



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Meeting Agenda

### Heritage Preservation Commission

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Thursday, May 23, 2024

6:00 PM

Council Chamber- City Hall 400 La Crosse St

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Members of the public may participate in the meeting in the following ways:

View Virtually and Speak:

Join Zoom Meeting

<https://cityoflacrosse-org.zoom.us/j/84101189486?pwd=bFhXeHBwdWR3YkhOcmpzWWYrTjRvQT09>

Meeting ID: 841 0118 9486

Passcode: 810151

Phone Only

1 312 626 6799

Or you may attend in person at City Hall located at 400 La Crosse Street. Members of the public who would like to provide written comments on any agenda may do so by emailing [acklint@cityoflacrosse.org](mailto:acklint@cityoflacrosse.org), using a drop box outside of City Hall or mailing the Department of Planning, Develop

#### Call to Order

#### Roll Call

#### Approval of Minutes

1. Approval of the April 25, 2024 Meeting Minutes.

#### Agenda Items:

2. [24-0591](#) Nomination of the South Branch Library, located at 1307 16th Street S, to designated as a Local Historic Landmark. (Item Noticed For Public Hearing)

**Attachments:** [Nomination](#)

[Notice of Hearing \(For Property Owner\)](#)

[Notice of Hearing \(For Publication\)](#)

[Certified Letter Documentation](#)

[Proof of Notice of Hearing \(For Publication\)](#)

[Matt Bryan Email 5-21-24.pdf](#)

[Cheryl Olson Email 5-21-24.pdf](#)

[Susan Link Email 5-22-24.pdf](#)

[Kari Grabinski Email 5-22-24.pdf](#)

[Matt Durtsche Email 5-22-24.pdf](#)

[Jerry Swim Email 5-22-24.pdf](#)

[Donna & Larry Lee Email 5-22-24.pdf](#)

[Jennifer Morris Email 5-23-24.pdf](#)

[Donna & Larry Lee Email 5-23-24.pdf](#)

[HTL Neighborhood Association- Krista Hamilton Email 5-23-24.pdf](#)

[Andrew Hamilton Email 5-23-24.pdf](#)

[James Hurley Email 5-23-24.pdf](#)

[Barb Janssen Email 5-23-24.pdf](#)

[Sherry Sawle Email 5-23-24.pdf](#)

3. [24-0711](#) Review of a Certificate of Appropriateness for the property located at 716 Copeland Ave. (St Elias Orthodox Church)

**Attachments:** [Staff Report](#)

[Proposed Plans](#)

4. [24-0473](#) Review of proposed Ordinance regarding Ghost Signs.

**Attachments:** [Draft Ghost Sign Ordinance 5-21-24](#)

[Updated Ghost Sign Research 4-23-24](#)

[Ghost Sign Research 3-26-24](#)

## Adjournment

*Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.*

### NOTICE TO PERSONS WITH A DISABILITY

*Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to [ADAcityclerk@cityoflacrosse.org](mailto:ADAcityclerk@cityoflacrosse.org), with as much advance notice as possible.*

Heritage Preservation Commission Members

CM Mackenzie Mindel, Laura Godden, Greg Clark, Natalie Heneghan, Eric Garland, Jim Gallagher



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 24-0591

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**Agenda Date:** 4/25/2024

**Version:** 1

**Status:** Agenda Ready

**In Control:** Heritage Preservation Commission

**File Type:** Application

**Agenda Number:** 2.



# CITY OF LA CROSSE HERITAGE PRESERVATION COMMISSION

## Historic Landmark Nomination Form

1. What is the historic name of the Landmark or Landmark District?

South Branch Library

2. What is the current name of the Landmark or Landmark District?(If applicable)

N/A

3. Property Address: 1307 16th Street S., La Crosse, WI, 54601

### 4. OWNERSHIP

- a. Owner(s): City of La Crosse, WI
- b. Street: 400 La Crosse Street
- c. City, State, Zip Code: La Crosse, WI, 54601 Phone: (608) 789 - 2489
- d. Email: N/A Parcel ID#: 17-50265-10

### 5. NOMINATED BY (If different):

- a. Name: David Riel
- b. Street: 1107 Caledonia Street
- c. City, State, Zip Code: La Crosse, WI, 54603 Phone: (857) 222 - 6224
- d. Email: driel1974@gmail.com

### 6. CLASSIFICATION AND USE (Check all that apply):

Proposed Designation (choose one)

- Landmark District
- Landmark

If it is a Landmark, choose a category (definitions can be found on the instructions page)

- Historic Structure
- Historic Site
- Historic Object

### Present Use

- Agriculture
- Industrial
- Religious
- Commercial
- Military
- Scientific
- Educational
- Museum
- Transportation
- Entertainment
- Park
- Government
- Private Residence(s)
- Other \_\_\_\_\_

**Condition:**

- Excellent                      \_\_\_ Deteriorated  
\_\_\_ Good                            \_\_\_ Ruins  
\_\_\_ Fair                              \_\_\_ Other

**Has the property been nominated previously?** \_\_\_ Yes  No

When? \_\_\_\_\_

What was the outcome? \_\_\_\_\_

**Is the proposed Landmark or District on the National Register?** \_\_\_ Yes  No

When? \_\_\_\_\_

**7. SIGNIFICANCE:**

**Section 20.90 of the *Municipal Code of Ordinances* lists 4 criteria that a district, site, structure or object may be designated under.**

**Please check one or more of the listed criteria that apply to this Property:**

- Associated with events or person(s) who have made a significant contribution to the history, heritage, or culture of the City of La Crosse, the County of La Crosse, the State of Wisconsin, or the United States.
- It embodies the distinguishing characteristics of an architectural type or specimen, inherently valuable for a study of a period, style or method of construction or of indigenous material or craftsmanship.
- It is representative of the notable work of a master builder, designer or architect whose individual work is significant in the development of the City of La Crosse, the County of La Crosse, the State of Wisconsin, or the United States.
- It exemplifies or reflects the broad cultural, political, economic or social history of the nation, state, or community.

**8. HISTORIC OVERVIEW/ANALYSIS (See attached instructions for analysis outline):**

**Please attach the analysis as a separate document containing the following sections:**

**A. Existing Physical Description**

- a. Write a physical description of the nominated property or district in its current state.
- b. If it has been altered over time, indicate the date(s) and nature of the alterations.
- c. Include additional information as applicable.

**B. Narrative History**

- a. Provide a complete narrative history of the district, structure, site, or object.
- b. If known, include the year it was built, the architecture style, and the name of the architect or builder.
- c. Include references to source material that are listed in the bibliography.

**C. Additional Information**

- a. Include any additional information that helps support the claim of criteria (Section 7) made in this document; or is otherwise deemed useful for the purposes of evaluation.

**D. Bibliography**

- a. Include a list of all sources consulted.
- b. Include copies of relevant source materials with the nomination form.

**9. PHOTOGRAPHS:**

**Include photos, as applicable, of the nominated district, structure, site, or object as follows:**

**A. Current photographs**

- a. Exterior photographs are required.
- b. Interior photographs if available and relevant to its historic significance.

**B. Historic photographs**

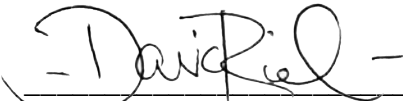
- a. Interior and exterior if available.

**Each photograph must be labeled with the street address of the building(s) and the month and year the photograph was taken.**

**Designation of property will require affixing a plaque to said property and that the plaque will be the sole property of the City of La Crosse. Signature of the property owner assures the Heritage Preservation Commission that designation and installation of a plaque are supported.**

\_\_\_\_\_  
Signature of Property Owner

\_\_\_\_\_  
Date



\_\_\_\_\_  
Signature of Nominator

**4/22/24**

\_\_\_\_\_  
Date

**When completed, submit application to the City of La Crosse Planning Department, 400 La Crosse Street, La Crosse WI.**

**PLEASE NOTE: It is the responsibility of the nominator to provide the Heritage Preservation Commission and its Staff with information sufficient to fairly evaluate the nomination. **Incomplete nomination forms will not be accepted. A fee, in the amount stated in the Schedule of Fees and Licenses table in Section 25.01 of the Municipal Code, must be included.****

## INSTRUCTIONS FOR FILLING OUT THE NOMINATION FORM

1. Indicate the historic name of the property if it is currently known by a different name.
2. Indicate the current name of the property, if it is different than the historic name.
3. Indicate the street address for the property. For districts, attach a separate sheet listing the street address of each property included in the nomination and a clear street map of the area showing the boundaries of the proposed district.
4. Indicate the owner of the property and his or her mailing address and phone number. For districts, attach a separate sheet listing the owner of each property and his or her mailing address.
5. Indicate the nominator of the property and his or her contact information including mailing address, phone number, and email address.
6. Check the classification and use as indicated. Check the current condition of the property. Indicate whether or not the property has been previously nominated. Indicate whether or not the property is on the National Register of Historic Places.
  - a. **“Landmark District”** or Historic Overlay District is an area designated by the Common Council on recommendation of the Commission composed of one or more improvements or sites that is of special character or special historic interest or value as part of the development, heritage or cultural characteristics of the city, state or nation and which has been designated as a Historic District.
  - b. **“Historic Structure”** means any improvement which has a special character or special historic interest or value as part of the development, heritage, or cultural characteristics of the City, state or nation and which has been designated as a historic structure.
  - c. **“Historic Site”** means any parcel of land whose historic significance is due to a substantial value in tracing the history of aboriginal people, or upon which a historic event has occurred, and which has been designated as a historic site under this section, or an improvement parcel, or part thereof, on which is situated a historic structure and any abutting improvement parcel used as and constituting part of the premises on which the historic structure is situated.
  - d. **“Historic Object”** means a material thing of historic significance for functional, aesthetic, cultural or scientific reasons that may be, by nature or design, moveable yet related to a specific setting or environment.
7. Select, as applicable, one or more of the four listed criteria that applies to the nominated property or district.
8. Write a **Historical Overview/Analysis** of the nominated property or district that supports the claim of criteria made in section 7. Attach to the nomination form a document that includes:
  - A. An existing physical description of the structure, district, site, or object. Include the following information as applicable:
    - architectural style(s)
    - arrangement of architectural elements
    - building materials
    - method(s) of construction

- visual character
- street pattern
- density
- type and arrangement of buildings
- topography

**B.** A narrative history of the structure, district, site, or object. Include the following information when available:

- History of the development of the area;
- Circumstances which brought the structure, district, site, or object into being;
- Biographical information on architects, builders, developers, artisans, planners, or others who created or contributed to the structure, district, site, or object;
- Contextual background on building type(s) and/or style(s);
- Importance of the structure, district, site, or object in the larger community over the course of its existence.
- **Include references** to consulted sources, listed in the bibliography, as necessary. Where any historical information is uncertain or disputed, reference sources directly in the text.

**C.** Any additional information that contributes support to the argument being made for the significance of the structure, district, site, or object; as selected in section 7 of the nomination form.

**D.** A bibliography consisting of all consulted source material used in the preparation of the Historical Overview/Analysis. Copies of major supporting documents should accompany the bibliography. Such documents may include, but are not limited to:

- Historic and contemporary maps;
- Historic or contemporary texts describing the subject property or district;
- Historic or contemporary texts describing people, places, or events that comprise the historic context of the subject property or district.
- Oversized materials (such as architectural drawings) and materials too fragile to copy may be accepted.

**9.** Clear photographs of the nominated buildings or districts should accompany the nomination form. The applicant shall include photographs of all elevations of an individual building and its setting, or the front elevation of each building in a district. In case of closely spaced buildings or row houses, several buildings may be included in one photograph. Each photograph must be labeled with the street address of the building(s) and the month and year the photograph was taken. A current exterior photograph of the structure, district, site, or object must accompany the nomination form.



## **Introduction**



South Branch Library, ca. 1996. Source: Wisconsin Historical Society.

The South Branch Library building, located at 1307 16th Street S., is a historically-significant example of municipal library architecture. Designed by architect Frank J. Fuchs and built by contractor F.R. Schwalbe & Sons, the Wisconsin Historical Society “Architecture and History Inventory” lists the architectural style as Prairie School, despite being built in 1952.

Made of golden brick and Winona Stone, the South Branch Library building was completed in 1952 for a cost to La Crosse tax payers of \$128,000, which today would be the equivalent of approximately \$1,490,000.00.

Efforts to create a “South Side” library began in the early 20th Century, but several events, including the Great Depression and World War II, led to a series of multi-decade delays. Funding for this building was finally approved by the residents of La Crosse through an election referendum in 1951. It served as a branch of the La Crosse Public Library from 1952 until 2023.

The South Branch Library building satisfies all four criteria under Section 20.90 of the Municipal Code of Ordinances for La Crosse Historic Landmark designation, and if designated, will continue to benefit future generations.

## **Existing Physical Description**



South Branch Library, West Elevation, 2024. Source: David Riel.

The South Branch Library building is a unique, publicly-owned asset. It served as a branch of the La Crosse Public Library for 71 years and is in excellent condition. The façade of the building and main entrance faces west toward 16th Street S. The building, which stands between Farnam Street to the north, Park Avenue to the south, and East Avenue to the east, also shares public land east of the building with Tower Park. The well-maintained building and site, landscaped with a variety of trees, play areas, walking paths and a dedicated parking lot make this an ideal building to be repurposed for future use.

Designed by architect Frank J. Fuchs and built by contractor F.R. Schwalbe & Sons, the Wisconsin Historical Society “Architecture and History Inventory” lists the architectural style as Prairie School, despite being built in 1952. Most Prairie School structures were actually built between 1900 and 1930.

However, the Prairie School greatly influenced modern architecture well into the 1960s, and you can see the Prairie School’s influence on the South Branch Library building in multiple ways. The Prairie School was an architectural movement that drew inspiration from the low, horizontal landscape of the Midwestern prairie. Perhaps the most well-known proponent of the Prairie School movement was Wisconsin-born architect Frank Lloyd Wright.

The South Branch Library wasn't built until 1952, but it was first designed in 1938. By the 1930s, the International Style had become popular, and you can see its influence in the South Branch Library. However, the International Style took *its* inspiration from the earlier Prairie School, so the South Branch Library naturally shows Prairie School influence in massing and decorative brickwork.



Heurtley House (1902), Architect Frank Lloyd Wright, 2023. Source: David Riel.

For example, consider Frank Lloyd Wright's Heurtley House, seen above. This early Prairie School design used contrasting colored bricks to create horizontal lines that mirror the prairie it sits upon. With the South Branch Library, Frank J. Fuchs also used alternating bricks to emphasize the horizontal. Five rows of brick placed on their sides (stretchers) are separated by one row of bricks lighter in color and turned on their ends (headers), creating horizontal lines and decorative patterns. Pure examples of International Style buildings had largely abandoned these types of decorative motifs for unadorned surfaces.



South Branch Library, Brick Detail, 2024. Source: David Riel.



South Branch Library, Aerial View, 2024. Source: Google.com.

The South Branch Library building was designed by Frank J. Fuchs on a rectilinear, cruciform floorplan, a very traditional Prairie School layout.

The asymmetrical nature of the cruciform plan creates visual interest, and is similar to Otto Merman's floorplan for the North Branch Library.

Originally designed with a flat roof, the existing hipped roof with deep, overhanging eaves wasn't added until 1993, but its addition only enhances the Prairie School influences already present in the building.



South Branch Library, Window Detail, 2024. Source: David Riel.

The South Branch Library windows are horizontal in shape as well, continuing the Prairie School influence. A large picture window north of the entrance is completely framed in Winona Stone, and a band of smaller windows that run directly under the eaves have Winona Stone sills. Use of the smaller, elevated windows, which allow light into the interior while also providing privacy to the occupants, is another design feature you can see in many, early Prairie School designs, such as Frank Lloyd Wright's F. F. Tomek House, seen below.



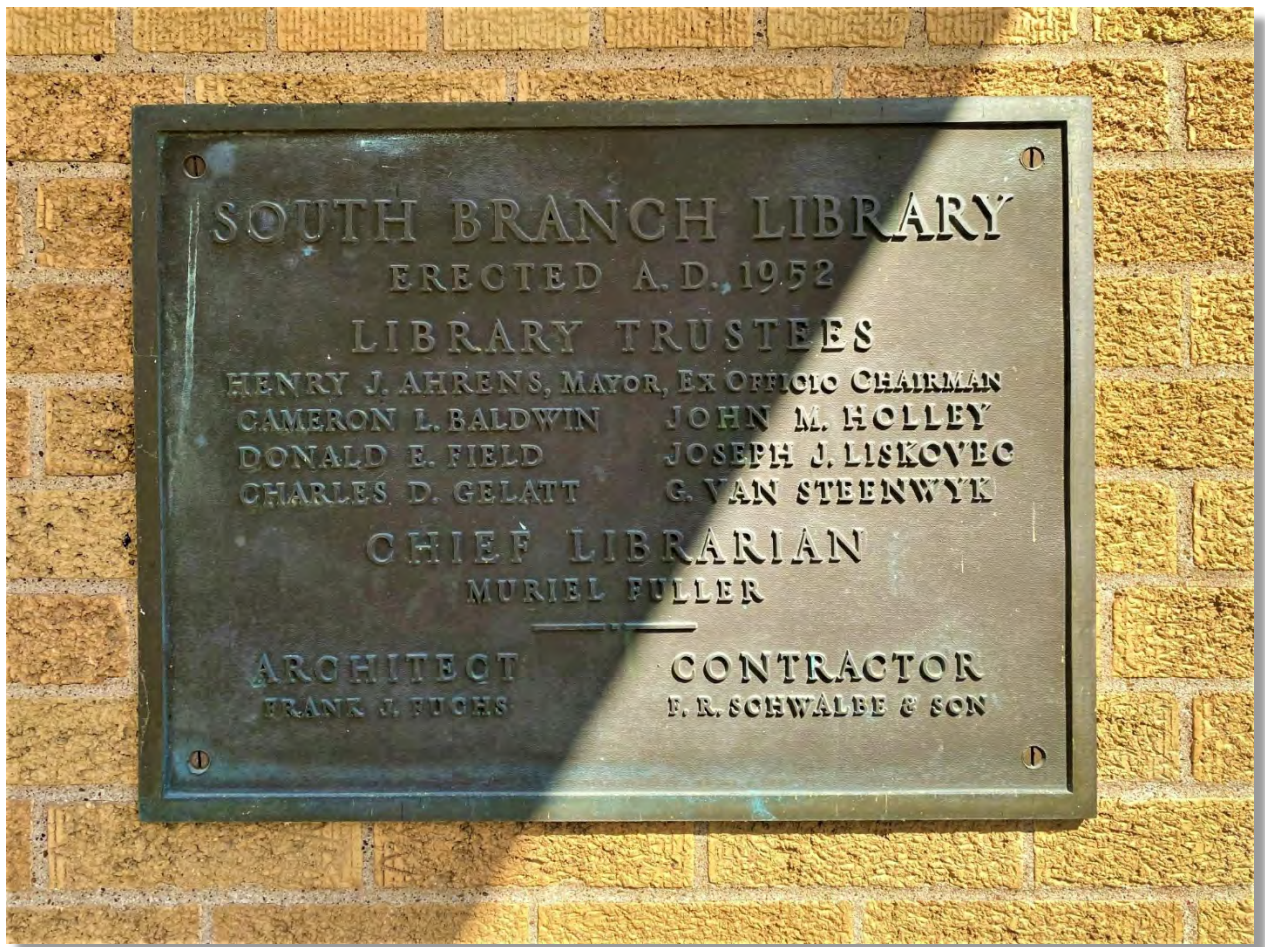
F. F. Tomek House (1904), Architect Frank Lloyd Wright, ca. 2022. Source: Terry Cahill.

The only truly vertical elements on the South Branch Library are the piers of the portico which were added during the 1993 remodel by La Crosse architect Valentine Schute. The 1993 remodel was performed in a very sensitive manner, and most of the changes made in 1993 could be reversed by a future owner if desired. However, the addition of the hipped roof and other changes only serve to enhance the appearance and improve the functionality of the building.

The name “South Branch Library” is elegantly carved into the Winona Stone header above the entrance, showing the work of a master mason.



South Branch Library, Carving Detail, 2024. Source: David Riel.



South Branch Library, 1952 Dedication Plaque, 2024. Source: David Riel.



South Branch Library, South Elevation, 2024. Source: David Riel.

The original chimney (and accompanying fireplace) of the South Branch Library is another example of traditional elements more common in the late-1800s and early 1900s than the 1950s, as newer ways to heat an interior were available.

In the 1998 documentary “Frank Lloyd Wright” by Ken Burns & Lynn Novick, architecture critic Paul Goldberger said of the International Style architects “They worshipped modern technology and sought ways to symbolize it. They had very little interest in using wood and stone, which struck them as old fashioned materials. There was much more glass, much more metal.” The simple fact that Frank J. Fuchs included a wide chimney as part of a 1952 design shows the influence of early, traditional styles like the Prairie School.

During the 1993 remodel, the height of the chimney was increased just enough to clearly intersect the newly added hipped roof. These changes help to soften the angular mass of the building, and easily give this 1950s-era building the appearance of a Prairie School design that was ubiquitous in La Crosse forty years earlier. Shadows cast by the hipped roof change shape along the surface of the building throughout the day, increasing the buildings visual interest.



South Branch Library, East Elevation, 2024. Source: David Riel.



South Branch Library, North Elevation, 2024. Source: David Riel.



## **Narrative History**



La Crosse Public Library Building (1888), ca. 1960. Source: UWL Murphy Library Special Collections/ARC.

As early as 1853, efforts began to form a public library, with the La Crosse Library Co. opening in a store on Front Street. The library company formed when La Crosse only had about 500 residents. Struggling to acquire books and steady funding, they eventually disbanded in 1859. A new group, the Young Men's Library Association formed in the year 1868, with local businessman Mons Anderson acting as chairman while the group became organized.

In 1882, former Wisconsin Governor, Civil War General, and businessman Cadwallader C. Washburn died, leaving \$50,000 to the City of La Crosse for the establishment of a public library. His will only allowed \$12,500 of that money to buy land and construct a building, which proved financially challenging.

The board of the Young Men's Library Association worked to secure more funding, then purchased land on the corner of 8<sup>th</sup> and Main Street in 1885. The group disbanded when the La Crosse Public Library was formed in 1888.

With La Crosse's population surging between 1888 and 1900, it quickly became apparent the library would need to expand to meet the community's needs. In 1905, the first branch library opened on the North Side in Brakke Drug Store at 1353 Caledonia Street, with a collection of 225 books. By 1914, that branch had more than 2500 books. Focus then shifted to the South Side.



Former Barracks In Powell Park, ca. 1924. Source: Courtesy of La Crosse Public Library Archives.

According to the La Crosse Public Library: "In 1914 the "Webster Outlet" was opened in Webster School at 1402 Redfield Street, although the South Branch Library wasn't a reality until 1922. The library moved into a former school barracks at Jackson Street and West Avenue, on the south side of Powell Park, in 1924. It was cold in winter and so hot in the summer it had to be closed many afternoons. Like its sister to the north, the South Branch Library also suffered severe space shortages for collections and programming."

Seen above, these barracks (initially considered temporary), served as a library branch for about 28 years. In the 1930s, an effort was made to secure funding from the Public Works Administration to build a modern library, but the effort was unsuccessful. In the 1940s, World War II restrictions on building materials diverted necessary resources. In 1951, funding was finally approved by the residents of La Crosse through an election referendum. After a decades-long struggle, a modern South Branch Library was about to become a reality.

# Architects Open Offices In City

Orval J. Nelson, born and raised in La Crosse, and son of Bernt Nelson, of the local contracting firm of Peter Nelson and son, has, together with Frank J. Fuchs, registered architect, become successor to the late Otto A. Merman, prominent architect who passed away recently.

The two men have taken over the entire office and business, including plans of buildings erected in the past, as well as sketches of proposed work.

"Architects Open Offices In City." Source: La Crosse Tribune, June 23, 1935, pg. 11.

Nelson Wm S (Theresa A) shoemkr LaCrosse Rubber M Co  
h2100 Liberty  
Nelson & Fuchs (Orval J Nelson, Frank J Fuchs) archts  
115 S 4th  
**NEON SUPPLY CO, Cyril Hedrick Mgr, Everything in Neon  
Signs 111 S 2d, Tel 555**

La Crosse City Directory, 1937. Source: Courtesy of La Crosse Public Library Archives.

The South Branch Library was designed by architect Frank J. Fuchs. Born in Austria on July 5, 1904, Fuchs attended the University of Chicago and graduated with honors from the Armour Institute of Architects. After graduating, he worked in a Chicago architecture firm with Orval Nelson until 1934, when both men decided to move to La Crosse, creating the firm Nelson & Fuchs.

After the passing of architect Otto Merman in 1935, Nelson & Fuchs purchased Merman's firm, which included Merman's blueprints, pending projects and other intellectual property. Even though Otto Merman (who also designed the North Branch Library) worked in a variety of styles, he was primarily known for his Prairie School architecture. Frank J. Fuchs may've taken his design inspiration for the South Branch Library from Otto Merman's Prairie School background. Nelson & Fuchs dissolved in 1941, but Frank J. Fuchs

would continue his architectural practice, designing a variety of significant buildings and structures in La Crosse and throughout the region, including:

- The PWA-funded Memorial Pool and Bathhouse on State Street (1938).
- Logan High School Auditorium on Avon Street (1939).
- Pla-Mor Bowling Alley on 4th Street (1940).
- The "WayLite Blocks" Demonstration House at 815 S. 22nd Street (1941).
- VFW Hall Post No. 1530 on 3rd Street (1947).
- Freyhoff Flying Service Airport Hangar at Municipal Airport (1947).
- Alfred G. Shay House in the Verchota addition on 21st Terrace (1949).
- La Crosse County Highway Dept. Shop Building on Highway 16 (1949).
- Our Redeemer Lutheran Church at 21st Place and Weston (1952).
- The "Bear Den" at Myrick Park Zoo (1953).
- Mary E. Sawyer Auditorium (1955).
- Shelby Town Hall and Fire Department (1957).
- The Jackson Street Shopping Plaza (1957).
- Pittsburgh Plate Glass (PPG) Co. Building at 59 Copeland Avenue (1959).
- Educational Building - St. John's Church on West Avenue (1961).
- John's Memorial Chapel - Wesley Methodist Church at 8<sup>th</sup> & King (1963).



Frank J. Fuchs. Source: La Crosse Tribune, September 25, 1977, pg. 1.

The Mary E. Sawyer Auditorium was perhaps the most significant and well-known building designed by Frank J. Fuchs during his lifetime. However, it's also worth noting that Fuchs designed the first house in La Crosse specifically planned for a paraplegic in 1949. Alfred G. Shay, a WWII veteran paralyzed from the waist down, was to have wheelchair ramps instead of stairs and swinging doors that could be "easily entered from any side."



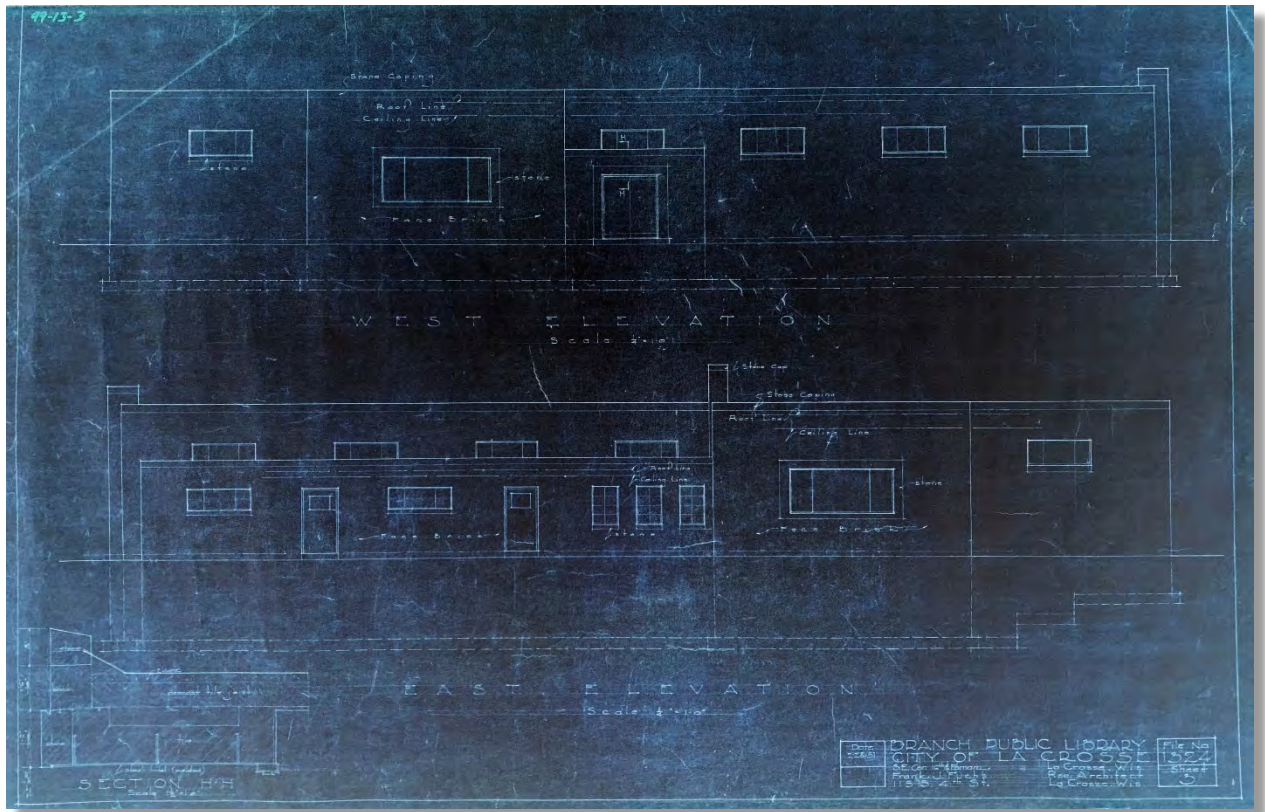
South Branch Library Concept Art, Architect Frank J. Fuchs. Source: Courtesy of La Crosse Public Library Archives.

Concept art for the South Branch Library, seen above, was presented in the La Crosse Tribune March 11th, 1951, depicting a rectilinear structure with a flat roof. With the exception of the hipped roof that was added in a 1993 remodel, the building today appears nearly identical to Frank J. Fuchs plan.

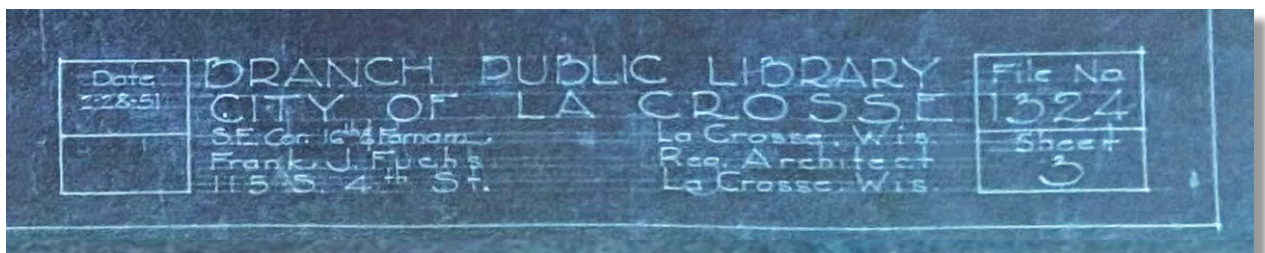
It should also be noted that Fuchs is cited in the March 11, 1951 article as the architect of the North Branch Library. Architect Otto Merman actually designed the "Tudor style" North Branch Library in 1923. However, funding challenges delayed the North Side project until after Merman's passing in 1935. When Frank J. Fuchs acquired Merman's firm in 1935, Fuchs oversaw construction of Merman's design in 1942 after funding finally became available. It is unclear if Merman was already sketching ideas for a South Branch Library, but the floorplans of the North Branch Library and South Branch Library are very similar. Considering that Fuchs bought all of Merman's work, it is very likely that some of Merman's design aesthetic had an influence on Fuchs projects.

Blueprints for the South Branch Library are on file with the City of La Crosse Engineering Department. Sheet 3, seen below, was drawn February 28, 1951 and depicts the west and east elevations. A comparison of the 1951 blueprints to the South Branch Library building today shows no discernable change. The building retains a high degree of historic integrity and is in excellent condition.

That excellent condition is due in large part to the *years of significant financial investment* the taxpayers of La Crosse have made in the building. In addition to the cost of the 1993 remodel, upgrades in 2020 included new energy-efficient LED lighting and replaced boilers in the HVAC system. In 2021, a new roof was added, and that upgrade alone cost La Crosse taxpayers \$74,710.00.



South Branch Library Blueprints, Architect Frank J. Fuchs, 1951. Source: City of La Crosse Engineering Department.



South Branch Library Blueprints, Detail, Architect Frank J. Fuchs, 1951. Source: City of La Crosse Engineering Department.



South Branch Library Ground Breaking, 1951. Source: Courtesy of La Crosse Public Library Archives.

Ground broke on the South Branch Library June 30, 1951. Officials in attendance, seen above, from left to right was Miss Nellie MacDonald, South Branch librarian; Arthur Schwalbe Jr., representing contractor F. R. Schwalbe & Sons; Judge C. R. Baldwin and Joseph Liskovec, members of the library board; Miss Muriel Fuller, librarian; Frank J. Fuchs, architect; Alderman Melvin Olson; and Mayor Henry Ahrens, breaking ground with shovel in hand.

Construction of the South Branch Library building was a source of great civic pride. It represented a major accomplishment for the community, decades in the making, and was publicly celebrated in several La Crosse Tribune articles.

Three reputable contractors submitted bids to construct the building. Of these, F.R. Schwalbe & Sons was the lowest bidder and selected. Their low bid was \$88,768.00, which did not include the architect's fees. A bond of \$125,000.00 was approved to cover the total cost, which ended up being \$128,000.00.

# FRANK R. SCHWALBE,

## General Contractor and Builder.



**Contracts taken for  
all kinds of Build-  
ings and Carpenter  
Work.**

**Personally oversees the  
fulfillment of all his con-  
tracts.** ❁ ❁ ❁ ❁ ❁

**Estimates Furnished on Application**

**OFFICE 1524 MADISON STREET.**

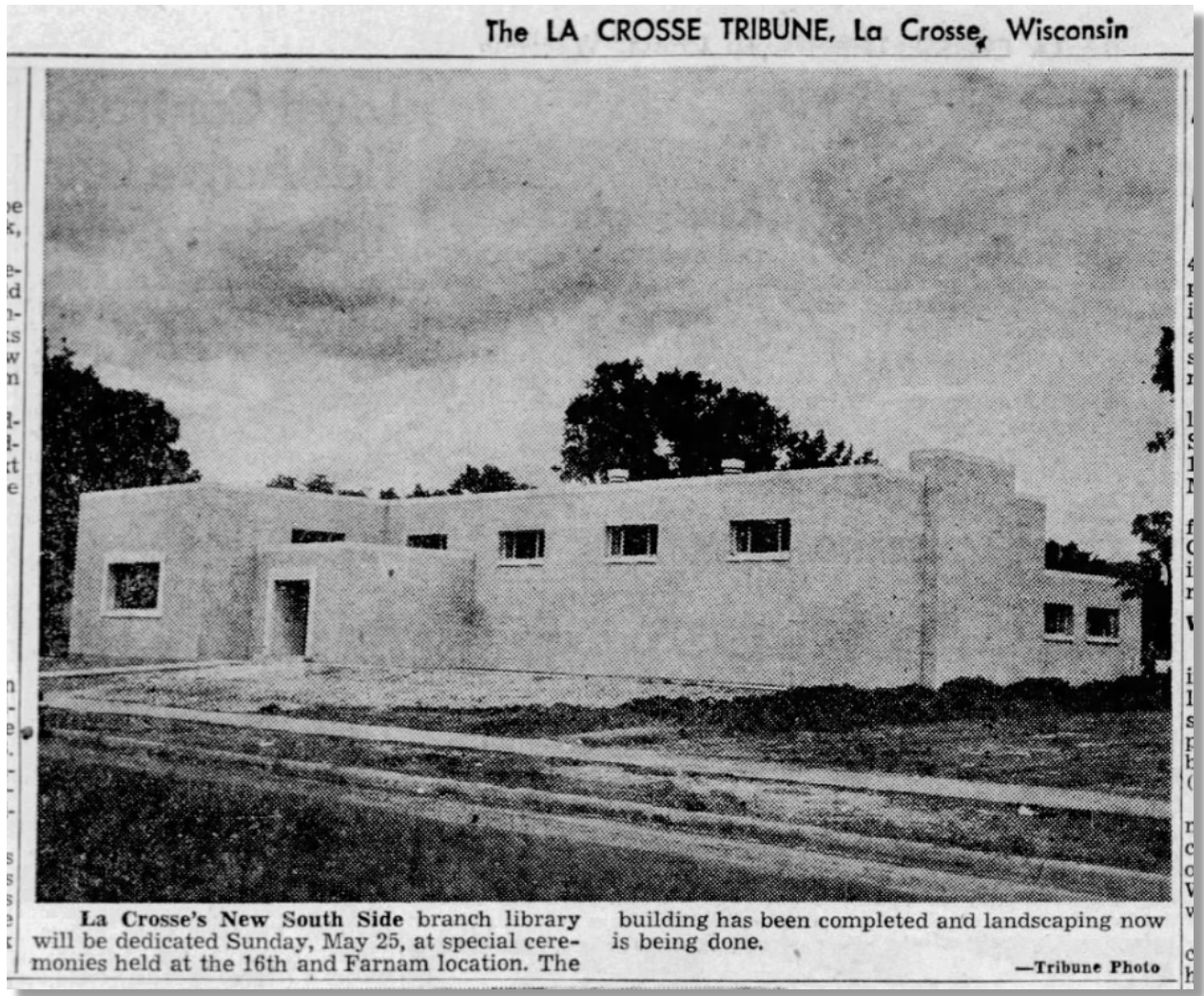
Frank R. Schwalbe Ad, La Crosse City Directory, 1900. Source: Courtesy of La Crosse Public Library Archives.

The South Branch Library was built by F. R. Schwalbe & Sons, one of the most prominent General Contractor and Builder firms in La Crosse history.

Frank's father, Joseph Schwalbe, first appears in the 1873 La Crosse City Directory, listed as a carpenter residing on 8th Street near Mississippi Street. Joseph and his son Frank created Joseph Schwalbe & Son, which operated from 1891 until Joseph retired in 1897. At that point, Frank formed Schwalbe & Magnussen with contractor Nels Magnussen.

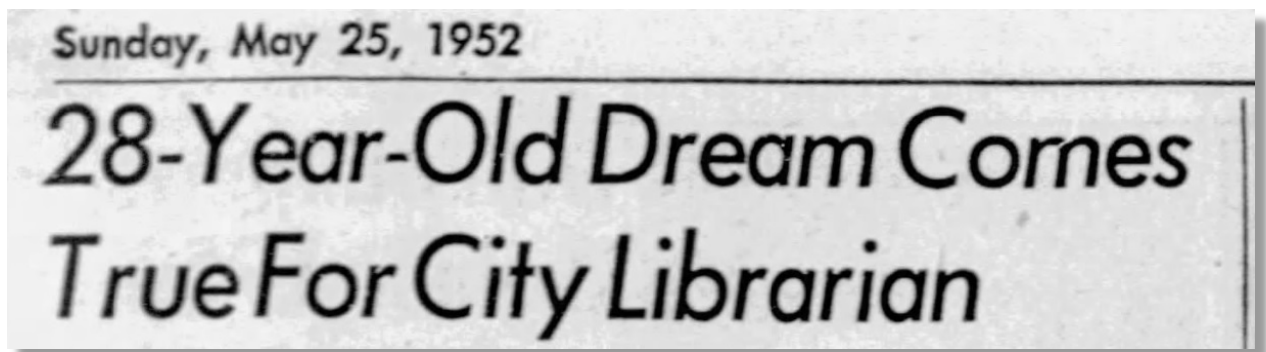
By 1915, F.R. Schwalbe & Sons was established, which included Frank's sons Frank Jr. and Arthur. The Schwalbe family built (and/or owned) some of the most significant commercial and residential properties in La Crosse, including the Rivoli Theater at 115-123 4th Street, the Salzer House at 1634 King Street, the Frank Schwalbe House at 1524 Madison Street, and the Frank Schwalbe Jr. House at 1420 Madison Street. Frank Schwalbe Jr. died in 1929 at the age of 40. Frank Sr. died in 1941 at age 77, but the firm F. R. Schwalbe & Sons continued under Arthur Schwalbe until he died in 1956.





“La Crosse’s New South Side Branch Library.” Source: La Crosse Tribune, May 15, 1952.

The South Branch Library was dedicated Sunday, May 25, 1952 at 2:30 p.m. An open house was scheduled from 2-5 p.m. with refreshments served, encouraging the public to join in the celebration of their new, modern library.

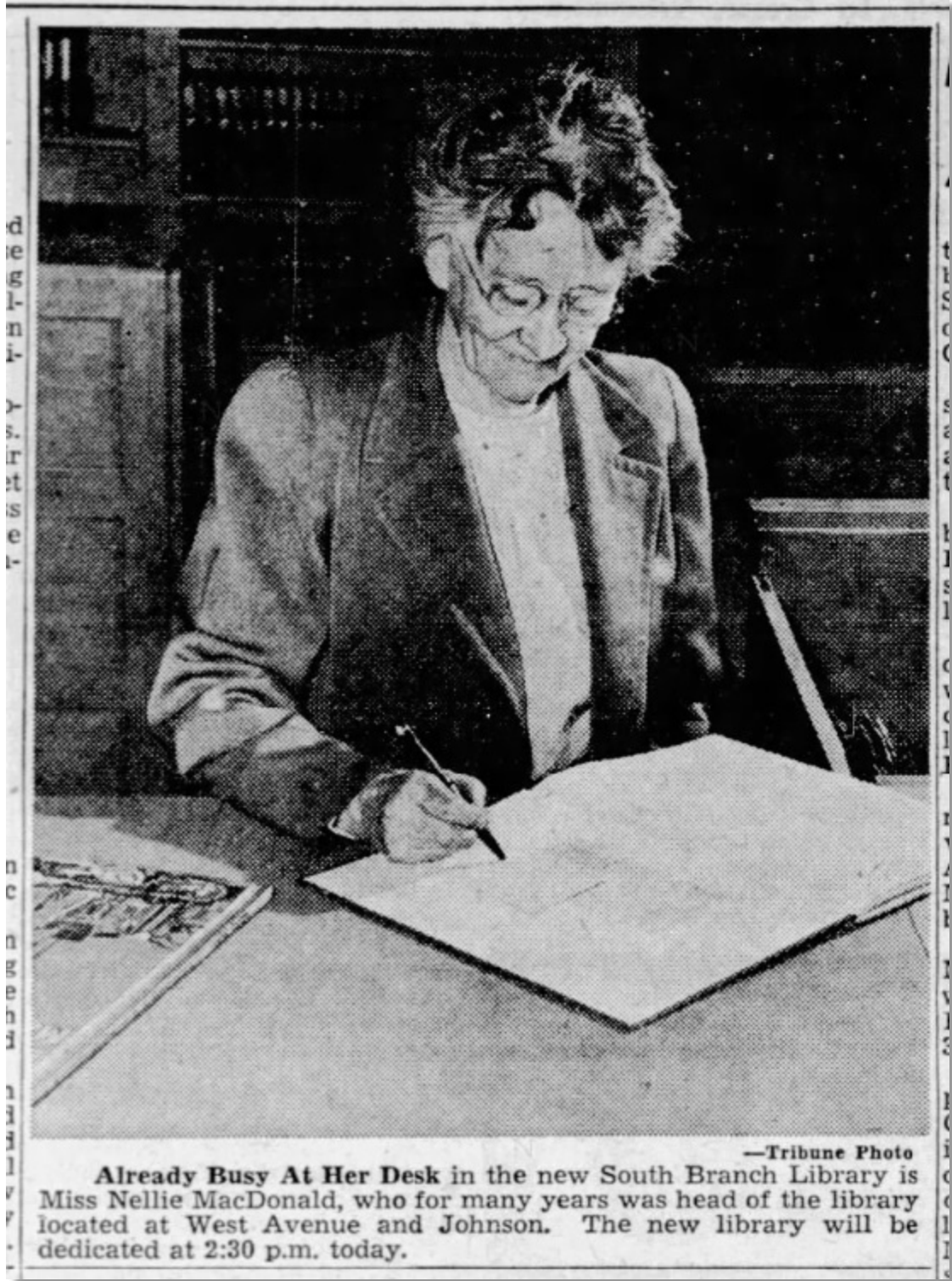


“28-Year-Old Dream Comes True For City Librarian.” Source: La Crosse Tribune, May 25, 1952, pg. 15.



South Branch Library Dedication Ceremony. Source: La Crosse Tribune, May 26, 1952, pg. 7.

At the dedication ceremony, seen above, from left to right are Melvin Olson, 8th Ward alderman; Walter S. Botsford, executive secretary, Wisconsin Free Library Commission, who was the principle speaker; Miss Nellie MacDonald, South Branch librarian; Miss Muriel Fuller, chief librarian; and Mayor Henry Ahrens. Even though it was a day of celebration, Miss Muriel Fuller was quoted as saying she expected the following day “would be business as usual.”



"Already Busy At Her Desk." Source: La Crosse Tribune, May 25, 1952, pg. 15.

The May 25th, 1952 La Crosse Tribune quoted Miss Nellie MacDonald, the South Branch librarian as saying "People always told me to wait for my new library," says Miss MacDonald, "and now it's really a dream come true."



"Pre-School Story Period." Source: La Crosse Tribune, November 27, 1952, pg. 21.

The South Branch Library building is worthy of preservation for several reasons. The building was designed by a prominent architect and master builder, and is in excellent condition thanks to the substantial financial investment taxpayers have made for more than seven decades. However, the building is also worthy of preservation because it was at the center of social life for multiple generations of La Crosse residents. There are residents who visited the South Branch Library as children in the 1950s, only to return 30 years later with *their children*, then in subsequent years with *their grandchildren*. It is part of the very fabric of this community. If the South Branch Library building is preserved, it will continue to serve the community for many decades to come.



South Branch Library, ca. 1952. Source: Courtesy of La Crosse Public Library Archives.

The South Branch Library building is more than just a structure. It's a symbol of the perseverance and determination of our community. It also represents a significant financial investment made by multiple generations of taxpayers, and it would be cost prohibitive to build something of this quality again. It's an asset of great historic, cultural, and financial importance to the community.

The South Branch Library building satisfies all four criteria under Section 20.90 of the Municipal Code of Ordinances for La Crosse Historic Landmark designation, and if designated, will continue to benefit future generations.

- The South Branch Library building is a unique, publicly-owned asset, a historically-significant example of municipal library architecture whose creation made significant contributions to the history, heritage and culture of the City of La Crosse and multiple generations of residents.
- The South Branch Library building embodies the distinguishing characteristics of a Prairie School influenced mid-century library. Constructed of golden brick and locally-sourced Winona Stone, it is inherently valuable for the study of a period, style or method of construction or of indigenous materials and craftsmanship.
- The South Branch Library building is representative of the notable work of a master architect, Frank J. Fuchs, a significant architect responsible for a variety of buildings and structures in La Crosse and throughout the region, including the non-extant Mary E. Sawyer Auditorium. It is also notable for the work of a master builder, F. R. Schwalbe & Sons.
- The South Branch Library building is the result of a multi-decade struggle to provide educational opportunities to the community. The community effort to build a modern public library exemplifies of reflects the broad cultural, political, economic or social history of La Crosse.

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**NOTICE OF HEARING ON DESIGNATION OF HISTORIC STRUCTURE OR SITE**

TO: **City of La Crosse**  
**Mayor Mitch Reynolds**  
**400 La Crosse Street**  
**La Crosse, WI 54601**

**NOTICE IS HEREBY GIVEN** that the Heritage Preservation Commission of the City of La Crosse will hold a public hearing to consider the proposed designation of your property located at **1307 16<sup>th</sup> Street S, La Crosse, WI 54601**, as a historic structure or site. Such public hearing will be held at **6:00PM** on **Thursday, May 23, 2024**, in the **Council Chambers** in City Hall, 400 La Crosse Street, La Crosse, Wisconsin.

**YOU ARE FURTHER NOTIFIED** that any person interested may be heard for or against such proposed designation, and may appear in person, by agent or attorney or may file a written objection or written letter of support in the Office of the City Clerk, City Hall, La Crosse, Wisconsin 54601. In addition, no permit to demolish all or part of the structure will be issued while the nomination is pending review by the Heritage Preservation Commission. A nomination is considered pending once a completed nomination has been submitted to the Planning and Development Department.

Such proposed designation would mean that you could be precluded from demolishing all or part of the exterior of a historic structure, historic site, or structure or contributing building in a historic district without first receiving a Certificate of Appropriateness for Demolition from the Heritage Preservation Commission.

This notice is given pursuant to Section 20.54 of the City of La Crosse Code of Ordinances.

Dated this 26<sup>th</sup> of April 2024.

HERITAGE PRESERVATION COMMISSION

By: 

Tim Acklin, AICP, Acting Secretary

cc: Mayor  
Redevelopment Authority  
Park & Recreation Department  
Fire Prevention and Building Safety Department  
Planning Department  
City Clerk  
Common Council

**NOTICE OF HEARING**  
**BEFORE THE HERITAGE PRESERVATION COMMISSION**

NOTICE IS HEREBY GIVEN that the Historic Preservation Commission of the City of La Crosse will consider designation of the following property:

<u>NAME OF PROPERTY</u>	<u>LOCATION</u>
<b>South Branch Library</b>	<b>1307 16<sup>th</sup> Street S</b>

Such hearing will be held in the **Council Chambers**, of City Hall on **Thursday, May 23, 2024**, at **6:00pm**. and will be open to the public. All persons affected by such designation may appear and testify for or against such application pursuant to City Ordinance 20.54.

Dated this April 26, 2024

HERITAGE PRESERVATION COMMISSION

By:   
\_\_\_\_\_  
Tim Acklin, AICP  
Acting Secretary

This meeting may be recessed into Closed Session pursuant to Wisconsin State Statutes Section 19.85(1)(a) to deliberate its decision.

Publish: (Tuesday, April 30, 2024),  
(1) Affidavit please



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- Print your name and address on the reverse so that we can return the card to you.
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CITY OF LA CROSSE  
400 LA CROSSE ST  
LA CROSSE WI 54601



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2. Article Number (Transfer from service label)

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LAKE COUNTY

I, Kami Terrell being duly sworn, doth depose and say that he/she is an authorized representative of Lee Enterprises, publishers of

LA CROSS TRIBUNE

a newspaper, at La Crosse, County of La Crosse, State of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published therein on the dates listed below.

Sworn to and subscribed before me this 10 day of

May, 2024  
(Signed) Kami Terrell  
(Title) Principal Clerk

Christina Palma  
Notary Public, Indiana

My Commission expires

Section: Legals

Category: 0001 Wisconsin Legals

PUBLISHED ON: 05/04/2024



TOTAL AD COST: 24.52

FILED ON: 5/7/2024

OF HEARING BEFORE THE HERITAGE PRESERVATION COMMISSION

NOTICE IS HEREBY GIVEN that the Historic Preservation Commission of the City of La Crosse will consider designation of the following property:

NAME OF PROPERTY South Branch Library

LOCATION 1307 16th Street S

Such hearing will be held in the Council Chambers, of City Hall on Thursday, May 23, 2024, at 6:00pm. and will be open to the public. All persons affected by such designation may appear and testify for or against such application pursuant to City Ordinance 20.54.

Dated this April 26, 2024  
HERITAGE PRESERVATION COMMISSION

By: Tim Acklin AICP  
Acting Secretary

This meeting may be recessed into Closed Session pursuant to Wisconsin State Statutes Section 19.85(1)(a) to deliberate its decision.  
5/4 LAC141839 WNAJLP

## Acklin, Tim

---

**From:** Matt Bryan <bryan.mattp@gmail.com>  
**Sent:** Tuesday, May 21, 2024 9:40 PM  
**To:** Acklin, Tim  
**Subject:** Nomination of the South Branch Library to be Designated as a Local Historic Landmark

\*\*\* **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. \*\*\*

Hi Tim,

I'm reaching out to express my support for the designation of the South Branch Library as a local historic landmark. Dignified buildings are harder and harder to come by these days, as is a community's genuine attachment to its own architecture. In contrast to some of the more dispensable and detached modes of development we're seeing around us, an established site like this is a particularly valuable resource worth protecting.

Thanks Tim,

Matt

## Acklin, Tim

---

**From:** Colson1961 <colson1961@gmail.com>  
**Sent:** Tuesday, May 21, 2024 10:41 PM  
**To:** Acklin, Tim  
**Subject:** Nomination of the South Branch Library to be Designated as a Local Historic Landmark.

You don't often get email from colson1961@gmail.com. [Learn why this is important](#)

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I strongly support the Nomination of the South Branch Library to be Designated as a Local Historic Landmark. I have lived here on the South side since 1981 and prior to that visited grandparents here. With all the history of La Crosse and the preservation of older buildings, we are maintaining historical details throughout time. This includes the library.

A very nice building in a central location on the South Side. People moving through, or that live in our zone can appreciate it and the fact the city had libraries available in more than just the Main Library downtown. Granted, the City closed the library, but understanding the care the City gave in building it for the South side shows another facet of our history and the benefits of living here. Even if closed now but re-utilized for other purposes, we are recycling it and providing new benefits (I hope) for public in whatever direction it takes. This is like the city is assisting community members with updating old homes. It helps maintain the history of La Crosse.

Thank you!

Cheryl Olson  
[colson1961@gmail.com](mailto:colson1961@gmail.com)  
1533 Farnam Street, La Crosse, WI 54601  
Phone: 608 780-1576

## Acklin, Tim

---

**From:** Susan Link <saglink10@gmail.com>  
**Sent:** Wednesday, May 22, 2024 12:02 PM  
**To:** Acklin, Tim  
**Subject:** Nomination of the South Branch Library to be designated as a historical landmark

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Susan Link  
1520 29 th. St. S  
La Crosse, WI 54601

I completely agree with designating the South Side Library as a historical landmark for the city of La Crosse

## Acklin, Tim

---

**From:** Kari Grabinski <kjgmd10@gmail.com>  
**Sent:** Wednesday, May 22, 2024 3:59 PM  
**To:** Acklin, Tim  
**Subject:** Nomination of the South Branch Library to be Designated as a Local Historic Landmark

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Greetings,

I am a resident of the neighborhood surrounding the South Branch Library and am writing in support of the HPC approving its local historic landmark designation. I have been a resident of the neighborhood for just over one year and have considered this building a focal point of the community and a place where neighbors come together. The building retains its architectural character, which is reminiscent of the Prairie School style, and is associated with historically significant members of the La Crosse community.

Thank you for your consideration in acknowledging the library's place in the history of La Crosse,

Kari Grabinski

1306 19th Street South

La Crosse, WI 54601

Again, this is a critical moment to stand up for the library building. **Please plan to attend the HPC meeting on May 23 at 6:00 pm or send a letter to Tim Acklin urging him and the HPC to approve the local historic landmark designation.**

## Acklin, Tim

---

**From:** Matt Durtsche <matt.durtsche@tntcpas.com>  
**Sent:** Wednesday, May 22, 2024 4:01 PM  
**To:** Acklin, Tim  
**Subject:** Nomination of the South Branch Library to be Designated as a Local Historic Landmark

You don't often get email from matt.durtsche@tntcpas.com. [Learn why this is important](#)

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Hello Mr. Acklin,

My name is Matt Durtsche – I am a resident of the City of Onalaska (Please see La Crosse ties below) and reside at 632 Country Club Lane, Onalaska, WI 54650.

I am the president and owner of Tostrud & Temp, S.C. located at 609 4<sup>th</sup> Street in La Crosse WI. While I am not a resident of the city, my business is an employer within the city and does pay property taxes through our leased space in downtown La Crosse. Additionally, My wife and I are former residents of La Crosse and are actively looking for a home in La Crosse in hopes of moving back to the city. You may or may not be aware, but we are one of the three finalists for the RFP that was put out by the city of La Crosse to re-purpose the former South Branch Library. We are proposing to purchase this building from the city to repurpose the interior of the building as a professional building in which Tostrud & Temp would be the anchor tenant.

I will not be attending the meeting at City Hall on Thursday, May 23<sup>rd</sup>, but in lieu of my attendance I would like to express my support via e-mail for the nomination of the former South Branch Library to be designated a local historic landmark. Growing up on the south side of La Crosse, this building has been a staple in the neighborhood for my entire life. I believe the architecture and the history of this building add character to the neighborhood and city and I would hate to see this building be demolished now or in the future.

Thank you for your time – I look forward to learn of the decision of this designation.

Sincerely,  
Matt Durtsche



**Matt Durtsche, CPA**  
Tostrud & Temp, S.C.

[608 784 8060](tel:6087848060) | [608 385 0125](tel:6083850125)

[www.tntcpas.com](http://www.tntcpas.com)

609 4th St. S  
La Crosse, WI 54601

## Acklin, Tim

---

**From:** Jerry Swim <j.swim@ymail.com>  
**Sent:** Wednesday, May 22, 2024 10:37 AM  
**To:** Acklin, Tim  
**Cc:** Holy Trinity Longfellow Neighborhood Association  
**Subject:** Nomination of the south branch Library to be designated as a Historic Landmark  
**Attachments:** south branch nomination 04-22-24.pdf

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Hi Tim -

I hope you are doing well -

I can't make it to the meeting about the south branch library so just sending this note to voice on behalf of the Lower Northside and Depot Neighborhood Association that we all support the designation of the south branch library to be a local historic landmark.

Thanks!

Jerry Swim, Chair  
Lower Northside and Depot Neighborhood Association  
733 Powell Street  
La Crosse, WI, 54603  
lowernorthsidedepot@gmail.com  
personal: j.swim@ymail.com

----- Forwarded Message -----

**From:** HT-L NA <htlmsna@gmail.com>  
**Sent:** Tuesday, May 21, 2024 at 08:43:04 PM CDT  
**Subject:** Fwd: Important meeting this Thursday, May 23 at 6:00 pm: SUPPORT SOUTH BRANCH LIBRARY for Historic Landmark Designation

Hello again Neighbors,

My previous message did not include Tim Acklin's email address [acklint@cityoflacrosse.org](mailto:acklint@cityoflacrosse.org) for those of you who would like to submit a letter of support in writing. Below are the official instructions for sending comment to the HPC (**please send letters tomorrow, May 22**):

"Members of the public who would like to provide written comments on any agenda may do so by emailing [acklint@cityoflacrosse.org](mailto:acklint@cityoflacrosse.org), using a drop box outside of City Hall or mailing the Department of Planning."

Thank you!

Krista Hamilton



----- Forwarded message -----

From: **HT-L NA** <[htlmsna@gmail.com](mailto:htlmsna@gmail.com)>

Date: Tue, May 21, 2024 at 7:00 PM

Subject: Important meeting this Thursday, May 23 at 6:00 pm: SUPPORT SOUTH BRANCH LIBRARY for Historic Landmark Designation

To:

Dear Neighbors,

We need your attendance this THURSDAY, MAY 23 when the Heritage Preservation Commission (HPC) votes whether to designate the South Community Library as a Local Historic Landmark. **The HPC meeting will take place at City Hall in Council Chambers at 6:00 pm.** It is critical for us to attend to show support for the designation.

At last night's HTLNA meeting, we met David Riel, a local expert on historic site designation. David wrote a comprehensive South Community Library nomination letter that demonstrates how the building meets all four criteria for designation on the Local Register of Historic Places. I am attaching David's nomination letter (approved on April 22, 2024) for those of you who have not yet had an opportunity to read it.

If you cannot attend the meeting on Thursday but still wish to express support for the library nomination, you are encouraged to send a short letter to Tim Acklin [acklint@cityoflacrosse.org](mailto:acklint@cityoflacrosse.org) tomorrow, **May 22**. The message must include your name, address, and the following subject line: "Nomination of the South Branch Library to be Designated as a Local Historic Landmark."

Again, this is a critical moment to stand up for the library building. **Please plan to attend the HPC meeting on May 23 at 6:00 pm or send a letter to Tim Acklin urging him and the HPC to approve the local historic landmark designation.**

Thank you!

Krista Hamilton, HTLNA

## Acklin, Tim

---

**From:** alarrylee@charter.net  
**Sent:** Wednesday, May 22, 2024 9:02 AM  
**To:** Acklin, Tim  
**Subject:** South Branch Library

You don't often get email from alarrylee@charter.net. [Learn why this is important](#)

**\*\*\* CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. **\*\*\***

Tim,  
We support saving the library. I grew up a block from the library in the 50's and I can't support tearing a building such as this down. Thank you for your work on preserving the building. I cannot attend the meeting but wish to support its' preservation.  
Donna and Larry Lee  
608-788-0225  
N1962 Orchard Valley Drive  
La Crosse, WI 54601

## Acklin, Tim

---

**From:** Jennifer Morris <jennifer.fish.morris@gmail.com>  
**Sent:** Thursday, May 23, 2024 8:21 AM  
**To:** Acklin, Tim  
**Subject:** South Branch Library Designation

\*\*\* **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. \*\*\*

Hi Tim,

I will not be able to attend this evening's HT-L NA meeting, but I wanted to express my support for designating the South Branch library as a building of historic significance. My family and I have lived in the neighborhood for nearly ten years, and while we were very sad to see our library close, we're hopeful that the building may live on. This building anchors the neighborhood - and the park and green space that surrounds it is vital to the character and quality of our neighborhood. I'm hopeful that designating this building will protect and preserve it to be used and loved for many years to come.

Best,

Jennifer Morris

## Acklin, Tim

---

**From:** alarrylee@charter.net  
**Sent:** Thursday, May 23, 2024 8:40 AM  
**To:** Acklin, Tim  
**Subject:** Support for South Branch Library Designation as a Local Historic Landmark

You don't often get email from alarrylee@charter.net. [Learn why this is important](#)

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I am writing to support the Designation as a Local Historic Landmark for the South Branch Library on 16th Street. I grew up a block from the library when it was constructed in the 50's. It still is a wonderful building that we took our children and grandchildren to. Please keep it as it is not in a state to be torn down. We need to keep good buildings in our city.

Thank you,  
Donna and Larry Lee  
N1962 Orchard Valley Dr.  
La Crosse, WI 54601

## Acklin, Tim

---

**From:** HT-L NA <htlmsna@gmail.com>  
**Sent:** Thursday, May 23, 2024 9:35 AM  
**To:** Acklin, Tim  
**Subject:** Support for South Branch Library Designation as Local Historic Landmark  
**Attachments:** south branch library letter to HPC.pdf

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Dear Mr. Acklin and Heritage Preservation Commissioners,

I am writing to express support for designating the South Branch Library a Local Historic Landmark. I understand the four criteria that must be met under Section 20.90 of the Municipal Code of Ordinances for La Crosse Historic Landmark designation. It is evident from Mr. David Riel's thorough nomination letter that all four criteria have been met.

To quote Mr. Riel's April 22, 2024 letter, the South Branch Library building:

- Is a unique, publicly-owned asset, a historically-significant example of municipal library architecture whose creation made significant contributions to the history, heritage and culture of the City of La Crosse and multiple generations of residents.
- Embodies the distinguishing characteristics of a Prairie School influenced mid-century library.
- Is representative of the notable work of a master architect, Frank J. Fuchs.
- Is the result of a multi-decade struggle to provide educational opportunities to the community.

The neighborhood association I am an active member of, the Holy Trinity-Longfellow Neighborhood Association (HTLNA), was founded in 2013 to protect the library from closure. We fought to keep the library open and to urge the La Crosse Public Library Board to increase its hours at times when resources devoted to the branch libraries were

dwindling. Although it is no longer a library, this publicly-owned building and adjacent park remain our neighborhood's most valued assets.

There is much interest in repurposing the library. I encourage you and the other HPC members to approve the designation of the South Branch Library to the Local Register of Historic Places, which will be a step toward giving the building a new use and ensuring its continued role in shaping neighborhood identity on the south side of La Crosse.

Thank you for taking time to read this letter.

Kind regards,

Krista Hamilton

1812 Park Ave

La Crosse, WI 54601

May 23, 2024

Krista Hamilton  
1812 Park Ave  
La Crosse, WI 54601

Dear Mr. Acklin and Heritage Preservation Commissioners,

I am writing to express support for designating the South Branch Library a Local Historic Landmark. I understand the four criteria that must be met under Section 20.90 of the Municipal Code of Ordinances for La Crosse Historic Landmark designation. It is evident from Mr. David Riel's thorough nomination letter that all four criteria have been met.

To quote Mr. Riel's April 22, 2024 letter, the South Branch Library building:

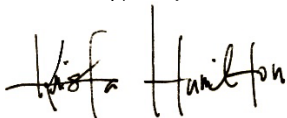
- Is a unique, publicly-owned asset, a historically-significant example of municipal library architecture whose creation made significant contributions to the history, heritage and culture of the City of La Crosse and multiple generations of residents.
- Embodies the distinguishing characteristics of a Prairie School influenced mid-century library.
- Is representative of the notable work of a master architect, Frank J. Fuchs.
- Is the result of a multi-decade struggle to provide educational opportunities to the community.

The neighborhood association I am an active member of, the Holy Trinity-Longfellow Neighborhood Association (HTLNA), was founded in 2013 to protect the library from closure. We fought to keep the library open and to urge the La Crosse Public Library Board to increase its hours at times when resources devoted to the branch libraries were dwindling. Although it is no longer a library, this publicly-owned building and adjacent park remain our neighborhood's most valued assets.

There is much interest in repurposing the library. I encourage you and the other HPC members to approve the designation of the South Branch Library to the Local Register of Historic Places, which will be a step toward giving the building a new use and ensuring its continued role in shaping neighborhood identity on the south side of La Crosse.

Thank you for taking time to read this letter.

Kind regards,

A handwritten signature in black ink that reads "Krista Hamilton". The signature is written in a cursive style with a large initial "K" and "H".

Krista Hamilton

## Acklin, Tim

---

**From:** Andrew J Hamilton <ajhamilton@viterbo.edu>  
**Sent:** Thursday, May 23, 2024 10:04 AM  
**To:** Acklin, Tim  
**Subject:** Support for South Branch Library Designation as Local Historic Landmark

You don't often get email from ajhamilton@viterbo.edu. [Learn why this is important](#)

**\*\*\* CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. **\*\*\***

Dear Mr. Acklin:

As a member of the HTLNA and a professor at Viterbo University, I am writing to express my full support for the designation of the South Branch Library as a Local Historic Landmark. The library building is an important focal point in our neighborhood and residents here want to see it repurposed. I urge you and the other commissioners to approve the designation at tonight's Heritage Preservation Commission meeting.

Thank you.

Andrew Hamilton  
1812 Park Ave  
La Crosse, WI 54601

### Andrew J. Hamilton, PhD

Pronouns: He/Him

Chair, Department of Ethics, Culture and Society (ECAS)

536 Murphy Center | 608.796.3498 | ajhamilton@viterbo.edu

Viterbo University | 900 Viterbo Drive, La Crosse, WI 54601



**VITERBO**UNIVERSITY



## Acklin, Tim

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**From:** James Hurley <iesijh1980@gmail.com>  
**Sent:** Thursday, May 23, 2024 2:11 PM  
**To:** Acklin, Tim  
**Subject:** Self branch library

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Hi Tim;

I won't be able to attend the meeting tonight due to a previous engagement, but I do want to express how I feel about the South branch library location. I grew up in that neighborhood and continue to live there, and I have a lot of fond memories spending time in Library. I feel as many others do that the unique architecture should be protected. We have destroyed so many historical buildings here in La Crosse that at some point we need to take a closer look at how we can protect some of this history rather than destroy it.

We can certainly find other uses for that building other than tearing it down and building apartments or town houses.

I was going to reach out earlier and inquire if the city has even thought about a senior citizen center there? We have a lot of elderly folks living in that area that would love a place to go. I've had a few of them expressed to me that going to Hood Park is too far for them and after they closed the Denton Street location they have nowhere to go.

I hope my letter and the opinions of others regarding this building does not fall on deaf ears.

Kindest Regards  
Jimmy Hurley

## Acklin, Tim

---

**From:** Janssen, Barb  
**Sent:** Thursday, May 23, 2024 1:18 PM  
**To:** Acklin, Tim  
**Subject:** HPC mtg

Hi Tim,

I just read Jerry Swim's email. To be clear, the neighbor association did not discuss this at the NA mtg so that letter of support is not accurate. Barb

Sent from my U.S.Cellular© Smartphone  
Get [Outlook for Android](#)

## Acklin, Tim

---

**From:** Sherry Sawle <shersaw@gmail.com>  
**Sent:** Thursday, May 23, 2024 4:32 PM  
**To:** Acklin, Tim  
**Subject:** Support For South Branch Library Designation as a Historical Landmark

You don't often get email from shersaw@gmail.com. [Learn why this is important](#)

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Dear Sir,

I writing to you to let you know I support the South Branch Library building be designated as a Historical Landmark!

The building is well made. I have many good memories created from walking past and into that building!

Before Covid, many of the residents of LaCrosse met to discuss ideas pertaining to the use of this space. Not one of the ideas voiced was to tear the building down. No,no, no!

I do not want another cookie cutter building put up in that space.

Save the building.

With my sincerest regards,

Sherry Sawle  
1642 Hyde Ave  
LaCrosse



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 24-0711

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**Agenda Date:** 5/23/2024

**Version:** 1

**Status:** Agenda Ready

**In Control:** Heritage Preservation Commission

**File Type:** Review of Plans

**Agenda Number:** 3.

**HERITAGE PRESERVATION COMMISSION REPORT**  
Certificate of Appropriateness  
Section 20-92

**TO:** Heritage Preservation Commission  
**FROM:** Planning Staff  
**MEETING DATE:** May 21, 2024

**PROPOSAL:** The applicant is proposing to construct an addition to the building located at 716 Copeland Ave. (St Elias Orthodox Church)

**PROPERTY OWNER:**  
St Elias Eastern Orthodox Church  
716 Copeland Ave  
La Crosse, WI 54603

**APPLICANT:**  
Zettler Design Studio

**BACKGROUND:** The HPC was given responsibility to review all exterior work that requires a permit from the City on Locally Designated Landmarks per Section 20-92 of the La Crosse Municipal Code.

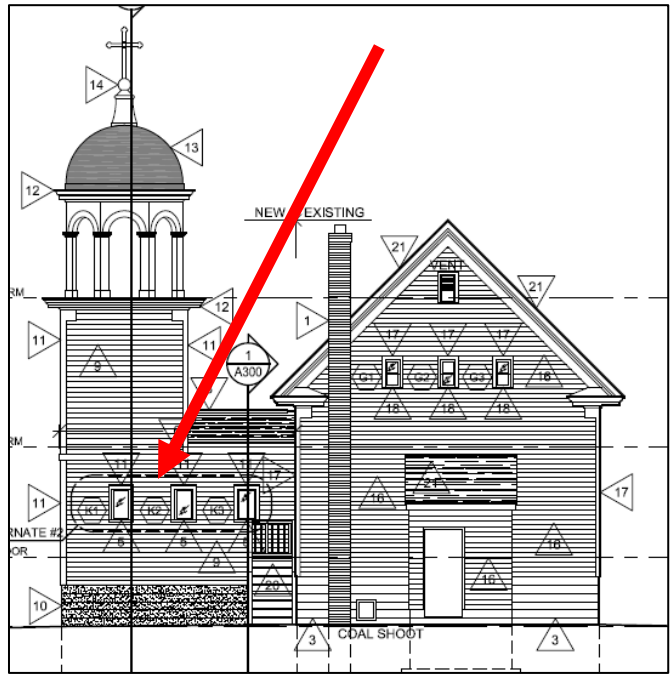
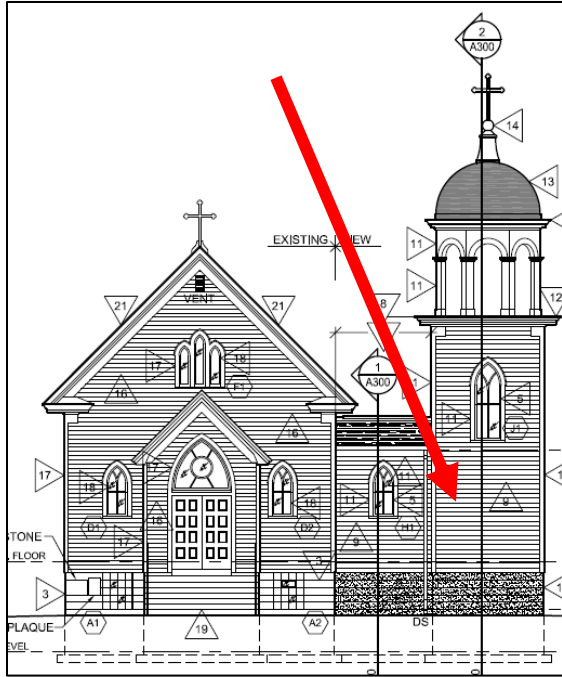
**PROJECT DESCRIPTION:** The applicant is proposing to construct an addition onto the south side of the existing building that includes a breezeway/foyer and bell tower. The bell tower addition will include a functioning bell but will primarily serve as the shaft for an elevator that is needed to make the building ADA accessible.



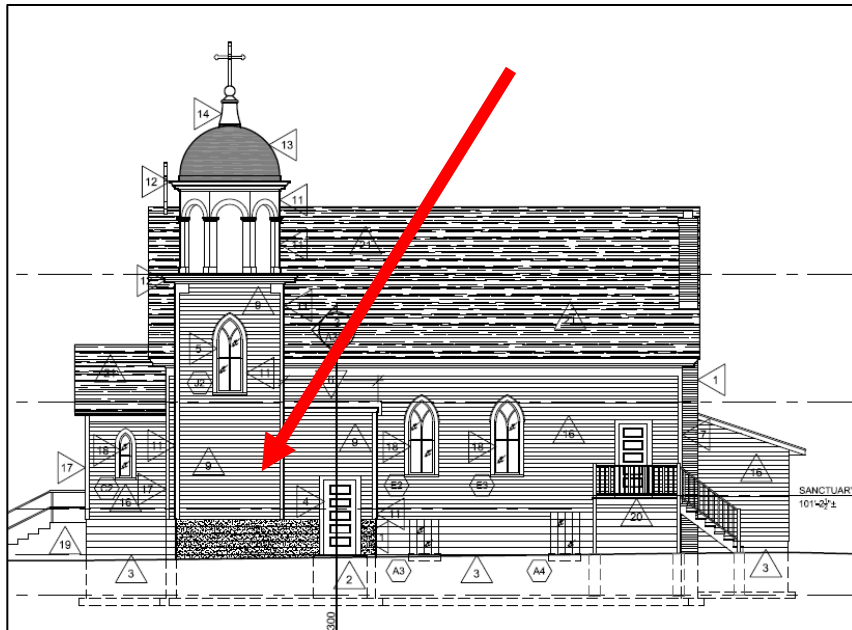
The project details includes:

West (Front) Façade

East (Alley) Elevation



South Elevation



Windows

The proposed windows on bell tower and breezeway are metal clad double hung windows. They are designed to match the windows on the existing church. (See south and west facades)

### Roof

The roof pitch on the breezeway/foyer is different from existing building. The roof will consist of asphalt shingles matches the existing building.

### Siding

The base around the proposed breezeway/foyer and bell tower consists of rock faced concrete masonry unit (CMU) to mimic the base around the existing building in shape and texture. The siding of the proposed breezeway/foyer and bell tower consists of pre-finished fiber cement siding. This product matches the visual appearance of the existing wood clapboard siding of the existing building.

### Design

Consists of a fairly narrow breezeway/foyer setback from the front of the existing building and connects to a simple bell tower design which is also setback from the front of the existing building.

## **SEE ATTACHED PLANS FOR MORE INFORMATION**

### **ANALYSIS:**

Staff attempts to apply best practices that should be used when restoring historic buildings, including reference to the Secretary of Interior's Standards for Rehabilitation.

The overall design of the proposed addition succeeds in complimenting the existing Gothic Revival structure. Best practices when designing additions to historic structures recommend that they compliment, but still appear as modern. It is recommended that additions are separated by a narrow breezeway type element and setback from the front of the historic structure, which the proposed design is. The addition still includes architectural elements that reflect the historic style of the church through its window design and exterior materials.

### **FINDING:**

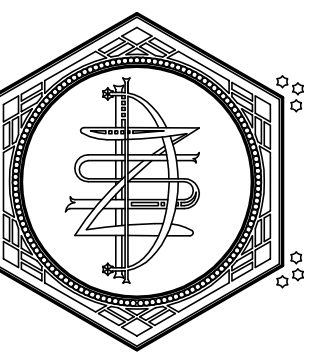
The proposed addition is appropriate to the primary historic building.

### **RECOMMENDED ACTION BY STAFF:**

This Certificate of Appropriateness is recommended for approval.

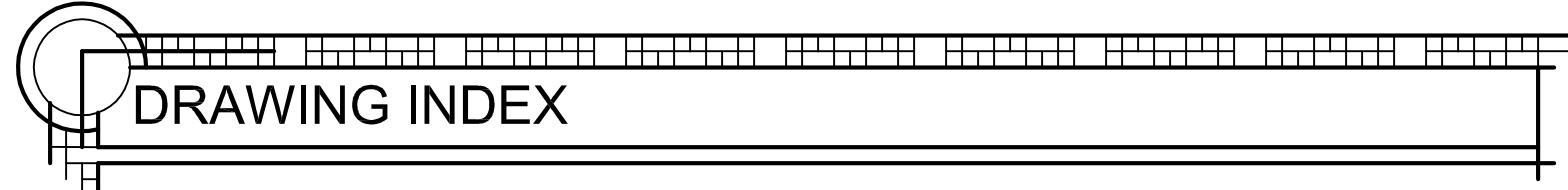
# A PROJECT FOR ST. ELIAS ORTHODOX CHURCH: BELL TOWER ADDITION AND ACCESSIBILITY UPGRADES

716 COPELAND AVENUE  
LA CROSSE, WISCONSIN



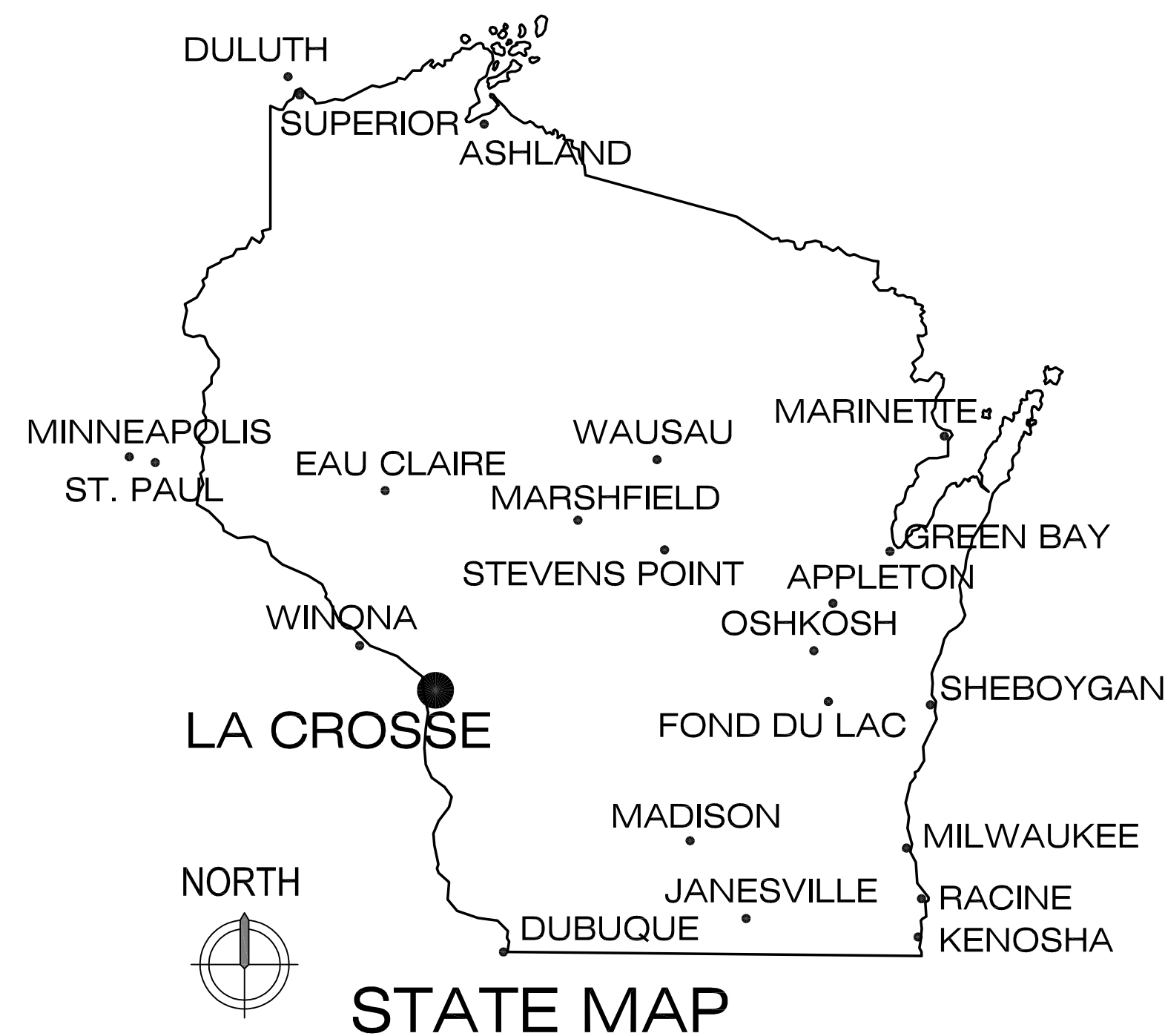
ZETTLER DESIGN STUDIO  
224 Van Ness Street N.  
West Salem, WI 54669  
P: (608) 844-1208  
E: MZettler0916@gmail.com

ZDS PROJECT NO. 21004B  
ISSUE DATE: APRIL 2024



**ARCHITECTURAL SHEET SET**

- A001 - COVER SHEET & CODE PLANS
- A090 - BSMT & 1ST FLOOR REMOVAL PLANS, PHOTO DETAILS
- A100 - BASEMENT, FIRST FLOOR, & TOWER PLANS
- A110 - BASEMENT & FIRST FLOOR REFLECTED CEILING PLANS
- A120 - ROOF-SITE PLAN, RM FINISH SCHEDULE & WALL TYPES
- A200 - BUILDING & INTERIOR ELEVATIONS
- A300 - BUILDING SECTIONS
- A600 - DOOR, FRAME, WINDOW, TRIM TYPES & SCHEDULES



DESIGN CODE:	2015 (IBC) INTERNATIONAL BUILDING CODE
BUILDING HEIGHT:	1 STORY A-3 - ACTUAL IS 1 STORIES ABOVE GRADE PLANE W/ BASEMENT: 40' MAX. HEIGHT
BUILDING AREA:	PER FLOOR MAXIMUM: 6,000 SF BASEMENT GSF: 1,681 SF 1ST FLOOR GSF: 1,613 SF TOTAL: 3,294 SF
PROJECT BUILDING AREA:	TOTAL WORK AREA: 849 SF (25.8%) TOTAL VOLUME WORK AREA: 9,964 CU. FT.
TYPE OF CONSTRUCTION:	V-B, NON-SEPARATED USES
AUTOMATIC SPRINKLER SYSTEM:	NONE
OCCUPANCY:	A-3; ASSEMBLY - CHURCH
TABLE 504.3 ALLOWABLE HEIGHT:	OCCUPANCIES A, B, M, S: NS III-B CONSTRUCTION 40' MAX. HEIGHT
TABLE 504.4 ALLOWABLE STORIES: (V-B CONSTRUCTION)	OCCUPANCY: A-3 (NS) - 1 STORY
TABLE 506.2 ALLOWABLE AREA: (V-B CONSTRUCTION)	OCCUPANCY: A-3 (NS) - 6,000 SF
TABLE 601 BUILDING ELEMENT FIRE RESISTANCE:	STRUCTURAL FRAME = 0 HRS EXT/INT BEARING WALLS = 0 HRS/0 HRS NONBEARING WALLS (INT) = 0 HRS FLOOR CONSTRUCTION = 0 HRS ROOF CONSTRUCTION = 0 HRS
SECTION 707.5: FIRE BARRIERS	FIRE BARRIERS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE AND SHALL BE SECURELY ATTACHED THERETO. SUCH FIRE BARRIERS SHALL BE CONTINUOUS THROUGH CONCEALED SPACES, SUCH AS SPACE ABOVE A SUSPENDED CEILING.
SECTION 705.5.1:	SUPPORTING CONSTRUCTION FOR A FIRE BARRIER REQUIRED BY TABLE 509 IN BUILDINGS OF TYPE IIB, IIB, AND VB CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE RESISTANCE RATING OF THE FIRE BARRIER SUPPORTED. HOLLOW VERTICAL SPACES WITHIN A FIRE BARRIER SHALL BE FIRE BLOCKED IN ACCORDANCE WITH 716.2 AT EVERY FLOOR LEVEL.
SECTION 708.3: FIRE PARTITIONS	FIRE PARTITIONS SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN ONE HOUR.
SECTION 713.4: SHAFT ENCLOSURES	SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE AND NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORIES...
SECTION 903.2.1.3: FIRE SPRINKLERS	AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED FOR FIRE AREAS CONTAINING GROUP A-3 OCCUPANCIES AND INTERVENING FLOORS OF THE BUILDING WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS: 1. THE FIRE AREA EXCEEDS 12,000 SQUARE FEET. 2. THE FIRE AREA HAS AN OCCUPANT LOAD OF 300 OR MORE. 3. NONE OF THE FLOORS THE FIRE AREA IS LOCATED ARE ON THE LEVEL OF EXIT DISCHARGE. NONE OF THE THREE CONDITIONS EXIST IN THE PROPOSED PROJECT; THEREFORE FIRE SPRINKLERS ARE NOT REQUIRED AT THIS TIME.
SECTION 1003.5: CHANGES IN ELEVATION	WHERE CHANGES IN ELEVATION OF LESS THAN 12' EXIST IN THE MEANS OF EGRESS, SLOPED SURFACES SHALL BE USED. WHERE THE SLOPE IS GREATER THAN 1:20 HORIZONTAL, RAMP COMPLIING WITH 1010 SHALL BE USED. WHERE THE DIFFERENCE IN ELEVATION IS 6" OR LESS, THE RAMP SHALL BE EQUIPPED WITH EITHER HANDRAILS OR FLOOR FINISH MATERIALS THAT CONTRAST WITH ADJACENT FLOOR FINISH MATERIALS.
TABLE 1004.1.1: OCCUPANCY VALUES	ASSEMBLY TABLES & CHAIRS: 15 SF NET ASSEMBLY CHAIRS ONLY: 7 SF NET ASSEMBLY STANDING: 5 SF NET STAGES/PLATFORMS: 15 SF NET
SECTION 1005.3.1: EGRESS WIDTHS-STAIRWAYS	THE CAPACITY, IN INCHES, OF MEANS OF EGRESS STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH STAIRWAYS BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.3 INCHES PER OCCUPANT. WHERE STAIRWAYS SERVE MORE THAN 1 STORY, ONLY THE OCCUPANT LOAD OF EACH STORY CONSIDERED SHALL BE USED IN CALCULATING THE REQUIRED CAPACITY SERVING THAT STORY.
SECTION 1005.3.2: EGRESS WIDTHS	THE CAPACITY, IN INCHES, OF MEANS OF EGRESS COMPONENTS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH COMPONENT BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.2 INCHES PER OCCUPANT.

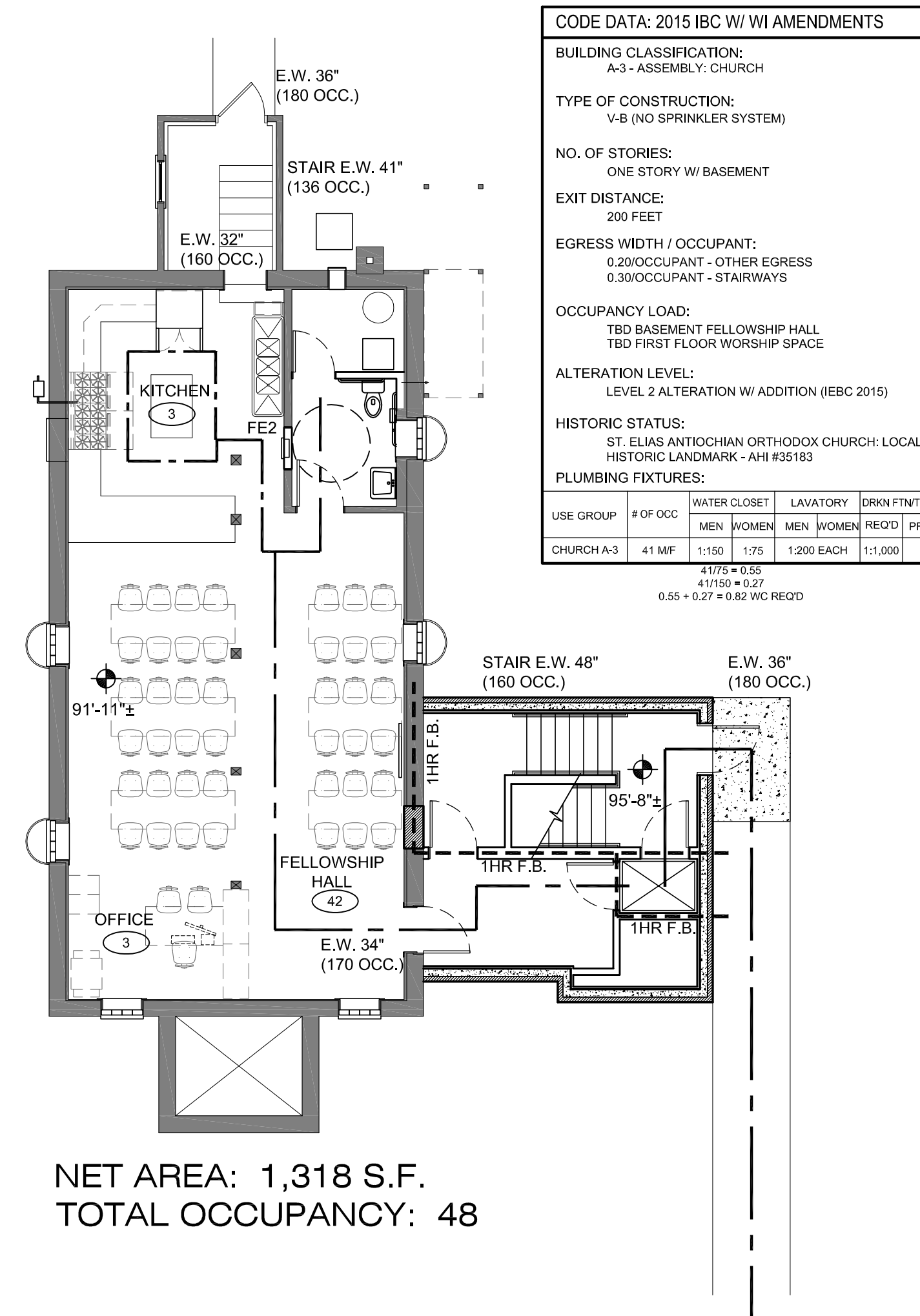


TABLE 1007.1.1: SEPARATION OF TWO EXITS	WHERE TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STAIRWAYS OR RAMPS, OR ANY COMBINATION THEREOF, ARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN THEM.
TABLE 1009.1.1: ACCESSIBLE MEANS OF EGRESS	ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. WHERE MORE THAN ONE MEANS OF EGRESS ARE REQUIRED BY 1006.2 OR 1006.3 FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY NOT LESS THAN TWO ACCESSIBLE MEANS OF EGRESS.
EXCEPTION 1:	ACCESSIBLE MEANS OF EGRESS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS.
TABLE 1011.2: STAIR WIDTH	THE REQUIRED CAPACITY OF STAIRWAYS SHALL BE DETERMINED AS SPECIFIED IN 1005.1, BUT THE MINIMUM WIDTH SHALL BE NOT LESS THAN 44 INCHES.
TABLE 1011.3: HEADROOM	STAIRWAYS SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY LANDING.
TABLE 1011.5.4: DIMENSIONAL UNIFORMITY	STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR DEPTH SHALL NOT EXCEED 3/8" IN ANY FLIGHT OF STAIRS. THE GREATEST WINDER TREAD DEPTH AT THE WALKLINE WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

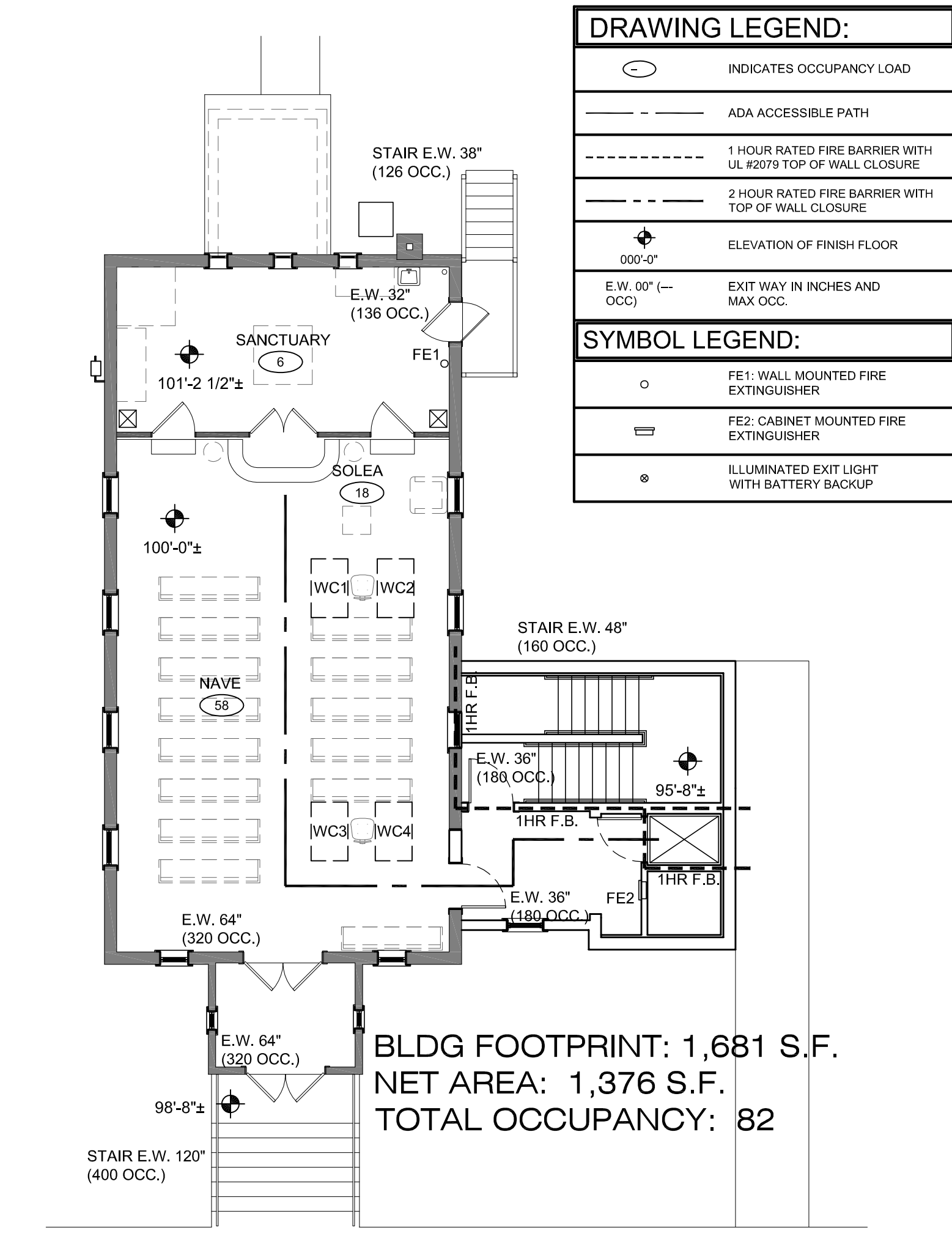


TABLE 1011.11: HANDRAILS	STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE AND SHALL COMPLY WITH 1014...
TABLE 1014.2: HANDRAIL HEIGHT	HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
TABLE 1014.6: HANDRAIL EXTENSIONS	HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT FLIGHT OF STAIRS OR RAMP RUN. WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAILS SHALL EXTEND HORIZONTALLY NOT LESS THAN 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER. AT RAMPS WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN RUNS, THE HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING 12 INCHES MINIMUM BEYOND THE TOP AND BOTTOM RAMP RUNS. THE EXTENSIONS OF HANDRAILS SHALL BE IN THE SAME DIRECTION OF THE FLIGHTS OF STAIRS AT STAIRWAYS AND RAMP RUNS AT RAMPS.
TABLE 1017.2: EXIT ACCESS TRAVEL DISTANCE	A, B, M, R, S-1 OCCUPANCY - UN-SPRINKLERED 200'
TABLE 1020.2: CORRIDOR WIDTH:	CORRIDOR WIDTH SHALL BE 44" MINIMUM UNLESS THE OCCUPANT LOAD IS LESS THAN 50 IN WHICH CASE CORRIDOR WIDTH SHALL BE 36" MINIMUM.
SECTION 1104.1: ACCESSIBLE ROUTE	AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING, ACCESSIBLE PASSENGER LOADING ZONES AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE.
SECTION 1104.2: ACCESSIBLE ROUTE	AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDING, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.

**DRAWING LEGEND:**

- INDICATES OCCUPANCY LOAD
- ADA ACCESSIBLE PATH
- 1 HOUR RATED FIRE BARRIER WITH UL #2079 TOP OF WALL CLOSURE
- 2 HOUR RATED FIRE BARRIER WITH TOP OF WALL CLOSURE
- 000'-0" ELEVATION OF FINISH FLOOR
- E.W. 00" (- OCC) EXIT WAY IN INCHES AND MAX OCC.

**SYMBOL LEGEND:**

- FE1: WALL MOUNTED FIRE EXTINGUISHER
- FE2: CABINET MOUNTED FIRE EXTINGUISHER
- ⊙ ILLUMINATED EXIT LIGHT WITH BATTERY BACKUP

PROJECT: A PROJECT FOR ST. ELIAS ORTHODOX CHURCH  
BELL TOWER ADDITION & ACCESSIBILITY UPGRADES  
706 Copeland Avenue  
La Crosse, WI 54603  
SHEET TITLE: COVER & CODE PLANS

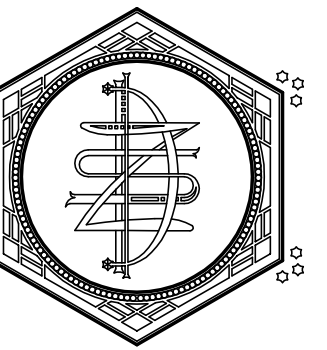
PROJECT NUMBER: 21004B  
CHECKED BY: M. ZETTLER  
DRAWN BY: M. ZETTLER  
DATE: 03/26/2024

NOT FOR CONSTRUCTION

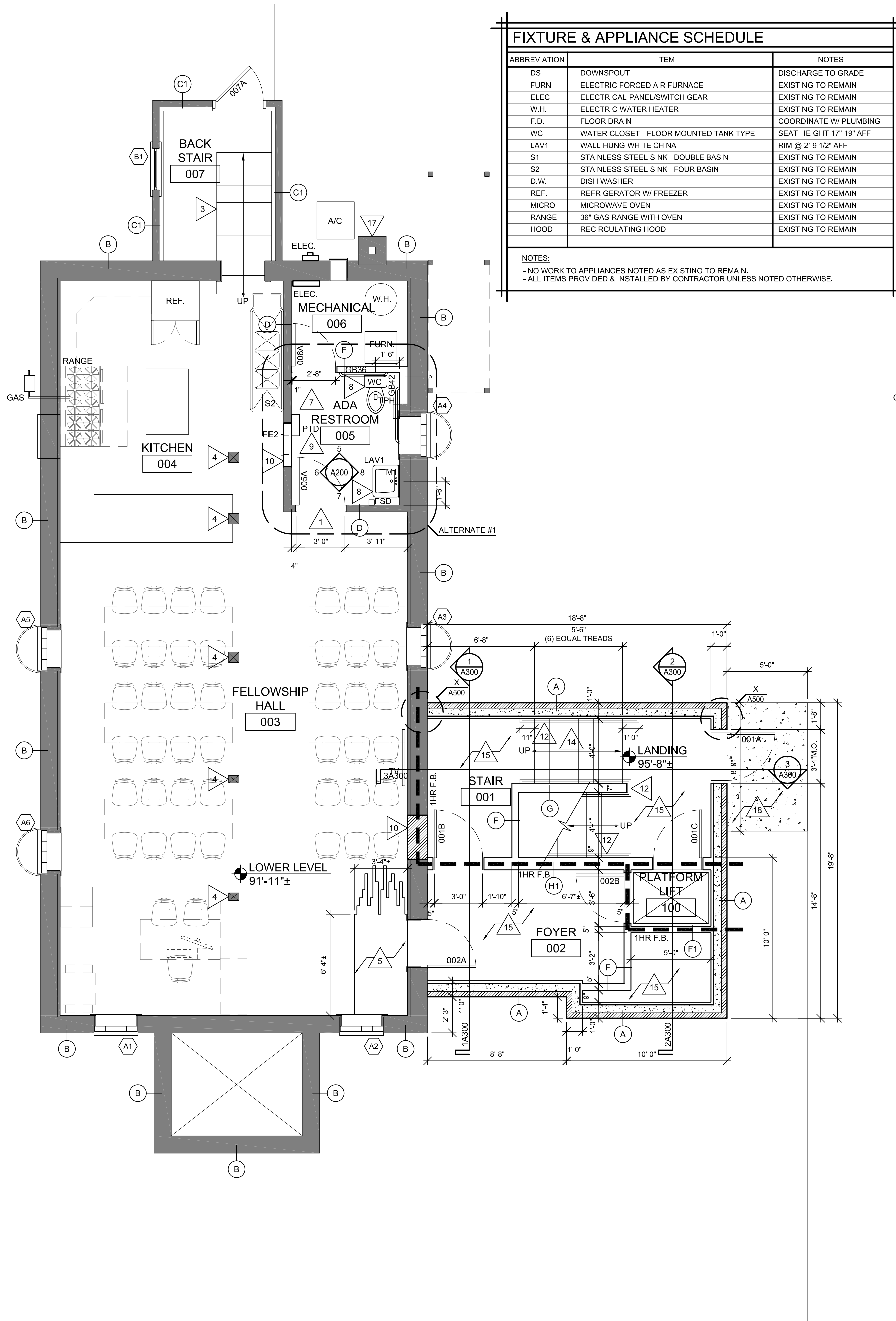
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SHEET NO.: A001





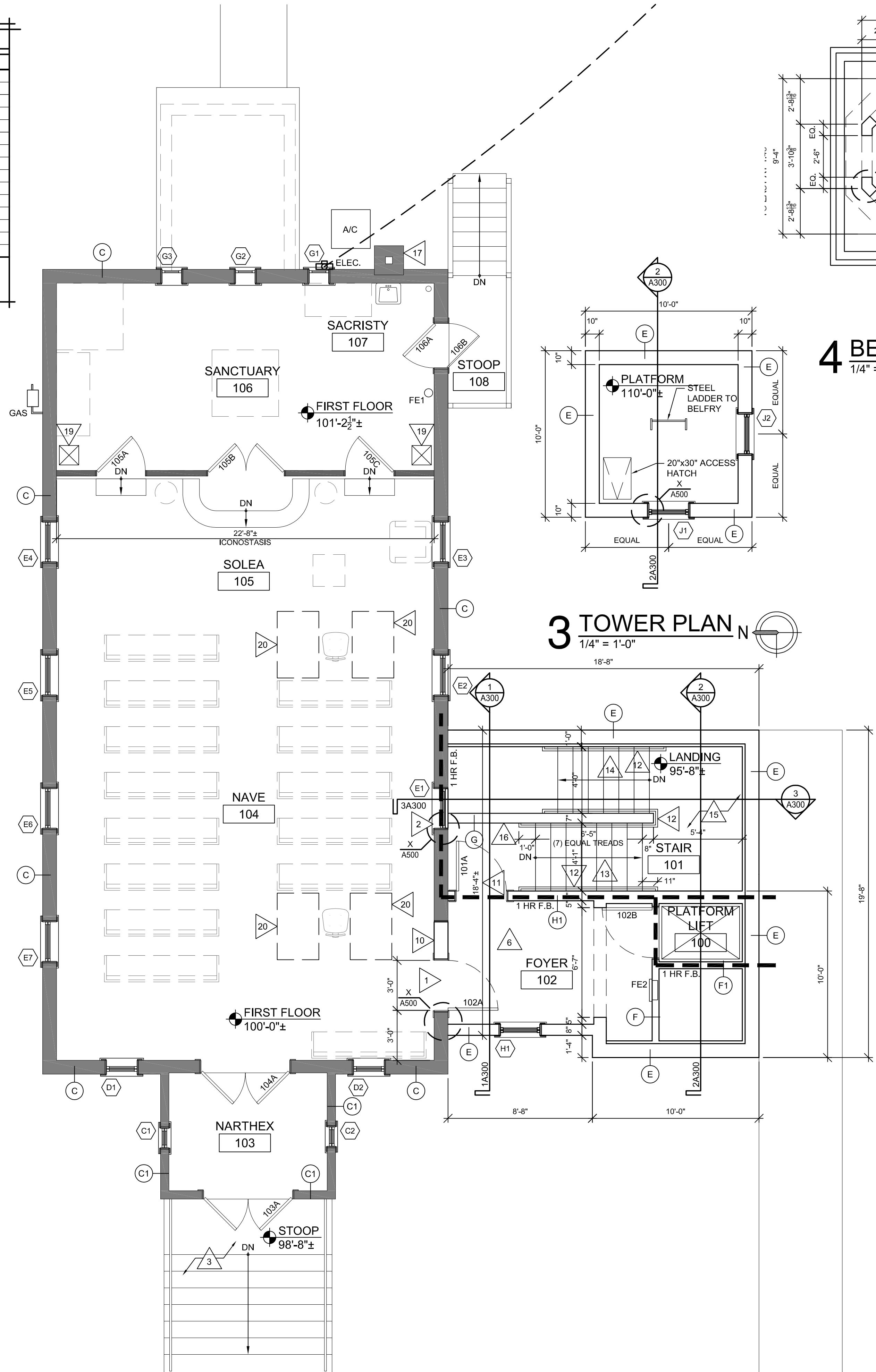
ZETTLER DESIGN STUDIO  
224 Van Ness Street N.  
West Salem, WI 54669  
P: (608) 844-1208  
E: MZettler0916@gmail.com



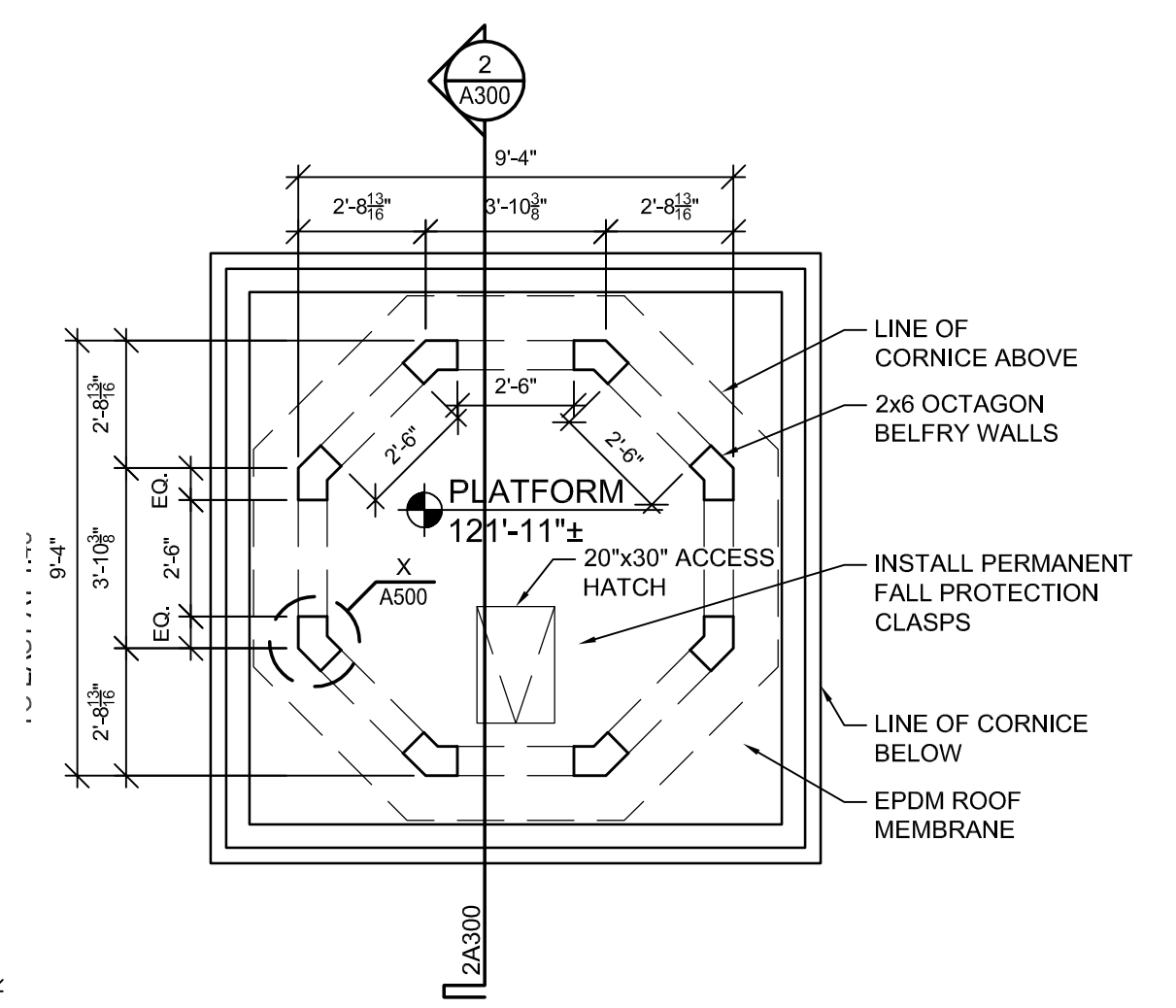
**1 BASEMENT PLAN**  
1/4" = 1'-0" N

ABBREVIATION	ITEM	NOTES
DS	DOWNSPOUT	DISCHARGE TO GRADE
FURN	ELECTRIC FORCED AIR FURNACE	EXISTING TO REMAIN
ELEC	ELECTRICAL PANEL/SWITCH GEAR	EXISTING TO REMAIN
W.H.	ELECTRIC WATER HEATER	EXISTING TO REMAIN
F.D.	FLOOR DRAIN	COORDINATE W/ PLUMBING
WC	WATER CLOSET - FLOOR MOUNTED TANK TYPE	SEAT HEIGHT 17'-19" AFF
LAV1	WALL HUNG WHITE CHINA	RIM @ 2'-9 1/2" AFF
S1	STAINLESS STEEL SINK - DOUBLE BASIN	EXISTING TO REMAIN
S2	STAINLESS STEEL SINK - FOUR BASIN	EXISTING TO REMAIN
D.W.	DISH WASHER	EXISTING TO REMAIN
REF.	REFRIGERATOR W/ FREEZER	EXISTING TO REMAIN
MICRO	MICROWAVE OVEN	EXISTING TO REMAIN
RANGE	36" GAS RANGE WITH OVEN	EXISTING TO REMAIN
HOOD	RECIRCULATING HOOD	EXISTING TO REMAIN

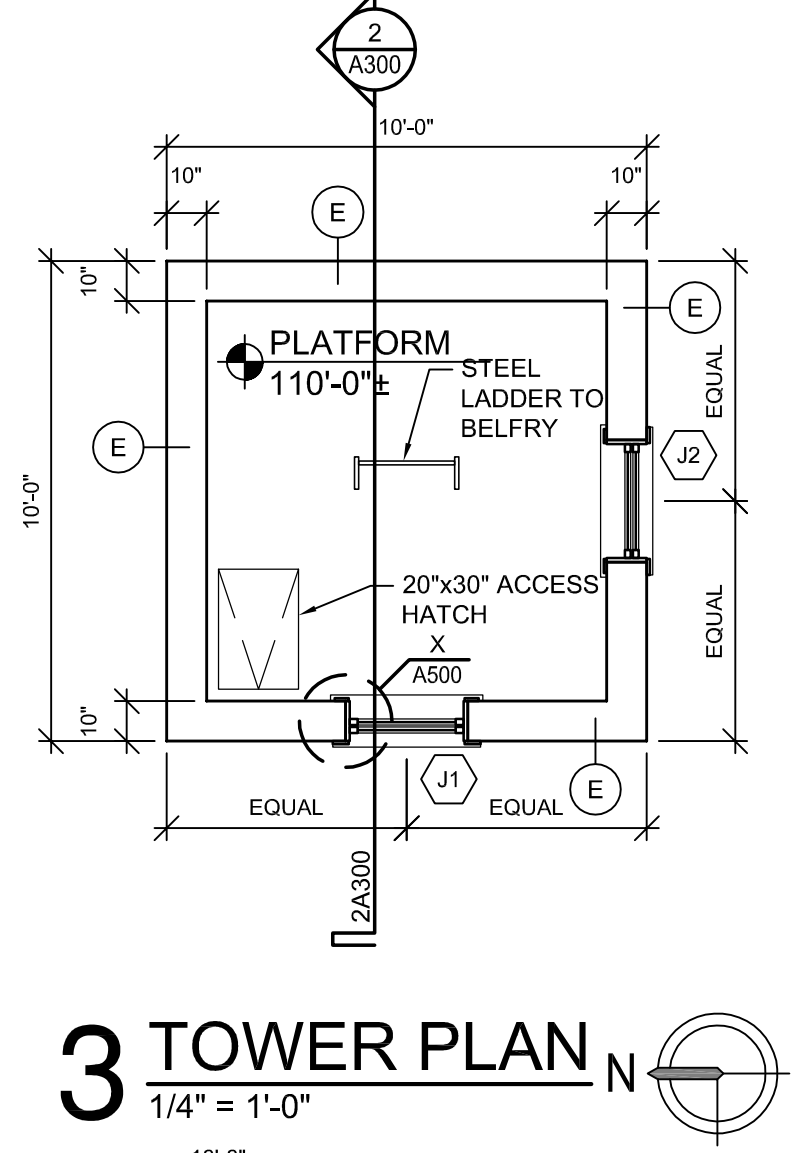
NOTES:  
- NO WORK TO APPLIANCES NOTED AS EXISTING TO REMAIN.  
- ALL ITEMS PROVIDED & INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.



**2 FIRST FLOOR PLAN**  
1/4" = 1'-0" N



**4 BELFRY PLAN**  
1/4" = 1'-0" N



**3 TOWER PLAN**  
1/4" = 1'-0" N

- GENERAL NOTES:**
- (X) SYMBOL INDICATES WALL TYPE
  - VERIFY SIZE AND LOCATIONS OF ALL M-E-P OPENINGS. GENERAL CONTRACTOR TO SEAL LOUVER PERIMETER AND PAINT - TYPICAL.
  - SEE A001 FOR CODE PLANS.
  - GALVANIZE AND FINISH PAINT ALL EXPOSED EXTERIOR STEEL.
  - EACH SUB-CONTRACTOR SHALL PROVIDE CONC EQUIPMENT PADS/CURBS AS REQUIRED FOR MECH/ELECTRICAL EQUIP. VERIFY SIZE/PROFILE/LOCATION W/ MECH/ELEC.
  - N.I.C. (NOT IN CONTRACT) ITEMS BY OWNER: APPLIANCES AND FURNITURE.
  - FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK. NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN ACTUAL AND PLAN DIMENSIONS.
  - DIMENSIONS ARE TO FINISHED SURFACES U.M.O.
  - FLOORING MATERIAL SHALL BE CONTINUOUS UNDER CASEWORK & FURNISHINGS.
  - SEE A200 FOR ABBREVIATION LEGEND.

- LEGEND:**
- 1 HR FIRE RATED WALL W/ TOP OF WALL CLOSURE
  - 2 HR FIRE RATED WALL W/ TOP OF WALL CLOSURE
  - FE1 WALL MOUNTED FIRE EXTINGUISHER
  - FE2 CABINET MOUNTED FIRE EXTINGUISHER

- KEY NOTES:**
- NEW OPENING - IN EXISTING WALL
  - EXISTING WINDOW TO REMAIN. INSTALL 1 HOUR RATED ASSEMBLY ON ADDITION SIDE AND INSTALL LED LIGHTS TO ILLUMINATE WINDOW
  - EXISTING CONCRETE STAIRS TO REMAIN
  - EXISTING COLUMN TO REMAIN - NO WORK
  - POUR NEW 4" CONC. SLAB RECESSED TO ALLOW FOR NEW HARDWOOD FLOOR TO BE TOOTHED IN TO EXISTING ADJACENT HARDWOOD FLOOR
  - NEW HARDWOOD FLOOR - STAIN AND TOP COATS (TYPICAL)
  - PATCH IN SAW CUT FLOOR WITH NEW CONCRETE SLAB RECESS TO ALLOW FOR NEW TILE FLOORING
  - NEW PLUMBING FIXTURE
  - NEW CERAMIC TILE FLOOR WITH 4" TILE BASE
  - INFILL EXISTING OPENING TO MATCH ADJACENT MATERIALS
  - REMOVE WOOD CLAPBOARD SIDING ON INTERIOR OF NEW ADDITION. ADD 5/8" TYPE-X GYPSUM BOARD OVER EXISTING SHEATHING
  - NEW 1 1/2" METAL HANDRAILS W/ 12" EXTENSIONS @ TOP AND 11" EXTENSIONS @ BOTTOM. RETURN TO WALLS & MOUNT 36" AFF. PAINT
  - NEW WOOD FRAMED STAIR WITH HARDWOOD TREADS AND BRONZE NOSING
  - NEW CONCRETE STAIR
  - NEW SEALED CONCRETE SLAB
  - NEW PARTIAL HEIGHT WALL WITH STAINED WOOD CAP. SEE A300 FOR ELEVATION
  - REPAIR CHIMNEY. CLEAN AND TUCKPOINT WITH COLOR MATCHED TYPE 'O' MORTAR
  - NEW CONCRETE FROST STOOP
  - EXISTING DUCTWORK TO REMAIN
  - WHEEL CHAIR SPACE WITH ASSISTANT SEATING (CHAIR)

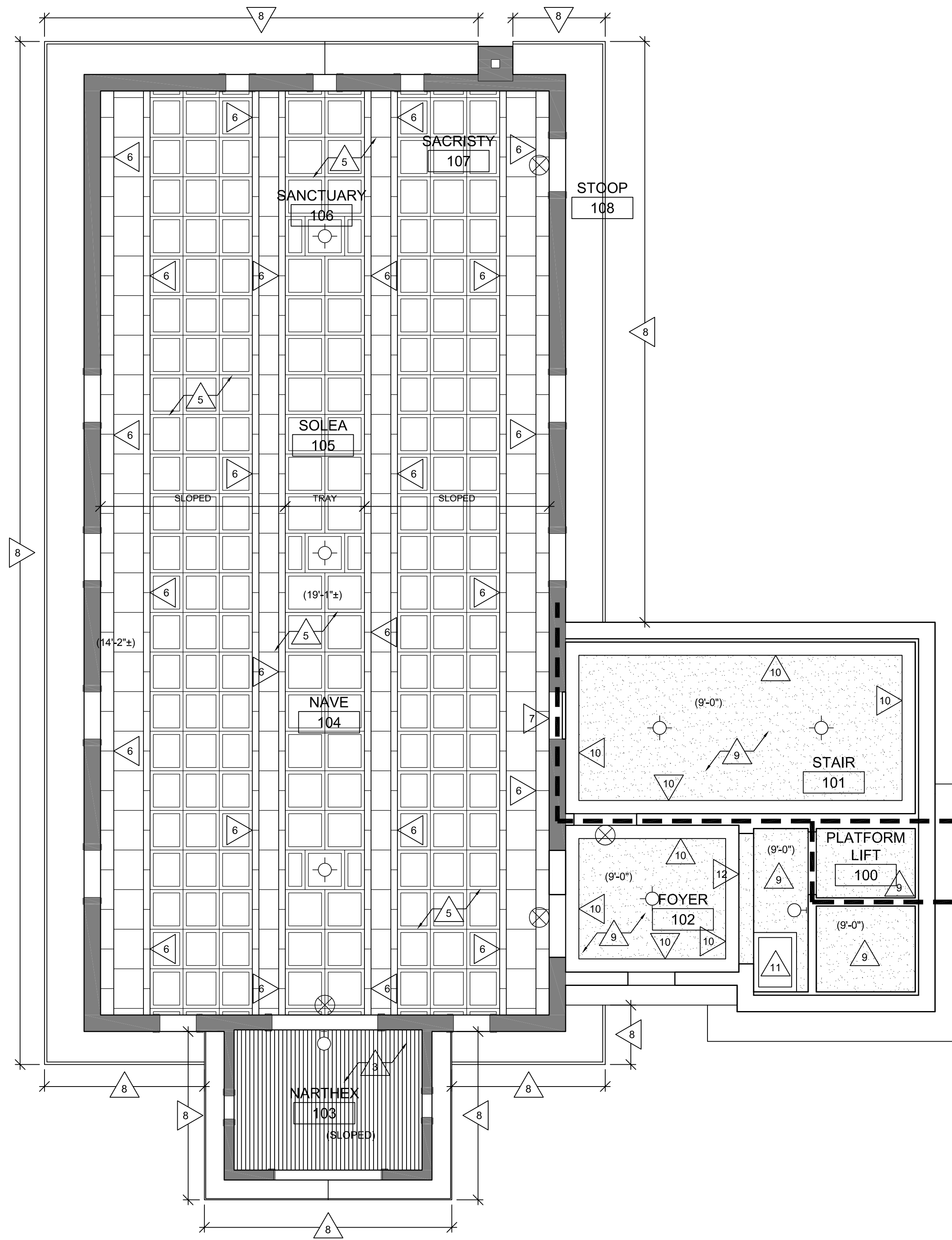
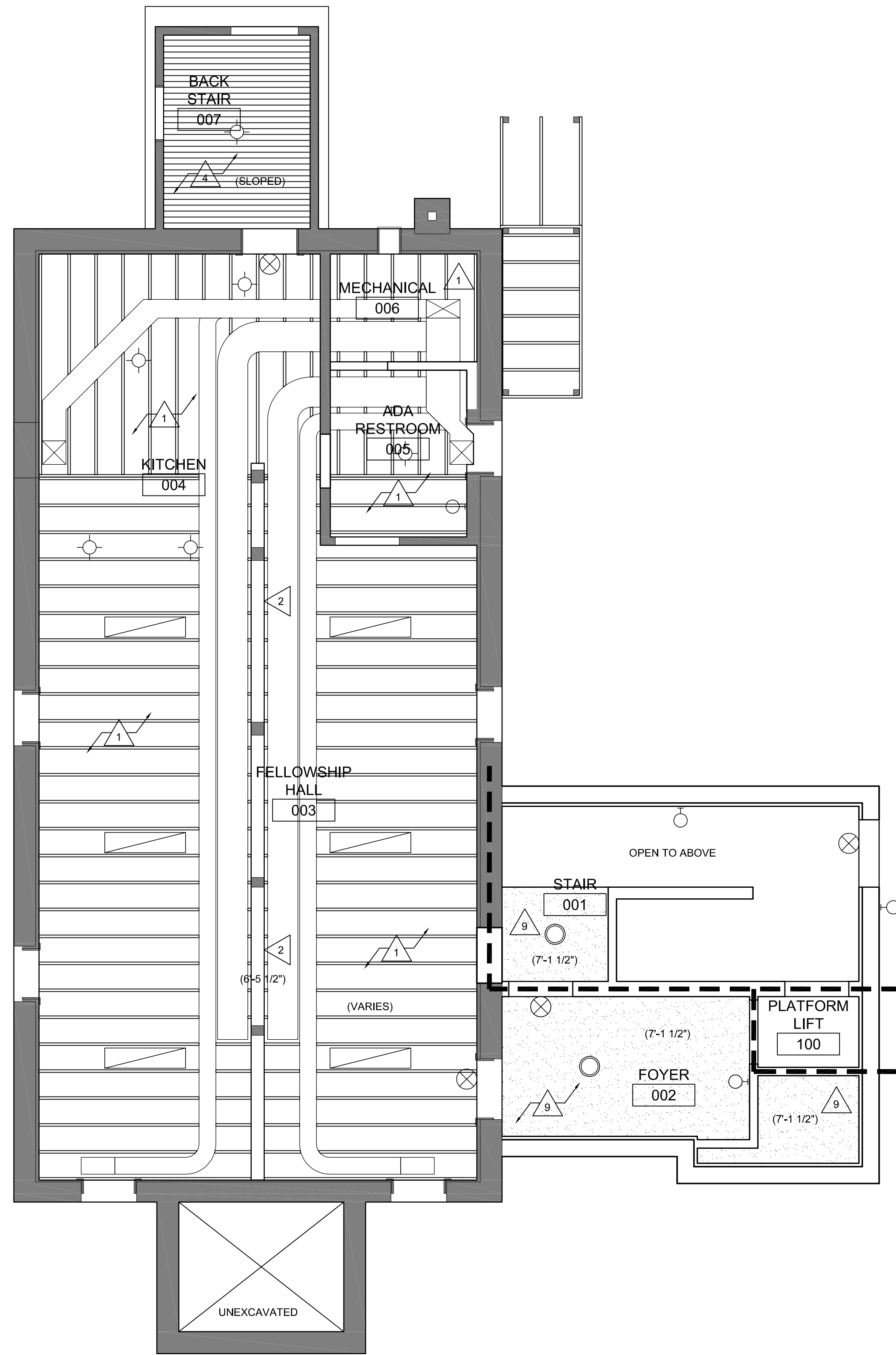
PROJECT: ST. ELIAS ORTHODOX CHURCH  
BELL TOWER ADDITION & ACCESSIBILITY UPGRADES  
716 Copeland Avenue  
La Crosse, WI 54603  
SHEET TITLE: BASEMENT FLOOR PLAN & WALL TYPES

PROJECT NUMBER: 21004B  
CHECKED BY: M. ZETTLER  
DRAWN BY: M. ZETTLER  
DATE: 03/26/2024

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SHEET NO.: **A100**



**1 LOWER LEVEL REF. CLG. PLAN**  
1/4" = 1'-0" N

**2 FIRST FLOOR REF. CLG. PLAN**  
1/4" = 1'-0" N

**CEILING PLAN GEN. NOTES:**

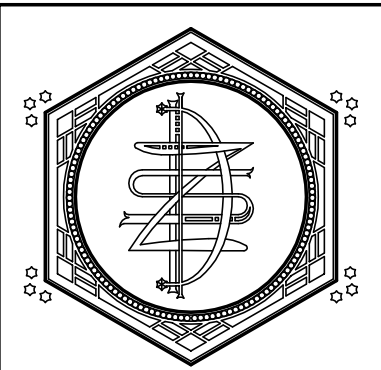
- A. ALL NEW EXPOSED GYPSUM BOARD SHALL HAVE LEVEL 4 FINISH & BE PAINTED.
- B. VERIFY SIZE & LOCATION OF ALL MECHANICAL CEILING/FLOOR OPENINGS, GENERAL CONTRACTOR TO SEAL LOUVER PERIMETER & PAINT - TYPICAL.
- C. G.C. SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK & NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN ACTUAL AND CALLED DIMS.
- D. ELECTRICAL SCHEMATIC IS FOR REFERENCE ONLY, VERIFY ACTUAL REQUIREMENTS WITH ELECTRICAL DRAWINGS, BY OTHERS.
- E. ALL EXPOSED PORTIONS OF NEW GYPSUM BOARD CEILING SHALL BE PAINTED.
- F. CEILING HEIGHTS ARE INDICATED BY (X-X') ABOVE FINISHED FLOOR.

**SYMBOL LEGEND:**

- GYPSUM BOARD OR PLASTER, PAINT
- EXISTING WOOD CAR SIDING
- PRESSED TIN CEILING, PAINT
- EXISTING WOOD BEADBOARD
- NEW CEILING FAN, HARDWIRE TO A SWITCH
- SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, SEE ELECTRICAL
- EMERGENCY EGRESS LIGHT FIXTURE, SEE ELECTRICAL
- PENDANT LIGHT FIXTURE, SEE ELECTRICAL
- WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
- RECESSED CAN LIGHT FIXTURE, SEE ELECTRICAL
- TRACK LIGHTING, SEE ELECTRICAL
- 1 HR FIRE RATED WALL W/ TOP OF WALL CLOSURE
- 2 HR FIRE RATED WALL W/ TOP OF WALL CLOSURE

**CEILING PLAN KEY NOTES:**

- 1. EXISTING EXPOSED STRUCTURE
- 2. EXISTING BEAM TO REMAIN
- 3. PAINTED WOOD BEADBOARD CEILING TO REMAIN
- 4. STAINED CAR SIDING CEILING TO REMAIN
- 5. EXISTING TIN CEILING PANELS TO REMAIN
- 6. EXISTING TIN CROWN MOULDING/ FILLER STRIPS TO REMAIN
- 7. LIGHTS MOUNTED TO BACK-LIGHT WINDOW
- 8. EXISTING WOOD SOFFIT TO REMAIN
- 9. NEW 1/2" GYPSUM BOARD CEILING, PAINT
- 10. NEW WOOD CROWN MOULDING, STAIN
- 11. NEW ATTIC SCUTTLE
- 12. NEW GYPSUM BOARD BULKHEAD



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PROJECT:  
**A PROJECT FOR ST. ELIAS ORTHODOX CHURCH  
BELL TOWER ADDITION & ACCESSIBILITY UPGRADES**  
706 Copeland Avenue  
La Crosse, WI 54603  
SHEET TITLE:  
**LOWER LEVEL & FIRST FLOOR REFLECTED CEILING PLANS**

PROJECT NUMBER:  
21004B  
CHECKED BY:  
M. ZETTLER  
DRAWN BY:  
M. ZETTLER  
DATE:  
03/26/2024

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SHEET NO.:

**A110**

# ROOM FINISH SCHEDULE

MARK	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
001	STAIR					1, 2
002	FOYER					2
003	FELLOWSHIP HALL					3
004	KITCHEN					3
005	ADA RESTROOM					3
006	MECHANICAL					
007	BACK STAIR					
100	PLATFORM LIFT					
101	STAIR					1, 2
102	FOYER					1, 2
103	NARTHEX					
104	NAVE					3
105	SOLEA					
106	SANCTUARY					
107	SACRISTY					
108	STOOP					
200	ATTIC					2
201	BELFRY					

## ADDITIONAL FINISHES

- NO ADDITIONAL FINISH REQUIRED
- Ⓟ PAINT FINISH
- Ⓢ STAIN FINISH / SEAL CONCRETE
- Ⓢ CLEAN EXISTING FINISH

## CEILING FINISHES

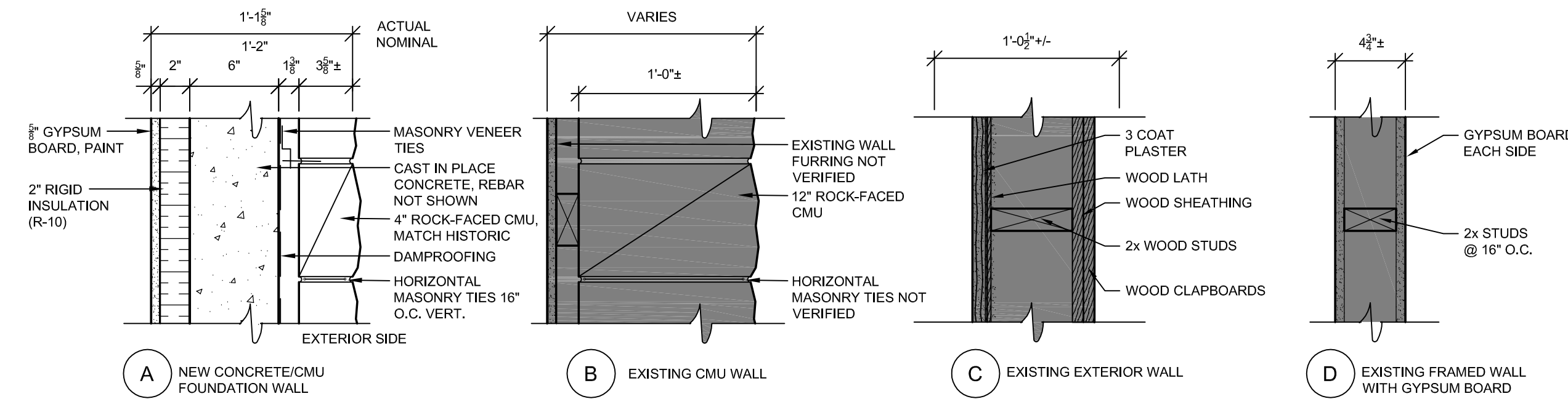
SEE REFLECTED CEILING PLANS FOR MATERIAL ORIENTATION.

## ROOM FINISH REMARKS:

- NEW WOOD CROWN MOULDING AT CEILING. STAIN.
- DRY FALL PAINT AT CEILING.
- REPAINT WALL WHERE NEW OPENING IS CREATED.

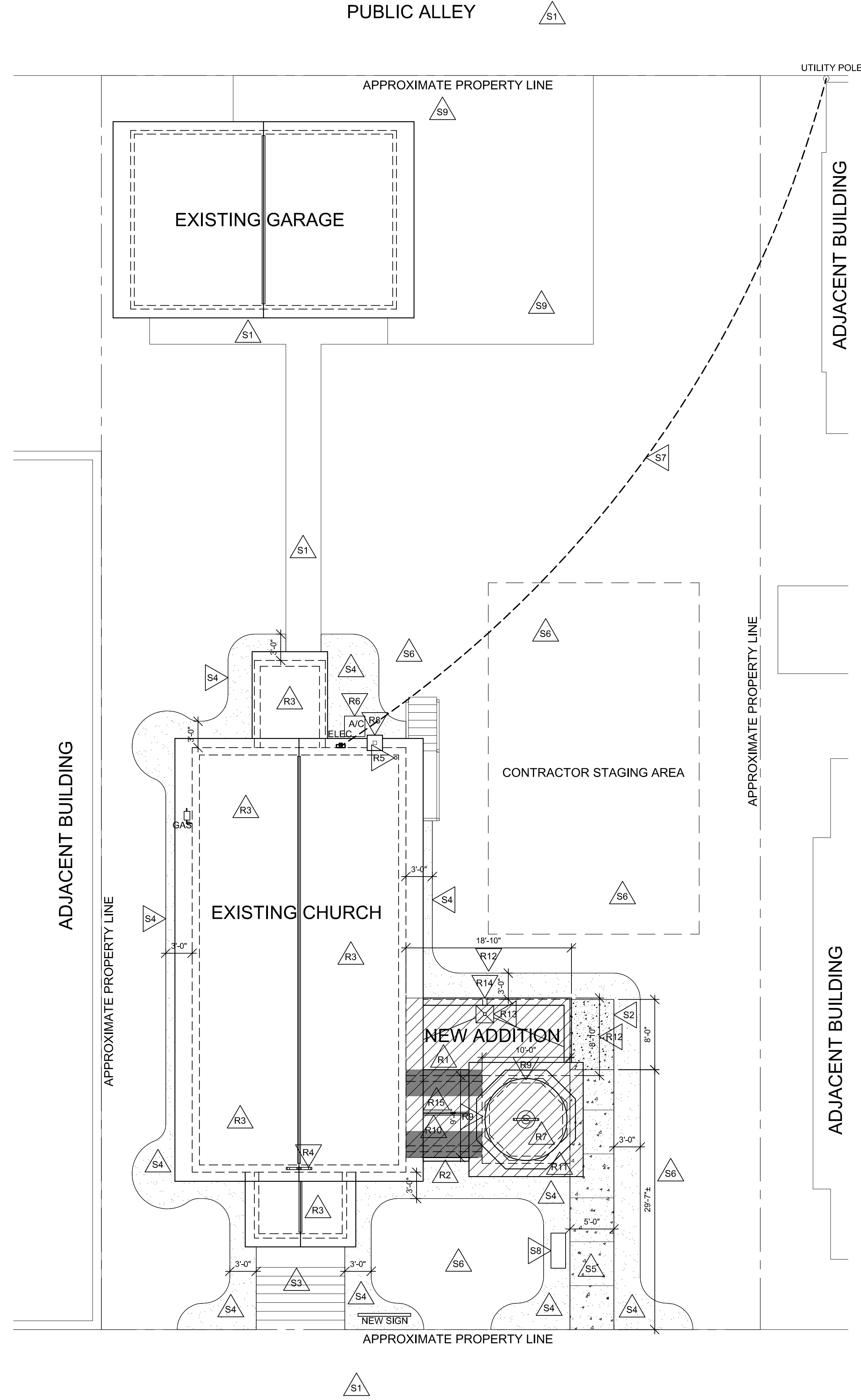
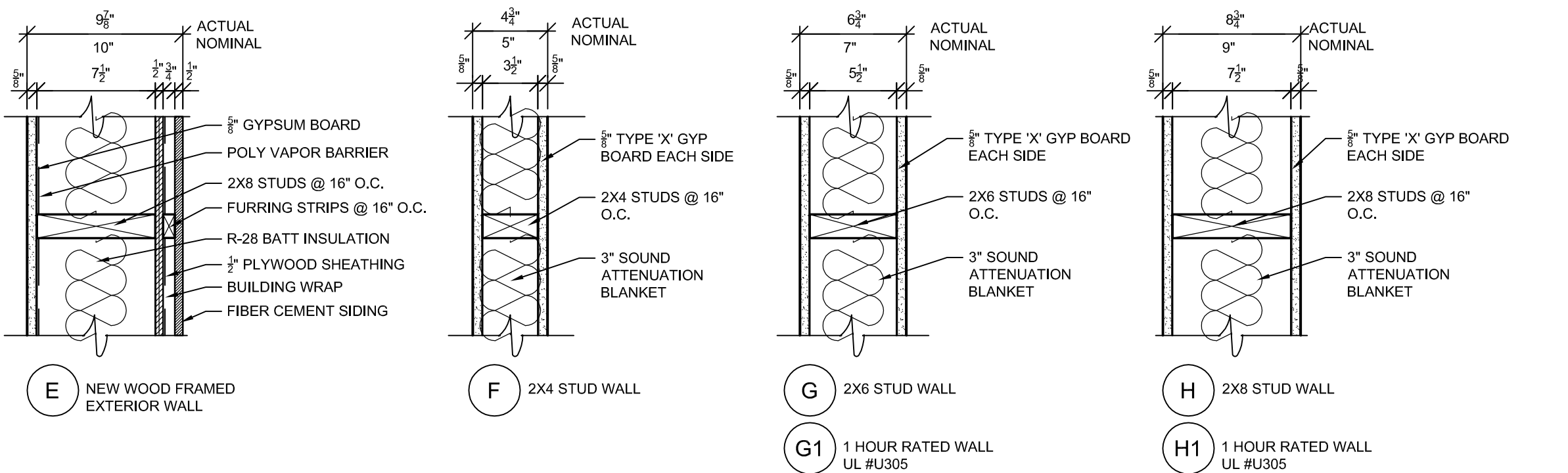
## ROOM FINISH GENERAL NOTES:

- SEE SHEETS A200 FOR INTERIOR ELEVATIONS.
- REFERENCE TO PAINT PERTAINS TO FINISH ONLY; SEE INTERIORS SHEETS FOR COLORS & SHEEN.
- TOILET ROOM WALL AND FLOOR TILE GROUT LINES SHALL ALIGN TO CONTINUE PATTERN THROUGHOUT.
- BRONZE TRANSITION STRIP TO BE APPLIED BETWEEN ALL DISSIMILAR FLOORING LOCATIONS.
- ALL FLOORING TRANSITIONS TO BE ADA COMPLIANT.
- WHERE PATCHING IS INDICATED; PAINT THE ENTIRE EXISTING WALL/CEILING.
- ALL TILE SHALL HAVE A SUBSTRATE OF 1/2" CEMENT BOARD.
- ALL WET LOCATIONS SUCH AS RESTROOMS, BATHROOMS & KITCHENS SHALL HAVE MOISTURE RESISTANT GYPSUM BOARD INSTALLED.
- FINISH ALL EXPOSED GYPSUM BOARD TO A LEVEL 4 FINISH. ALL PLASTER PATCHING SHALL HAVE A FINISH TO MATCH THE ADJACENT PLASTER - LIGHT DIMPLE (SAND) FINISH.



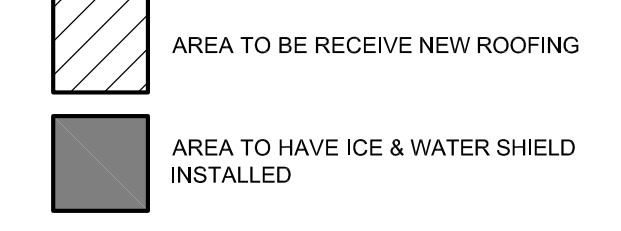
## 2 WALL TYPES

1 1/2" = 1'-0"



## ROOF PLAN GENERAL NOTES:

- VERIFY CONDITION OF ROOF DECK, STRUCTURE, FLASHING, ETC. REPORT CONDITION TO ARCHITECT & OWNER PRIOR TO PROCEEDING WITH REROOFING.
- GENERAL CONTRACTOR TO PROVIDE EQUIPMENT PADS & CURBS AS REQUIRED FOR M/E/P WORK. VERIFY SIZES w/ SUBCONTRACTORS.
- VERIFY SIZE & LOCATION OF ALL M/E/P OPENINGS. SEAL ALL PENETRATIONS & LOUVER PERIMETERS.
- SEE STRUCTURAL ON PLANS FOR RAFTER/JOIST SCHEDULE AND DETAILS.
- INSTALL TWO (2) LAYERS OF 30 LB ROOFING FELT ON ALL AREAS OF ROOF DECKING NOT RECEIVING ICE & WATER SHIELD OR NEW EPDM.

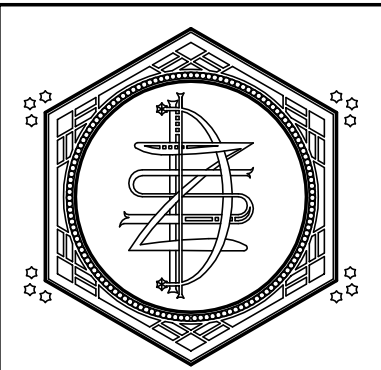


## ROOF/SITE PLAN KEY NOTES:

- NEW EPDM ROOF SYSTEM ON EXISTING ROOF STRUCTURE. (2) LAYERS POLYISO INSULATION (R-30 MIN) STAGGER JOINTS. SLOPE TO SCUPPER, 20 YEAR WARRANTY.
  - NEW GUTTER & DOWNSPOUTS W/ HEAT TRACE
  - EXISTING ASPHALT SHINGLE ROOF TO REMAIN
  - EXISTING CROSS TO REMAIN
  - EXISTING PLUMBING VENT, INSPECT PIPE BOOT & REPORT CONDITION TO OWNER
  - NEW CONDENSING UNIT FOR A/C
  - NEW FIBERGLASS DOME WITH CROSS FINIAL, PAINT METALLIC GOLD
  - STABILIZE CHIMNEY AS REQUIRED
  - NEW FLASHING AT TOWER, TURN FLASHING UP 8" MINIMUM
  - NEW CONTINUOUS RIDGE VENT
  - NEW EPDM ROOF WITH BUILT-IN GUTTER @ BELFRY DECK
  - NEW METAL WALL COPING
  - NEW ROOF DRAIN WITH 2x2' METAL SUMP PAN, SEE PLUMBING FOR DRAIN LINE & DISCHARGE
  - NEW OVERFLOW ROOF SCUPPER
  - NEW ASPHALT SHINGLE ROOF OVER UNDERLAYMENT, ICE & WATER SHIELD AT EAVES 36" MIN.
- S1 EXISTING PAVING TO REMAIN, RE-POUR CONCRETE FOR NEW UTILITIES AS REQ'D  
 S2 NEW CONCRETE FROST STOOP  
 S3 EXISTING CONCRETE STAIR & METAL RAILING, PAINT  
 S4 NEW LANDSCAPED AREA  
 S5 NEW 4" CONCRETE SLAB (REINFORCED)  
 S6 RESEED LAWN AREA  
 S7 EXISTING OVERHEAD ELECTRICAL SERVICE DROP  
 S8 RELOCATE MEMORIAL BENCH, SET ON NEW 4" CONCRETE SLAB, DOWEL LEGS TO SLAB  
 S9 EXISTING GRAVEL PARKING LOT

# 1 ROOF & ARCHITECTURAL SITE PLAN

1/8" = 1'-0"



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PROJECT:  
 A PROJECT FOR ST. ELIAS ORTHODOX CHURCH  
 BELL TOWER ADDITION & ACCESSIBILITY UPGRADES  
 716 Copeland Avenue  
 La Crosse, WI 54603  
 SHEET TITLE:  
 ROOF & ARCHITECTURAL SITE PLAN, ROOM FINISH SCHEDULE, AND WALL TYPES

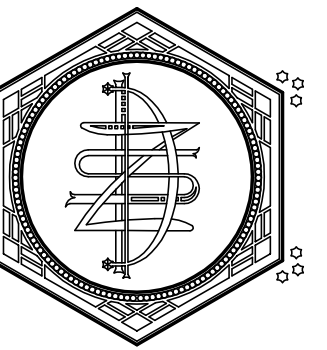
PROJECT NUMBER:  
 21004B  
 CHECKED BY:  
 M. ZETTLER  
 DRAWN BY:  
 M. ZETTLER  
 DATE:  
 03/26/2024

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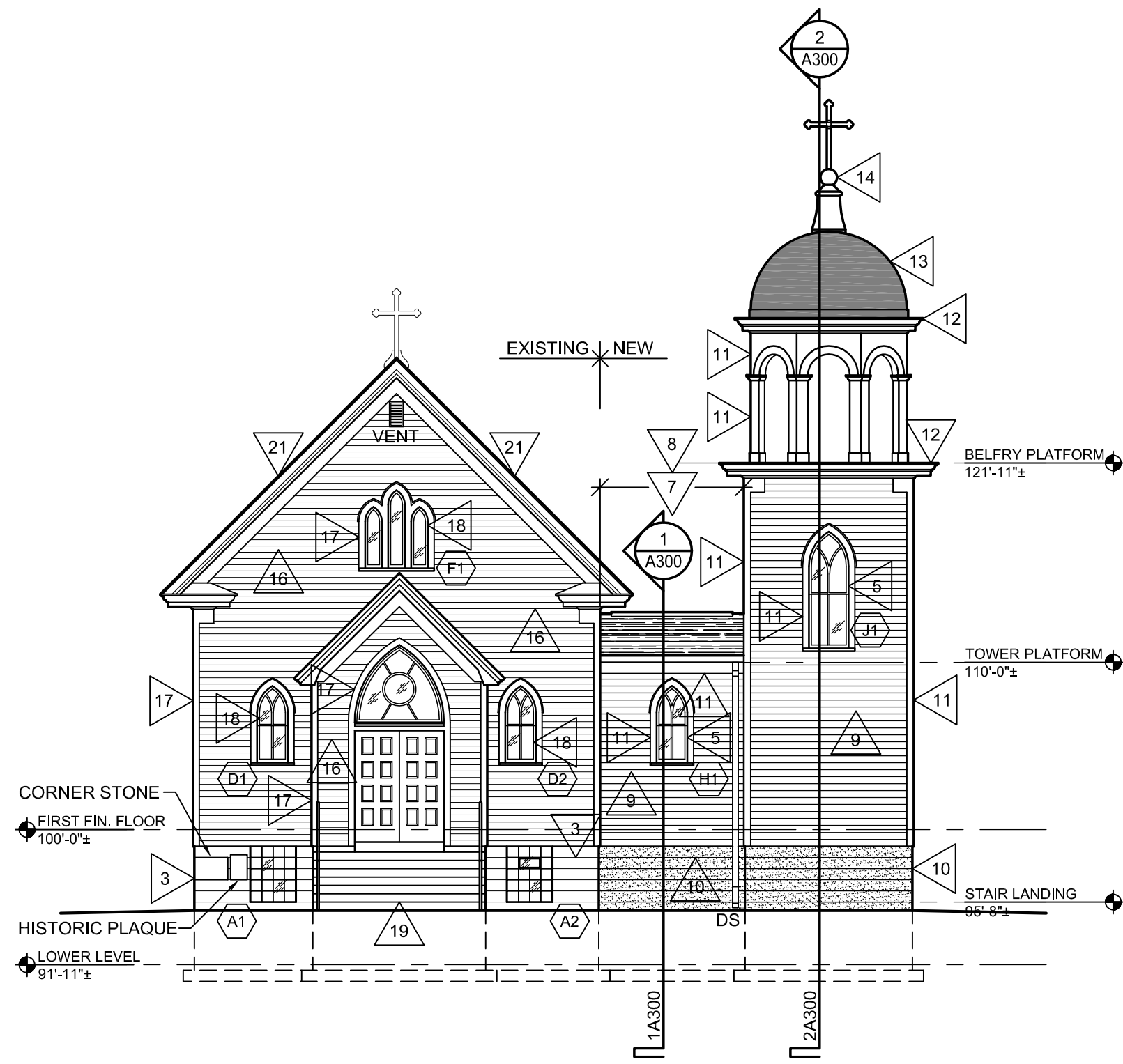
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SHEET NO.:

# A120



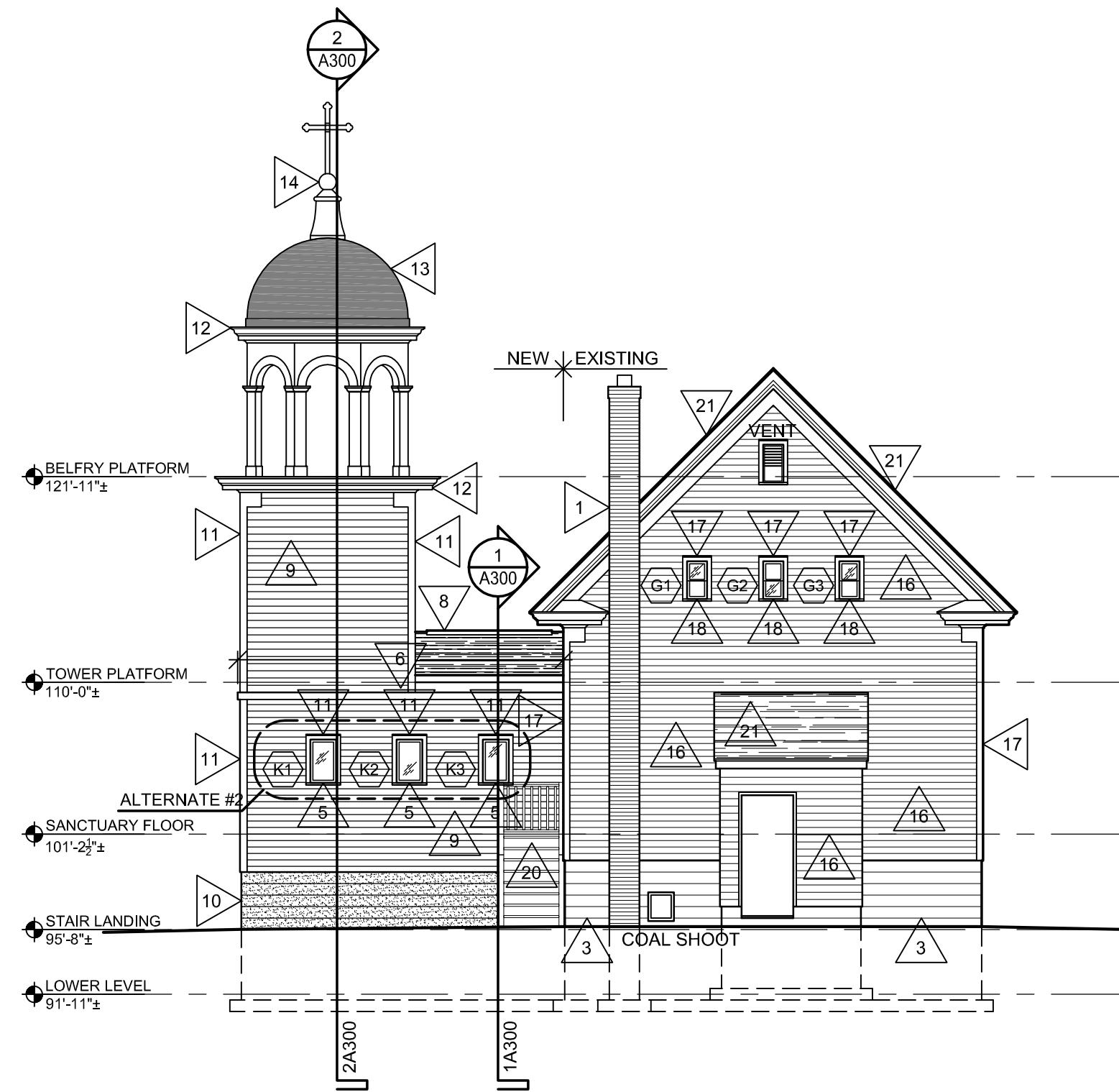
ZETTLER DESIGN STUDIO  
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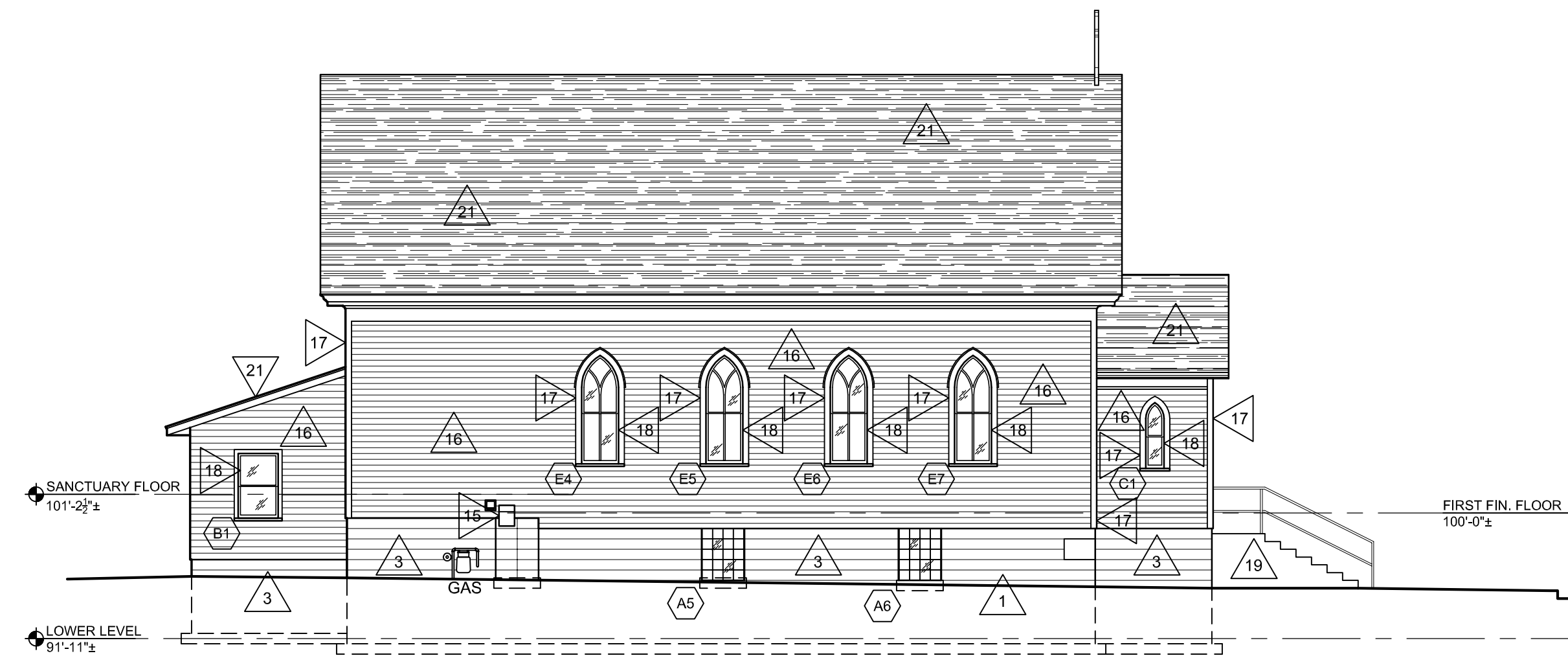
**1 WEST (FRONT) ELEVATION**  
1/8" = 1'-0"



**2 SOUTH ELEVATION**  
1/8" = 1'-0"



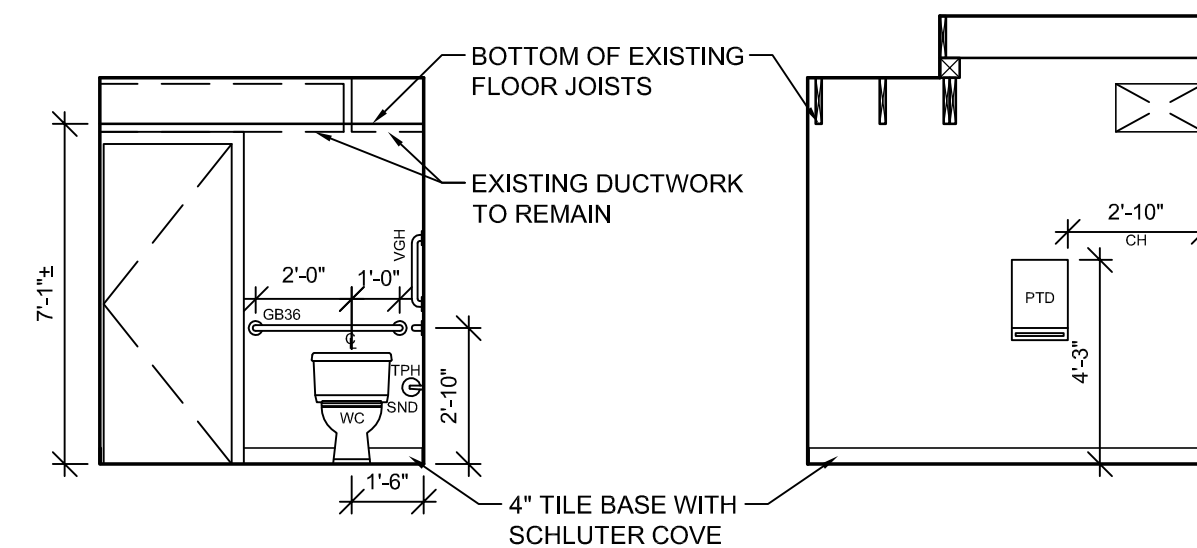
**3 EAST (ALLEY) ELEVATION**  
1/8" = 1'-0"



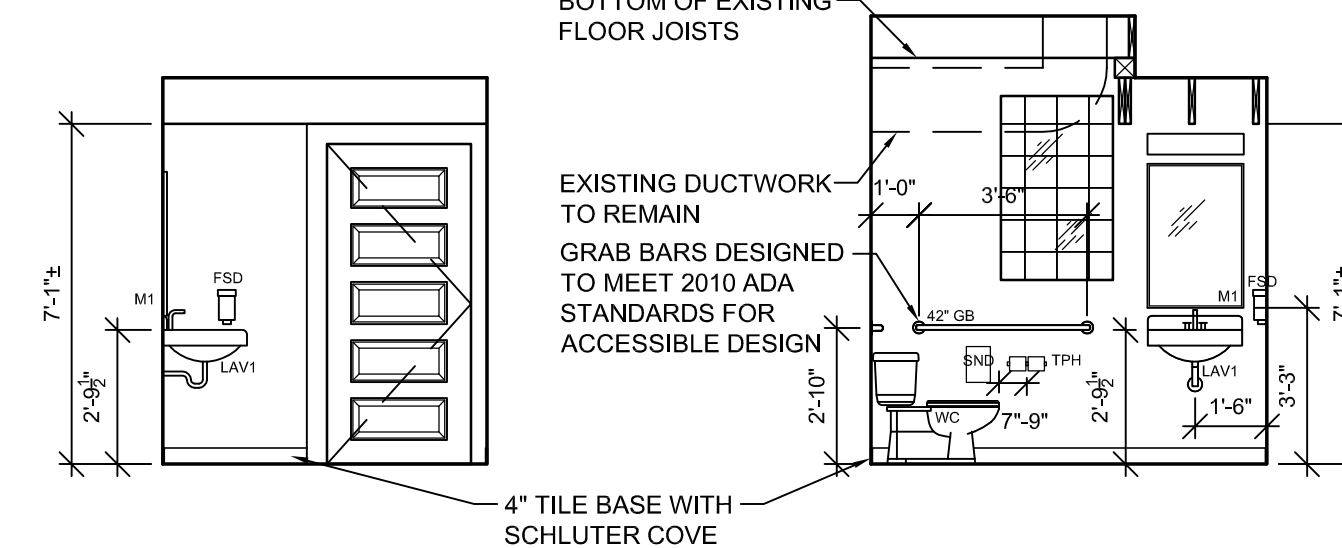
**4 NORTH ELEVATION**  
1/8" = 1'-0"

ACCESSORY SCHEDULE		
ABBREVIATION	ITEM	STANDARD MOUNTING HEIGHT
CH	COAT HOOK (DOUBLE)	TOP @ 4'-0" A.F.F.
FSD	FOAM SOAP DISPENSER	BOT. @ 3'-4" A.F.F. MAX.
GB 36	GRAB BAR	CENTER @ 2'-10" A.F.F.
GB 42	GRAB BAR	CENTER @ 2'-10" A.F.F.
M1	MIRROR 24"W x 36"H	BOT. @ 3'-3 1/2" A.F.F.
PTD	PAPER TOWEL DISPENSER	TOP @ 51" A.F.F.
SND	SANITARY NAPKIN DISPOSAL	TOP @ 2'-6" A.F.F.
TB	TOWEL BAR	TOP @ 4'-0" A.F.F.
TPH	DOUBLE TOILET PAPER HOLDER (CL 7'-9" OF WC FRONT)	TOP @ 29-1/2" COORD WITH OWNER

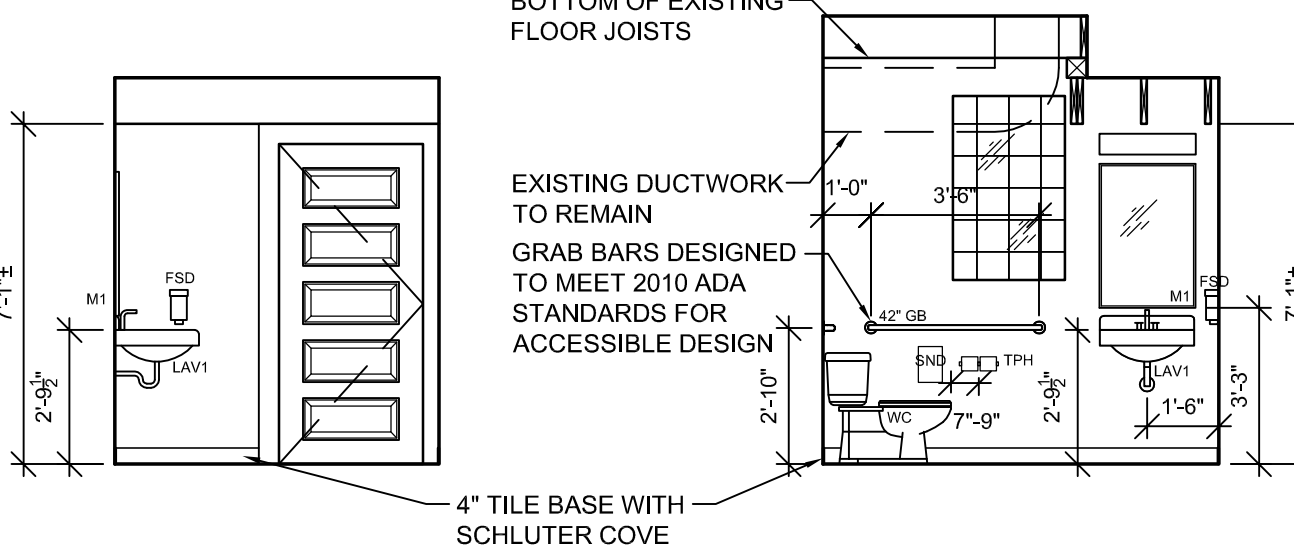
NOTES:  
COLOR ON ALL ITEMS TO BE CHROME UNLESS NOTED OTHERWISE  
- ALL OTHER ITEMS PROVIDED & INSTALLED BY OWNER.



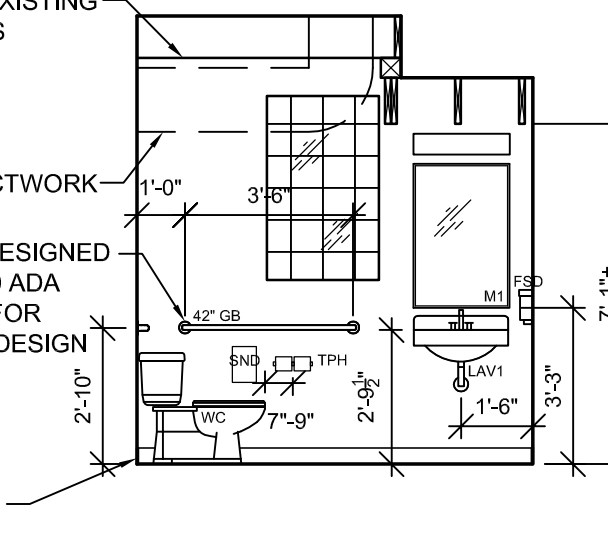
**5 EAST ELEVATION**  
1/4" = 1'-0" RESTROOM #005



**6 NORTH ELEVATION**  
1/4" = 1'-0" RESTROOM #005



**7 WEST ELEVATION**  
1/4" = 1'-0" RESTROOM #005



**8 SOUTH ELEVATION**  
1/4" = 1'-0" RESTROOM #005

**ELEVATION GENERAL NOTES:**

- VERIFY SIZE AND LOCATIONS OF ALL MECH. OPENINGS. GENERAL CONTRACTOR TO SEAL LOUVER PERIMETER AND PAINT - TYPICAL.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN ACTUAL AND CALLED DIMENSIONS.
- G.C. TO PROVIDE CONC EQUIPMENT PADS/CURBS AS REQUIRED FOR MECH/ELECTRICAL EQUIP. VERIFY SIZE/PROFILE/LOCATION W/ MECH/ELEC. FOR HVAC UNIT. SEE MECH./ELEC. PLANS
- ALL TEMPORARY SHORING, ADDITIONAL MATERIAL REMOVAL AND REPLACEMENT TO ACCOMPLISH MODIFICATIONS TO OPENINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE INCLUDED IN THE BASE BID.

**MATERIAL LEGEND:**

- |  |   |  |                         |
|--|---|--|-------------------------|
|  | BRICK   |  | GLASS                   |
|  | NEW ROCKFACE CONCRETE BLOCK TO MATCH HISTORIC |  | ROCKFACE CONCRETE BLOCK |
|  | WOOD CLAPBOARD SIDING                         |  | FIBERGLASS DOME, PAINT  |
- SIDING EXPOSURE: (INCHES)  
WOOD CLAPBOARDS: 4"  
FIBER CEMENT: 5"
- MASONRY: (INCHES)  
CONCRETE BLOCK: "x"x"x"
- MORTAR JOINTS: 3/4" ALL, (CONCAVE)  
-WHITE MORTAR W/ RIVER SAND AGGREGATE

**ELEVATION KEY NOTES:**

- TUCKPOINT MASONRY WITH TYPE 'O' MORTAR, MATCH HISTORIC MORTAR COLOR, TEXTURE & AGGREGATE
- NEW CONCRETE FROST STOOP, SEE STRUCTURAL
- EXISTING CONCRETE BLOCK (CMU), CLEAN
- NEW INSULATED HM DOOR & FRAME, GROUT SOLID
- NEW METAL CLAD WOOD WINDOW, TRIM SHALL MATCH HISTORIC WINDOWS
- NEW PRE-FINISHED METAL COPING WITH DRIP
- NEW PRE-FINISHED ALUMINUM GUTTERS & DOWNSPOUTS WITH HEAT TRACE, HARD-PIPE TO STORM SEWER
- NEW ASPHALT SHINGLE ROOF ON UNDERLAYMENT WITH RIDGE VENT AND SOFFIT VENTS
- NEW PRE-FINISHED FIBER CEMENT SIDING WITH 5" EXPOSURE
- NEW ROCK-FACED CMU TO MATCH HISTORIC CMU
- NEW EXTERIOR TRIM, SMOOTH FIBER CEMENT OR CEDAR AT CONTRACTOR'S OPTION, PAINT
- NEW FYPON CORNICE, PAINT
- NEW FIBERGLASS DOME, PAINT (METALLIC GOLD)
- NEW METAL CROSS FINIAL, PAINT (METALLIC GOLD)
- EXISTING EXHAUST VENT
- EXISTING WOOD CLAPBOARD SIDING
- EXISTING WOOD TRIM
- EXISTING WOOD WINDOW
- EXISTING CONCRETE STAIRS WITH STEEL PIPE RAILINGS, REPAINT RAILINGS
- EXISTING EXTERIOR WOOD STAIRS
- EXISTING ASPHALT SHINGLE ROOF

**SECTION KEY NOTES:**

- NEW CONCRETE STAIR
- NEW WOOD FRAMED STAIR, OAK TREADS & RISERS
- NEW WOOD CAP ON HALF HEIGHT WALL, STAIN
- NEW ROOF JOISTS WITH 5/8" PLYWOOD SHEATHING
- NEW 1 1/2" WOOD HANDRAILS, STAIN
- NEW 1 1/2" STEEL HANDRAILS, PAINT
- NEW WOOD CROWN MOULDING, STAIN
- NEW METAL GUARD RAIL, PAINT
- INFILL EXISTING MASONRY OPENING WITH CMU
- NEW MEMBRANE ROOFING SYSTEM ON POLYISO INSULATION, R-30 MINIMUM

PROJECT:  
A PROJECT FOR ST. ELIAS ORTHODOX CHURCH  
BELL TOWER ADDITION & ACCESSIBILITY UPGRADES  
706 Copeland Avenue  
La Crosse, WI 54603  
SHEET TITLE:  
BUILDING & INTERIOR ELEVATIONS

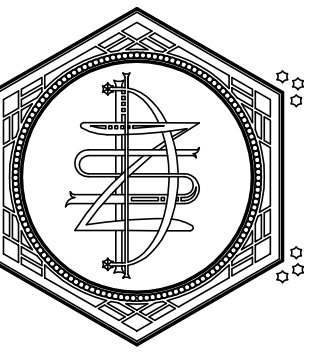
PROJECT NUMBER:  
21004B  
CHECKED BY:  
M. ZETTLER  
DRAWN BY:  
M. ZETTLER  
DATE:  
03/26/2024

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**A200**



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**ELEVATION GENERAL NOTES:**

- A. VERIFY SIZE AND LOCATIONS OF ALL MECH. OPENINGS. GENERAL CONTRACTOR TO SEAL LOUVER PERIMETER AND PAINT - TYPICAL.
- B. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN ACTUAL AND CALLED DIMENSIONS.
- C. G.C. TO PROVIDE CONC EQUIPMENT PADS/CURBS AS REQUIRED FOR MECH/ELECTRICAL EQUIP. VERIFY SIZE/PROFILE/LOCATION W/ MECH/ELEC. FOR HVAC UNIT. SEE MECH/ELEC. PLANS
- D. ALL TEMPORARY SHORING, ADDITIONAL MATERIAL REMOVAL AND REPLACEMENT TO ACCOMPLISH MODIFICATIONS TO OPENINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE INCLUDED IN THE BASE BID.

**MATERIAL LEGEND:**

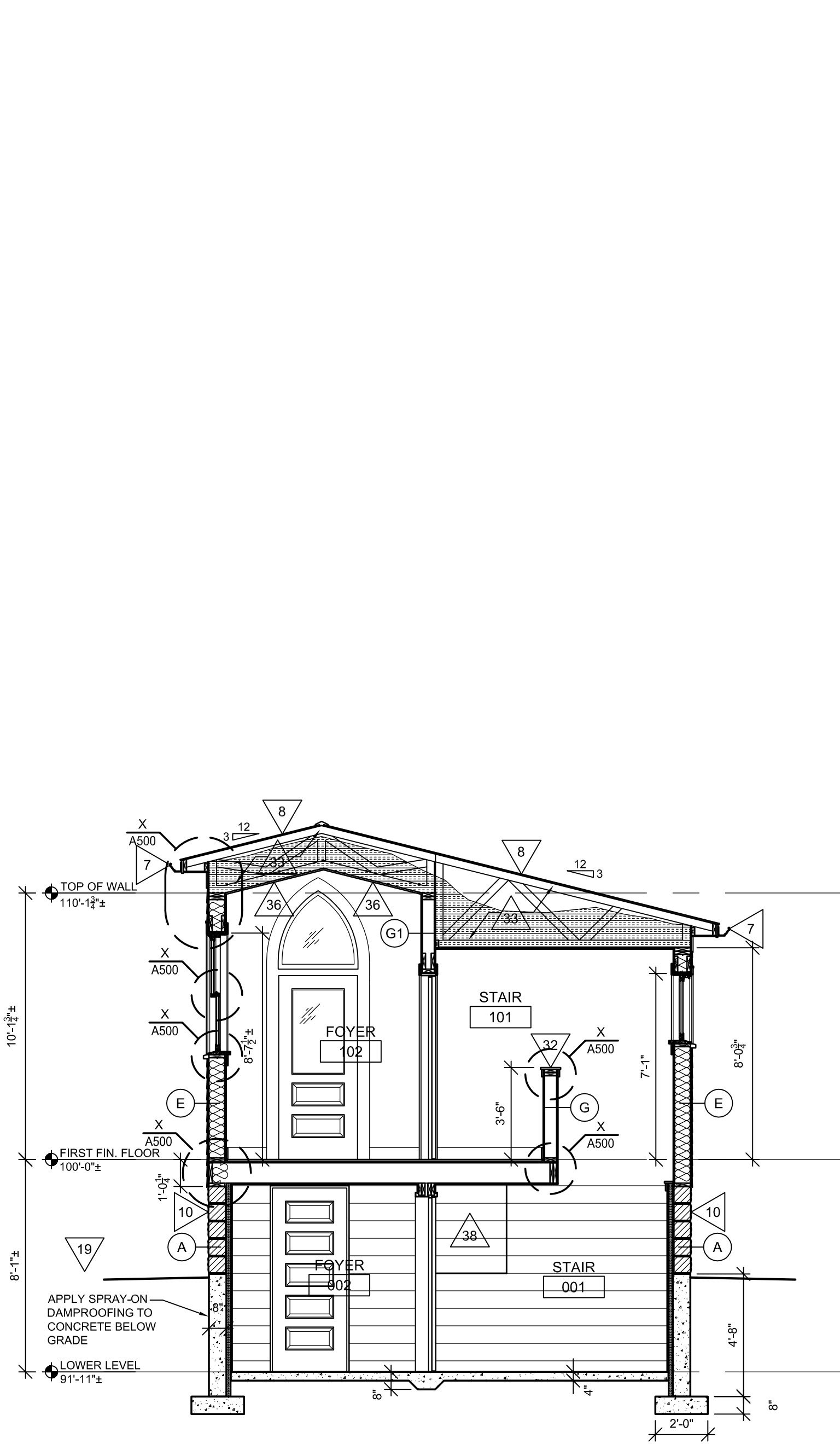
- |  |   |  |                         |
|--|---|--|-------------------------|
|  | BRICK   |  | GLASS                   |
|  | NEW ROCKFACE CONCRETE BLOCK TO MATCH HISTORIC |  | ROCKFACE CONCRETE BLOCK |
|  | WOOD CLAPBOARD SIDING                         |  | FIBERGLASS DOME, PAINT  |
- SIDING EXPOSURE: (INCHES)  
WOOD CLAPBOARDS: 4"  
FIBER CEMENT: 5"
- MASONRY: (INCHES)  
CONCRETE BLOCK: "x"x"x"
- MORTAR JOINTS: 1/2" ALL, (CONCAVE)  
-WHITE MORTAR W/ RIVER SAND AGGREGATE

**ELEVATION KEY NOTES:**

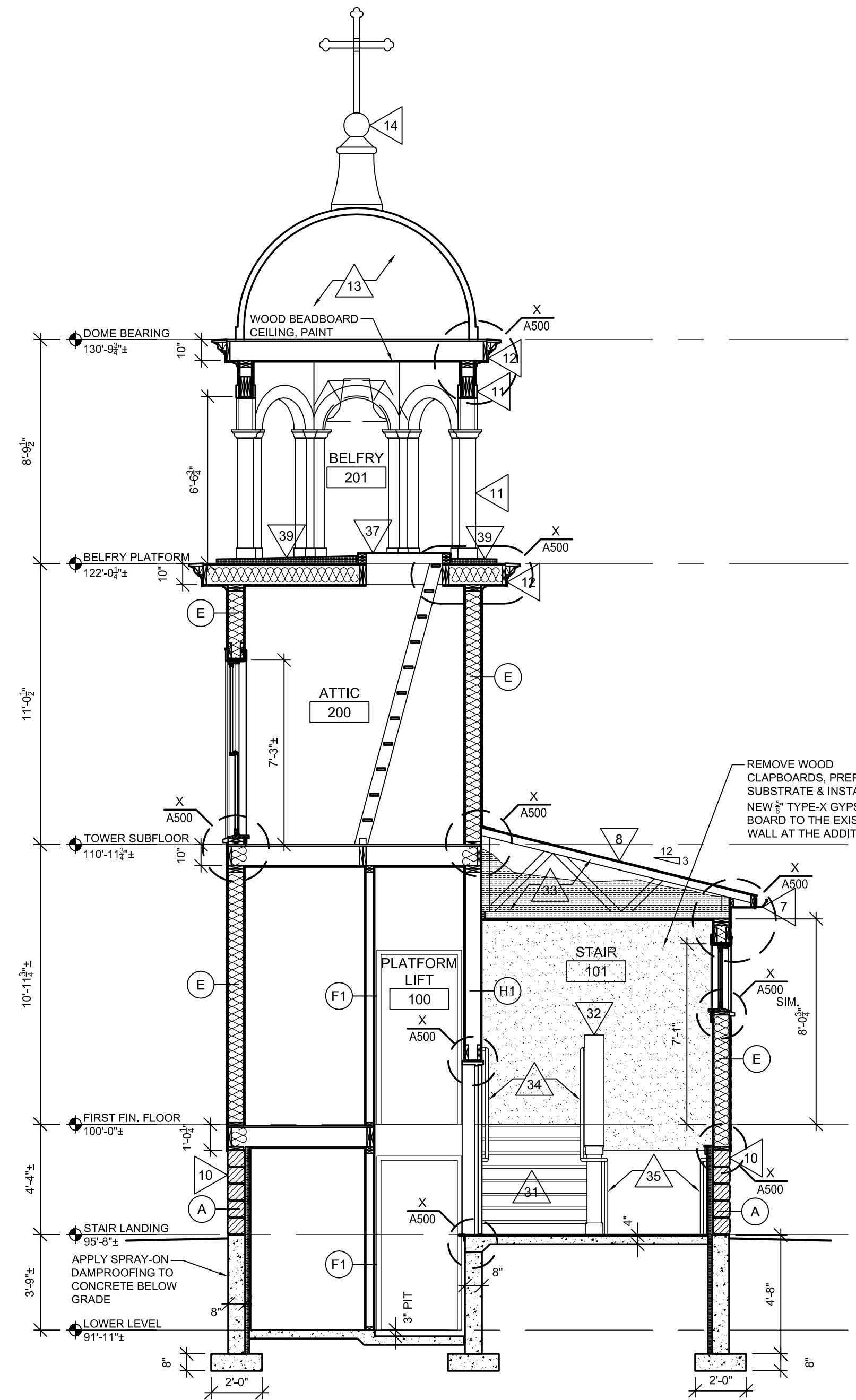
- 1 TUCKPOINT MASONRY WITH TYPE 'O' MORTAR, MATCH HISTORIC MORTAR COLOR, TEXTURE & AGGREGATE
- 2 NEW CONCRETE FROST STOOP, SEE STRUCTURAL
- 3 EXISTING CONCRETE BLOCK (CMU), CLEAN
- 4 NEW INSULATED HM DOOR & FRAME, GROUT SOLID
- 5 NEW METAL CLAD WOOD WINDOW, TRIM SHALL MATCH HISTORIC WINDOWS
- 6 NEW PRE-FINISHED METAL COPING WITH DRIP
- 7 NEW PRE-FINISHED ALUMINUM GUTTERS & DOWNSPOUTS WITH HEAT TRACE, DISCHARGE TO GRADE
- 8 NEW ASPHALT SHINGLE ROOF ON UNDERLAYMENT WITH RIDGE VENT AND SOFFIT VENTS
- 9 NEW PRE-FINISHED FIBER CEMENT SIDING WITH 5" EXPOSURE
- 10 NEW ROCK-FACED CMU TO MATCH HISTORIC CMU
- 11 NEW EXTERIOR TRIM, SMOOTH FIBER CEMENT OR CEDAR AT CONTRACTOR'S OPTION, PAINT
- 12 NEW FYPON CORNICE, PAINT
- 13 NEW FIBERGLASS DOME, PAINT (METALLIC GOLD)
- 14 NEW METAL CROSS FINIAL, PAINT (METALLIC GOLD)
- 15 EXISTING EXHAUST VENT
- 16 EXISTING WOOD CLAPBOARD SIDING
- 17 EXISTING WOOD TRIM
- 18 EXISTING WOOD WINDOW
- 19 EXISTING CONCRETE STAIRS WITH STEEL PIPE RAILINGS, REPAINT RAILINGS
- 20 EXISTING EXTERIOR WOOD STAIRS
- 21 EXISTING ASPHALT SHINGLE ROOF

**SECTION KEY NOTES:**

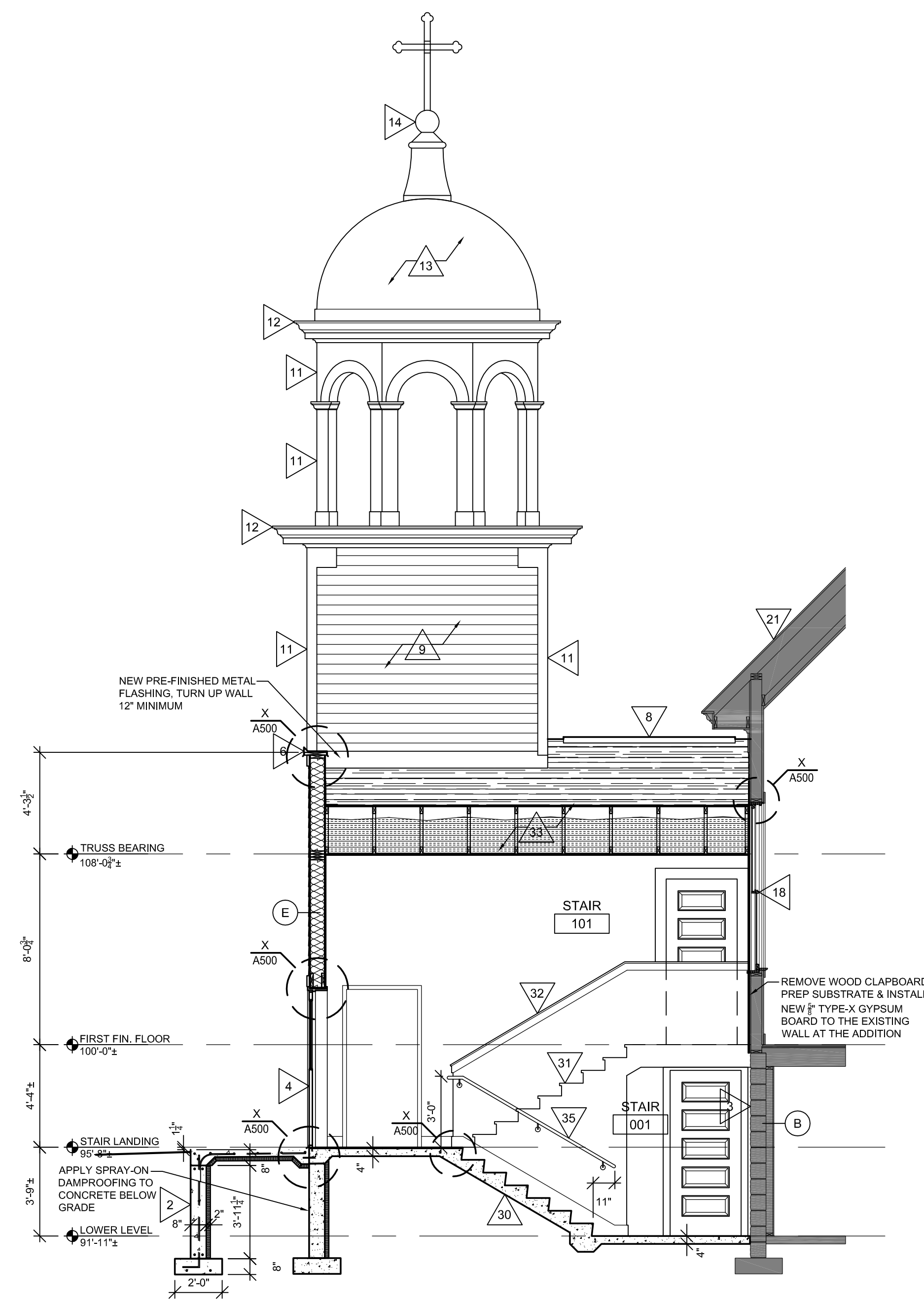
30. NEW CONCRETE STAIR
31. NEW WOOD FRAMED STAIR, OAK TREADS & RISERS
32. NEW WOOD CAP ON HALF HEIGHT WALL, STAIN
33. NEW ROOF JOISTS WITH 5/8" PLYWOOD SHEATHING, BLOW 18" CELLULOSE INSULATION INTO ATTIC, MAINTAIN 2" MIN. CLEAR SPACE FOR VENTING
34. NEW 1 1/2" WOOD HANDRAILS, STAIN
35. NEW 1 1/2" STEEL HANDRAILS, PAINT
36. NEW GYPSUM BOARD CATHEDRAL CEILING, PAINT
37. NEW ROOF HATCH
38. INFILL EXISTING MASONRY OPENING WITH CMU
39. NEW MEMBRANE ROOFING SYSTEM ON POLYISO INSULATION WITH FORMED METAL GUTTER



**1 FOYER SECTION**  
1/4" = 1'-0"



**2 TOWER SECTION**  
1/4" = 1'-0"



**3 STAIR SECTION**  
1/4" = 1'-0"

PROJECT:  
**A PROJECT FOR ST. ELIAS ORTHODOX CHURCH**  
**BELL TOWER ADDITION & ACCESSIBILITY UPGRADES**  
716 Copeland Avenue  
La Crosse, WI 54603  
SHEET TITLE:  
**BUILDING SECTIONS & DETAILS**

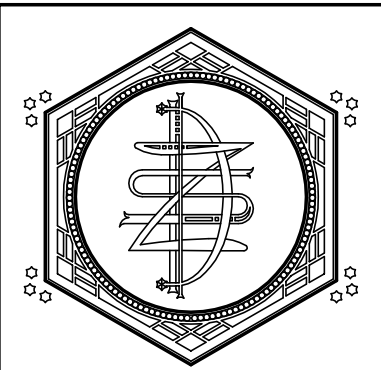
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21004B  
CHECKED BY:  
M. ZETTLER  
DRAWN BY:  
M. ZETTLER  
DATE:  
04/15/2024

NOT FOR  
CONSTRUCTION

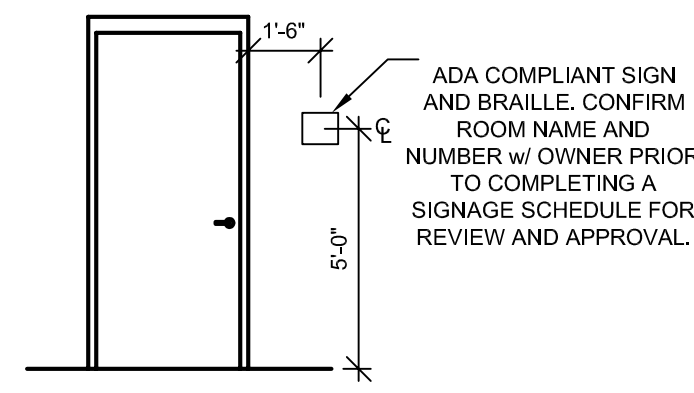
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SHEET NO.:

**A300**



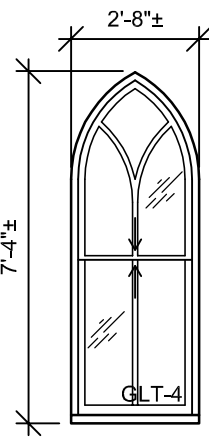
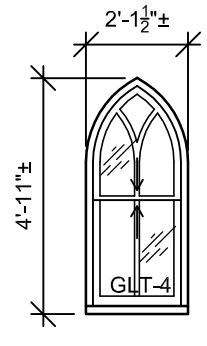
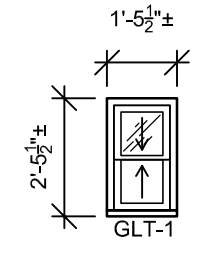
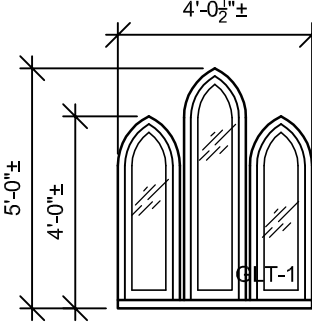
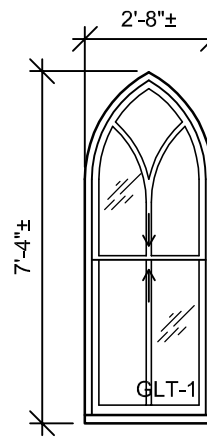
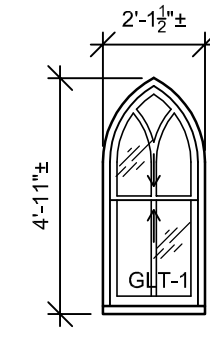
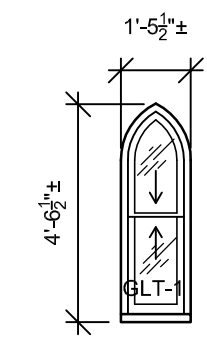
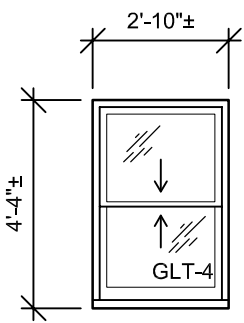
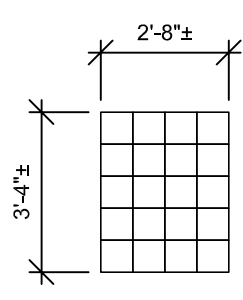
ZETTLER DESIGN STUDIO  
224 Van Ness Street N.  
West Salem, WI 54669  
P: (608) 844-1208  
E: MZettler0916@gmail.com



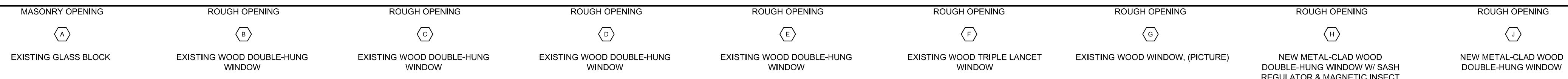
ADA COMPLIANT SIGN AND BRAILLE, CONFIRM ROOM NAME AND NUMBER w/ OWNER PRIOR TO COMPLETING A SIGNAGE SCHEDULE FOR REVIEW AND APPROVAL.

PER IECC REQUIREMENTS IN TABLES 303.1.3 (1-3):  
-METAL CLAD WOOD WINDOWS SHALL HAVE A MAXIMUM U-VALUE OF 0.55  
-THERMALLY BROKEN METAL GLAZING SHALL HAVE A MAX. U-VALUE OF 0.85

WINDOWS SHALL HAVE A MAX. SHGC OF 0.7 AND MIN. VTL OF 0.6  
ALL GLAZING SHALL BE DOUBLE PANE, NO LOW-E ON FIRST FLOOR, LOW-E AT ALL OTHER LOCATIONS, NO TINT



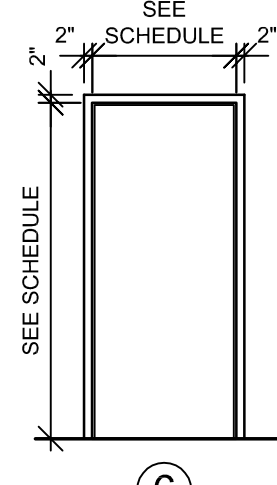
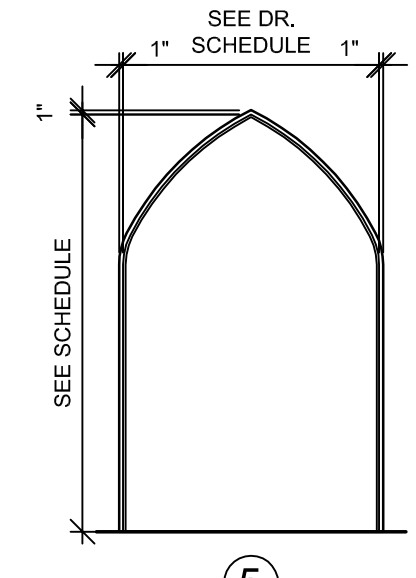
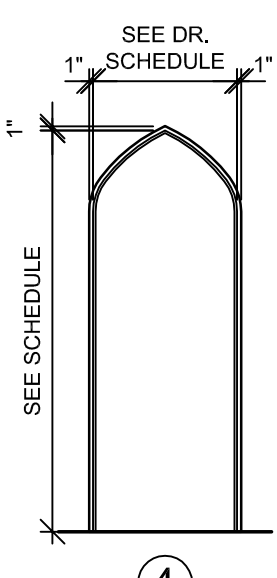
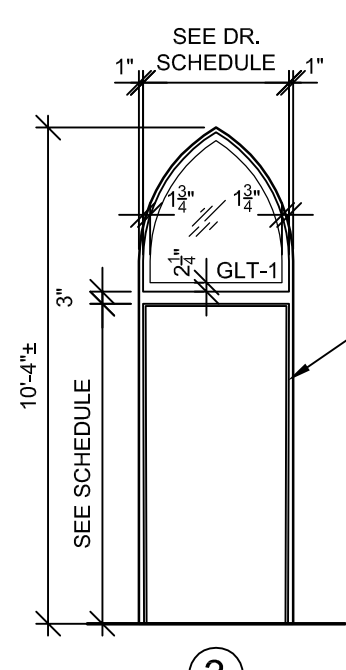
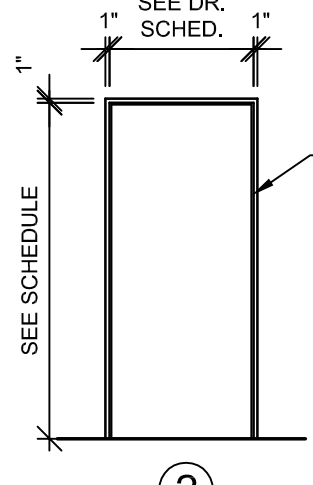
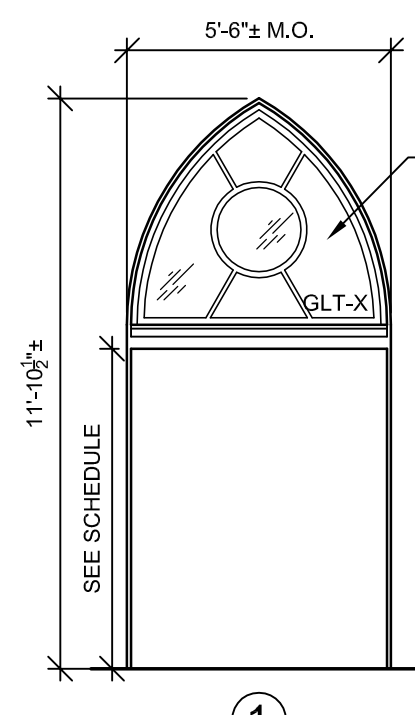
GENERAL WINDOW NOTES:  
APPLY 3M SAFETY FILM TO ALL PANES OF GLT-1  
REPLACE ANY BROKEN PANES W/ GLT-3



## 2 WINDOW TYPES

1/4" = 1'-0"

### DOOR FRAME TYPES



1 HISTORIC ENTRY DOOR FRAME

2 SEE SCHEDULE FOR FIRE RATINGS

3 LANCET TRANSOM TO MATCH CURVATURE OF WINDOWS

4 HISTORIC ICONOSTASIS FRAME

5 HISTORIC ICONOSTASIS FRAME

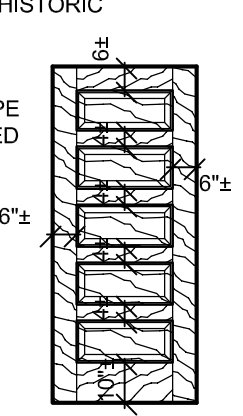
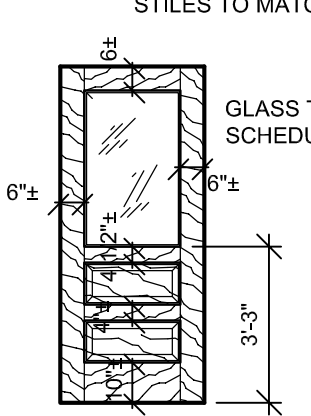
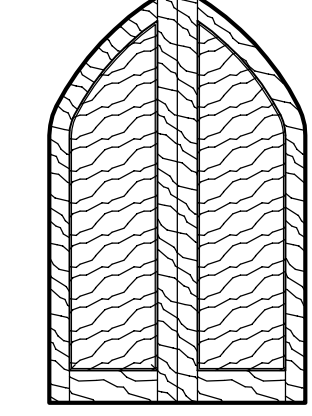
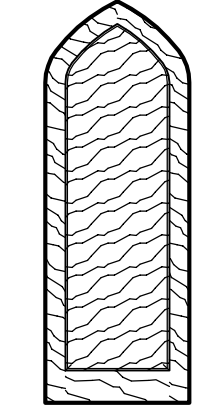
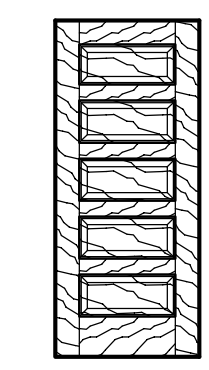
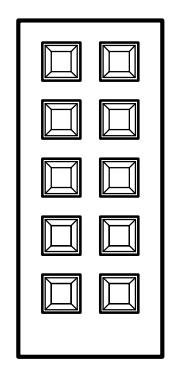
6 SEE SCHEDULE FOR FIRE RATINGS, GROUT FRAME SOLID

### WOOD DOOR FRAMES

### H. METAL DOOR FRAME

NOTE: SEE SCHEDULE FOR FIRE RATINGS

### DOOR TYPES



A EXISTING METAL-CLAD WOOD 8-PANEL DOOR

B EXISTING HISTORIC WOOD RAIL & STILE DOOR

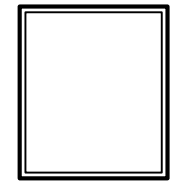
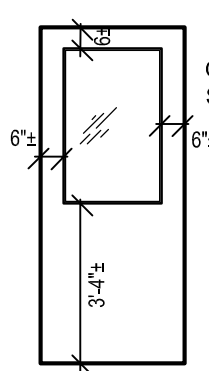
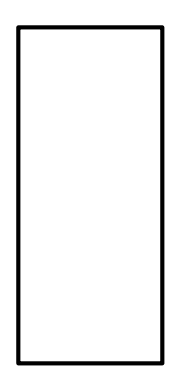
C HISTORIC RAIL AND STILE DOOR

D HISTORIC PAIR OF RAIL AND STILE DOORS

E HALF LITE WOOD RAIL AND STILE DOOR

F 5-PANEL WOOD RAIL AND STILE DOOR SEE SCHEDULE FOR FIRE RATING

### WOOD DOORS



G WOOD SLAB DOOR

J INSULATED AT EXTERIOR, SEE SCHEDULE FOR FIRE RATINGS

K INSULATED AT EXTERIOR

L ATTIC HATCH

### H. METAL DOORS

PER IECC REQUIREMENTS IN TABLES 303.1.3 (1-3):  
-INSULATED METAL DOORS SHALL HAVE A MAXIMUM U-VALUE OF 0.60  
-UNINSULATED METAL DOORS SHALL HAVE A MAX. U-VALUE OF 1.20  
GLAZING SHALL HAVE A MAX. SHGC OF 0.7 AND VTL OF 0.6  
ALL NEW GLAZING SHALL BE DOUBLE PANE, NO LOW-E, NO TINT

NOTE: SEE SCHEDULE FOR FIRE RATINGS

### WINDOW SCHEDULE

WINDOW NO.	SIZE			MATL	TYPE	GLASS	TRANSOM	TRIM	STORM	DETAILS			REMARKS
	WIDTH	HEIGHT	SASH TH.							HEAD	JAMB	SILL	
A1	2-8	3-4	4	GLBK	FIXED	GLT-6	NO	WOOD	NO	-	-	-	NO WORK
A2	2-8	3-4	4	GLBK	FIXED	GLT-6	NO	WOOD	NO	-	-	-	NO WORK
A3	2-8	3-4	4	GLBK	FIXED	GLT-6	NO	WOOD	NO	-	-	-	NO WORK
A4	2-8	4-0	4	GLBK	FIXED	GLT-6	NO	WOOD	NO	-	-	-	NO WORK
A5	2-8	3-4	4	GLBK	FIXED	GLT-6	NO	WOOD	NO	-	-	-	NO WORK
A6	2-8	3-4	4	GLBK	FIXED	GLT-6	NO	WOOD	NO	-	-	-	NO WORK
B1	2-10	4-4	1 3/4	MCWD	D-H	GLT-1	NO	WOOD	NO	-	-	-	NO WORK
C1	1-5 1/2	4-6 1/2	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
C2	1-5 1/2	4-6 1/2	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
D1	2-1 1/2	4-11	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
D2	2-1 1/2	4-11	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
E1	2-8	7-4	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	NO	-	-	-	1
E2	2-8	7-4	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
E3	2-8	7-4	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
E4	2-8	7-4	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
E5	2-8	7-4	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
E6	2-8	7-4	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
E7	2-8	7-4	1 3/4	WOOD	D-H	GLT-7	NO	WOOD	EXIST	-	-	-	NO WORK
F1	4-0 1/2	5-0	1 3/4	WOOD	PIC	GLT-1	NO	TIN	EXIST	-	-	-	NO WORK
G1	1-5 1/2	2-5 1/2	1 3/4	WOOD	D-H	GLT-1	NO	TIN	EXIST	-	-	-	NO WORK
G2	1-5 1/2	2-5 1/2	1 3/4	WOOD	D-H	GLT-1	NO	TIN	EXIST	-	-	-	NO WORK
G3	1-5 1/2	2-5 1/2	1 3/4	WOOD	D-H	GLT-1	NO	TIN	EXIST	-	-	-	NO WORK
H1	2-1 1/2	4-11	1 3/4	MCWD	D-H	GLT-4	NO	WOOD	NO	-	-	-	2
H2	2-1 1/2	4-11	1 3/4	MCWD	D-H	GLT-4	NO	WOOD	NO	-	-	-	2
J1	2-8	7-4	1 3/4	MCWD	D-H	GLT-4	NO	NONE	NO	-	-	-	2
J2	2-8	7-4	1 3/4	MCWD	D-H	GLT-4	NO	NONE	NO	-	-	-	2

### WINDOW SCHEDULE REMARKS:

- EXISTING WINDOW TO REMAIN, ADD LIGHTING BEHIND WINDOW TO ILLUMINATE.
- NEW WOOD TRIM SHALL MATCH HISTORIC, STAIN.
- REPLACE BROKEN/MISSING GLASS IN-KIND.
- APPLY 3M SAFETY FILM TO EXISTING GLASS.

### GLASS TYPES:

GLT-1: HISTORIC SINGLE PANE GLASS TO REMAIN  
GLT-2: 1/4" FLOAT GLASS, CLEAR, FS DD-G-451, TYPE I, CLASS 2, QUALITY Q3.  
GLT-3: 1/4" TEMPERED, CLEAR, FS DD-G-451, GRADE B, STYLE 1, TYPE I, CLASS 1, QUALITY Q3.  
FREE OF TONG MARKS, ANSI Z97.1.  
GLT-4: 1" INSULATING GLASS UNITS, DOUBLE GLAZED, ARGON FILLED, OUTBOARD LITE-TEMPERED GLASS 1/4", CLEAR, INBOARD LITE-TEMPERED GLASS 1/4", CLEAR, LOW-E, U-VALUE 0.24 NOM, VTL-70% NOM, SHGC-38 NOM.  
GLT-5: 5/8" INSULATING GLASS UNITS, DOUBLE GLAZED, ARGON FILLED, OUTBOARD LITE-FULLY TEMPERED FLOAT GLASS 1/4", CLEAR, INBOARD LITE-LAMINATED FLOAT GLASS 1/4", CLEAR, LOW-E, U-VALUE 0.24 NOM, VTL-70% NOM, SHGC-38 NOM.  
GLT-6: EXISTING GLASS BLOCK  
GLT-7: HISTORIC STAINED/PATTERNED SINGLE PANE GLASS TO REMAIN

GENERAL NOTE 1: ALL DIMENSIONS GIVEN ARE APPROXIMATE & FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL ROUGH OPENINGS, FRAMES, SASHES, ETC. FOR ACTUAL DIMENSIONS, PLUMB, CONDITION OF SUBSTRATE ETC. BEFORE PERFORMING ANY WORK.  
GENERAL NOTE 2: \* DENOTES THAT THE DETAIL REFERENCED IS SIMILAR.

### DOOR SCHEDULE

DOOR NO.	DOOR NOTES										FRAME NOTES			DOOR/FRAME DETAILS			FIRE LABEL	HARDWARE GROUP	REMARKS
	SIZE			MATL	TYPE	GLASS	MATL	ELEV (A600)	DEPTH	HEAD	JAMB	SILL	HEAD	JAMB	SILL				
	WIDTH	HEIGHT	THICK																
001A	3-0	7-0	1 3/4	HM	K	GLT-5	STL	6	8	-	-	-	-	-	-	60 MIN.	YES	5	
001B	3-0	6-8	1 3/4	HM	J	-	STL	6	9 1/2	-	-	-	-	-	-	60 MIN.	YES	5	
001C	3-0	6-8	1 3/4	HM	J	-	STL	6	9 1/2	-	-	-	-	-	-	60 MIN.	YES	2	
002A	3-0	6-8	1 3/4	WD	F	-	WD	2	8	-	-	-	-	-	-	-	YES	1, 5	
002B	3-0	6-8	1 3/4	HM	J	-	STL	6	5 3/4	-	-	-	-	-	-	60 MIN.	YES	2	
005A	3-0	6-8	1 3/4	WD	F	-	WD	2	4 3/4 VIF	-	-	-	-	-	-	-	YES	3, 6	
006A	2-8	6-8	EXIST	WD	G	-	WD	2	EXISTING	-	-	-	-	-	-	-	EXISTING	4, 6	
007A	3-0	7-0	EXIST	MCWD	G	-	WD	2	EXISTING	-	-	-	-	-	-	-	YES	5	
101A	3-0	7-0	1 3/4	WD	F	-	WD	2	8 1/2	-	-	-	-	-	-	60 MIN.	YES	5	
102A	3-0	7-0	1 3/4	WD	E	GLT-5	WD	3	8 VIF	-	-	-	-	-	-	-	YES	-	
102B	3-0	6-8	1 3/4	HM	J	-	STL	6	5 3/4	-	-	-	-	-	-	60 MIN.	YES	2	
103A	(2) 2-8	6-8	EXIST	MCWD	A	-	WD	1	EXISTING	-	-	-	-	-	-	-	YES	5	
104A	(2) 2-8	7-0	EXIST	WD	B	-	WD	1	EXISTING	-	-	-	-	-	-	-	YES	5	
105A	2-10.5	7-5	EXIST	WD	C	-	WD	4	EXISTING	-	-	-	-	-	-	-	EXISTING	NO WORK	
105B	(2) 2-2.5	7-7	EXIST	WD	D	-	WD	5	EXISTING	-	-	-	-	-	-	-	EXISTING	NO WORK	
105C	2-10.5	7-5	EXIST	WD	C	-	WD	4	EXISTING	-	-	-	-	-	-	-	EXISTING	NO WORK	
106A	2-8	6-8	EXIST	WD	B	-	WD	2	EXISTING	-	-	-	-	-	-	-	EXISTING	NO WORK	
106B	2-8	6-8	EXIST	ALUM	-	GLT-1	ALUM	-	EXISTING	-	-	-	-	-	-	-	EXISTING	NO WORK, 7	

### DOOR SCHEDULE REMARKS:

- NEW DOOR AND FRAME IN EXISTING OPENING.
- NEW DOOR AND FRAME FOR PLATFORM LIFT.
- PAINT RESTROOM SIDE OF DOOR, STAIN OTHER SIDE.
- RELOCATE EXISTING DOOR AND FRAME.
- DOOR SHALL HAVE EXIT DEVICE & CLOSER.
- DOOR AND FRAME ARE PART OF ALTERNATE #1.
- EXISTING SCREEN DOOR TO REMAIN.

### DOOR SCHEDULE GENERAL NOTES:

HM = HOLLOW METAL ALUM = ALUMINUM STL = STEEL WD = WOOD  
A. ALL H.M. FRAMES IN MASONRY WALLS SHALL BE GROUT FILLED UNLESS NOTED OTHERWISE.  
B. SEE HARDWARE SCHEDULE BY CONTRACTOR  
C. \* DENOTES DETAIL IS SIMILAR TO REFERENCED

PROJECT: ST. ELIAS ORTHODOX CHURCH  
BELL TOWER ADDITION & ACCESSIBILITY UPGRADES  
706 Copeland Avenue  
La Crosse, WI 54603  
SHEET TITLE: DOOR, FRAME, & WINDOW TYPES, TRIM PROFILES, DOOR & WINDOW SCHEDULES

PROJECT NUMBER: 21004B  
CHECKED BY: M. ZETTLER  
DRAWN BY: M. ZETTLER  
DATE: 03/26/2024

NOT FOR CONSTRUCTION

THE DRAWING IS THE PROPERTY OF THE DESIGN PROFESSIONAL AND SHALL REMAIN SO. WRITTEN CONSENT SHALL BE OBTAINED FROM THE DESIGNER PRIOR TO ANY USE OR REPRODUCTION OTHER THAN THAT SPECIFICALLY AGREED TO.

SHEET NO.:

A600



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Text File

File Number: 24-0473

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**Agenda Date:** 3/28/2024

**Version:** 1

**Status:** Agenda Ready

**In Control:** Heritage Preservation Commission

**File Type:** General Item

**Agenda Number:** 4.

AN ORDINANCE to create Section 111- of the Code of Ordinances of the City of La Crosse regarding ghost signs.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Subsections 111- is hereby created:

Sec. 111- –Ghost Signs.

- (1) *Purpose and intent.* The purpose of this section is to define ghost signs and establish restoration standards for those that reside on locally designated structures, within Locally Designated Historic Districts defined in Chapter 20, or those that have been designated as historic artifacts themselves.
- (2) *Definitions.* The following words, terms, and phrases, when used in this Section, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:
  - a. *Ghost sign means* a faded sign that was hand painted directly on the exterior surface of a building, which is historic in nature and character in the way that the sign contains language and/or symbols that communicate cultural activities of the community, provide evidence of the history of the use of the building on which it is present, or that advertise a product, service or event that has historical significance to the community.
  - b. *Restoration means* the process of enhancing ghost signs to mimic the aesthetic of the sign in its original state, through detailing only as necessary to maintain or return the sign to legibility.
  - c. *Removal means* the act of intentionally eradicating any or all aspects of a ghost sign.
  - d. *Designated means* a historic structure, district, site, or artifact that has been registered as historic by the Heritage Preservation Commission.
- (3) *Standards of ghost sign restoration.*
  - a. No owner or person in charge of a designated structure on which a ghost sign is present shall remove or restore it unless a Certificate of Appropriateness has been granted by the Heritage Preservation Commission (HPC) or the Heritage Preservation Planner (HPP). The Community Risk Management Department shall not issue a permit for any such work unless approval has been granted by the HPC or the HPP. If work begins prior to obtaining the necessary permit or permission, a Stop Work Order may be issued by the Community Risk Management Department.



- b. *Review of restorative work.* Upon the filing of a complete application for restorative work on a locally designated structure, the HPC shall issue a Certificate of Appropriateness or deny the application within 45 days of the filing of the application, unless the time period is otherwise extended by written agreement between the HPC and the applicant. Restorative work includes the following and is further defined by the HPC in its application instructions: cleaning, removal, re-painting, and coating of signs, as well as applying masonry finishing and repointing of mortar joints.
  
- c. *Eligibility.* The ghost sign intended for restoration must meet one or more of the following criteria to be eligible for application:
  - i. It is faded to a point in which full words, phrases or symbols within the design are incomplete or illegible.
  - ii. The paint is severely chipping or there is evidence of severe deterioration to the paint.
  - iii. The structure underneath the ghost sign is compromised and is or will be undergoing repair.
  
- d. *Application requirements.* Any application for restoration of a ghost sign must be reviewed by the HPP or HPC and should include the following:
  - i. A detailed description and photo documentation (if possible) of the eligible ghost sign.
  - ii. A detailed description of the intended restorative work, including the materials and process that are intended to be used.
    - 1. The details of the sign must be accentuated in a way that follows the style of the original artist, accenting only the necessary areas to reproduce the original image.
      - a. When there is evidence of multiple layers of ghost signs, the most prominent image shall take precedent and be the focal point of the restoration.
    - 2. The paints, coatings and/or sealants used in the restoration of a ghost sign must be sympathetic in color to those of the original.
  - i. A material waste plan.
  - ii. If the sign intended for restoration is on a structure that was built before 1978, the individual(s) who will perform the restoration must prove their certification in lead-safe work practices to the extent possible as directed by the Environmental Protection Agency.

- iii. When there is evidence of deterioration of the structure underneath a ghost sign, the walls and other masonry features in the affected area shall be repaired before any additional restorative actions may take place.
  - 3. Brick, stone and mortar should be replaced with the materials used in original construction or materials that closely resemble the original.
  - 4. Repointing of mortar joints should match the original brick and mortar joint profile, including width and depth. Mortar should duplicate the original in color, texture, and strength. Mortar mixtures should duplicate the original composition in lime, sand, and cement proportion.
- e. A ghost sign will be deemed eligible for restoration once the HPC or Heritage Preservation Planner issues a Certificate of Appropriateness to the applicant or approves the application.
- f. Removal of any aspects of a ghost sign is prohibited, with the exception of removal of severely chipped areas of a sign which is being restored.

Sec. 111- [REDACTED] --Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

Sec. 111- [REDACTED] --This ordinance shall take effect and be in force from and after its passage and publication.

# PROPOSAL TO INCLUDE GHOST SIGN LANGUAGE IN THE MUNICIPAL CODE

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## STATEMENT OF INTENT

In order to promote and practice heritage preservation in La Crosse, it is in our best interest as a municipality to survey and attend to the early building structures of our community. The majority of early La Crosse buildings and settlements are made out of brick, a durable material that is self-sustaining in the way that it is breathable and can rid itself of moisture naturally. With the industrial revolution came the artistry of advertising, which propelled the practice of hand-painting advertisements on the side of brick buildings. These advertisements are now referred to as Ghost signs, due to their faded appearance, their age, and the way they are segments of a community's cultural history. Many local business owners have inquired about these signs and what can be done with them, if they are responsible for them, if they are protected by some form of legislation, if they can be restored, if they can be removed, or if they can be covered up. Without recognition of ghost signs in the municipal code, it has been difficult to respond to these kinds of questions, as they do not necessarily fit into the types of signs defined in our code already. These signs are particularly complex, in the way that most of them are original, one-of-a-kind paintings that were created by local artists, but also were created on structures that were not intended to be painted on. The community is demonstrating investment and concern for these artifacts, which has ignited this research. The intention of this project is to determine what our municipality can do regarding these signs so that we can provide guidance for community members, protect our brick structures, and preserve La Crosse Heritage in a meaningful way.

## EXAMPLE DEFINITIONS OF “GHOST SIGN”

- “Ghost sign means a faded painted sign that is more than fifty (50) years old that remains from an earlier time. Ghost signs provide evidence of the history of the use of the building, product, service, events, or activities of the community.” (Mesquite, TX)
- “A sign of historic nature and character painted on the side of a building. These signs generally serve no current purpose with regards to commercial or noncommercial advertising.” (Arkadelphia, AR)
- “A painted wall sign that remains from an earlier time or advertises the use of a building that provides evidence of the history of the use of the building or activities of the community. A “Ghost Sign” is not considered an off-premise sign.” (Oak Park, IL)
- “A remaining image of a hand painted sign on the exterior of a building or structure that existed prior to 1970” (Clarksville, TN)
- “A sign, painted upon the façade of a building, that is in excess of fifty (50) years old and which generally advertises an extinct business” (Helena MT)

## RELATED TERMS AND DEFINITIONS

### Art

- The expression or application of human creative skill and imagination, typically in a visual form such as painting or sculpture, producing works to be appreciated primarily for their beauty or emotional power (Oxford Dictionary).
- “Produced as an artistic effort or for decorative purposes” (Merriam-Webster Dictionary).

### Brick

- “A small rectangular block typically mad of fired or sun-dried clay, used in a building” (Oxford dictionary).

### Illuminated light Capsules

- “Intricately mapped projections that resurrect ghost signs, the faded historic advertisements painted on the sides of buildings” (Faded ‘ghost signs’ given new life in Astoria - OPB).

### Mortar

- “A workable paste which hardens to bind building blocks such as stones, bricks, and concrete masonry units, to fill and seal the irregular gaps between them, spread the weight of them evenly, and sometimes to add decorative colors or patterns to masonry walls.” (Wikipedia).

### Mural

- “A painting or other work of art executed directly on a wall” (Oxford Dictionary).

### Obsolete product

- A product that is “no longer produced or used; out of date” (Oxford Dictionary).

### Patina

- “A usually green film formed naturally on copper and bronze by long exposure or artificially (as by acids) and often valued aesthetically for its color” (Merriam Webster).

### Projection

- “The Presentation of an image on a surface” (Oxford Definition)

### Removal

- “The action of taking away or abolishing something unwanted” (Oxford Dictionary).

### Restoration

- “The action of returning something to a former owner, place or condition” (Oxford Dictionary).

### Revitalization

- “The action of imbuing something with new life and vitality” (Oxford Dictionary).
- “The process of making something grow, develop, or become successful again” (Cambridge Dictionary).

### Sign

- “Any device, fixture, placard, or structure that uses any color, form, graphic, illumination, symbol or writing to advertise, announces the purpose of, or identify the purpose of a person or entity, or to communicate information of any kind to the public (La Crosse Municicode).

# BEST PRACTICES FOR BRICK

## MAINTAINING ORIGINAL, UNPAINTED BRICK

### *Leave it as is*

The average lifespan for brick is over 500 years when it remains in its original form and is not exposed to compromising materials. In the ideal environment, brick can be expected to remain serviceable for 650 years. The best practice for making brick last is for it to remain unpainted, with minimal to no exposure to any cleaners, sealants, or other barriers and potential pollutants. The material is naturally porous, so moisture retention is inevitable. However, its porous nature also allows the material to rid itself of moisture, which is necessary to prevent mold growth and other forms of deterioration. When brick is painted, its ability to breathe and rid itself of moisture is compromised, as paint essentially clogs the pores. Paint on brick can often hinder our ability to see structural issues underneath, like cracks in mortar joints, soft mortar or efflorescence preventing these issues from being addressed and attended to, further shortening the life span of the structure.

### *Cleaning Brick*

Brick masonry itself can sometimes change color due its environment and age, often giving the appearance of a dirt coating, though cleaning brick is not necessary for its health. The appearance of brick can be affected by soot/smoke, metal stains, rust, paint, and tendrils (the remnants of ivy growth). If cleaning is desired it is best to assess the cause of the undesired appearance before taking any action so that the masonry can be best protected throughout the cleaning process. It is also important to understand the environmental, public, and personal safety threats that cleaning can cause. Cleaning can be done through water-based, chemical, or mechanical methods. The least harmful approach includes hosing the brick until the desired area is wet, then using a sponge or hard bristled brush with soap and water to gently scrub the surface. In any case, it is crucial to wear protective gear such as gloves, a face covering and safety goggles, as it is likely that the materials being shed in this process will be harmful to the eyes, skin and will contaminate the air.



## *Leave it as is*

Due to the advertising practices that emerged with the industrial revolution, many brick buildings have already been painted, and some have been re-painted over and over. Ghost signs are a result of this late 19<sup>th</sup>, early 20<sup>th</sup> century practice, meaning that the brick structures where the signs reside have already been compromised to some degree. Generally, the best and safest practice for preserving painted brick is to leave it as is. A non-profit organization, Texas Preservation, headquartered in San Marcos explains that: “repainting a historic sign can destroy the patina that is associated with its authenticity.” It is important in heritage preservation to consider the authenticity of original signs, however, not all painted brick signs are historical in nature, therefore it can be desirable to re-paint, clean or remove them.

### *Cleaning Painted Brick*

Cleaning painted brick is generally unnecessary, however it is helpful step when the goal is to restore a painting or remove paint. As discussed for cleaning un-painted brick, the least harmful approach includes hosing the brick until the desired area is wet, then using a sponge or hard bristled brush with soap and water to gently scrub the surface. When paint is present, it is especially important to utilize personal protective gear when cleaning, as there is increased exposure to potentially harmful materials. Many of the paints used at the time these paintings were created contained lead, which is an incredibly harmful pollutant that contaminate the air. In addition to wearing personal protective gear, it is crucial to have a plan in place for water and waste disposal due to the pollutants present. The Environmental Protection Agency requires under the federal Toxic Substances Control Act that and the Residential Lead-Based Activities Reduction Act that contractors working with paint on dwellings built before 1978 must be certified in lead-safe work practices.

### *Re-painting Brick*

Removing paint from brick surfaces can be very damaging to the integrity of the material, and it is not advised. Painting over already-painted brick does not usually damage the masonry further or expose it to more danger. The Historic National Trust suggests that it is usually better to re-paint ghost signs a sympathetic color rather than to remove the paint. The paint removal process will often be more destructive to the face of the brick, as it often removes the mortar and or its soft jointing, compromising its appearance and structural endurance. Re-painting brick rather than removing paint will also help to avoid

the disposal of potentially harmful materials, as many paints used for older signs contain lead. However, in cases where the paint is flaking or chipping and revival of the painting is desired, it may be necessary to remove some areas of paint that have loosened in order to achieve a simplistic, restored aesthetic. When it is necessary to remove paint due to chipping or layering, address only the necessary areas with water, a gentle cleansing brush, and if necessary, a paint scraper. To avoid further damage to the surface, it is best to use a breathable sealant or porous paint so that the material is not more constricted in its ability to breathe. Paints and clear sealants that are water and/or silicone based are typically the most breathable.

Many Ghost sign restoration projects have been executed in a way to preserve the authenticity of the original sign, addressing only the necessary details to return the sign to or maintain its legibility. In 2020, Brushcan Custom Murals & Hand Painted Signs restored three historical signs in Mooresville, North Carolina. The company hand cleaned the signs, re-painted only the necessary details, and sealed the paintings with acrylic urethane finish.



“Selz Chicago” and “Kelly Clothing” signs after the 2020 restoration project

A sign from 1913 in Queen Street in Ontario, Canada that reads “Loew’s leads in Toronto. Show starts daily 9:30 AM” was also recently restored to resemble its original appearance. This project completed by Lori LeMare Studio Inc and was overseen by the Ontario Heritage Trust. The restoration includes the repointing of mortar, removal and cleaning of several layers of paint, replacement of some individual bricks, hand cleaning the surface, use of a clear, breathable mineral paint to coat the original sign, which was then finished with a breathable colored paint to restore the negative space of the sign.



Photograph of the Queen Street "Loew's" sign in 1942



Photograph of the Queen Street "Loew's" sign before the Restoration Project



Photograph of the Queen Street "Loew's" sign after the Restoration Project

## Removing Paint from Brick

The process of removing paint from brick can be extremely difficult to execute correctly, which is why it is best for the structure and the environment to leave the paintings alone. When removal is desired or it is necessary for a restoration project, however, the first course of action should be to assess the integrity of the wall underneath to ensure it can withstand any removal method. Testing a section of the wall before beginning the project can be helpful in determining the state of the structure. Generally, it is best to avoid chemical and mechanical methods as they are abrasive, pose many safety concerns, use more resources, and are likely to damage the mortar of the brick. Using a water-based cleaning method first can loosen up the paint to allow it to be more easily scraped off. Paint can be stubborn, particularly older, industrial, often lead-based paint that was used for these painted advertisements. When the gentle removal approach does not work, then it may be time to move onto a chemical or mechanical method.

**Chemical removal methods** usually include applying a layer of paint remover, which will then bond with the paint, causing a reaction that breaks the paint particles down. Once the reaction occurs, the wall should be rinsed so that the remover and the paint are cleared from the wall. Chemical methods are likely to create a rinse-water disposal challenge, and can also damage the mortar of the brick.

**Mechanical removal methods**, like sand-blasting, usually require a pressure system that sprays sand or other abrasive chemicals on the wall, which will penetrate the surface, allowing the paint to come off. The pressure used in mechanical methods is often too abrasive for the brick underneath, and can cause the bricks to crumble at an accelerated rate. Sand-blasting also can release particles of paint, sand, and any chemicals used into the air, creating an environmental safety issue. If water and/or chemicals are used, there will also be a rinse-water disposal issue.

### *Ghost Sign Classification Criteria*

- Painted Directly on the exterior brick of a building
- 50 Years old or older
- Signifies the use of a building at a certain point in time OR advertises a product that demonstrates some aspect of the city's cultural history
- Faded to a noticeable point

*Over the course of this research, nineteen signs in La Crosse have been found to fit the criteria necessary to be classified as a Ghost Sign. Five additional signs were documented, but there has not been enough data collected regarding their age, therefore they do not (yet) meet the fifty-year age requirement. Additionally, one sign was found to fit all of the criteria aside from residing on a brick structure. The inventory collected includes all of the signs found to fit the criteria, as well as a few that should be considered although they deviate from the Ghost Sign classification criteria. The inventory created marks the signs according to the criterium that they do or do not follow.*

## THE GOALS

- **Create an understanding for the Historical significance of Ghost Signs**
  - Preserve historically/culturally significant signs
    - Artistry of painting?
    - Embody some aspect of La Crosse’s cultural history?
- **Create concrete guidelines for classifying Ghost Signs**
- **Create Language regarding Ghost signs to include in our Municipal Code so that restoration can occur**
  - Explicitly differentiate Ghost Signs from other types of signs included in our sign code
    - “Art”? “Historical Signs”?
  - Include Ghost Sign restoration guidelines and requirements
    - Restoration Permits?
    - Material Disposal plans/requirements?
  - Include Ghost Sign removal restrictions
    - Should it be prohibited?
- **Find partners that are interested in or can perform the restoration**

## RESOURCES

[Oxford English Dictionary \(oed.com\)](https://www.oxforddictionaries.com/entry/ghost-sign)

<https://www.claybrick.org/news/500-years-average-brick-lifespan>

<https://mcgillrestoration.com/reasons-why-you-shouldnt-paint-your-brick-building/>

<https://www.preservationtexas.org/allmep/ghost-signs>

[Why This Common Reno Project Is So Controversial - Bob Vila](#)

<http://www.drkenjones.com/ghostsigns/AboutGS.php#:~:text=The%20sign%20should%20not%20be,The%20sign%20should%20be%20authentic>

## RESTORATION PRODUCTS & RESOURCES

[https://www.edisoncoatings.com/Home/Coatings/coatings.html?gad\\_source=1&gclid=EAlaIQobChMIpoOtstDYhQMVsDfUAR2FZAi8EAMYASAAEgJq3PD\\_BwE](https://www.edisoncoatings.com/Home/Coatings/coatings.html?gad_source=1&gclid=EAlaIQobChMIpoOtstDYhQMVsDfUAR2FZAi8EAMYASAAEgJq3PD_BwE)

<https://royalstonecare.co.uk/brick-cleaning-dos-and-donts/>

<https://www.kindhomesolutions.com/the-4-best-paints-for-painting-brick/>

[https://www.beeckmineralpaints.com/painting-bricks?gad\\_source=1&gclid=EAlaIQobChMInv-R6qvbhAMVEE1HAR3uLAFhEAAAYASAAEgKqa\\_D\\_BwE](https://www.beeckmineralpaints.com/painting-bricks?gad_source=1&gclid=EAlaIQobChMInv-R6qvbhAMVEE1HAR3uLAFhEAAAYASAAEgKqa_D_BwE)

## SUCCESSFUL RESTORATION PROJECTS

[https://dailyprogress.com/news/local/government-politics/a-ghost-sign-on-charlottesvilles-downtown-mall-is-coming-back-to-life/article\\_aebde8cc-1146-11ee-9df4-4b8671c21b16.html](https://dailyprogress.com/news/local/government-politics/a-ghost-sign-on-charlottesvilles-downtown-mall-is-coming-back-to-life/article_aebde8cc-1146-11ee-9df4-4b8671c21b16.html)

<https://www.heritagetrust.on.ca/ewg/ewg-home/learn/ghost-sign>

<https://hiddencityphila.org/2021/09/not-fade-away-the-aesthetic-debate-behind-preserving-ghost-signs/>

<https://savingplaces.org/stories/your-citys-ghost-signs-have-stories-to-tell>

<https://signsforsuccess.biz/brick-wall-murals-wont-alter-damage-building/>

<https://savingplaces.org/stories/faded-glory-the-restored-ghost-signs-of-mooresville-north-carolina>

<https://www.heritagetrust.on.ca/ewg/ewg-home/learn/ghost-sign>



## Proposal to amend the municipal code to include Ghost signs

### **Intent Statement:**

In order to promote and practice heritage preservation in La Crosse, it is in our best interest as a municipality to survey and attend to the early building structures of our community. The majority of early La Crosse buildings and settlements are made out of brick, a durable material that is self-sustaining in the way that it is breathable and can rid itself of moisture naturally. With the industrial revolution came the artistry of advertising, which propelled the practice of hand-painting advertisements on the side of brick buildings. These advertisements are now referred to as ghost signs. The presence of ghost signs allows us to see hints of the culture of a community from long ago. However, recent discussions have found that paint can be very damaging for brick material in the way that it corks the pores of the brick, compromise the integrity of the material underneath.

Many local business owners have inquired about what can be done with ghost signs, if they are to be protected, if they can be restored, if they should go untouched, if they can be removed, or if they can be covered up. Without recognition of ghost signs in the municipal code, it has been difficult to respond to these kinds of questions. This has been a tough debate in numerous communities in the way that ghost signs are important to understanding a community's history, yet it is just as, if not more important to preserve the foundation of the buildings underneath. This document includes definitions of ghost signs and terms related to the issue, an inventory of ghost signs in La Crosse, further information on the health of brick structures, as well as examples of efforts from other communities to address the issue.

### Example Ghost Sign Definitions (from other municipalities):

- "*Ghost sign* means a faded painted sign that is more than fifty (50) years old that remains from an earlier time. Ghost signs provide evidence of the history of the use of the building, product, service, events, or activities of the community." **(Mesquite, TX)**
- "A sign of historic nature and character painted on the side of a building. These signs generally serve no current purpose with regards to commercial or noncommercial advertising." **(Arkadelphia, AR)**
- "A painted wall sign that remains from an earlier time or advertises the use of a building that provides evidence of the history of the use of the building or activities of the community. A "Ghost Sign" is not considered an off-premise sign." **(Oak Park, IL)**
- "A remaining image of a hand painted sign on the exterior of a building or structure that existed prior to 1970" **(Clarksville, TN)**

- “A sign, painted upon the façade of a building, that is in excess of fifty (50) years old and which generally advertises an extinct business” (**Helena MT**)

### **Related terms and definitions:**

- **Brick**
  - “A small rectangular block typically mad of fired or sun-dried clay, used in a building” (Oxford dictionary)
- **Illuminated light capsules**
  - “Intricately mapped projections that resurrect ghost signs, the faded historic advertisements painted on the sides of buildings” ([Faded ‘ghost signs’ given new life in Astoria - OPB](#))
- **Mortar**
  - “A workable paste which hardens to bind building blocks such as stones, bricks, and concrete masonry units, to fill and seal the irregular gaps between them, spread the weight of them evenly, and sometimes to add decorative colors or patterns to masonry walls.” (Wikipedia)
- **Mural**
  - “A painting or other work of art executed directly on a wall” (Oxford Dictionary)
- **Obsolete product**
  - A product that is “no longer produced or used; out of date” (Oxford Dictionary)
- **Patina**
  - “A usually green film formed naturally on copper and bronze by long exposure or artificially (as by acids) and often valued aesthetically for its color” (Merriam Webster)
- **Projection**
  - “The Presentation of an image on a surface” (Oxford Definition)
- **Removal**
  - “The action of taking away or abolishing something unwanted” (Oxford Dictionary)
- **Restoration**
  - “The action of returning something to a former owner, place or condition” (Oxford Dictionary)
- **Revitalization**
  - “The action of imbuing something with new life and vitality” (Oxford Dictionary)
  - “The process of making something grow, develop, or become successful again” (Cambridge Dictionary)

**La Crosse Ghost sign inventory:**



**Leithold Music Building & Jules Buildings  
(116 4<sup>th</sup> Street S & 327 Pearl Street)**



**Leithold Music Building (North wall)  
(116 4<sup>th</sup> Street S)**



**Doerflinger Building (Alley)  
(400 Main Street)**



**Amanda's Academy of Dance  
(329 Division Street)**



**319 Main street**



**511 Main street**



**602 State Street**



**605 State Street**



**413 3<sup>rd</sup> Street**



115 3<sup>rd</sup> Street



107 3<sup>rd</sup> Street



600 10<sup>th</sup> Street



111 7<sup>th</sup> Street



510 Island Street



**1200 Caledonia Street**



**1200 Caledonia Street**



**1213 Caledonia Street**

**Criteria for Ghost sign Designation:**

- Painted directly on the brick of a building
- 50 years or older
- Signifies the use of a building at a certain point in time OR advertises a product that demonstrates the culture of the city at the time it was produced
- Faded to a noticeable point

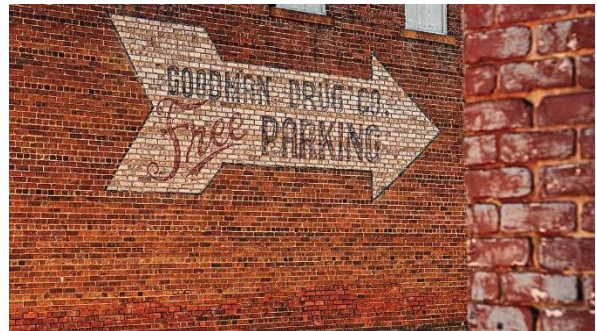
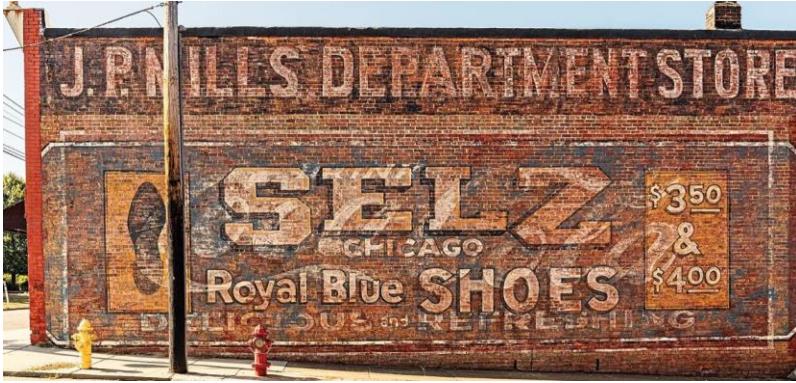
## Issues surrounding the life span of brick:

- According to the **Clay Brick Association**, 500 years is the average lifespan for brick, and in the right environment will be able to remain serviceable for nearly 650 years. (<https://www.claybrick.org/news/500-years-average-brick-lifespan>)
- **McGill Restoration**, a structural preservation company explains that once brick is painted, it is immediately compromised, and exposes the structure to more possibilities of damage. Brick is a material that is naturally breathable and can release moisture from rain and other environmental factors on its own. When paint is introduced, the brick is now stripped of its porous nature that allow for the moisture to be released, trapping moisture in the brick which leads to erosion. (<https://mccgillrestoration.com/reasons-why-you-shouldnt-paint-your-brick-building/>)
- **Preservation Texas**, a non-profit organization, headquartered in San Marcos explains that: “repainting a historic sign can destroy the patina that is associated with its authenticity” (<https://www.preservationtexas.org/allmep/ghost-signs>)
- **The Historic National Trust** suggests that it is usually better to re-paint ghost signs a sympathetic color rather than to remove the paint. The paint removal process will often be more destructive to the face of the brick as it often removes the mortar and or its soft jointing, compromising its appearance and structural endurance.

## Successful Restoration Projects:

### Mooreville, North Carolina in 2020 (Member of Main Street America Program)

- Brushcan Custom Murals & Hand painted signs was granted permission to restore three historical signs, not making them look “new”, rather enhancing the details that were faded to preserve the history of the signs.
- They cleaned the signs, sealed them with acrylic urethane finish, then painted only the details necessary to make the signs readable still– mimicking the way that painters used to mix colors, and allowing the paintings to still look naturally weathered.
- Residents of Mooreville have been pleased and feel a sense of pride in both the aesthetic of the town and their community’s dedication to preserve its history
- <https://savingplaces.org/stories/faded-glory-the-restored-ghost-signs-of-mooreville-north-carolina>



### Winnipeg, Canada (2017)

- Artists are using light to digitally project old advertisements on the original buildings
- This story argues that painted signs are significant as they are individual and not a mass product, giving each sign distinct character
- The story argues that the feeling of a city comes from the collection of unique buildings, artifacts and landmarks
- <https://savingplaces.org/stories/your-citys-ghost-signs-have-stories-to-tell>





### Charlottesville, VA downtown Mall sign restoration 2023

- This project was done to “amplify the authenticity of our historic district”
- The community believes that it is their responsibility to preserve “these fragile historic assets”
- The project restored an entire wall of ghost signs on the city’s Downtown Mall
- The cost of the project was \$32,000 and was covered by the Charlotte-based Coca-Cola Consolidated (since several of the signs were for Coca-Cola)

\*\*\*This article has since required a subscription to The Daily Progress to view, though it did contain images of the signs that were restored

- [https://dailyprogress.com/news/local/government-politics/a-ghost-sign-on-charlottesvilles-downtown-mall-is-coming-back-to-life/article\\_aebde8cc-1146-11ee-9df4-4b8671c21b16.html](https://dailyprogress.com/news/local/government-politics/a-ghost-sign-on-charlottesvilles-downtown-mall-is-coming-back-to-life/article_aebde8cc-1146-11ee-9df4-4b8671c21b16.html)

### Ontario Heritage Trust, Queen Street project

- “The restoration process included hand-cleaning the wall’s surfaces in preparation for a new coating. Following cleaning, the original ghost lettering was protected with a clear, breathable masonry coating of mineral paint and then colored paint was used to restore the negative space of the sign, which brought out the lettering, making it legible again.”
- The restoration was completed by Lori LeMare Studio Inc. (an experienced ghost sign restoration and decorative artist team)
- [The Loew’s heritage sign: The restoration of a ghost sign | The Elgin and Winter Garden Theatre \(heritagetrust.on.ca\)](https://heritagetrust.on.ca)



### Philadelphia Hidden City Organization

- Instead of restoring ghost signs with paint, the Artists on this project used digital illumination to recreate historical images, projecting them onto the wall of the original image
- [hiddencityphila.org/2021/09/not-fade-away-the-aesthetic-debate-behind-preserving-ghost-signs/](https://hiddencityphila.org/2021/09/not-fade-away-the-aesthetic-debate-behind-preserving-ghost-signs/)



**Global Credit Union:**

- “Conformable wall mural film that goes up with heat and looks like a mural, but no penetrations in the wall are required, and it will come down clean later without damaging the wall”
- “The murals are 8 feet x 10 feet each. The graphics were printed on 3M porous wall film, which is designed to conform to any rough or porous surface. It produces a painted-on look without the permanence of paint. Best of all, the removable adhesive allows for easy removal with no residue left behind.” (<https://signsforsuccess.biz/brick-wall-murals-wont-alter-damage-building/>)



**Material Suggestions for painting/restoring signs:**

- Best Masonry Paint: Loxon
  - o “If you’re looking for a paint that was specifically designed with brick in mind, look no further than Sherwin Williams Loxon. Loxon is a concrete and masonry coating that

offers fantastic weather protection. Unlike some other masonry products, it was designed to be more breathable. This allows the paint to act more like standard acrylic paint and reduces the risk of blistering and peeling. Loxon is versatile and can be used on bare, or previously painted concrete, stucco, masonry, and cement boards. We love that it comes in both flat and satin sheens and we are confident that you'll love the finished look." (<https://www.kindhomesolutions.com/the-4-best-paints-for-painting-brick/>)

- [https://www.beeckmineralpaints.com/painting-bricks?gad\\_source=1&gclid=EAlaIqobChMIInv-R6qvbhAMVVEE1HAR3uLAFhEAAAYASAAEgKqa\\_D\\_BwE](https://www.beeckmineralpaints.com/painting-bricks?gad_source=1&gclid=EAlaIqobChMIInv-R6qvbhAMVVEE1HAR3uLAFhEAAAYASAAEgKqa_D_BwE)

### Arguments *against* restoration:

- Texas Preservation
  - "Repainting a historic sign can destroy the patina that is associated with its authenticity"
    - **Patina:** A layer that is formed on a (stone) surface that is a result of oxidation or chemical process ([Patina - Wikipedia](#))
  - [Painted Advertising Signs aka "Ghost Signs" — Preservation Texas](#)
- Drken Jones: American Ghosts
  - "The sign should not be restored or recreated. Many signs have been restored, sometimes badly, sometimes so well that it is difficult to tell if the sign is or is not original. I found many restorations were more recreations, having no resemblance to the original graphics. The sign should be authentic. Many signs are new creations. For example, Central City and Blackhawk, Colorado, have added murals that look like old signs but advertise non-existent products. I also ran into some signs in New Mexico that were painted by the art department for a motion picture. Some of these are intentionally distressed to look old.
    - The sign should contain something interesting or unique. There are lots of interesting features of signs. I love the 'Where's Waldo' type of signs with the overlapping graphics making deciphering the contents a challenge.
    - There are some products, such as Coca Cola and Mail Pouch Tobacco, whose signs have become icons by themselves.
    - There are some signs that are interesting for their period fonts or graphics.
    - The signs should not be too recent. My guideline is that any sign that has more than six digits in the phone number is too new.
    - There are signs for long forgotten and quaint products, such as various patent medicines, that are time-capsules of another era. One of my favorites is the 'Dr.

Hoffman's Red Drops' sign in St. Louis, Missouri, that cures 'Colic, Cramps, and Cholera Morbus'.

- And then there are the signs with some social commentary unintentionally built in, such as the sign on a cafe in Huntington, Oregon, that states 'White Help Only'.”
- <http://www.drkenjones.com/ghostsigns/AboutGS.php#:~:text=The%20sign%20should%20not%20be,The%20sign%20should%20be%20authentic>

### **Considerations for our municipal code regarding Ghost signs:**

- Define Ghost Signs, Brick, and (Ghost Sign) Restoration
- Consider Ghost signs to be non-conforming signs or classify them as Art to differentiate them from modern day signs
- Address the effects of paint on brick
- Require that no sign shall be restored without having a valid sign permit for the restoration
  - An application must be submitted to the city for the Heritage Preservation Commission to review
  - A permit can be attained after review and approval from the Heritage Preservation Commission
- Include requirements of the restoration process (IF the application is approved):
  - The building owner must complete the project through an eligible restoration artist who will then properly:
    - Clean the sign
    - Seal the sign with a porous seal
    - Retouch the Sign with porous paint, mimicking the original painters’ efforts (Colors, Artistry, Aesthetic) while preserving the aged image of the sign