

ARCHITECTURE ENGINEERING INTERIOR DESIGN

> HSR ASSOCIATES INC. 100 MILWAUKEE STREET LA CROSSE, WISCONSIN PHONE: 608.784.1830 FAX: 608.782.5844

WEB SITE: www.hsrassociates.com

6TH WISC 5 NORTH CROSSE,

41 A

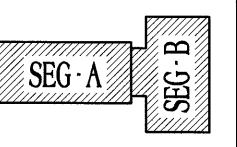
HSR Project Number:

6TH

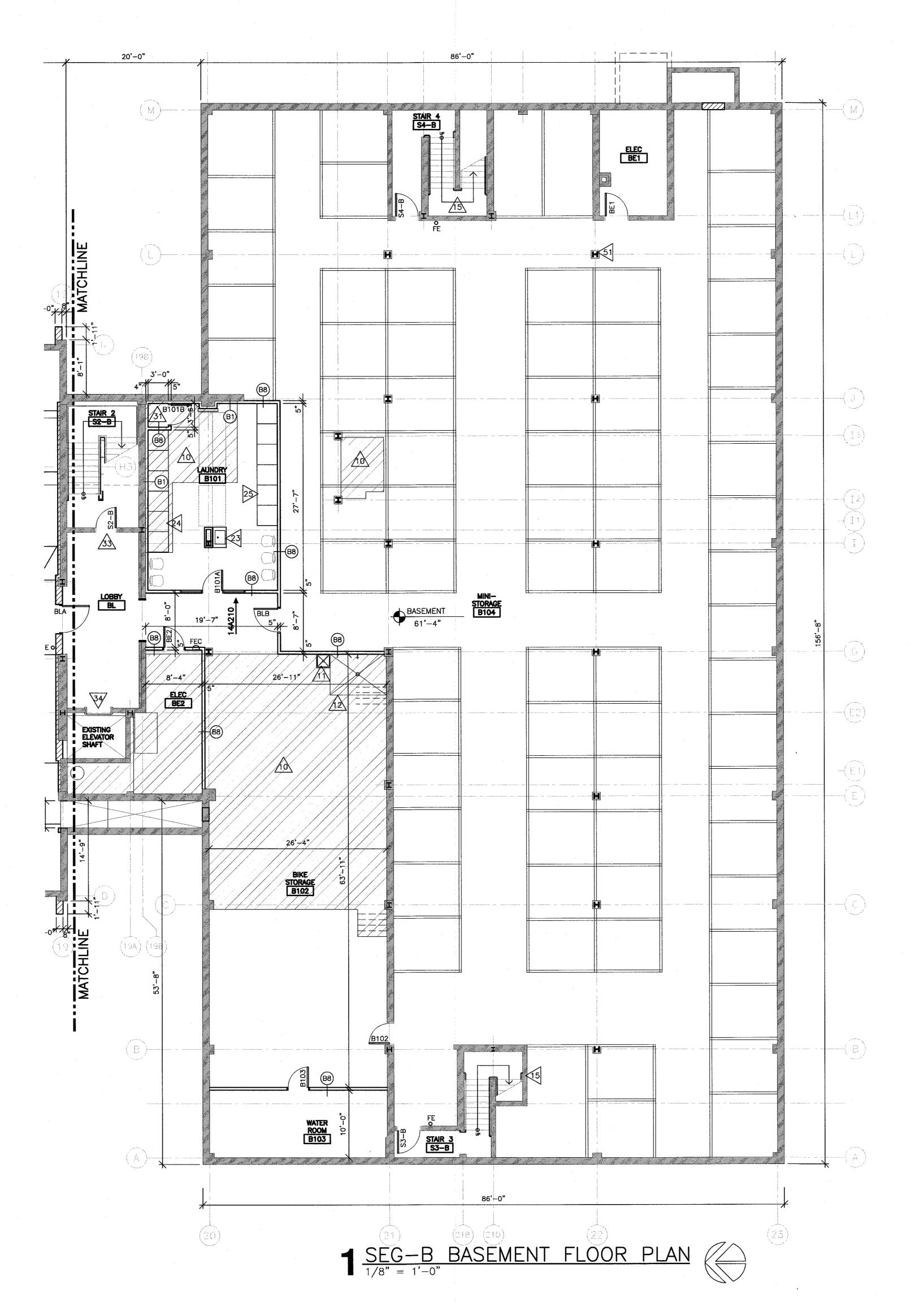
Project Date:

JULY 27, 2017 Drawn By:

tkampa



Last Update: 7/27/2017



- A. SYMBOL INDICATES WALL TYPE SEE SHEET A211 FOR WALL TYPE DETAILS.
- B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS.
- SEE GEN NOTE F ON SHEET A400. C. NEW EXTERIOR WINDOW TYPES INDICATED (X) ON FLOOR
- PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES.
- E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR
- WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE. G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1 X12 TUBE STEEL STRINGERS AND 4" CONCRETE/FORM DECK LANDINGS.
- H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
- J. TOP OF ALL HANDRAILS TO BE 36" A.F.F. TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
- K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
- L. ALL BALCONY DOOR THRESHOLDS SHALL BE ADA

## FLOOR PLAN KEY NOTES:

- 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE BASEMENT AND FIRST FLOORS SEG—A ONLY. SEE DETAILS 6 & 9A211R.
- 2> CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS.
- 3> INTAKE AIR LOUVER. SEE MECH.
- 4> EXHAUST AIR LOUVER. SEE MECH.
- NEW OPENINGS THRU EXISTING FOUNDATION WALL: GARAGE DOORS, MAN DOOR & LOUVER.
- 6> NEW RAMP AS REQUIRED SEE SECTION 5A301.
- 7> NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
- 8> GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
- 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
- NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN HATCHED) SEE STRUCTURAL.
- 1 NEW MOP SINK SEE PLUMBING.
- NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. (BIKE WASH).
- 13 CHASE CREATED FROM CHIMNEY REMOVAL.
- 14 NEW FIREWALL EXTENTS.
- ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
- 16> VOID SPACE BEHIND STAIR (NOT A CHASE).
- 17> NEW ENTRANCE CANOPY.
- RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS.
- 19 PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD
- BOARDS TO 6'-0" HIGH. 20> 2 HOUR RATED DUCT CHASE.
- EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL.
- 2) COORDINATE W/ MECH.
- LAUNDRY CLOTHES DRYER VENTING THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- 23> UTILITY SINK SEE PLUMBING.
- 24> (LAUNDROMAT) DRYERS.
- 25> (LAUNDROMAT) WASHERS.
- 26 EXISTING 2 HOUR RATED MASONRY CHASE TO REMAIN.
- FUTURE AUTOMATIC DOOR OPERATOR / ACTUATOR PEDESTAL LOCATION. VERIFY REQUIREMENTS.
- MINI STORAGE COMPARTMENTS:

  2X4 WOOD STUDS TO 8'-0" W/OSB SHEATHING AND DOOR. WIRE MESH SECURITY TOPS.
- 29 APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
- 30 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS & DRAINS.
- 3 CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 32> 4" CMU AROUND STEEL COLUMNS AT FIREWALL. REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN. EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 35> X INDICATES AREA OPEN TO ABOVE.
- 36> X INDICATES AREA OPEN TO BELOW.
- 3> REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
- 38> NEW SUSPENDED BALCONY.
- 39> BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE. NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK.
- 4 NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN. REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS.

  SEE STRUCTURAL
- VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY
  REQUIREMENTS W/ ELECTRICAL VERIFY SHEATHING &
- SIDING. CAP FLASH. 45 CONC PAD AND SITE FENCING - VERIFY.
- 46> HVAC UNITS AT GRADE, STACKED VERIFY. REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR
- INTAKE AIR INFILL PORTION OF AREAWELL. 48> NEW STAIRWAY INTERRUPTION GATE.
- 49> STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE.
- 1 HOUR RATED ASSEMBLY AT COLUMNS -SEE DETAIL 11A211R.
- 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS SEE DETAILS 5, 8, 10 & 11 SHEET A211R.
- 52> TRASH & RECYCLING DUMPSTERS AREA.



100 MILWAUKEE STREET LA CROSSE, WISCONSIN PHONE: 608.784.1830 FAX: 608.782.5844 WEB SITE: www.hsrassociates.com

6TH STREET, WISCONSIN

tkampa

HSR Project Number:

APRIL 2017

Key Plan:

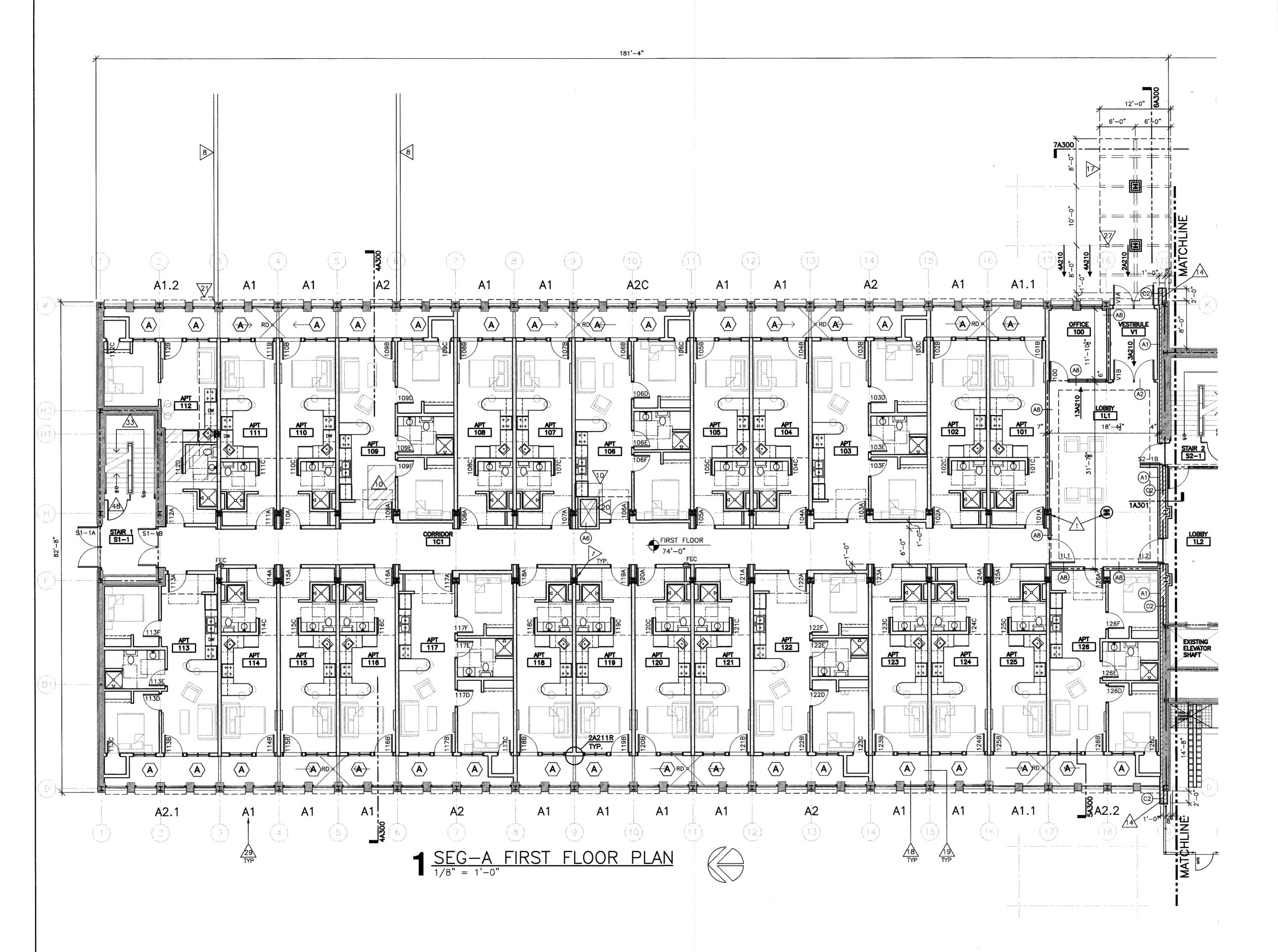
Drawn By:

Project Date:



Last "Update:

6/23/2017



- A. SYMBOL INDICATES WALL I FOR WALL TYPE DETAILS. SYMBOL INDICATES WALL TYPE - SEE SHEET A211
- B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS.
  SEE GEN NOTE F ON SHEET A400.
- NEW EXTERIOR WINDOW TYPES INDICATED 💢 ON FLOOR
- PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES. . POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL.
- . SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR
- WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE. . NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1 X12 TUBE STEEL STRINGERS AND 4" CONCRETE/FORM DECK LANDINGS.
- H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
- TOP OF ALL HANDRAILS TO BE 36" A.F.F. TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
- K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
- ALL BALCONY DOOR THRESHOLDS SHALL BE ADA

#### FLOOR PLAN KEY NOTES:

- 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE BEAMS AND FLOOR DECK ABOVE - BASEMENT AND FIRST FLOORS SEG-A ONLY. SEE DETAILS 6 & 9A211R. 2 CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS.
- 3> INTAKE AIR LOUVER. SEE MECH.
- 4> EXHAUST AIR LOUVER. SEE MECH.
- NEW OPENINGS THRU EXISTING FOUNDATION WALL: GARAGE DOORS, MAN DOOR & LOUVER.
- 6 NEW RAMP AS REQUIRED SEE SECTION 5A301.
- 7> NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
- 8 GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
- EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & 9 NEW CONC FLOOR PATCH.
- NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN HATCHED) SEE STRUCTURAL.
- 1 → NEW MOP SINK SEE PLUMBING.
- NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. 12 (BIKE WASH).
- 13 CHASE CREATED FROM CHIMNEY REMOVAL.
- 14 NEW FIREWALL EXTENTS.
- ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
- 16> VOID SPACE BEHIND STAIR (NOT A CHASE).
- 17 NEW ENTRANCE CANOPY.
- 18 RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS. 19 PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD
- BOARDS TO 6'-0" HIGH. 20> 2 HOUR RATED DUCT CHASE.
- EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL. 21 COORDINATE W/ MECH.
- LAUNDRY CLOTHES DRYER VENTING THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- 23> UTILITY SINK SEE PLUMBING.
- 24 (LAUNDROMAT) DRYERS.
- 25 (LAUNDROMAT) WASHERS.
- 26 EXISTING 2 HOUR RATED MASONRY CHASE TO REMAIN.
- 2 FUTURE AUTOMATIC DOOR OPERATOR / ACTUATOR PEDESTAL LOCATION. VERIFY REQUIREMENTS.
- MINI STORAGE COMPARTMENTS:

  2X4 WOOD STUDS TO 8'-0" W/OSB SHEATHING AND
- DOOR. WIRE MESH SECURITY TOPS. 29 APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
- 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS & DRAINS.
- 3 CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 32> 4" CMU AROUND STEEL COLUMNS AT FIREWALL.
- REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN. EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 35> X INDICATES AREA OPEN TO ABOVE.
- 36> X INDICATES AREA OPEN TO BELOW.
- 37> REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
- 38> NEW SUSPENDED BALCONY.
- 39> BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE. NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK. (R28)
- 41> NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN.
- REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS. 42 SEE STRUCTURAL
- VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY REQUIREMENTS W/ ELECTRICAL VERIFY SHEATHING &
- SIDING. CAP FLASH.
- 45 CONC PAD AND SITE FENCING VERIFY. 46> HVAC UNITS AT GRADE. STACKED - VERIFY.
- REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR INFILL PORTION OF AREAWELL.
- 48 NEW STAIRWAY INTERRUPTION GATE.
- 49> STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE. 1 HOUR RATED ASSEMBLY AT COLUMNS -SEE DETAIL 11A211R.
- 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS SEE DETAILS 5, 8, 10 & 11 SHEET A211R.
- 52> TRASH & RECYCLING DUMPSTERS AREA.

Last Update: 6/23/2017

HSR ASSOCIATES INC. 100 MILWAUKEE STREET LA CROSSE, WISCONSIN PHONE: 608.784.1830 FAX: 608.782.5844 WEB SITE: www.hsrassociates.com 6TH WISC

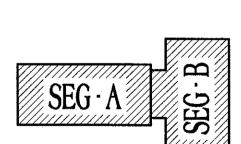
ENGINEERING

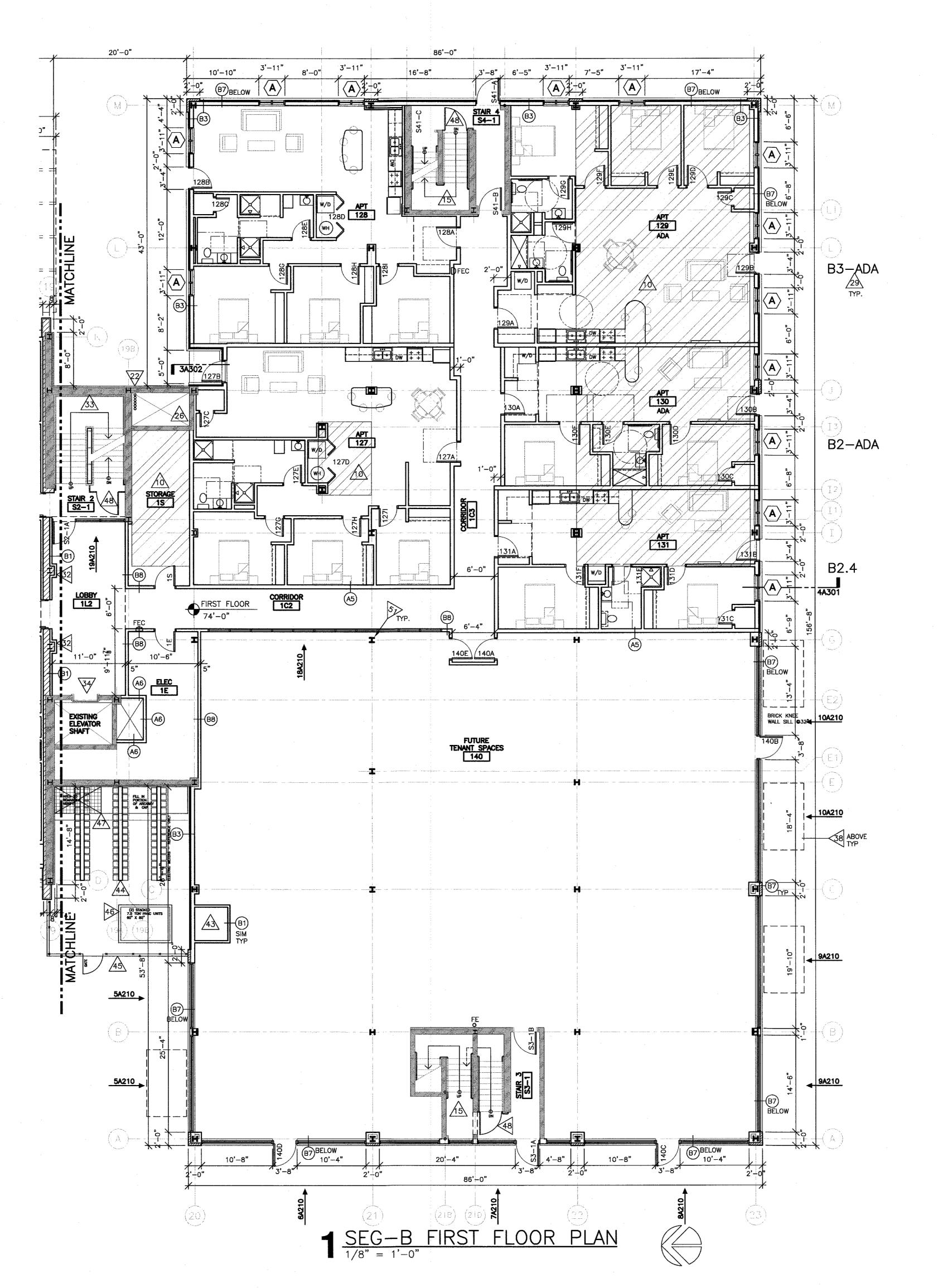
INTERIOR DESIGN

HSR Project Number: Project Date:

APRIL 2017 Drawn By: tkampa

Key Plan:





- A. SYMBOL INDICATES WALL TYPE SEE SHEET A211 FOR WALL TYPE DETAILS.
- B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS.
- SEE GEN NOTE F ON SHEET A400. C. NEW EXTERIOR WINDOW TYPES INDICATED (X) ON FLOOR PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES.
- E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL. F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR
- WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE. G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1 X12 TUBE STEEL STRINGERS AND 4"
- CONCRETE/FORM DECK LANDINGS. H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
- J. TOP OF ALL HANDRAILS TO BE 36" A.F.F. TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
- K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
- L. ALL BALCONY DOOR THRESHOLDS SHALL BE ADA COMPLIANT.

#### FLOOR PLAN KEY NOTES:

- 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE BASEMENT AND FIRST FLOORS SEG-A ONLY. SEE DETAILS 6 & 9A211R.
- 2> CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS.
- 3> INTAKE AIR LOUVER. SEE MECH.
- 4> EXHAUST AIR LOUVER. SEE MECH.
- NEW OPENINGS THRU EXISTING FOUNDATION WALL: GARAGE DOORS, MAN DOOR & LOUVER.
- 6> New Ramp as required see section 5a301.
- 7> NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
- 8 GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
- 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
- NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN HATCHED) SEE STRUCTURAL.
- 1 NEW MOP SINK SEE PLUMBING.
- NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. (BIKE WASH).
- 13 CHASE CREATED FROM CHIMNEY REMOVAL.
- 14> NEW FIREWALL EXTENTS.
- ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
- 16 VOID SPACE BEHIND STAIR (NOT A CHASE).
- 17> NEW ENTRANCE CANOPY.
- RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS.
- PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD BOARDS TO 6'-0" HIGH.
- 20> 2 HOUR RATED DUCT CHASE.
- EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH. LAUNDRY CLOTHES DRYFR VENTING THRU EXISTING
- BUILDING EXTERIOR WALL. COORDINATE W/ MECH. 23> UTILITY SINK - SEE PLUMBING.
- 24> (LAUNDROMAT) DRYERS.
- 25> (LAUNDROMAT) WASHERS.
- 26> EXISTING 2 HOUR RATED MASONRY CHASE TO REMAIN.
- FUTURE AUTOMATIC DOOR OPERATOR / ACTUATOR PEDESTAL LOCATION. VERIFY REQUIREMENTS.
- MINI STORAGE COMPARTMENTS:

  2X4 WOOD STUDS TO 8'-0" W/OSB SHEATHING AND
- DOOR. WIRE MESH SECURITY TOPS.
- 29 APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
- 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS &
- 3 CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 32> 4" CMU AROUND STEEL COLUMNS AT FIREWALL. REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN.

  EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 35> X INDICATES AREA OPEN TO ABOVE. 36> X INDICATES AREA OPEN TO BELOW.
- 37> REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
- 38> NEW SUSPENDED BALCONY.
- 39> BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE. NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK. (R28)
- 4 NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN.
- REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS. SEE STRUCTURAL
- VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY REQUIREMENTS W/ ELECTRICAL VERIFY SHEATHING &
- SIDING. CAP FLASH. 45 CONC PAD AND SITE FENCING - VERIFY.
- 46> HVAC UNITS AT GRADE. STACKED VERIFY.
- REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR INFILL PORTION OF AREAWELL.
- 48> NEW STAIRWAY INTERRUPTION GATE.
- 49> STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE. 1 HOUR RATED ASSEMBLY AT COLUMNS — SEE DETAIL 11A211R.
- 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS SEE DETAILS 5, 8, 10 & 11 SHEET A211R. 52> TRASH & RECYCLING DUMPSTERS AREA.





LA CROSSE, WISCONSIN PHONE: 608.784.1830 FAX: 608.782.5844 WEB SITE: www.hsrassociates.com

HSR ASSOCIATES INC.

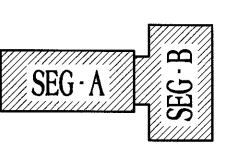
100 MILWAUKEE STREET

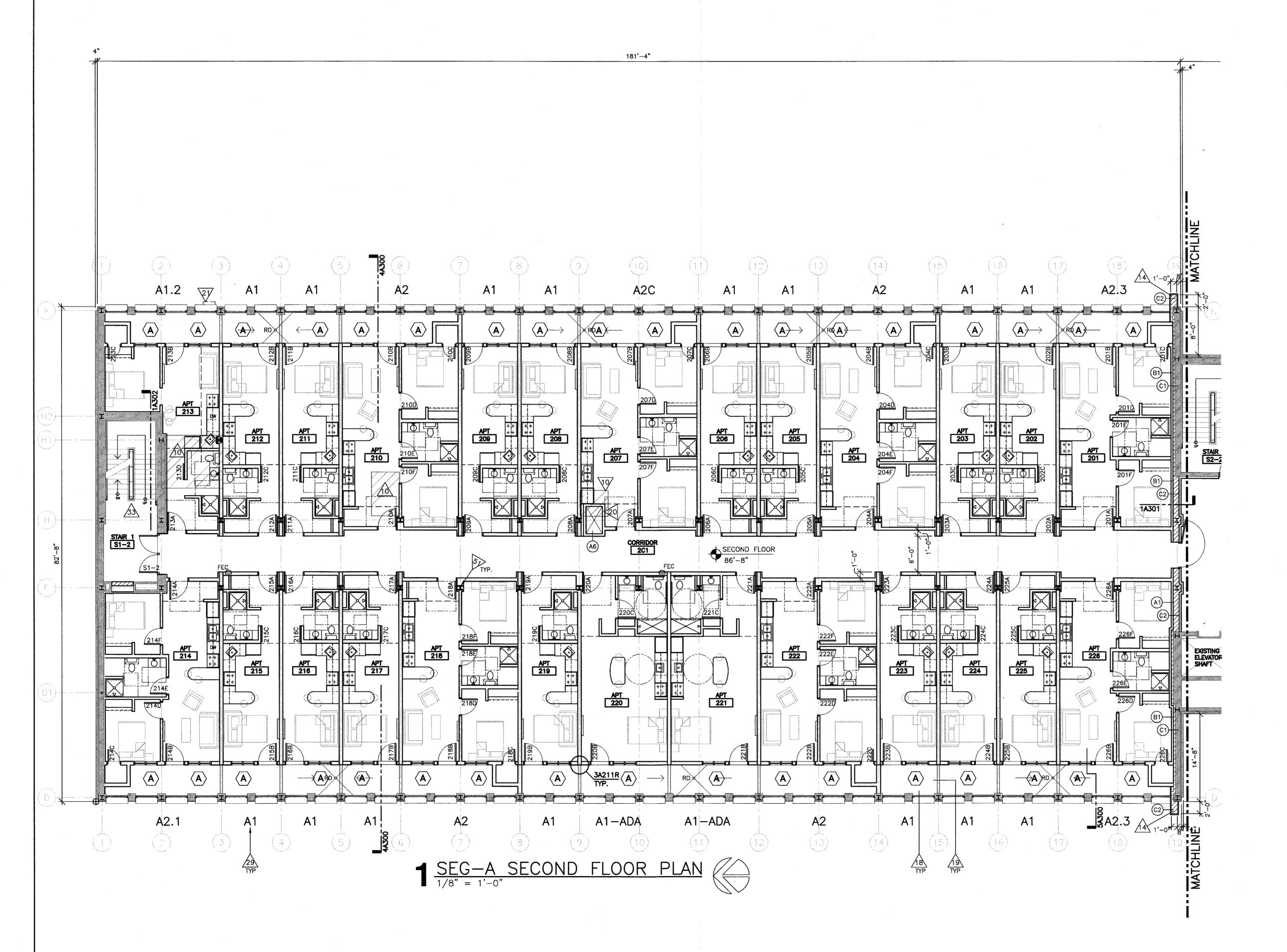
HSR Project Number: Project Date:

tkampa

Drawn By:

Key Plan:





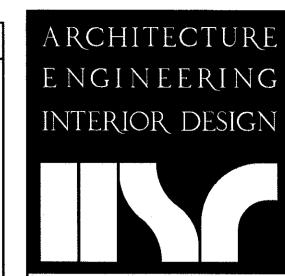
- A. SYMBOL INDICATES WALL TYPE SEE SHEET A211 FOR WALL TYPE DETAILS.
- B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED
- FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS. SEE GEN NOTE F ON SHEET A400. c. NEW EXTERIOR WINDOW TYPES INDICATED (x) ON FLOOR
- PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES. E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL.
- F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR
- WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE. G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1 X12 TUBE STEEL STRINGERS AND 4"
- CONCRETE/FORM DECK LANDINGS. H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
- J. TOP OF ALL HANDRAILS TO BE 36" A.F.F. TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
- K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
- . ALL BALCONY DOOR THRESHOLDS SHALL BE ADA COMPLIANT.

#### FLOOR PLAN KEY NOTES:

- 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE BASEMENT AND FIRST FLOORS SEG-A ONLY. SEE DETAILS 6 & 9A211R.
- 2 CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS. 3> INTAKE AIR LOUVER. SEE MECH.
- 4> EXHAUST AIR LOUVER, SEE MECH.
- NEW OPENINGS THRU EXISTING FOUNDATION WALL:
- GARAGE DOORS, MAN DOOR & LOUVER. 6 NEW RAMP AS REQUIRED — SEE SECTION 5A301.
- 7> NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
- 8> GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
- 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
- NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN
- HATCHED) SEE STRUCTURAL.
- 11 NEW MOP SINK SEE PLUMBING. NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN.
- 13> CHASE CREATED FROM CHIMNEY REMOVAL.
- 14 NEW FIREWALL EXTENTS.

(BIKE WASH).

- ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
- 16> VOID SPACE BEHIND STAIR (NOT A CHASE).
- 17> NEW ENTRANCE CANOPY.
- 18 RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS. 19> PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD
- BOARDS TO 6'-0" HIGH.
- 20> 2 HOUR RATED DUCT CHASE.
- EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL. 2 COORDINATE W/ MECH.
- LAUNDRY CLOTHES DRYER VENTING THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- 23> UTILITY SINK SEE PLUMBING.
- 24> (LAUNDROMAT) DRYERS.
- 25> (LAUNDROMAT) WASHERS.
- 26> EXISTING 2 HOUR RATED MASONRY CHASE TO REMAIN.
- FUTURE AUTOMATIC DOOR OPERATOR / ACTUATOR PEDESTAL LOCATION. VERIFY REQUIREMENTS.
- MINI STORAGE COMPARTMENTS:
  2X4 WOOD STUDS TO 8'-0" W/OSB SHEATHING AND
- DOOR. WIRE MESH SECURITY TOPS. 29 APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
- 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS &
- 3 CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 32> 4" CMU AROUND STEEL COLUMNS AT FIREWALL.
- REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN. EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 35> X INDICATES AREA OPEN TO ABOVE.
- 36> X INDICATES AREA OPEN TO BELOW.
- 3> REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
- 38> NEW SUSPENDED BALCONY.
- 39> BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE. NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK. (R28)
- 41> NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN. REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS.
- SEE STRUCTURAL VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY REQUIREMENTS W/ FLECTRICAL
- REQUIREMENTS W/ ELECTRICAL VERIFY SHEATHING & SIDING, CAP FLASH.
- 45 CONC PAD AND SITE FENCING VERIFY.
- 46> HVAC UNITS AT GRADE. STACKED VERIFY.
- REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR INFILL PORTION OF AREAWELL.
- 48> NEW STAIRWAY INTERRUPTION GATE.
- 49> STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE. 1 HOUR RATED ASSEMBLY AT COLUMNS -SEE DETAIL 11A211R.
- 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS - SEE DETAILS 5, 8, 10 & 11 SHEET A211R. 52> TRASH & RECYCLING DUMPSTERS AREA.



HSR ASSOCIATES INC. 100 MILWAUKEE STREET LA CROSSE, WISCONSIN PHONE: 608.784.1830 FAX: 608.782.5844 WEB SITE: www.hsrassociates.com

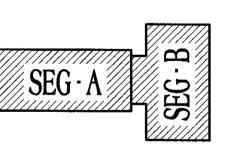
6TH STREET, WISCONSIN

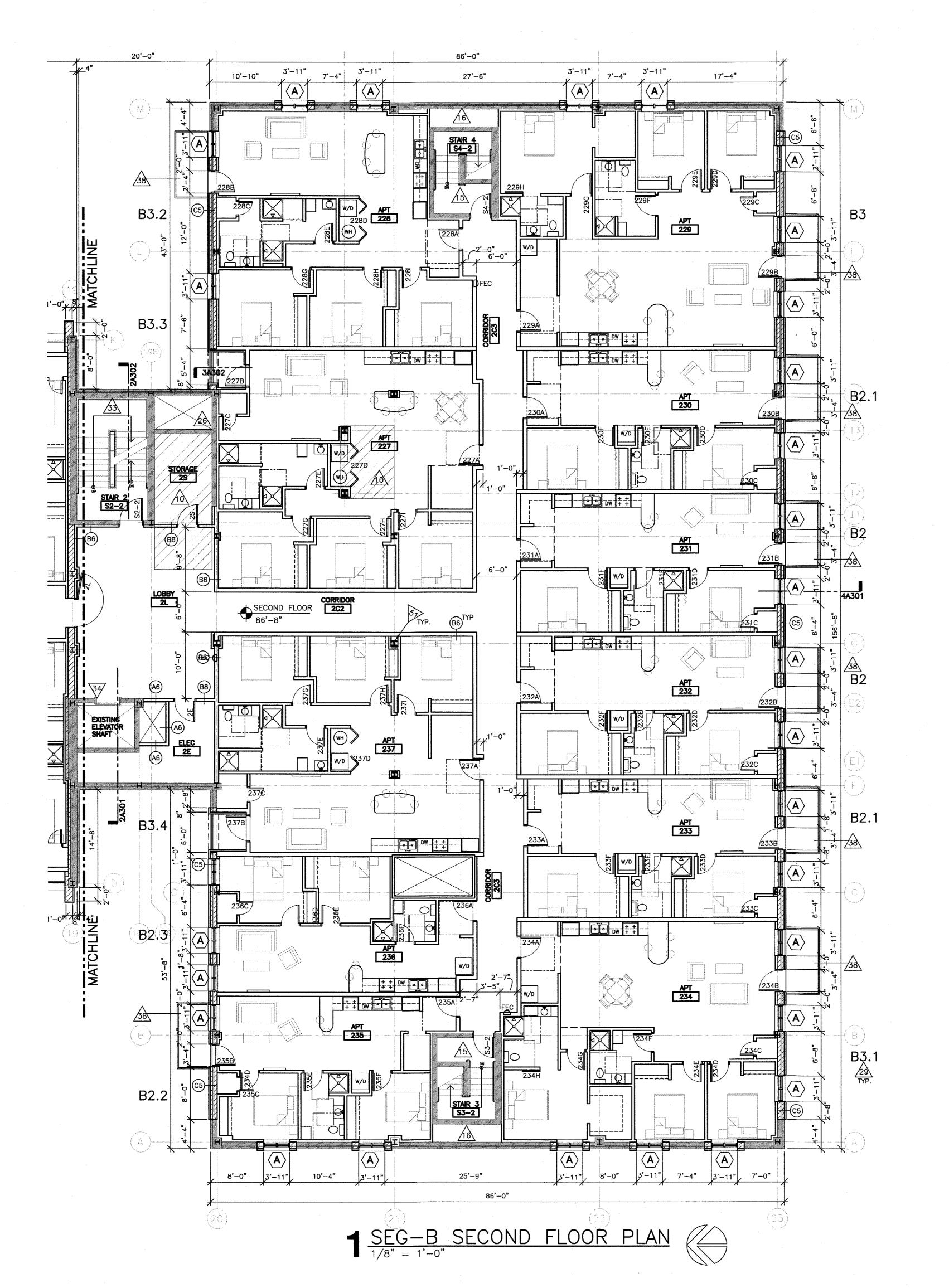
HSR Project Number:

Project Date:

Drawn By: tkampa

Key Plan:





- A. SYMBOL INDICATES WALL TYPE SEE SHEET A211 FOR WALL TYPE DETAILS.
- B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS.
- SEE GEN NOTE F ON SHEET A400. C. NEW EXTERIOR WINDOW TYPES INDICATED (X) ON FLOOR
- PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES. E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL
- F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR
- WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE. G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1 X12 TUBE STEEL STRINGERS AND 4"
- H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP. J. TOP OF ALL HANDRAILS TO BE 36" A.F.F.
- TOP OF ALL GUARDRAILS TO BE 42" A.F.F.

CONCRETE/FORM DECK LANDINGS.

- K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
- .. ALL BALCONY DOOR THRESHOLDS SHALL BE ADA COMPLIANT.

#### FLOOR PLAN KEY NOTES:

- 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE BASEMENT AND FIRST FLOORS SEG-A ONLY. SEE DETAILS 6 & 9A211R.
- 2> CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS.
- 4> EXHAUST AIR LOUVER, SEE MECH.

3> INTAKE AIR LOUVER. SEE MECH.

- 5 NEW OPENINGS THRU EXISTING FOUNDATION WALL: GARAGE DOORS, MAN DOOR & LOUVER.
- 6> NEW RAMP AS REQUIRED SEE SECTION 5A301.
- 7> NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
- 8> GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
- 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
- NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN
- HATCHED) SEE STRUCTURAL. 11 NEW MOP SINK - SEE PLUMBING.
- 12 NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. (BIKE WASH).
- 13 CHASE CREATED FROM CHIMNEY REMOVAL.
- 14 NEW FIREWALL EXTENTS.
- ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
- 16> VOID SPACE BEHIND STAIR (NOT A CHASE).
- 17> NEW ENTRANCE CANOPY.
- 18 RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS. 19> PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD
- BOARDS TO 6'-0" HIGH.
- 20> 2 HOUR RATED DUCT CHASE. EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL.
- 2) COORDINATE W/ MECH. LAUNDRY CLOTHES DRYER VENTING THRU EXISTING
- BUILDING EXTERIOR WALL. COORDINATE W/ MECH. 23> UTILITY SINK - SEE PLUMBING.
- 24> (LAUNDROMAT) DRYERS.
- 25> (LAUNDROMAT) WASHERS.
- 26> EXISTING 2 HOUR RATED MASONRY CHASE TO REMAIN.
- FUTURE AUTOMATIC DOOR OPERATOR / ACTUATOR PEDESTAL LOCATION. VERIFY REQUIREMENTS.
- MINI STORAGE COMPARTMENTS:
- MINI STORAGE COMPARTMENTS.

  28 MINI STORAGE COMPARTMENTS.

  28 2X4 WOOD STUDS TO 8'-0" W/OSB SHEATHING AND
- DOOR. WIRE MESH SECURITY TOPS. 29> APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
- 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS &
- 31> CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 32> 4" CMU AROUND STEEL COLUMNS AT FIREWALL.
- REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN. EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 35> X INDICATES AREA OPEN TO ABOVE.
- 36> X INDICATES AREA OPEN TO BELOW.
- 3> REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
- 38> NEW SUSPENDED BALCONY. 39> BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE.
- NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK. 41> NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN.
- REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS. SEE STRUCTURAL
- VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY REQUIREMENTS W/ ELECTRICAL VERIFY SHEATHING &
- SIDING, CAP FLASH. 45 CONC PAD AND SITE FENCING - VERIFY.
- 46> HVAC UNITS AT GRADE, STACKED VERIFY.
- REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR INFILL PORTION OF AREAWELL. 48> NEW STAIRWAY INTERRUPTION GATE.
- 49> STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE. 1 HOUR RATED ASSEMBLY AT COLUMNS -SEE DETAIL 11A211R.
- 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS SEE DETAILS 5, 8, 10 & 11 SHEET A211R. 52> TRASH & RECYCLING DUMPSTERS AREA.

ARCHITECTURE ENGINEERING INTERIOR DESIGN

HSR ASSOCIATES INC. 100 MILWAUKEE STREET LA CROSSE, WISCONSIN PHONE: 608.784.1830 FAX: 608.782.5844 WEB SITE: www.hsrassociates.com

5 NORTH CROSSE,

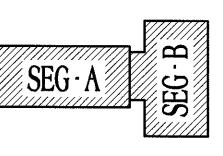
**4** ₹

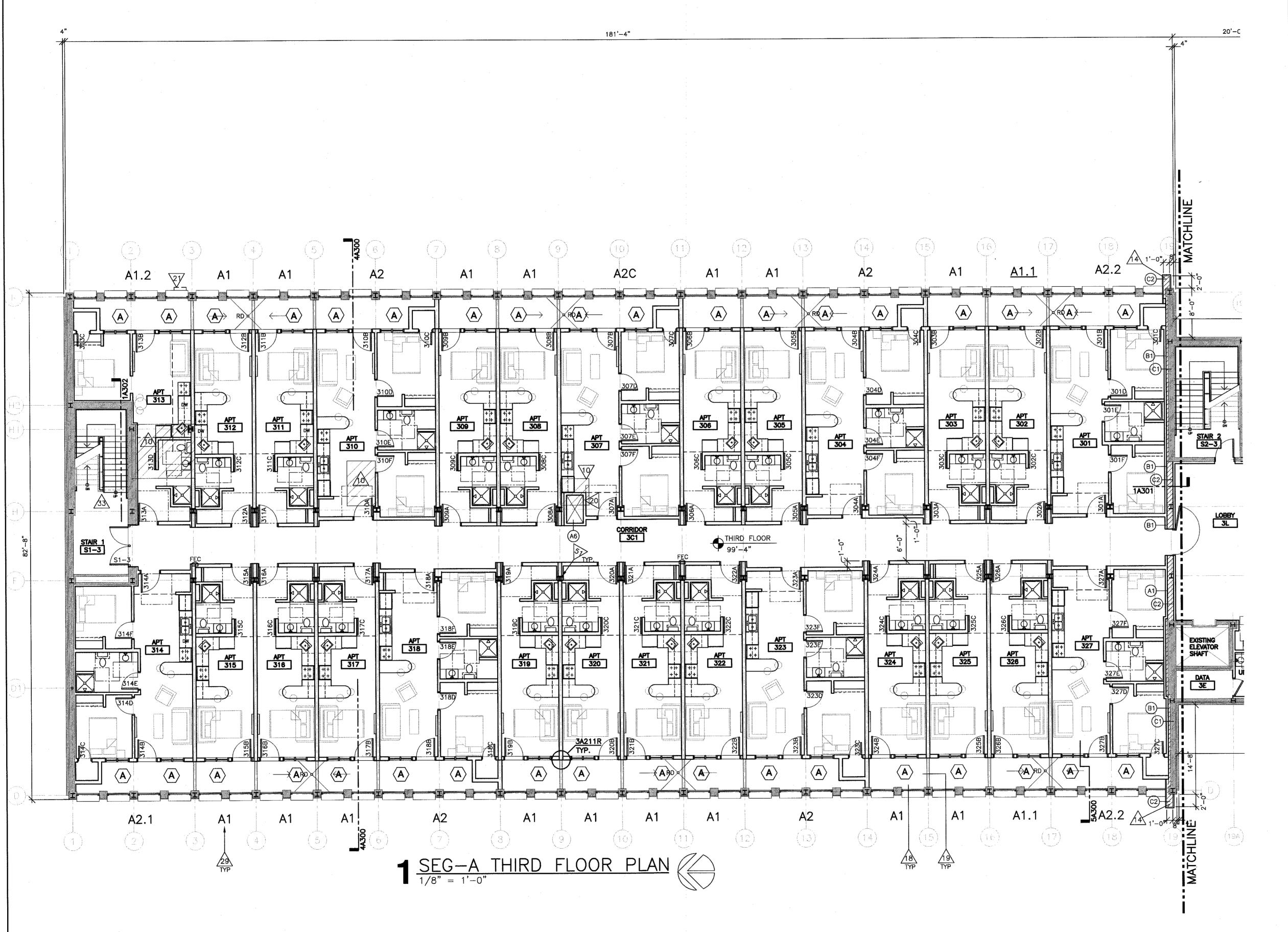
HSR Project Number: Project Date:

Drawn By:

tkampa

Key Plan:





- A. SYMBOL INDICATES WALL TYPE SEE SHEET A211 FOR WALL TYPE DETAILS.
- B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS.
- SEE GEN NOTE F ON SHEET A400. C. NEW EXTERIOR WINDOW TYPES INDICATED (X) ON FLOOR
- PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES. E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL.
- F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE.
- G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1 X12 TUBE STEEL STRINGERS AND 4" CONCRETE/FORM DECK LANDINGS.
- H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
- J. TOP OF ALL HANDRAILS TO BE 36" A.F.F. TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
- K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
- L. ALL BALCONY DOOR THRESHOLDS SHALL BE ADA

# FLOOR PLAN KEY NOTES:

- 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE BASEMENT AND FIRST FLOORS SEG-A ONLY. SEE DETAILS 6 & 9A211R. 2 CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS.
- 3> INTAKE AIR LOUVER. SEE MECH.
- 4> EXHAUST AIR LOUVER. SEE MECH.
- NEW OPENINGS THRU EXISTING FOUNDATION WALL: GARAGE DOORS, MAN DOOR & LOUVER.
- 6> NEW RAMP AS REQUIRED SEE SECTION 5A301.
- 7> NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
- 8> GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
- 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
- NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN HATCHED) SEE STRUCTURAL.
- 11 NEW MOP SINK SEE PLUMBING.
- NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. (BIKE WASH).
- 13> CHASE CREATED FROM CHIMNEY REMOVAL.
- 14> NEW FIREWALL EXTENTS.
- ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
- 16> VOID SPACE BEHIND STAIR (NOT A CHASE).
- 17> NEW ENTRANCE CANOPY.
- 18 RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS
- & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS. 19 PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD BOARDS TO 6'-0" HIGH.
- 20 2 HOUR RATED DUCT CHASE.
- EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- LAUNDRY CLOTHES DRYER VENTING THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- 23> UTILITY SINK SEE PLUMBING.
- 24> (LAUNDROMAT) DRYERS.
- 25> (LAUNDROMAT) WASHERS.
- 26> EXISTING 2 HOUR RATED MASONRY CHASE TO REMAIN.
- 27 FUTURE AUTOMATIC DOOR OPERATOR / ACTUATOR PEDESTAL LOCATION. VERIFY REQUIREMENTS.
- MINI STORAGE COMPARTMENTS:
  2X4 WOOD STUDS TO 8'-0" W/OSB SHEATHING AND
- DOOR. WIRE MESH SECURITY TOPS. 29 APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
- 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS & DRAINS.
- 31> CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 32> 4" CMU AROUND STEEL COLUMNS AT FIREWALL.
- REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN. EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 35> X INDICATES AREA OPEN TO ABOVE.
- 36> X INDICATES AREA OPEN TO BELOW.
- 37> REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
- 38> NEW SUSPENDED BALCONY. 39> BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE.
- NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK. (R28)
- 4 NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN.
- REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS. SEE STRUCTURAL
- VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY
  REQUIREMENTS W/ ELECTRICAL VERIFY SHEATHING &
- SIDING, CAP FLASH. 45> CONC PAD AND SITE FENCING - VERIFY.
- 46> HVAC UNITS AT GRADE. STACKED VERIFY.
- REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR INFILL PORTION OF AREAWELL.
- 48> NEW STAIRWAY INTERRUPTION GATE.
- 49 STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE.
- 1 HOUR RATED ASSEMBLY AT COLUMNS SEE DETAIL 11A211R.
- 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS SEE DETAILS FOR SEED FOR SEE DETAILS FOR SEE DETAILS FOR SEE DETAILS FOR SEE DETAIL AND BEAMS - SEE DETAILS 5, 8, 10 & 11 SHEET A211R.
- 52> TRASH & RECYCLING DUMPSTERS AREA.

ARCHITECTURE ENGINEERING INTERIOR DESIGN HSR ASSOCIATES INC.

100 MILWAUKEE STREET

LA CROSSE, WISCONSIN

PHONE: 608.784.1830

FAX: 608.782.5844

WEB SITE: www.hsrassociates.com

I 6TH STREET, WISCONSIN

6TH

SE

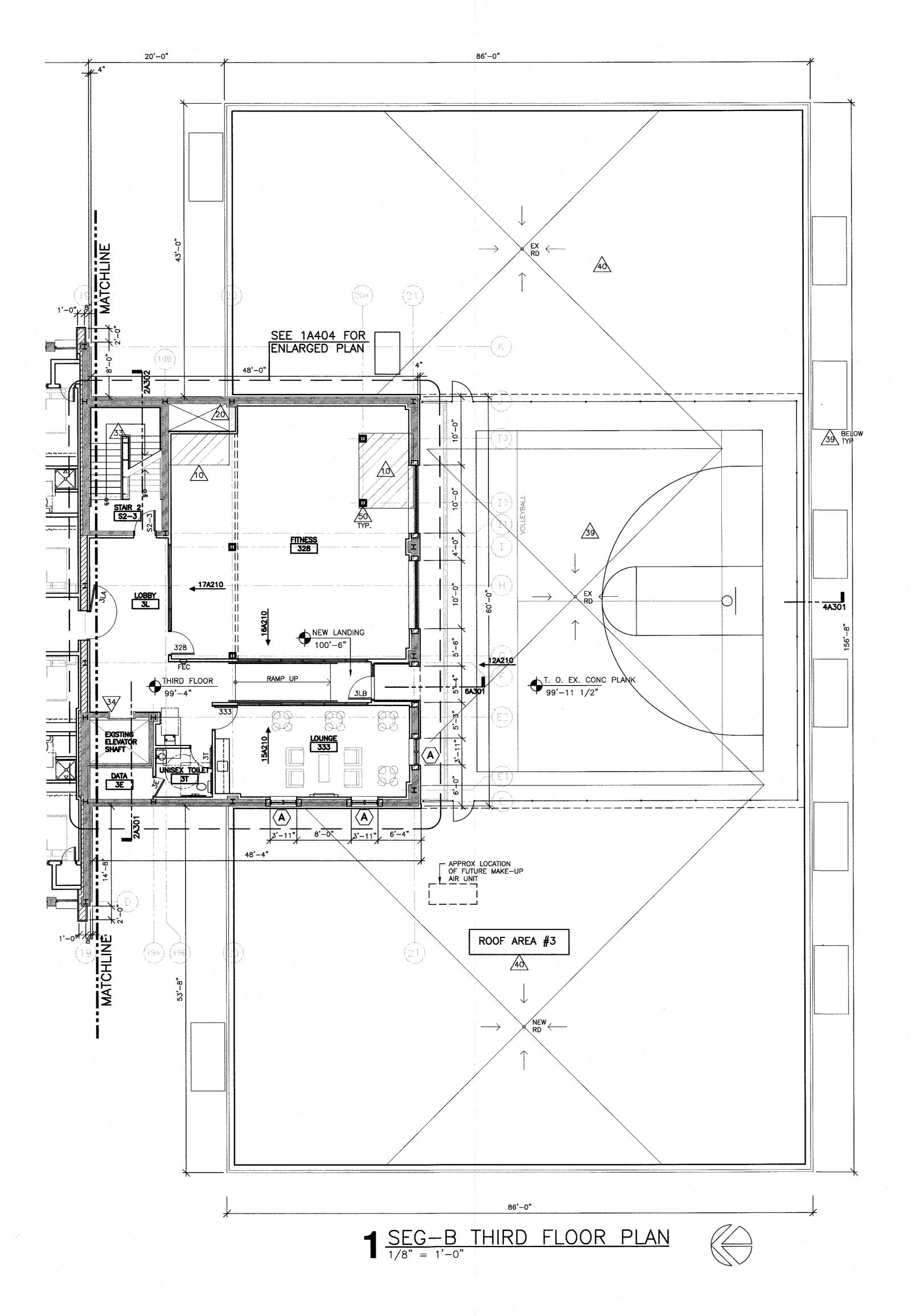
HSR Project Number:

APRIL 2017 Drawn By:

tkampa Key Plan:

Project Date:





- A. SYMBOL INDICATES WALL TYPE SEE SHEET A211 FOR WALL TYPE DETAILS.
- B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED
- FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS. SEE GEN NOTE F ON SHEET A400. C. NEW EXTERIOR WINDOW TYPES INDICATED X ON FLOOR
- PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES. E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL.
- F. SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE.
- G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 1 X12 TUBE STEEL STRINGERS AND 4"
- CONCRETE/FORM DECK LANDINGS. H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
- J. TOP OF ALL HANDRAILS TO BE 36" A.F.F. TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
- K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF ALL NEW & EXISTING STAIRS & RAMPS.
- L. ALL BALCONY DOOR THRESHOLDS SHALL BE ADA COMPLIANT.

## FLOOR PLAN KEY NOTES:

- 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE BASEMENT AND FIRST BEAMS AND FLOOR DECK ABOVE - BASEMENT AND FIRST FLOORS SEG-A ONLY. SEE DETAILS 6 & 9A211R.
- 2 CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS.
- 4> EXHAUST AIR LOUVER. SEE MECH.

3> INTAKE AIR LOUVER. SEE MECH.

- 5 NEW OPENINGS THRU EXISTING FOUNDATION WALL:
- GARAGE DOORS, MAN DOOR & LOUVER. 6 New Ramp as required - See Section 5a301.
- 7> NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
- 8 GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
- 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
- NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN HATCHED) SEE STRUCTURAL.
- 1 NEW MOP SINK SEE PLUMBING.
- NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN. (BIKE WASH).
- 13 CHASE CREATED FROM CHIMNEY REMOVAL.
- 14 NEW FIREWALL EXTENTS.
- ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
- 16> VOID SPACE BEHIND STAIR (NOT A CHASE).
- 17> NEW ENTRANCE CANOPY.
- RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS.
- PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD BOARDS TO 6'-0" HIGH. 20> 2 HOUR RATED DUCT CHASE.
- EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- LAUNDRY CLOTHES DRYFR VENTING THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- 23> UTILITY SINK SEE PLUMBING. 24> (LAUNDROMAT) DRYERS.
- 25> (LAUNDROMAT) WASHERS.
- 26> EXISTING 2 HOUR RATED MASONRY CHASE TO REMAIN.
- FUTURE AUTOMATIC DOOR OPERATOR / ACTUATOR PEDESTAL LOCATION. VERIFY REQUIREMENTS.
- MINI STORAGE COMPARTMENTS:
  2X4 WOOD STUDS TO 8'-0" W/OSB SHEATHING AND
- DOOR. WIRE MESH SECURITY TOPS. 29 APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS.
- 4TH FLOOR BALCONY. EPDM SYSTEM, WALKWAY MATS & DRAINS.
- 3 CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 32> 4" CMU AROUND STEEL COLUMNS AT FIREWALL. REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN. EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 35> X INDICATES AREA OPEN TO ABOVE. 36> X INDICATES AREA OPEN TO BELOW.
- 37 REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
- 38> NEW SUSPENDED BALCONY.
- 39 BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE. NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK. (R28)
- 14 NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN. REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS. SEE STRUCTURAL
- VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY REQUIREMENTS W/ ELECTRICAL - VERIFY SHEATHING &
- SIDING. CAP FLASH. 45 CONC PAD AND SITE FENCING - VERIFY.
- 46> HVAC UNITS AT GRADE. STACKED VERIFY.
- REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR INFILL PORTION OF AREAWELL.
- 48> NEW STAIRWAY INTERRUPTION GATE. 49> STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE.
- 1 HOUR RATED ASSEMBLY AT COLUMNS -SEE DETAIL 11A211R. 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS - SEE DETAILS 5, 8, 10 & 11 SHEET A211R.
- 52> TRASH & RECYCLING DUMPSTERS AREA.

6/23/2017

Last Update:



PHONE: 608.784.1830

FAX: 608.782.5844

WEB SITE: www.hsrassociates.com

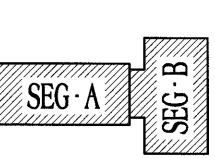
41 A

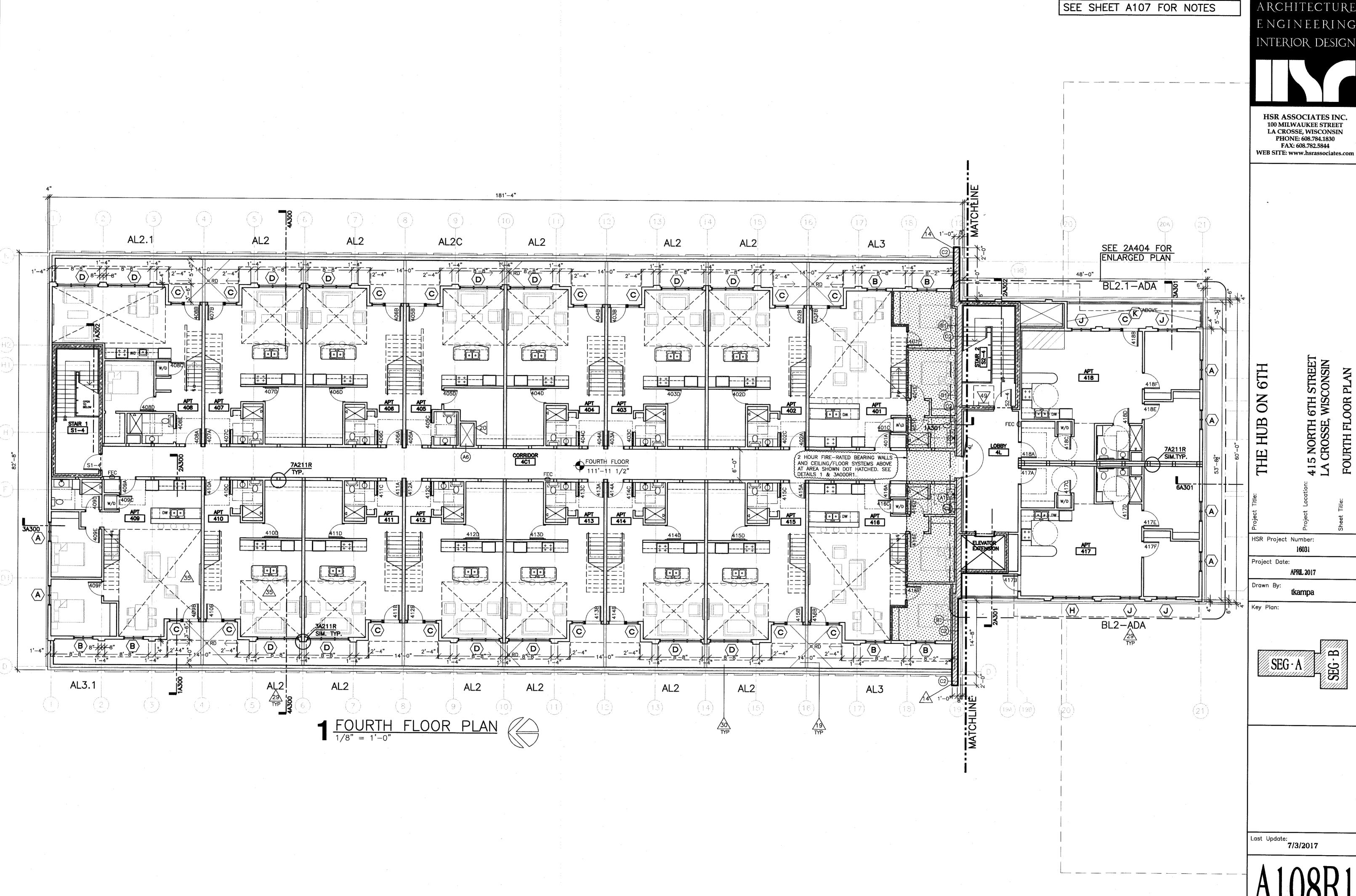
Project Date:

HSR Project Number:

**APRIL 2017** Drawn By:

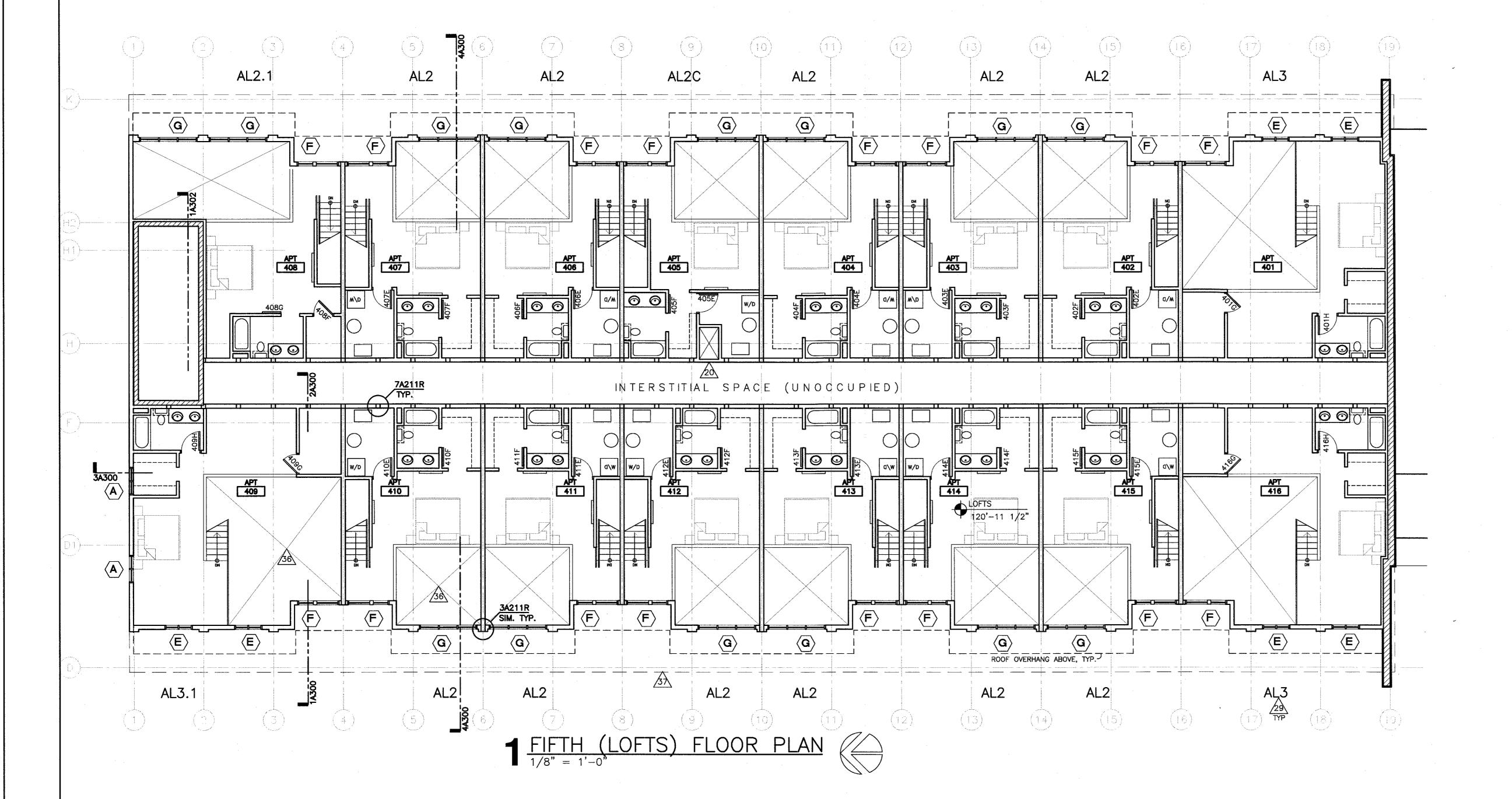
tkampa Key Plan:





ARCHITECTURE ENGINEERING INTERIOR DESIGN

WEB SITE: www.hsrassociates.com



- A. SYMBOL INDICATES WALL , FOR WALL TYPE DETAILS. SYMBOL INDICATES WALL TYPE - SEE SHEET A211
- B. INSTALL WOOD BLOCKING BETWEEN STUDS AS REQUIRED FOR TV'S, CASEWORK, GRAB BARS & SHOWER SEATS. SEE GEN NOTE F ON SHEET A400.
- . NEW EXTERIOR WINDOW TYPES INDICATED  $\stackrel{ extstyle (X)}{ extstyle (X)}$  on Floor PLANS. SEE A210 FOR EXTERIOR WINDOW TYPES.
- E. POWDERCOAT PAINT ALL EXPOSED EXTERIOR STEEL.
- . SEE ENLARGED UNIT PLANS (A400 SERIES SHEETS) FOR
- WALL TYPE TAGS AND DIMENSIONS FOR EACH UNIT TYPE. G. NEW STAIR EXTENSIONS TO BE CONCRETE FILLED METAL PANS BETWEEN 2 ½ X12 TUBE STEEL STRINGERS AND 4"
- CONCRETE/FORM DECK LANDINGS. H. ALL STAIRS SHALL HAVE HANDRAILS ON BOTH SIDES, TYP.
- J. TOP OF ALL HANDRAILS TO BE 36" A.F.F. TOP OF ALL GUARDRAILS TO BE 42" A.F.F.
- K. PROVIDE 12" HANDRAIL EXTENSIONS AT TOP & BOTTOM OF
- ALL NEW & EXISTING STAIRS & RAMPS. . ALL BALCONY DOOR THRESHOLDS SHALL BE ADA

## FLOOR PLAN KEY NOTES:

- 3 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS, BEAMS AND FLOOR DECK ABOVE BASEMENT AND FIRST FLOORS SEG—A ONLY. SEE DETAILS 6 & 9A211R.
- 2 CONCRETE TRAFFIC PROTECTION BASE AT COLUMNS. 3> INTAKE AIR LOUVER. SEE MECH.
- 4> EXHAUST AIR LOUVER, SEE MECH.
- NEW OPENINGS THRU EXISTING FOUNDATION WALL: GARAGE DOORS, MAN DOOR & LOUVER.
- 6> NEW RAMP AS REQUIRED SEE SECTION 5A301.
- 7> NEW HEATED CONC ENTRANCE DRIVE & RETAINING WALLS.
- 8 GUARDRAIL PER CODE AT TOP OF RETAINING WALL.
- 9 EXISTING TUNNEL: REMOVE LID, INFILL W/ SAND & NEW CONC FLOOR PATCH.
- NEW CONC FLOOR AREA INFILL OR PATCH (SHOWN HATCHED) SEE STRUCTURAL.
- 11 NEW MOP SINK SEE PLUMBING.
- NEW CO...
  (BIKE WASH). NEW CONC FLOOR AREA PITCHED TO NEW FLOOR DRAIN.
- 13> CHASE CREATED FROM CHIMNEY REMOVAL.
- 14> NEW FIREWALL EXTENTS.
- ADD HANDRAILS AND HANDRAIL EXTENSIONS TO EXISTING STAIR TOWERS TO REMAIN.
- 16 VOID SPACE BEHIND STAIR (NOT A CHASE).
- 17> NEW ENTRANCE CANOPY.
- RECESSED BALCONY W/ EPDM SYSTEM, WALKWAY MATS & DRAIN. SEG-A, 1ST, 2ND & 3RD FLOORS. 19 PRIVACY PARTITION: STEEL END POSTS W/ HORIZ WOOD
- BOARDS TO 6'-0" HIGH. 20> 2 HOUR RATED DUCT CHASE.
- 21 EXHAUST GRILLE THRU EXISTING BUILDING EXTERIOR WALL. COORDINATE W/ MECH.
- LAUNDRY CLOTHES DRYER VENTING THRU EXISTING
- BUILDING EXTERIOR WALL. COORDINATE W/ MECH. 23> UTILITY SINK - SEE PLUMBING.
- 24> (LAUNDROMAT) DRYERS.
- 25> (LAUNDROMAT) WASHERS.
- 26> EXISTING 2 HOUR RATED MASONRY CHASE TO REMAIN.
- FUTURE AUTOMATIC DOOR OPERATOR / ACTUATOR PEDESTAL LOCATION. VERIFY REQUIREMENTS. MINI STORAGE COMPARTMENTS:
- MINI STORAGE CUMPARIMENTS.

  28 MINI STORAGE CUMPARIMENTS.

  28 2X4 WOOD STUDS TO 8'-0" W/OSB SHEATHING AND DOOR. WIRE MESH SECURITY TOPS.
- 29> APARTMENT UNIT TYPE DESIGNATION. SEE A400 SHEETS. 30 ATH FLOOD DRAINS. 4TH FLOOR BALCONY, EPDM SYSTEM, WALKWAY MATS &
- 31> CLOSET FOR WATER HEATER IN LAUNDROMAT.
- 32> 4" CMU AROUND STEEL COLUMNS AT FIREWALL.
- REMOVE VINYL WALL COVERING AT STAIR TOWER, PATCH PLASTER AND PAINT.
- EXISTING ELEVATOR SHAFT & ENTRANCES TO REMAIN.
  EXTEND SHAFT TO NEW 4TH FLOOR. NEW CAR & EQUIP.
- 35> X INDICATES AREA OPEN TO ABOVE.

36 X INDICATES AREA OPEN TO BELOW.

- 3>> REFERENCE LINE OF PARAPET/BALCONY RAIL BELOW.
- 38> NEW SUSPENDED BALCONY.
- 39> BASKETBALL COURT PAVER SYSTEM & FENCING PER CODE. NEW EPDM ROOF SYSTEM ON EXISTING CONC PLANK DECK.
- (R28) 4) NEW CONC FLOOR AREA PITCHED TO NEW TRENCH DRAIN. REMOVAL OF BUILDING COLUMN AND NEW SUPPORT BEAMS.
- SEE STRUCTURAL
- VERIFY SIZE OF DUCT ENCLOSURE REQ'D WITH MECHANICAL. (NOT A CHASE)
- 2X6 WOOD STUD WALL/WIRE RACEWAY. VERIFY
  REQUIREMENTS W/ ELECTRICAL VERIFY SHEATHING &
- SIDING. CAP FLASH. 45 CONC PAD AND SITE FENCING - VERIFY.
- 46> HVAC UNITS AT GRADE, STACKED VERIFY.
- REMOVE PORTION OF EXISTING GRATE AND AREAWELL FOR INTAKE AIR INFILL PORTION OF AREAWELL.
- 48> NEW STAIRWAY INTERRUPTION GATE.
- 49> STEEL LADDER ATTACHED TO CMU WALL TO HATCH ABOVE. 1 HOUR RATED ASSEMBLY AT COLUMNS — SEE DETAIL 11A211R.
- 1 HOUR RATED SPRAY FIREPROOFING ON ALL COLUMNS AND BEAMS SEE DETAILS 5, 8, 10 & 11 SHEET A211R.

ARCHITECTURE ENGINEERING INTERIOR DESIGN

HSR ASSOCIATES INC. 100 MILWAUKEE STREET

LA CROSSE, WISCONSIN PHONE: 608.784.1830 FAX: 608.782.5844 WEB SITE: www.hsrassociates.com

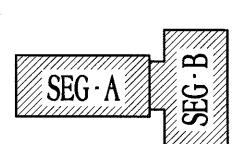
HSR Project Number:

Project Date: JULY 27, 2017

tkampa

Drawn By:

Key Plan:



Last Update: 7/27/2017