



Meeting Agenda

Commercial/Multi-Family Design Review Committee

Friday, June 19, 2026

9:00 AM

Virtual via Zoom

The meeting is conducted through video conferencing.
Members of the public will be able to attend the meeting via video conferencing with the link below.

Join Zoom Meeting

Click this link (or typing the URL in your web browser address bar):

<https://cityoflacrosse-org.zoom.us/j/82799188943?pwd=pAMS3MbJusyBqR9mjCiK3jH6cAP0rk.1>

Meeting ID: 827 9918 8943

Passcode: 212646

Dial by your location

1 312 626 6799

If you wish to speak please provide written comments by emailing acklint@cityoflacrosse.org, using a drop box outside of City Hall or mailing the Department of Planning, Development, and Assessment at 400 La Crosse St, WI 54601

Call to Order

Agenda Items:

1. [26-0016](#) Review of plans for the commercial addition located at 610 Hagar/632 Rose Streets.

Attachments: [Final Plans 6-19-26](#)

[Final Rendering 6-19-26](#)

[Design Review Memo 1-9-26](#)

[Preliminary Plans 1-9-26](#)

2. [26-0659](#) Review of plans for the project located on the southern portion of Lot 11 within the River Point District. (Cowboy Jacks)

Attachments: [Prelim Architectural Plans 6-19-26](#)

[Prelim Civil Plans 6-19-26](#)

[NW View \(Patio\) Day 6-19-26](#)

[NW View \(Patio\) Dusk 6-19-26](#)

[SE View \(Patio\) Day 6-19-26](#)

[SE View \(Patio\) Dusk 6-19-26](#)

[SW View \(Patio\) Day 6-19-26](#)

[SW View \(Patio\) Dusk 6-19-26](#)

Adjournment

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0016

Agenda Date:

Version: 1

Status: Agenda Ready

In Control: Commercial/Multi-Family Design Review Committee

File Type: Review of Plans

Agenda Number: 1.

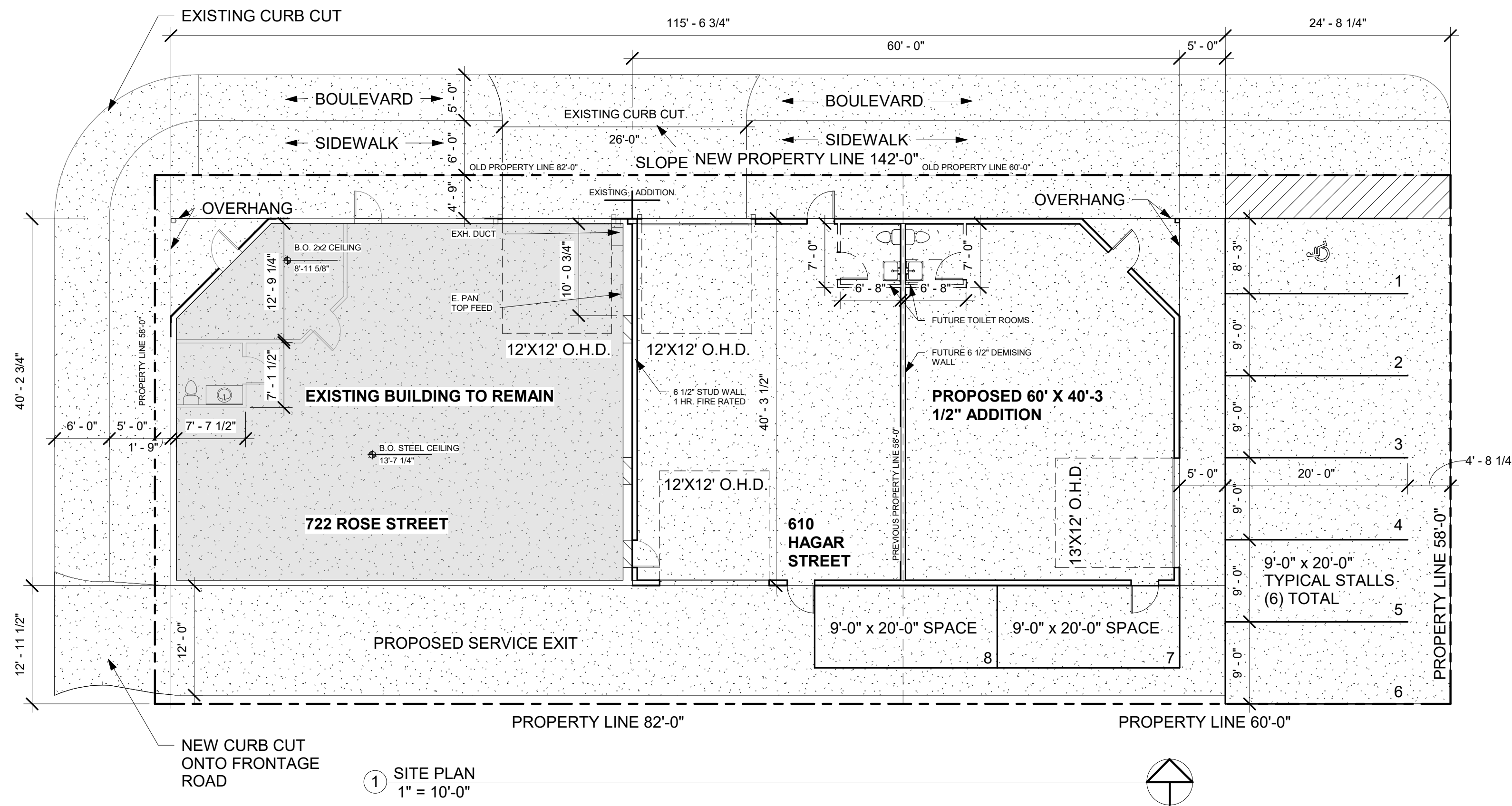
CRDN

**610 ROSE STREET
LA CROSSE WI, 54603
PROJECT NO. 203**

DRAWING INDEX

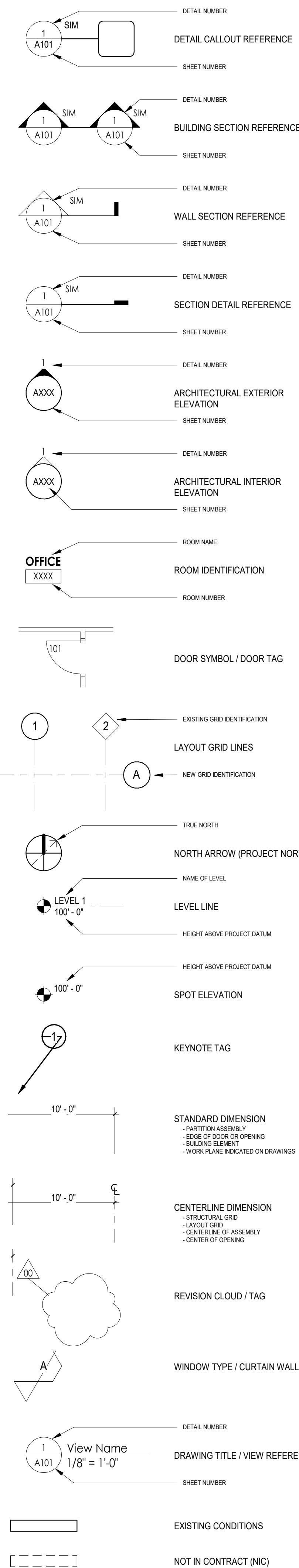
GENERAL

- C1.1 SITE PLAN
- AB.1 AS BUILT DRAWINGS
- A1.1 FIRST FLOOR PLAN
- A2.1 ELEVATIONS
- A3.1 SECTIONS
- A4.1 DETAILS
- A5.1 STRUCTURAL

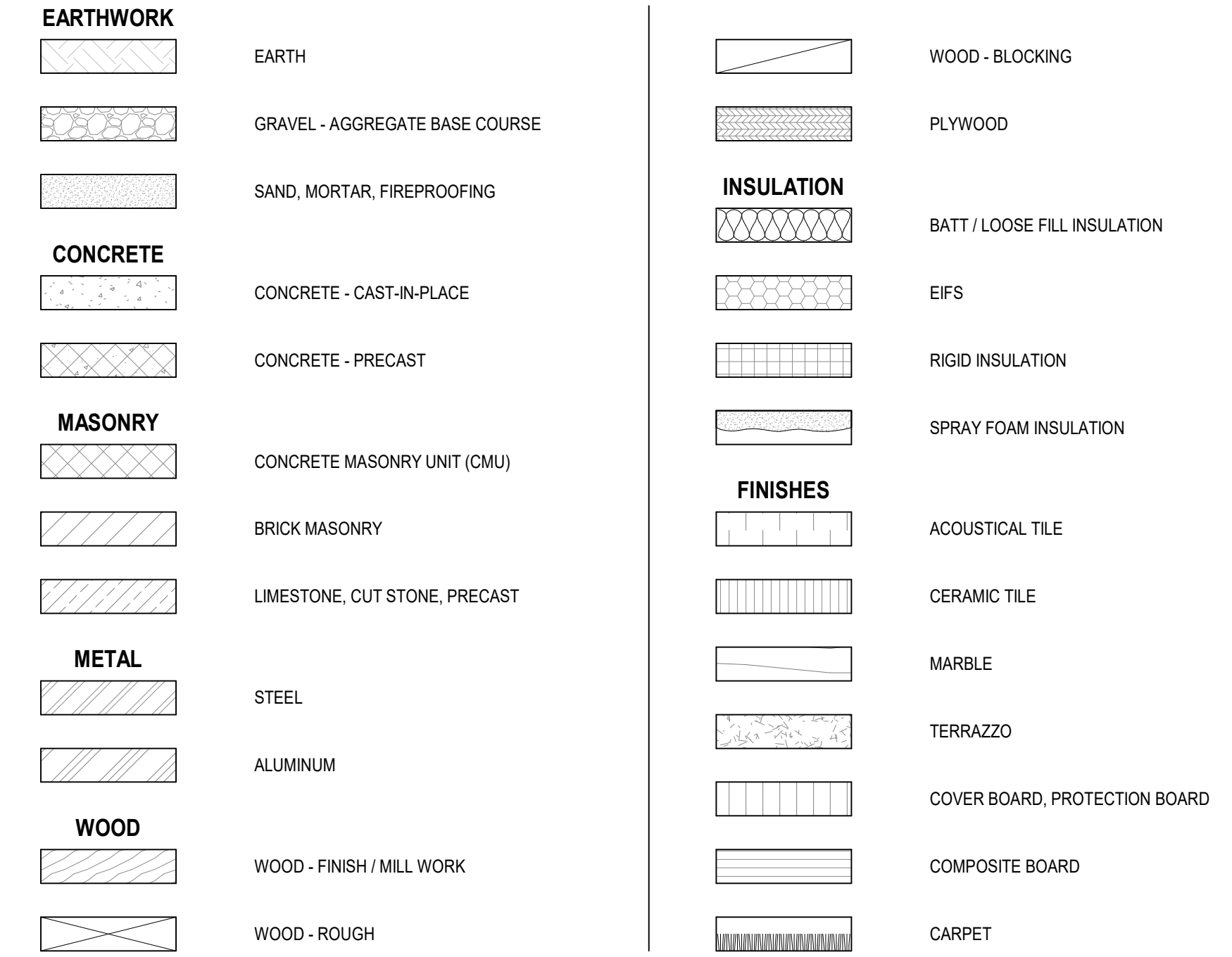


1 SITE PLAN
1" = 10'-0"

ARCHITECTURAL SYMBOLS - PLAN



ARCHITECTURAL MATERIALS LEGEND



GENERAL NOTES

1. GENERAL CONTRACTOR AND EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS INCLUDING BUT NOT LIMITED TO WINDOW AND DOOR ROUGH OPENINGS, CEILING HTS, ETC. NOTIFY THE ARCHITECT WITH ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
2. GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL WINDOW AND DOOR ROUGH OPENINGS WITH THE DRAWINGS AND THE MANUFACTURER'S CURRENT PRODUCT NUMBER AND DESIGNATION. NOTIFY THE ARCHITECT WITH ANY DISCREPANCIES BEFORE ORDERING AND WINDOW AND/OR DOOR UNIT.
3. GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VERIFY PROPER INSTALLATION OF MATERIALS SUCH AS BUT NOT LIMITED TO, FLASHING, WEATHER SEALING, CONNECTIONS, ANCHORAGE, ETC.
4. DO NOT SCALE DRAWINGS. IF GENERAL CONTRACTOR AND/OR SUBCONTRACTORS HAVE DIMENSION QUESTIONS OR THERE ARE DIMENSION DISCREPANCIES THEY SHOULD CONTACT THE ARCHITECT FOR CLARIFICATION.
5. ARCHITECT SHALL NOT BE RESPONSIBLE FOR SIZING OR REINFORCING OF ANY STRUCTURAL COMPONENTS.
6. GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, BUILDING CODES AND REGULATIONS. IF NOT SPECIFICALLY STATED IN THE DRAWINGS, THE APPROPRIATE BUILDING CODE SHALL GOVERN SIZES, QUANTITY AND QUALITY OF WORK.

GENERAL NOTES - SITE PLAN

1. VERIFY ALL DIMENSIONS AND CONDITIONS AT PROJECT SITE. BRING ANY DISCREPANCIES TO THE ARCHITECT FOR FINAL DECISION.
2. PRIOR TO ANY EARTHWORK ACTIVITY, ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND APPROPRIATE PERMITS SHALL BE OBTAINED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES, WEATHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES. CALL DIGGER'S HOT LINE (800)242-8511
4. ALL FINISHED GRADING SHALL PROVIDE FOR A SMOOTH TRANSITION TO UN-GRADED AREAS.

MIDWEST
Design & Development, LLC
N5560 CTH ZM, Suite 3 Onalaska, WI 54650
PH: 608-785-2760

PRELIMINARY

CRDN
610 HAGAR STREET
LA CROSSE, WI 54603

REVISION SCHEDULE

No.	Date	Description

SITE PLAN

PROJECT No	203
DATE	05/06/2026
DRAWN BY	CBN
CHECKED BY	CHK

C1.1

PRELIMINARY

CRDN
 610 HAGAR STREET
 LA CROSSE, WI 54603

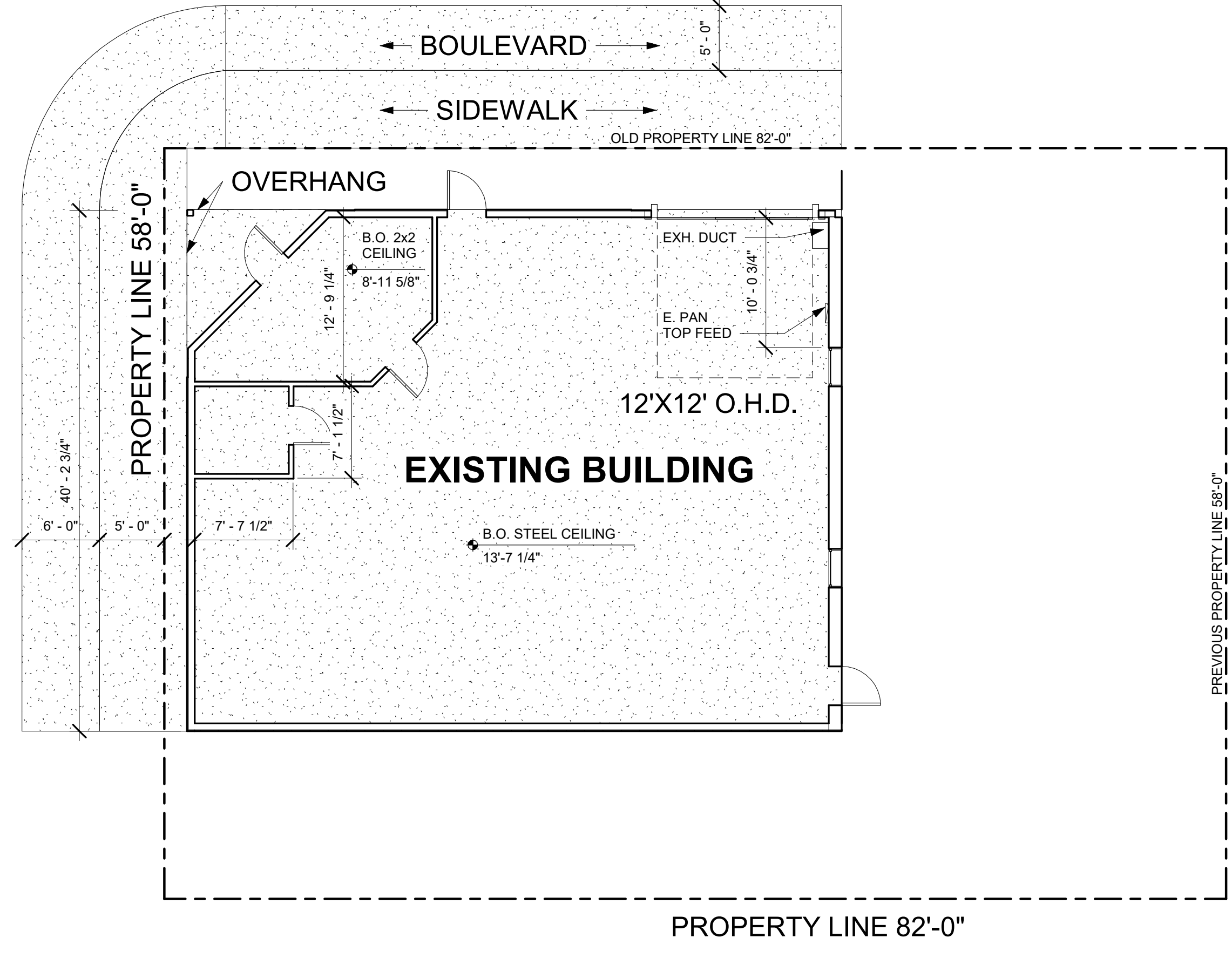
REVISION SCHEDULE

No.	Date	Description

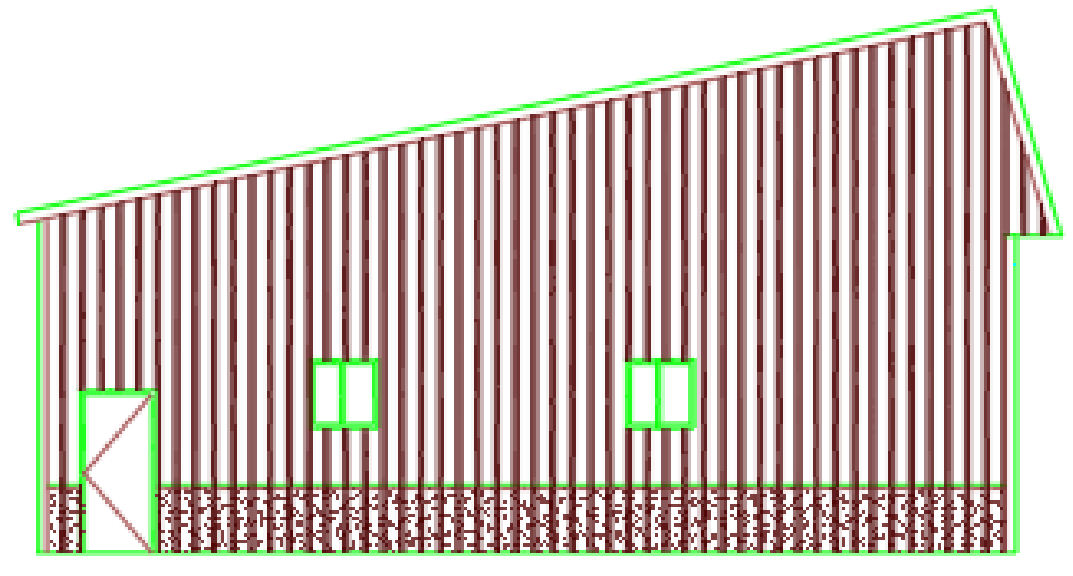
AS BUILT DRAWINGS

PROJECT No	203
DATE	05/06/2026
DRAWN BY	CBN
CHECKED BY	CHK

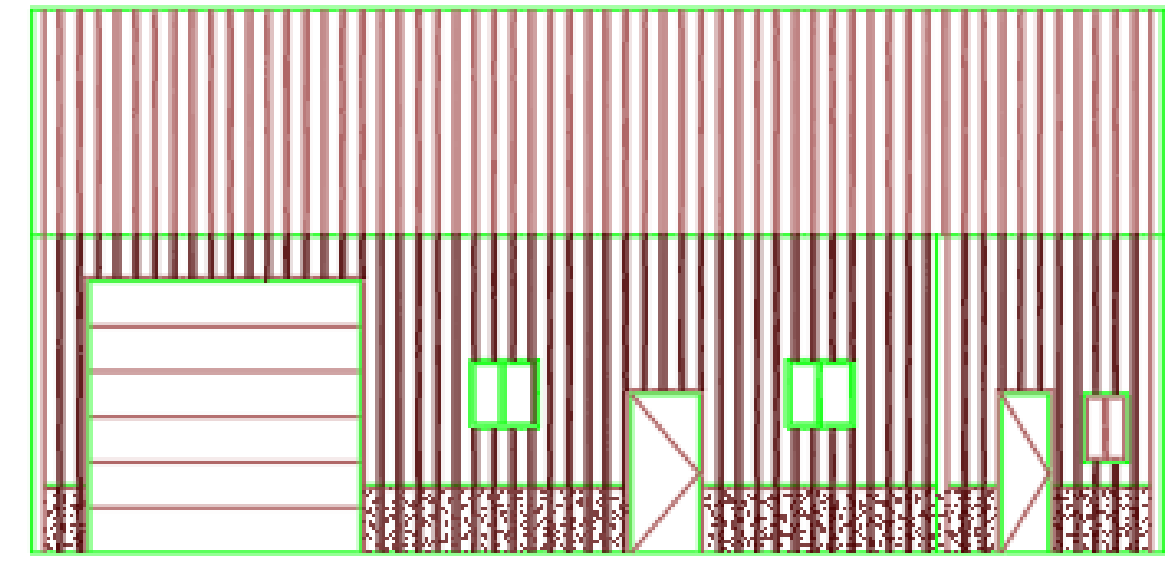
AB.1



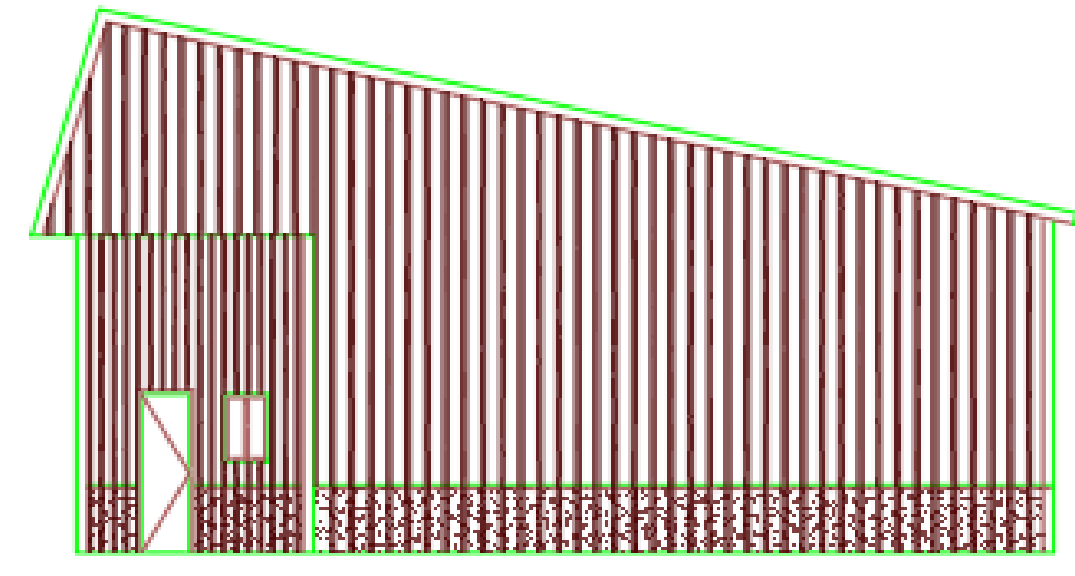
1 EXISTING FLOOR PLAN
 1/8" = 1'-0"



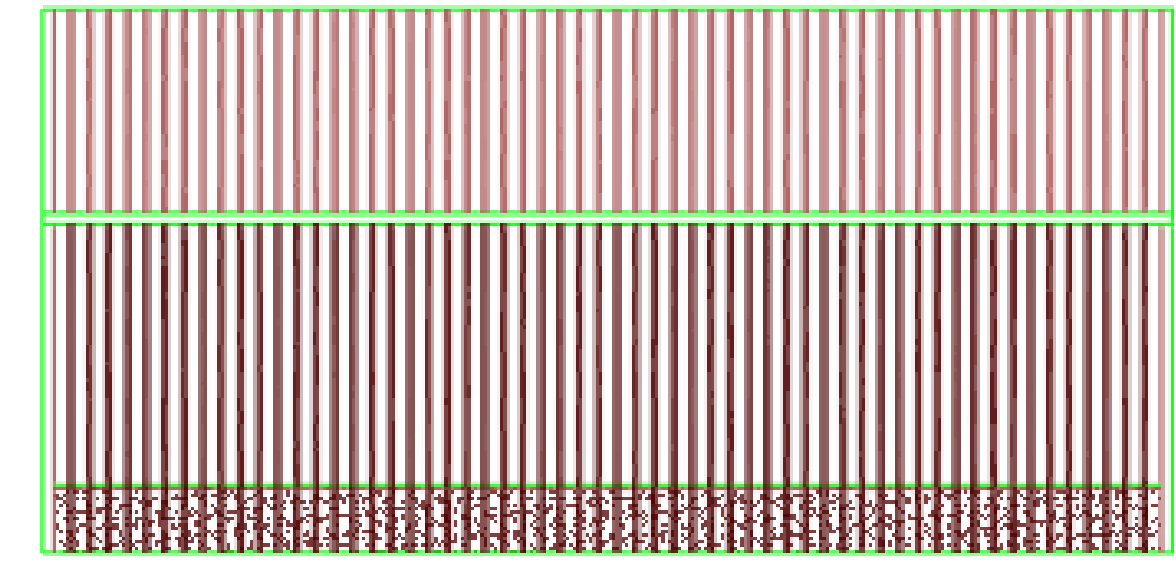
1 EXISTING EAST ELEVATION
 1/8" = 1'-0"



2 EXISTING SOUTH ELEVATION
 1/8" = 1'-0"



3 EXISTING WEST ELEVATION
 1/8" = 1'-0"



4 EXISTING NORTH ELEVATION
 1/8" = 1'-0"

PRELIMINARY

CRDN
 610 HAGAR STREET
 LA CROSSE, WI 54603

REVISION SCHEDULE

No.	Date	Description

FIRST FLOOR PLAN

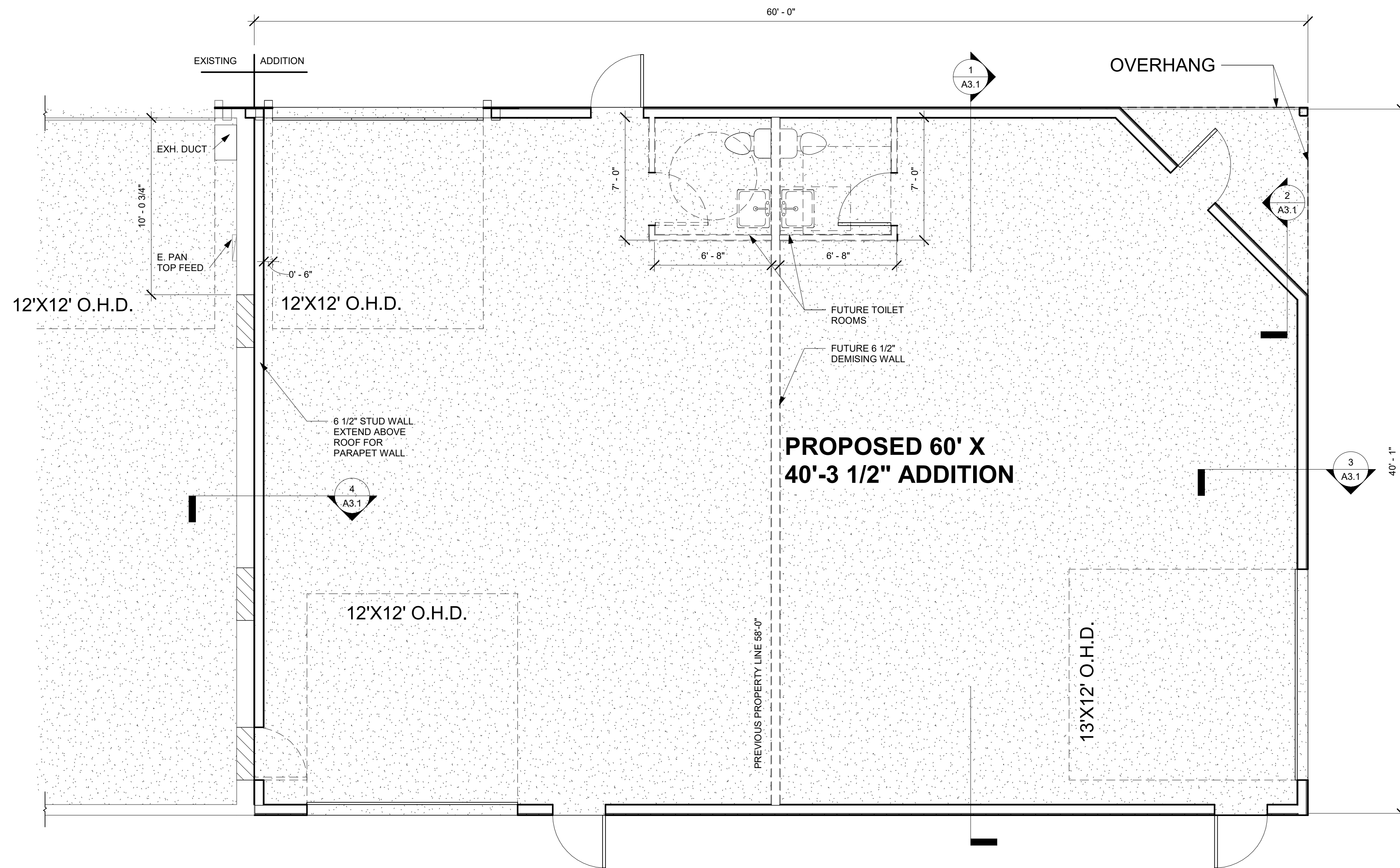
PROJECT No 203

DATE 05/06/2026

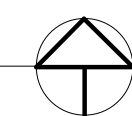
DRAWN BY CBN

CHECKED BY CHK

A1.1



1 FIRST FLOOR PLAN
 1/4" = 1'-0"



PRELIMINARY

CRDN
 610 HAGAR STREET
 LA CROSSE, WI 54603

REVISION SCHEDULE

No.	Date	Description

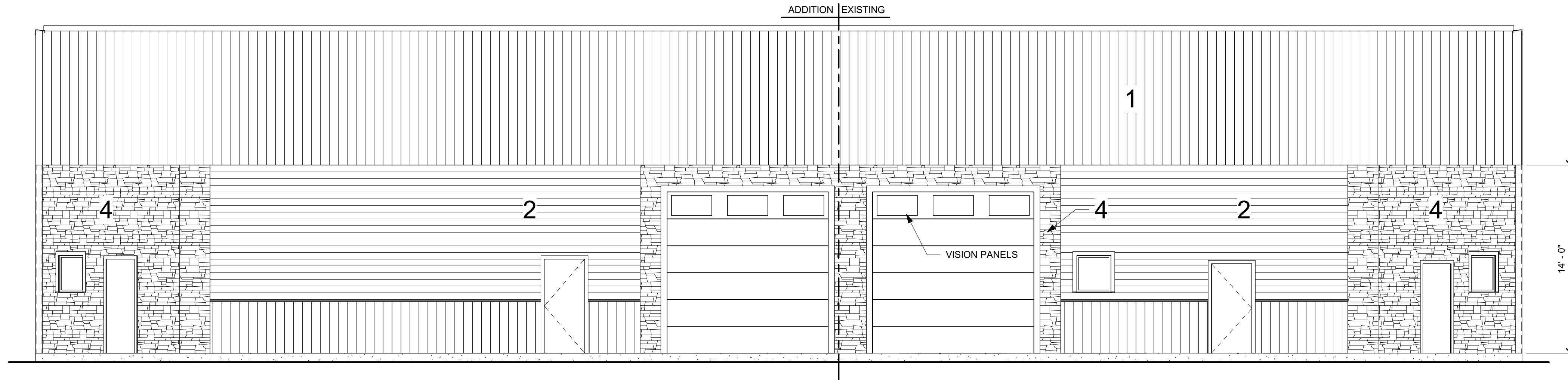
ELEVATIONS

PROJECT No 203
 DATE 05/06/2026
 DRAWN BY CBN
 CHECKED BY CHK

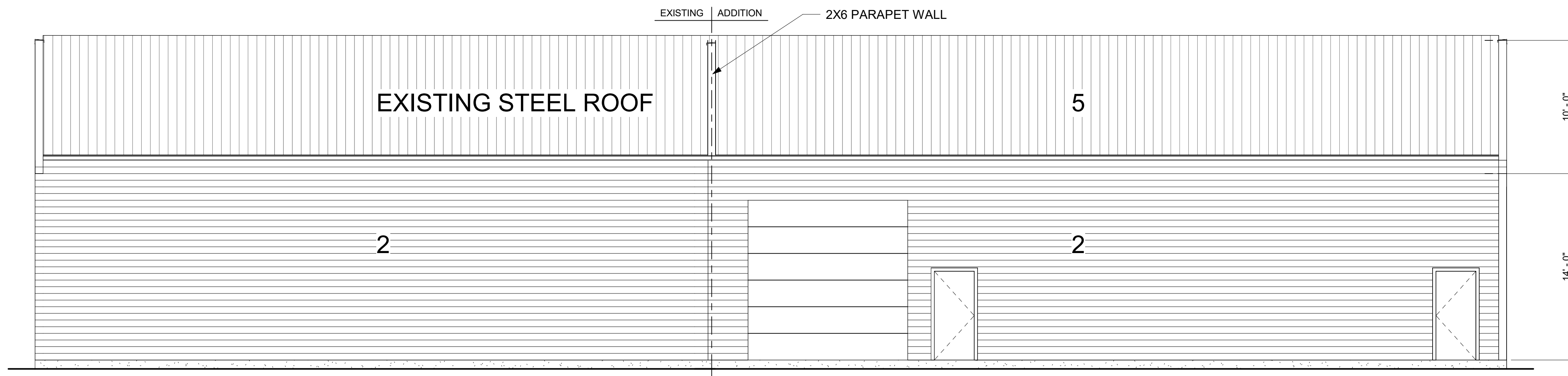
A2.1

FINISH MATERIAL

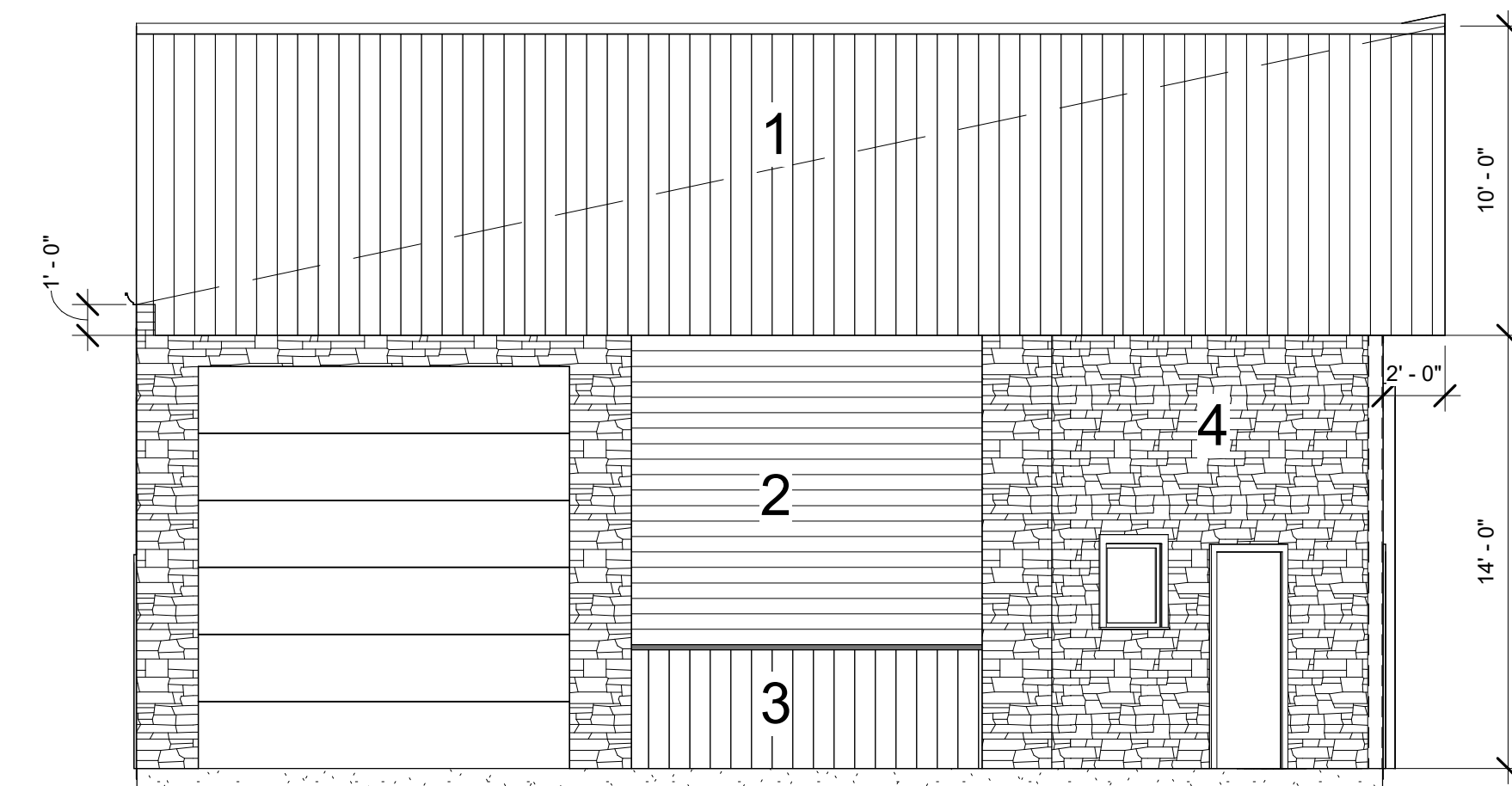
1. EDCO BOARD & BATTEN VERTICAL STEEL SIDING "IRON GREY"
2. EDCO PERSPECTIVE HORIZONTAL SIDING "HICKORY"
3. EDCO BOARD & BATTEN VERTICAL STEEL SIDING "DRIFTWOOD GRAY"
4. VERSETTA STONE "FLAT PANEL LEDGESTONE"
5. METAL STANDING SEAM ROOFING



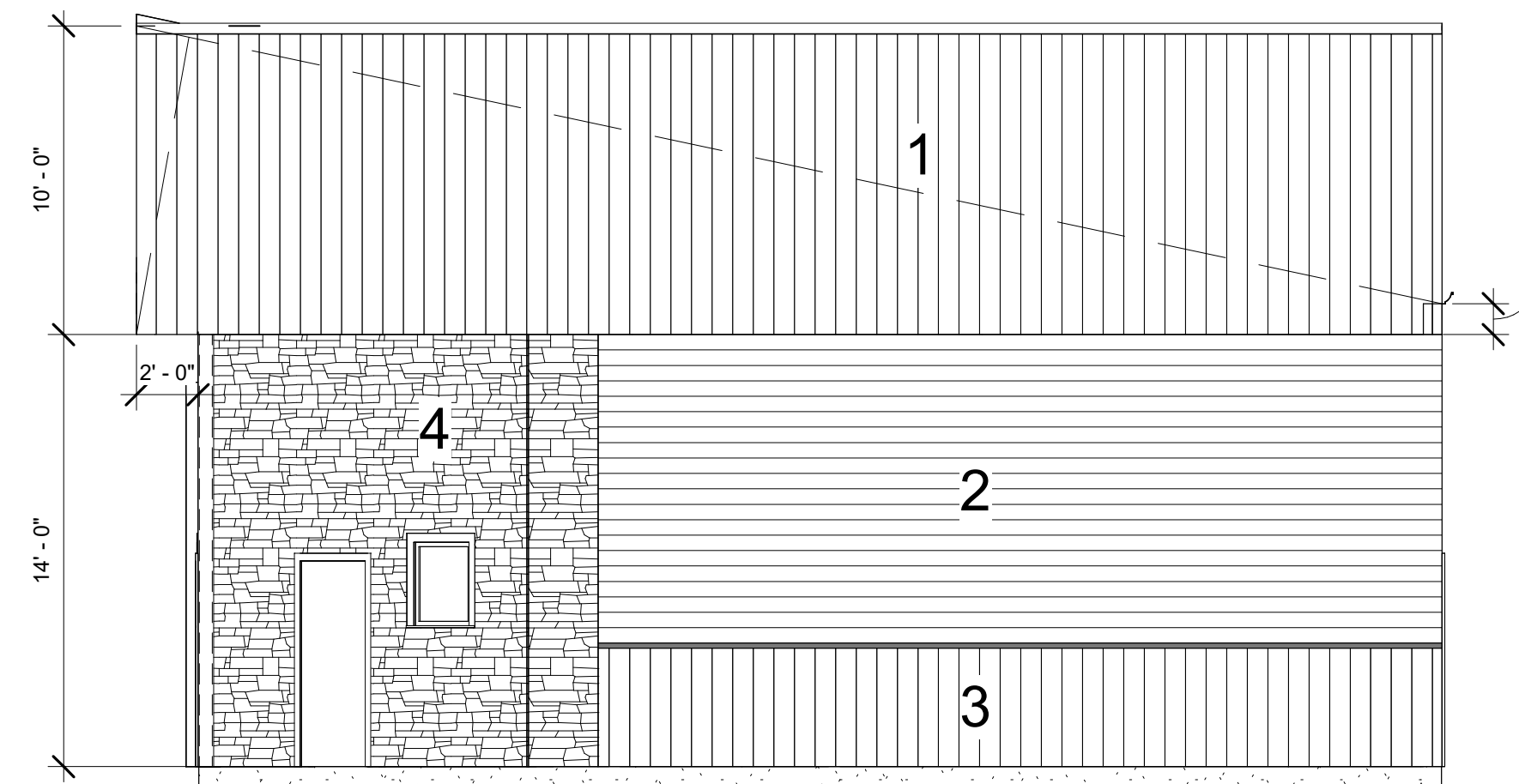
① NORTH
 3/16" = 1'-0"



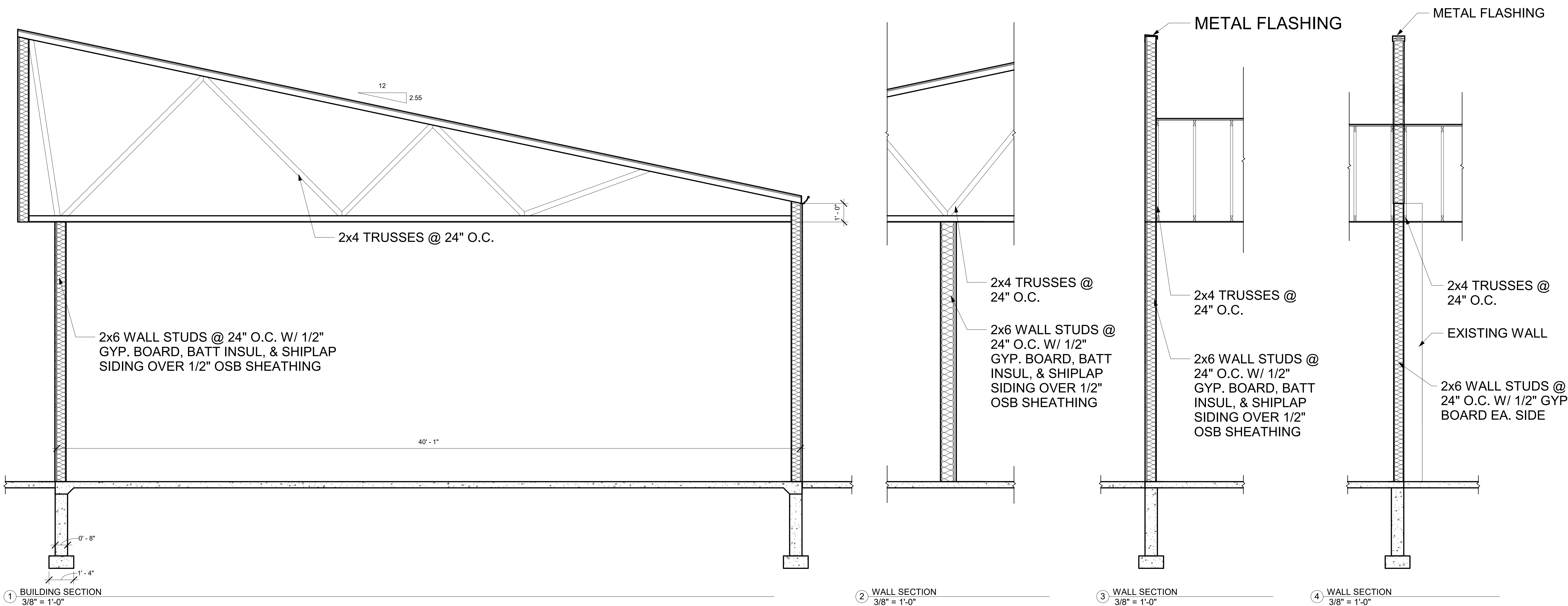
② SOUTH
 3/16" = 1'-0"



③ EAST
 3/16" = 1'-0"



④ WEST
 3/16" = 1'-0"



PRELIMINARY

CRDN
610 HAGAR STREET
LA CROSSE, WI 54603

REVISION SCHEDULE		
No.	Date	Description

SECTIONS

PROJECT No	203
DATE	05/06/2026
DRAWN BY	Author
CHECKED BY	Checker

A3.1

PRELIMINARY

CRDN
610 HAGAR STREET
LA CROSSE, WI 54603

REVISION SCHEDULE

No.	Date	Description

DETAILS

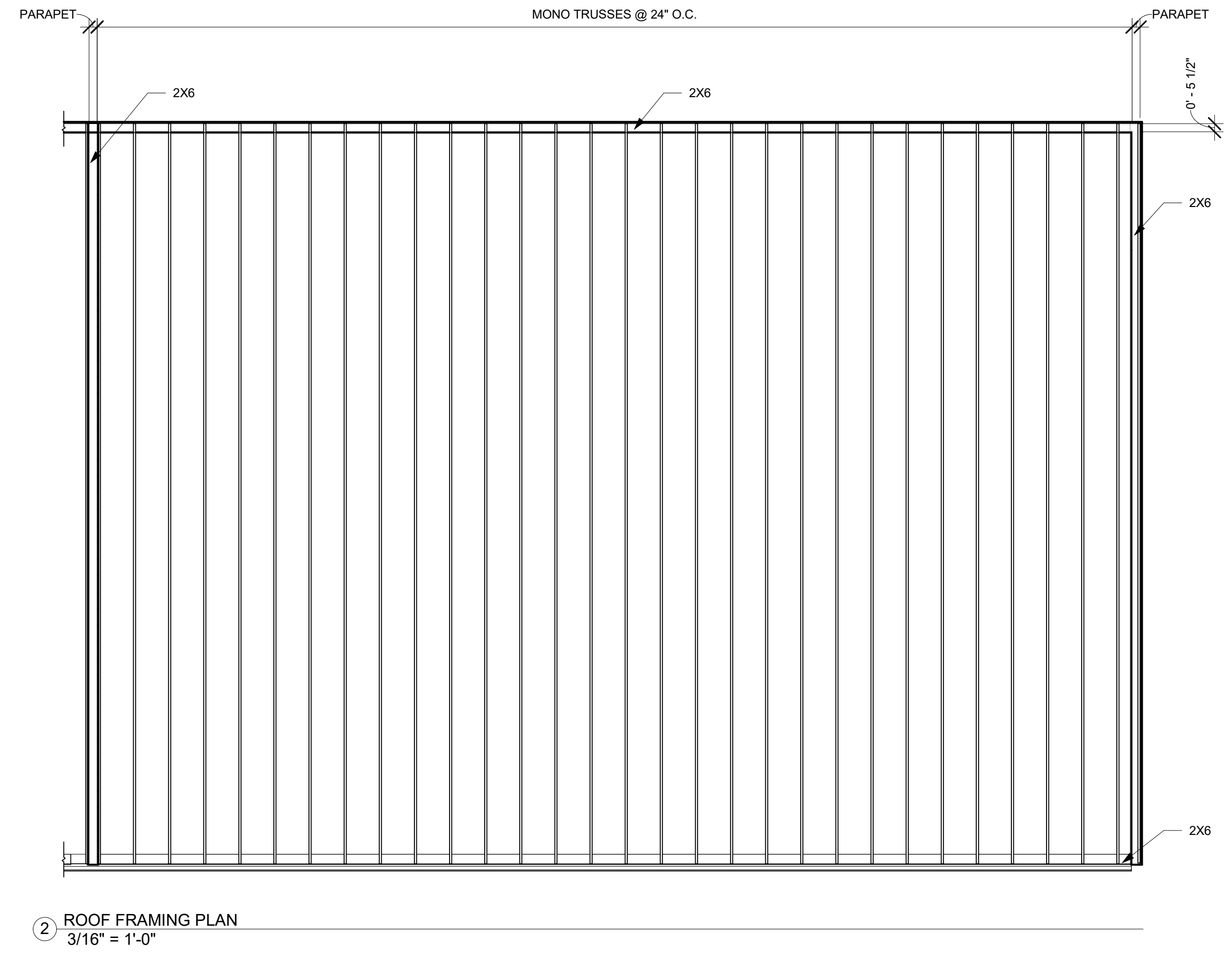
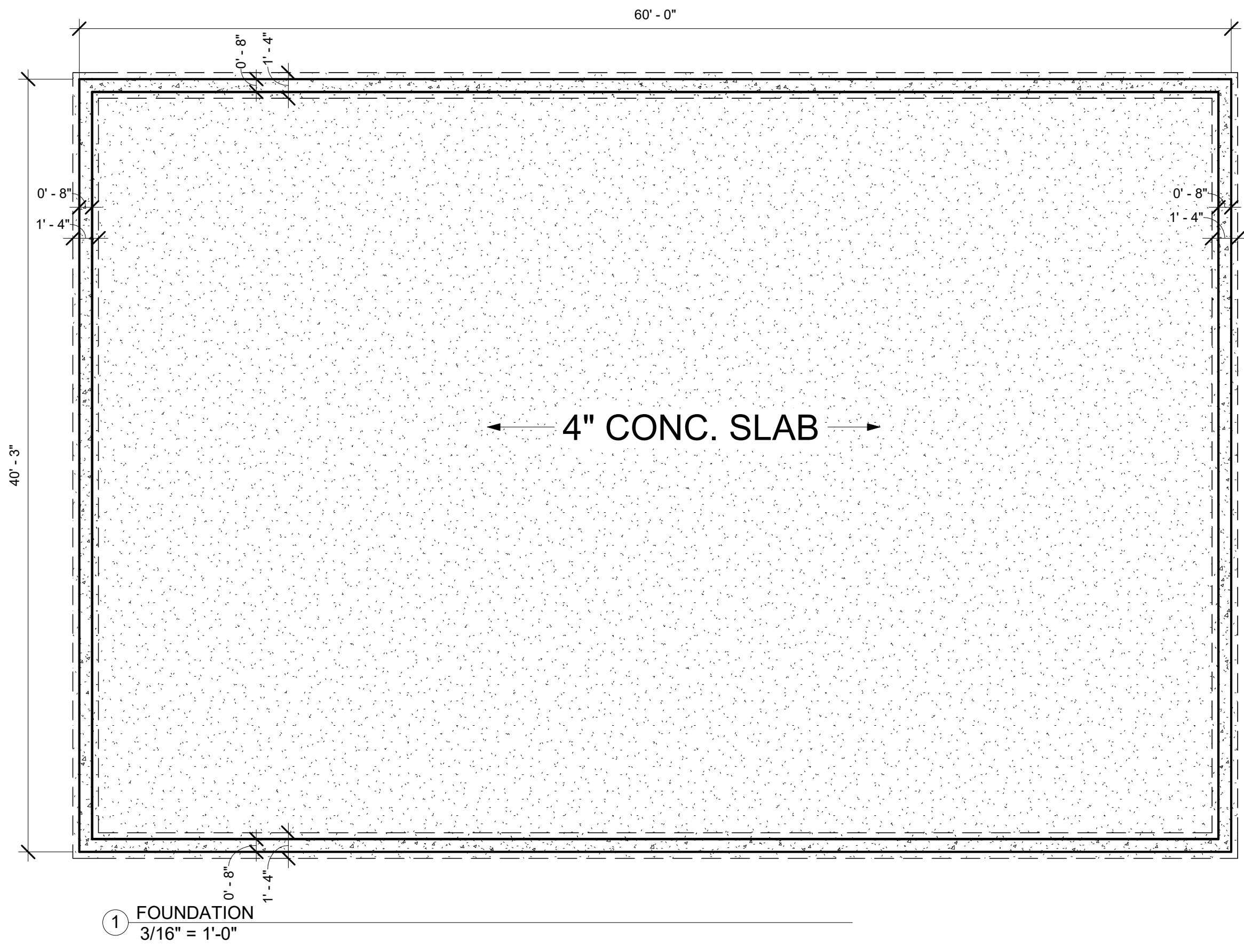
PROJECT No 203

DATE 05/06/2026

DRAWN BY Author

CHECKED BY Checker

A4.1



PRELIMINARY

CRDN
610 HAGAR STREET
LA CROSSE, WI 54603

REVISION SCHEDULE		
No.	Date	Description

STRUCTURAL

PROJECT No	203
DATE	05/06/2026
DRAWN BY	Author
CHECKED BY	Checker

A5.1



LA CROSSE WISCONSIN

Department of Planning and Development
400 LA CROSSE ST, LA CROSSE, WI 54601 | P: (608) 789-7512

MEMORANDUM

DATE: JANUARY 9, 2026

TO: DESIGN REVIEW COMMITTEE
COLIN KLOS, MIDWEST DESIGN & DEVELOPMENT, LLC

FROM: TIM ACKLIN, PLANNING & DEVELOPMENT DEPARTMENT

SUBJECT: COMMERCIAL DESIGN REVIEW PROJECT
632 ROSE/610 HAGAR STREETS

Design Review Committee Members:

Steve Pataska, Police Department
Tim Acklin, Planning & Development Department
Matt Gallager, Engineering Department
Yuri Nasonovs, Engineering Department
Andy Berzinski, Building and Inspections Department
Jason Riley, Building and Inspections Department
Brian Asp, Utilities Department
Bee Xiong, Fire Department- Division of Fire Protection and Building Safety
Brian Asp, Utilities Department
Samantha Meyer, Parks, Recreation, and Forestry Department
Jamie Hassemer, Engineering Department
Stephanie Sward, Engineering Department
Cullen Haldeman, Engineering Department

On January 2, 2026, plans were submitted to the Design Review Committee for review of plans for an addition to the existing commercial building located at 632 Rose/610 Hagar Streets. The following comments/feedback have been provided.

All revised plans in accordance with this memo must be submitted to the Planning and Development Department for review, unless otherwise stated. No permits will be issued for this project by the Building and Inspections Department until they receive written confirmation/approval from the Planning and Development Department.

Requirements Prior to Issuance of a Demolition or Footing & Foundation Permit

- 1) Approval of a Certified Survey Map. (If applicable)
- 2) Combination of parcels for project site. (If applicable)
- 3) Approval of Final Plans from the Engineering Department.
- 4) Approval of Final Plans from the Utility/Water Department.
- 5) Approval of Final Plans from the Building and Inspections Department

Requirements Prior to Issuance of a Building Permit

- 1) Approval of Final Plans from the Planning and Development Department.

Requirements Prior to Issuance of an Occupancy Permit

- 1) A Letter of Credit in the estimated cost amount of the proposed landscaping has been submitted to the Planning and Development Department to guarantee the proper installation and growth of all landscape improvements proposed in the approved Landscape Plan **OR** all proposed landscaping in the approved Landscape Plan has been installed.
- 2) A stamped letter of substantial completion from the design engineer of the project within 10 days of completion.
- 3) Field review and approval of the completed stormwater management facility by the City's Utilities Department.
- 4) Compliance statement required to be submitted from the supervising professional (architect or engineer) observing the construction project.
- 5) Final inspection to be performed by Building & Inspections staff.
- 6) Field review and approval of the completed stormwater management facility by the City's Utilities Department.

Engineering Department - (Contact-Matt Gallager-789-7392, Stephanie Sward-789-8171, Jamie Hassemer- 789-8182, Cullen Haldeman- 789-8185)

- 1) Must have lots combined before permits are issued. (Stephanie Sward)
- 2) Currently have four garage openings proposed. Will need to work with the Engineering Department to coordinate correct design specifications and process for all driveway openings and any replacement of public curb and sidewalk. (Stephanie Sward)
- 3) Parking lot needs barrier to prevent parking on Hagar Street sidewalk. (Stephanie Sward)
- 4) One parking space needs to be labeled ADA and include access aisle. (Stephanie Sward)
- 5) Need parking blocks to prevent parking over spaces onto the grass. (Stephanie Sward)
- 6)
- 7) Will need to submit a Photometric Plan. Include a summary of fixtures and model numbers used. Plan must also provide calculations/foot candles 25ft outside off of property lines. (Jamie Hassemer)

Building and Inspections Department

(Contact-Andy Berzinski- 789-7562, Jason Riley- 789-7585)

- 1) Contact United States Postal Service for location and type of mailbox(es) required if applicable
- 2) Will need a Demolition Permit for the demolition of the existing house.

- 3) Will need State approved plans.
- 4) Will need to combine the lots. Request to combine the lots can be made to the Chief Building Inspector, David Reinhart, via email at reinhardt@cityoflacrosse.org. Send request along with address and parcel numbers of each parcel.
- 5) No comments at this time until a Utility Plan has been submitted. (Jason Riley)

Police Department- (Steve Pataska-789-7210)

- 1) No concerns at this time. Always recommend to give consideration of installation/upgrade of cameras.

Planning Department- (Contact-Tim Acklin-789-7391)

- 1) Would like stone veneer around building the whole building.
- 2) Non-Architectural metal is being proposed as a primary siding material. Work with staff on a different, permitted exterior material.
- 3) Link to Design Standards
 - a. <https://www.cityoflacrosse.org/home/showpublisheddocument/6084/637847479856030000>
- 4) Any exceptions to the design standards will need Common Council approval.
 - a. <https://www.cityoflacrosse.org/your-government/departments/city-clerk/forms-chart/request-for-exception-to-multi-family-housing-or-commercial-design-standards>

Utilities Department- (Brian Asp- 789-3897)

- 1) The existing service is 3/4" copper from 1980. They currently use very little water so unless they need to add fire suppression that would also be fine. If a fire line is part of the expansion they would have to go out to Rose Street since there currently is no water main on Hagar.

Engineering Department (Stormwater) - (Contact-Yuri Nasonovs-789-7594)

- 1) Area of combined lot is 8,120 sqft. No basement.
 - a. This project is exempt stormwater requirements.

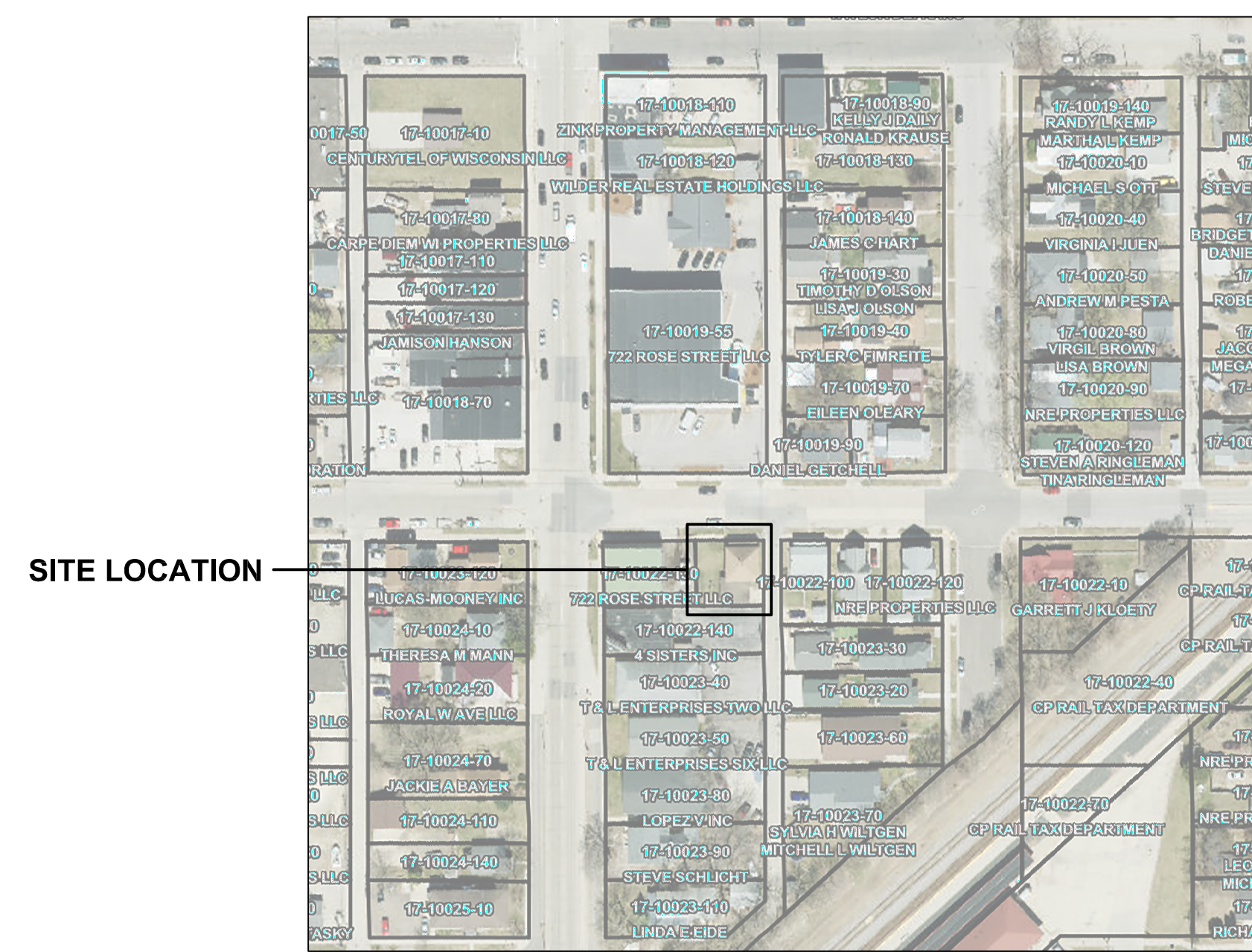
Fire Department- (Contact-Bee Xiong 789-7271)

1. Knox Box. Can be purchased at www.knoxbox.com

Parks, Recreation, and Forestry- (Contact-Samantha Meyer 789-7560, Dan Trussoni 789-4915)

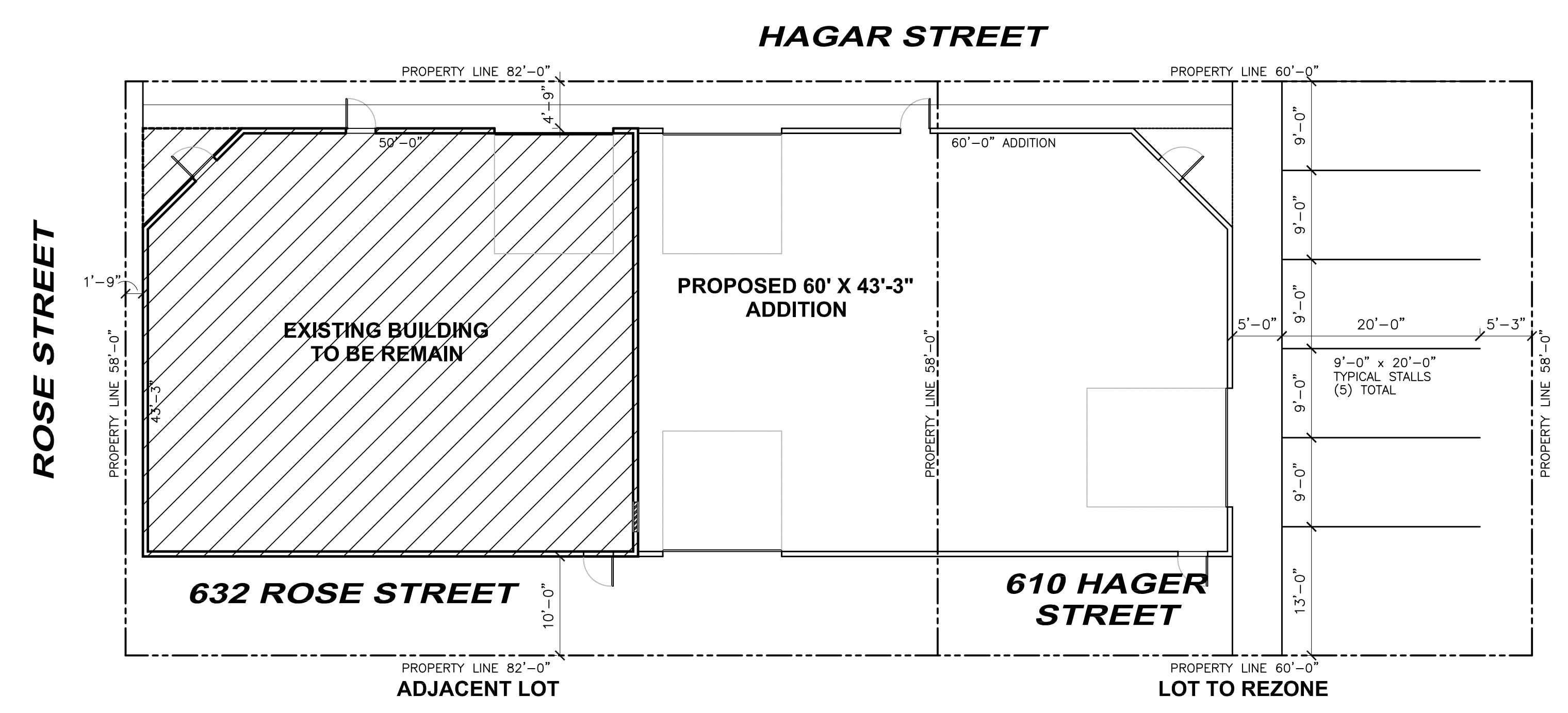
- 1) Need Landscaping Plan.

**REZONING FOR
610 HAGER STREET
LA CROSSE, WISCONSIN**



SITE LOCATION

1 LOCATION PLAN
NO SCALE



2 PROPOSED SITE PLAN
1" = 10'-0"



3 ENLARGED AREA SITE PLAN
1" = 10'-0"

PROJECT SCOPE

- 1) RE-ZONE 610 HAGER STREET TO C-2
- 2) DEMOLISH EXISTING SINGLE FAMILY RESIDENCE @ 610 HAGER STREET
- 3) COMBINE 632 ROSE AND 610 HAGER STREET INTO SINGLE LOT OF 142' X 58' (SAME OWNER OF BOTH PARCELS)
- 4) PROPOSE ADDITION OF 60'-0" X 43'-3" TO EXISTING BUILDING ON 632 ROSE STREET.

DRAWING INDEX

- A1 TITLE SHEET / SITE
- A2 FLOOR PLAN / EXISTING ELEVATIONS
- A3 EXTERIOR ELEVATIONS

No.	Description	Date

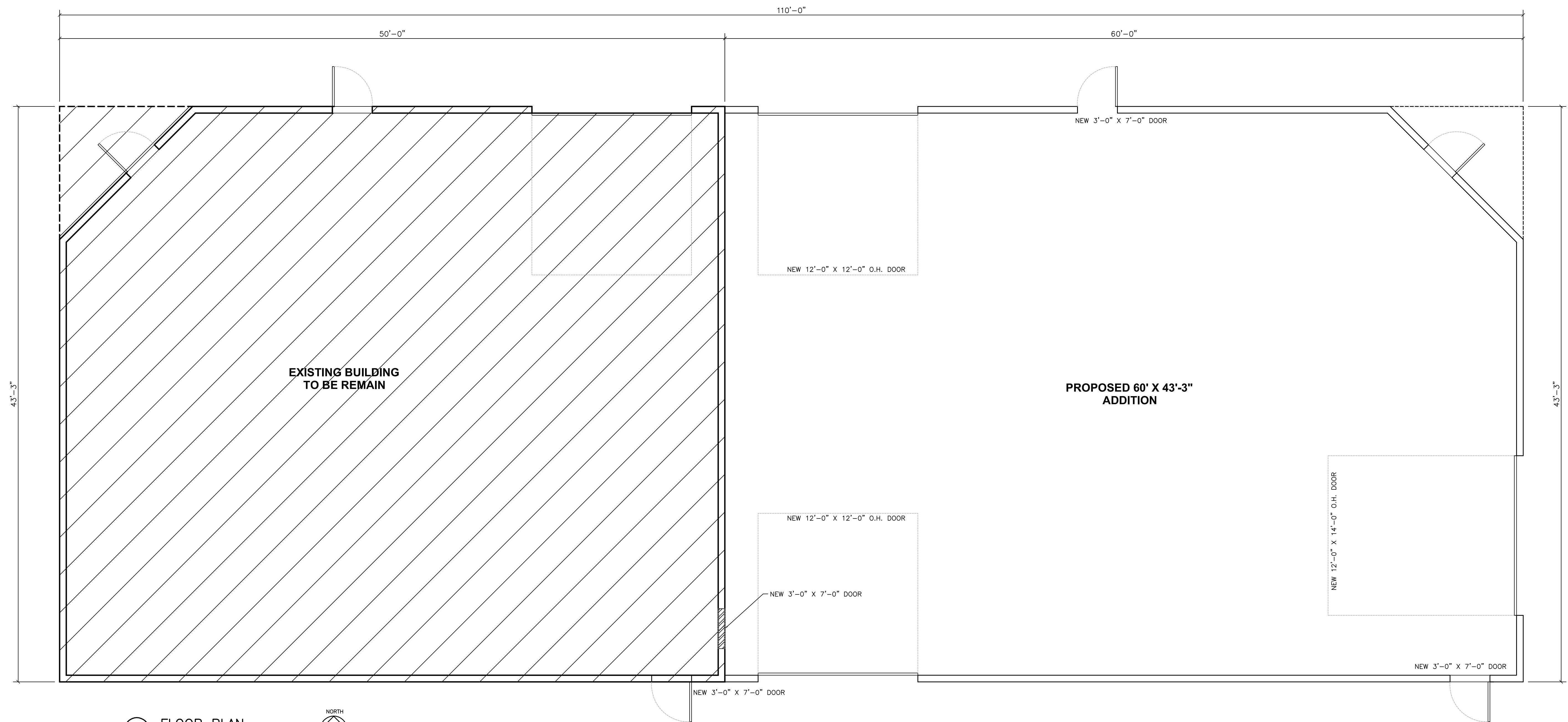
SITE PLAN,
ENLARGED AREA
SITE PLAN AND
LOCATION PLAN

Project Number:	
Date	12/31/25
Drawn By	TRB
Checked By	CHK

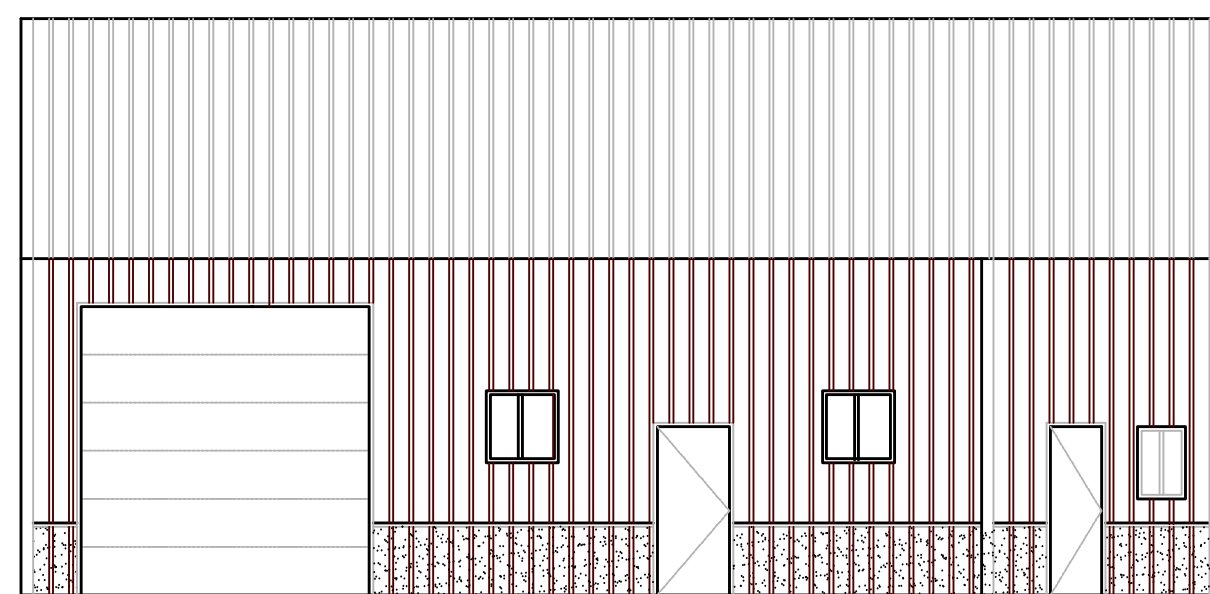
A1

Scale

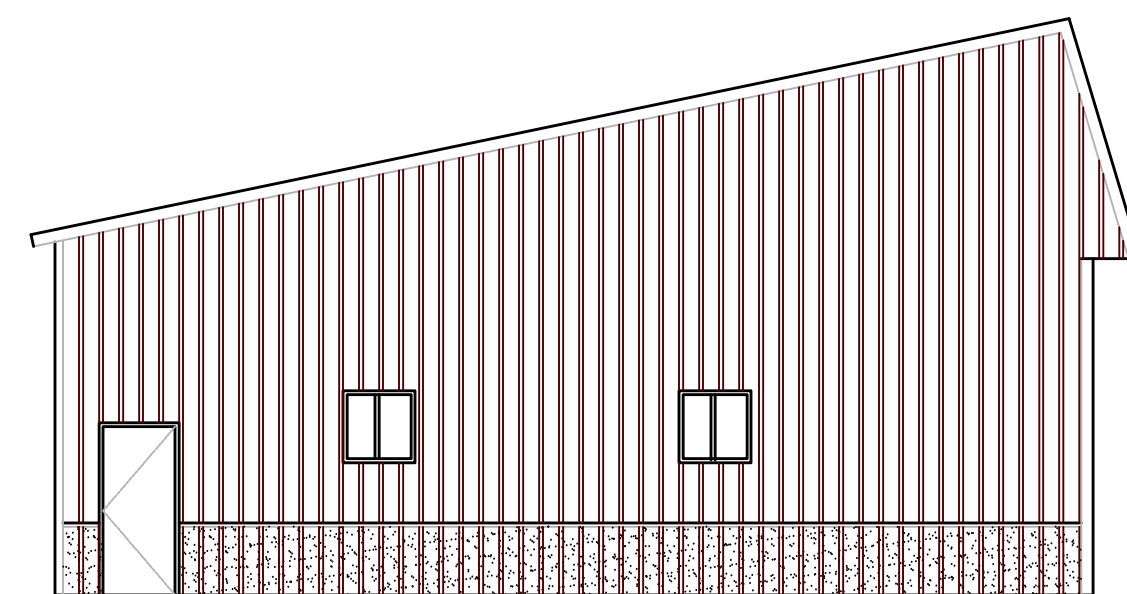
**REZONING FOR
 610 HAGER STREET
 LA CROSSE, WISCONSIN**



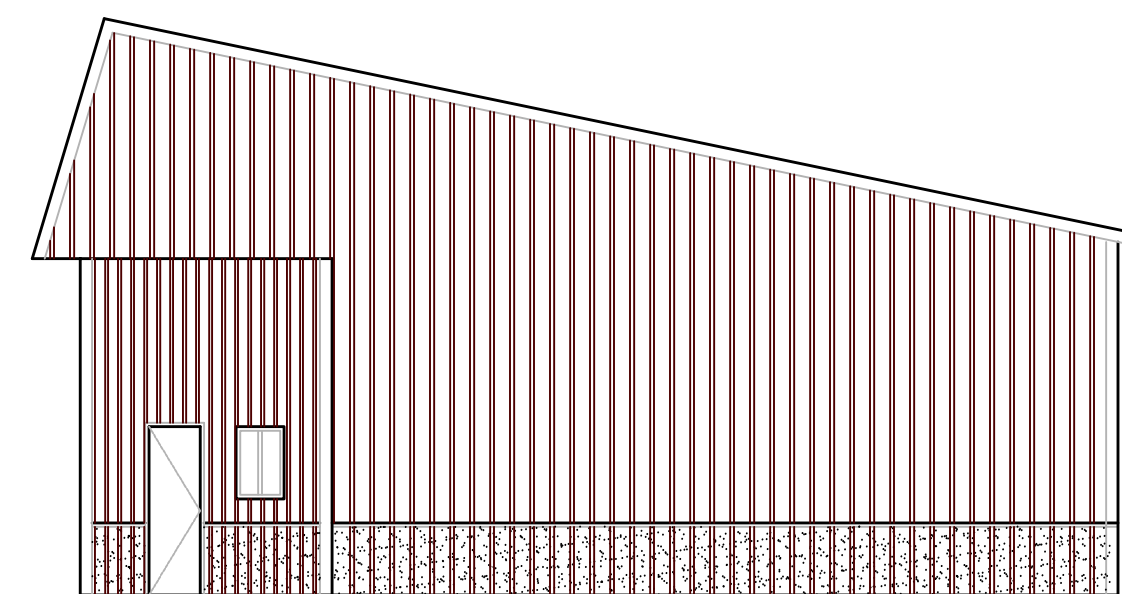
① FLOOR PLAN
 1/4" = 1'-0"



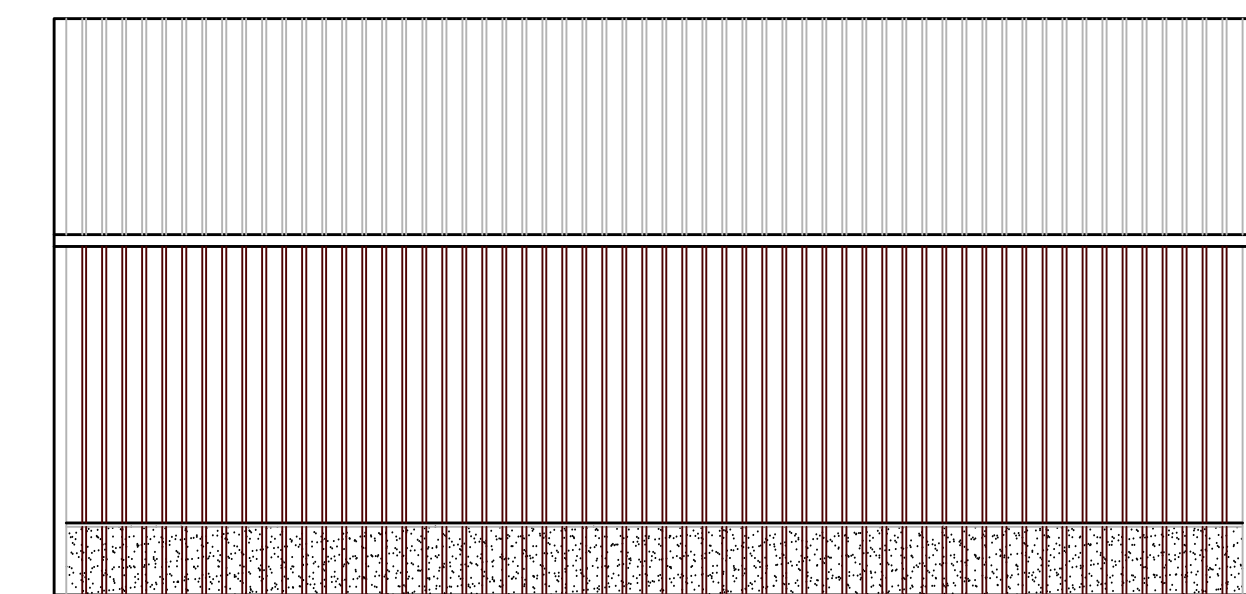
① EXISTING SOUTH ELEVATION
 1/4" = 1'-0"



② EXISTING EAST ELEVATION
 1/4" = 1'-0"



③ EXISTING WEST ELEVATION
 1/4" = 1'-0"



④ EXISTING NORTH ELEVATION
 1/4" = 1'-0"

No.	Description	Date

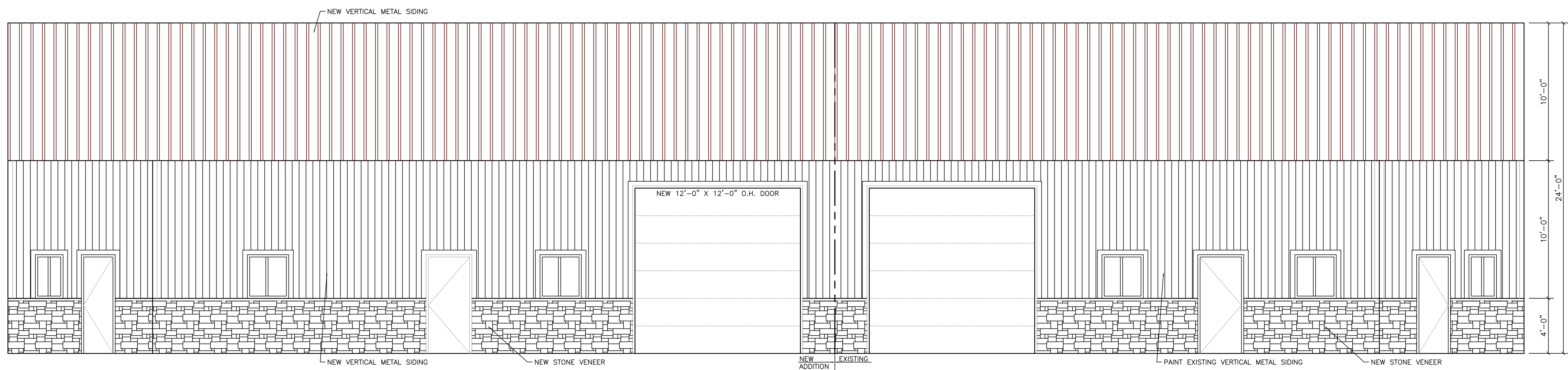
FLOOR PLAN

Project Number:
 Date 12/31/25
 Drawn By TRB
 Checked By CHK

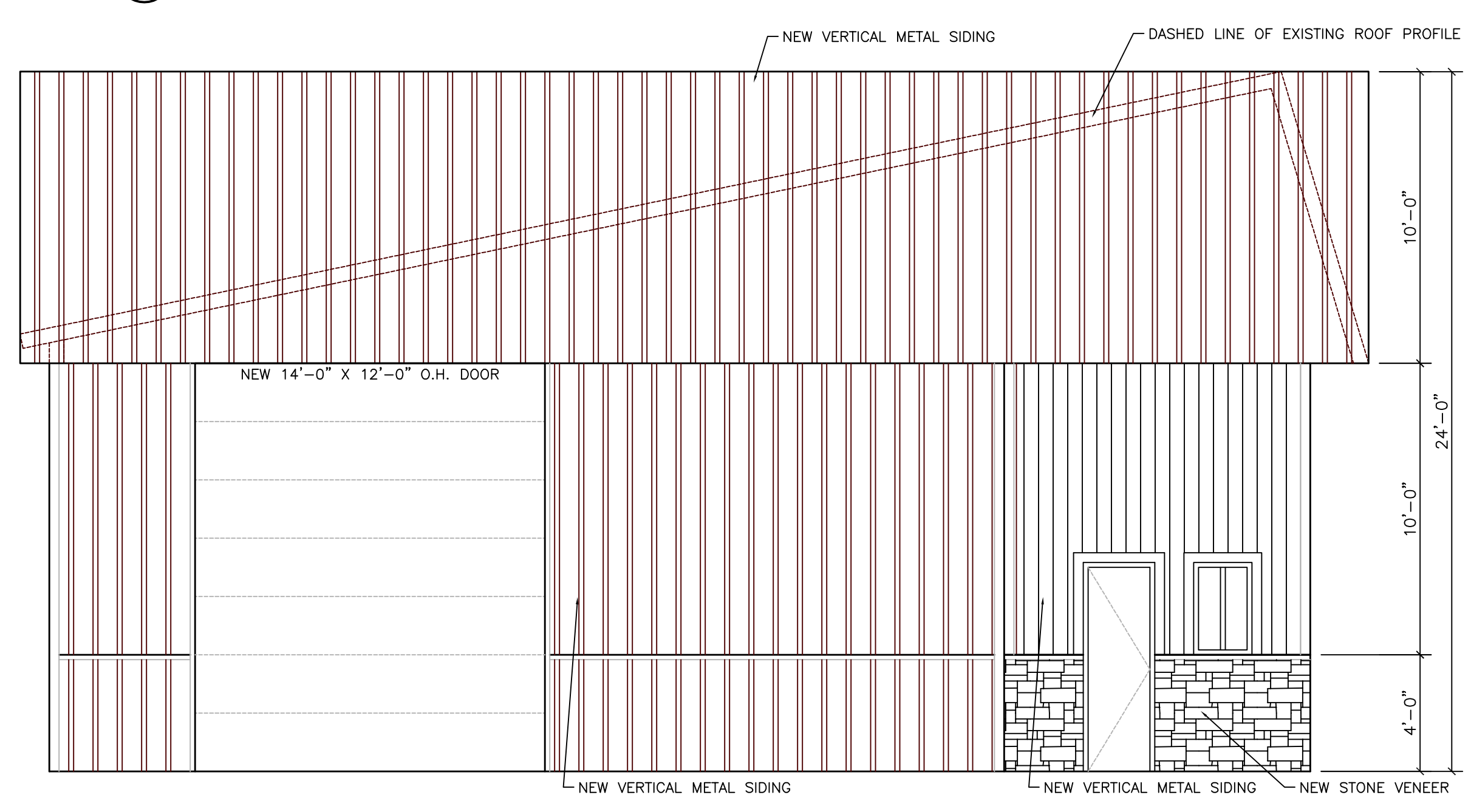
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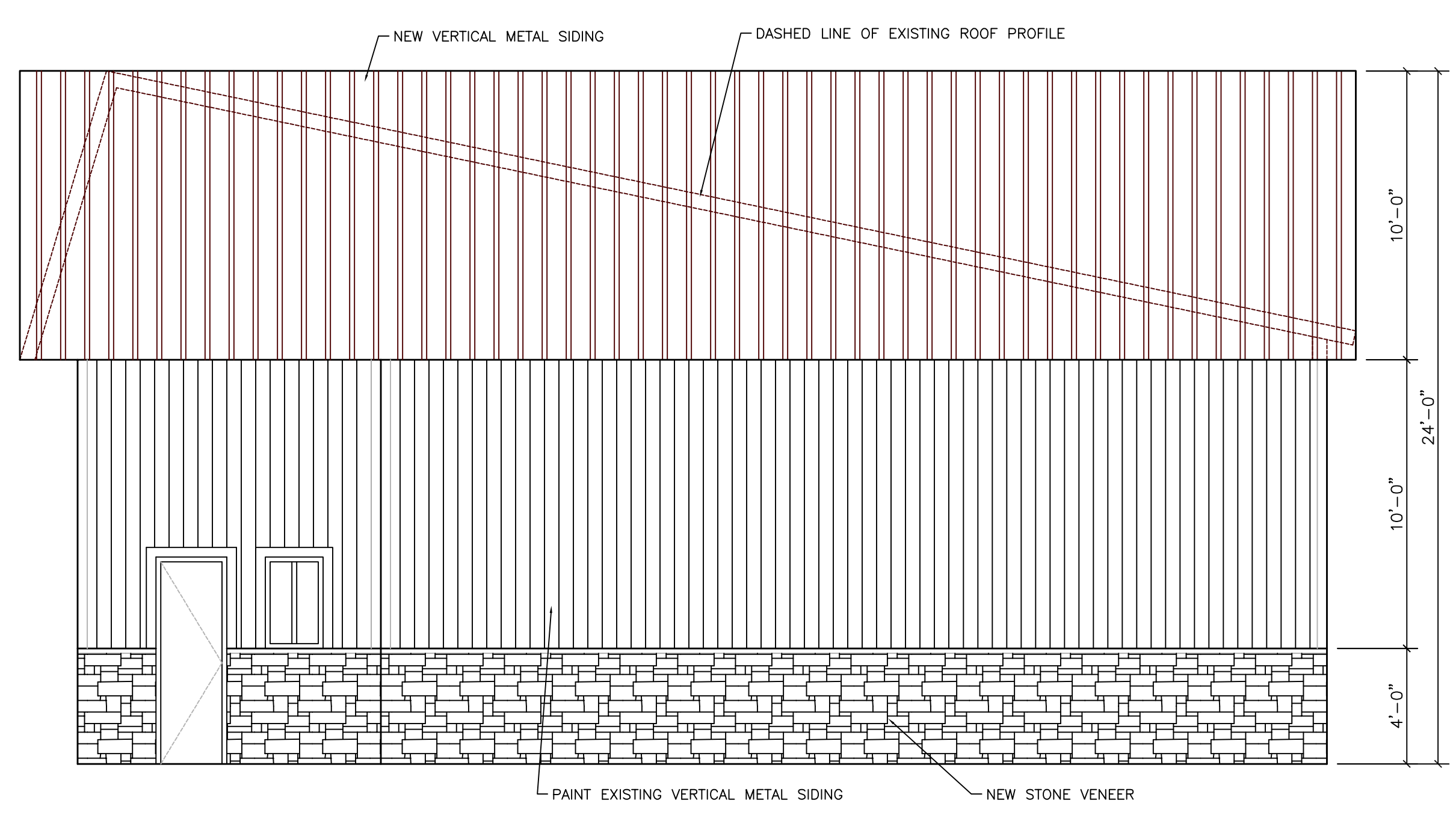
REZONING FOR
610 HAGER STREET
LA CROSSE, WISCONSIN



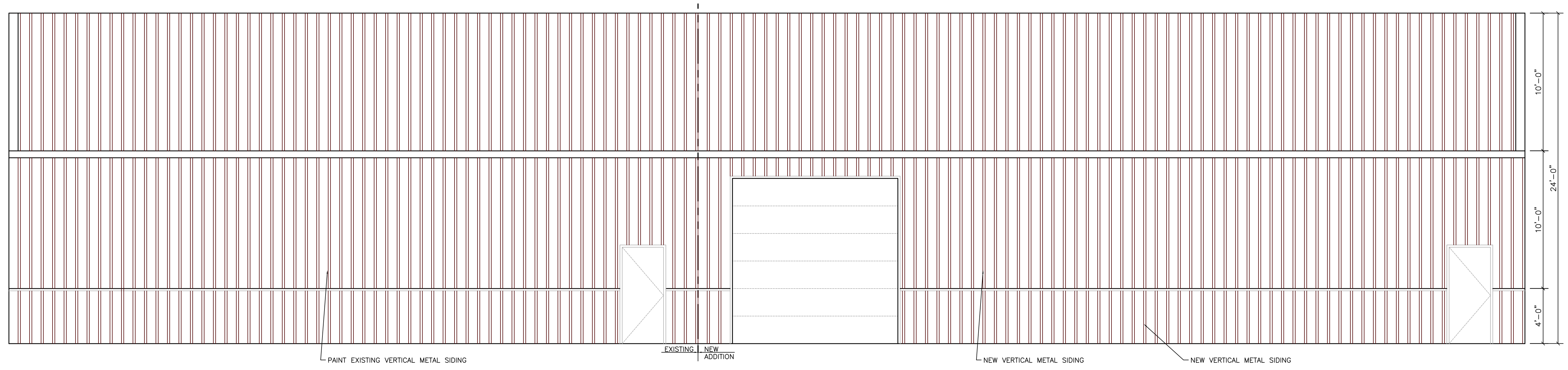
1 SOUTH ELEVATION
 1/4" = 1'-0"



2 EAST ELEVATION
 1/4" = 1'-0"



3 WEST ELEVATION
 1/4" = 1'-0"



4 NORTH ELEVATION
 1/4" = 1'-0"

No.	Description	Date

PROPOSED EXTERIOR ELEVATIONS

Project Number:
 Date 12/31/25
 Drawn By TRB
 Checked By CHK

A3

Scale



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0659

Agenda Date:

Version: 1

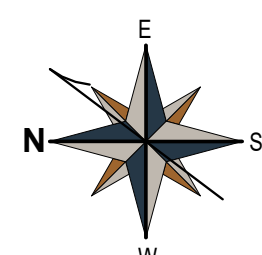
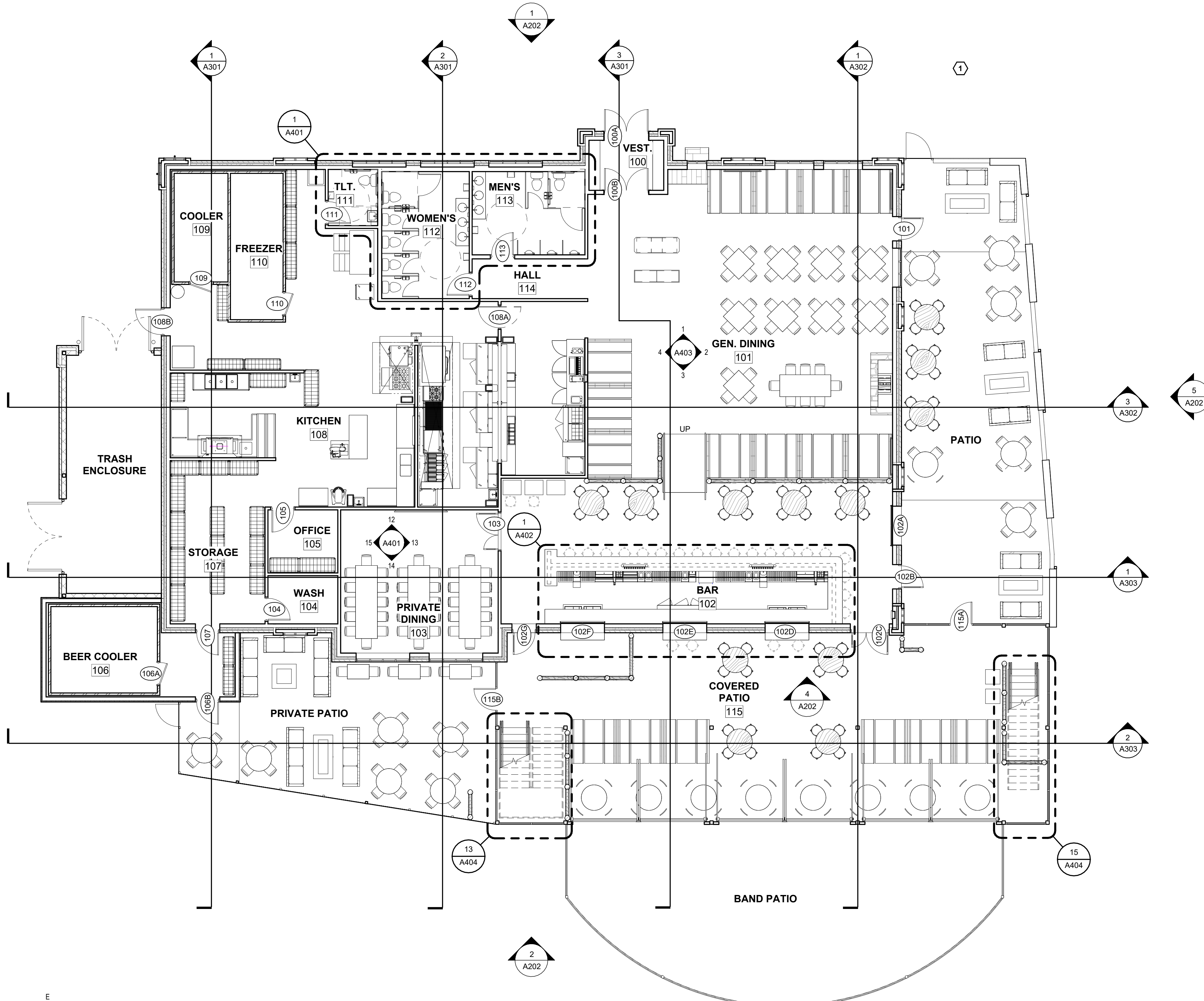
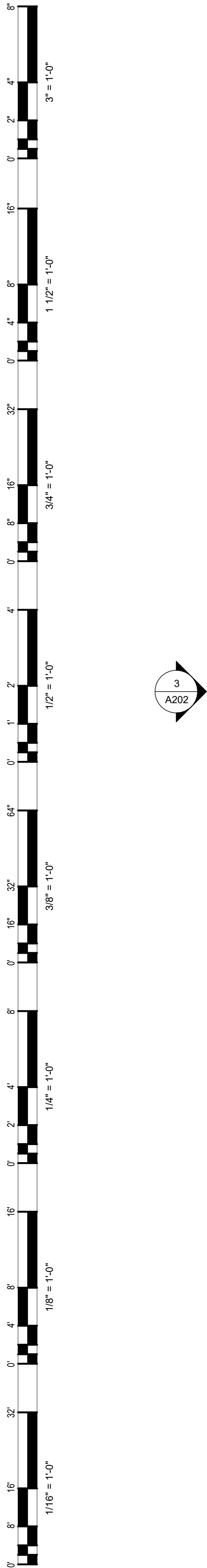
Status: Agenda Ready

In Control: Commercial/Multi-Family Design Review Committee

File Type: Review of Plans

Agenda Number: 2.

6/12/2026 3:01:53 PM Autodesk Docs://26-017 Cowboy Jack's La Crosse/26-017 Cowboy Jack's La Crosse - R24.rvt



1 FIRST LEVEL FLOOR PLAN
 A401 1/8" = 1'-0"

- GENERAL NOTES**
- GENERAL NOTES ON THIS SHEET ARE APPLICABLE TO THIS SHEET ONLY.
 - SEE STANDARD MOUNTING HEIGHTS ON SHEET G1002 FOR DETAILS REGARDING INSTALLATION REQUIREMENTS FOR FIXTURES AND ACCESSORIES.
 - SEE ACCESSIBILITY SYMBOLS AND DIAGRAMS ON SHEET G1002 FOR FURTHER INFORMATION ON REQUIRED CLEARANCES.
 - ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD/ MASONRY CONSTRUCTION TO FACE OF STUD/ MASONRY CONSTRUCTION, UNLESS NOTED OTHERWISE.
 - "CLEAR DIMENSIONS" ARE DIMENSIONED FROM FACE OF FINISH MATERIAL TO FACE OF FINISH MATERIAL.
 - EXTERIOR DIMENSIONS ARE TO BUILDING LINE, SEE WALL TYPES.
 - FOR WALL TYPES SEE SHEET AE001.
 - GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER, BEFORE INSTALLATION OF WALL SHEATHING, FOR ANY WOOD BLOCKING, BACKING AND MOUNTING BOARDS REQUIRED FOR OWNER PROVIDED ITEMS.
 - ALL WALLS TO EXTEND TO STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.

FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
1	DESCRIPTION



CAPVEST
26-017 COWBOY JACK'S LA CROSSE
 LOT 2 RIVER BEND RD, LA CROSSE, WI

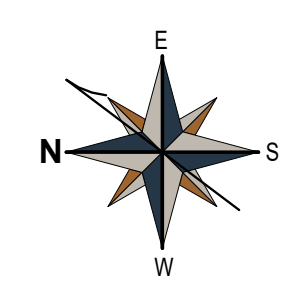
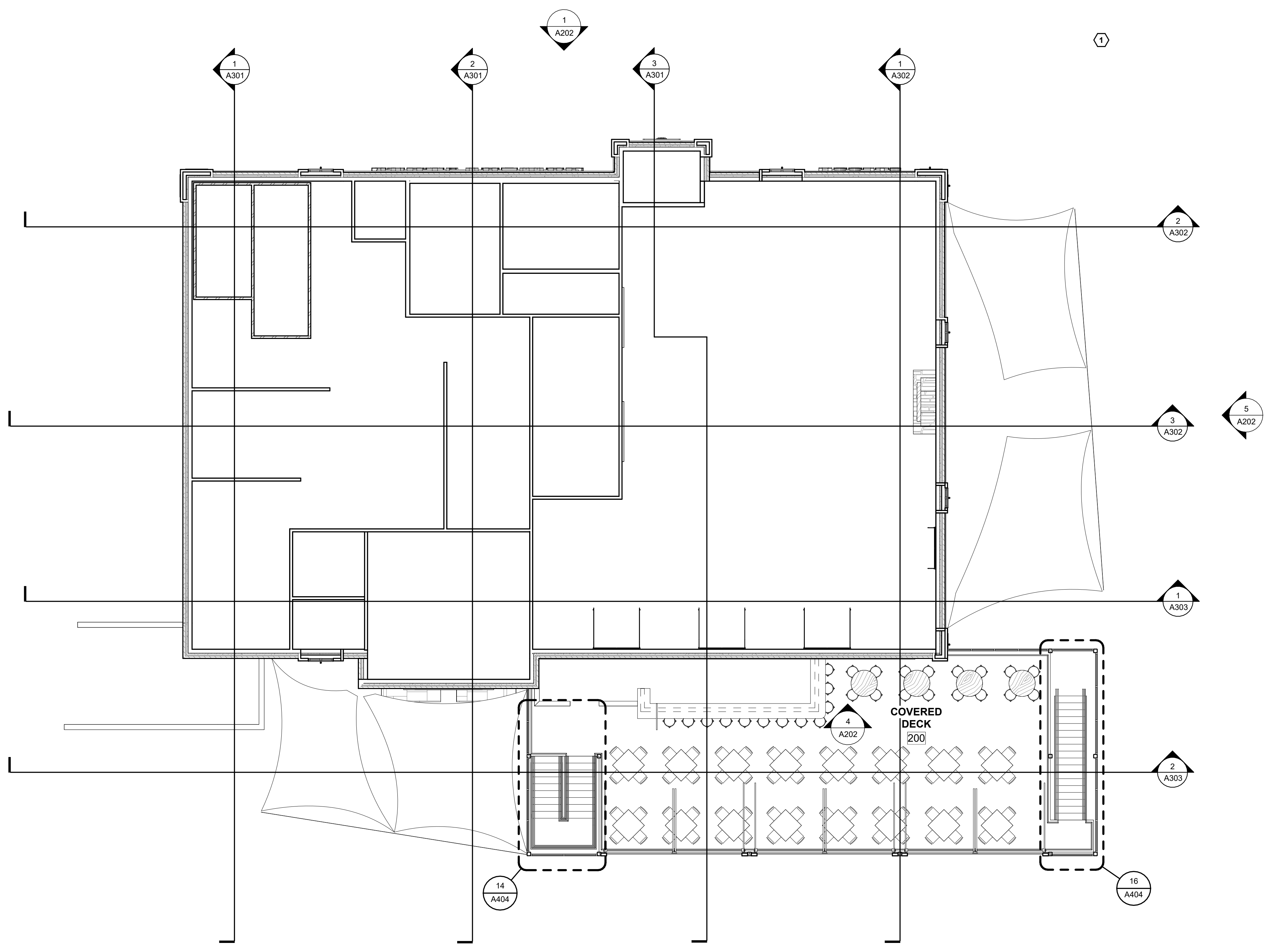
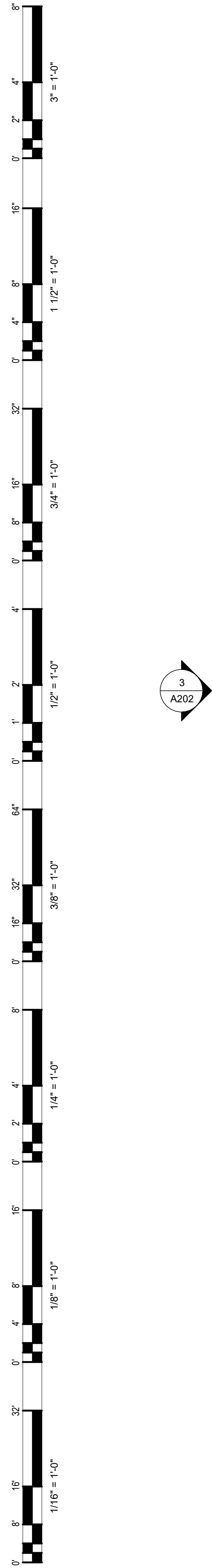
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NO.	DATE	DESCRIPTION

DRAWN BY: CJR
 PM: AJ
 JOB NO: 26-017
 DATE: 06.12.2026

FIRST LEVEL FLOOR PLAN
A101

6/12/2026 3:01:54 PM Autodesk Docs://26-017 Cowboy Jack's La Crosse/26-017 Cowboy Jack's La Crosse - R24.rvt

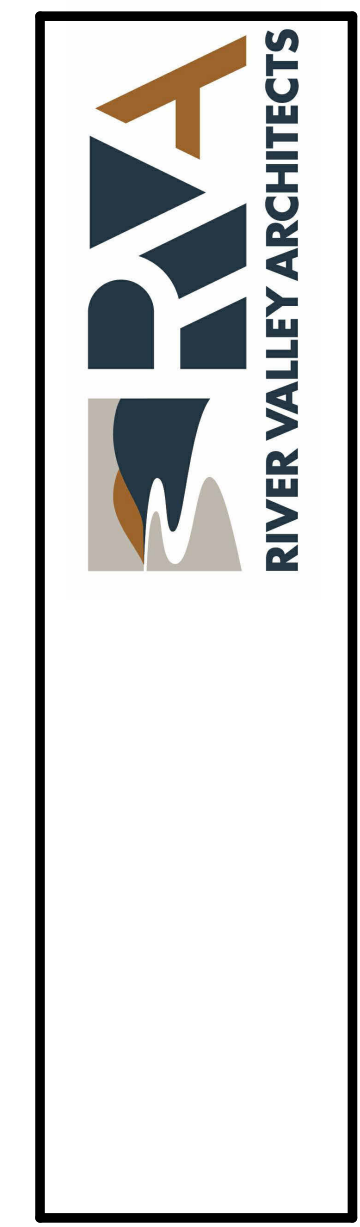


1 UPPER DECK FLOOR PLAN
A102 1/8" = 1'-0"

- GENERAL NOTES**
- GENERAL NOTES ON THIS SHEET ARE APPLICABLE TO THIS SHEET ONLY.
 - SEE STANDARD MOUNTING HEIGHTS ON SHEET G1002 FOR DETAILS REGARDING INSTALLATION REQUIREMENTS FOR FIXTURES AND ACCESSORIES.
 - SEE ACCESSIBILITY SYMBOLS AND DIAGRAMS ON SHEET G1002 FOR FURTHER INFORMATION ON REQUIRED CLEARANCES.
 - ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD/ MASONRY CONSTRUCTION TO FACE OF FINISH MATERIAL, UNLESS NOTED OTHERWISE.
 - *CLEAR DIMENSIONS* ARE DIMENSIONED FROM FACE OF FINISH MATERIAL TO FACE OF FINISH MATERIAL.
 - EXTERIOR DIMENSIONS ARE TO BUILDING LINE, SEE WALL TYPES.
 - FOR WALL TYPES SEE SHEET AE001.
 - GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER, BEFORE INSTALLATION OF WALL SHEATHING, FOR ANY WOOD BLOCKING, BACKING AND MOUNTING BOARDS REQUIRED FOR OWNER PROVIDED ITEMS.
 - ALL WALLS TO EXTEND TO STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.

FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
1	



CAPVEST
26-017 COWBOY JACK'S LA CROSSE
 LOT 2 RIVER BEND RD, LA CROSSE, WI

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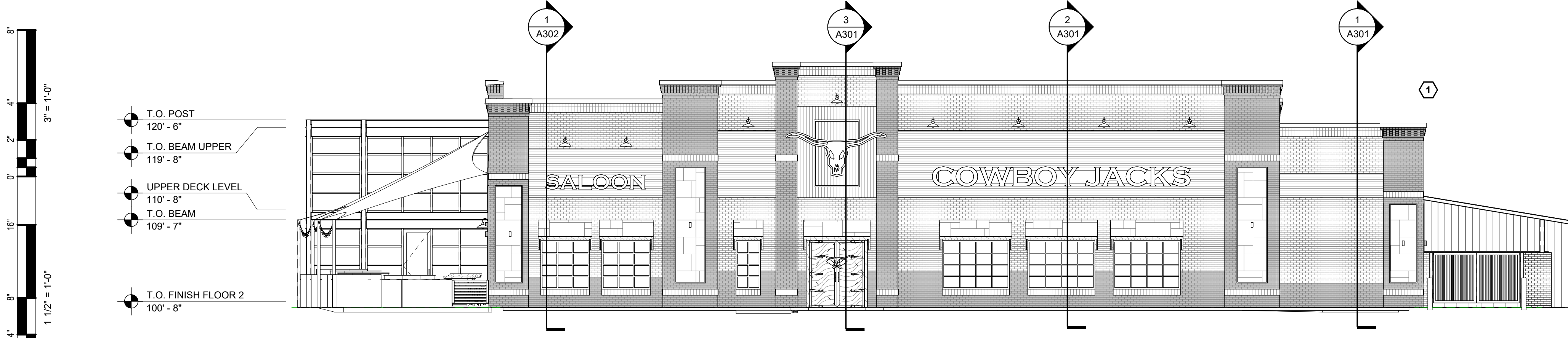
NO.	DATE	DESCRIPTION

DRAWN BY: CJR
 PM: AJ
 JOB NO: 26-017
 DATE: 06.12.2026

UPPER DECK FLOOR PLAN

A102

6/12/2026 3:02:03 PM Autodesk Docs://26-017 Cowboy Jack's La Crosse/26-017 Cowboy Jack's La Crosse - R24.rvt



- T.O. MASONRY 5
126' - 8"
- T.O. MASONRY 4
124' - 8"
- T.O. MASONRY 3
122' - 8"
- T.O. MASONRY 2
120' - 0"
- B.O. TRUSS BRG 1
109' - 1 1/8"
- T.O. MASONRY 1
106' - 0"
- T.O. FINISH FLOOR 1
100' - 0"

GENERAL NOTES

- A. GENERAL NOTES ON THIS SHEET ARE APPLICABLE TO THIS SHEET ONLY.
- B. SEE SHEET AE801 FOR DOOR AND WINDOW SIZES AND HEAD HEIGHTS.

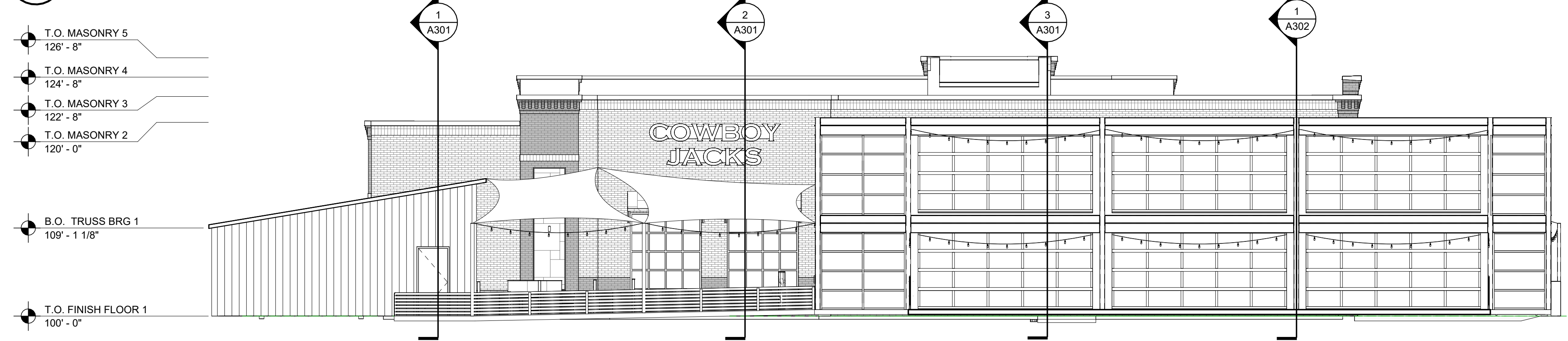
EXTERIOR FINISH LEGEND

	LIGHT BRICK		DARK BRICK
	SPLIT FACE CMU		STANDING SEAM METAL PANELS
	HORIZONTAL SIDING		RUSTIC METAL PANEL
	VERTICAL SIDING		

EXTERIOR ELEVATION KEYNOTES

1	DESCRIPTION
---	-------------

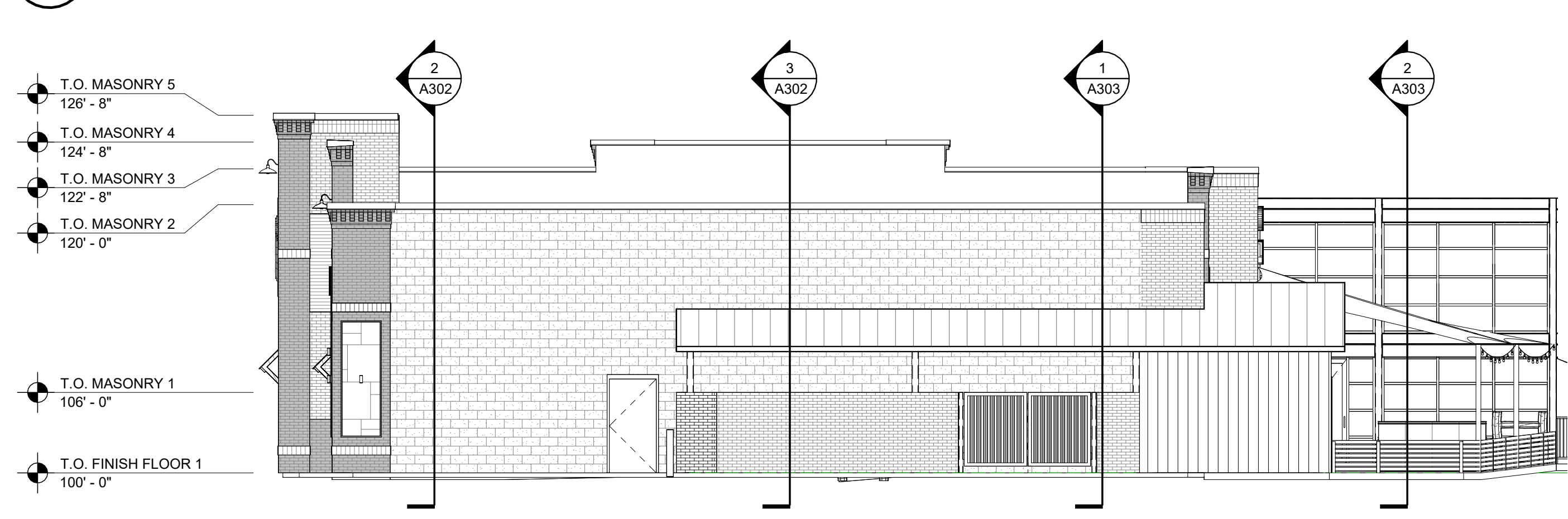
1 EAST ELEVATION
A202 1/8" = 1'-0"



- T.O. MASONRY 5
126' - 8"
- T.O. MASONRY 4
124' - 8"
- T.O. MASONRY 3
122' - 8"
- T.O. MASONRY 2
120' - 0"
- B.O. TRUSS BRG 1
109' - 1 1/8"
- T.O. FINISH FLOOR 1
100' - 0"

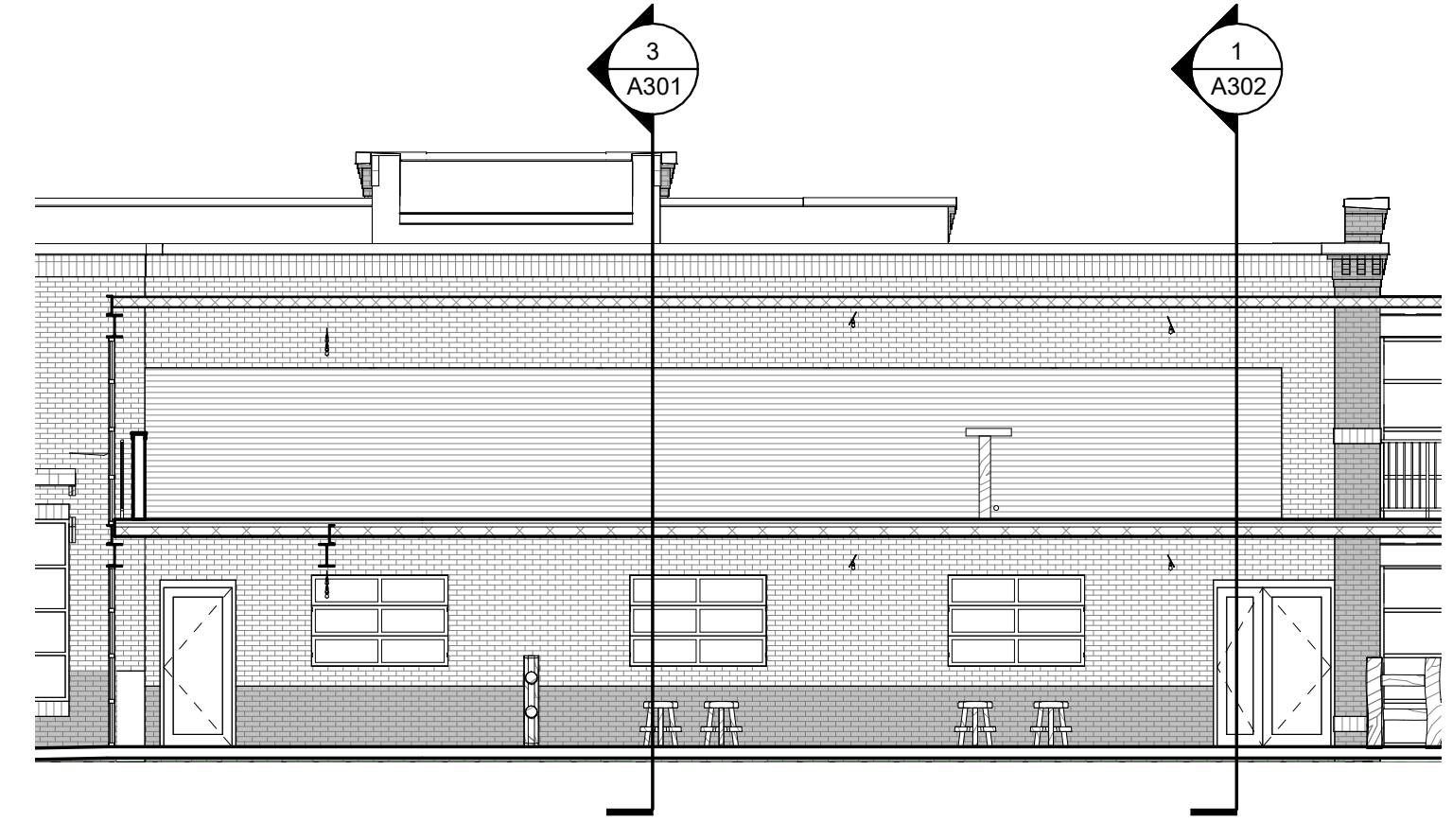
- T.O. POST
120' - 6"
- T.O. BEAM UPPER
119' - 8"
- UPPER DECK LEVEL
110' - 8"
- T.O. BEAM
109' - 7"
- T.O. FINISH FLOOR 2
100' - 8"

2 WEST ELEVATION
A202 1/8" = 1'-0"



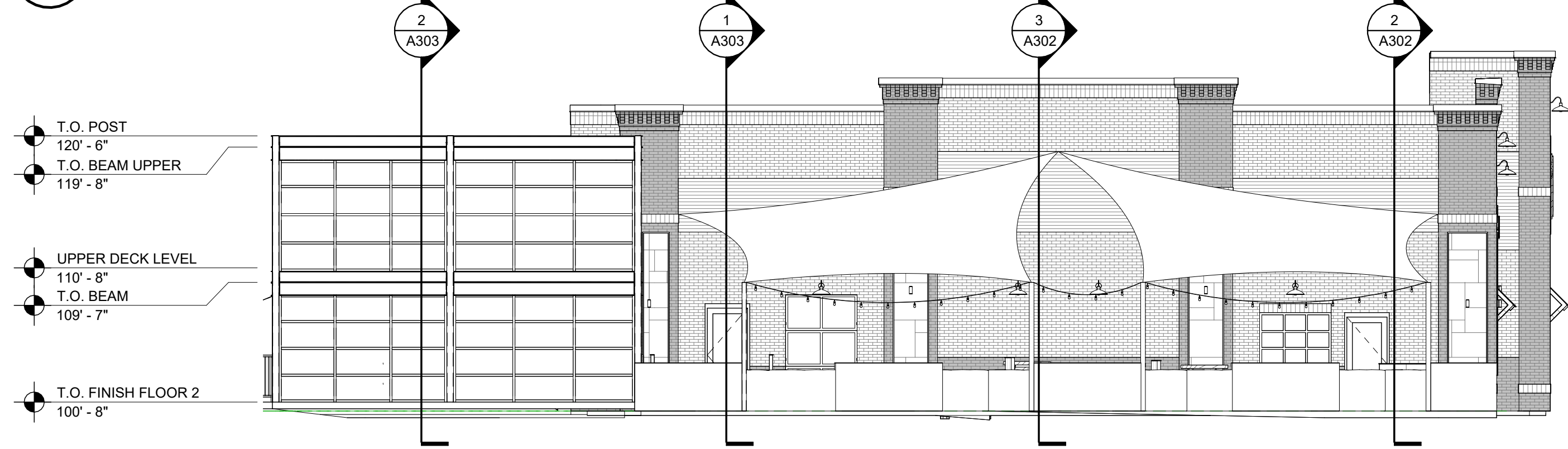
- T.O. MASONRY 5
126' - 8"
- T.O. MASONRY 4
124' - 8"
- T.O. MASONRY 3
122' - 8"
- T.O. MASONRY 2
120' - 0"
- T.O. MASONRY 1
106' - 0"
- T.O. FINISH FLOOR 1
100' - 0"

- T.O. POST
120' - 6"
- T.O. BEAM UPPER
119' - 8"
- UPPER DECK LEVEL
110' - 8"
- T.O. BEAM
109' - 7"
- B.O. TRUSS BRG 1
109' - 1 1/8"
- T.O. FINISH FLOOR 2
100' - 8"



- T.O. MASONRY 4
124' - 8"
- T.O. MASONRY 3
122' - 8"
- T.O. POST
120' - 6"
- T.O. BEAM UPPER
119' - 8"
- UPPER DECK LEVEL
110' - 8"
- T.O. BEAM
109' - 7"
- T.O. FINISH FLOOR 2
100' - 8"

3 NORTH ELEVATION
A202 1/8" = 1'-0"



- T.O. POST
120' - 6"
- T.O. BEAM UPPER
119' - 8"
- UPPER DECK LEVEL
110' - 8"
- T.O. BEAM
109' - 7"
- T.O. FINISH FLOOR 2
100' - 8"

- T.O. MASONRY 5
126' - 8"
- T.O. MASONRY 4
124' - 8"
- T.O. MASONRY 3
122' - 8"
- T.O. FINISH FLOOR 1
100' - 0"

4 PARTIAL WEST ELEVATION
A202 1/8" = 1'-0"

5 SOUTH ELEVATION
A202 1/8" = 1'-0"



CAPVEST
26-017 COWBOY JACK'S LA CROSSE
 LOT 2 RIVER BEND RD, LA CROSSE, WI

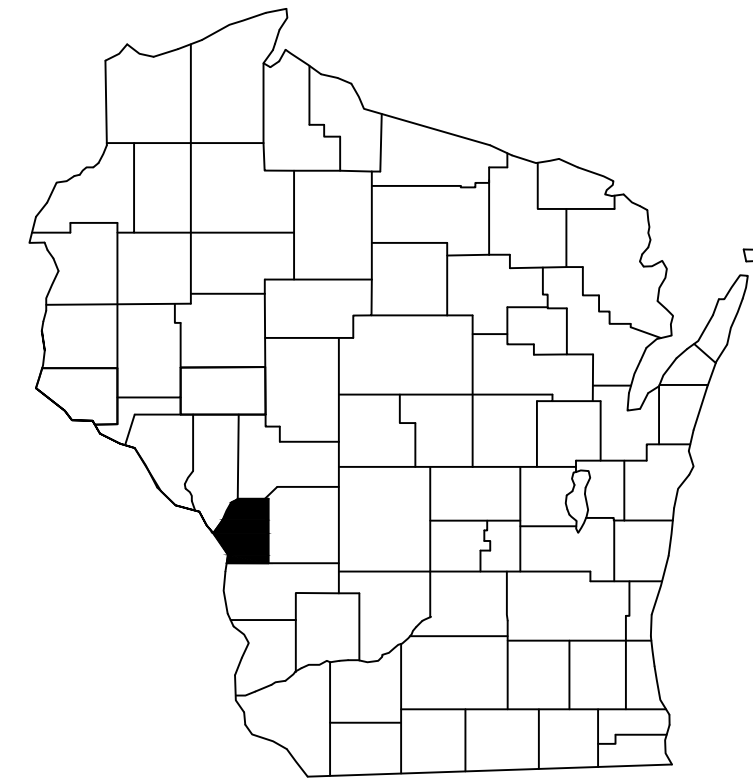
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NO.	DATE	DESCRIPTION

DRAWN BY: XXX
 PM: AJ
 JOB NO: 26-017
 DATE: 06.12.2026
 EXTERIOR ELEVATIONS
A202

COWBOY JACK'S LA CROSSE CAPVEST RIVER BEND ROAD LA CROSSE, WI

LA CROSSE COUNTY

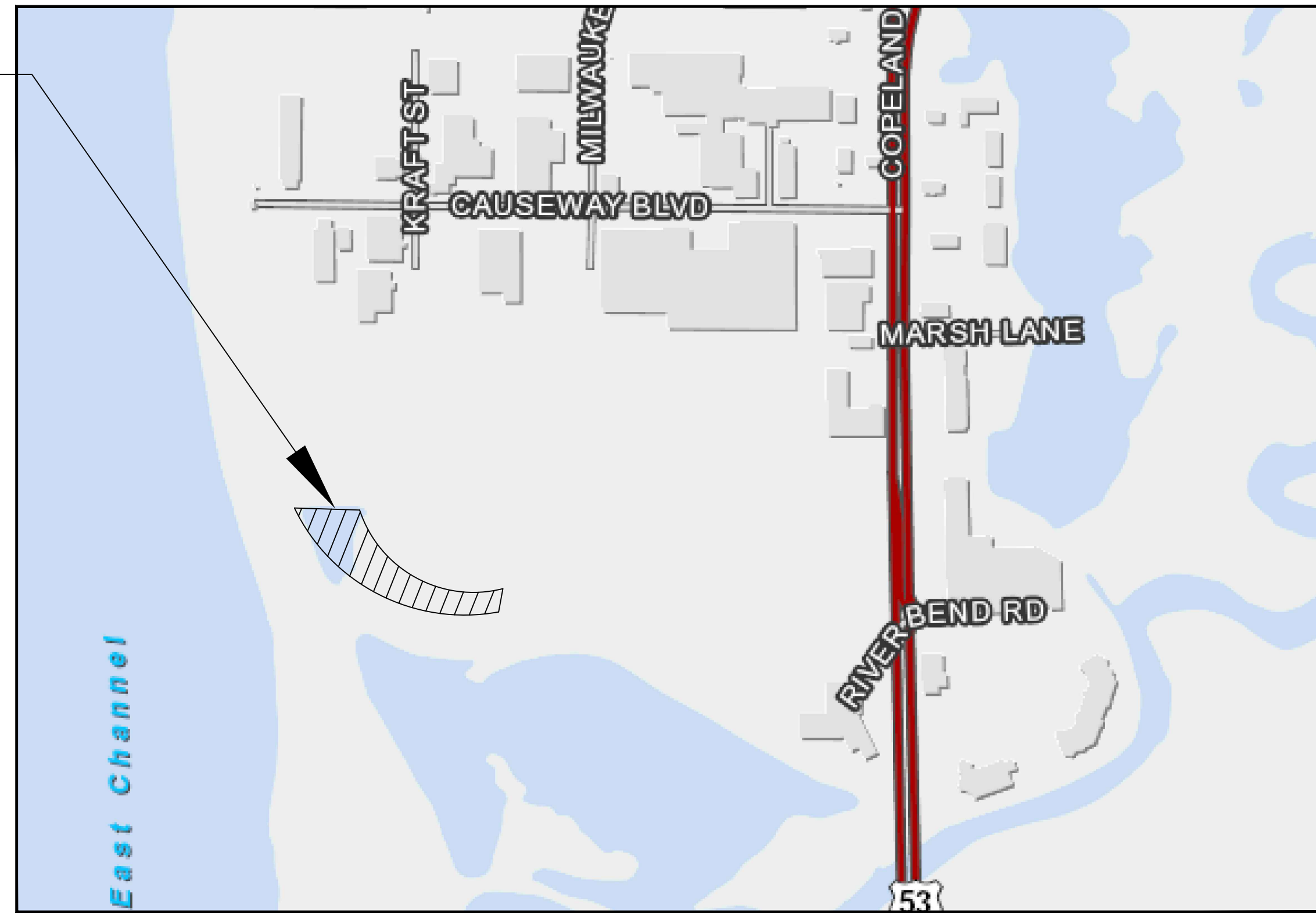


VICINITY MAP



Know what's below.
Call before you dig.

PROJECT LOCATION



LOCATION MAP

CONTACTS

ENGINEERING	DIRECTOR OF ENGINEERING & PLANNING MATT GALLAGER, P.E. 608.789.7505
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ELECTRIC	XCEL ENERGY – JASON MCROBERTS 715.577.1132
CABLE	CHARTER COMMUNICATIONS – PERRY MCCLELLAN 608.317.6213
GAS	XCEL ENERGY – JAKE ENDRES 608.498.3176
CABLE	LUMEN – TOM MURRAY 608.780.0895
FIRE DEPT.	FIRE CHIEF – JEFF SCHOTT 608.789.7559

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ALTOONA, WI 54720
PHONE: 715.831.8000
EMAIL: balbright@capvestpartner.com

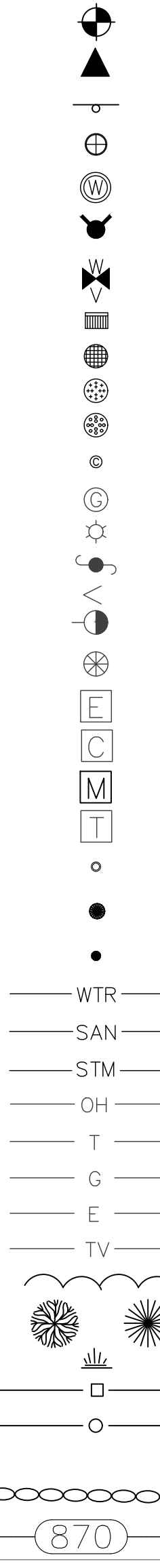
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RIVER VALLEY ARCHITECTS
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EAU CLAIRE, WI 54703
PH: 715.471.2053
EMAIL: aaron@rivervalleyarchitects.com

PROJECT ENGINEER:
ADVANCED ENGINEERING CONCEPTS
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1360 INTERNATIONAL DRIVE
EAU CLAIRE, WI 54701
PHONE: 715.552.0330
EMAIL: sbohan@aec.engineering

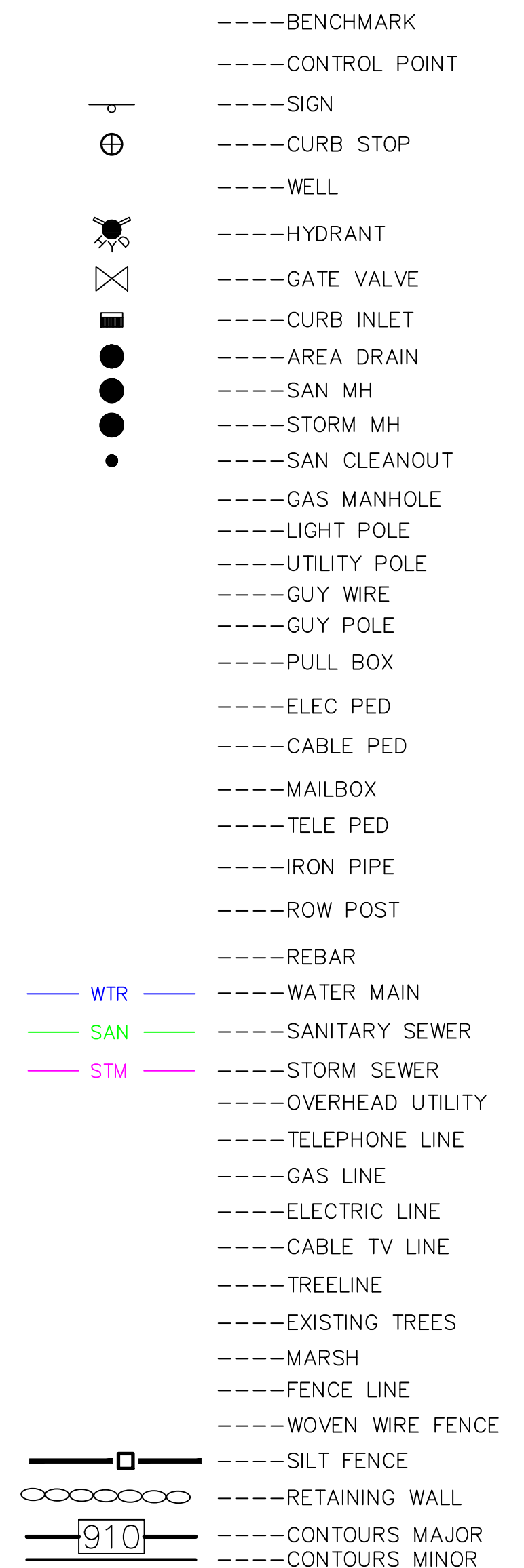
SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
CITY OF LA CROSSE SITE PLAN SUBMITTAL		
DSPS-EXTERIOR PLUMBING PLAN REVIEW		
WDNR-POST CONST. WRAPP		

ABBREVIATIONS:
BC=BACK OF CURB
BLK=BLOCK NUMBER
BTM=BOTTOM (ELEV)
CL=CENTERLINE
CS=CURB STOP
ELEV=ELEVATION
EOP=EDGE OF PAVEMENT
EX=EXISTING
FES=FLARED END SECTION
FF=FINISHED FLOOR (ELEV)
FL=FLOWLINE
GF=GARAGE FLOOR (ELEV) @
OVERHEAD DOOR
GLG=GROUND LINE GROOVE
HWL=HIGH WATER LEVEL
INV=INVERT
LF=LINEAR FEET
LO=LOOKOUT STYLE HOME
LT=LEFT
MIN=MINIMUM
NWL=NORMAL WATER LEVEL
PC=POINT OF CURVE
PRC=CURVE REVERSAL POINT
PT=POINT OF TANGENCY
RAD=RADIUS
RT=RIGHT
R/W=RIGHT OF WAY
SAN=SANITARY SEWER
SP=SPOT ELEVATION
SS=SAFETY SHELF (ELEV)
STA=STATION
STM=STORM SEWER
TC=TOP OF CURB
T.O.P.=TOP OF PIPE
TP=TOP OF PAVEMENT
TYP=TYPICAL
W=WATER FITTINGS
WTR=WATER
WM=WATERMAIN
WO=WALKOUT STYLE HOME

EXISTING



PROPOSED



SHEET SCHEDULE

SHEET NO.	DESCRIPTION
C100	TITLE SHEET
C200	EXISTING CONDITIONS & DEMOLITION PLAN
C300	SITE PLAN
C400	EROSION CONTROL PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C700-702	DETAILS

AEC PROJECT #: 26002 PLANS DATED: JUNE 2026



ADVANCED ENGINEERING CONCEPTS
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EAU CLAIRE, WI 54701
PH 715-552-0330
INFO@AEC.ENGINEERING
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CAPVEST
26-017 COWBOY JACK'S LA CROSSE
LOT 2 RIVER BEND RD, LA CROSSE, WI

NOT FOR CONSTRUCTION - DD SET

NO.	DATE	DESCRIPTION

DRAWN BY: JRC
PM: KS
JOB NO: 26002
DATE: 06.09.2026

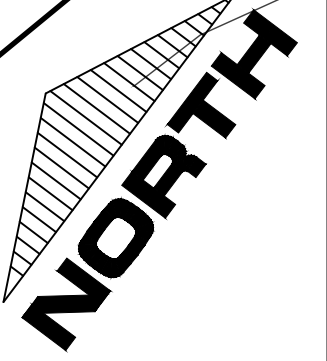
TITLE
C100

SURVEY NOTES:

1. TOPO SURVEY PERFORMED BY DAVY ENGINEERING FEBRUARY 2026
2. UTILITY SIZES AND LOCATIONS ARE COMPILED FROM SURVEYS AND AS-BUILTS INFORMATION PROVIDED BY OTHERS. ADVANCED ENGINEERING CONCEPTS MAKES NO GUARANTEE AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE EXISTING LINEWORK.
3. CONTRACTOR TO VERIFY EXISTING PRIVATE UTILITIES PRIOR TO ANY CONSTRUCTION TAKING PLACE.



Know what's below.
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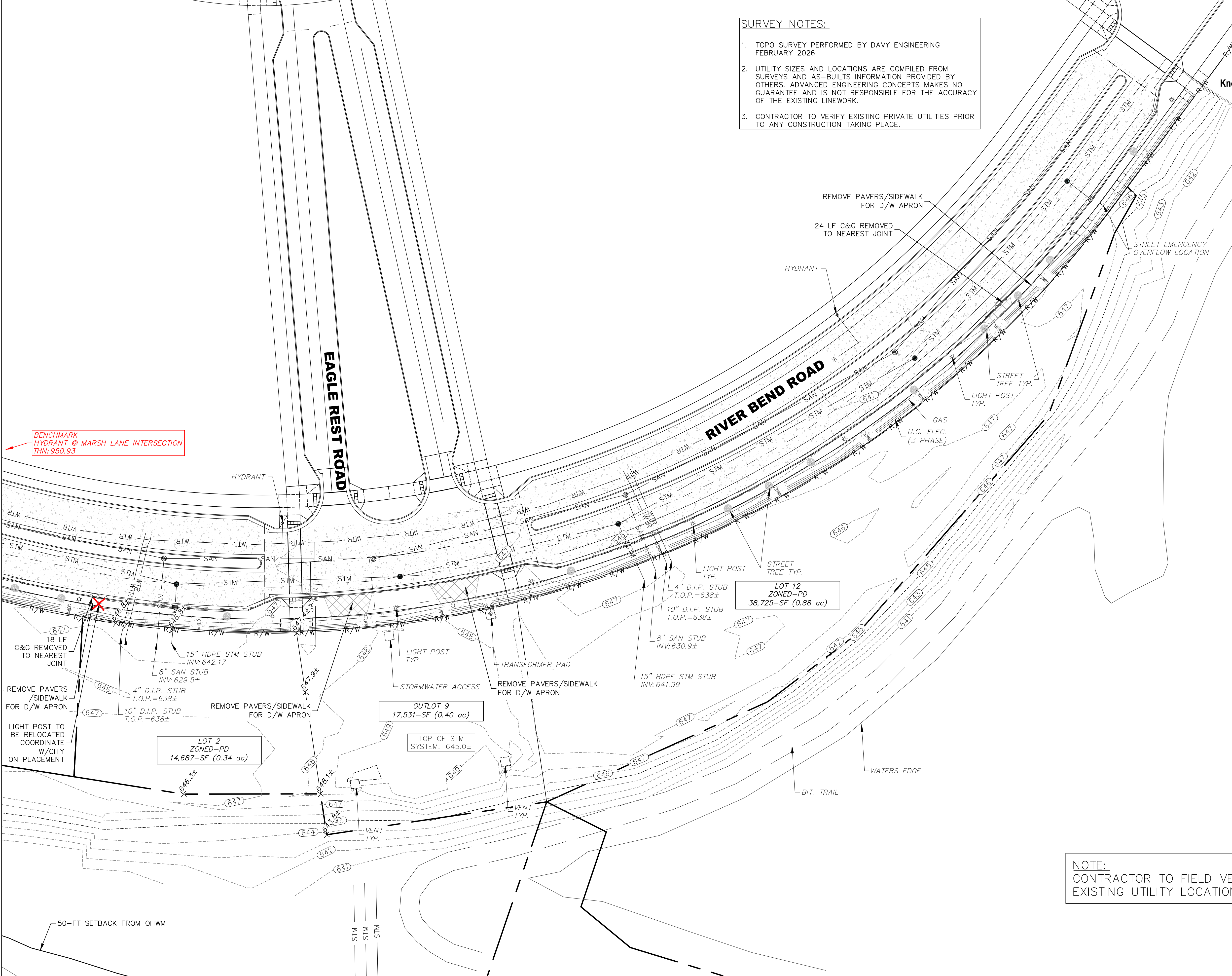
LEGEND

- (1105)--- EXISTING CONTOURS-MNR
- (1105)--- EXISTING CONTOURS-MJR
- [Grid Pattern] REMOVE PAVEMENT
- ~ CURB REMOVAL
- ~ UTILITY REMOVAL
- X TREE/LIGHT REMOVAL

GENERAL NOTES:

1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
2. CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
3. CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
4. CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
5. CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
6. NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
7. CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
8. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

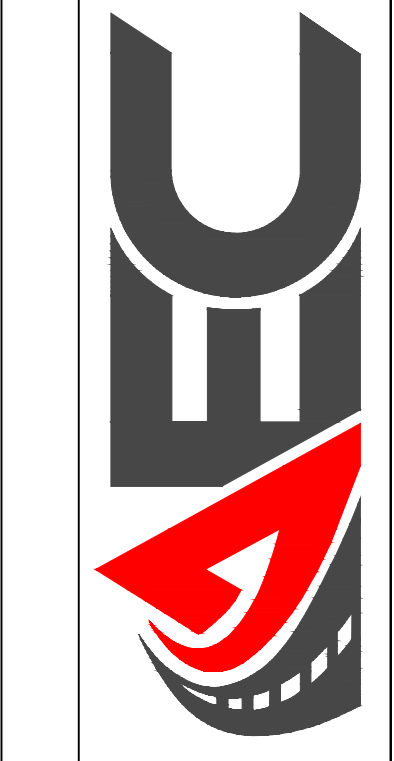


BENCHMARK
HYDRANT @ MARSH LANE INTERSECTION
THN: 950.93

OUTLOT 9
17,531-SF (0.40 ac)

LOT 12
ZONED-PD
38,725-SF (0.88 ac)

LOT 2
ZONED-PD
14,687-SF (0.34 ac)



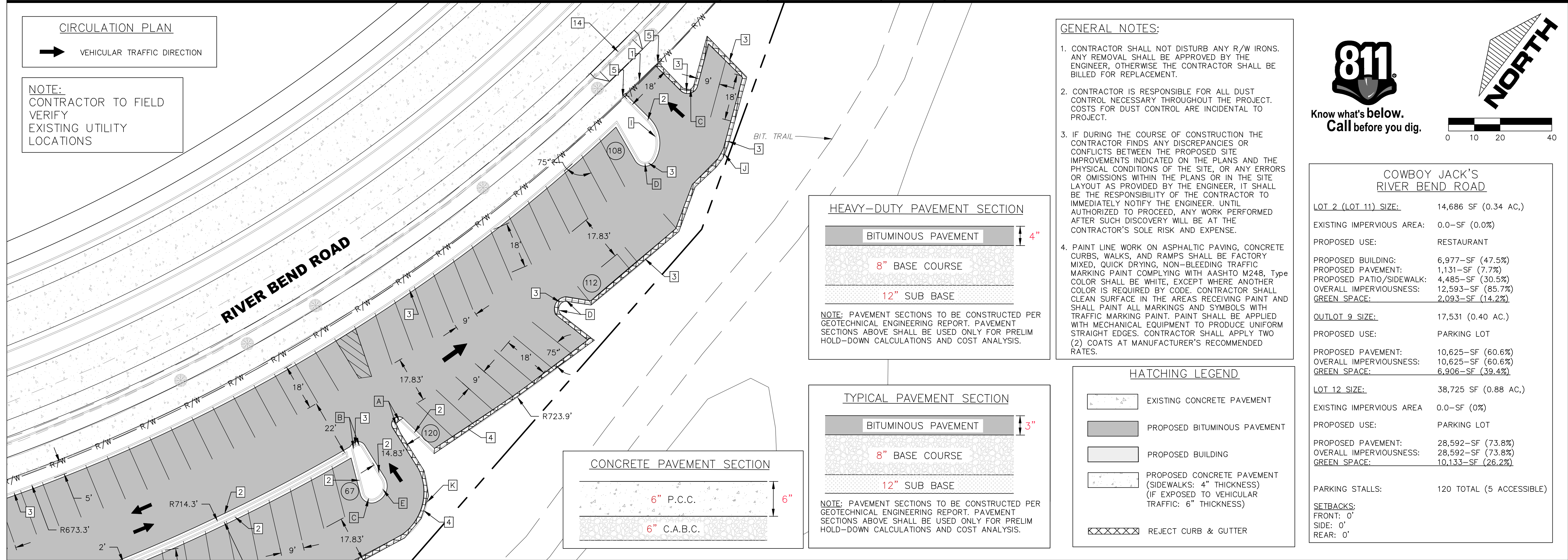
CAPVEST
26-017 COWBOY JACK'S LA CROSSE
LOT 2 RIVER BEND RD, LA CROSSE, WI

NOT FOR CONSTRUCTION - DD SET

NO.	DATE	DESCRIPTION

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PM: KS
JOB NO: 26002
DATE: 06.09.2026
EXISTING CONDITIONS & DEMOLITION PLAN

C200



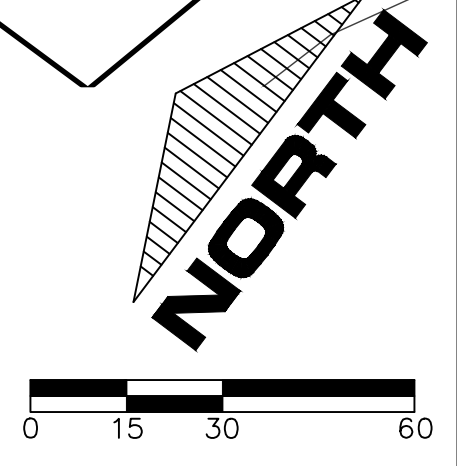
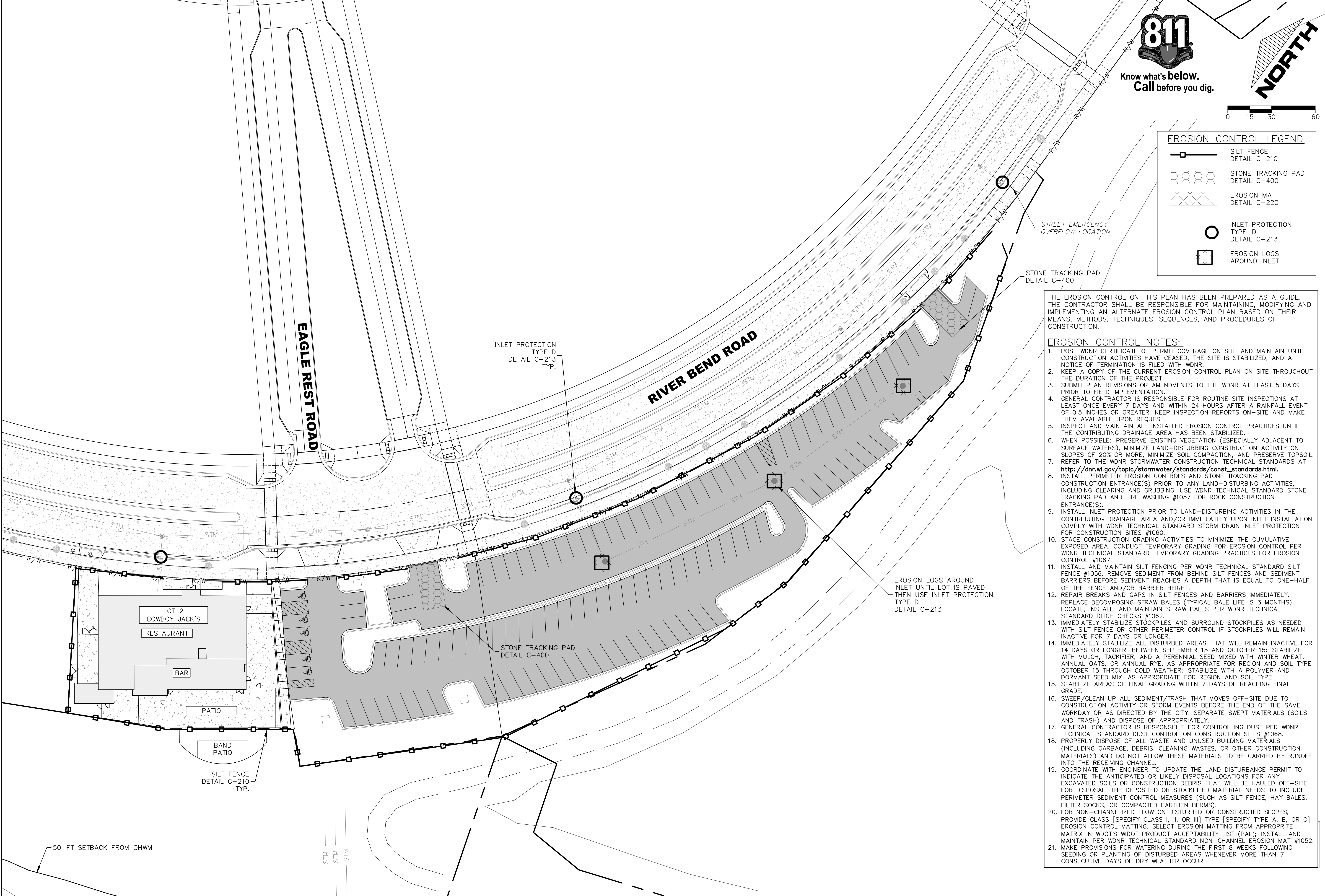
CAPVEST
26-017 COWBOY JACK'S LA CROSSE
LOT 2 RIVER BEND RD, LA CROSSE, WI

NOT FOR CONSTRUCTION - DD SET

NO.	DATE	DESCRIPTION

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PM: KS
JOB NO: 26002
DATE: 06.09.2026

SITE PLAN
C300



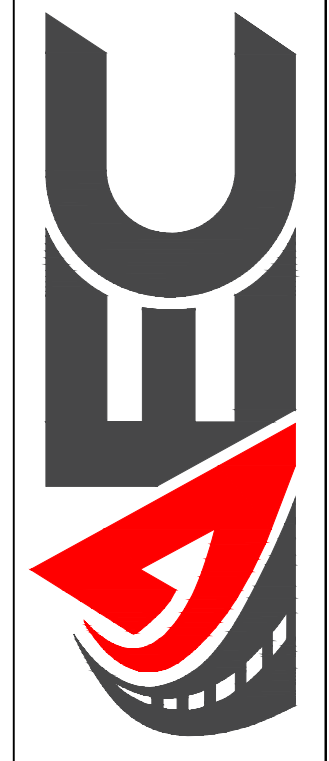
EROSION CONTROL LEGEND

	SILT FENCE DETAIL C-210
	STONE TRACKING PAD DETAIL C-400
	EROSION MAT DETAIL C-220
	INLET PROTECTION TYPE-D DETAIL C-213
	EROSION LOGS AROUND INLET

THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

EROSION CONTROL NOTES:

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
8. INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1069.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
11. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
12. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
13. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
14. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
15. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
16. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
17. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
18. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
19. COORDINATE WITH ENGINEER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
20. FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS [SPECIFY CLASS I, II, OR III] TYPE [SPECIFY TYPE A, B, OR C] EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
21. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.



CAPVEST
26-017 COWBOY JACK'S LA CROSSE
 LOT 2 RIVER BEND RD, LA CROSSE, WI

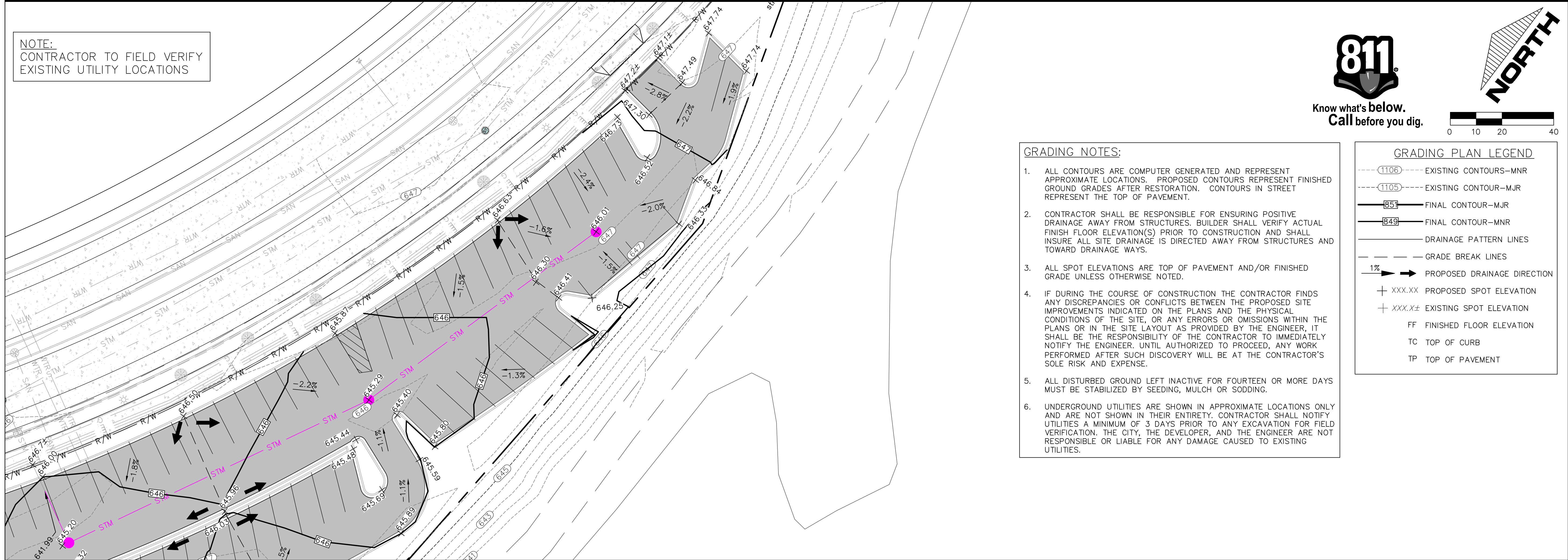
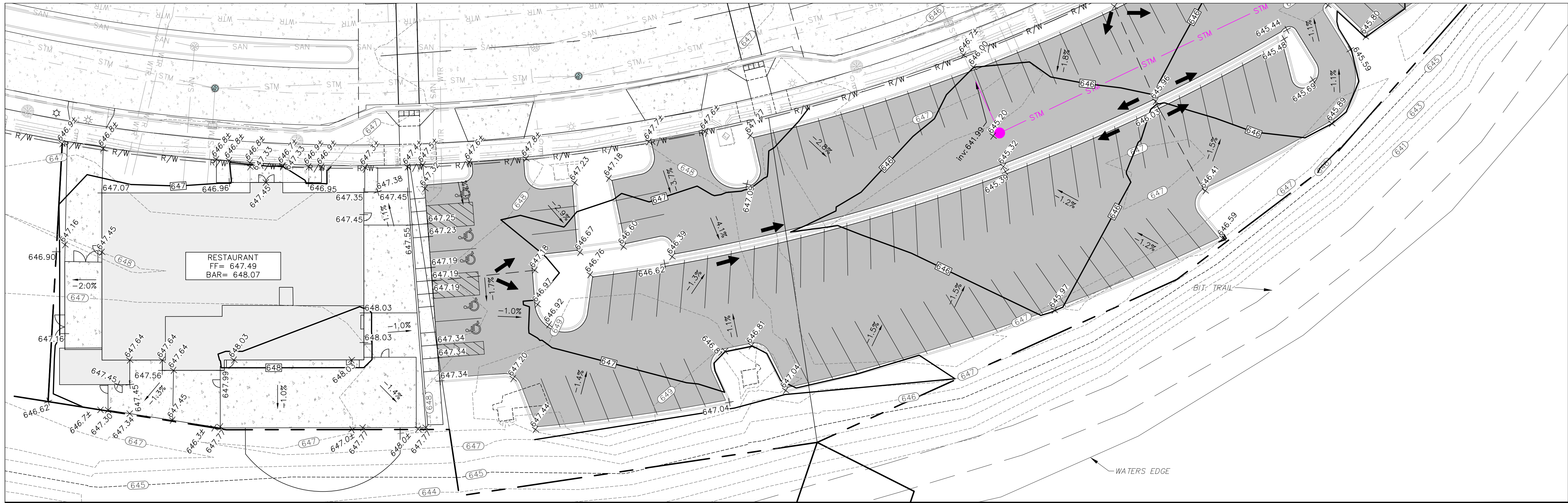
NOT FOR CONSTRUCTION - DD SET

NO.	DATE	DESCRIPTION

DRAWN BY: JRC
 PM: KS
 JOB NO: 26002
 DATE: 06.09.2026

EROSION CONTROL PLAN

C400



GRADING NOTES:

- ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN OR MORE DAYS MUST BE STABILIZED BY SEEDING, MULCH OR SODDING.
- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.

GRADING PLAN LEGEND

- (1106)--- EXISTING CONTOURS-MNR
- (1105)--- EXISTING CONTOUR-MJR
- (651)--- FINAL CONTOUR-MJR
- (649)--- FINAL CONTOUR-MNR
- DRAINAGE PATTERN LINES
- GRADE BREAK LINES
- 1% → PROPOSED DRAINAGE DIRECTION
- + XXX.XX PROPOSED SPOT ELEVATION
- + XXX.X± EXISTING SPOT ELEVATION
- FF FINISHED FLOOR ELEVATION
- TC TOP OF CURB
- TP TOP OF PAVEMENT

NOT FOR CONSTRUCTION - DD SET

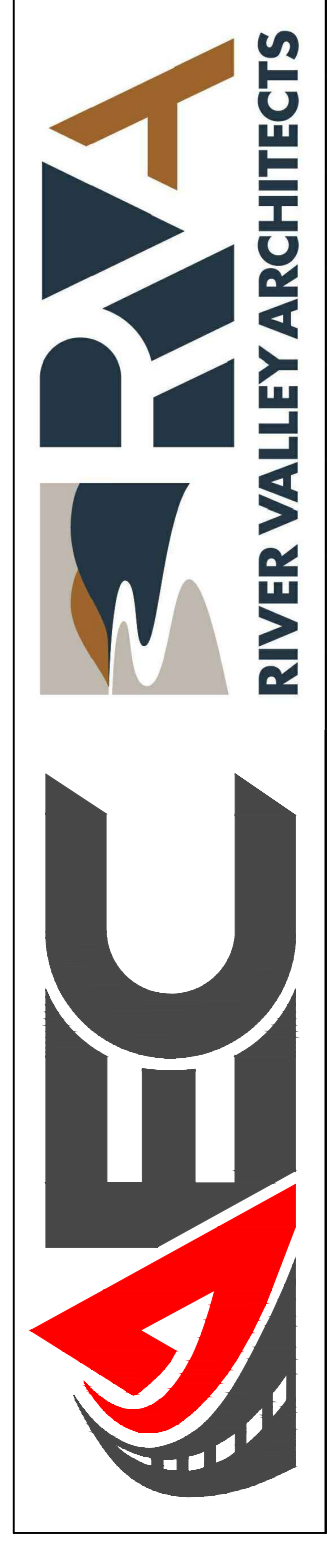
NO.	DATE	DESCRIPTION

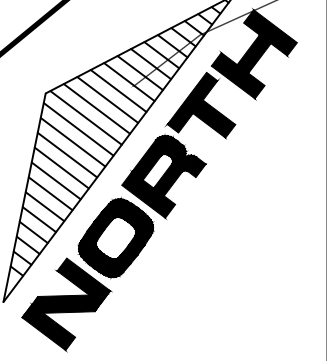
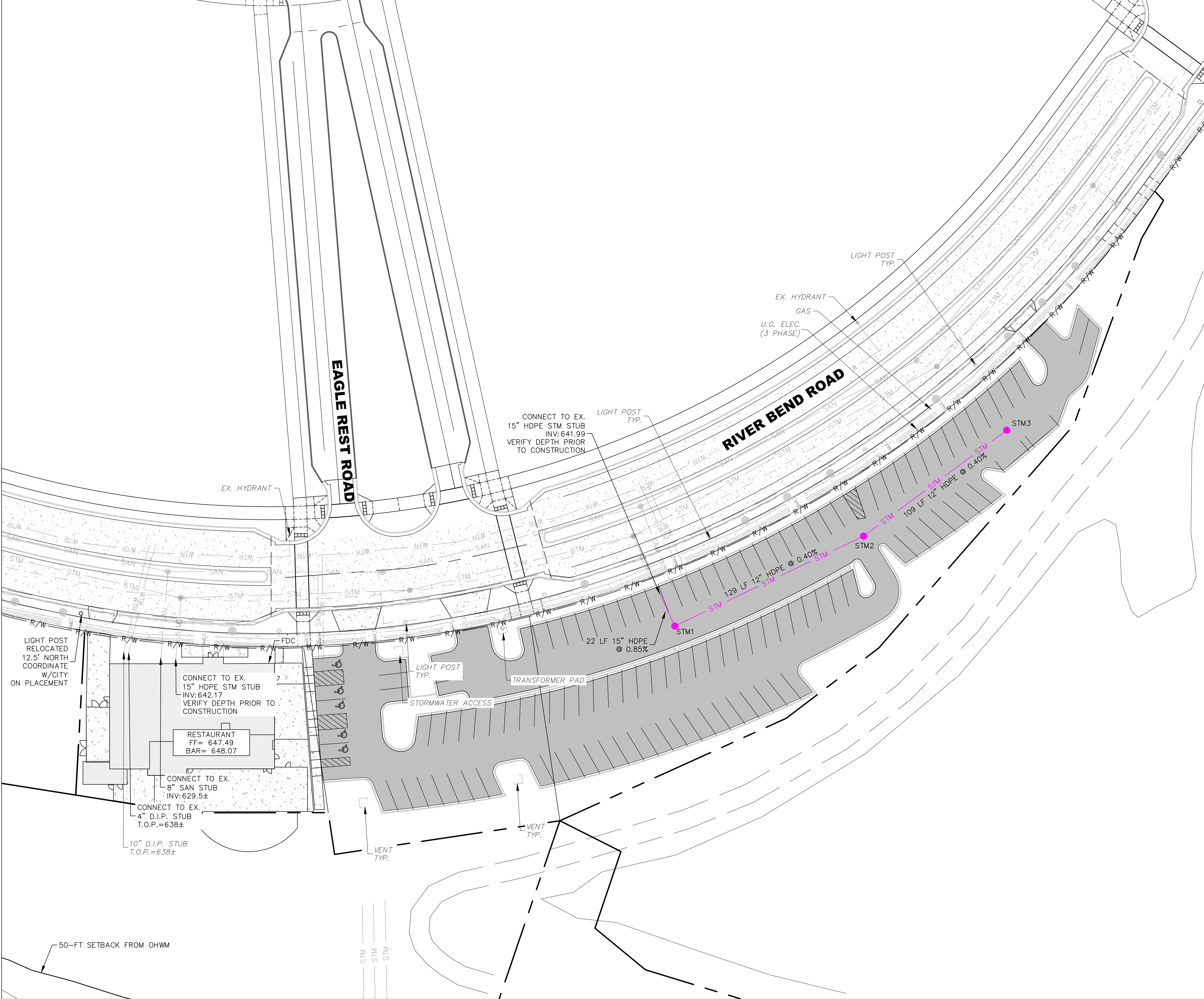
DRAWN BY: JRC
PM: KS
JOB NO: 26002
DATE: 06.09.2026

GRADING PLAN

C500

CAPVEST
26-017 COWBOY JACK'S LA CROSSE
LOT 2 RIVER BEND RD, LA CROSSE, WI





- UTILITY NOTES:**
1. STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
 2. MANHOLES ARE 48"Ø UNLESS OTHERWISE NOTED.
 3. UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
 4. CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ECT. ENTERING THE PIPE DURING CONSTRUCTION.
 5. SANITARY SEWER LATERALS SHALL HAVE MINIMUM SLOPE OF 1/16" PER FOOT FOR ALL 8-INCH PIPE (800 DFU'S).
 6. CONTRACTOR SHALL VERIFY THE TOTAL DRAINAGE FIXTURE UNITS (DFU's) AND PIPE SIZES WITH THE PLUMBING PLANS.
 7. SANITARY SEWER SERVICE SHALL BE PVC (SDR 35).
 8. WATER SERVICE SHALL BE DUCTILE IRON OR APPROVED EQUAL.
 9. STORM SEWER SHALL BE ADS N-12 WT IB PIPE OR PRINSCO GOLDFLO WT OR SDR35 PVC OR APPROVED EQUAL.
 10. THE PIPE DIAMETER'S LISTED ARE THE NOMINAL INSIDE DIAMETER.
 11. MANHOLES SHALL BE CONSTRUCTED AS DETAILED AND SET PLUMB WITH A MAXIMUM DEVIATION OF +/- 0.1 FOOT FROM VERTICAL.
 12. LAY PIPE TO SLOPE GRADIENTS NOTED ON DRAWINGS; WITH MAXIMUM VARIATION FROM TRUE SLOPE OF 1/8 INCH IN 10 FEET.
 13. ****FOR CONNECTION TO EXISTING PIPE, CONTRACTOR TO VERIFY LOCATION, SIZE, INVERT, & SLOPE AND TO CONTACT ENGINEER WITH ANY DISCREPANCIES.****

STORM SEWER TABLE

STRUCTURE NO.	DETAIL NO.	RIM	INVERT	DIRECTION	PIPE DIA.
STM1	SS-211	645.20	642.18	N	EX. 15"
			642.18	E	12"
STM2	SS-211	645.29	640.18		
			642.70	E/W	12"
STM3	SS-211	646.00	643.14	W	12"
			642.5		

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS



CAPVEST
26-017 COWBOY JACK'S LA CROSSE
LOT 2 RIVER BEND RD, LA CROSSE, WI

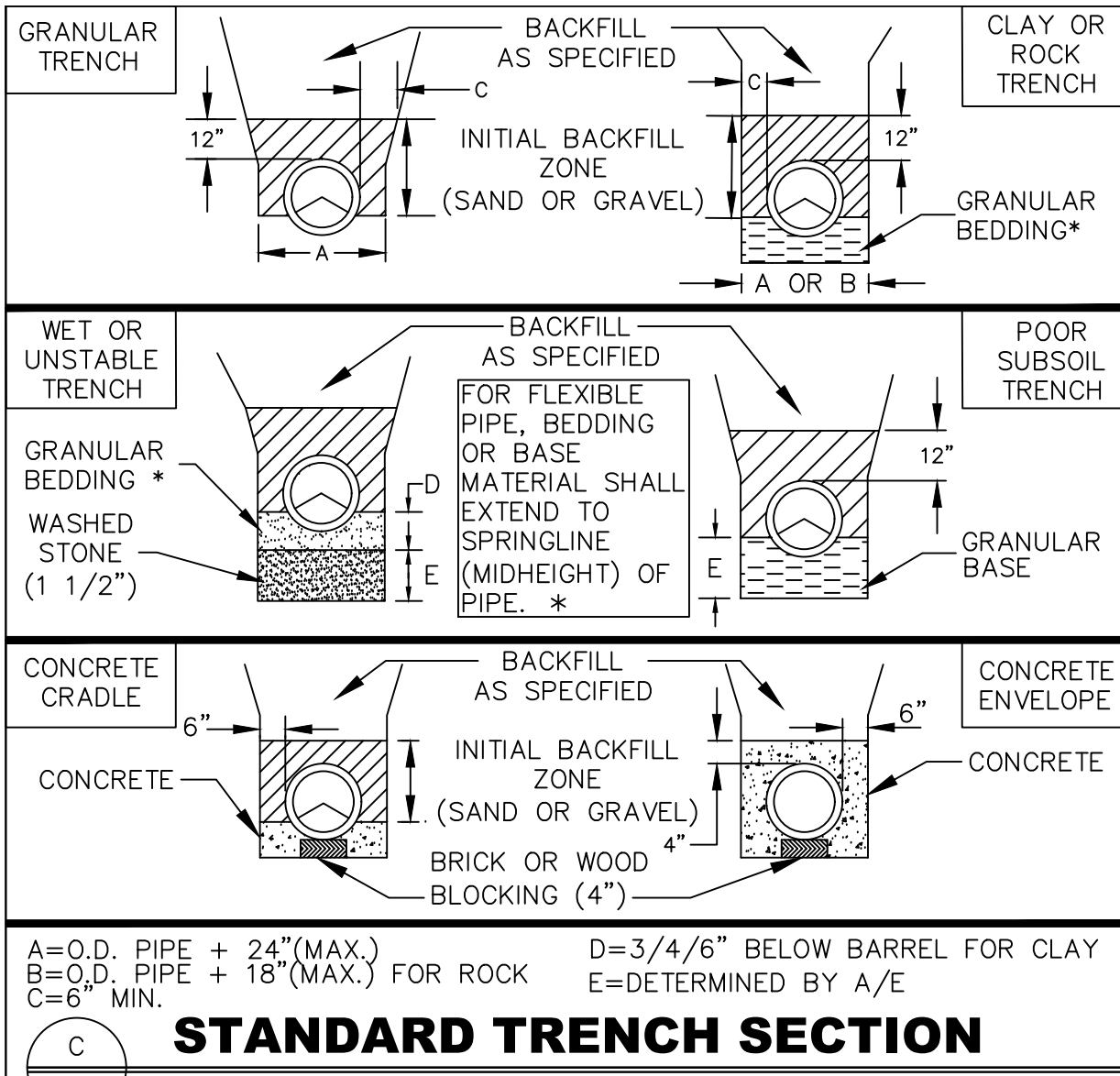
NOT FOR CONSTRUCTION - DD SET

NO.	DATE	DESCRIPTION

DRAWN BY: JRC
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JOB NO: 26002
DATE: 06.09.2026

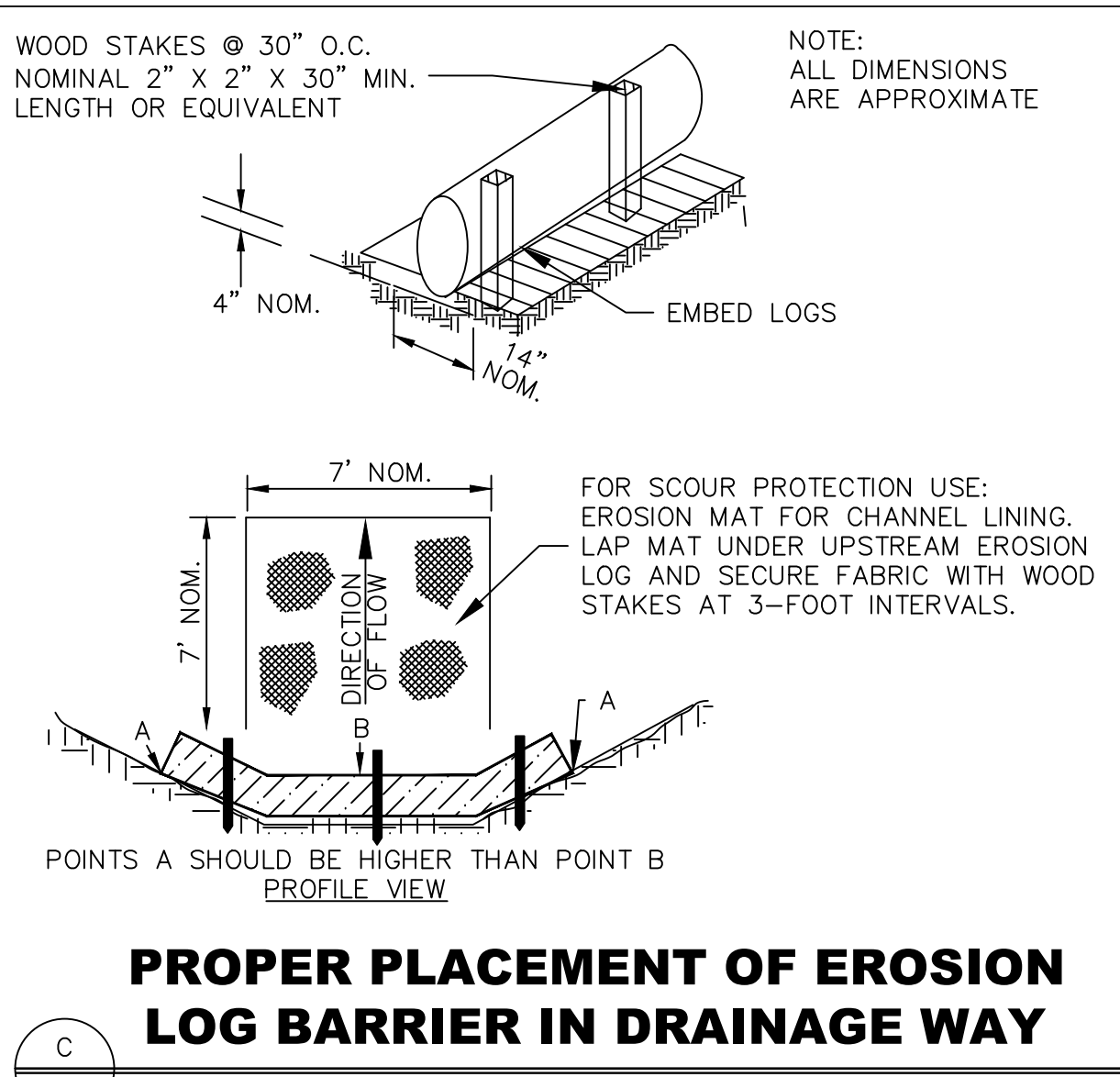
UTILITY PLAN

C600



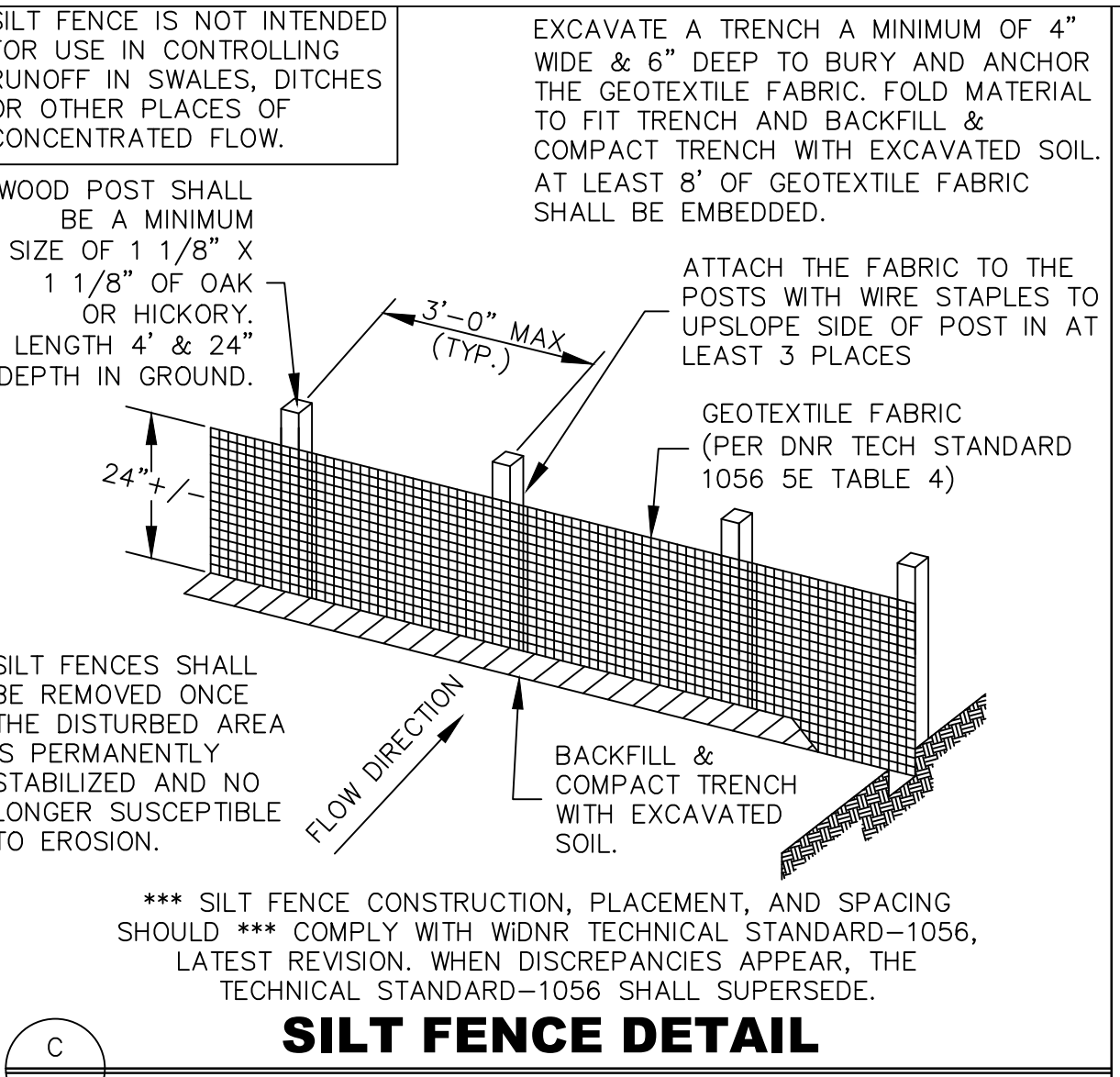
STANDARD TRENCH SECTION
 A=O.D. PIPE + 24"(MAX.) D=3/4/6" BELOW BARREL FOR CLAY
 B=O.D. PIPE + 18"(MAX.) FOR ROCK E=DETERMINED BY A/E
 C=6" MIN.

C 100 NOT TO SCALE



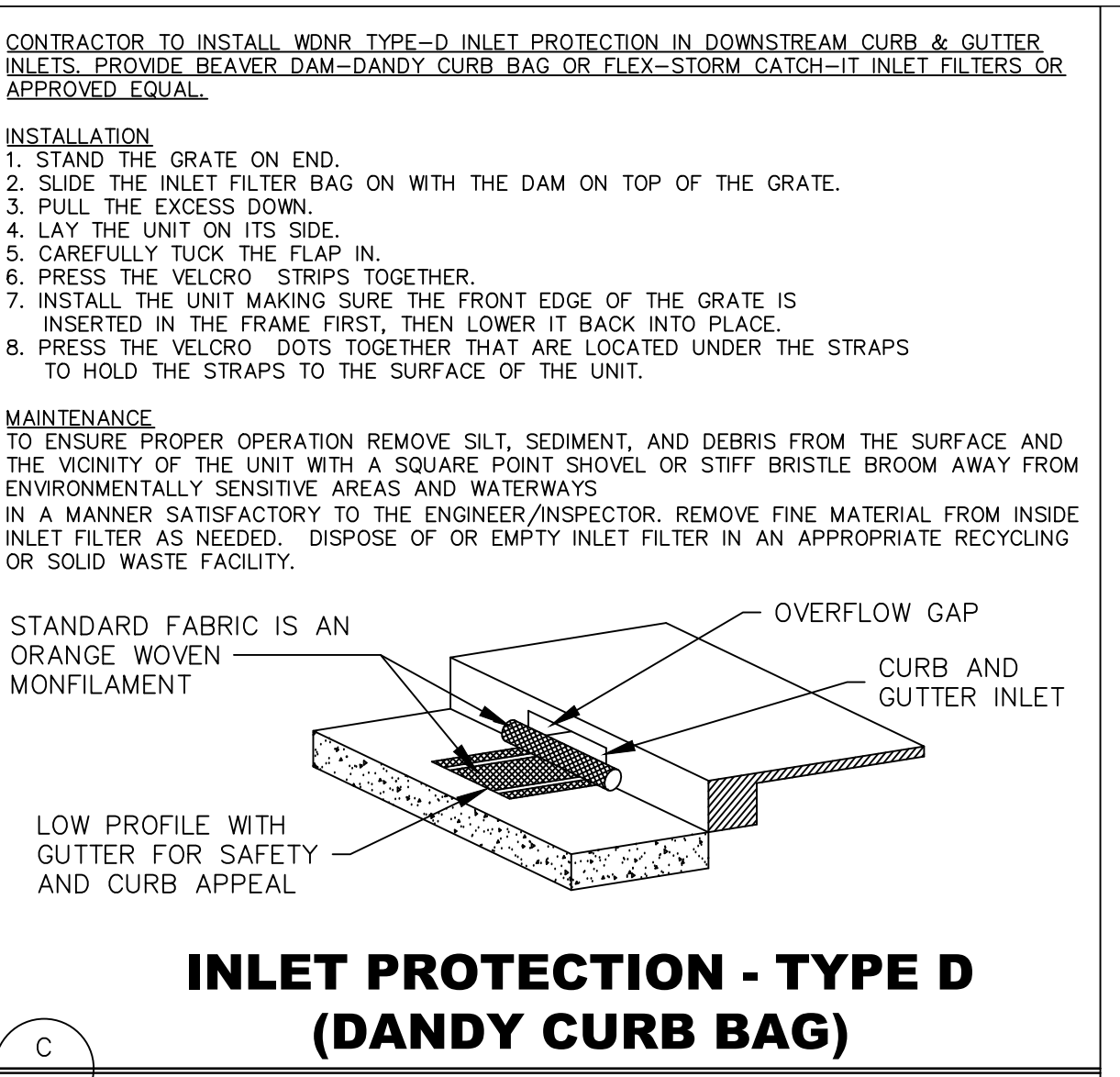
PROPER PLACEMENT OF EROSION LOG BARRIER IN DRAINAGE WAY

C 205 NOT TO SCALE



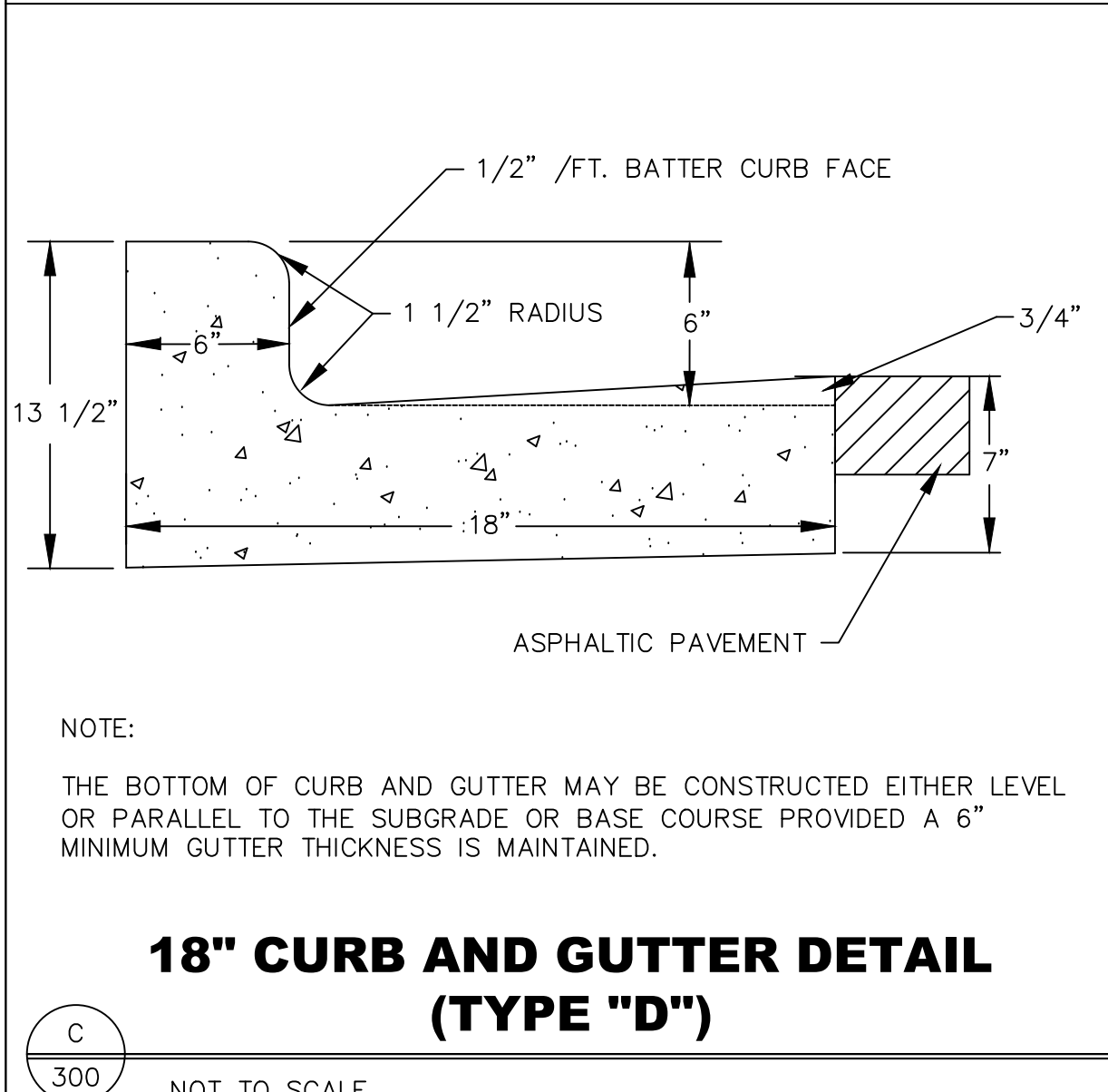
SILT FENCE DETAIL

C 210 NOT TO SCALE



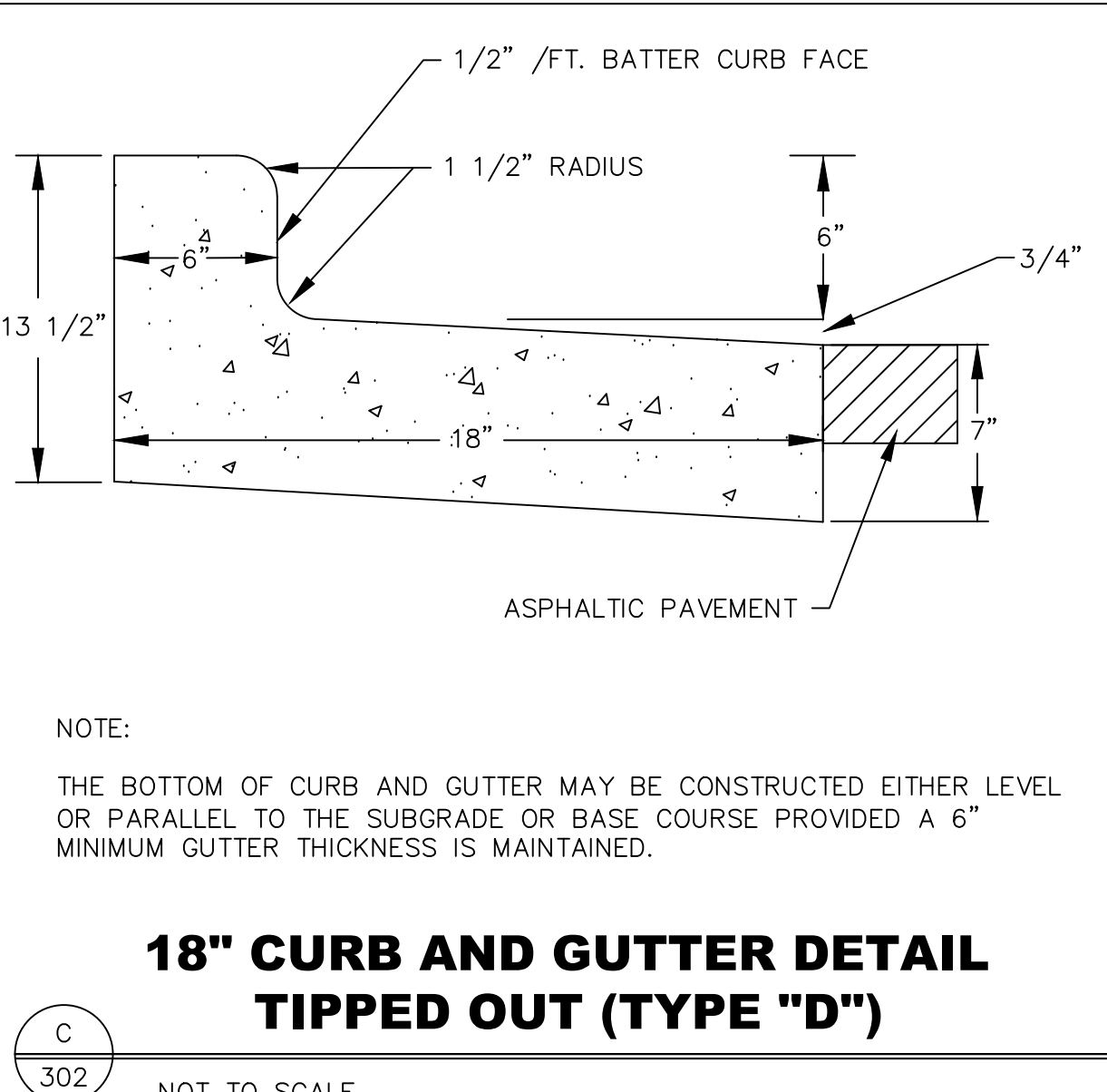
INLET PROTECTION - TYPE D (DANDY CURB BAG)

C 213 NOT TO SCALE



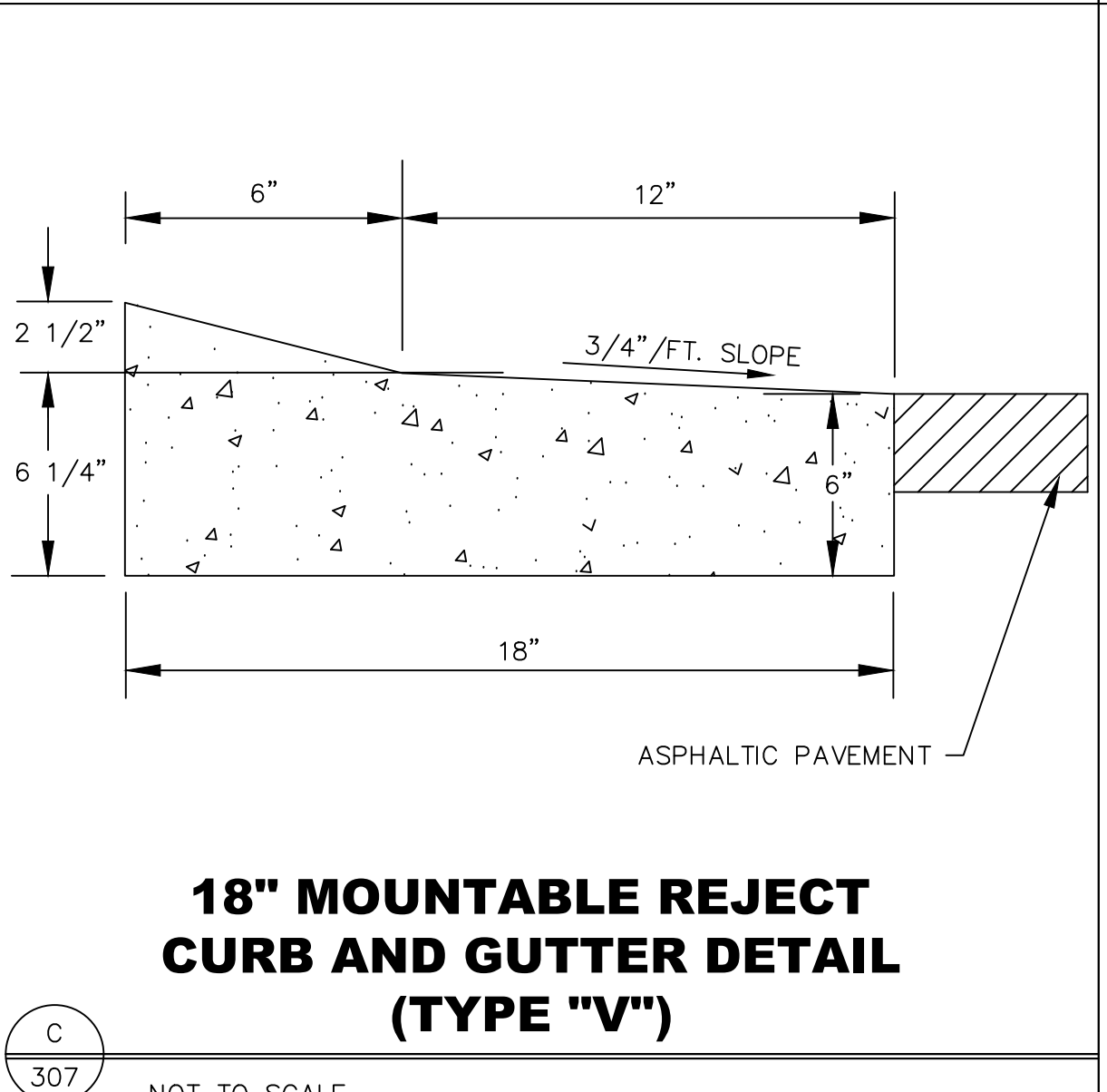
18" CURB AND GUTTER DETAIL (TYPE "D")

C 300 NOT TO SCALE



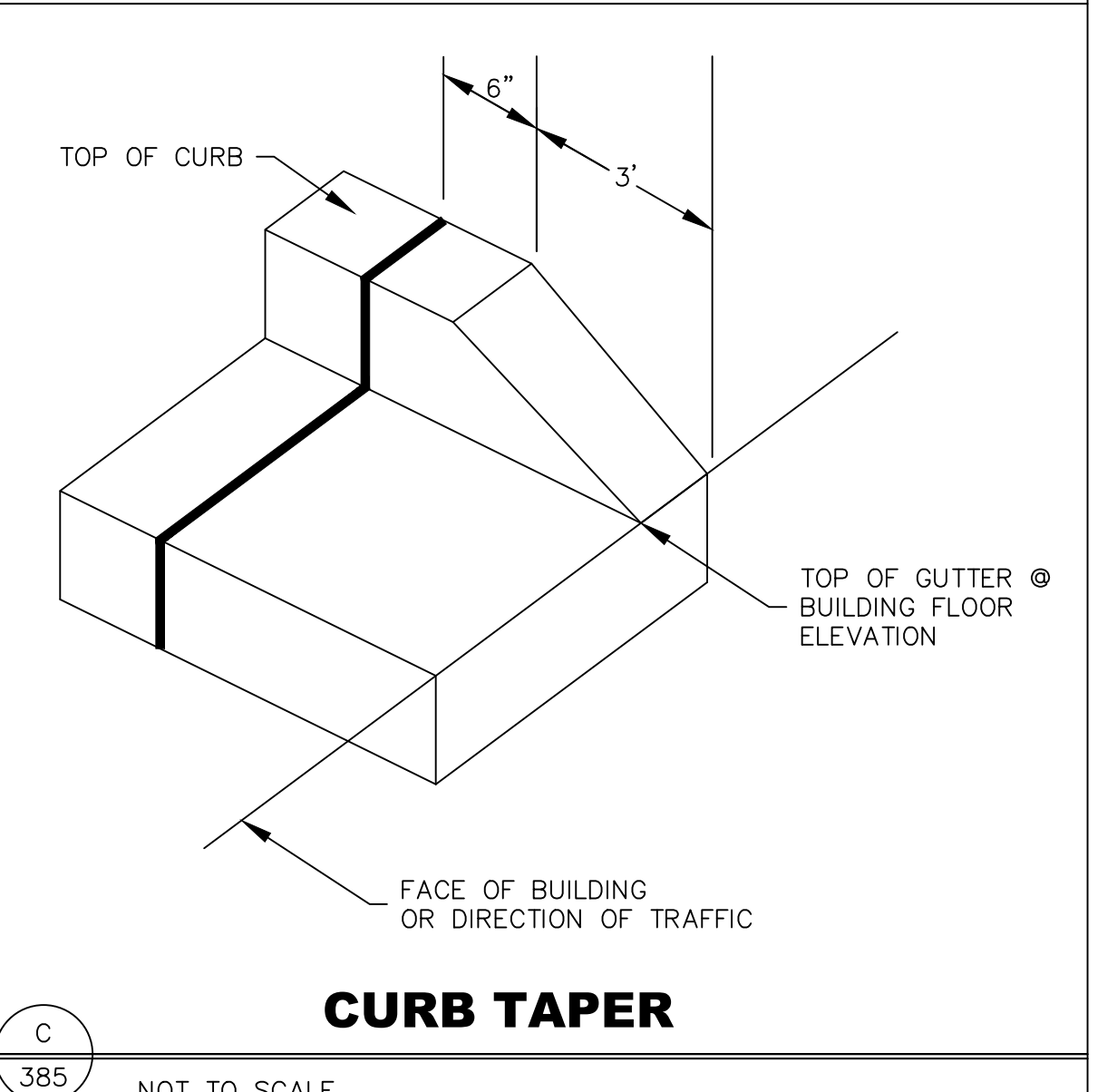
18" CURB AND GUTTER DETAIL TIPPED OUT (TYPE "D")

C 302 NOT TO SCALE



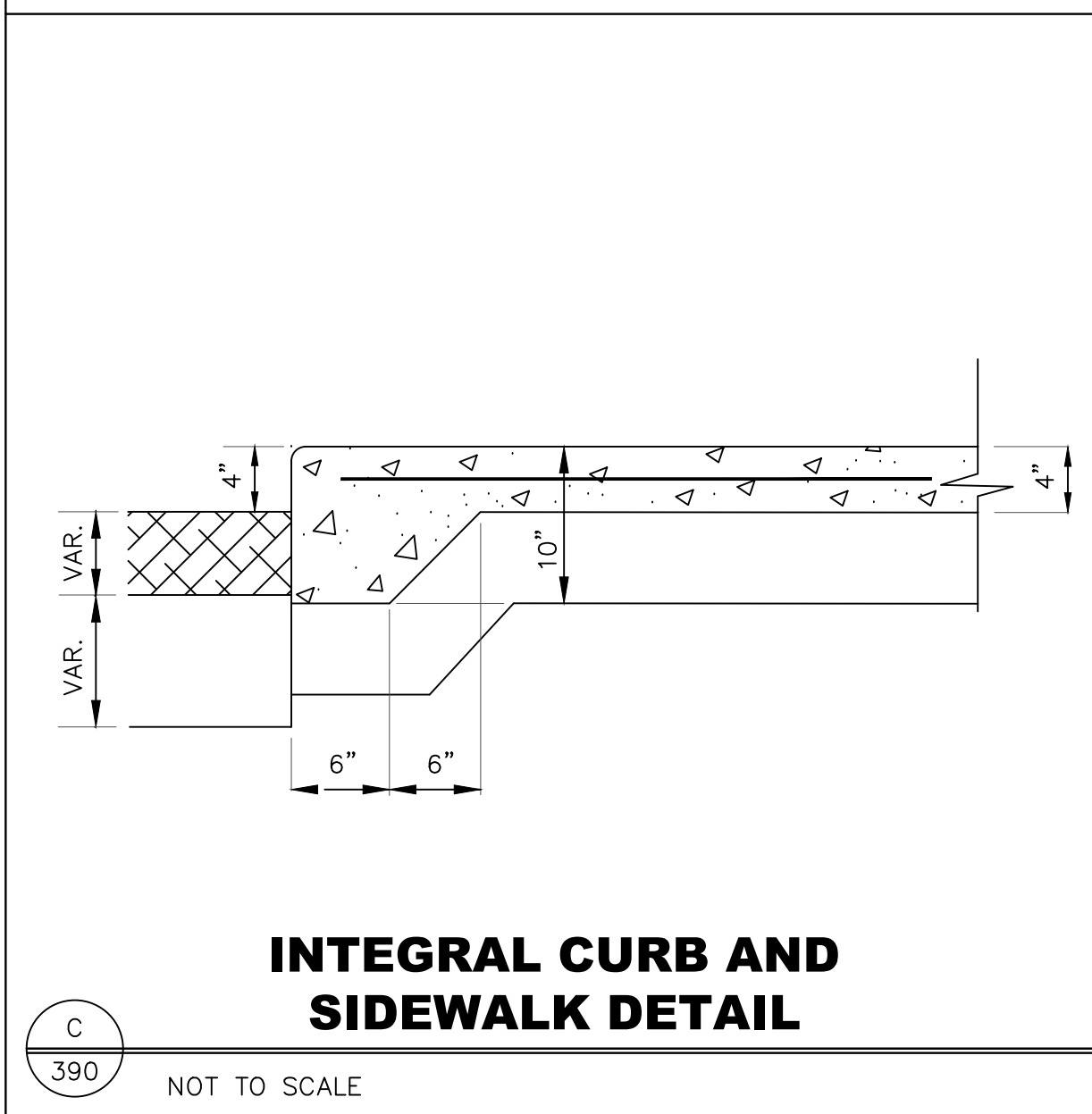
18" MOUNTABLE REJECT CURB AND GUTTER DETAIL (TYPE "V")

C 307 NOT TO SCALE



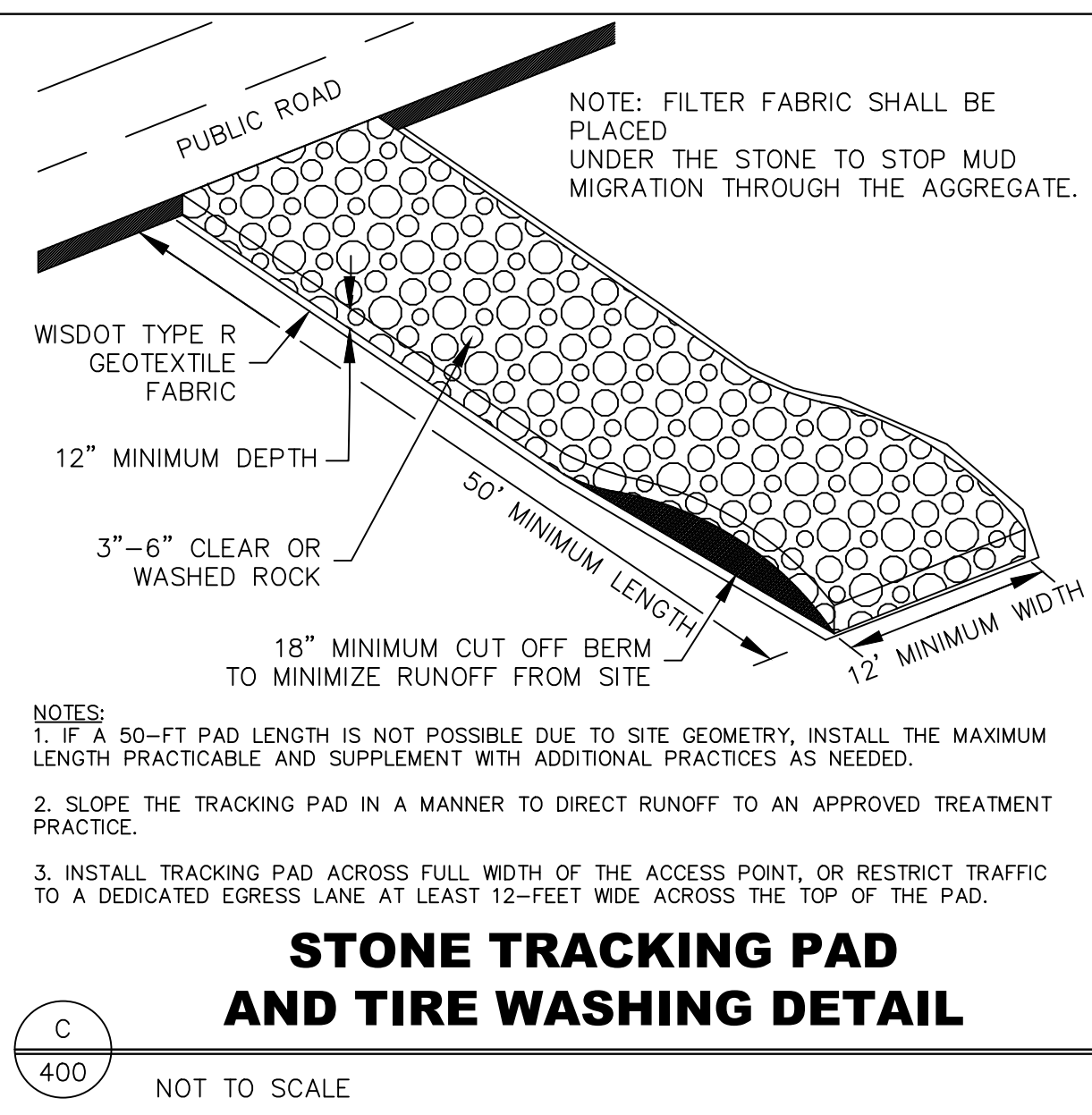
CURB TAPER

C 385 NOT TO SCALE



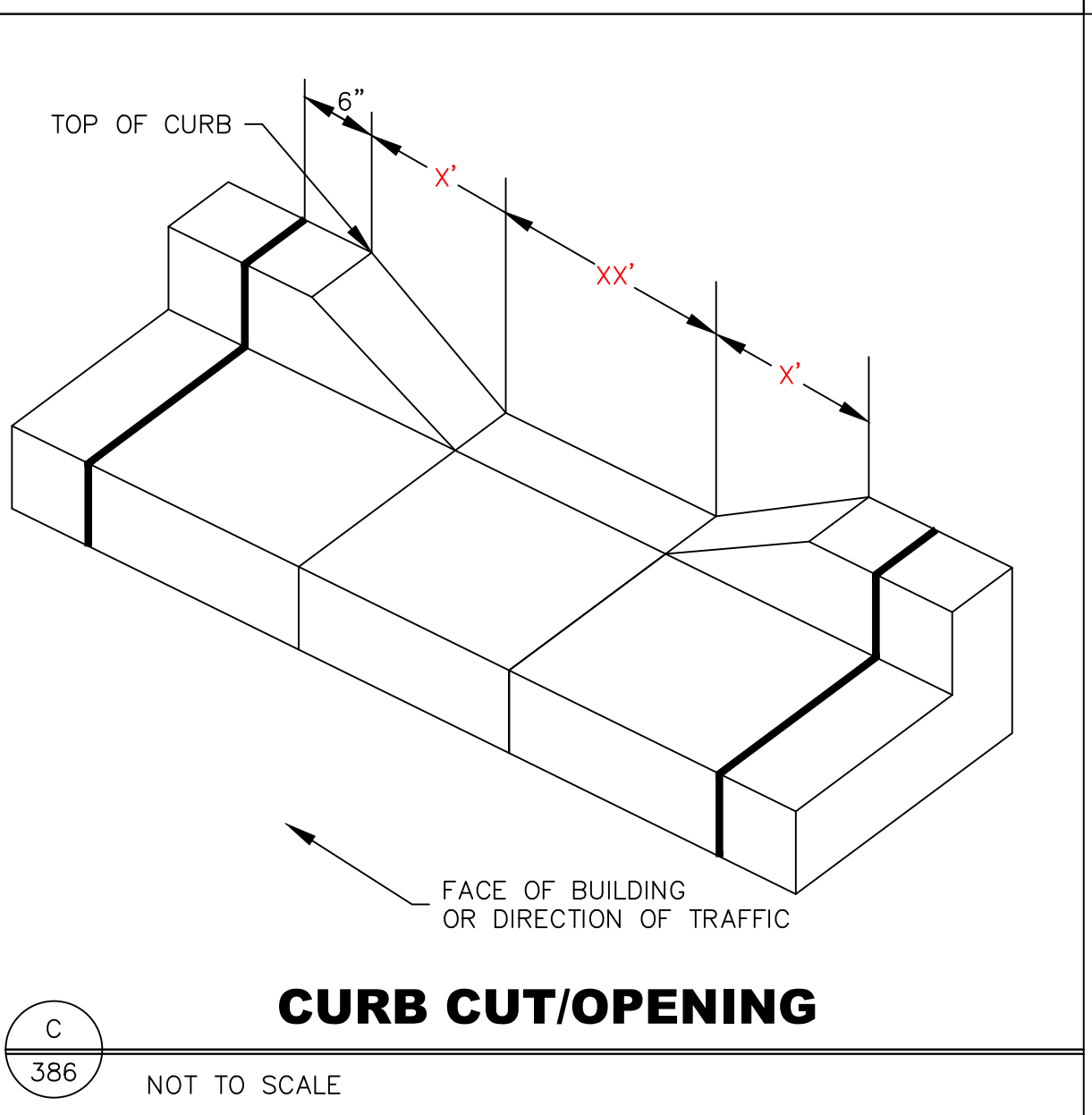
INTEGRAL CURB AND SIDEWALK DETAIL

C 390 NOT TO SCALE



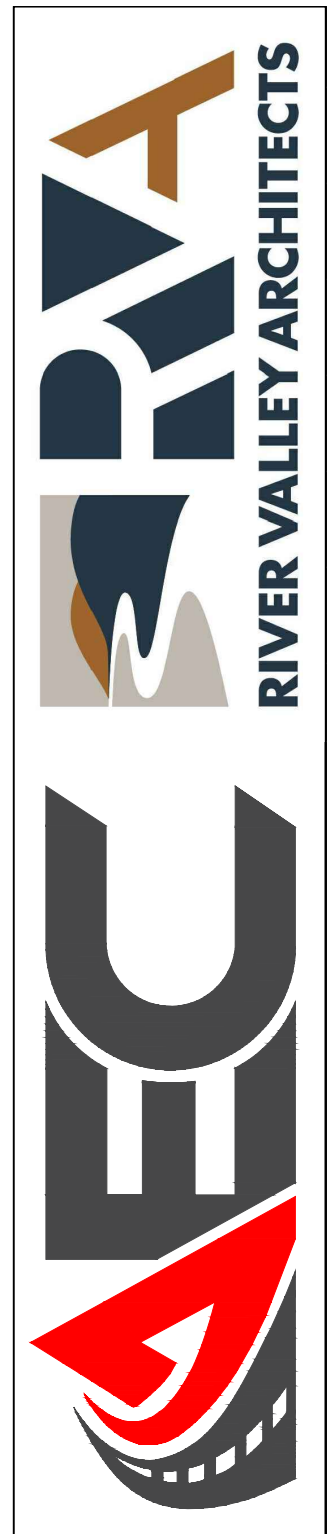
STONE TRACKING PAD AND TIRE WASHING DETAIL

C 400 NOT TO SCALE



CURB CUT/OPENING

C 386 NOT TO SCALE



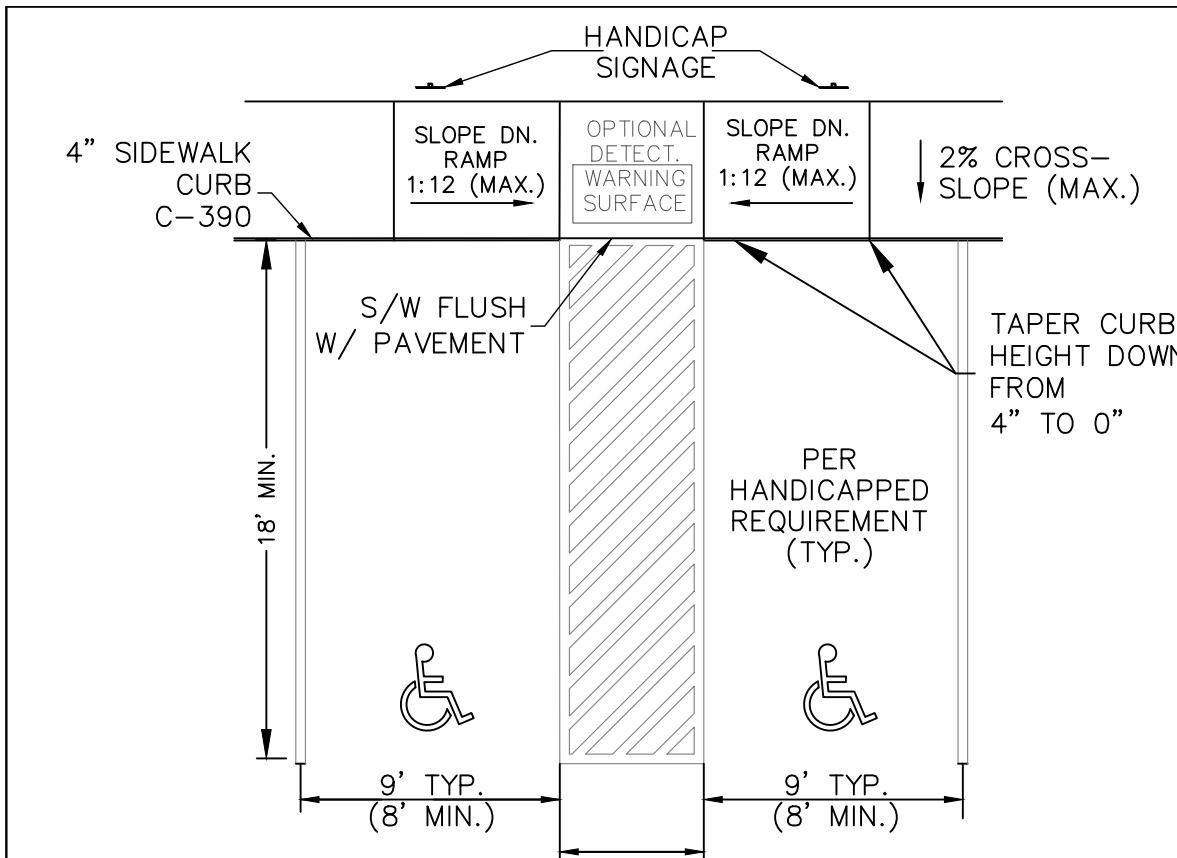
CAPVEST
 26-017 COWBOY JACK'S LA CROSSE
 LOT 2 RIVER BEND RD, LA CROSSE, WI

NOT FOR CONSTRUCTION - DD SET

NO.	DATE	DESCRIPTION

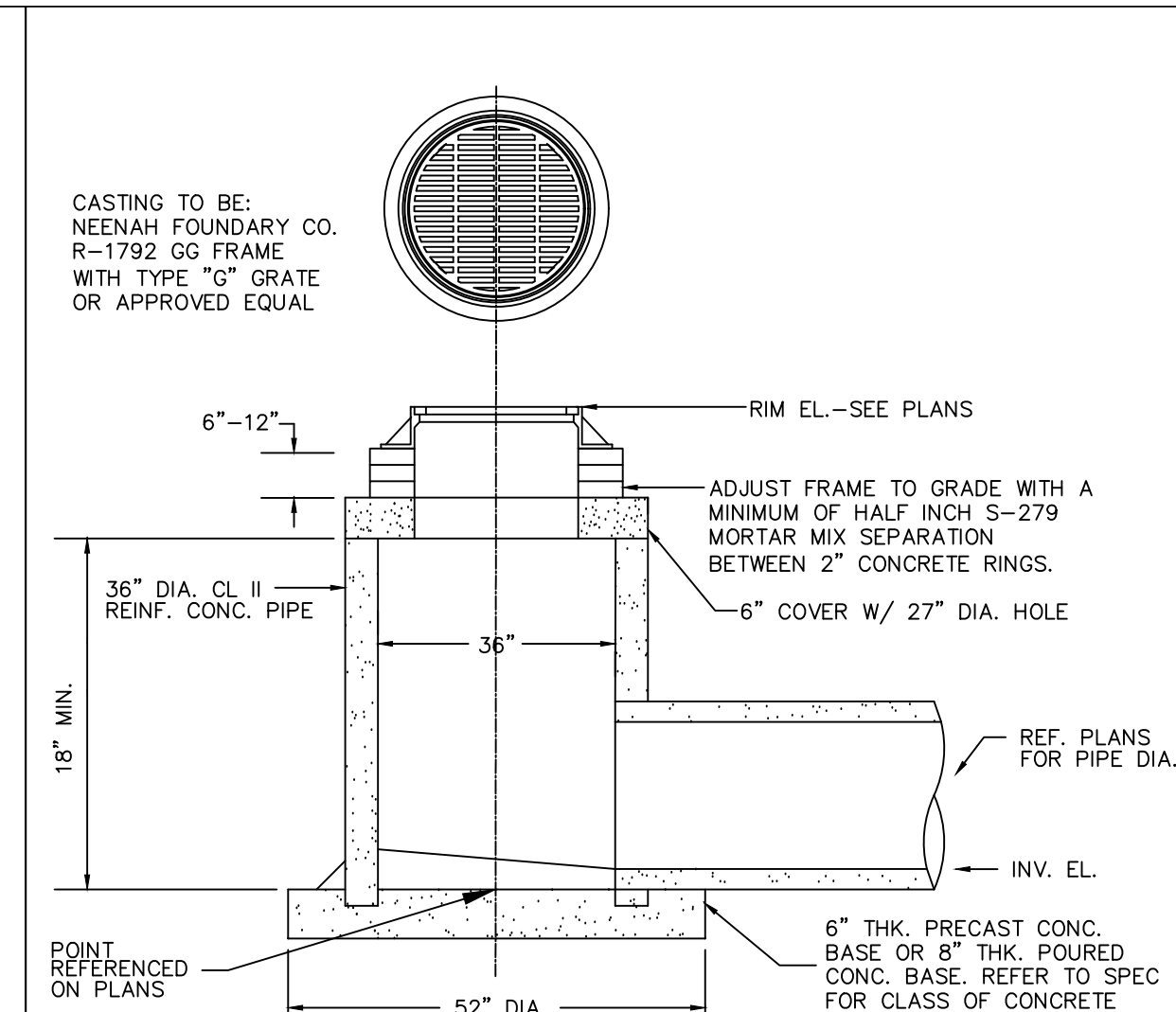
DRAWN BY: JRC
 PM: KS
 JOB NO: 26002
 DATE: 06.09.2026

DETAILS

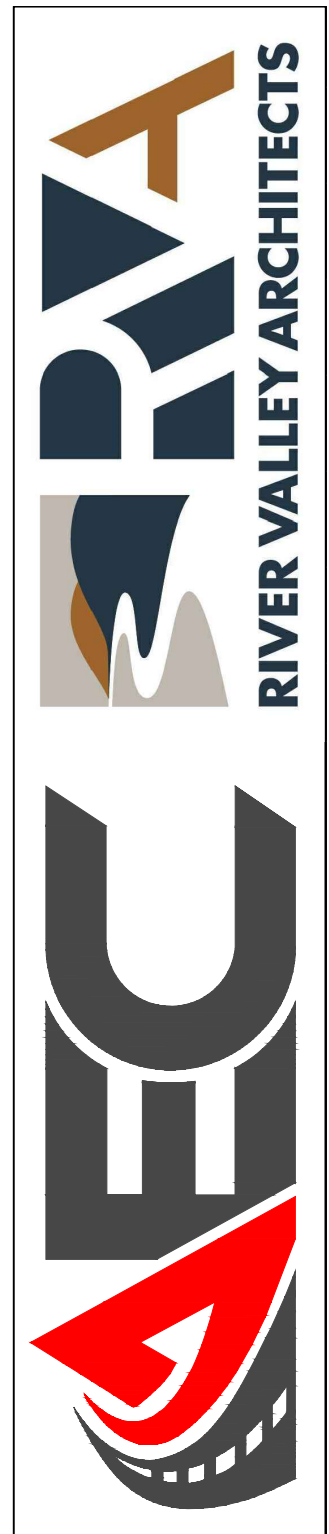


NOTES:
 2'x4' DETECTABLE WARNING FIELD SHALL BE A TRUNCATED DOME SYSTEM MANUFACTURED OF CAST IRON IN A NATURAL PATINA FINISH, MANUFACTURED BY NEENAH FOUNDRY, OR APPROVED EQUAL. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. USAGE IS OPTIONAL UNLESS THE DIRECTION OF TRAVEL IS IMMEDIATELY INTO TRAFFIC.
 THE SURFACE TEXTURE OF THE RAMP (EXCLUDING ANY TRUNCATED DOME PANEL) SHALL BE A COARSE BROOMED FINISH, TRANSVERSE TO THE SLOPE OF THE RAMP.

DUAL HANDICAP RAMP DETAIL
 434 NOT TO SCALE



AREA INLET (FLAT GRATE)
 211 NOT TO SCALE



CAPVEST
26-017 COWBOY JACK'S LA CROSSE
 LOT 2 RIVER BEND RD, LA CROSSE, WI

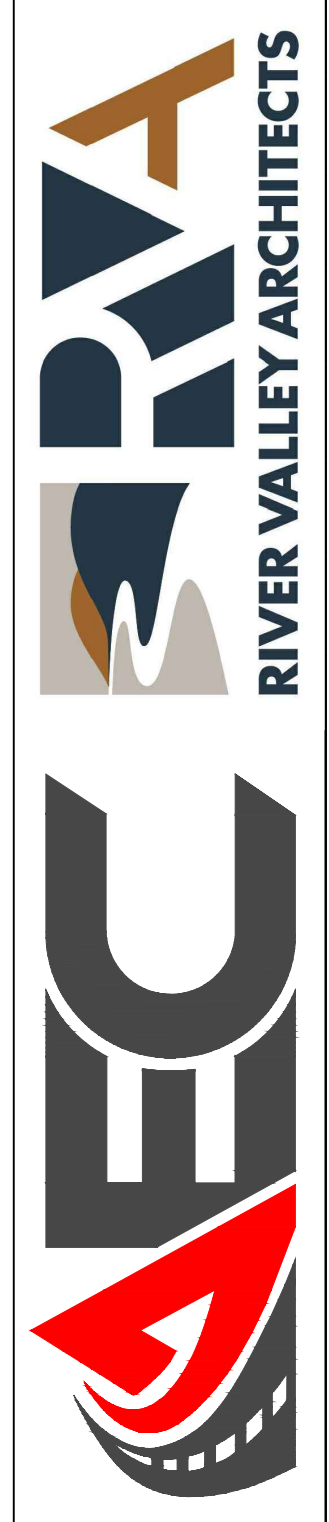
NOT FOR CONSTRUCTION - DD SET

NO.	DATE	DESCRIPTION

DRAWN BY: JRC
 PM: KS
 JOB NO: 26002
 DATE: 06.09.2026

DETAILS

C701



CAPVEST
26-017 COWBOY JACK'S LA CROSSE
LOT 2 RIVER BEND RD, LA CROSSE, WI

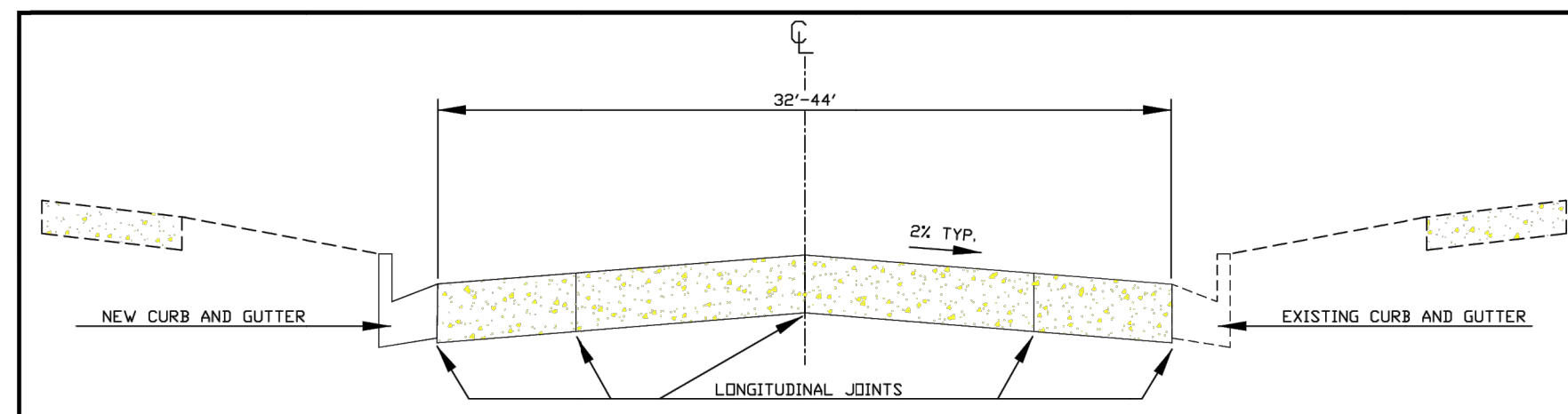
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NO.	DATE	DESCRIPTION

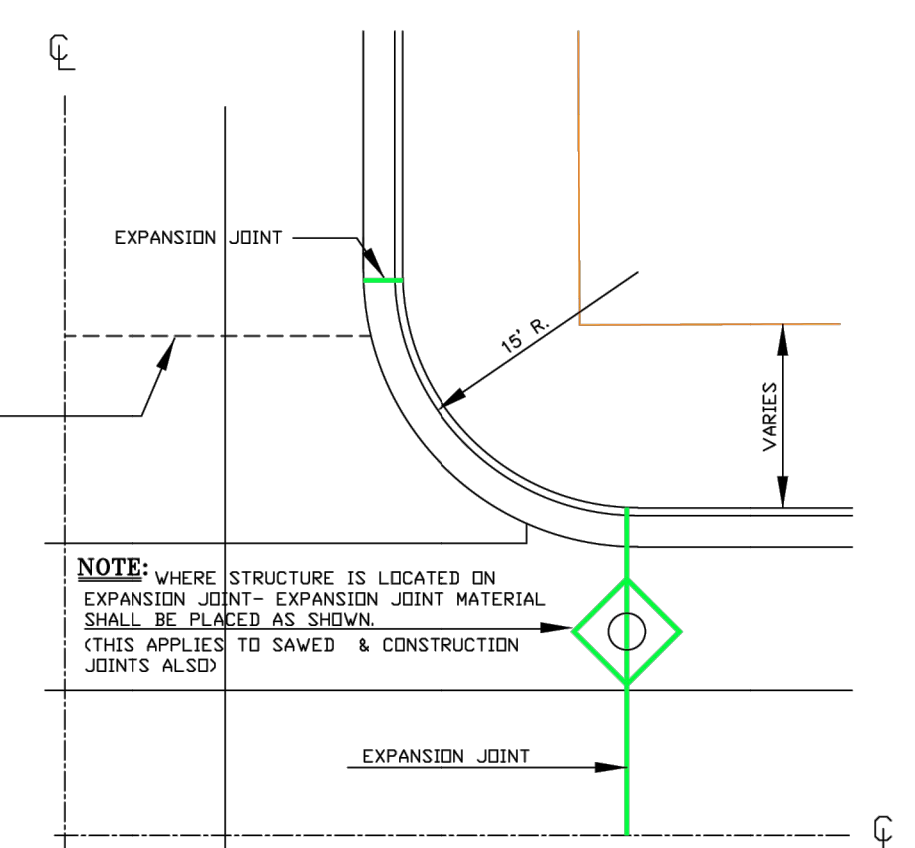
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PM: KS
JOB NO: 26002
DATE: 06.09.2026
DETAILS

C702

DRAWINGS NOT TO SCALE

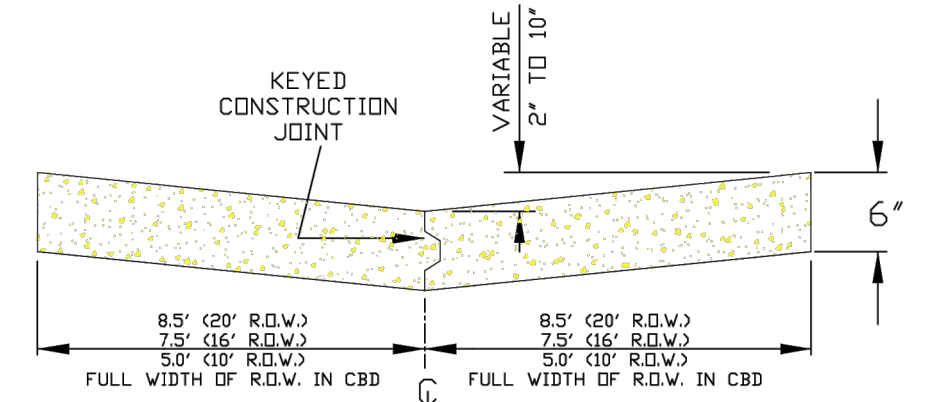


TYPICAL CROSS SECTION FOR 36' ROADWAY

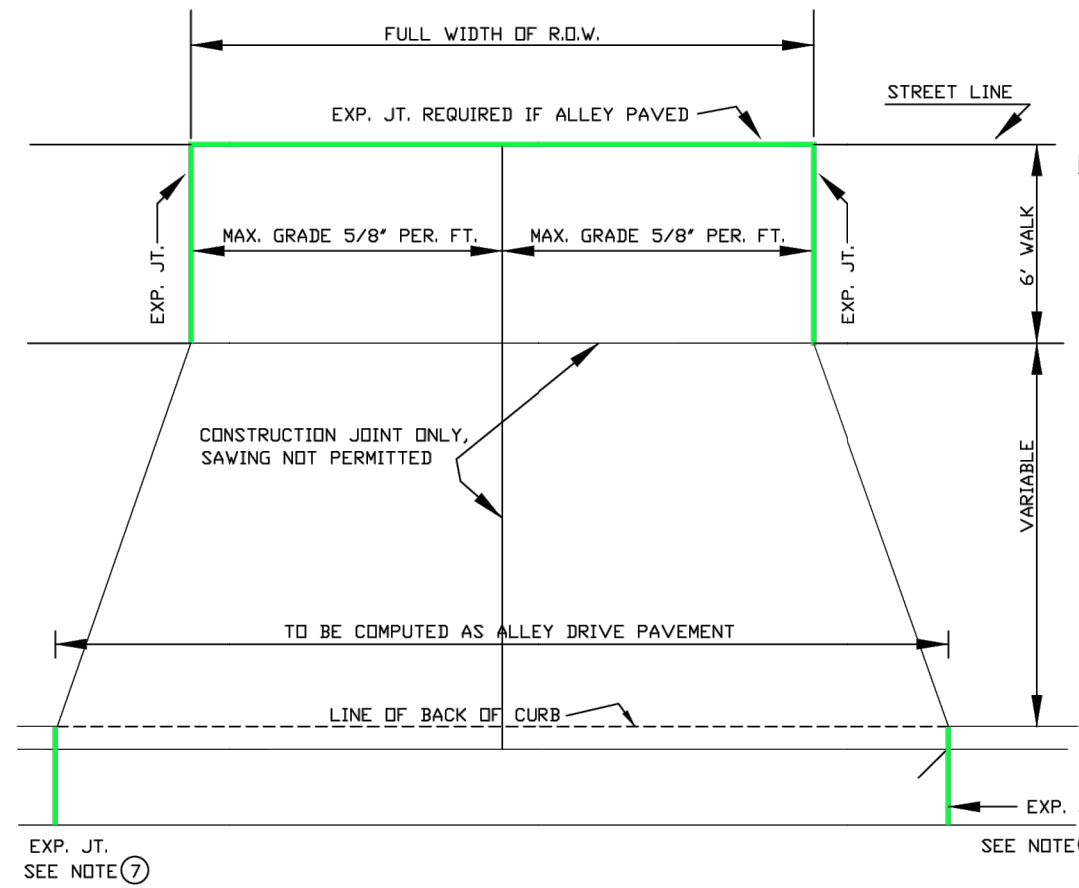


1/4 TYPICAL INTERSECTION

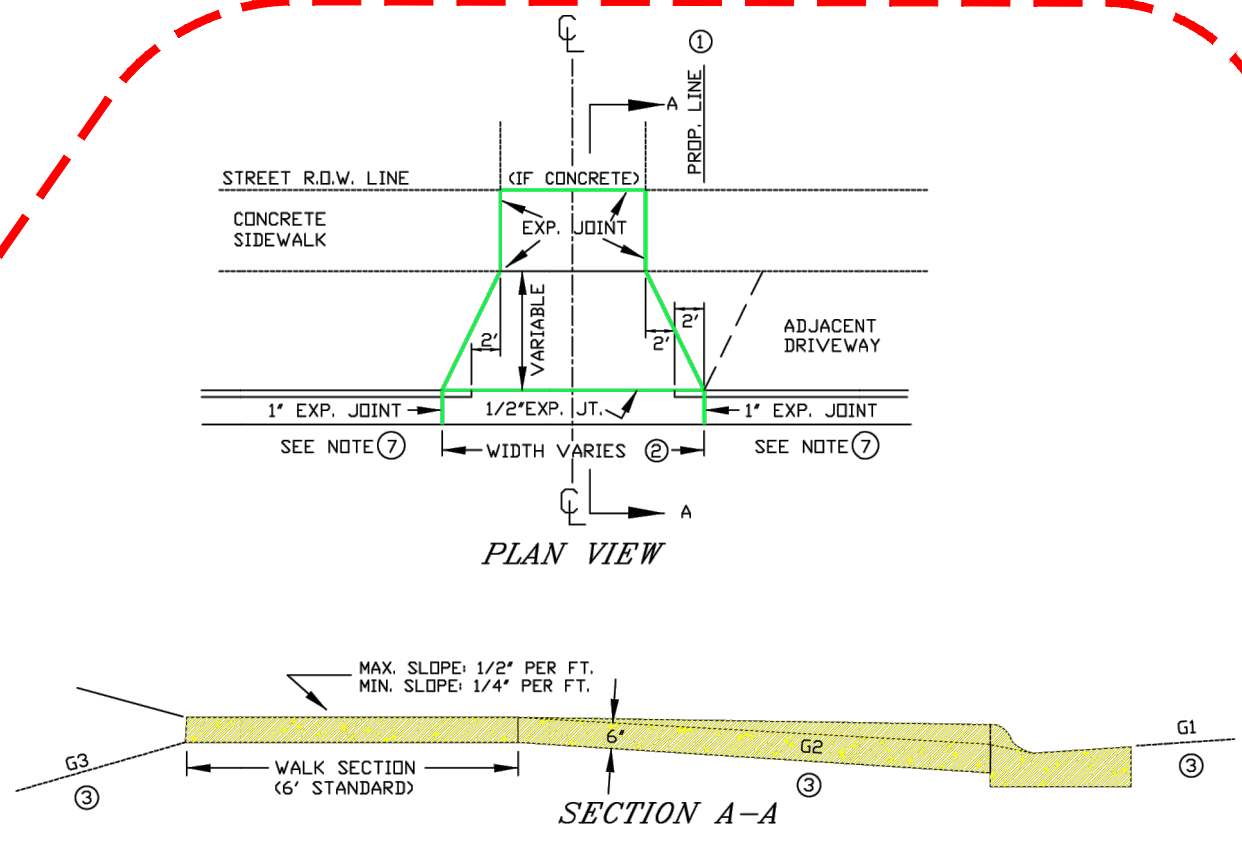
- NOTES-JOINTS**
- EXPANSION JOINTS SHALL BE PLACED AT THE END OF RADII AT STREET INTERSECTIONS AND MID-BLOCK BETWEEN INTERSECTIONS. IN NO CASE SHALL THE DISTANCE BETWEEN EXPANSION JOINTS EXCEED 150 FEET.
 - THE DISTANCE BETWEEN TRAVERSE JOINTS SHALL NOT BE LESS THAN 10 FEET AND SHALL BE TYPICALLY 20 FEET APART.
 - LONGITUDINAL CONSTRUCTION JOINTS BETWEEN CURB AND GUTTER SECTION AND CONC. PAVING SECTION SHALL BE SEALED AS SHOWN ON JOINT DETAILS.



TYPICAL SECTION OF ALLEY PAVEMENT



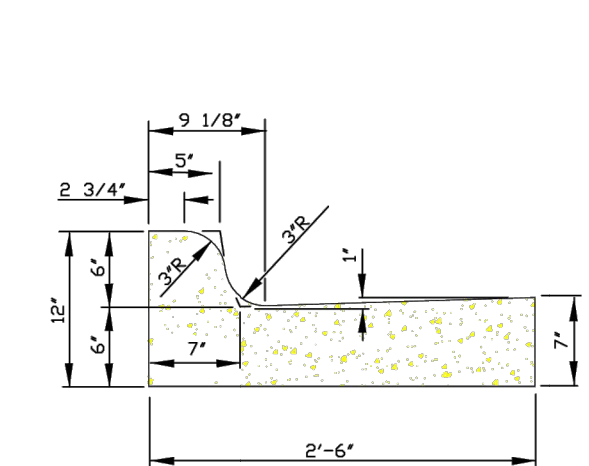
STANDARD ALLEY DRIVEWAY 7" THICK



- DRIVE SECTION SHALL NOT OVERLAP PROPERTY LINE EXTENDED, EXCEPT WHERE PERMITTED BY THE ENGINEER, OR WHEN A JOINT DRIVEWAY AGREEMENT IS EXECUTED BY OWNERS OF ADJACENT PROPERTIES.
- MAX. DRIVEWAY WIDTH AT THE CURB AND SIDEWALK IS SET FORTH IN CITY ORDINANCE 5.03.
- THE BREAKOVER ANGLE (CAUSE OF CURB BOTTOMING) BECOMES CRITICAL WHEN THE ALGEBRAIC DIFFERENCE OF GRADES (G1, G2, & G3) EXCEEDS 11%.
- A REINFORCED DRIVE SECTION IS REQUIRED FOR CURB & GUTTER IN AREAS ZONED INDUSTRIAL OR COMMERCIAL.
- BACK OF CURB TO FRONT OF CONC. SIDEWALK MUST BE CONCRETE, BRICK OR ASPHALTIC BITUMINOUS.
- MECHANICAL COMPACTION OF SUBSOIL IN LAYERS LESS THAN 12" TO ACHIEVE MINIMUM COMPACTION OF 95% OF MAXIMUM DENSITY FROM MODIFIED PROCTOR IS REQUIRED. (INCLUDING STREET SIDE AFTER FORMS ARE REMOVED)
- EXPANSION JOINT IS REQUIRED AT BOTH ENDS OF DRIVEWAY WHEN ONLY DRIVEWAY IS INSTALLED OR REPLACED. WHEN ENTIRE BLOCK OF CURB & GUTTER IS INSTALLED THE EXPANSION JOINT AT DRIVEWAY ENDS MAY BE OMITTED.

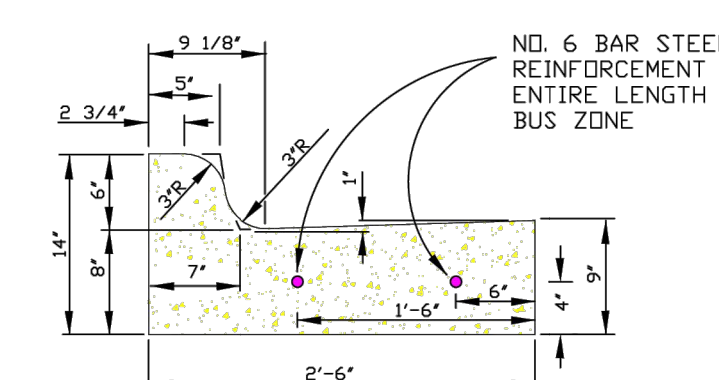
NOTE: TURNING OF 2" DIAMETER DRIVEWAY RETURNS IN LIEU OF DIMINISHING HEAD AS SHOWN IS PERMITTED IF DESIRED BY PROPERTY OWNER. INSTALLATION OF A DRIVEWAY BY REMOVING EXISTING CURB HEAD ONLY IS NOT ALLOWED. ENTIRE EXISTING C&G MUST BE REMOVED FOR NEW DRIVEWAYS. REMOVAL OF A MINIMUM 12" WIDTH OF BITUMINOUS TO INSTALL FRONT FORMS IS REQUIRED.

STANDARD DRIVEWAY DETAIL

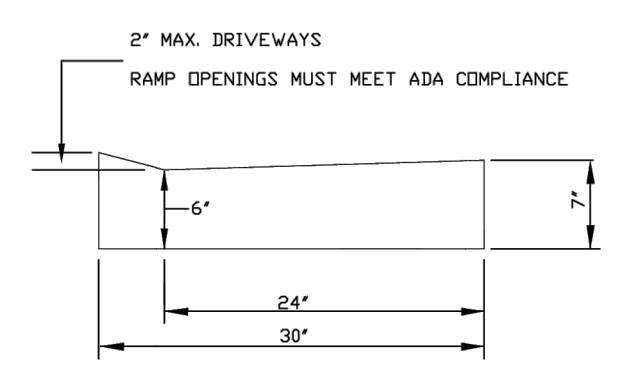


STANDARD CURB & GUTTER SECTION

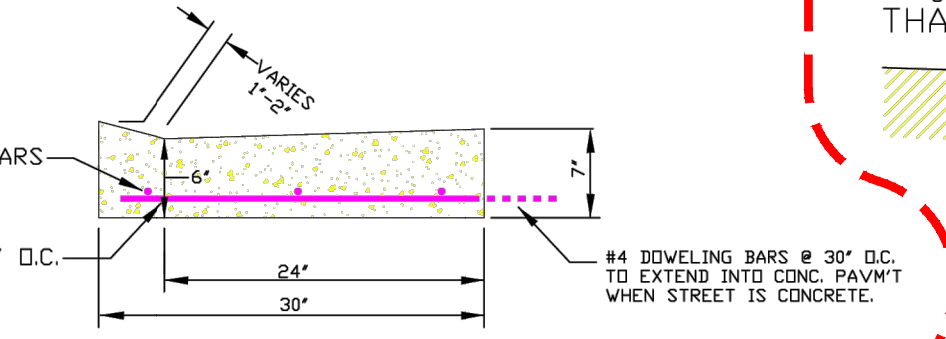
NOTE: WITH REFERENCE TO SAWING OF CONTRACTION JOINTS ON SLIP FORM CURB & GUTTERS, & CURB, PAGE 9.3, STANDARD SPECS THE SAW CUT SHALL BE A MINIMUM 1/8" WIDE X 1" DEEP.



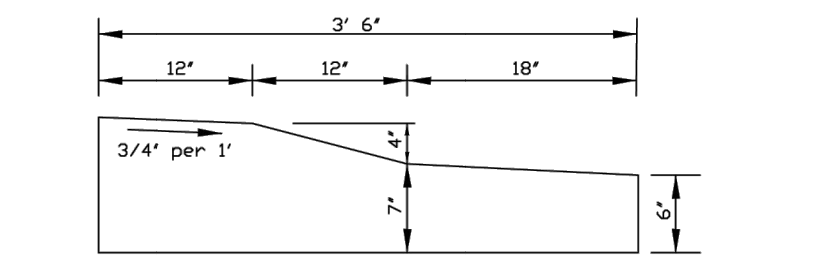
REINFORCED CURB & GUTTER BUS STOP LOCATIONS



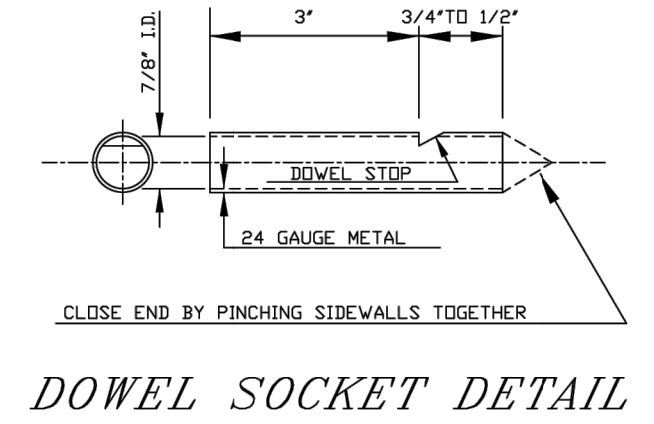
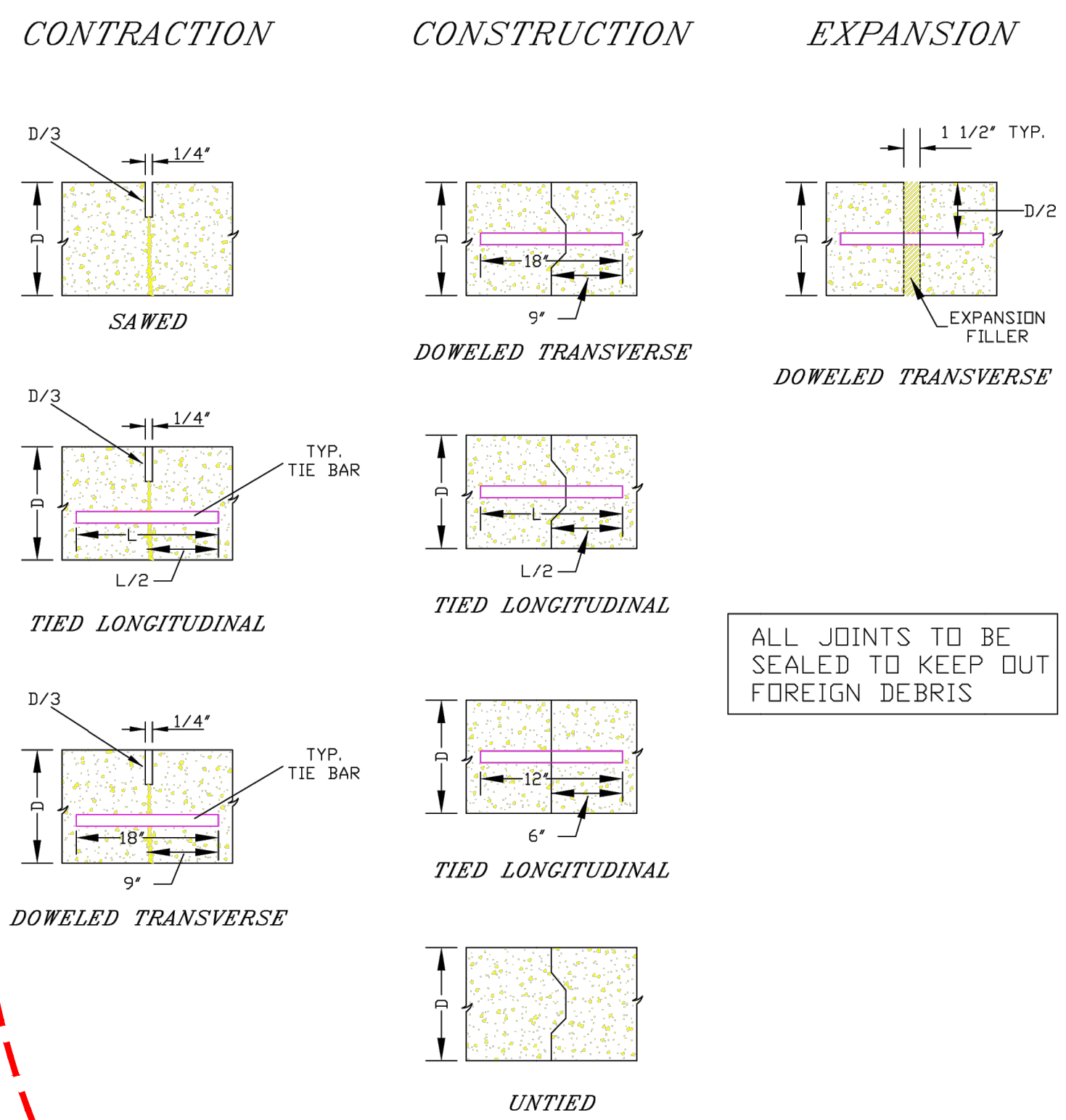
MOUNTABLE CURB SECTION



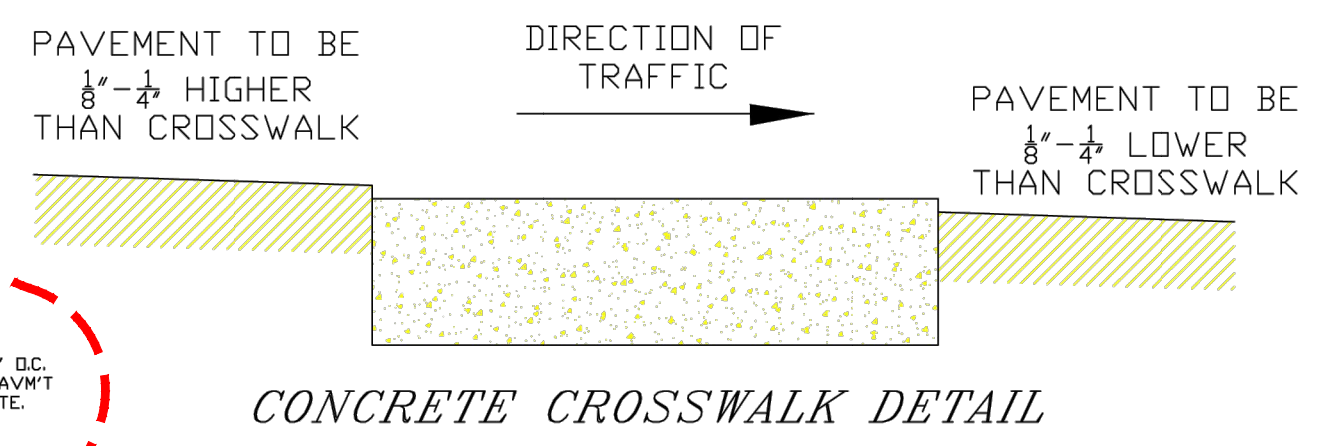
REINFORCED DRIVEWAY



TRAFFIC CIRCLE CURB SECTION



DOWEL SOCKET DETAIL



CONCRETE CROSSWALK DETAIL

PROJECT No.	CONCRETE-PAVEMENT DETAILS		
LOCATION			
RESOLUTION	DATE		
ENGINEERING DEPT. City of LaCrosse, Wis.			
FIELD BOOK	SURVEYED	PRELIMINARY	BY
NUMBER	DRAWN	FINAL	DATE
PAGE	CHECKED		
SHEET NO.	APPROVED		
	REVISIONS		01/21
SCALE: NONE	TOTAL SHEETS		







