1 HOUR SEPARATION RESIDENTIAL UNIT TO UNIT

**GENERAL NOTES:**

-ALL DIMENSIONS ARE TO FACE OF  
FINISHED WALLS, UNLESS NOTED  
OTHERWISE

-EXTERIOR WALL FRAMING IS TO BE PER  
PLANS AND DETAILS

-ALL HOT WATER HEATERS ARE TO BE  
ELECTRIC OR GAS SEALED COMBUSTION  
TYPE

-ALL SPACE HEATING DEVICES ARE TO  
BE GAS SEALED COMBUSTION TYPE OR  
ELECTRIC

-THE OWNER IS TO PROVIDE 2 FIRE  
EXTINGUISHERS PER FLOOR NFPA 10  
AND IFC 106

-THE OWNER IS TO PROVIDE  
EMERGENCY LIGHTING AND EXIT SIGNS  
ALL TO HAVE BATTERY BACKUP POWER  
SUPPLY

-ASPHALT & GRAVEL DRIVE TO SLOPE NO  
MORE THAN 5% UP TO BUILDING  
ENTRANCES

**BASEMENT FINISH SCHEDULE**

**FLOOR**  
 ALL FLOORS PUBLIC WOOD STAIRS AND PUBLIC HALLS TO  
BE NEW STAINED CONCRETE UNLESS NOTED OTHERWISE  
 TOILETS & BATHROOMS ARE TO BE VINYL PLANK AS SELECTED  
BY OWNER  
 STAIRS AND HALL AT 18" A.C.C. TO BE ORIGINAL TERRAZZO  
FLOOR TO BE CLEANED AND CLEAR SEALED

**WALL BASE**  
 ALL EXISTING WOOD WALL BASE AND 1" ROUND THROUGHOUT  
TO BE CLEANED AND REFINISHED TO MATCH EXISTING AS  
NEEDED  
 TOILET & BATHROOMS ARE TO BE 6" VINYL BASE

**WALL FINISH**  
 EXISTING PLASTER AND GYP BOARD WALLS TO BE PAINTED  
2 COATS OF LATE PAINT  
 ALL NEW GYP BOARD WALLS TO BE CEILING LIGHT ORANGE PEEL  
FINISH AND BE PAINTED 2 COATS OF LATE PAINT  
 WALLS AT TOILETS AND BATHROOMS TO BE PAINTED 2 COATS  
SEMI-GLOSS LATE PAINT

**WOOD DOORS, WINDOWS AND TRIM**  
 EXISTING WOOD DOORS, WINDOWS AND TRIM TO REMAIN AND  
REFINISHED TO MATCH EXISTING AS NEEDED  
 EXISTING WOOD STAIRWAYS, STAIRS, WALKWAYS, CAP TRIM  
NEWEL POSTS, BALUSTERS, HANDRAILS AND ANY OTHER TRIM  
TO REMAIN AND REFINISHED TO MATCH EXISTING AS NEEDED  
 NEW WOOD DOORS, HANDRAILS AND TRIM TO BE STAINED AND  
CLEAR COATED TO MATCH EXISTING AS NEEDED TO MATCH EXISTING

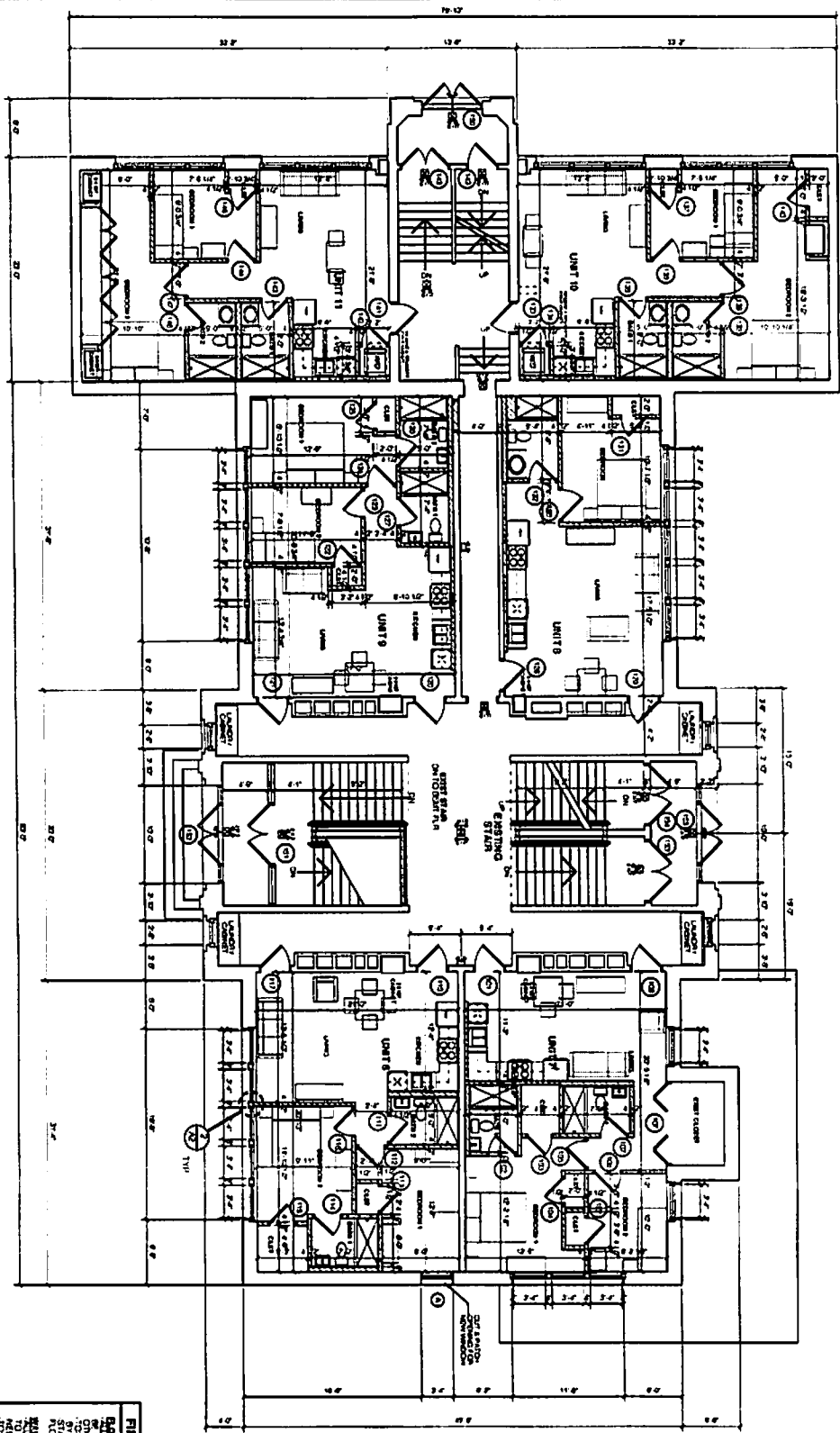
**CEILING FINISH**  
 ALL EXISTING EXPOSED ACUSTIC TILE TO REMAIN. CEILINGS  
THROUGHOUT TO BE PAINTED 2 COATS OF LATE PAINT AFTER ALL  
ELECTRICAL WIRING, PLUMBING, MECHANICAL, FIRE ALARM  
AND FIRE SPRINKLER FINISH IS IN PLACE  
 ANY EXISTING PLASTER CEILINGS AND SOFFITS TO BE  
PAINTED 2 COATS OF LATE PAINT  
 ALL NEW GYP BOARD CEILINGS AND SOFFITS TO BE CEILING LIGHT  
ORANGE PEEL FINISH AND BE PAINTED 2 COATS OF LATE PAINT

CHRIS LA SHORNE  
ARCHITECTURE  
1712 13th Street Apt 201, La Crosse, WI 54601  
(608) 785-1888

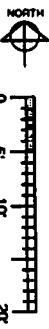
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Project No: 2019 050  
Date: 11.04.2020  
Drawing Name:

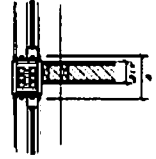
A1



**NEW FIRST FLOOR PLAN**  
SCALE 3/16" = 1'-0"



**TYP NEW WALL TO EXIST WINDOW DET**  
SCALE 1" = 1'-0"



**FIRST FLOOR FINISH SCHEDULE**

**FLOOR FINISHES:** ALL FLOOR FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL FLOOR FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL FLOOR FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES.

**WALL FINISHES:** ALL WALL FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL WALL FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL WALL FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES.

**CEILING FINISHES:** ALL CEILING FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL CEILING FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL CEILING FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES.

**DOOR FINISHES:** ALL DOOR FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL DOOR FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL DOOR FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES.

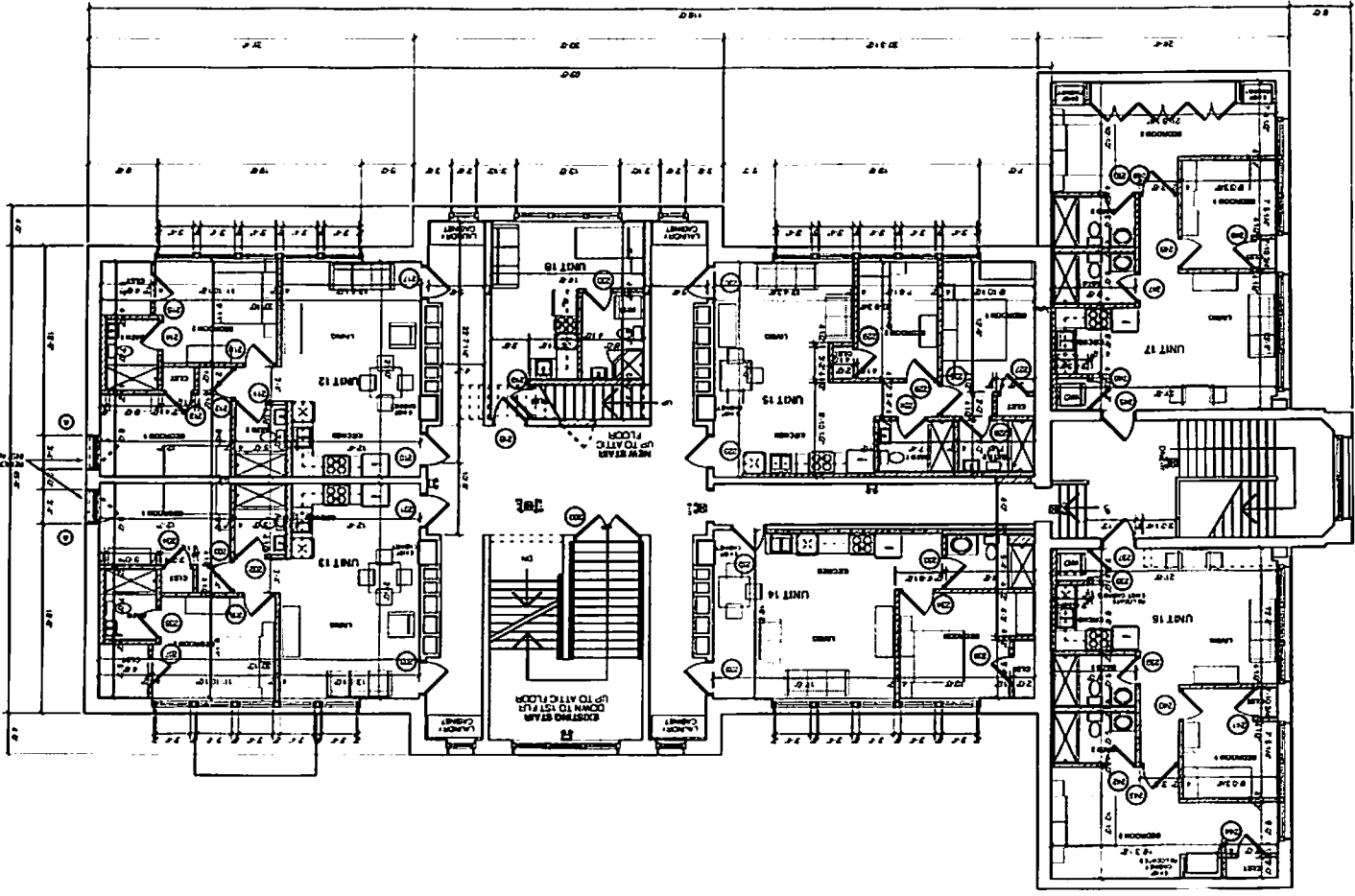
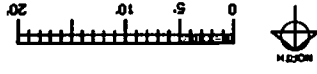
**STAIR FINISHES:** ALL STAIR FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL STAIR FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES. ALL STAIR FINISHES TO BE PAINTED TO MATCH EXISTING FINISHES.

**HOLY TRINITY SCHOOL APARTMENTS**  
**FOR MICHAEL OJELABI**  
**1417 13TH STREET**  
**LA CROSSE WI**

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**ARCHITECTURE**  
311 State Street Apt 207, La Crosse, WI 54601  
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1417 13th Street, La Crosse, WI 54601

**A2**

NEW SECOND FLOOR PLAN



SECOND FLOOR FINISH SCHEDULE

1. FLOORING: ALL FLOORING SHALL BE AS SHOWN ON THE DRAWINGS. ALL FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL FLOORING SHALL BE INSTALLED OVER A 1/2\"

2. WALLS: ALL WALLS SHALL BE FINISHED WITH THE MATERIALS AND METHODS SHOWN ON THE DRAWINGS. ALL WALLS SHALL BE FINISHED TO THE TOP OF THE CEILING. ALL WALLS SHALL BE FINISHED TO THE BOTTOM OF THE FLOOR. ALL WALLS SHALL BE FINISHED TO THE SIDES OF THE OPENING. ALL WALLS SHALL BE FINISHED TO THE CORNERS OF THE OPENING. ALL WALLS SHALL BE FINISHED TO THE TOP OF THE CEILING. ALL WALLS SHALL BE FINISHED TO THE BOTTOM OF THE FLOOR. ALL WALLS SHALL BE FINISHED TO THE SIDES OF THE OPENING. ALL WALLS SHALL BE FINISHED TO THE CORNERS OF THE OPENING.

FIRE SPRINKLER/SECTION/LAB/ARM SYSTEMS NOTES

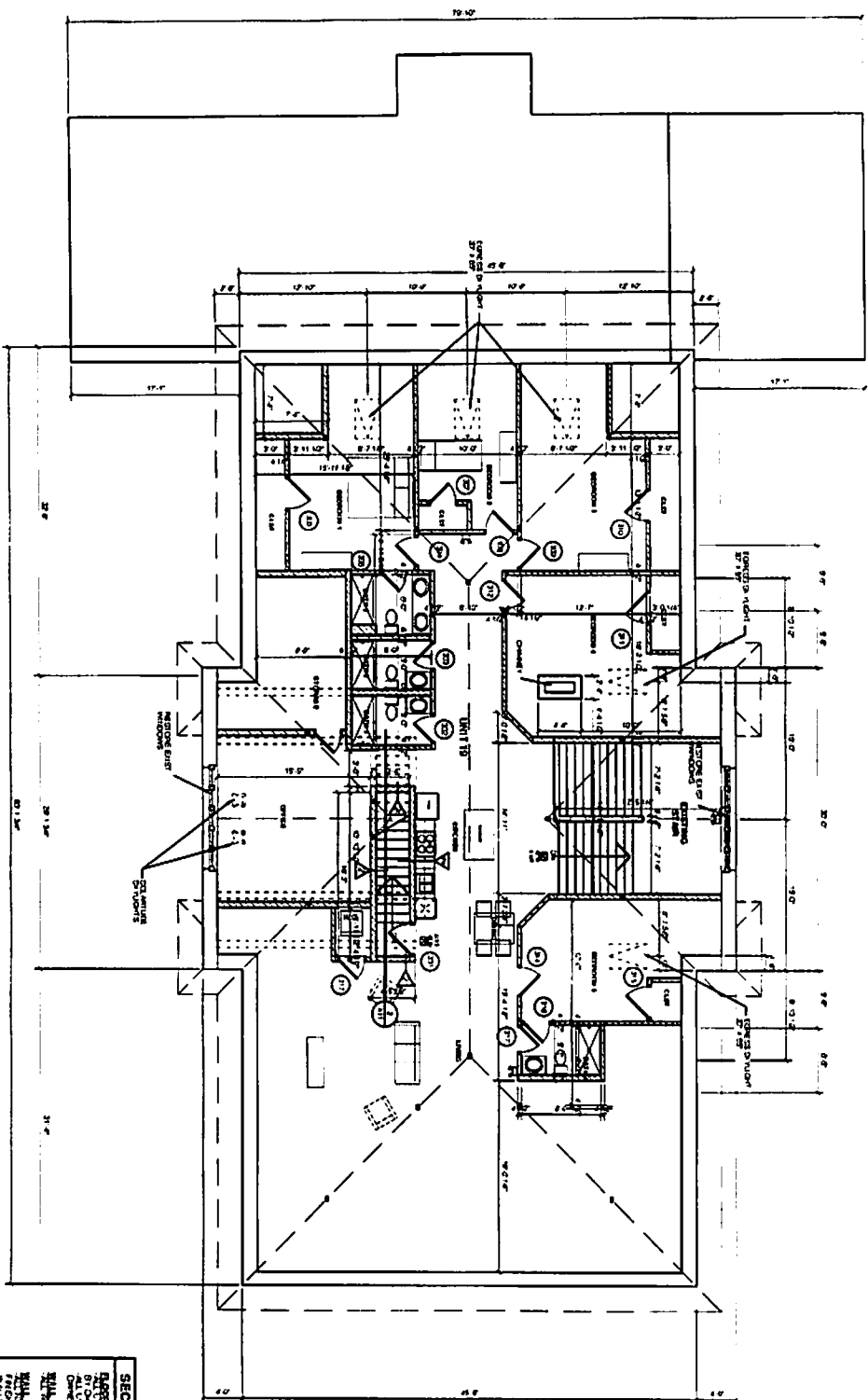
1. THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13 CODE. ALL FIRE SPRINKLER HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA 13 CODE. ALL FIRE SPRINKLER HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA 13 CODE.

**A3**

DATE: 11/04/2022  
TIME: 10:18:00

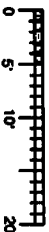
**HOLY TRINITY SCHOOL APARTMENTS  
FOR MICHAEL OJELABI  
1417 13TH STREET S  
LA CROSSE WI**

**CHRIS LA SHORE  
ARCHITECTURE**  
237 South Chandler Ave. La Crosse, WI 54601  
608.785.4444  
www.chrislashore.com



**NEW ATTIC FLOOR PLAN**

SCALE 3/8" = 1'-0"  
 VERIFY ALL HEADROOM CLEARANCES IN  
 ATTIC FLOOR



**SECOND FLOOR FINISH SCHEDULE**

**FLOOR:** ALL OPERATIONS ARE TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

**WALLS:** ALL WALLS TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

**CEILING:** ALL CEILING AREAS TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

**STAIRS:** ALL STAIRS TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

**DOORS:** ALL DOORS TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

**WINDOWS:** ALL WINDOWS TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

**MECHANICAL:** ALL MECHANICAL AREAS TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

**ELECTRICAL:** ALL ELECTRICAL AREAS TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

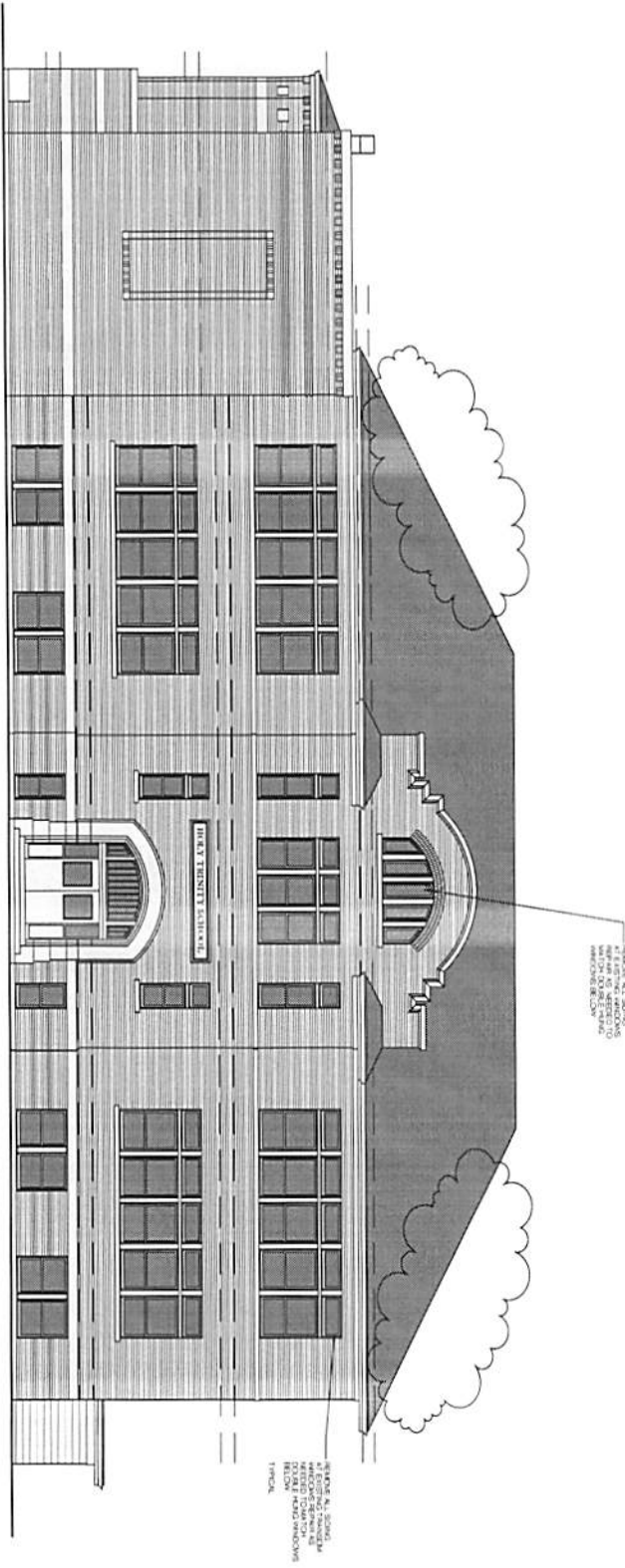
**PLUMBING:** ALL PLUMBING AREAS TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

**PAINT:** ALL PAINT AREAS TO BE IN PLACE AS SELECTED BY THE ARCHITECT. ALL FINISHES ARE TO BE SHOWN IN THE FINISH SCHEDULE.

**HOLY TRINITY SCHOOL APARTMENTS**  
**FOR MICHAEL OJELABI**  
 1417 13TH STREET S  
 LA CROSSE WI

**CHRIS LA SHORNE**  
**ARCHITECTURE**  
 123 State Street Apt 307, La Crosse, WI 54601  
 608.785.1000

**A4**

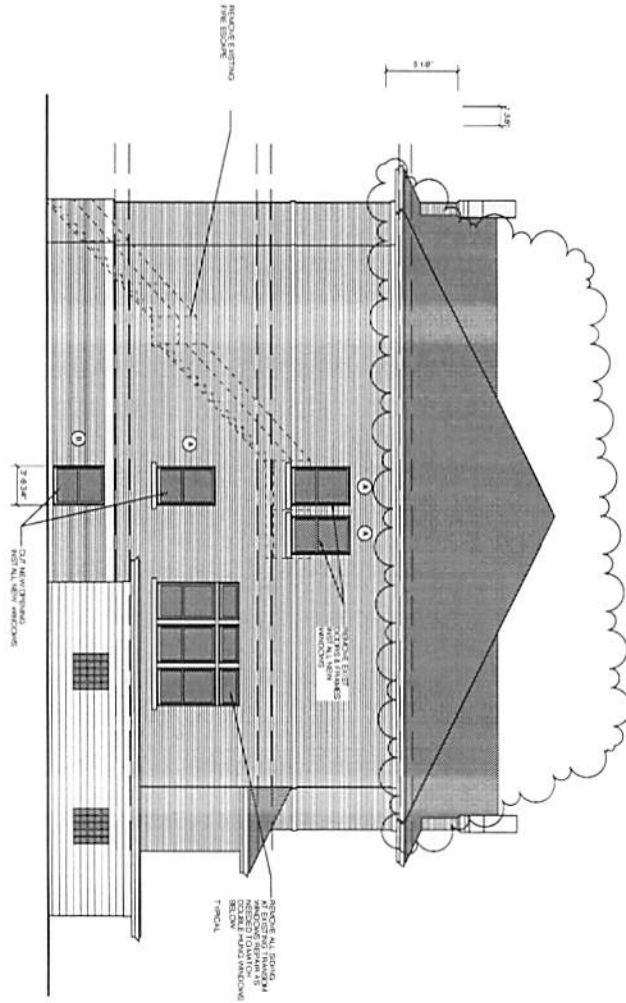


WEST EXTERIOR ELEVATION  
SCALE 3/16" = 1'-0"

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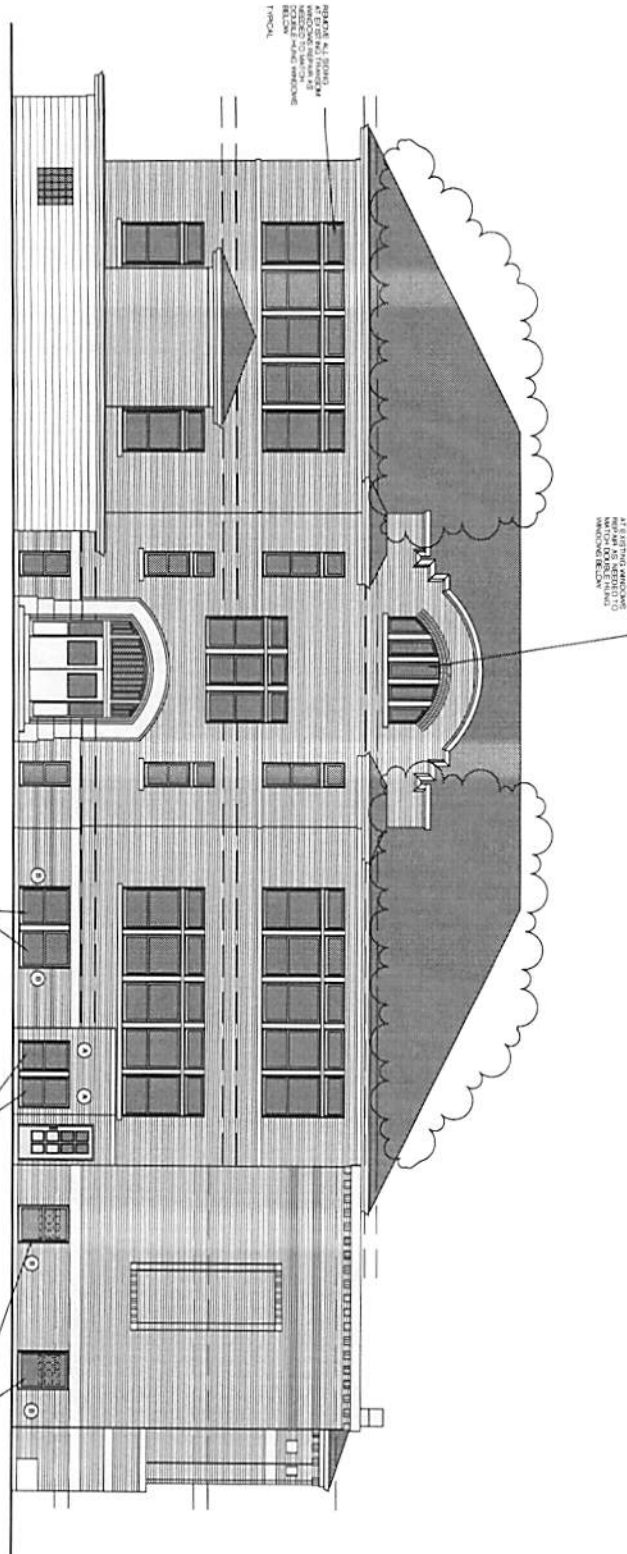
⊙ SOUTH EXTERIOR ELEVATION  
SCALE 3/16" = 1'-0"



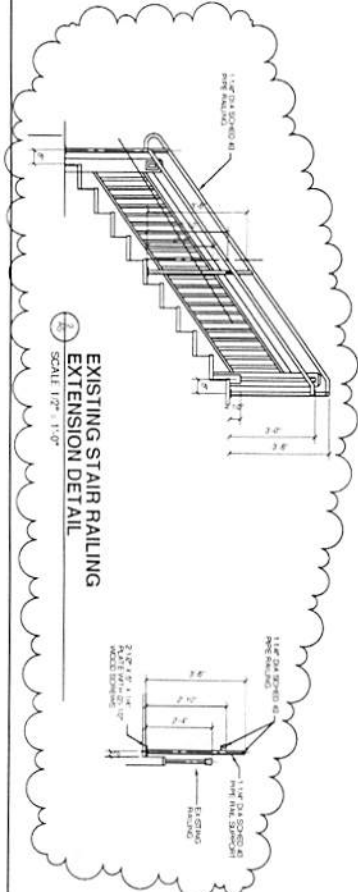
**HOLY TRINITY SCHOOL APARTMENTS  
FOR MICHAEL OJELABI**  
1417 13TH STREET S  
LA CROSSE WI

DATE	2018.02.02
BY	CL
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DATE	2018.02.02
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DATE	2018.02.02
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Sustainable Architecture and Design  
for Residential, Commercial, Historic, Restoration



1 EAST EXTERIOR ELEVATION  
SCALE 3/16" = 1'-0"



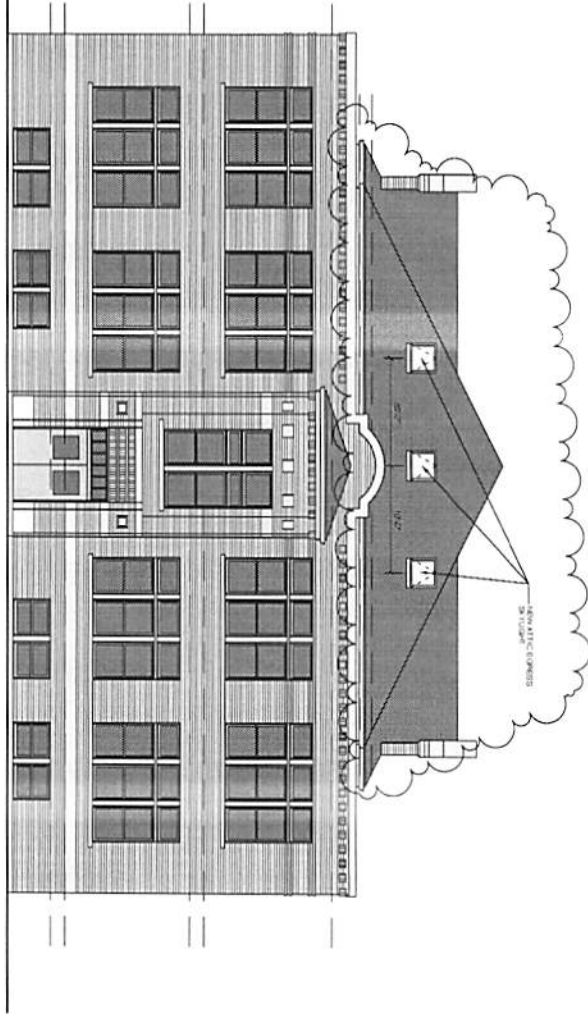
2 EXISTING STAIR RAILING  
EXTENSION DETAIL  
SCALE 1/2" = 1'-0"

1-136

**HOLY TRINITY SCHOOL APARTMENTS  
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A7



⊕ NORTH EXTERIOR ELEVATION  
SCALE 3/16" = 1'-0"

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Sustainable Architecture and Design  
for Residential, Commercial, Historic Restoration

**HOLY TRINITY SCHOOL APARTMENTS**  
FOR MICHAEL OJELABI  
1417 13TH STREET S  
LA CROSSE WI

Project: HOLY TRINITY SCHOOL APARTMENTS  
Client: MICHAEL OJELABI  
Date: 11/18/2019  
Scale: 3/16" = 1'-0"  
Sheet: A8