



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Meeting Agenda - Final Redevelopment Authority

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Thursday, July 27, 2023

4:00 PM

Council Chambers

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The meeting is conducted through video conferencing. The meeting can be viewed by visiting the Legislative Information Center (<https://cityoflacrosse.legistar.com/Calendar.aspx>) and clicking on the "In Progress" video link to the far right in the meeting list.

To join the meeting click this link (or typing the URL in your web browser address bar):  
<https://cityoflacrosse-org.zoom.us/j/86856083204?pwd=SHdPbGJuaFRUdUF6d3puRk4zZVN0QT09>  
Meeting ID: 868 5608 3204; Passcode: RDA23; Dial by your location: +1-646-558-8656

If attending virtually and you wish to speak, contact the Department of Planning, Development and Assessment at the email or phone number below so we can provide you with the necessary information to join in.

Members of the public who would like to provide written comments on any agenda may do so by emailing [tranea@cityoflacrosse.org](mailto:tranea@cityoflacrosse.org), using a drop box outside of City Hall or mailing the Department of Planning, Development and Assessment, 400 La Crosse Street, La Crosse WI 54601. Questions, call 608-789-7512.

### Call to Order

### Roll Call

### Approval of Minutes from the June 29, 2023 meeting.

### Agenda Items:

- 1        [23-0862](#)        Consideration and possible action on Third Extension to the Option to Purchase Agreement with MSP.  
*Attachments:* [Third Extension to the Option to Purchase Agreement.docx](#)
- 2        [23-0879](#)        Request of MSP for an exception to the off-street parking requirement for the The Driftless Development located in the River Point District.  
*Attachments:* [MSP Request- Cover Letter](#)  
[Apartment Site Plan](#)  
[Townhomes Site Plan](#)
- 3        [23-0883](#)        July 2023- Monthly report from River Point district Project Manager.  
*Attachments:* [July 2023 Report.pdf](#)
- 4        [23-0803](#)        July 2023 - Monthly Financial Update.

**Attachments:** [June 2023 Financials.pdf](#)

- 5      [23-0815](#)      Resolution transferring parcels owned by the Redevelopment Authority to the City of La Crosse.  
**Attachments:** [Resolution](#)  
[Map](#)  
[Amendment VI to the Redevelopment Plan](#)  
[Staff Report](#)  
[Deed RDA to City - Riverpoint Transfer 7-20-23.pdf](#)  
[Exhibit A - legal description 7-20-23.pdf](#)
- 6      [23-0876](#)      Development Agreement - Annual compliance report and determination.  
\*Riverside Center III, LLC  
\*Doerflinger's Second Century, Inc.  
**Attachments:** [Riverside Center Memo](#)  
[Doerflinger Memo](#)
- 7      [23-0630](#)      Consideration and possible action on proposal from Rykey on G2 and G3.  
*(Note: The Committee and/or Council may convene in closed session pursuant to Wis. Stat. 19.85(1)(e) to formulate & update negotiation strategies and parameters. Following such closed session, the Committee and/or Council may reconvene in open session.)*
- 8      [23-0624](#)      Consideration and Possible Action on Proposal for G2 and G3 from Red Earth and Planning Option Agreement.  
*(Note: The Committee and/or Council may convene in closed session pursuant to Wis. Stat. 19.85(1)(e) to formulate & update negotiation strategies and parameters. Following such closed session, the Committee and/or Council may reconvene in open session.)*  
**Attachments:** [Red Earth Planning Option Agreement.pdf](#)
- 9      [23-0842](#)      Consideration and possible action on Planning Option Agreement with Gemutlichkeit Foundation.  
*(Note: The Committee and/or Council may convene in closed session pursuant to Wis. Stat. 19.85(1)(e) to formulate & update negotiation strategies and parameters. Following such closed session, the Committee and/or Council may reconvene in open session.)*

## Adjournment

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

### NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to [ADAcityclerk@cityoflacrosse.org](mailto:ADAcityclerk@cityoflacrosse.org), with as much advance notice as possible.

**Redevelopment Authority Members:**

**Adam Hatfield, Edward Przytarski, Gus Fimple, Karen Dunn, Michael Sigman, Julie Henline & Barb Janssen.**



# City of La Crosse, Wisconsin

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## Text File

File Number: 23-0862

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**Agenda Date:** 7/27/2023

**Version:** 1

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** General Item

**Agenda Number:** 1



**Third Extension to the Option to Purchase Agreement**

This extension is made to be effective July, 2023 by and between the Redevelopment Authority of the City of La Crosse (“RDA”) and MSP (“Developer”)

On January 26, 2023, the parties entered into the Option to Purchase Agreement (“Agreement”), with the ability to extend the term if mutually agreed upon.

NOW, THEREFORE, the parties mutually agree and state as follows:

To award the developer an Extended Term of six (6) months, effective, July 26, 2023.

Redevelopment Authority of the City of La Crosse

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Developer

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Dated

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# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 23-0879

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**Agenda Date:** 7/27/2023

**Version:** 1

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** Request for Variance

**Agenda Number:** 2

July 24, 2023

RE: Parking Counts at The Driftless Proposed River Point District Development

Dear La Crosse Redevelopment Authority Members,

The purpose of this letter is to explain our approach to determining the amount of parking provided at our proposed development.

Our development consists of two components: a 100-unit senior affordable apartment building and 20 3-bedroom townhomes for families. The development is located near a bus line and also has 20% of the units set aside for individuals at or below 30% of County Median Income.

In our experience of developing and managing many senior affordable housing developments, we expect to see a maximum parking ratio utilized by our senior tenants of 0.65 to 0.75 parking stalls for every 1 apartment unit. For this 100-unit building, that implies the total maximum parking stalls needed to be around 65 to 75 stalls. We would expect the first few years to be at the upper end of this range, but to then trend down toward the lower end over time as residents age in place.

For the townhomes, we expect a ratio of a 1.25 to 1.5 parking stalls used for each 3-bedroom townhome. This means that for the 20 townhome units, we'd expect a need for 25-30 total stalls.

Taking the above two, we would expect a total resident parking demand of  $65-75 + 25-30 = 90 - 105$  total stalls.

We are currently proposing the following parking on our site:

- 65 Structured Parking Stalls in the ground floor of the 100-unit senior building.
- 12 Single Garages within the 3-bedroom townhomes.
- 31 Surface Parking Stalls
- 108 Total Parking Stalls

To summarize, we expect a demand of 90 to 105 stalls and will be providing 108 total stalls.

We appreciate the RDA's support and look forward to our continued work together to bring this project to fruition and help address some of the City's affordable housing needs.

Best regards,



Mark Hammond

Vice President of Development



# MSP - THE DRIFTLESS APARTMENTS (SENIOR-HOUSING)

323 RIVER BEND ROAD  
LA CROSSE, WI 54603



PROJECT RENDERING / PERSPECTIVE VIEW

### CODE INFORMATION SUMMARY

**APPLICABLE CODE**  
2015 INTERNATIONAL BUILDING CODE WITH WI AMENDMENTS  
2015 INTERNATIONAL ENERGY CONSERVATION CODE

**OCCUPANCY CLASSIFICATION - CHAPTER 3**  
OCCUPANCY TYPES:  
S-2: GROUND FLOOR (ENCLOSED PARKING GARAGE - LOW HAZARD)  
R-2: 1ST - 4TH FLOOR

**ALLOWABLE HEIGHTS AND AREAS - CHAPTER 5**  
ALLOWABLE HEIGHT:  
- S-2: UNLIMITED  
- R-2: 60'-0"  
ACTUAL HEIGHT:  
- S-2: 40'-0"  
- R-2: 46'-0" (ABOVE HORIZONTAL SEPARATION)  
ALLOWABLE STORIES:  
- S-2: UNLIMITED  
- R-2: 4 STORIES  
ACTUAL STORIES:  
- S-2: 1 STORY  
- R-2: 4 STORIES (ABOVE HORIZONTAL SEPARATION)  
ALLOWABLE FLOOR AREA (PER STORY):  
- S-2: UNLIMITED  
- R-2: BUILDING A: 12,000 SF  
- R-2: BUILDING B: 18,600 WITH 55% FRONTAGE INCREASE FACTOR  
12,000 SF + (12,000 SF x 0.55) x 1 = 18,600 SF  
ACTUAL FLOOR AREA (PER STORY):  
- R-2: FIRE AREA A: 8,252 SF  
- R-2: FIRE AREA B: 10,800 SF  
SEC. 508.4 - HORIZONTAL SEPARATION OF OCCUPANCIES:  
- S-2 TO R-2: 3-HOUR ASSEMBLY  
SEC. 706.1: EACH PORTION OF A BUILDING SEPARATED BY A FIRE WALL SHALL BE CONSIDERED A DISTINCT BUILDING.  
SEC. 706.4: FIRE WALL FIRE RESISTANCE RATING: 2-HOURS

**CONSTRUCTION TYPE & FIRE RESISTANCE RATING - CHAPTER 6**  
GROUND FLOOR: TYPE-IA (S-2 OCCUPANCY)  
- EXTERIOR BEARING WALLS: 1-HOUR  
- INTERIOR BEARING WALLS: 3-HOURS  
- FLOOR ASSEMBLIES: 1-HOUR  
- ROOF ASSEMBLIES: 1-HOUR

**REQUIRED FIRE BARRIER/PARTITION RATING & DRAFTSTOPPING:**  
- SEC 708: DWELLING UNIT WALL SEPARATION: 1-HOUR  
- SEC 711: DWELLING UNIT FLOOR/CEILING SEPARATION: 1-HOUR  
- SEC 716: CORRIDOR WALL RATINGS: 0.5-HOURS (MIN.)  
- SEC 718: DRAFTSTOPPING TO BE PROVIDED IN CONCEALED FLOOR SPACES IN LINE WITH UNIT SEPARATION.

**FIRE PROTECTION - CHAPTER 9:**  
BUILDING IS FULLY SPRINKLERED  
- S-2 OCCUPANCY: NFPA 13R (IBC SEC. 903.3.1.1)  
- R-2 OCCUPANCY: NFPA 13R (IBC SEC. 903.3.1.2)

SEE CODE COMPLIANCE PLANS FOR ADDITIONAL INFORMATION

### PROJECT/BUILDING DATA

NEW 5 STORY SENIOR LIVING BUILDING WITH PARKING BELOW AT GROUND FLOOR LEVEL. THE UPPER FLOORS ARE SEPARATED INTO TWO BUILDINGS BY A FIRE WALL.

**BUILDING AREAS**  
SEE GROSS BUILDING AREA TABLE ON THIS SHEET.

**UNIT COUNTS**  
SEE UNIT MATRIX ON THIS SHEET.

**PARKING COUNTS**  
TOTAL APARTMENT GARAGE PARKING SPACES = 65  
(INCLUDING 3 ACCESSIBLE STALLS INCLUDING A VAN STALL)  
TOTAL SITE PARKING SPACES = 31  
(INCLUDING 2 ACCESSIBLE STALLS INCLUDING A VAN STALL)

### TYPE-A, UFAS & WHEDA INFORMATION

TYPE-A UNITS: 215 & 224

UFAS MOBILE IMPAIRED UNITS AND WHEDA UNITS WITH ROLL-IN SHOWERS:  
- 215, 219, 224, 315, 319

UFAS HEARING IMPAIRED UNITS:  
- 320 AND 324

### ARCHITECTURAL ABBREVIATIONS LEGEND

AND	FND - FOUNDATION	PREFAB	PREFABRICATED
AT	FOM - FACE OF MASONRY	PERIM	PERIMETER
ANCHOR BOLT	FOS - FACE OF STUD	PLUMB	PLUMBING CONTRACTOR
ABOVE FINISH FLOOR	FTG - FOOTING	PRECAST	PRECAST/PRESTRESSED
ALTERNATE	FUT - FUTURE	POST	POST TENSIONED
ALUM	FV - FIELD VERIFY	PT	PRESSURE TREATED
ARCH - ARCHITECT / ARCHITECTURAL	GA - GAUGE	R	RADIUS
BOARD	GLY - GALVANIZED	RD	ROOF DRAIN
BLOCK (CMU)	GB - GRAB BAR	REIN	REINFORCING
BOTTOM	GC - GENERAL CONTRACTOR	REOF	REQUIRED
	GYP - GYPSUM	RM	ROOM
CATCH BASIN	HC - HVAC CONTRACTOR	SCHED	SCHEDULE
CAST-IN-PLACE	HM - HOLLOW METAL	SHT	SHEET
CONSTRUCTION JOINT	HORIZ - HORIZONTAL	SIM	SIMILAR
CEILING	HT - HEIGHT	SOG	SLAB ON GRADE
CONTROL JOINT	HVAC - HEATING, VENTILATION & AIR CONDITIONING	SPEC	SPECIFICATION
CLEAR DISTANCE	HR - HOUR	SQ	SQUARE
CONCRETE MASONRY UNIT	ID - INSIDE DIAMETER	SS	STAINLESS STEEL
CASED OPENING	IF - INSIDE FACE	STL	STEEL
COLUMN	INSUL - INSULATION	STR	STRUCTURAL
CONC - CONCRETE	INT - INTERIOR	THK	THICKNESS
CONT - CONTINUOUS	JBE - JOIST BEARING ELEVATION	TOL	TOP OF LEDGE ELEVATION
CUBIC	JT - JOINT	TOP	TOP OF PIER ELEVATION
DOUBLE	L - STEEL ANGLE DESIGNATION	TP	TOILET PAPER DISPENSER
DRINKING FOUNTAIN	LAM - LAMINATE	TS	TYPICAL (SEE HIGH STRENGTH STEEL DESIGNATION)
DIAMETER	LVL - LAMINATED VENEER LUMBER	TYP	TYPICAL
DOWN	MAX - MAXIMUM	TOW	TOP OF WALL ELEVATION
DOWN SPOUT	MBW - MASONRY BEARING WALL	UD	UNIVERSAL DESIGN
DETAIL	MFG - MANUFACTURER	UNO	UNLESS NOTED OTHERWISE
DWG - DRAWING	MIN - MINIMUM	UFAS M.I.	UNIFORM FEDERAL ACCESSIBILITY STANDARDS - MOBILITY IMPAIRED
EACH	MO - MASONRY OPENING	UFAS H.V.	UNIFORM FEDERAL ACCESSIBILITY STANDARDS - HEARING AND VISUALLY IMPAIRED
ELECTRICAL CONTRACTOR	MTL - METAL	VB	VAPOR BARRIER
EXTERIOR INSULATION FINISH SYSTEM	NIC - NOT IN CONTRACT	VERT	VERTICAL
ELEVATION	NOM - NOMINAL	VIF	VERIFY IN FIELD
ELEVATOR	NTS - NOT TO SCALE	W	WIDTH
ENGINEER	NO - NUMBER	WID	WITH
EQUAL	OC - ON CENTER	WO	WITHOUT
EXIST - EXISTING	OD - OUTSIDE DIAMETER	W/O	WATER CLOSET
EXP - EXPANSION	O.F. - OUTSIDE FACE	WTR	WATER
EXTERIOR	OH - OVERHEAD	WV	WEATHER RESISTIVE BARRIER
FLOOR DRAIN	OPI - OWNER PROVIDED, CONTRACTOR INSTALLED	WHEDA	WISCONSIN HOUSING AND ECONOMIC DEVELOPMENT AUTHORITY
FOUNDATION	OPF - OWNER PROVIDED, OWNER INSTALLED	WRB	WEATHER RESISTIVE BARRIER
FIRE EXTINGUISHER	OPNG - OPENING	WWF	WELDED WIRE FABRIC
FIRE EXTINGUISHER CABINET	OPP - OPPOSITE		
FINISH FLOOR			
FIN - FINISH			
FLOOR			

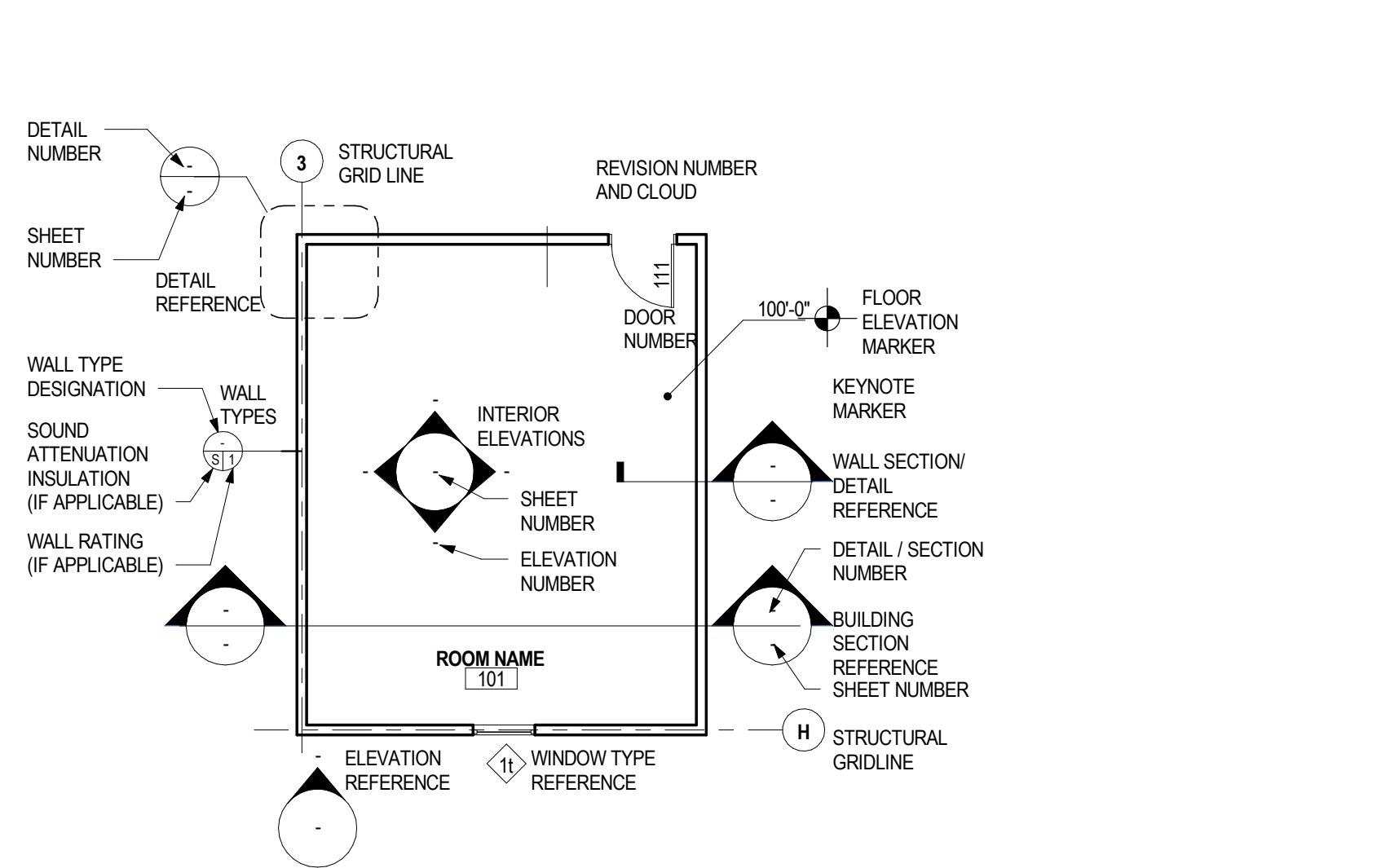
### UNIT MATRIX

AREA	1 BEDROOM UNITS								2 BEDROOM UNITS								TOTAL
	Type-A / WHEDA / UFAS-MI Units	Type-B Units				WHEDA Units				Type-A / WHEDA / UFAS-MI Units	Type-B Units				WHEDA Unit	WHEDA / UFAS-HVI	
	1A-WU-MI	1B	1B-F	1B-N	1B-W	1W	1W-W-F	1W-W	1WU-MI	1WU-HVI	2A-WU-MI	2B	2B-W	2C	2D	2W	2WU-HVI
AREA	679 SF	679 SF	673 SF	674 SF	717 SF	679 SF	740 SF	717 SF	674 SF	679 SF	979 SF	1013 SF	1073 SF	1062 SF	979 SF	979 SF	
1ST	0	8	3	1	2	0	0	0	0	0	3	1	4	0	0	0	0
2ND	1	6	3	0	0	4	1	2	1	0	1	0	1	4	1	1	0
3RD	0	5	3	0	0	5	1	1	2	1	0	1	4	1	1	1	0
4TH	0	12	3	1	2	0	0	0	0	0	2	1	4	1	0	0	0
TOTAL	1	31	12	2	4	9	2	3	3	1	1	5	4	16	3	2	1

Legend:  
F Unit adjacent to firewall  
N Narrow unit (next to stair shaft)  
W Wide unit  
HVI UFAS hearing and visually impaired unit  
MI UFAS mobile impaired unit

### BUILDING GROSS AREA

LEVEL	AREA
GROUND FLOOR	24837 SF
GARAGE	24837 SF
FIRST FLOOR	8252 SF
FIRE AREA A	16060 SF
FIRE AREA B	24312 SF
SECOND FLOOR	8252 SF
FIRE AREA A	16060 SF
FIRE AREA B	24312 SF
THIRD FLOOR	8252 SF
FIRE AREA A	16060 SF
FIRE AREA B	24312 SF
FOURTH FLOOR	8252 SF
FIRE AREA A	16060 SF
FIRE AREA B	24312 SF
BUILDING TOTAL	122985 SF

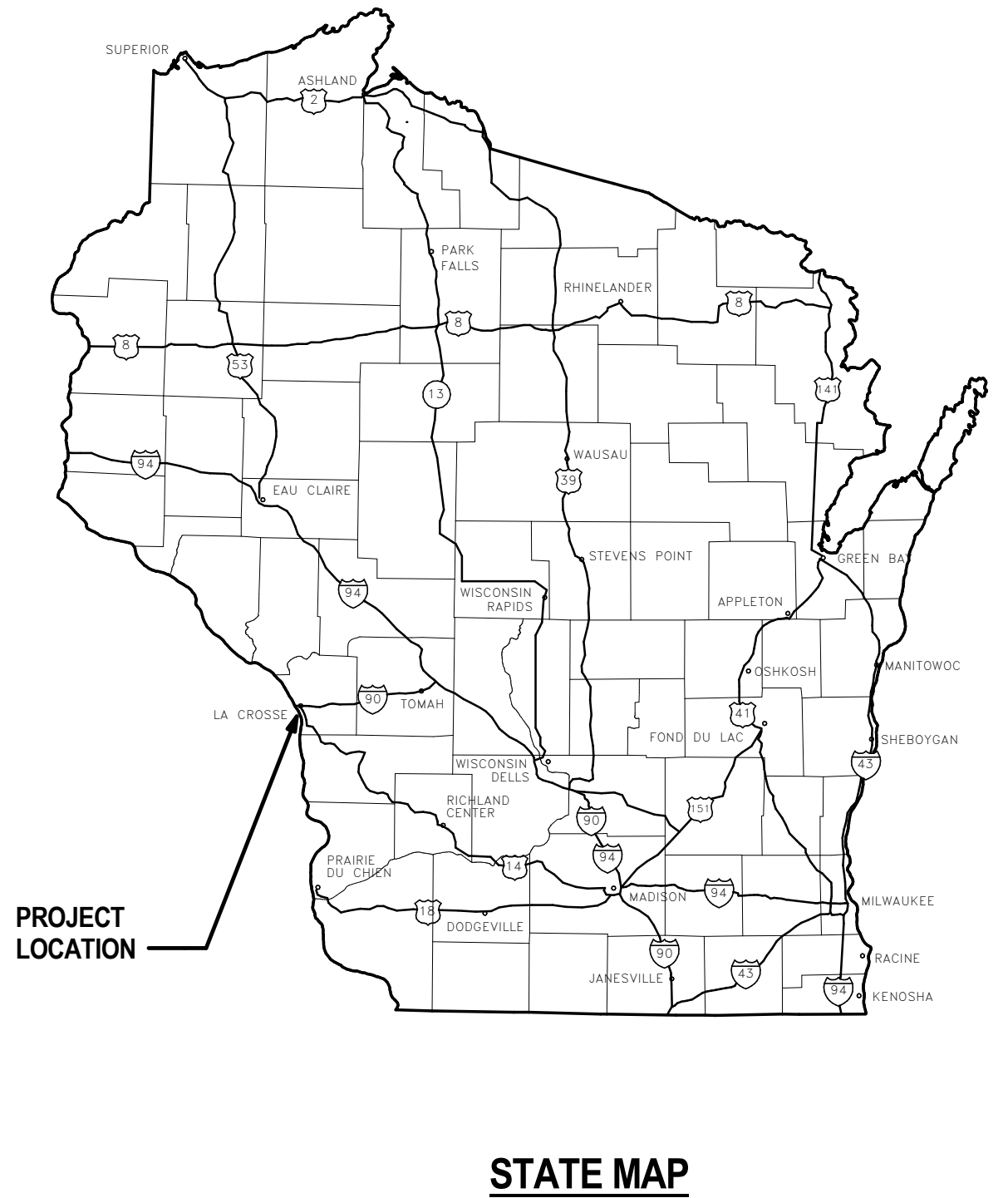


LEGEND - ARCHITECTURAL SYMBOLS  
1/8" = 1'-0"

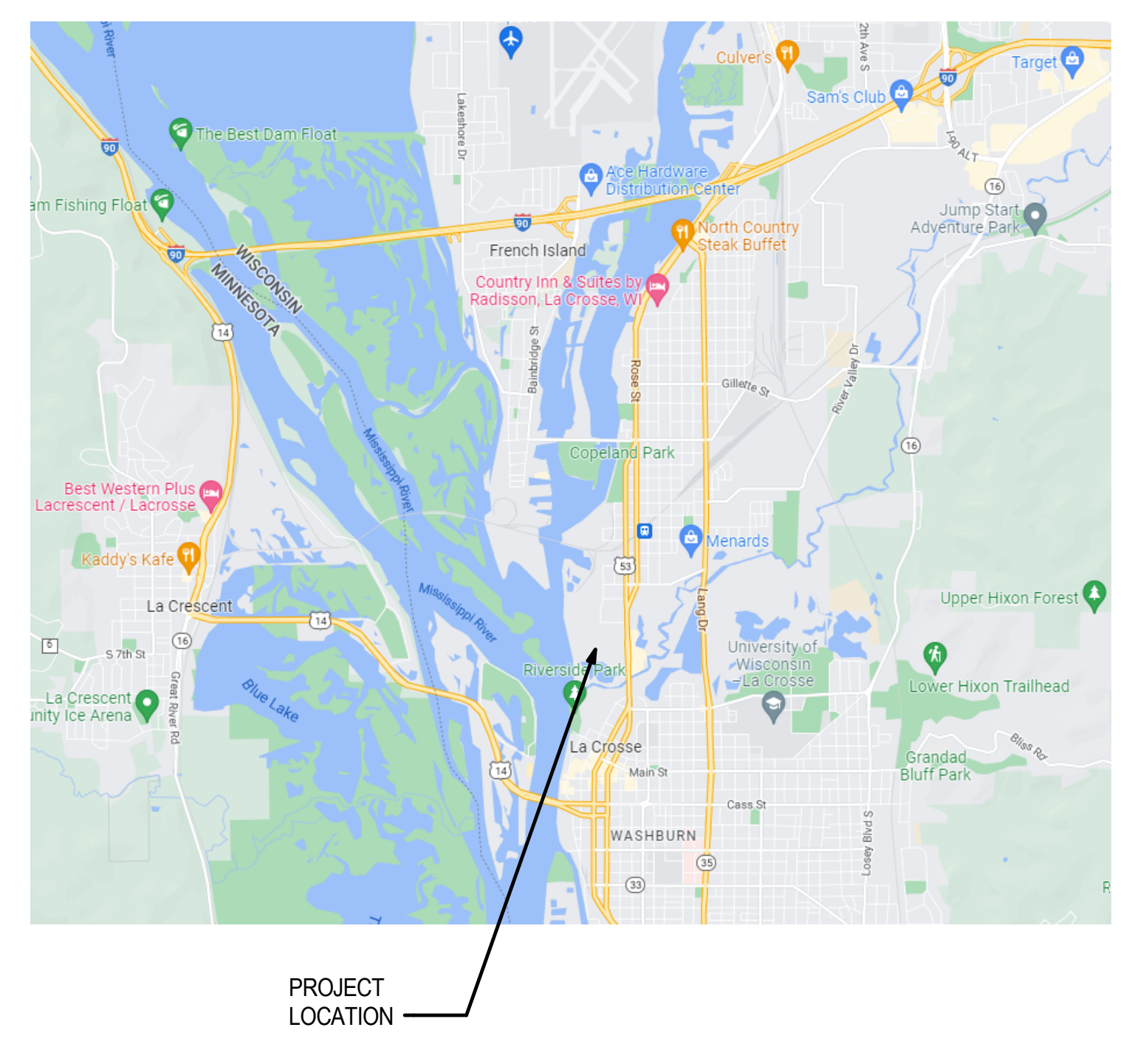
- Architecture :** Dimension IV - Madison Design Group  
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719  
p: 608.829.4444 www.dimensionivmadison.com
- General Contractor:** MSP Construction  
7901 West National Avenue, West Allis, WI 53214  
p: 414.259.2108 www.msprealestateinc.com
- Civil Engineer:** CJ Engineering  
9205 West Center Street, Suite 214, Milwaukee, WI 53222  
p: 414.443.1312 www.cj-engineering.com
- Structural Engineer:** OTIE  
5100 Eastpark Blvd., Ste. 300, Madison, WI 53718  
p: 608.243.6470 www.oescgroup.com
- Landscape Architect:** raSmith  
221 South 2nd Street, Suite 214, Milwaukee, WI 53204  
p: 262.781.1000 www.rasmith.com
- Lighting Designer:** Hein Electric Supply Company  
515 W. Cherry St, Milwaukee, WI 53212  
p: 414.274.6250 www.hein.com

### LIST OF DRAWINGS - MASTER

SHEET NO.	SHEET NAME	Current Revision	SHEET NO.	SHEET NAME	Current Revision
GENERAL					
G0.1	COVER SHEET	B	A2.2	EXTERIOR ELEVATIONS	B
G1.0	SITE CODE COMPLIANCE PLAN	B	A3.0	BUILDING SECTIONS	B
G1.1	CODE COMPLIANCE PLAN & BUILDING SECTION	B	A3.1	WALL SECTIONS	B
G1.2	CODE COMPLIANCE PLAN	B	A3.2	WALL & PARAPET SECTIONS	B
G1.3	CODE COMPLIANCE PLAN	B	A3.3	STAIR SECTIONS	B
G2.0	ACCESSIBILITY REQUIREMENTS	B	A3.4	STAIR SECTIONS	B
			A3.5	ELEVATOR SECTION	
			A4.0	FIRST FLOOR REFLECTED CEILING PLAN	
CIVIL			A4.1	ENLARGED REFLECTED CEILING PLANS	
C1.0	SITE PLAN		A5.0	ENLARGED UNIT PLANS - ONE BEDROOM APARTMENTS	B
C2.0	SITE GRADING PLAN		A5.1	ENLARGED UNIT PLANS - ONE BEDROOM APARTMENTS	B
C3.0	SITE UTILITY PLAN	B	A5.2	ENLARGED UNIT PLANS - TWO BEDROOM APARTMENTS	B
C4.0	EROSION CONTROL PLAN		A5.3	ENLARGED FLOOR PLANS	B
L100	SITE LANDSCAPING PLAN		A6.0	ASSEMBLY TYPES	B
L200	LANDSCAPE NOTES AND DETAILS		A6.1	DOOR SCHEDULES	B
1 OF 1	SITE LIGHTING PLAN		A6.2	DOOR DETAILS	B
			A6.3	WINDOW TYPES & ELEVATIONS	B
			A6.4	WINDOW DETAILS	B
STRUCTURAL			A7.0	INTERIOR ELEVATIONS	
S0.1	STRUCTURAL NOTES		A7.1	INTERIOR ELEVATIONS	
S0.2	STRUCTURAL SCHEDULES		A8.0	DETAILS	B
S1.0	FOUNDATION PLAN	B	A8.1	DETAILS	B
S1.1	FIRST FLOOR FRAMING	B	A8.2	CANOPY PLAN, SECTIONS, AND DETAILS	B
S1.2	SECOND FLOOR FRAMING	B	A9.0	FLOOR FINISH PLANS	B
S1.3	THIRD FLOOR FRAMING	B	A9.1	FLOOR FINISH SCHEDULE	B
S1.4	FOURTH FLOOR FRAMING				
S1.5	ROOF FRAMING	B			
S8.0	STRUCTURAL DETAILS		SPECIFICATIONS		
S8.1	STRUCTURAL DETAILS	B	SP1.0	SPECIFICATIONS	B
S8.2	STRUCTURAL DETAILS	B	SP1.1	SPECIFICATIONS	B
			SP1.2	SPECIFICATIONS	B
ARCHITECTURAL			SP1.3	SPECIFICATIONS	B
A1.0	GROUND FLOOR PLAN	B	SP1.4	SPECIFICATIONS	B
A1.1	FIRST FLOOR PLAN	B	SP1.5	SPECIFICATIONS	B
A1.2	SECOND FLOOR PLAN	B	SP1.6	SPECIFICATIONS	B
A1.3	THIRD FLOOR PLAN	B	SP1.7	SPECIFICATIONS	B
A1.4	FOURTH FLOOR PLAN	B	SP1.8	SPECIFICATIONS	B
A1.5	ROOF PLAN	B	SP1.9	SPECIFICATIONS	B
A2.0	EXTERIOR ELEVATIONS	B			
A2.1	EXTERIOR ELEVATIONS	B			



STATE MAP



PROJECT LOCATION

## CONSTRUCTION SET - ADDENDUM B

PROJECT # 21136 04/26/2023

# G0.1



4/26/2023 2:30:00 PM Autodesk Docs:021136-1439-The Driftless of 1136 - MSP - The Driftless.dwg



**1 SITE CODE COMPLIANCE PLAN**  
1/16" = 1'-0"

- ### CODE COMPLIANCE GENERAL NOTES
- ALL UNITS ARE TYPE "B" UNLESS NOTED OTHERWISE. REFER TO ENLARGED UNIT PLANS FOR INFORMATION AND REFERENCES TO ACCESSIBLE CRITERIA.
  - ALL "TYPE A" UNITS ARE DESIGNED TO COMPLY WITH THE REQUIREMENTS OF IBC ACCESSIBLE UNIT.
  - REFER TO SHEET G2.0 FOR ACCESSIBLE MOUNTING AND CLEARANCES INFORMATION.
  - ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C.
  - COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 125' PER 1008.2.1 & 1029.6.
  - EXIT ACCESS TRAVEL DISTANCE IS 250' WITH SPRINKLERS PER TABLE 1017.2.
  - FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING PER IBC 703.7.
  - ALL EXTERIOR BEARING WALLS TO BE 1HR RATED U.N.O.
  - ALL FIRE RATED ASSEMBLIES WITHIN CONCEALED ACCESSIBLE SPACES SHALL CLEARLY & PERMANENTLY IDENTIFIED PER IBC SEC. 703.7.
  - ALL FIRE DOOR ASSEMBLIES IN CORRIDORS TO COMPLY WITH UL 1784 AND INSTALLED IN ACCORDANCE WITH NFPA 105 PER IBC SEC. 716.5.3.
  - FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING PER IBC 703.7.
  - SMOKE ALARMS SHALL BE PROVIDED IN EACH ROOM USED FOR SLEEPING PURPOSES AND IN EACH ROOM IN THE IMMEDIATE VICINITY OF EACH BEDROOM PER IBC 907.2.11.2. IN-UNIT SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. ALARMS SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERFERING DOORS CLOSED.
  - SMOKE ALARMS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING'S COMMERCIAL POWER SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION PER IBC 907.2.11.6.
  - CARBON MONOXIDE ALARMS TO BE PROVIDED PER SPS362.0915 AND SHALL BE LOCATED IN ANY ROOMS CONTAINING FUEL BURNING APPLIANCES, INCLUDING BUT NOT LIMITED TO FURNACES, BOILERS, AND WATER HEATERS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED THROUGHOUT BASEMENT PER SPS362.0915(2)(a)(b). ALARMS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING'S COMMERCIAL POWER SOURCE AND SHALL BE PERMANENT WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION PER IBC 915.
  - FIRE ALARM PLANS SHALL BE SUBMITTED FOR REVIEW TO CITY OF LA CROSSE FIRE PROTECTION ENGINEERING FOR REVIEW AND APPROVAL AS PART OF A DEFERRED SUBMITTAL.

- ### CODE COMPLIANCE SYMBOLS LEGEND
- |        |  |
|--------|--|
| AWU-MI | INDICATES "TYPE A", WHEDA, AND UFAS MOBILE IMPAIRED UNIT   |
| WU-MI  | INDICATES WHEDA AND UFAS MOBILE IMPAIRED UNIT  |
| WU-HVI | INDICATES WHEDA AND UFAS HEARING AND VISUALLY IMPAIRED UNIT  |
| W      | INDICATES WHEDA UNIT   |
| FEC    | INDICATES FIRE EXTINGUISHER CABINET LOCATION   |
| S-2    | INDICATES OCCUPANCY TYPE AND CAPACITY  |
| XXX    | INDICATES OCCUPANCY TYPE AND CAPACITY  |
| ---    | INDICATES ADA ACCESSIBLE ROUTE   |
| XXX    | INDICATES EXIT AND EXIT CAPACITY EGRESS WIDTH FACTOR STAIRWAYS = 1.0' PER OCCUPANT ALL OTHER EGRESS COMPONENTS = 0.2' PER OCCUPANT |
| ---    | INDICATES 1 HOUR FIRE RATED ASSEMBLY (SEC 709)   |
| ---    | INDICATES 2 HOUR FIRE RATED ASSEMBLY (SEC 709)   |
| ---    | INDICATES 3 HOUR FIRE RATED ASSEMBLY (SEC 709)   |
| ○      | EXIT ACCESS TRAVEL DISTANCE MAXIMUM DISTANCE ALLOWED IS 250 FEET   |
| ●      | COMMON PATH OF TRAVEL DISTANCE MAXIMUM DISTANCE ALLOWED IS 125 FEET  |

- ### SITE COMPLIANCE PLAN KEYNOTES
- SEC. 705.8: 10% UNPROTECTED OPENINGS ALLOWED. 0% PROPOSED OPENINGS.
  - SEC. 705.8: 25% UNPROTECTED OPENINGS ALLOWED. 20% PROPOSED OPENINGS.
  - SEC. 705.8: 25% UNPROTECTED OPENINGS ALLOWED. 21.8% PROPOSED OPENINGS.
  - SEC. 705.8: 25% UNPROTECTED OPENINGS ALLOWED. 25% PROPOSED OPENINGS.
  - SEC. 705.8: 25% UNPROTECTED OPENINGS ALLOWED. 9% PROPOSED OPENINGS.
  - SEC. 705.8: 45% UNPROTECTED OPENINGS ALLOWED. 20% PROPOSED OPENINGS.
  - CANOPY STRUCTURE ABOVE. IFC SEC. 503.2.1: 13'-0" MINIMUM UNOBSTRUCTED CLEARANCE UNDER CANOPY. SEE SHEET A8.2.
  - IFC SEC. 503.1.1: FIRE APPARATUS ACCESS ROAD.
  - FIRE WALL EXTENDING FROM FIRST FLOOR TO UNDERSIDE OF ROOF SHEATHING.
  - IFC TABLE D103.4: MAXIMUM 150 FOOT DEAD END ALLOWED FOR FIRE APPARATUS WITHOUT A TURNAROUND.
  - LINE OF FIRE SEPARATION DISTANCE.
  - HOSE LAY DISTANCE < 150'-0"
  - EGRESS ONLY.

DATE OF ISSUE: 04/14/2023

REVISIONS:	
B	ADDENDUM B 04/26/2023

PROJECT # 21136

**SITE CODE COMPLIANCE PLAN**



# MSP - THE DRIFTLESS TOWNHOUSES

302 Kraft Street, 304 Kraft Street, 306 Kraft Street, 308 Kraft Street, 310 Kraft Street, 312 Kraft Street, 314 Kraft Street, 316 Kraft Street, 318 Kraft Street, 320 Kraft Street, 322 Kraft Street, 324 Kraft Street, 326 Kraft Street, 328 Kraft Street, 330 Kraft Street, 332 Kraft Street, 28 Milwaukee Street, 30 Milwaukee Street, 38 Milwaukee Street, 39 Steamboat Ct., La Crosse, WI



PROJECT RENDERING / PERSPECTIVE VIEW

CODE INFORMATION SUMMARY	
<b>TOWNHOME AND FLATS BUILDING CODE ANALYSIS</b>	
OCCUPANCY TYPES: - R-2 (DWELLING UNITS) - U (PRIVATE GARAGES)	
<b>ALLOWABLE HEIGHTS AND AREAS - CHAPTER 5</b>	
- SEC. 503.1 BUILDINGS C, D, E, AND F CONSIDERED ONE BUILDING AND FIRE SEPARATION NOT REQUIRED BETWEEN THOSE BUILDINGS.	
- ALLOWABLE HEIGHT: 60'-0"	
- ACTUAL HEIGHT: 20'-0"	
- ALLOWABLE STORIES: 4 STORIES	
- ALLOWABLE FLOOR AREA (PER STORY):	
- COMBINED BUILDING C/D/E/F: 17,514 SF W/ 45% AREA FACTOR INCREASE.	
- ACTUAL FLOOR AREA (PER STORY):	
- COMBINED BUILDING C/D/E/F: 14,241 SF	
<b>CONSTRUCTION TYPE &amp; FIRE RESISTANCE RATING - CHAPTER 6:</b>	
CONSTRUCTION TYPE-VA	
- EXTERIOR BEARING WALLS: 1-HOUR	
- INTERIOR BEARING WALLS: 1-HOUR	
- NON-BEARING WALLS (EXTERIOR):	
- 1-HOUR - 30' TO PROPERTY LINE OR LINE OF FIRE SEPARATION DISTANCE	
- 0-HOUR - 30' TO PROPERTY LINE OR LINE OF FIRE SEPARATION DISTANCE	
- FLOOR ASSEMBLIES: 1-HOUR	
- ROOF ASSEMBLIES: 1-HOUR	
<b>REQUIRED FIRE BARRIER/PARTITION RATING &amp; DRAFTSTOPPING:</b>	
- SEC. 406.3.4: OTHER THAN PRIVATE GARAGES ADJACENT TO DWELLING UNITS, THE SEPARATION FROM OTHER OCCUPANCIES SHALL COMPLY WITH SEC. 508.	
- SEC. 508.4: 1-HOUR SEPARATION REQUIRED BETWEEN R AND U	
- SEC. 718.4.2: DRAFTSTOPPING SHALL BE PROVIDED IN ATTICS IN LINE WITH UNIT SEPARATIONS.	
<b>FIRE PROTECTION - CHAPTER 8:</b>	
BUILDINGS ARE FULLY SPRINKLERED PER NFPA 13 & IBC SEC. 903.3.1.1	
<b>ACCESSIBILITY REQUIREMENTS - CHAPTER 11</b>	
- NUMBER OF TYPE-A ACCESSIBLE UNITS: 2% OF 20 = 1 UNIT	
- TYPE-B UNITS: TOWNHOUSE UNITS AND UPPER FLOOR FLATS: NONE REQUIRED PER IBC SEC. 1107.7.1	
SEE CODE COMPLIANCE PLANS FOR ADDITIONAL INFORMATION	

BUILDING AREAS	
Level	Area
<b>BUILDING C</b>	
GROUND FLOOR	4860 SF
SECOND FLOOR	5016 SF
	9876 SF
<b>BUILDING D</b>	
GROUND FLOOR	3692 SF
SECOND FLOOR	3087 SF
	6779 SF
<b>BUILDING E</b>	
GROUND FLOOR	3023 SF
SECOND FLOOR	3733 SF
	6756 SF
<b>BUILDING F</b>	
GROUND FLOOR	2665 SF
SECOND FLOOR	2348 SF
	5014 SF
TOTAL	28424 SF
<b>UNIT TOWNHOME(2-LEVEL) AREAS</b>	
Level	Area
<b>TH-A</b>	
GROUND FLOOR	617 SF
SECOND FLOOR	619 SF
	1236 SF
<b>TH-B</b>	
GROUND FLOOR	613 SF
SECOND FLOOR	615 SF
	1228 SF

**Architecture :** Dimension IV - Madison Design Group  
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719  
p: 608.829.4444 www.dimensionivmadison.com

**General Contractor:** MSP Construction  
7901 West National Avenue, West Allis, WI 53214  
p: 414.259.2108 www.msprealestateinc.com

**Civil Engineering:** CJ Engineering  
9205 West Center Street, Suite 214, Milwaukee, WI 53222  
p: 414.443.1312 www.cj-engineering.com

**Structural Engineering:** OTIE  
5100 Eastpark Blvd., Ste. 300, Madison, WI 53718  
p: 608.243.6470 www.oescgroup.com

**Landscape Architect:** raSmith  
221 South 2nd Street, Suite 214, Milwaukee, WI 53204  
p: 262.781.1000 www.rasmith.com

**Lighting Designer:** Hein Electric Supply Company  
515 W. Cherry Street, Milwaukee, WI 53212  
p: 414.274.6250 www.hein.com

PROJECT/BUILDING DATA	
NEW MULTIFAMILY TOWNHOMES AND APARTMENT FLATS WITH ATTACHED GARAGES AT GROUND LEVEL.	
<b>BUILDING AREAS</b>	
SEE GROSS BUILDING AREA TABLE ON THIS SHEET	
<b>UNIT COUNT</b>	
TOTAL UNITS = 20 UNITS	
TOWNHOUSE A (TH-A)	= 6 UNITS
TOWNHOUSE B (TH-B)	= 7 UNITS
FLAT A TYPE 'A'	= 1 UNIT
FLAT B	= 1 UNIT
FLAT C	= 2 UNITS
FLAT D	= 1 UNIT
FLAT E	= 1 UNIT
FLAT F	= 1 UNIT
<b>PARKING COUNTS</b>	
TOTAL PARKING SPACES = 43	
TOTAL SURFACE PARKING SPACES = 31 (2 ACCESSIBLE STALLS)	
TOTAL GARAGE PARKING SPACES = 12	

UNIT FLAT AREAS	
Name	Area
FLAT-A TYPE 'A'	1125 SF
FLAT-B	1107 SF
FLAT-C	1151 SF
FLAT-D	1170 SF
FLAT-E	1165 SF
FLAT-F	1169 SF

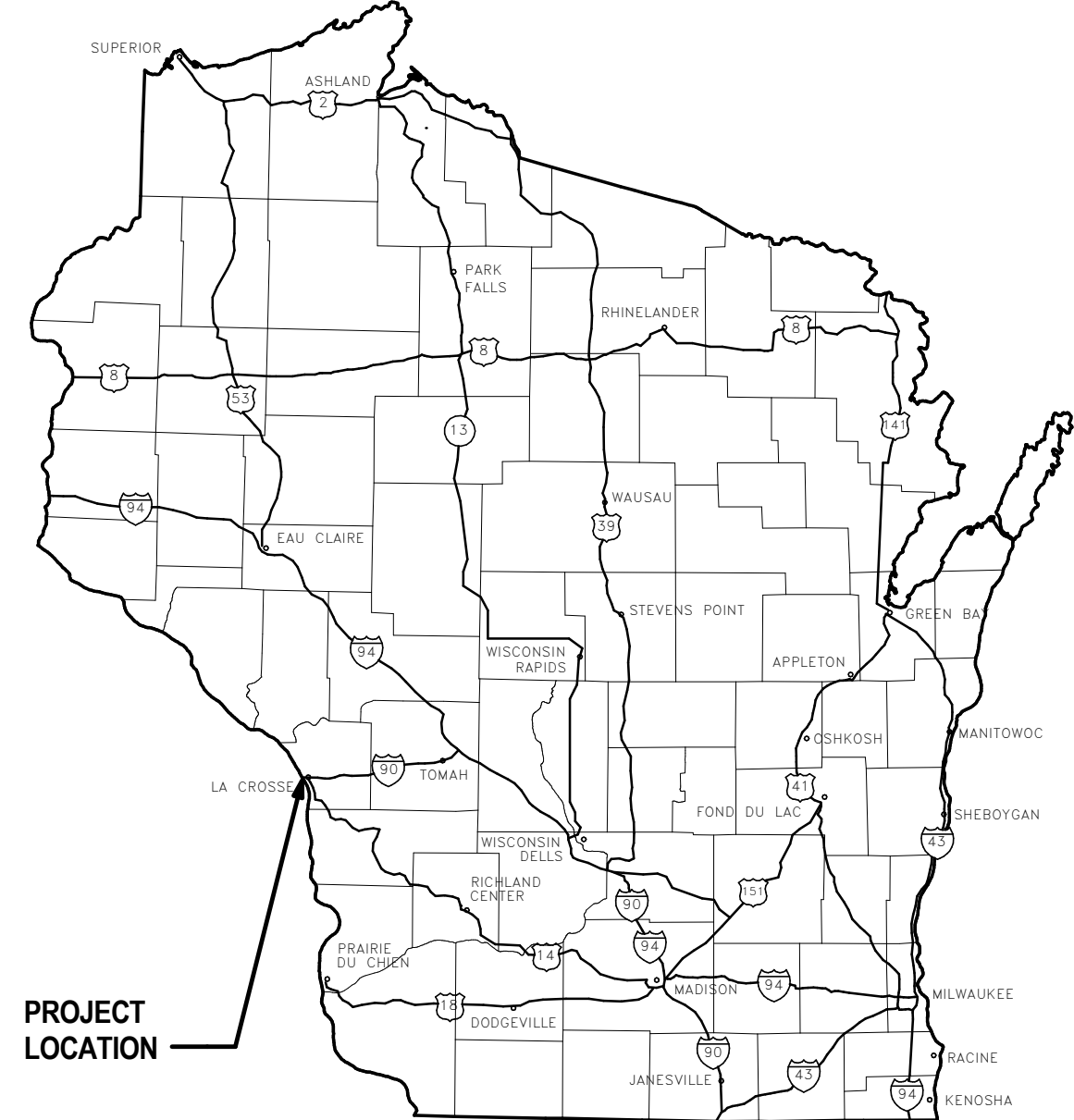
LIST OF DRAWINGS

SHEET NO.	SHEET NAME
GENERAL	
G001	COVER SHEET
G100	SITE CODE COMPLIANCE PLAN
G101	CODE COMPLIANCE PLANS
G102	CODE COMPLIANCE PLANS AND SECTIONS
G200	GENERAL ACCESSIBILITY REQUIREMENTS
CIVIL	
C1.0	SITE PLAN
C2.0	SITE GRADING PLAN
C3.0	SITE UTILITY PLAN
C4.0	EROSION CONTROL PLAN
L100	SITE LANDSCAPING PLAN
L200	LANDSCAPING NOTES AND DETAILS
1 OF 1	SITE LIGHTING PLAN
STRUCTURAL	
S001	STRUCTURAL NOTES
S002	STRUCTURAL SCHEDULES
S100C	FLOOR PLANS - TOWNHOUSE C
S100D	FLOOR PLANS - TOWNHOUSE D
S100E	FLOOR PLANS - TOWNHOUSE E
S100F	FLOOR PLANS - TOWNHOUSE F
S800	STRUCTURAL DETAILS

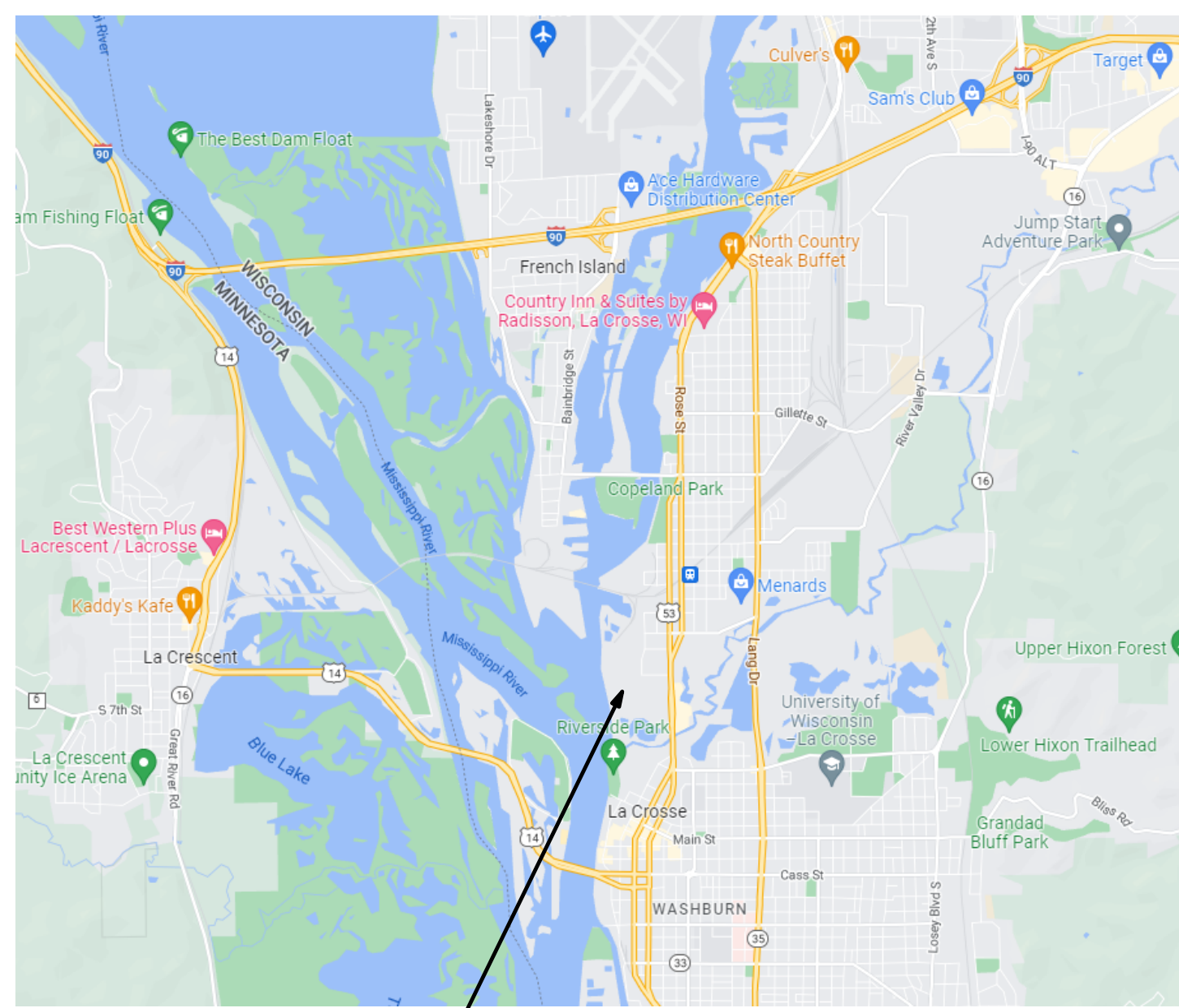
LIST OF DRAWINGS

SHEET NO.	SHEET NAME
S820	STRUCTURAL DETAILS
ARCHITECTURAL	
A100C	FLOOR PLANS & BUILDING SECTIONS - TOWNHOUSE C
A100D	FLOOR PLANS & BUILDING SECTIONS - TOWNHOUSE D
A100E	FLOOR PLANS & BUILDING SECTIONS - TOWNHOUSE E
A100F	FLOOR PLANS & BUILDING SECTIONS - TOWNHOUSE F
A200C	EXTERIOR ELEVATIONS - TOWNHOUSE C
A200D	EXTERIOR ELEVATIONS - TOWNHOUSE D
A200E	EXTERIOR ELEVATIONS - TOWNHOUSE E
A200F	EXTERIOR ELEVATIONS - TOWNHOUSE F
A300	WALL SECTIONS
A301	STAIR SECTIONS
A500	ENLARGED TOWNHOME UNIT PLANS
A501	ENLARGED FLAT UNIT PLANS
A502	ENLARGED FLAT UNIT PLANS
A600	ASSEMBLY TYPES
A601	DOOR SCHEDULES, DOOR TYPES & DETAILS
A602	WINDOW TYPES AND DETAILS
A700	INTERIOR ELEVATIONS
A800	DETAILS
SPECIFICATIONS	
SP1.0	SPECIFICATIONS
SP1.1	SPECIFICATIONS
SP1.2	SPECIFICATIONS
SP1.3	SPECIFICATIONS
SP1.4	SPECIFICATIONS
SP1.5	SPECIFICATIONS
SP1.6	SPECIFICATIONS
SP1.7	SPECIFICATIONS
SP1.8	SPECIFICATIONS
SP1.9	SPECIFICATIONS

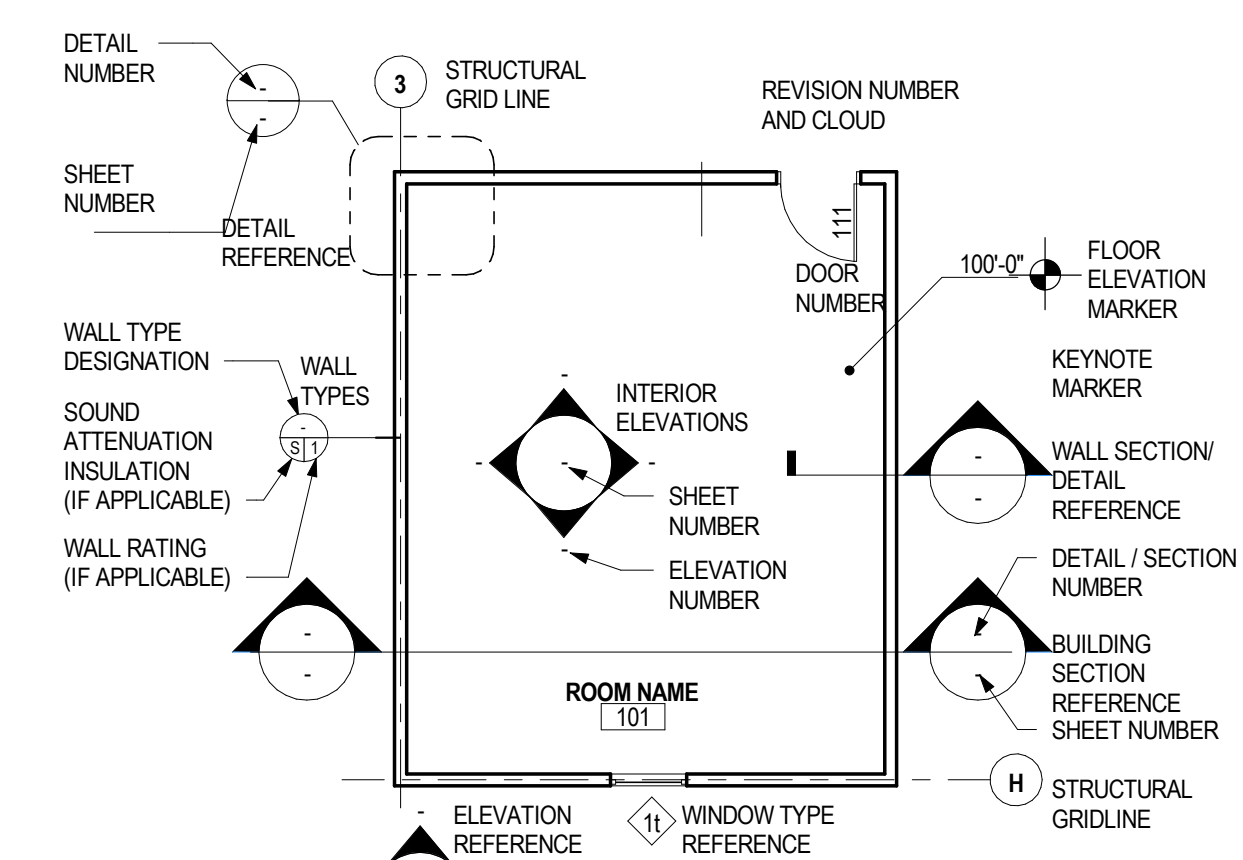
ARCHITECTURAL ABBREVIATIONS LEGEND		
- AND	FND - FOUNDATION	PREFAB - PREFABRICATED
@ - AT	FOM - FACE OF MASONRY	PERIM - PERIMETER
AB - ANCHOR BOLT	FOS - FACE OF STUD	PC - PLUMBING CONTRACTOR
ABF - ABOVE FINISH FLOOR	FTG - FOOTING	PCAST - PRECAST/PRESTRESSED
ALT - ALTERNATE	FUT - FUTURE	PIC - POST TENSIONED
ALUM - ALUMINUM	FV - FIELD VERIFY	PT - PRESSURE TREATED
ARCH - ARCHITECT / ARCHITECTURAL		
BRD - BOARD	GA - GAUGE	R - RADIUS
BLK - BLOCK (CMU)	GALV - GALVANIZED	RD - ROOF DRAIN
BOT - BOTTOM	GB - GRAB BAR	REIN - REINFORCING
CB - CATCH BASIN	GC - GENERAL CONTRACTOR	REQD - REQUIRED
CIP - CAST-IN-PLACE	GYP - GYPSUM	RM - ROOM
CJ - CONSTRUCTION JOINT		
CL - CENTERLINE	HC - HVAC CONTRACTOR	SCHED - SCHEDULE
CLG - CEILING	HM - HOLLOW METAL	SHT - SHEET
CLJ - CONTROL JOINT	HORIZ - HORIZONTAL	SIM - SIMILAR
CLR - CLEAR DISTANCE	HT - HEIGHT	SOG - SLAB ON GRADE
CMU - CONCRETE MASONRY UNIT	HVAC - HEATING, VENTILATION & AIR CONDITIONING	SPEC - SPECIFICATION
CO - CASED OPENING	HR - HOUR	SQ - SQUARE
COL - COLUMN	ID - INSIDE DIAMETER	SS - STAINLESS STEEL
CONC - CONCRETE	IF - INSIDE FACE	STL - STEEL
CONT - CONTIGUOUS	INSUL - INSULATION	STR - STRUCTURAL
CU - CUBIC	INT - INTERIOR	THK - THICKNESS
DBL - DOUBLE	JBE - JOIST BEARING ELEVATION	TOL - TOP OF LEDGE ELEVATION
DF - DRINKING FOUNTAIN	JT - JOINT	TOP - TOP OF PIER ELEVATION
DIM - DIAMETER	L - STEEL ANGLE DESIGNATION	TP - TOILET PAPER DISPENSER
DN - DOWN	LAM - LAMINATE	TS - (SEE HIGH STRENGTH STEEL DESIGNATION)
DS - DOWN SPOUT	LVL - LAMINATED VENEER LUMBER	TYP - TYPICAL
DTL - DETAIL	MAX - MAXIMUM	TOW - TOP OF WALL ELEVATION
DWG - DRAWING	MBW - MASONRY BEARING WALL	UL - UNDERWRITERS LAB
EA - EACH	MFG - MANUFACTURER	UNO - UNLESS NOTED OTHERWISE
EC - ELECTRICAL CONTRACTOR	MIN - MINIMUM	VB - VAPOR BARRIER
EIFS - EXTERIOR INSULATION FINISH SYSTEM	MO - MASONRY OPENING	VERT - VERTICAL
EL - ELEVATION	MTL - METAL	VIF - VERIFY IN FIELD
ELEV - ELEVATOR		
ENG - ENGINEER	NIC - NOT IN CONTRACT	W - WIDTH
EQ - EQUAL	NOM - NOMINAL	WF - WITH
EXIST - EXISTING	NTS - NOT TO SCALE	W/O - WITHOUT
EXP - EXPANSION	NO - NUMBER	WC - WATER CLOSET
EXT - EXTERIOR	OC - ON CENTER	WO - WOOD
FD - FLOOR DRAIN	OD - OUTSIDE DIAMETER	WRB - WEATHER RESISTANT BARRIER
FND - FOUNDATION	O/F - OUTSIDE FACE	WWF - WELDED WIRE FABRIC
FE - FIRE EXTINGUISHER	OH - OVERHEAD	
FEC - FIRE EXTINGUISHER CABINET	OPC - OWNER PROVIDED, CONTRACTOR INSTALLED	
FF - FINISH FLOOR	OPD - OWNER PROVIDED, OWNER INSTALLED	
FIN - FINISH	OPNG - OPENING	
FLR - FLOOR	OPP - OPPOSITE	



STATE MAP



VICINITY MAP



LEGEND - ARCHITECTURAL SYMBOLS

**CONSTRUCTION DOCUMENTS - ADDENDUM B**

PROJECT # 21136 04/26/2023

**G001**



4/14/2023 2:17:56 PM Autodesk Docs\21136 - MSP - The Driftless - Townhomes - New Configuration.rvt

**CODE COMPLIANCE SYMBOLS LEGEND**

	INDICATES "TYPE A" W/HEAD/UFAS MOBILE IMPAIRED UNIT
	INDICATES ATTIC DRAFTSTOPPING (SEC 708.4.2)
	INDICATES 1 HOUR FIRE RATED ASSEMBLY (SEC 709)

**SITE COMPLIANCE PLAN KEYNOTES**

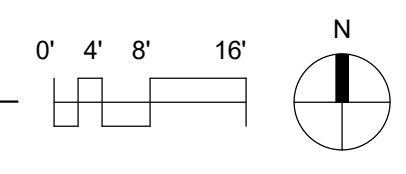
1	SEC. 705.8 10% UNPROTECTED OPENINGS ALLOWED. 0% PROPOSED OPENINGS.
2	SEC. 705.8 25% UNPROTECTED OPENINGS ALLOWED. 25% PROPOSED OPENINGS.
3	SEC. 705.8 25% UNPROTECTED OPENINGS ALLOWED. 21.8% PROPOSED OPENINGS.
4	SEC. 705.8 25% UNPROTECTED OPENINGS ALLOWED. 25% PROPOSED OPENINGS.
5	SEC. 705.8 25% UNPROTECTED OPENINGS ALLOWED. 9% PROPOSED OPENINGS.
6	SEC. 705.8 45% UNPROTECTED OPENINGS ALLOWED. 20% PROPOSED OPENINGS.
7	IFC SEC. 503.1.1: FIRE APPARATUS ACCESS ROAD. IFC TABLE D103.4 MAXIMUM 15' FOOT DEAD END ALLOWED FOR FIRE APPARATUS WITHOUT A TURNAROUND.

**MSP - THE DRIFTLESS TOWNHOUSES**

302 Kraft Street, 304 Kraft Street, 306 Kraft Street, 308 Kraft Street, 310 Kraft Street, 312 Kraft Street, 314 Kraft Street, 316 Kraft Street, 318 Kraft Street, 320 Kraft Street, 322 Kraft Street, 324 Kraft Street, 326 Kraft Street, 328 Kraft Street, 330 Kraft Street, 332 Kraft Street, 28 Milwaukee Street, 30 Milwaukee Street, 38 Milwaukee Street, 39 Steamboat Ct., La Crosse, WI



**1 SITE COMPLIANCE PLAN**  
1/16" = 1'-0"



DATE OF ISSUE: 04/14/2023

REVISIONS:


PROJECT # 21136

**SITE CODE COMPLIANCE PLAN**



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 23-0883

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**Agenda Date:** 7/27/2023

**Version:** 1

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** General Item

**Agenda Number:** 3



#1 - Prominent Corner Commercial Space

The design of the project, draws the visitor to the corner of the property and into the site on River Bend Road where the grade rises to meet the building's active first floor. The corner will include a signature restaurant space, taking advantage of the visibility on Copeland and creating a signature moment for the development.



RyKey Properties Concept for Lot 9, River Point District

# River Point District

## Project Management Report, July 2023

**JBG Planning LLC**



# Contents

## Project Management Update-July, 2023

### Section 1.

A. Monthly activity summary divided into categories; public infrastructure, investor/developer activity, partnerships activity, financial highlights, design or PDD reviews

### Section 2.

- A. Analysis of challenges and opportunities narrative
- B. Future/existing potential funding solutions and strategies
- C. Partnership solutions and strategies
- D. Ongoing investor/developer contacts/communications
- E. Public/media relations and communications updates
- F. Map panel showing investor activity and Architectural Imagery

### Section 3.

A. Map Panel showing future infrastructure phasing

### Section 4.

A. Metrics tracking and project impact per phase/project

# Monthly Activity Summary

## Public infrastructure Design, Planning:

### 1. Right-of-Way and plat update

- Subdivision plat – State review received, awaiting review and approval by WisDOT on 40' setback along Copeland-Meeting Monday, Mayors Office
- Right of way plat (Marsh Lane; McDowell Property) – plat submitted to the City for review
- Noted MSP schedule: Would like to start their project in July (multiple areas off coordination needed on construction access, timing of utility availability and completion of environmental review)
- Easement for Xcel Energy Switching Equipment will need to be negotiated on Lot 9. RyKey's architect was informed: (The switching gear at the corners of SW Marsh/Kraft and SE River Point Ct/Kraft are 90" wide by 44" deep. 10' clear space required in front of the doors and 3' on the sides).-Shown in plat draft.

### Phase 3 design is underway, anticipate a February 2024 bid opening

- Anticipating discussion with City on streetscape design (need to also keep adjacent developers in the design discussion)
- Start thinking about what to do in outlots 1,3,4 -note minimal landscaping approach to preserve viewsheds
- Coordination with developers; utility stubs and driveway access
- Outlot 3 and 4 were to be maintained as view corridors
- Area in Outlot 6 where Milwaukee Street extends is not developable
- Importance of mapping trail and leaving it in city ownership along Outlot 6 past 360's sites
- Preliminary site plans for sanitary/River Bend Drive coordination-sent to Caleb and Torey the concept site plans for everything along River Bend Drive

### Phase 2 – River Bend Road Construction

- Vault complete, backfilling
- Copeland work-concrete is done
- Xcel acknowledged payment from City-need to verify lead times on Xcel equipment and schedule for developers to have energized lines
- Gerke getting ready to do joint trench for private utilities, meeting with utilities next Tuesday
- Stormwater vault should be discussed for long term O&M and ownership/utility

Causeway planning for '24 underway with staging discussions

Next General Infrastructure Update Meeting: August 17 at 2:00PM.

# Monthly Activity Summary

## Investor/developer activity

### Since last RDA Meeting:

New options to be Considered:

July Meeting:

Red Earth: G-2 and 3

RyKey: G-2 and 3

MSP Weekly Check-Ins, Planning for a Late Summer Start

F Street Communications on TIF Process (ECDC Meeting in August)

Red Earth Preliminary TIF Review/Guidance

Premier Hotel, Determination to not pursue extension

Several Prospects on Lot 2, Ongoing analysis and discussion

## Partnership Activity

JBG Planning LLC has met with the following stakeholders:

- La Crosse Metropolitan Planning Organization, Bipartisan Infrastructure Legislation Funding Discussion, July 6
- Trustpoint Discussion on Renter Equity Investment Opportunities
- Site Tour and Discussion with SEH, July 11
- SEH Meeting on Clean Water Funding with Brea Grace, BIL Funding, July 13
- MSP Weekly Check Ins-Every Tuesday
- Xcel Meeting, Friday July 21
- Charter Communications Meetings, Various
- Communications, RFEI for Lot 2 with Perspective INvestors/Developers

# Project Challenges and Opportunities

## **Analysis of challenges and opportunities narrative**

### **Challenges:**

1. Review with City Engineering/Public Works the implications of infrastructure ownership by the Redevelopment Authority short and long term
2. Obtain the schedule for Xcel Energy Work and coordinate accessibility of gas and electric with developers (In Process)
3. Unclassified excavation (contaminated soil) is always a potential cost challenge. Soil disposal costs \$75/cy at the La Crosse County Landfill.
4. Anticipate the investment in the relocation and costs of the large electrical distribution line along the Black River frontage.
5. Coordinating construction starts in 2023 (MSP) given timing of utility access including Xcel's energized lines.
6. TIF application review and needs relative to city policy
7. Supply Chain, Lead Times

### **Opportunities:**

1. Reviewing the potential for district energy and other forms of energy efficiency and the implications relative to cost, real estate and investor impact to determine if the concept will help the City achieve its affordable housing, climate and other goals. (White paper pending)
2. Continue to market the development opportunity with prospective investors (RFEI distributed to over 30 developers)
3. Costs of parks/recreation improvements should be coordinated with grant application opportunities
4. WEDC's idle sites and community reinvestment grants
5. Inflation Reduction Act Funding and BIL Programs for Clean Water, Transportation (Trails) and Energy Systems
6. La Crosse Community Foundation Social Investment Interests

### **Future/existing potential funding solutions and strategies.** See

Smartsheet Funding Resource. Note: As the project is further evaluated, specific funding sources from this resource will be identified and pursued at the discretion of the RDA. Parks and Recreation improvements are a great candidate for third party funding.

### **Ongoing investor/developer contacts/communications**

Meetings with both currently engaged investors and prospective investors are underway by JBG Planning LLC. Since some of these meetings involved RDA negotiations, communications on these meetings will need to be handled in closed session.

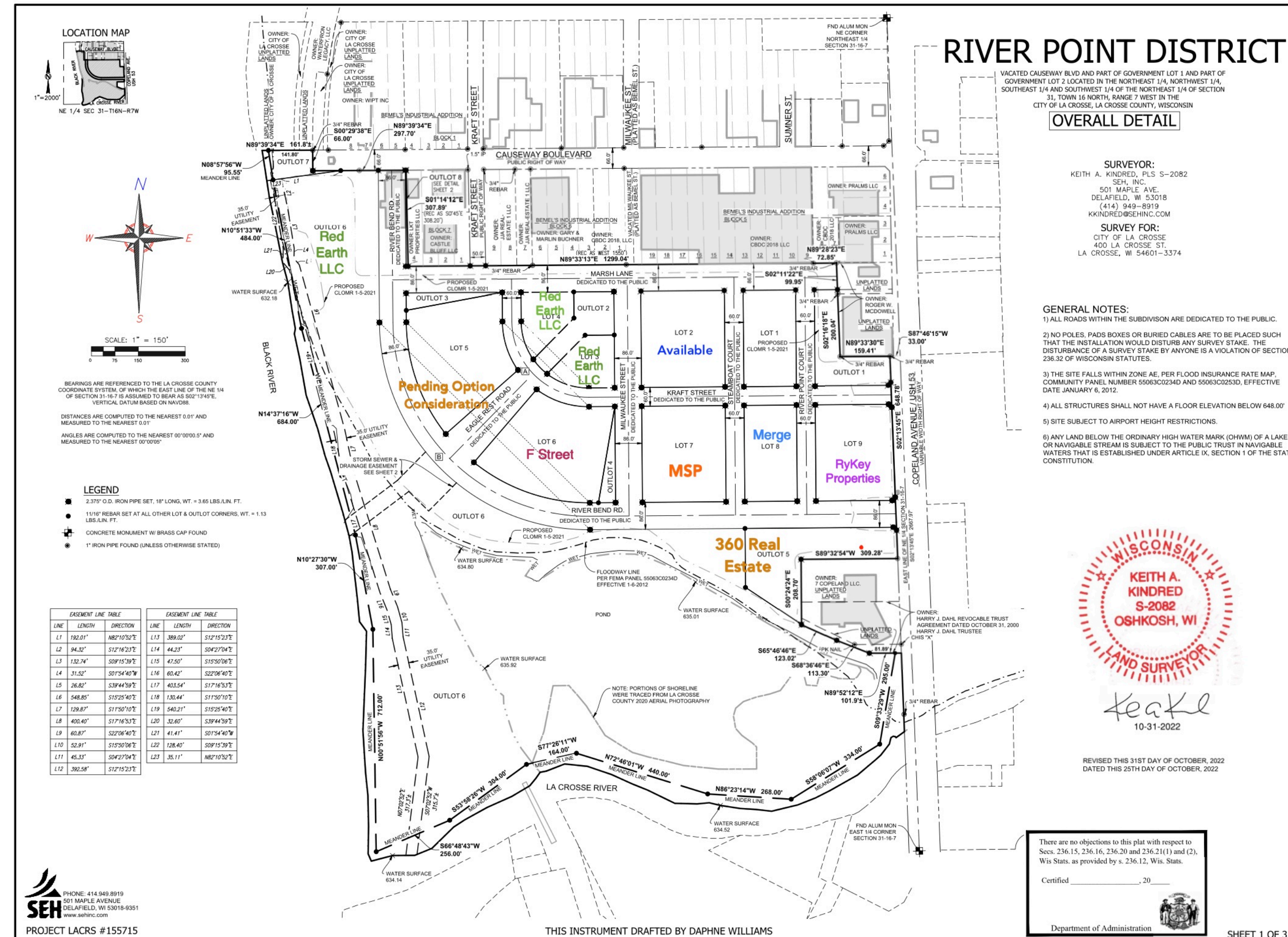
### **Public/media relations and communications updates**

JBG Planning LLC is working with the City's PIO to address media inquiries and update media, which will include an immediate release section in each RDA report.



# Investment Phases Map

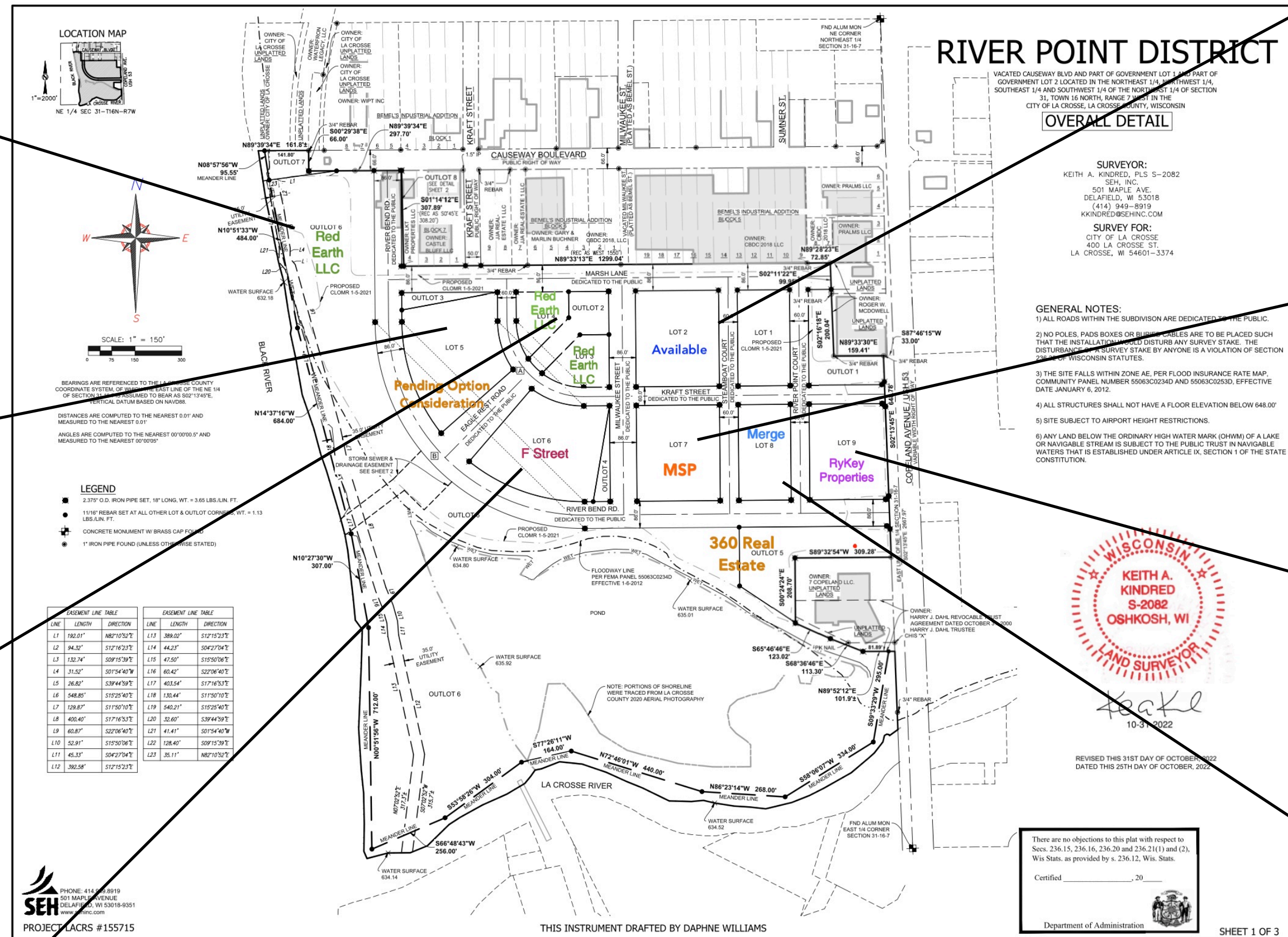
## Anticipated Private Investment Based on Current Option Agreements



Note: Some option Agreements require extensions and/or updating. JBG Planning LLC will be meeting with the developers listed and making Arrangements for extensions where applicable.



# Investment Character Reference-Current Options

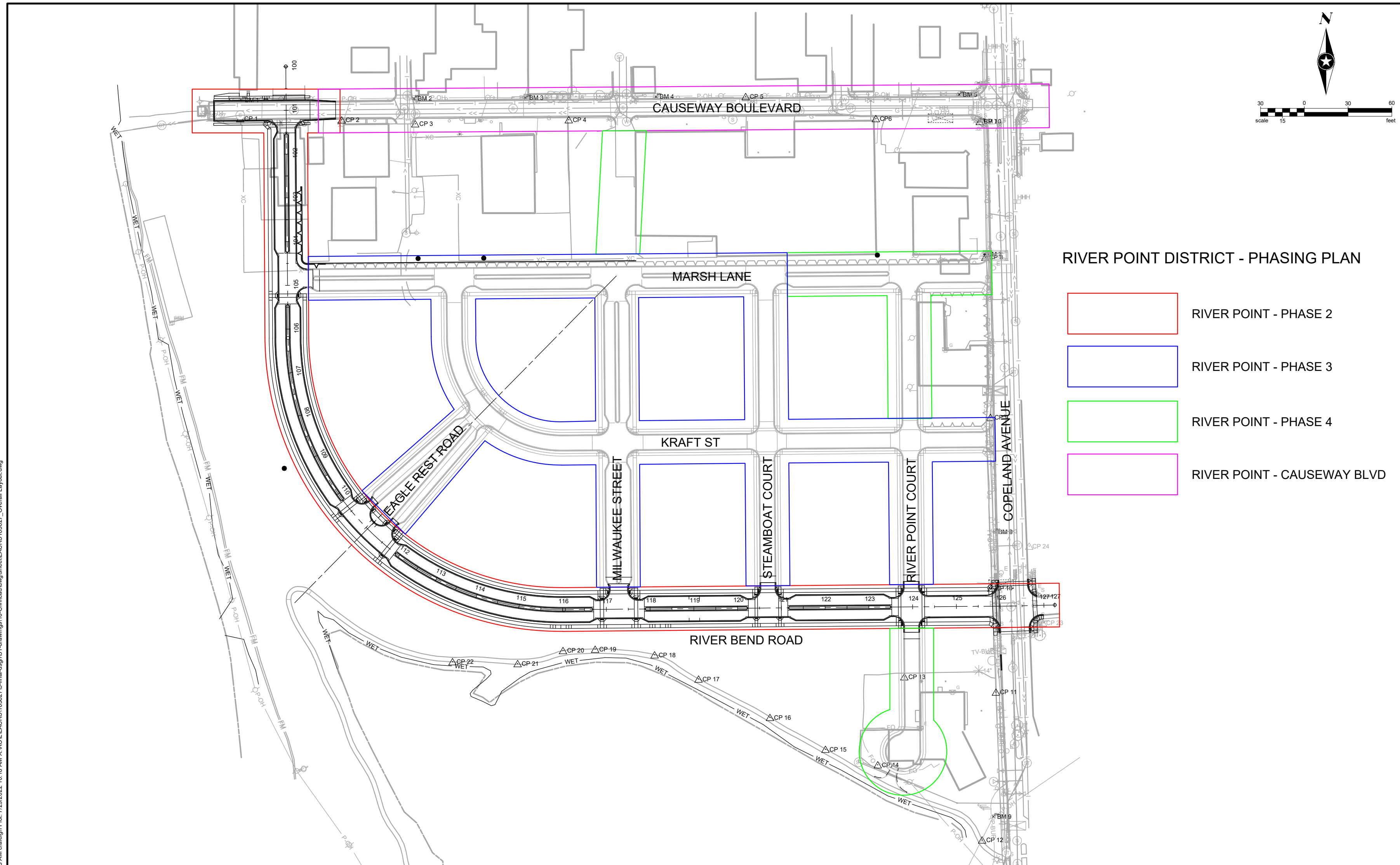


TBD





# Infrastructure Phasing Map



## RIVER POINT DISTRICT - PHASING PLAN

- RIVER POINT - PHASE 2
- RIVER POINT - PHASE 3
- RIVER POINT - PHASE 4
- RIVER POINT - CAUSEWAY BLVD

This map depicts the planned infrastructure phasing as of February, 2023, however, these phases are subject to alteration depending on the action of the Redevelopment Authority of the City of La Crosse which may be precipitated by investment activity, funding opportunities or constraints, the contracting and construction climate, environmental variables, partnerships and general economic conditions.

Phase 1 (2023 Construction Season) is expected to require the entire 2023 construction season to complete.

Save: 7/29/2022 9:03 AM: draught Plot: 7/29/2022 10:18 AM X:\KOL\ACRS\163627\5-final-dgns\1-drawings\10-Civil\cad\dwg\sheet\ACRS163627\_Overall\_Layout.dwg

SEH Project	LACRS163627	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	SFA	1	RELEASED FOR PERMITTING	03.17.2022			
Designed By	CMR	2	RELEASED FOR BIDDING	06.03.2022			
Checked By	DAS	3	RELEASED FOR REBID	07.29.2022			



RIVER POINT DISTRICT  
8 LA CROSSE, WISCONSIN

PROJECT OVERVIEW

C0.02





# Project Metrics

## Social, Environmental, Economic and Cultural Outcomes by Project

JBG Planning LLC has developed a tool to assist the RDA in its decision making process for both public and private investment within the development. This tool provides guidance on quantifying project impacts using social, environmental, economic and cultural metrics.

**See the Smartsheet tool.**

Here are some examples of Metrics outlined by various developers proposing investment in River Point District:

### **1. How does the project relate to social investment in the City**

The Merge River Point District development project meets several social sustainable performance indicators. The project will be a short walking distance of public parks, multiple greenspace areas, opportunities for water recreation, and will provide easy accessibility to the public recreation trail system. Throughout the River Point District bike lanes are included on the master plan which will serve as additional pathways to the above listed destinations. A designated tenant fitness area within the project which is currently a planned amenity. Lastly, the main level commercial space will allow for a multiple to socially beneficial businesses a place to operate.

### **2. How does the project achieve economic investment in the City**

The Merge River Point District development project will increase the number of rentable units available to new and current residents of La Crosse. The project would have a direct positive effect on the jobs to housing ratio. Additionally, the ground floor commercial spaces will add locations for new or relocating businesses. The adding of jobs and housing will only benefit the future economic growth of La Crosse. Lastly, All Merge projects strive to provide high speed internet access to all tenants by partnering with local ISP providers.

### **3. How the project achieve environmental metrics in the City**

All planned construction will meet and exceed minimum energy efficiency standards. Merge partners with 3rd pattern consultants to use Focus On Energy initiatives to ensure the highest level of building efficiencies. These upgrades in building insulation modeling, appliances, and mechanical systems all work cohesively to lower energy consumption and lower tenant utility costs. The development will incorporate mindful planning for stormwater runoff. Additional onsite detention and green spaces help alleviate the burden of added non-permeable surfaces. Adding new housing opportunities closer to residents' employment will allow for a reduction in greenhouse emissions.

### **4. Are there cultural offerings or metrics associated with the project?**

The commercial space would be available to any and all potential businesses. These could include cultural focused companies that could provide additional services to the area.



# For Immediate Release

1. The Redevelopment Authority of the City of La Crosse option agreements with developers which include new conceptals from RyKey development and an impending start of construction by MSP late summer/fall of 2023 with a 10-14 month construction schedule, as well as new conceptals for Lots G-2 and G-3.
2. Infrastructure work is well underway on the site with utilities now in place between Causeway Blvd and the new cutting edge underground stormwater system. See infrastructure progress summary on page 3.
3. The Parks Department data basis for future planning and a report for the parks and recreation portion of River Point District.
4. The City is exploring cutting edge programs involving renter equity investment tools, which help renters build equity/savings



# Appendix

## PDD General Land Use Map-Newly Revised

### 2.0 SPECIFIC DEVELOPMENT PLAN

#### 2.2 Land Use Diagram

### RIVER POINT DISTRICT

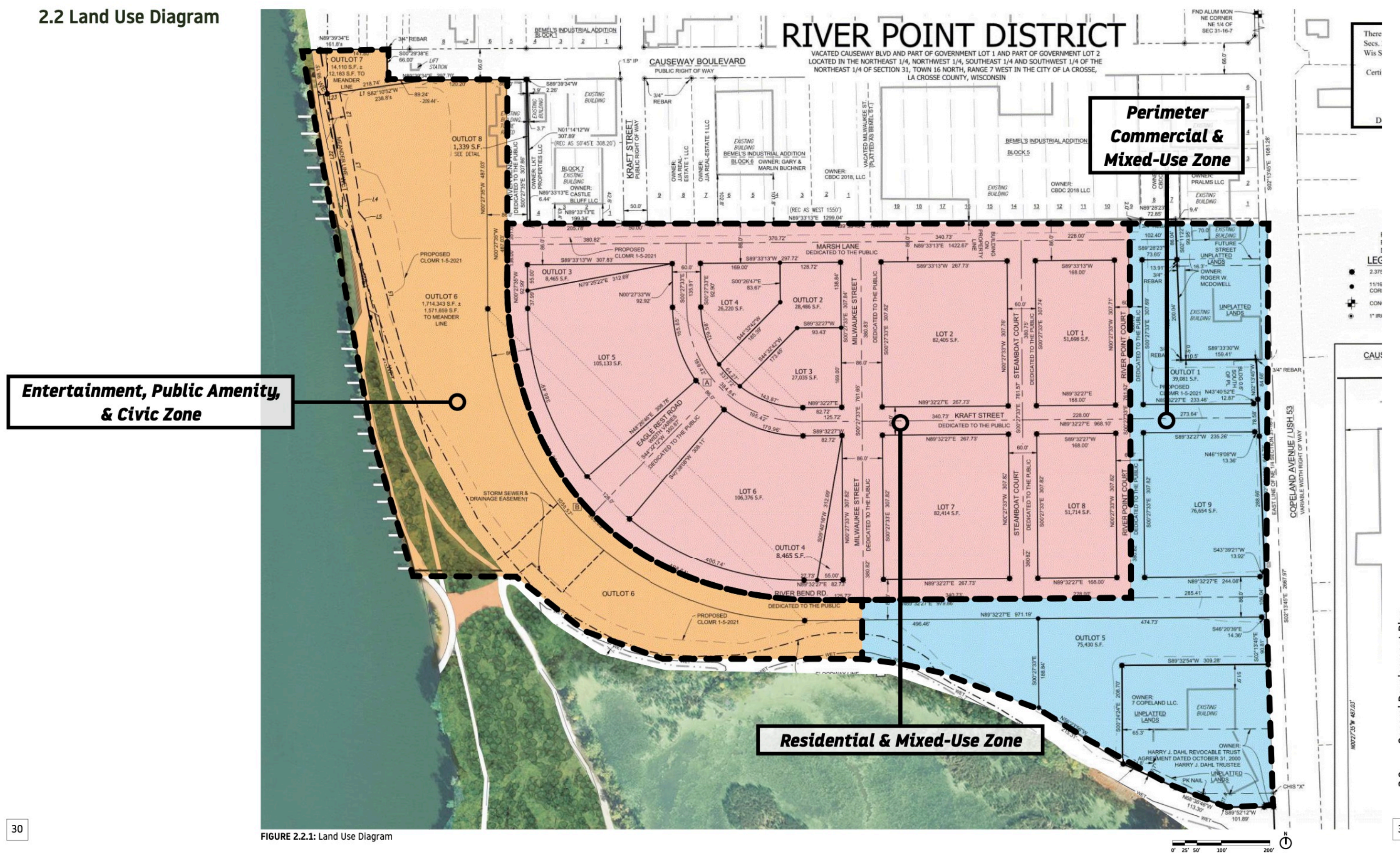


FIGURE 2.2.1: Land Use Diagram

2.0 General Development Plan



# Appendix

## PDD General Land Use Map-Newly Revised

### 2.0 SPECIFIC DEVELOPMENT PLAN

### RIVER POINT DISTRICT

#### 2.3 Development Summary

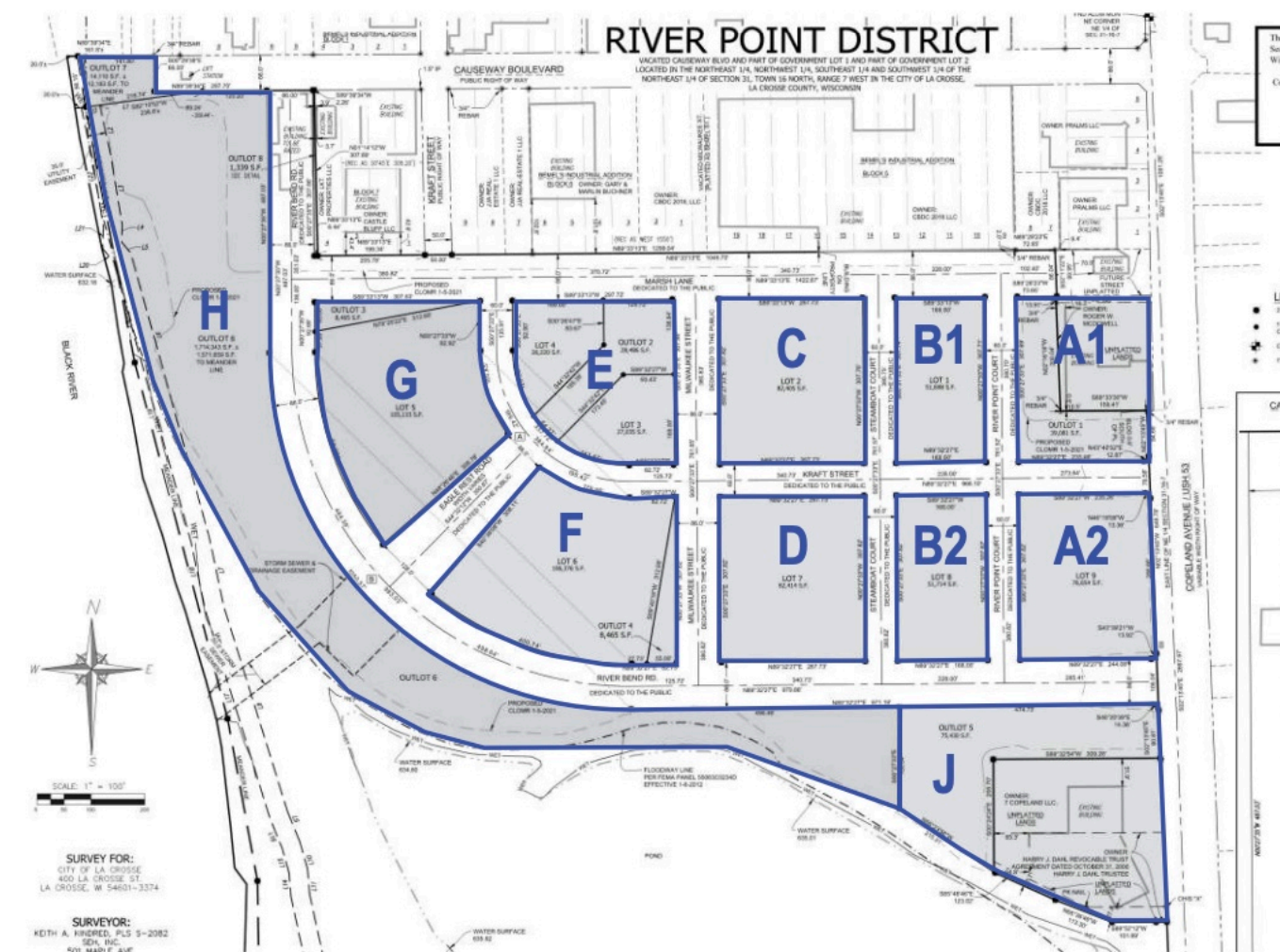
The development summary below outlines the approximate lot sizes, possible parking estimates, and potential building uses based on the conceptual masterplan illustrated in this PDD document. The below table in no way limits the use or size of individual buildings within the masterplan.

TABLE 2.3.1: Development Summary

Lot or Outlot	Approximate Square Footage	Approximate Acreage	Description
<b>ZONE A1 - Perimeter Commercial &amp; Mixed-Use Zone</b>			
<b>OUTLOT 1</b>	39,081	0.90	Zone A1 allows for commercial/retail opportunities. Mixed use buildings with ground floor commercial/retail activation with residential floors above is favorable. <b>Building height in Zone A1 shall be a minimum of 2 stories.</b>
<b>ZONE A2 - Perimeter Commercial &amp; Mixed-Use Zone</b>			
<b>LOT 9</b>	76,654	1.76	Zone A2 allows for commercial/retail opportunities. Mixed use buildings with ground floor commercial/retail activation with residential floors above is favorable. <b>Building height in Zone A2 shall be a minimum of 2 stories.</b>
<b>ZONE B1 - Residential &amp; Mixed Use Zone</b>			
<b>LOT 1</b>	51,698	1.19	
<b>ZONE B2 - Residential &amp; Mixed Use Zone</b>			
<b>LOT 8</b>	51,714	1.19	
<b>ZONE C - Residential &amp; Mixed Use Zone</b>			
<b>LOT 2</b>	82,405	1.89	
<b>ZONE D - Residential &amp; Mixed Use Zone</b>			
<b>LOT 7</b>	82,414	1.89	
<b>ZONE E - Residential &amp; Mixed Use Zone</b>			
<b>OUTLOT 2</b>	28,486	0.65	
<b>LOT 3</b>	27,035	0.62	
<b>LOT 4</b>	26,220	0.60	
<b>ZONE F - Residential &amp; Mixed Use Zone</b>			
<b>LOT 6</b>	106,376	2.44	
<b>OUTLOT 4</b>	8,465	0.19	
<b>ZONE G - Residential &amp; Mixed Use Zone</b>			
<b>LOT 5</b>	105,133	2.41	
<b>OUTLOT 3</b>	8,465	0.19	
<b>ZONE H - Entertainment, Public Amenity, &amp; Civic Zone</b>			
<b>OUTLOT 6</b>	171,434	39.36	Entertainment, Public Amenity, & Civic. Mixed Use opportunities. Multi family residential above retail.
<b>OUTLOT 7</b>	14,110	0.32	
<b>ZONE J - Perimeter Commercial &amp; Mixed-Use Zone</b>			
<b>OUTLOT 5</b>	75,430	1.73	Zone J allows for commercial/retail opportunities. Mixed use buildings with ground floor commercial/retail activation with residential floors above is favorable. <b>Building height in Zone J shall be a minimum of 2 stories.</b>
<b>TOTAL</b>		57.35	

\*Acreages shown do not include public roadways or public green spaces.

FIGURE 2.3.2: Site plan with labeled zones corresponding to the development summary.



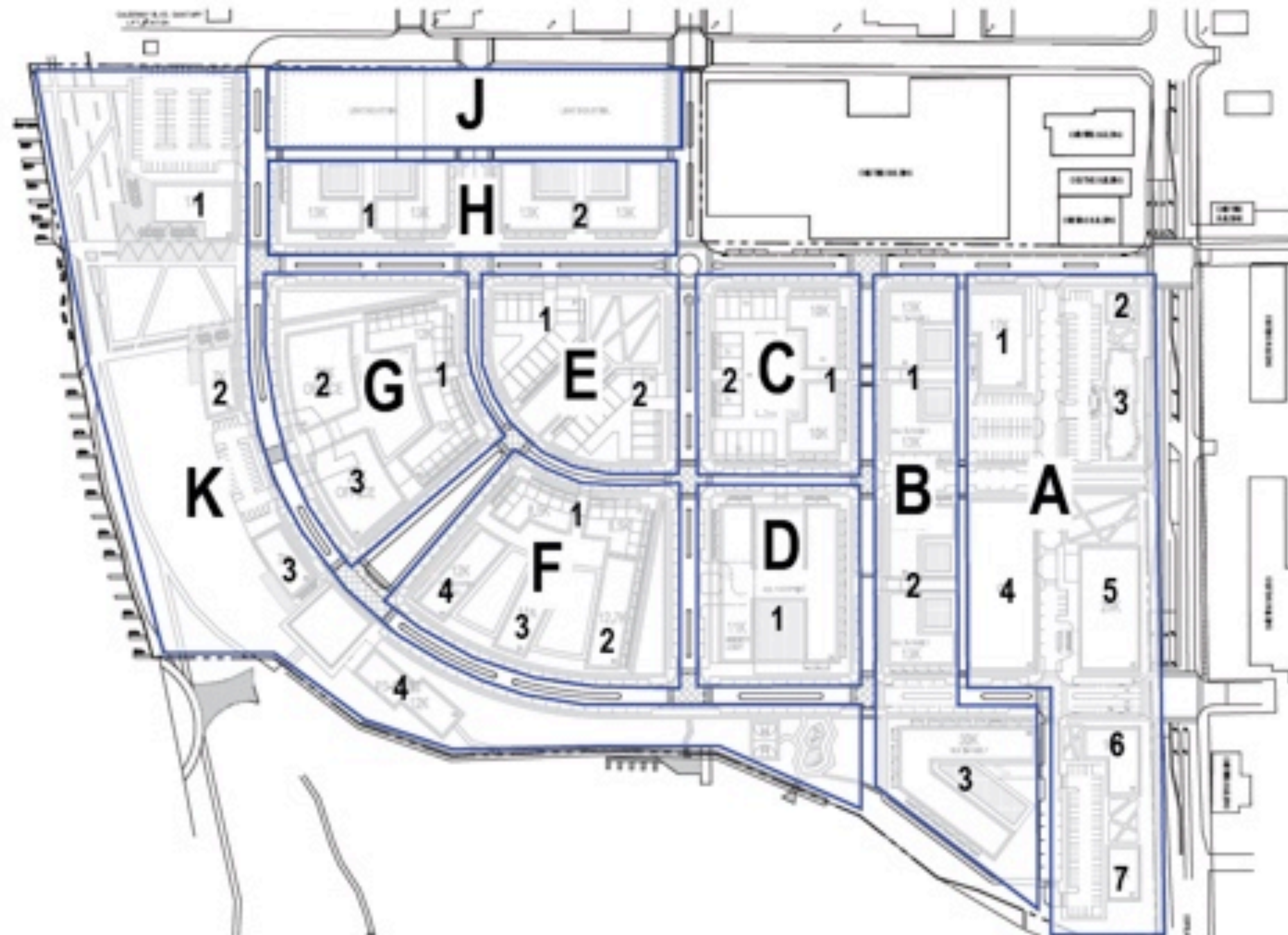
General Development Plan  
2.0



# Appendix

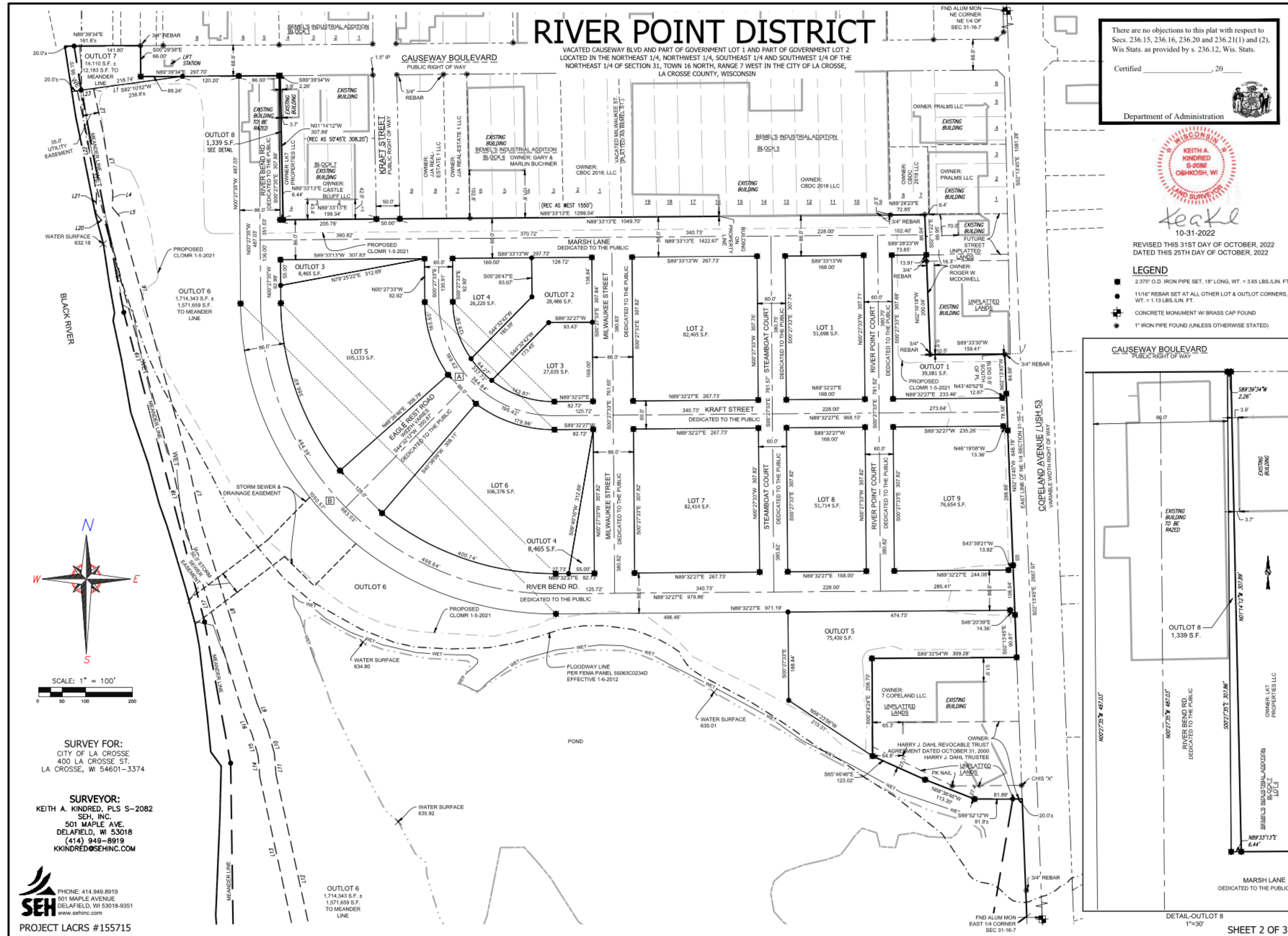
## PDD Master Plan-Reference Parcel Map

FIGURE 2.3.1: Site plan with labeled zones corresponding to the development summary.





# Appendix-Plat Lot Size Map



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.  
 Certified \_\_\_\_\_, 20\_\_\_\_  
 Department of Administration

KEITH A. KINDRED  
 S-2082  
 OSHKOSH, WI  
 PRO SURVEYOR  
 Keagle  
 10-31-2022

REVISED THIS 31ST DAY OF OCTOBER, 2022  
 DATED THIS 25TH DAY OF OCTOBER, 2022





# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 23-0803

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**Agenda Date:** 7/27/2023

**Version:** 1

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** General Item

**Agenda Number:** 4

<b>BALANCE SHEET</b>					
	1	2	3	4	5
	Type of Statement: Co. Prep's				
	Date of Statement:				
	1/31/2023	2/28/2023	3/31/2023	4/30/2023	5/31/2023
<b>ASSETS</b>					
Cash - State Bank Checking	\$87,930	\$6,500	\$10,800	\$42,678	\$1,000
Cash - State Bank MM (Operating, UR)	\$172,428	\$253,955	\$235,472	\$238,393	\$234,234
Cash - SB MM Restricted Planning Option Agreement Deposits	\$45,209	\$45,227	\$45,254	\$42,743	\$38,923
Cash - SB MM Restricted Bond 2021 R-1	\$861,326	\$806,206	\$806,655	\$807,549	\$808,118
Cash - SB MM Restricted Bond 2022 R-1	\$1,540,331	\$1,520,784	\$675,050	\$636,986	(\$785,970)
Investments - Restricted Bond 2022 6/13/23 Maturity	\$853,000	\$853,000	\$853,000	\$853,000	\$853,000
Investments - Restricted Bond 2022 7/11/23 Maturity	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000
Investments - Restricted Bond 2022 8/10/23 Maturity	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000
<b>Total Current Assets</b>	<b>\$4,560,224</b>	<b>\$4,485,671</b>	<b>\$3,626,230</b>	<b>\$3,621,349</b>	<b>\$2,149,304</b>
Land - Estimated Value	\$10,000,000	\$10,000,000	\$10,000,000	\$10,000,000	\$10,000,000
Note Receivable - PSB (12/06/2023)	\$25,000	\$25,000	\$25,000	\$25,000	\$25,000
Note Receivable - Fenigor (12/06/2023)	\$25,000	\$25,000	\$25,000	\$25,000	\$25,000
Note Receivable - Gorman (02/28/2034)	\$300,000	\$300,000	\$300,000	\$300,000	\$300,000
<b>Total Assets</b>	<b>\$14,910,224</b>	<b>\$14,835,671</b>	<b>\$13,976,230</b>	<b>\$13,971,349</b>	<b>\$12,499,304</b>
<b>LIABILITIES</b>					
Contract Commitment - JBG Project Mgr	\$0	\$111,600	\$102,300	\$93,000	\$83,700
Contract Commitment - Gerke Phase I	\$12,950	\$12,950	\$12,950	\$12,950	\$12,950
Contract Commitment - SEH Phase II	\$432,078	\$432,078	\$432,078	\$393,335	\$296,010
Contract Commitment - SEH Phase III	\$0	\$0	\$0	\$0	\$698,300
Contract Commitment - Chippewa Concrete Phase II	\$10,443,640	\$10,443,640	\$9,597,565	\$9,597,565	\$8,271,459
<b>Total Current Liabilities</b>	<b>\$10,888,668</b>	<b>\$11,000,268</b>	<b>\$10,144,893</b>	<b>\$10,096,850</b>	<b>\$9,362,419</b>
<b>Total Liabilities</b>	<b>\$10,888,668</b>	<b>\$11,000,268</b>	<b>\$10,144,893</b>	<b>\$10,096,850</b>	<b>\$9,362,419</b>
Net investment in capital assets	\$10,000,000	\$10,000,000	\$10,000,000	\$10,000,000	\$10,000,000
Unrestricted Funds	\$172,428	\$253,955	\$235,472	\$238,393	\$234,234
Restricted Funds	\$4,299,866	\$4,225,216	\$3,379,958	\$3,340,278	\$1,914,071
Unassigned Funds	(\$10,450,739)	(\$10,643,769)	(\$9,784,093)	(\$9,704,172)	(\$9,011,419)
<b>Net Position</b>	<b>\$4,021,555</b>	<b>\$3,835,403</b>	<b>\$3,831,337</b>	<b>\$3,874,498</b>	<b>\$3,136,885</b>
<b>Total Liabilities &amp; Net Position</b>	<b>\$14,910,224</b>	<b>\$14,835,671</b>	<b>\$13,976,230</b>	<b>\$13,971,349</b>	<b>\$12,499,304</b>





# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 23-0815

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**Agenda Date:** 8/3/2023

**Version:** 1

**Status:** New Business

**In Control:** Finance & Personnel Committee

**File Type:** Resolution

**Agenda Number:** 5

Resolution transferring parcels owned by the Redevelopment Authority to the City of La Crosse.

RESOLUTION

WHEREAS, in 1962 the City of La Crosse established the Redevelopment Authority of La Crosse (RDA) for the purpose of carrying out blight elimination and urban renewal projects; and

WHEREAS, in 1990 Amendment IV to the Redevelopment Plan Project North and West to City Hall indicates that the reuse of these parcels is to be retained in City; and

WHEREAS, this project was completed in 2006 and to date parcels 17-20142-70, 17-20141-100, 17-20141-120, 17-20145-90, 17-20256-40, 17-20256-50, 17-20256-60, and 17-20259-100, 17-20163-135 have remained in the ownership of the RDA; and

WHEREAS, the RDA supports returning these parcels to the ownership of the City.

NOW, THEREFORE BE IT RESOLVED by the Common Council of the City of La Crosse, the City shall accept the ownership of these parcels from the RDA with the RDA covering the costs associated with the transfer.

BE IT FURTHER RESOLVED the Mayor and Clerk are authorized to sign documents related to the transfer and City Staff is authorized to take any other further action to effectuate this resolution.



1,638,675.225,665,848.023 Feet





RESOLUTION NO. 267      RESOLUTION OF THE REDEVELOPMENT AUTHORITY  
OF THE CITY OF LA CROSSE APPROVING PLAN  
AMENDMENT VI TO THE REDEVELOPMENT PLAN  
FOR PROJECT NORTH AND WEST OF CITY HALL

WHEREAS, the Redevelopment Authority of the City of La Crosse heretofore adopted a Redevelopment Plan for Project North and West of City Hall dated October, 1978, which Plan was adopted by the said Redevelopment Authority of the City of La Crosse on November 30, 1978, and by the Common Council of the City of La Crosse on December 27, 1978, which Plan was recorded in the Office of the Register of Deeds in and for La Crosse County, Wisconsin in Volume 670 of Records, Pages 454 - 469; and which was amended by Plan Amendment No. 1 which was approved by the Redevelopment Authority of the City of La Crosse on July 26, 1984 and approved by the Common Council of the City of La Crosse on August 9, 1984 and recorded in Volume 722 of Records, Pages 37 - 50; and which was amended by Modification or Plan Amendment II which was approved by the Redevelopment Authority of the City of La Crosse on August 22, 1988, and approved by the Common Council of the City of La Crosse on September 8, 1988, and recorded in Volume 868 of Records, Pages 605 - 613; and which was amended by Plan Amendment III to Redevelopment Plan, Project North and West of City Hall which was approved by the Redevelopment Authority of the City of La Crosse on June 11, 1990, and by the Common Council on June 14, 1990, and recorded in Volume 883 of Records, Pages 412 - 416; and which was amended by Plan Amendment IV to Redevelopment Plan, Project North and West of City Hall which was approved by the Redevelopment Authority of the City of La Crosse on January 7, 1991, and by the Common Council on February 14, 1991, and recorded in Volume 886 of Records, Pages 932 - 946; and which was amended by Plan Amendment V to Redevelopment Plan, Project North and West of City Hall which was approved by the Redevelopment Authority of the City of La Crosse on February 23, 1994, and by the Common Council on March 10, 1994, and recorded in Volume 1039 of Records, Pages 877 - 891; and

WHEREAS, the Redevelopment Authority hereby determines that the modification of the Plan will not substantially affect the original objectives of said Plan and will not produce condition leading to a reoccurrence of slums or blight within the project area; and

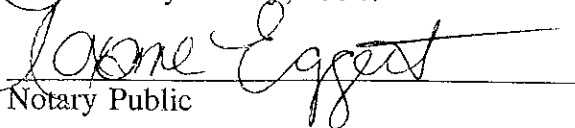
WHEREAS, this Amendment of said Plan is necessary and desirable to further implement the Project North and West of City Hall.

NOW, THEREFORE, BE IT RESOLVED by the Redevelopment Authority of the City of La Crosse that Plan Amendment VI to the Redevelopment Plan for the Project North and West of City Hall, a copy of which is attached hereto and made a part hereof as though fully set forth herein, being in conformity with the General Plan of the City of La Crosse, is in all respects approved and the Executive Director of the Redevelopment Authority is hereby directed to file a certified copy of said Plan Amendment VI with the minutes of this meeting and to transmit a certified copy of this resolution to the Common Council of the City of La Crosse for its approval pursuant to the provisions of Section 66.431, Wisconsin Statutes, and thereafter to record said Amendment in the office of the Register of Deeds in and for La Crosse County, Wisconsin, and take such further steps as may be required by the Laws of the United States and the State of Wisconsin.

This is to certify that the foregoing is a true and accurate copy of a Resolution adopted by the Redevelopment Authority of the City of La Crosse at a Regular Meeting held on the 28th day of June, 1994.

  
Lawrence J. Kirch, Executive Director

SUBSCRIBED AND SWORN TO BEFORE ME  
this 26th day of July, 1994.

  
Notary Public

My Commission expires 5/10/98.

K/FILES/PLAN VI-TXT

**PLAN AMENDMENT VI TO  
REDEVELOPMENT PLAN  
PROJECT NORTH AND WEST OF CITY HALL  
JULY 14, 1994**

Adopted by the Redevelopment Authority of the City of La Crosse on June 28, 1994.

Adopted by the Common Council of the City of La Crosse by at least a two-thirds vote on July 14, 1994.

**PLAN AMENDMENT VI TO  
REDEVELOPMENT PLAN  
PROJECT NORTH AND WEST OF CITY HALL  
JULY 14, 1994**

**TABLE OF CONTENTS**

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B. Redevelopment Plan Objectives	1
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D. Land Acquisition and Demolition	2
E. Relocation	4
F. Demolition	4
G. Reuse Parcels, Proposed Zoning and Land Use	4
H. Streets, Alleys, Public Utilities and Private Utilities	6

Exhibit A: Boundary Description

Maps:

Map I, "Existing Land Use"

Map II, "Existing Conditions"

Map III, "Existing Zoning"

Map IV, "Proposed Land Use"

**A. Boundaries of Redevelopment Area**

Boundaries of the Redevelopment Project Area are shown on Map I, "Existing Land Use", and are described in Exhibit A attached hereto and incorporated herein.

**B. Redevelopment Plan Objectives**

Redevelopment Activities for the project will be undertaken in general conformity with the General Plan for the La Crosse Area. The Plan for Redevelopment will be designed to meet the following goals and objectives:

1. To eliminate unsanitary, substandard and structurally deficient residential, commercial and other deteriorated and obsolete structures.
2. To eliminate inappropriate land use.
3. To improve the environment and the aesthetics of the Project Area.
4. To preserve and restore a historically significant structure.
5. To strengthen and diversify the economic base of the City and to provide space for the construction of high density residential development.
6. To improve the overall traffic circulation; specifically, the improvement of the La Crosse Street and Third and Fourth Street intersection, the widening of Third Street and La Crosse Street, the improvement of the Seventh Street and La Crosse Street intersection, and the reservation of land for a possible future major highway facility.
7. To provide a sheltered bus stop to serve the area.
8. To provide public utilities and other public facilities which are adequate to serve the area.
9. To provide access to the network of recreation trails adjacent to the La Crosse River for pedestrians and bicyclists.



C. Existing Land Uses, Zoning and Condition of Real Property

The existing use of land in the Project Area is shown on Map I, "Existing Land Use", and the condition of the developed property is shown on Map II, "Existing Conditions". The existing zoning in the Project Area is shown on Map III, "Existing Zoning". As can be seen on Map I, the majority of the land located in the Project Area is vacant and that all of the developed property is used either for residential or commercial purposes. Map II shows that all residential structures are either deteriorating or are substandard, and that only the only commercially developed property is in standard condition.

The "Existing Zoning" map indicates that all properties are zoned Commercial District.

D. Land Acquisition and Demolition

Prior to 1990, the Redevelopment Authority had purchased nine ownership parcels in the Project Area, including 11.5 + acres, for approximately \$1,412,634. Approximately .4 acres of this land has been sold and developed for commercial purposes. The current equalized value of this property is \$1,723,819. All of the remaining previously purchased property presently is vacant and because it all was owned by the Redevelopment Authority in January, 1994, it is tax exempt. Therefore, an equalized value for property tax purposes has not been established. However, after the approximately 6 acres of this land which is considered developable are sold and developed, it is estimated that the equalized value of such property will be at least \$3,000,000.

The Redevelopment Authority has acquired or obtained purchase options on all of the remaining privately owned real estate parcels located in the Project Area in order to achieve its Redevelopment Plan Objectives. These parcels, together with pertinent information as of 1990, are listed on the following page.

Parcel Number	Ownership	Address	Approximate Land Area	1990 Assessed Value
1	Ronald Hauser & James Senty	605 La Crosse St.	3,983 sq. ft.	\$23,600.00
2	Ronald Hauser & James Senty	623 7th St. N.	27,002 sq. ft.	\$25,300.00
3	Ronald Hauser & James Senty	607 7th St. N.	10,373 sq. ft.	\$15,600.00
4	Ronald Hauser & James Senty	609 7th St. N.	6,473 sq. ft.	\$10,600.00
5	Ronald Hauser & James Senty	619 La Crosse St.	2,890 sq. ft.	\$21,700.00
6	Ronald Hauser & James Senty	623 La Crosse St.	2,817 sq. ft.	\$21,500.00
7	Ronald Hauser & James Senty	629 La Crosse St.	2,716 sq. ft.	\$24,400.00
8	Pearl Harding Morley	613 La Crosse St.	1,950 sq. ft.	\$16,300.00
9	Oscar Skogen	602 6th St. N.	2,890 sq. ft.	\$19,000.00
10	Oscar Skogen	608 6th St. N.	8,423 sq. ft.	\$39,300.00
11	Ronald Hauser & James Senty	700 7th St. N.	21,000 sq. ft.	\$1,700.00
			90,517 sq. ft.	\$219,000.00
			(2.1 + acres)	

It is estimated that the portion of such land to be sold and developed for its planned use would have an equalized value for real estate tax purposes of at least \$1,000,000. The lands proposed for sale are depicted on Map IV and include Parcel 7 located to the south of the proposed extension of Seventh Street which is not zoned wetlands and a portion of the parcel located at 608 6th Street North on which the historically significant two story masonry residential structure is located. However, this historically significant property and the adjacent residential structure will not come under the full control of the Redevelopment Authority until its present owner occupant no longer wishes to reside on such premises.

Prior to the acquisition of the parcels listed above, an archaeological study of the Redevelopment Area was conducted which is available for public inspection at the Offices of the Redevelopment Authority. No significant archaeological discoveries were made during the course of the study.

**E. Relocation**

The Redevelopment Authority has relocated all businesses it has acquired within the Project Area in compliance with all applicable State and Federal Relocation Regulations and has complied with all State and Federal Relocation Regulations when relocating the families and/or individuals which have been relocated from the Project Area. Because of the adequate supply of comparable standard housing which is on the market in the City of La Crosse, no significant difficulties were encountered in relocating renter and owner occupied households within the Project Area.

It is proposed that the owner/occupants who reside at the properties located at 608 and 608 1/2 North 6th Street in the Project Area not be required to relocate from present living quarters until the Redevelopment Authority acquires said property.

**F. Demolition**

All structures which were located on lands which have been acquired by the Redevelopment Authority have been demolished.

After the two remaining residential properties referenced above are acquired all of the structures located on them will be razed, except for the historically significant two story masonry structure located at 608 6th Street North.

**G. Reuse Parcels, Proposed Zoning and Land Use**

The location and proposed land use of the proposed reuse parcels located within the Project Area are shown on Map IV, "Proposed Land Use". These reuse parcels and their proposed land use and zoning, when applicable, are described as follows:

Reuse Parcel 1 - This parcel has already been sold for private reuse and is presently occupied by a Burger King Restaurant. This property is within the Commercial Zoning District.

Reuse Parcel 2 - This parcel which contains approximately 0.8 acres of land is located on the northeast corner of the intersection of La Crosse and Third Streets. It has been sold to a private developer who will use it for commercial art gallery/museum and professional/commercial office purposes. This parcel is zoned in the Local Business District, and is proposed for rezoning to the Commercial Zoning District.

Reuse Parcel 3 - This parcel contains approximately 1.2 acres and has been sold to a private developer(s) for the development of uses allowed in the Commercial Zoning District and approved by the Redevelopment Authority except for that portion of this parcel which is required for the extension of Seventh Street as shown on Map IV. This parcel will be zoned in the Commercial Zoning District.

Reuse Parcel 4 - This parcel contains approximately 1.42 acres and is presently used for commercial/office development. It is proposed that this parcel remain zoned in the Commercial Zoning District. This entire parcel has been sold to a private developer for commercial/office development in accordance with the City's Zoning Regulations and other standards which were set forth by the Redevelopment Authority and other applicable local regulations.

Reuse Parcel 5 - This parcel contains approximately .78 acres with approximately twenty-five thousand square feet of developable land area and is proposed for commercial use under the City's Commercial Zoning District. The parcel is located at the terminus of the extension of relocated 7th Street. A portion of the property located below the Ordinary High Water Line will be zoned Regional Flood Fringe Overlay as appropriate.

Reuse Parcel 6 - This parcel is located below the Ordinary High Water Line. This parcel which is located north of Grove Street and east of relocated Seventh Street contains approximately 2.0 acres and is vacant. It is proposed that this parcel be retained in public ownership and be zoned in the Conservancy, Wetland and Regional Flood Fringe Overlay Zoning Districts as appropriate. It is proposed that it be used for passive recreation purposes.

Reuse Parcel 7 - This parcel is located to the south of relocated 7th Street and contains approximately 1.65 acres and is proposed for commercial uses.

Reuse Parcel 8 - This parcel has been acquired by the City of La Crosse for the extension of relocated 7th Street and this parcel will be considered as a northerly and westerly extension of Seventh Street.

Reuse Parcel 9 - This parcel which is occupied by a historically significant two story masonry residential structure will be sold to a party who will be required to restore the historically significant building and use it for any use allowed in the Commercial Zoning District and approved by the Redevelopment Authority. This parcel will be rezoned to the Commercial Zoning District from the Light Industrial District.

Reuse Parcel 10 - It is proposed that the City retain ownership of this land for passive recreational activities. The Redevelopment Authority has conveyed to the City of La Crosse an easement for grading and construction as part of the Copeland Avenue Bridge Project. It is recommended that this parcel be sold to the City of La Crosse and be zoned in the Conservancy, Floodway and Regional Flood Fringe Overlay Zoning Districts. A portion of this land is proposed to be used for a recreational trail to connect to the hiking trail which ends at the north line of Seventh Street extended.

#### H. Streets, Alleys, Public Utilities and Private Utilities

A description of activities relative to streets, alleys, public utilities and private utilities is presented below.

##### **Streets and Alleys**

Sixth Street - This plan proposes that Sixth Street be vacated northerly of La Crosse Street and that the ownership of the vacated right-of-way reverts to the owner of adjacent property as provided for in State Statutes. The vacation of this portion of Sixth Street has been completed as part of the implementation of this Redevelopment Plan.

Seventh Street Extended - The proposed extension of Seventh Street north of La Crosse Street has been dedicated for street purposes as specified in Section G above. The street will be graded, concrete curb and gutter will be installed, and a roadway approximately thirty-six feet in width composed of hot mix asphalt will be constructed. Other improvements will include stormsewer, sidewalks, lighting, and street trees.

La Crosse Street - Seventh Street Intersection - It is proposed that the La Crosse Street - Seventh Street Intersection be signalized to provide adequate and safe ingress and egress to and from the Project Area.

La Crosse Street Between Sixth and Seventh Streets - It is proposed that the roadway on the north side of La Crosse Street be widened by approximately twelve feet between Seventh Street and Rose Street.

Alley Between Sixth and Seventh Streets Extending Northerly from La Crosse Street - This alley has been vacated and the vacated right-of-way has been added to reuse Parcel 10.

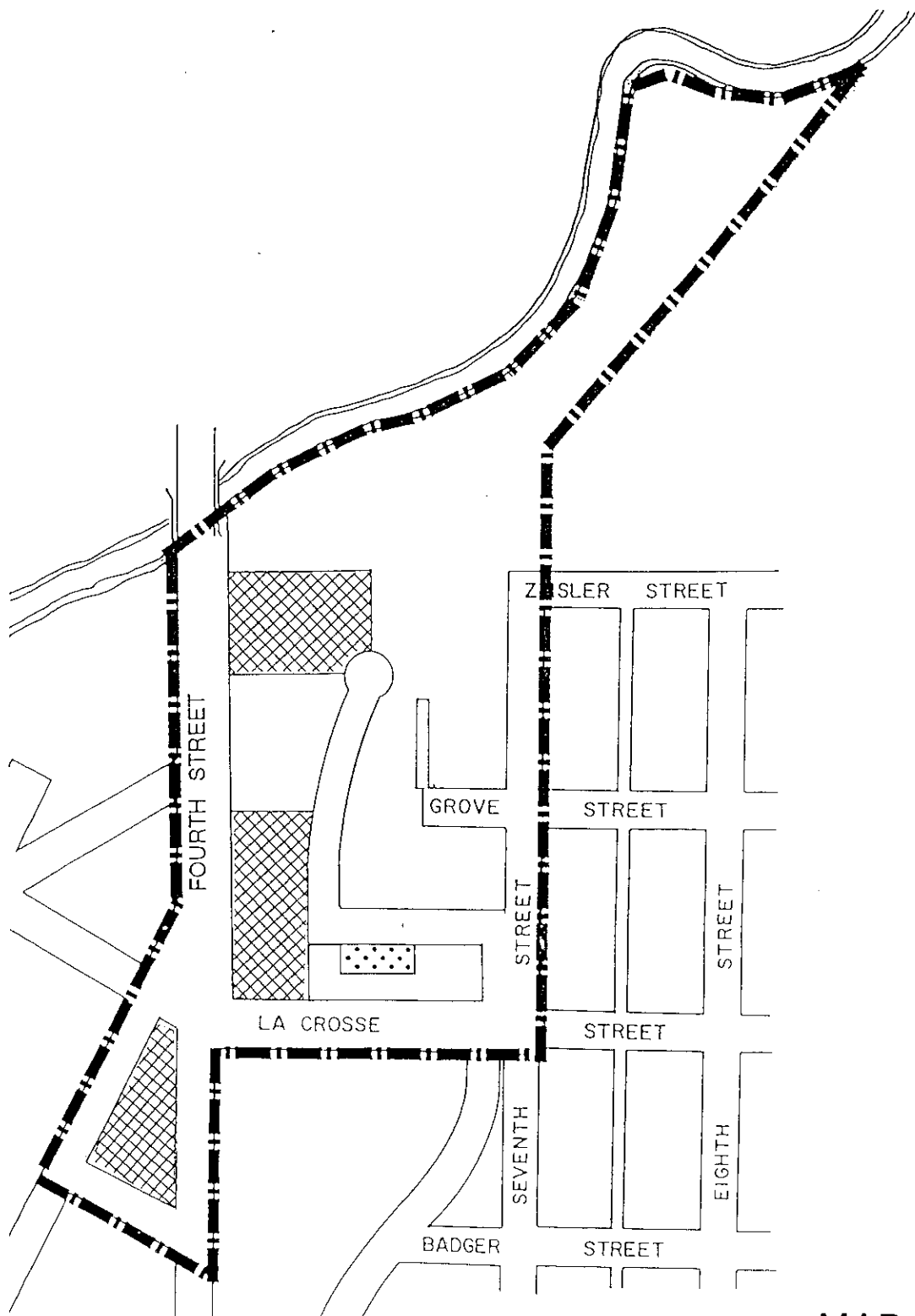
### **Public Utilities**

It is proposed that water, sanitary sewer and storm sewer mains be installed in the Project Area to meet the needs of the new developments which will occur. The location, size and length of these mains will be determined by the Redevelopment Authority and City Engineer after the exact nature and location of such developments is known.


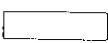
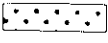

### **Private Utilities**

Private utilities including gas, electric, telephone and cable television will be constructed as necessary. As the Project Area is located within the Underground Utility District, all utilities must be installed underground.

MAP I

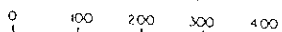


MAP I  
EXISTING LAND USE

-  PROJECT BOUNDARY
-  VACANT
-  RESIDENTIAL
-  COMMERCIAL

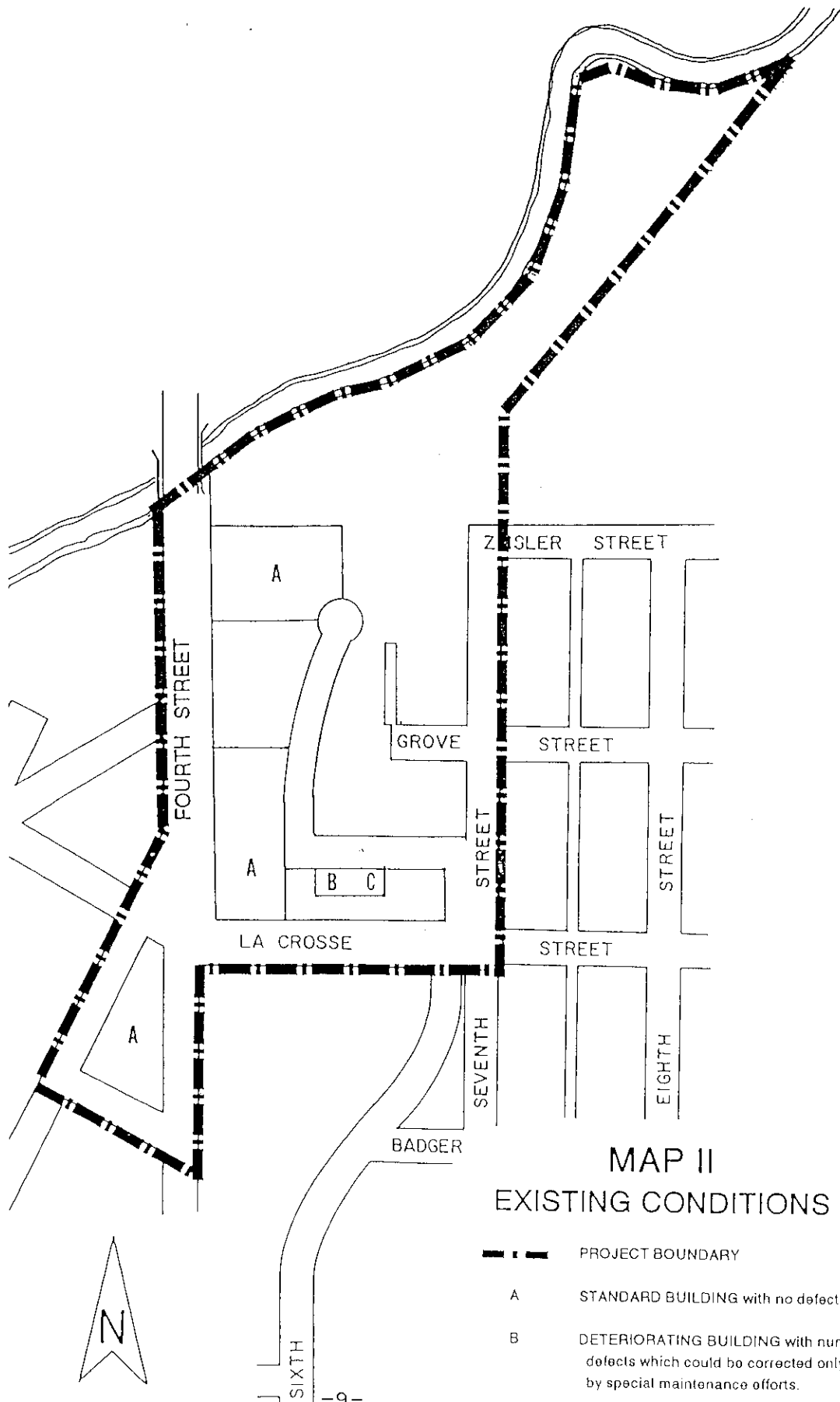


SCALE IN FEET



SIXTH -8-

MAP II

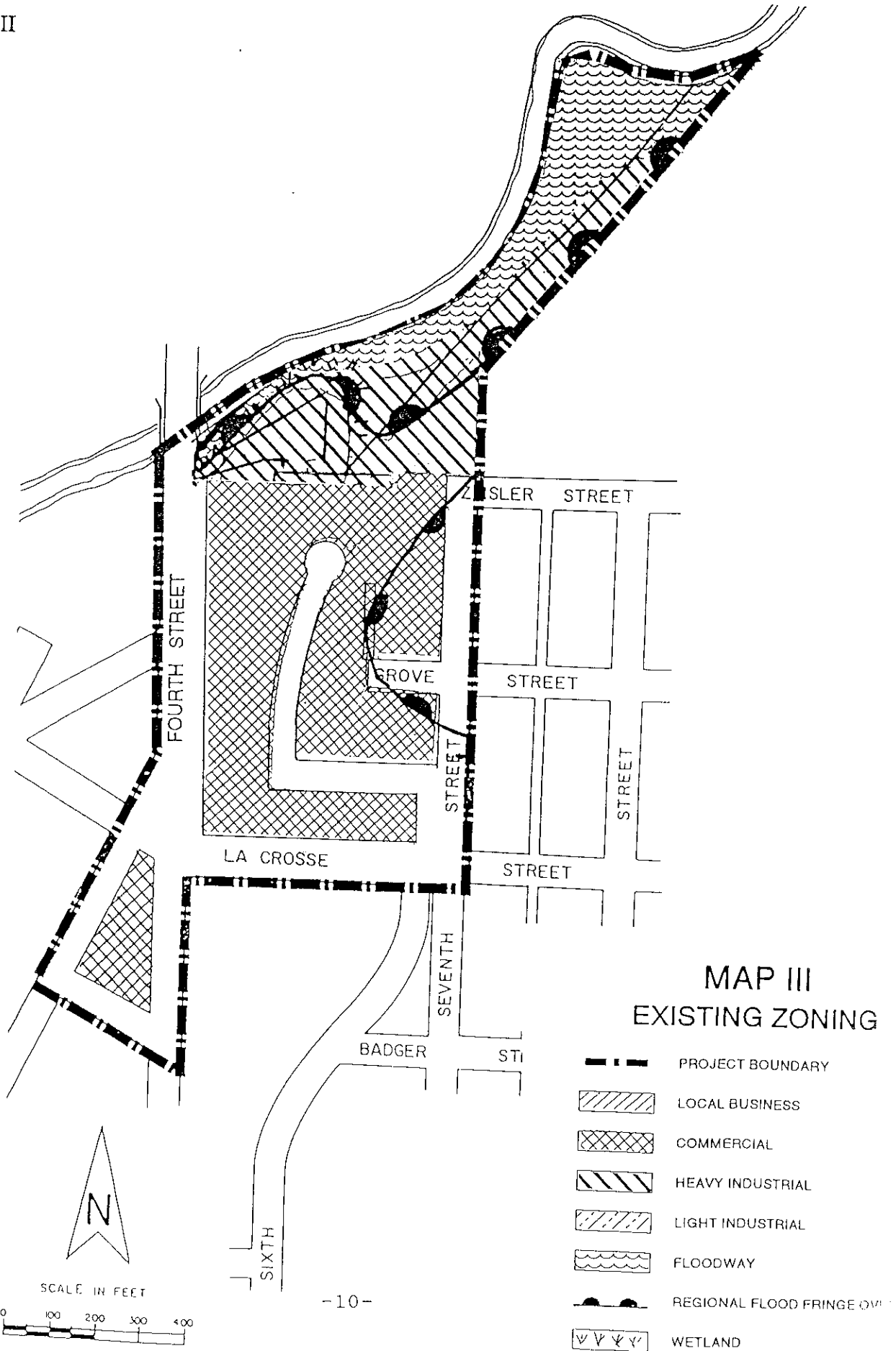


MAP II  
EXISTING CONDITIONS

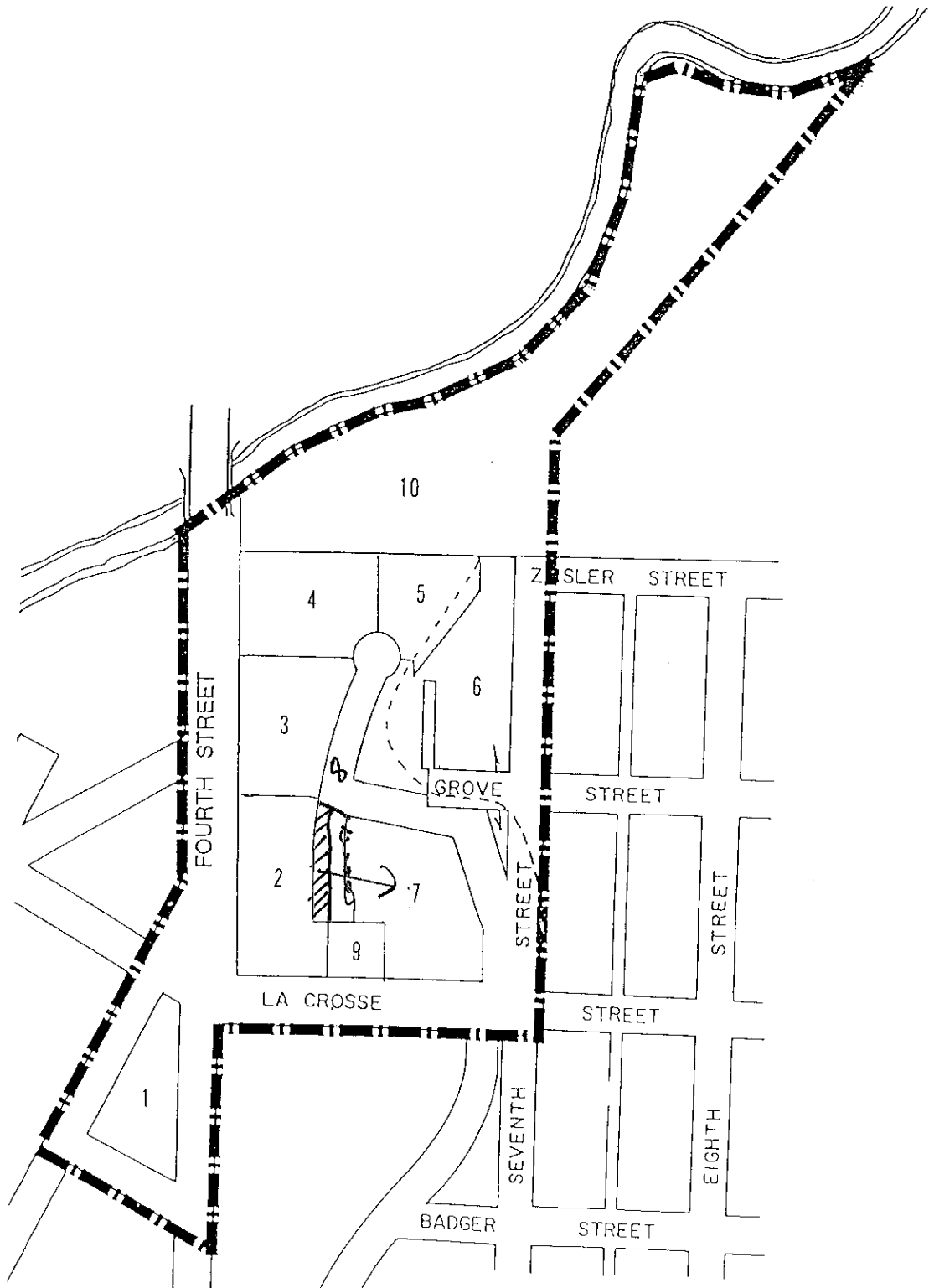
- PROJECT BOUNDARY
- A STANDARD BUILDING with no defects.
- B DETERIORATING BUILDING with numerous non-structural defects which could be corrected only by special maintenance efforts.
- C SUBSTANDARD BUILDING with critical structural defects and numerous non-critical defects which only could





MAP III



MAP IV



MAP IV  
PROPOSED LAND USE

-  PROJECT BOUNDARY
-  REUSE PARCEL NUMBER  
See Part 6 of Redevelopment Plan

## EXHIBIT A

### Boundary Description

#### Project North and West of City Hall

That portion of Government lot 3 and the northwest 1/4 of the southwest 1/4 of Section 32, and of Government lot 3 of Section 31, T16N, R7W, City of La Crosse, La Crosse County, Wisconsin, described as follows:

Commencing at a point on the south line of La Crosse Street and on the east line of Seventh Street, the Point of Beginning; thence northerly along the east line of Seventh Street to the north line of Zeisler Street, thence continuing northerly along the east line of Seventh Street extended to the northwesterly line of the Chicago and Northwestern Railway Company right-of-way; thence northeasterly along said northwesterly right of way line to southerly shore line of the La Crosse River as established by the Board of Arbitrators for the City of La Crosse and filed with the Register of Deeds on February 5, 1914; thence southwesterly along said southerly shore line to the west line of Third Street; thence south along the west line of Third Street to a point where Third Street angles to the southwest; thence southwest along the westerly line of Third Street to the southerly line of Badger Street; thence southeasterly along the southerly line of Badger Street to the east line of Fourth Street; thence north along the east line of Fourth Street to the south line of La Crosse Street; thence east along the south line of La Crosse Street to the east line of Seventh Street and the Point of Beginning.

Lots 1 - 5, Block 28, Town of La Crosse Addition to the City of La Crosse

Government Lot 3 (Northeast - Southeast), in Section 31, Township 16 North, Range 7 West - City of La Crosse

Blocks 3, 4, 5 and 6, Burns, Durand, Smith and Rublee's Addition to the City of La Crosse

Northwest - Southwest, Section 32, Township 16 North, Range 7 West - City of La Crosse

Blocks 4 and 5, Burns, Durand, Smith and Rublee's Addition to the City of La Crosse

Government Lot 3 (Southwest - Northwest) Section 32, Township 16 North, Range 7 West - City of La Crosse.



# ***CITY OF LA CROSSE***

400 La Crosse Street  
La Crosse, Wisconsin 54601  
(608) 789-CITY  
[www.cityoflacrosse.org](http://www.cityoflacrosse.org)

## **LEGISLATION STAFF REPORT FOR COUNCIL**

File ID                      Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation

State Bar of Wisconsin Form 3-2003  
**QUIT CLAIM DEED**

Document Number

Document Name

**THIS DEED**, made between \_\_\_\_\_  
 \_\_\_\_\_ ("Grantor," whether one or more),  
 and \_\_\_\_\_  
 \_\_\_\_\_ ("Grantee," whether one or more).

Grantor quit claims to Grantee the following described real estate, together with the rents, profits, fixtures and other appurtenant interests, in \_\_\_\_\_ County, State of Wisconsin ("Property") (if more space is needed, please attach addendum):

Recording Area

Name and Return Address

Parcel Identification Number (PIN)

This \_\_\_\_\_ homestead property.  
(is) (is not)

Dated \_\_\_\_\_ .

\_\_\_\_\_(SEAL) \_\_\_\_\_(SEAL)  
 \* \_\_\_\_\_ \*

\_\_\_\_\_(SEAL) \_\_\_\_\_(SEAL)  
 \* \_\_\_\_\_ \*

**AUTHENTICATION**

Signature(s) \_\_\_\_\_  
 \_\_\_\_\_  
 authenticated on \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF WISCONSIN )  
 ) ss.  
 \_\_\_\_\_ COUNTY )

Personally came before me on \_\_\_\_\_,  
 the above-named \_\_\_\_\_  
 \_\_\_\_\_  
 to me known to be the person(s) who executed the foregoing  
 instrument and acknowledged the same.

\_\_\_\_\_  
 \* \_\_\_\_\_  
 Notary Public, State of Wisconsin  
 My Commission (is permanent) (expires: \_\_\_\_\_)

\* \_\_\_\_\_  
**TITLE: MEMBER STATE BAR OF WISCONSIN**  
 (If not, \_\_\_\_\_  
 authorized by Wis. Stat. § 706.06)

**THIS INSTRUMENT DRAFTED BY:**  
 \_\_\_\_\_  
 \_\_\_\_\_

# LEGAL DESCRIPTION

## Redevelopment Authority parcels to the City of La Crosse

**All of Government Lot 3 and the NW ¼ of the SW ¼ of Section 32, Township 16 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin in which for tracting purposes includes Outlot 1 of CSM Document Number 1129105, Volume 6, Page 104 and all or parts of Lots 1, 2, 3, 4, 7, 8, 9, 10, 11 & 12 of Block 5; Lots 7, 8 & 9 of Block 6; Lots 3, 4, 5 & 6 of Block 12 all being located in Burns, Durand, Smith and Rublee's Addition.**

The purpose of this legal description / quit claim deed is to transfer 9 parcels located in the above location to the City of La Crosse ownership.

17-20141-100

17-20141-120

17-20142-70

17-20145-90

17-20163-135

17-20256-40

17-20256-50

17-20256-60

17-20259-100

Drafted by: jmc 7/18/2023

Checked by: kjc 7/18/2023

S:\\_PROJECTS\2023 MISC\23-024 Redevelopment Authority Parcels Transfer to City\IRDA TO CITY PARCELS IN 32-16-7 LEGAL DESCRIPTION.docx



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 23-0876

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**Agenda Date:** 7/27/2023

**Version:** 2

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** Review

**Agenda Number:** 6



**LEGAL DEPARTMENT**

City of La Crosse, Sixth Floor City Hall  
400 La Crosse Street, La Crosse, WI 54601  
Ph: 608.789.7511 Fax: 608.789.7390  
Email: attorney@cityoflacrosse.org

**Stephen F. Matty**  
**City Attorney**

**Krista A. Gallagher**  
**Deputy City Attorney**

**Ellen R. Atterbury**  
**Assistant City Attorney**

**ANNUAL DEVELOPMENT AGREEMENT COMPLIANCE REVIEW  
TAX YEAR 2022**

**Riverside Center Development Agreements – Phases I, II, III**

- Parties: This agreement is between the City of La Crosse, Redevelopment Authority of the City of La Crosse, and LCN UHS La Crosse (WI), LLC.
- Governing Bodies: Redevelopment Authority and the Board of Public Works.

**Project Definition:**

Phase I: Office building and restaurant.

Phase II: Office building and also resulted in community theater.

Phase III: Seven story building, three stories of commercial space, four levels of parking and the first floor of parking can be converted to commercial space.

**Essential Terms:**

- Cash Grants:
  1. Phase I – not applicable
  2. Phase II – agreement completed
  3. Phase III - \$100% of tax increment for tax years 2016-2025. Maximum amount is \$5.1 million. City retains 1% for administrative and professional services costs.

- Reverse TIF Payment:

Phase III: 99% to Developer:	\$330,866.97
1% to City:	\$ 3,342.09



Riverside Center Development Agreements – Phases I, II, & III  
Annual Development Agreement Compliance – Tax Year 2022

- Tax Guarantee:
  1. Phase I: \$11.4 million as of tax year 2007 (2022 improvements \$13,708,000)
  2. Phase II: \$8 million as of tax year 2009 (2022 improvements \$14,244,600)
  3. Phase III: \$18 million as of tax year 2012 (2022 improvements \$17,068,900)
  
- Deficiency PILOT owed to City:

Phase III: \$18,230.94
  
- Net amount due to Developer:  $\$330,866.97 - \$18,230.94 = \$312,636.03$
  
- Jobs: Originally maintain 2,000 jobs for ten years starting on December 31, 2016 for all three sites. After 2022 annual compliance review, new job guarantee number is 1,237. Annual job certification due June 15<sup>th</sup>. Report indicates 1,302 jobs.

**RECOMMENDATION:**

- BPW to determine if WIPFLI is needed for job audit. If not, disburse net payment.



## LEGAL DEPARTMENT

City of La Crosse, Sixth Floor City Hall  
400 La Crosse Street, La Crosse, WI 54601  
Ph: 608.789.7511 Fax: 608.789.7390  
Email: attorney@cityoflacrosse.org

Stephen F. Matty  
City Attorney

Krista A. Gallagher  
Deputy City Attorney

Ellen R. Atterbury  
Assistant City Attorney

## ANNUAL DEVELOPMENT AGREEMENT COMPLIANCE REVIEW TAX YEAR 2022

### Doerflinger's Second Century, Inc.

- Parties: This agreement is between the City of La Crosse, Doerflinger's Second Century, Inc..
- Governing Body: Redevelopment Authority

### Project Definition:

Redeveloping Doerflinger building.

### Essential Terms:

- Cash Grants: Already completed.
- Tax Guarantee:  
\$1.87 million commencing tax year 2017 (2022 Value \$2,244,300)

### RECOMMENDATION:

- No further action at this time.



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 23-0630

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**Agenda Date:** 5/25/2023

**Version:** 1

**Status:** Referred

**In Control:** Redevelopment Authority

**File Type:** General Item

**Agenda Number:** 7



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 23-0624

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**Agenda Date:** 5/25/2023

**Version:** 1

**Status:** Referred

**In Control:** Redevelopment Authority

**File Type:** General Item

**Agenda Number:** 8

## PLANNING OPTION AGREEMENT

This PLANNING OPTION AGREEMENT (this "Agreement"), made and entered into this 25th day of May, 2023 (the "Effective Date"), by and between Redevelopment Authority of La Crosse having its office at 400 La Crosse Street, La Crosse, WI 54601 (hereinafter the "RDA"), and Red Earth, a Wisconsin limited liability company, having its office at 1310 W Wisconsin Ave, Sparta, WI 54656(hereinafter "DEVELOPER").

WITNESSETH:

WHEREAS, the RDA owns property located at River Point District, in the City of La Crosse, County of La Crosse, WI (G1 & G2) 17-20252-30, and more fully depicted in the Plat, which is attached hereto and incorporated herein as Exhibit A; and

WHEREAS, the DEVELOPER has requested a planning option to allow time to complete all due diligence necessary to determine the physical and financial feasibility of constructing a mixed-use development with rental units and light- retail space on parcel [G1 & G2] as depicted in Plat (hereinafter "Project Site"); and

WHEREAS, RDA desires to see the Project Site developed into an active mixed-use development that complies with the Master Plan, generates economic activity and increases assessed land value, thereby generating additional property tax base for the community; and

WHEREAS, RDA is willing to negotiate a sale of the Project Site with the DEVELOPER upon a determination by both parties of the economic and physical viability of proposed future uses.

NOW, THEREFORE, for good and valuable consideration, the parties mutually agree and state as follows:

1. The RDA hereby grants to DEVELOPER an exclusive Planning Option for an initial term expiring twelve (12) months after the Effective Date for the Project Site (the "Initial Term"). This period is required in order to complete all due diligence necessary to determine the physical and financial feasibility of proposed future uses. The Initial Term of this Agreement may be extended by mutual written agreement of the parties, and, if so, such extended term will be known and is hereinafter referred to as the "Extended Term").
2. To secure the Initial Term, DEVELOPER shall pay RDA a payment in the amount of Five Thousand Dollars (\$5,000.00). If DEVELOPER is awarded the Extended Term, DEVELOPER shall pay to RDA an additional payment in the amount of Ten Thousand Dollars (\$10,000.00). These payments are non-refundable.
3. RDA, during the Initial Term, or any Extended Term, shall provide that the Project Site shall not be sold/conveyed or leased to any other legal entity and hereby agrees to grant to the DEVELOPER exclusive negotiating rights for the purchase or lease of said real property during the Initial Term and any Extended Term.
4. RDA, upon receipt from DEVELOPER of proof of insurance with the following terms, the RDA hereby grants DEVELOPER full access to the site for purposes of completing due diligence including, but not limited to, soil testing, engineering analysis, environmental assessments and inspections (including invasive assessments and inspections in the discretion

of the DEVELOPER), other inspections and other needs for ingress and egress upon the land. If the DEVELOPER must use a contractor for any of the above services then contractor is required to provide proof of Professional Liability and Pollution Liability insurances, with the Redevelopment Authority named on the policy. This access is subject to any preexisting easements and licenses on the Project Site. Developer must also coordinate any site visit with the RDA's construction administrator, SEH, c/o Torey Leonard or his assigns.

RDA shall endeavor to terminate any such licenses for which the DEVELOPER determines termination is reasonably necessary for completion of the due diligence necessary for this Agreement, and, in that event, DEVELOPER will be granted a day-by-day/day-to-day extension of the Initial Term or the Extended Term, if any, for the number of days that it takes for RDA to terminate such licenses.

INSURANCE. Contracting Party shall, at its sole expense, obtain and maintain in effect at all times during this Agreement the following insurance coverage:

- 1) Commercial General Liability Insurance of not less than \$1,000,000.00 per occurrence for bodily injury, personal injury and property damage;
- 2) Automobile Liability Insurance of not less than \$1,000,000.00 per occurrence for bodily injury and property damage covering all vehicles to be used in relationship to this Agreement;
- 3) Umbrella Liability Insurance of not less than \$1,000,000.00 per occurrence for bodily injury, personal injury and property damage in excess of coverage carried for commercial general liability and automobile liability;
- 4) Professional Liability Insurance of not less than \$1,000,000.00 per claim and annual aggregate; and
- 5) To the extent that Contracting Party employs any employees or as otherwise required by law, Workers' Compensation and Employees' Liability Insurance with Wisconsin statutory limits.

On the certificate of insurance, the RDA shall be named as an additional insured on any General Liability Insurance, Automobile Insurance, and Umbrella Liability Insurance. The certificate must state the following: The RDA, its officers, agents, employees, and authorized volunteers shall be Additional Insureds. Prior to execution of the Agreement, Contracting Party shall file with RDA, a certificate of insurance signed by the insurer's representative evidencing the coverage required by this Agreement. Such evidence shall include an additional insured endorsement signed by the insurer's representative. Contracting Party shall provide La Crosse with a thirty (30) day notice prior to termination or cancellation of the policy. RDA reserves the right to require review and approval of the actual policy of insurance before it executes this Agreement.

5. DEVELOPER shall keep the Project Site free from and clear of all liens and defend, indemnify and hold harmless the RDA, and their officers, employees, contractors and agents, from and against all claims, actions, losses, liabilities, damages, costs and expenses, whether arising out of injury or death to persons or damage to any real or personal property, and including reasonable attorneys' fees and costs, incurred, suffered by, or claimed against any DEVELOPER or any of its officers, employees, contractors and agents to the extent caused by the entry by DEVELOPER, its officers, employees, contractors and agents, upon the Project Site and any due diligence activities and any costs arising out of or in connection with the due diligence activities. This provision shall survive closing or any termination of this Agreement.

6. RDA and/or the City of La Crosse shall make available all known environmental reports and activity upon the Project Site. By entering into this Agreement, the DEVELOPER in no way assumes any responsibility or liability for site remediation.
7. During the pendency of this Agreement and upon determination of the feasibility of proposed future uses, the parties shall work in good faith to negotiate and execute a Development Agreement for those projects involving Tax Incremental Financing, and any other associated documentation, that shall provide for the acquisition and development of the Project Site to DEVELOPER. Such Development Agreement is subject to the approval of RDA and the City of La Crosse Council where TIF is involved.
8. It is agreed and understood by the parties that all proposed future uses in the Development Agreement shall complement existing uses on adjacent properties. The City of La Crosse shall coordinate the public agency participation in planning, obtaining data from public records as may be available, reviewing and commenting on aspects of proposed future uses in a timely manner.
9. DEVELOPER shall demonstrate the ability to obtain financing for the proposed future uses prior to the expiration of this Agreement.
10. DEVELOPER shall provide monthly progress updates to RDA, which updates shall include, but not be limited to, preliminary site planning, architecture, density, and land uses. Within Sixty (60) days of the execution of this Agreement, DEVELOPER shall present to the RDA a site plan of their development, with corresponding elevations and renderings. RDA shall determine, in its sole and reasonable discretion, whether the DEVELOPER'S plans are sufficiently compliant with the PDD. In the event that DEVELOPER is not able to present compliant plans, then RDA may terminate this Agreement.
11. In the event that RDA may provide financial assistance to DEVELOPER, then DEVELOPER understands that RDA shall approve any final design plans as a condition of receiving any financial assistance from City of La Crosse. City of La Crosse financial assistance, if any, may be in the form of land write-downs, Tax Increment Financing or other governmental grants paid to DEVELOPER in accordance with the Development Agreement.
12. If the parties agree upon and execute a Development Agreement prior to the expiration of this Agreement, RDA shall convey the Project Site to the DEVELOPER in accordance with the terms and conditions of the Development Agreement, and any associated documentation.
13. If a Development Agreement is not agreed to by the parties prior to the expiration of this Agreement, and no extension has been agreed to by the parties, this Agreement is hereby terminated and the DEVELOPER shall furnish to RDA all environmental reports and studies, and surveys relating to the Project Site.
14. In the event the DEVELOPER determines that the proposed use on the Project Site is not feasible during the pendency of this Agreement, DEVELOPER may terminate this Agreement and shall notify RDA in writing of the termination.
15. In the event the RDA determines, in its reasonable judgment, that the DEVELOPER is not meeting its obligations under this Agreement, then the RDA may terminate this agreement and shall notify the DEVELOPER of this termination in writing.

16. RDA and DEVELOPER shall pay all of their own legal fees, third party fees, customary closing costs and other costs related to this Agreement, the Development Agreement, and any lease or sale associated with this Agreement.
17. This Agreement must be signed by the DEVELOPER and payment received within 14 days of the RDA's approval or the document will be void.

IN WITNESS WHEREOF,

this Agreement has been duly executed as of the Effective Date.

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Adam Hatfield, Chair

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Andrea Trane, Executive Director/Secretary

**[DEVELOPER]**

  
\_\_\_\_\_  
Jacob Buswell, Owner Red Earth, LLC



EXHIBIT A

PLAT



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 23-0842

---

**Agenda Date:** 7/27/2023

**Version:** 1

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** General Item

**Agenda Number:** 9