



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Meeting Agenda - Final

Judiciary & Administration Committee

Tuesday, March 3, 2026

6:00 PM

Council Chambers
City Hall, First Floor

This meeting is open for in-person attendance and will also be available through video conferencing. The meeting can be viewed (no participation) by visiting the Legislative Information Center Meetings calendar (<https://cityoflacrosse.legistar.com/Calendar.aspx>) - find the scheduled meeting and click on the "In Progress" video link to the far right in the meeting list.

Public comment is limited to agenda items; statements shall be restricted to the subject matter. If you wish to speak on an agenda item, please register in advance:

- Register online at <https://www.cityoflacrosse.org/city-services/meeting-registration>
- Contact the City Clerk's Office no later than 4:00p on the day of the meeting, with the following information: name, municipality of residence, if you are representing an organization or a person other than yourself at the meeting, and if you are speaking in favor, opposition or neutral.
- Sign up in person no less than ten (10) minutes before the start of the meeting.

If attending virtual and you wish to speak, contact the City Clerk's Office and we will provide you with the information necessary to join the meeting. Call 608-789-7510 or email cityclerk@cityoflacrosse.org.

Public hearings shall be limited to 30 minutes when there are opposing viewpoints from the public. In the absence of opposing viewpoints, public hearings are limited to 15 minutes. Individual speakers shall speak no more than three (3) minutes unless waived by the Chair or a majority of the committee.

Members of the public who would like to provide written comments on any agenda may do so by emailing cityclerk@cityoflacrosse.org, using a drop box outside of City Hall or mailing to City Clerk, 400 La Crosse Street, La Crosse WI 54601.

Call To Order

Roll Call

Agenda Items:

NEW BUSINESS

[26-0094](#)

Various license applications pursuant to Chapters 4, 6, and/or 10 of the La Crosse Municipal Code for the license period 2025-2026 (March).

[26-0095](#)

Application of Twilight Medical Transport LLC dba T.M.T. Medical Transportation & Taxi Service for 2026 Public Vehicle for Hire License.

- [26-0121](#) AN ORDINANCE to amend Secs. 103-34(h)(7), 103-138(e)(5), 103-169(d)(4), and 103-229(e)(5) of the Code of Ordinances of the City of La Crosse regarding annual increase in fees for certain regarding fees for building, plumbing, electrical, HVAC and erosion control permits.
Sponsors: Goggin
- [26-0123](#) AN ORDINANCE to amend Sec. 103-194. of the Code of Ordinances of the City of La Crosse to adopt the State of Wisconsin current version of the National Fuel Gas Code.
Sponsors: Goggin
- [26-0126](#) Resolution approving 2026 Joint Powers Agreement - County 9-1-1 Emergency System between the City and the County of La Crosse.
Sponsors: Washington-Spivey
- [26-0127](#) AN ORDINANCE to create Chapter 46, Article II, Subsection 44 of the Code of Ordinances of the City of La Crosse regarding Fire Suppression System Coordination and Testing.
Sponsors: Goggin
- [26-0133](#) AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Special Residence District, allowing for three rental units (one duplex and a single-family unit) at 1402 & 1410 Gillette Street and 1552 Loomis Street.
Public Hearing.
- [26-0143](#) AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Local Business District to the Planned Development District - General, allowing for the construction of a mixed-use development including residential and commercial uses at 2415 State Road.
Public Hearing.
- [26-0144](#) Certified Survey Map - Lot 1, Certified Survey Map Number 67, Volume 19, Document Number 1761262, Located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way and waiver of platting requirements.
- [26-0171](#) AN ORDINANCE to amend Sec. 30-3(e) of the Code of Ordinances of the City of La Crosse regarding nuisance abatement of drug and gang houses.
Sponsors: Washington-Spivey

[26-0186](#) AN ORDINANCE amending and creating various sections of Article V, Chapter 10 of the Code of Ordinances of the City of La Crosse relating to retail cigarette, tobacco products, and electronic vaping devices licensing and to repeal and recreate Section 32-187 regarding the minimum age to purchase or possess cigarettes or tobacco products.

Sponsors: Mindel

[26-0196](#) AN ORDINANCE to amend Sections 4-72(a) and 4-142(a) and create Sections 4-72(c), 4-142(c), 4-21 and 4-146 of the Code of Ordinances of the City of La Crosse regarding alcohol regulations, licensing requirements and municipal sales in City parks.

Sponsors: Mindel

Adjournment

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.

Judiciary & Administration Committee Members:

Tamra Dickinson, Olivia Stine, Gary Padesky, Mackenzie Mindel, Jennifer Trost, Crystal Bedford, Lisa Weston



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0094

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Application

TO THE JUDICIARY AND ADMINISTRATION COMMITTEE:

Following is a list of various licenses for the 2025-2026 license period to be considered by your committee on March 3, 2026.

Alcohol

March 13, 2026 through June 30, 2026

Combination “Class B” Beer & Liquor

The Rustic 3 LLC dba The Rustic
103 3rd St N
Agent: Tim Larsen – 2622 Highland St, La Crosse
(New Applicant)

Class “B” Beer & “Class C” Liquor (Wine Only)

JMH Foods LLC dba New Taste of India
1812 Jackson St
Agent: Juan Mejia Hernandez – 2603 Weston St, La Crosse
(Surrender from Bharti LLC)

Class “B” Beer & “Class C” Liquor (Wine Only)

M.E.P. Hospitality LLC dba Flatiron Cafe
321 State St
Agent: Matt Dooley – 3122 25th St S
(New Applicant)

Change of Agent

Kwik Trip Inc dba Kwik Trip #829
507 Lang Dr
New Agent: Brock Thomas – 716 Kent St, Sparta

Beer Garden

March 13, 2026 through June 30, 2026

Class A Beer Garden (Tavern)

The Rustic 3 LLC dba The Rustic
103 3rd St N

Class B Beer Garden (Restaurant)

M.E.P. Hospitality LLC dba Flatiron Cafe
321 State St



City of La Crosse, Wisconsin

ORIGINAL ALCOHOL LICENSE APPLICATION

INFORMATION SUBMITTAL

Rev. 10/2025

(Ch. 4, secs. 4-72 & 4-142)

All new applicants for an alcohol license pursuant to Chapter 4 of the La Crosse Municipal Code shall submit the following information with the original alcohol applications. Any false statement contained in such application shall automatically nullify any license issued pursuant thereto.

Applications will not be accepted until all of the information is complete and necessary documents provided.

TYPE OF LICENSE(S) REQUESTED

Class A: Beer, Liquor
 Class B: Beer, Liquor
 Class C: Wine

APPLICANT

Legal Business Name (Corporation, LLC, Sole Proprietor, Partnership):

The Rustic 3 LLC

Trade Name:

The Rustic

Address:

Street

City

State

Zip Code

103 W. 3rd Street

LaCrosse

WI

54601

Telephone Number:

Email:

Website:

TBD

ACTIVE USE OF LICENSE

I understand that if a license is granted, said license **must be activated within 90 days of being granted** pursuant to Municipal Code secs. 4-43 and 4-108. This means open for business with stock and equipment.

Anticipated Date of Opening:

~~03-01-26~~ 03-13-26

I understand that if a license is granted, said license shall be actively utilized pursuant to Municipal Code sec. 4-12. Actively utilized shall mean open for business with regular and consistent operating hours. If a license is not actively used throughout any 90-day period, the license shall be subject to revocation or suspension pursuant to sec. 4-82.

I understand that **if there is any change to the license or licensee information**, including but not limited to change in officers/members/directors or agent or their address/phone number, change in hours of operation, etc., **the City Clerk will be notified within 30 days** pursuant to Wis. Stat. sec. 125.04(3)(h).

CORPORATIONS/LLCs – AGENT QUALIFICATIONS & RESPONSIBILITIES

(N/A for Sole Proprietors and Partnerships)

I understand that as an officer of the applicant corporation or member of the applicant limited liability company, the appointed alcohol license agent shall meet the requirements of Wis. Stat. Ch. 125 and, in addition, shall have resided within the State of Wisconsin continuously for 90 days prior to the date of application and shall reside within a 25-mile radius of the City limits at the time of application and at all times such individual shall be the appointed agent. Further, the appointed agent is an individual who is regularly involved in the actual conduct of the business and has full authority and control of the premises described and of the conduct of all business on the premises relative to alcohol beverages.

BUSINESS PLAN

Type of Establishment:

- Tavern Nightclub Restaurant Liquor Store Grocery Store
 Convenience Store with gas pumps Convenience Store without gas pumps
 Other _____

Hours of Operation:

M: 4-CL T: 4-CL W: 4-CL Th: 4-CL Fri: 10-CL Sat: 10-CL Sun: 10-CL

Anticipated Number of Employees: 15-20 ppl

Method for training employees in alcohol beverage laws and requirements for employees to hold a beverage operator license: Employee Manual, online courses, Bartending Course

Other Business to Be Conducted on Premise: N/A

Estimated gross receipts for food and alcohol beverage sales by percentage.
 (Note: Non-alcoholic drinks are classified as "Food.")
90 % Alcohol 10 % Food _____ % Other

If applicable, describe "Other": _____

Estimated capacity (Class B and Class C licenses only):
 Indoor 81 Outdoor, if applicable 72

Will there be any outdoor sales/service or consumption of alcohol? If yes, explain.
 If yes, a beer garden license or outdoor dining permit is required.
yes. 4 Season Patio

Will there be live entertainment (music or dancing) on premise? If yes, explain.
 If yes, a cabaret license is required.
NO

Do you have off-street parking? Yes No
 If yes, how many parking spaces? Parking Ramp
 If no, how will parking be accommodated.

Provide a sketch of the floor plan showing overall dimensions, the areas of sales, consumption and storage, seating arrangements, location of coolers, and location where records are kept (invoices for purchase of alcohol). See Floor Plan

Provide a site plan showing building location, any outside areas where alcohol beverages may be sold or consumed, off-street parking, ingress and egress, and existing or proposed screening.

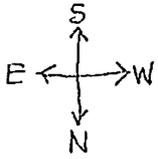
The information provided is true and correct to the best of my knowledge, I have reviewed the Alcohol Beverage Submittal Requirements and Information page and will comply with necessary requirements.

[Signature]
 Signature

1-23-24
 Date

FOR OFFICE USE – City Clerk’s Office checklist for complete applications

- Completed applications and fee
- Surrender of previous license, if applicable
- Lease, purchase agreement, or other proof of control of premise
- Contact Information Sheet
- Articles of Incorporation
- WI Seller’s Permit Certificate (copy)
- FEIN (copy)
- Floor Plan
- Site Plan
- Proof of course completion or valid operator license or on other license within last two years.
- Confirm proximity to school, church or hospital
- Confirm proximity to land zoned residential or multiple dwelling



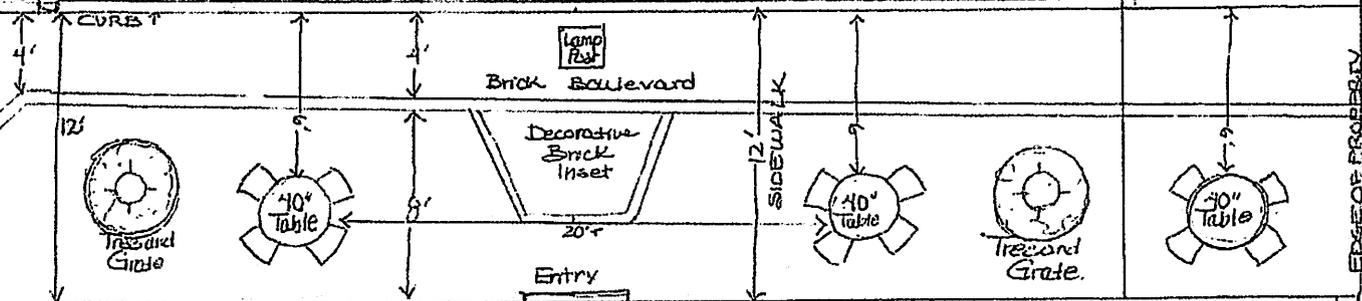
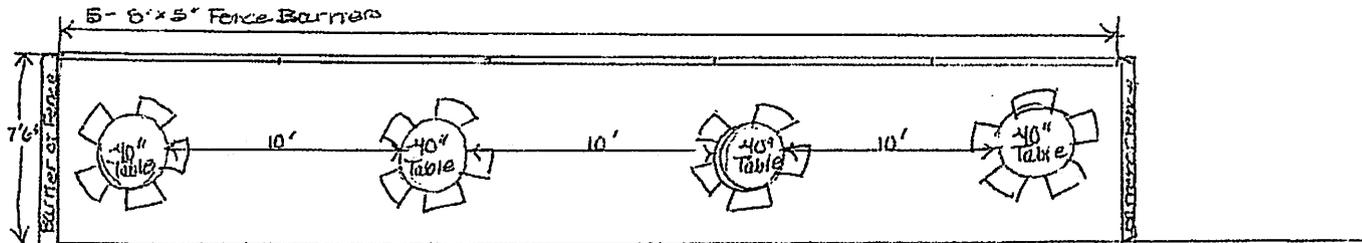
MAIN STREET

SW CORNER OF THIRD & MAIN



Clear Corner Walkway

CURB ↑ THIRD STREET ↑

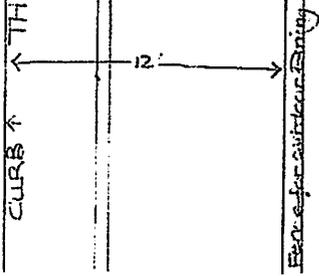


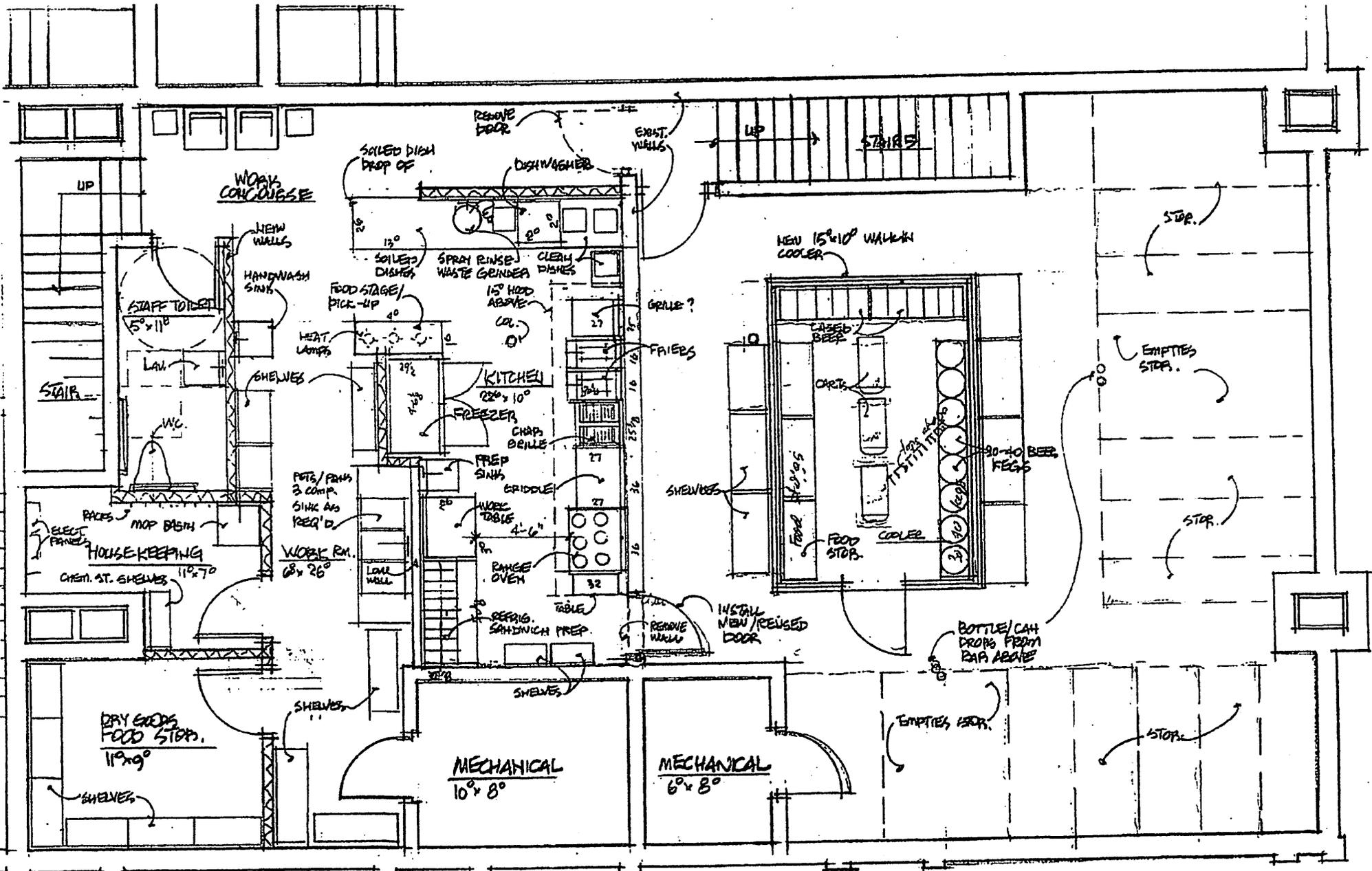
Fence for Outdoor Dining Interior Patio Fence for outdoor dining Interior Patio

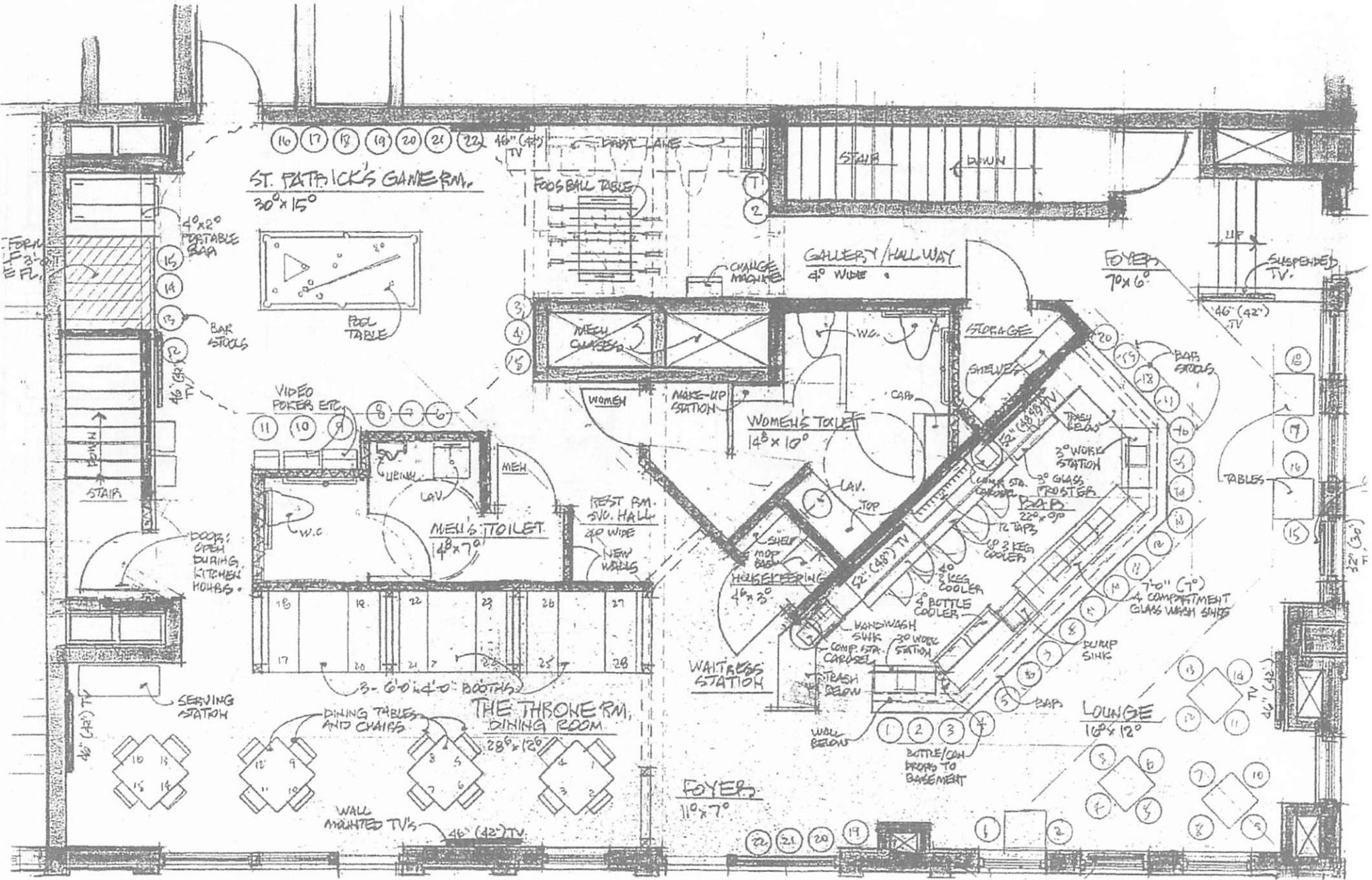
DUBLIN SQUARE
103 3rd STREET N.

All Tables 4-5 Seats
Approx. 40" Round Tables

Sidewalk Cafe- Width of Building on Main Street and corner of 3rd and Main.
Street Cafe- 2 parking spaces on Main Street.







Form
AB-200

Alcohol Beverage License Application

For Municipal Use Only	
Municipality	
License Period	

License(s) Requested: (up to two boxes may be checked)

- | | |
|---|--|
| <input type="checkbox"/> Class "A" Beer \$ _____
<input type="checkbox"/> "Class A" Liquor \$ _____
<input type="checkbox"/> "Class A" Liquor (cider only) \$ _____
<input type="checkbox"/> "Class C" Liquor (wine only) \$ _____ | <input checked="" type="checkbox"/> Class "B" Beer \$ _____
<input checked="" type="checkbox"/> "Class B" Liquor \$ _____
<input type="checkbox"/> Reserve "Class B" Liquor \$ _____ |
|---|--|

Fees	
License Fees	\$
Background Check Fee	\$
Publication Fee	\$
Total Fees	\$

Part A: Premises/Business Information

1. Legal Business Name (individual name if sole proprietorship) <i>The Rustic 3 LLC</i>		
2. Business Trade Name or DBA <i>The Rustic</i>		
3. FEIN <i>41-3341431</i>	4. Wisconsin Seller's Permit Number <i>456-1032244960-02</i>	
5. Entity Type (check one) <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization		
6. State of Organization <i>Wisconsin</i>	7. Date of Organization <i>12/31/2025</i>	8. Wisconsin DFI Registration Number <i>T118199</i>
9. Premises Address <i>103 N 3rd Street</i>		
10. City <i>LaCrosse</i>	11. State <i>WI</i>	12. Zip Code <i>54601</i>
13. County <i>LaCrosse</i>	14. Governing Municipality: <input checked="" type="checkbox"/> City <input type="checkbox"/> Town <input type="checkbox"/> Village of: <i>LaCrosse</i>	15. Aldermanic District
16. Premises Phone <i>N/A</i>	17. Premises Email	18. Website <i>N/A</i>
19. Premises Description - Describe the building or buildings where alcohol beverages are produced, sold, stored, or consumed, and related records are kept. Describe all rooms within the building, including living quarters. Authorized alcohol beverage activities and storage of records may occur only on the premises described in this application. Attach a map or diagram and additional sheets if necessary. <i>SEE floor plan. Alcohol served in restaurant, bar, and beer garden.</i> <i>Alcohol stored behind bar and locked basement storage area.</i>		
20. Mailing Address (if different from premises address) <i>N/A</i> <i>Records stored in downstairs office.</i>		
21. City <i>N/A</i>	22. State <i>N/A</i>	23. Zip Code <i>N/A</i>

Part B: Questions

1. Has the business (sole proprietorship, partnership, limited liability company, or corporation) been convicted of violating federal or state laws or local ordinances? Exclude traffic offenses unless related to alcohol beverages. Yes No

If yes, list the details of violation below. Attach additional sheets if necessary.

Law/Ordinance Violated	Location	Trial Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	

2. Are charges for any offenses pending against the business? Exclude traffic offenses unless related to alcohol beverages. Yes No
 If yes, describe the nature and status of pending charges using the space below. Attach additional sheets as needed.

3. Is the applicant business or any of its officers, directors, members, agent, employees, owners, or other related individuals or entities a restricted investor with any interest in an alcohol beverage producer or distributor? Yes No
 If yes, provide the name of the restricted investor and describe the nature of the interest.

4. Is the applicant business owned by another business entity? Yes No
 If yes, provide the name(s) and FEIN(s) of the business entity owners below. Attach additional sheets as needed.

4a. Name of Business Entity _____ 4b. Business Entity FEIN _____

5. Have the partners, agent, or sole proprietor satisfied the responsible beverage server training requirement for this license period? Submit proof of completion. Yes No
 6. Is the applicant business indebted to any wholesaler beyond 15 days for beer or 30 days for liquor/wine? Yes No
 7. Does the applicant business owe past due municipal property taxes, assessments, or other fees? Yes No

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following positions in the applicant business or businesses listed in Part B, Question 4: sole proprietor, all officers, directors, and agent of a corporation or nonprofit organization, all partners of a partnership, and all members, managers, and agent of a limited liability company. Attach additional sheets if necessary.

Include Form AB-100 for each person listed below. Corporations and LLCs must appoint an agent by including Form AB-101.

Last Name	First Name	Title	Phone
LARSEN	TIMOTHY	Agent MANAGING MEMBER	[REDACTED]
BOSZACKA	MATTHEW	MEMBER	[REDACTED]
WIKENSOFF	BRIAN	MEMBER	[REDACTED]

Part D: Attestation

One of the following must sign and attest to this application:
 sole proprietor one general partner of a partnership one corporate officer one member of an LLC

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant business and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate this business according to the law, including but not limited to, purchasing alcohol beverages from state authorized wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name: Larsen First Name: Timothy M.I.: J
 Title: Owner / Agent Email: [REDACTED] Phone: [REDACTED]
 Signature: [Handwritten Signature] Date: 1-23-26

Part E: For Clerk Use Only

Date Application Was Filed With Clerk	License Number	Date License Granted	Date License Issued
Signature of Clerk/Deputy Clerk		Date Provisional License Issued (if applicable)	

Alcohol Beverage Appointment of Agent

Date

Agent Type (check one)

Original (no fee) Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)
The Rustic 3 LLC

2. Business Trade Name or DBA
The Rustic

3. Entity Type (check one) Limited Liability Company Corporation Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one) 5. If successor agent, provide State Permit or Municipal Retail License Number

Municipal Retail License State Permit

6. Describe the reason for appointing a successor agent, if successor is checked above.

N/A

Part B: Agent Information

1. Last Name 2. First Name 3. M.I.

Larsen Timothy J

4. Email 5. Phone

[Redacted]

6. Home Address
2622 Highland Street

7. City 8. State 9. Zip Code 10. Date of Birth

La Crosse WI 54601 [Redacted]

11. Drivers License/State ID Number 12. Drivers License/State ID State of Issuance

[Redacted] Wisconsin

Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? Yes No
Submit proof of completion.

2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire* (licensee) or
Form AB-300, *Alcohol Beverage Personal Questionnaire* (permittee)? Yes No

3. Have you been a Wisconsin resident for at least 90 continuous days? Yes No
See instructions for exceptions.

Continued →

Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Larsen</i>	First Name <i>Timothy</i>	M.I. <i>J</i>
Title <i>owner/Agent</i>	Email <i>[REDACTED]</i>	Phone <i>[REDACTED]</i>
Signature <i>Timothy J Larsen</i>		Date <i>1-23-26</i>

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Larsen</i>	First Name <i>Timothy</i>	M.I. <i>J</i>
Signature <i>Timothy J Larsen</i>		Date <i>1-23-26</i>

Alcohol Beverage Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

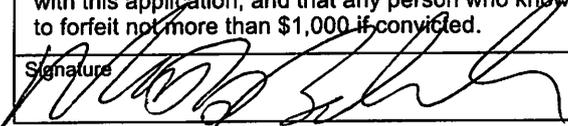
Part A: Business Information	
1. Legal Business Name (individual name if sole proprietor) <i>The Rustic 3 LLC</i>	
2. Business Trade Name or DBA <i>The Rustic</i>	
3. Entity Type (check one)	
<input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization	

Part B: Individual Information				
1. Last Name <i>Boshcka</i>		2. First Name <i>Matthew</i>		3. M.I. <i>A</i>
4. Relationship to Business (Title) <i>Member</i>		5. Email [REDACTED]		6. Phone [REDACTED]
7. Home Address <i>934 Charles Ct.</i>				
8. City <i>Onalaska</i>		9. State <i>WI</i>	10. Zip Code <i>54650</i>	11. Date of Birth [REDACTED]
12. Drivers License/State ID Number [REDACTED]			13. Drivers License/State ID State of Issuance <i>Wisconsin</i>	

Part C: Address History							
1. Do you currently live in Wisconsin? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No							
If yes, provide the month and year when you permanently moved to Wisconsin (MM/YYYY) <i>06/1981</i>							
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.							
Previous Address 1	City	State	Zip Code				
<i>SAME AS ABOVE</i>							
Previous Address 2	City	State	Zip Code				
Previous Address 3	City	State	Zip Code				
Previous Address 4	City	State	Zip Code				
Previous Address 5	City	State	Zip Code				
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.							
State	County	State	County	State	County	State	County
<i>WI</i>	<i>La Crosse</i>	<i>MN</i>	<i>Hennepin</i>				
<i>MN</i>	<i>Dakota</i>	<i>WI</i>	<i>Outagamie</i>				

Continued →

Part D: Criminal History		
1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.		
Law/Ordinance Violated DUI	Location La Crescent, MN	Conviction Date 08/2021
Penalty Imposed		Was sentence completed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.		

Part E: Attestation	
READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.	
Signature 	Date 7-23-26

Alcohol Beverage Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information	
1. Legal Business Name (individual name if sole proprietor)	<u>The Rustic 3 LLC</u>
2. Business Trade Name or DBA	<u>The Rustic</u>
3. Entity Type (check one)	
<input type="checkbox"/> Sole Proprietor	<input type="checkbox"/> Partnership
<input checked="" type="checkbox"/> Limited Liability Company	<input type="checkbox"/> Corporation
<input type="checkbox"/> Nonprofit Organization	

Part B: Individual Information			
1. Last Name	2. First Name	3. M.I.	
<u>Larsen</u>	<u>Timothy</u>	<u>J</u>	
4. Relationship to Business (Title)	5. Email	6. Phone	
<u>Member</u>	[REDACTED]	[REDACTED]	
7. Home Address			
<u>2622 Highland Street</u>			
8. City	9. State	10. Zip Code	11. Date of Birth
<u>LaCrosse</u>	<u>WI</u>	<u>54601</u>	
12. Drivers License/State ID Number		13. Drivers License/State ID State of Issuance	
[REDACTED]		<u>Wisconsin</u>	

Part C: Address History			
1. Do you currently live in Wisconsin?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If yes, provide the month and year when you permanently moved to Wisconsin			(MM/YYYY) <u>02/1978</u>
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.			
Previous Address 1	City	State	Zip Code
<u>Same As Above</u>			
Previous Address 2	City	State	Zip Code
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.			
State	County	State	County
<u>WI</u>	<u>LaCrosse</u>	<u>WI</u>	<u>Dunn</u>
State	County	State	County
<u>WI</u>	<u>Dane</u>		

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? Yes No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

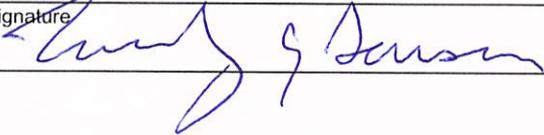
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? Yes No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature  Date 1-23-26

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information	
1. Legal Business Name (individual name if sole proprietor)	The Rustic 3 LLC
2. Business Trade Name or DBA	The Rustic
3. Entity Type (check one)	
<input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization	

Part B: Individual Information			
1. Last Name	2. First Name	3. M.I.	
Wellendorf	Brian	J	
4. Relationship to Business (Title)	5. Email	6. Phone	
member	[REDACTED]	[REDACTED]	
7. Home Address			
30975 old Hickory RD			
8. City	9. State	10. Zip Code	11. Date of Birth
La Crescent	MN	55947	[REDACTED]
12. Drivers License/State ID Number		13. Drivers License/State ID State of Issuance	
[REDACTED]		Minnesota	

Part C: Address History			
1. Do you currently live in Wisconsin?			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, provide the month and year when you permanently moved to Wisconsin			(MM/YYYY)
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.			
Previous Address 1	City	State	Zip Code
1335 market street	La Crosse	WI	54601
Previous Address 2	City	State	Zip Code
30975 old Hickory RD	La Crescent	MN	55947
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.			
State	County	State	County
IL	McLean	WI	La Crosse
MN	Houston	CO	Boulder
WI	Portage	MN	Winona

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? Yes No
 If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? Yes No
 If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature:  Date: 1-23-26

Office of City Clerk



February 20, 2026

ATTN: TIM LARSEN, AGENT
THE RUSTIC 3 LLC DBA THE RUSTIC
103 3RD ST N
LA CROSSE WI 54601

Dear Tim,

Our office is in receipt of the application for the Original Combination "Class B" Beer & Liquor, and Beer Garden Licenses for The Rustic 3 LLC dba The Rustic.

The application will be considered at the following meetings:

Judiciary & Administration Committee

Tuesday, March 3, 2026, 6:00 p.m.

Council Chambers, City Hall – 400 La Crosse St.

Common Council

Thursday, March 12, 2026, 6:00 p.m.

Council Chambers, City Hall – 400 La Crosse St.

It is recommended that someone attend the J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is generally not allowed at the Council meeting although there may be questions of Council Members. The applications will appear as part of the Various Licenses agenda item, which is a grouping of all of the licenses submitted for approval for March (File # 26-0094).

Attendance is allowed either in person or virtually. I will also be sending you an email with the dates listed above and the Zoom link for the J&A meeting. If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig, Deputy Clerk
craigs@cityoflacrosse.org
608-789-7549

cc: Tim Larsen – tjlars111@yahoo.com



City of La Crosse, Wisconsin

ORIGINAL ALCOHOL LICENSE APPLICATION INFORMATION SUBMITTAL

Rev. 10/2025

(Ch. 4, secs. 4-72 & 4-142)

All new applicants for an alcohol license pursuant to Chapter 4 of the La Crosse Municipal Code shall submit the following information with the original alcohol applications. Any false statement contained in such application shall automatically nullify any license issued pursuant thereto.

Applications will not be accepted until all of the information is complete and necessary documents provided.

TYPE OF LICENSE(S) REQUESTED

Class A: Beer, Liquor
Class B: Beer, Liquor
Class C: Wine

APPLICANT

Legal Business Name (Corporation, LLC, Sole Proprietor, Partnership):

JMH Foods LLC

Trade Name:

New Taste of India

Address:

Street

City

State

Zip Code

1812 Jackson Street LaCrosse, WI 54601

Telephone Number:

Email:

Website:

newtasteofindia.com

ACTIVE USE OF LICENSE

I understand that if a license is granted, said license **must be activated within 90 days of being granted** pursuant to Municipal Code secs. 4-43 and 4-108. This means open for business with stock and equipment.

Anticipated Date of Opening:

2-16-26 or 3/13/26

I understand that if a license is granted, said license shall be actively utilized pursuant to Municipal Code sec. 4-12. Actively utilized shall mean open for business with regular and consistent operating hours. If a license is not actively used throughout any 90-day period, the license shall be subject to revocation or suspension pursuant to sec. 4-82.

I understand that **if there is any change to the license or licensee information**, including but not limited to change in officers/members/directors or agent or their address/phone number, change in hours of operation, etc., **the City Clerk will be notified within 30 days** pursuant to Wis. Stat. sec. 125.04(3)(h).

CORPORATIONS/LLCs – AGENT QUALIFICATIONS & RESPONSIBILITIES

(N/A for Sole Proprietors and Partnerships)

I understand that as an officer of the applicant corporation or member of the applicant limited liability company, the appointed alcohol license agent shall meet the requirements of Wis. Stat. Ch. 125 and, in addition, shall have resided within the State of Wisconsin continuously for 90 days prior to the date of application and shall reside within a 25-mile radius of the City limits at the time of application and at all times such individual shall be the appointed agent. Further, the appointed agent is an individual who is regularly involved in the actual conduct of the business and has full authority and control of the premises described and of the conduct of all business on the premises relative to alcohol beverages.

BUSINESS PLAN

Type of Establishment:

- Tavern Nightclub Restaurant Liquor Store Grocery Store
 Convenience Store with gas pumps Convenience Store without gas pumps
 Other _____

Hours of Operation:

Monday - Sunday 11-9pm

Anticipated Number of Employees:
4

Method for training employees in alcohol beverage laws and requirements for employees to hold a beverage operator license: Responsible Beverage Server Class

Other Business to Be Conducted on Premise:
Full service menu for carryout

Estimated gross receipts for food and alcohol beverage sales by percentage.
(Note: Non-alcoholic drinks are classified as "Food.")
3 % Alcohol 97 % Food _____ % Other

If applicable, describe "Other": _____

Estimated capacity (Class B and Class C licenses only):
Indoor 100 Outdoor, if applicable 0

Will there be any outdoor sales/service or consumption of alcohol? If yes, explain.
If yes, a beer garden license or outdoor dining permit is required.
no

Will there be live entertainment (music or dancing) on premise? If yes, explain.
If yes, a cabaret license is required.
no

Do you have off-street parking? Yes No
If yes, how many parking spaces? 75
If no, how will parking be accommodated.

Provide a sketch of the floor plan showing overall dimensions, the areas of sales, consumption and storage, seating arrangements, location of coolers, and location where records are kept (invoices for purchase of alcohol).

Provide a site plan showing building location, any outside areas where alcohol beverages may be sold or consumed, off-street parking, ingress and egress, and existing or proposed screening.

The information provided is true and correct to the best of my knowledge, I have reviewed the Alcohol Beverage Submittal Requirements and Information page and will comply with necessary requirements.

JMH
Signature

2-16-26
Date

FOR OFFICE USE – City Clerk’s Office checklist for complete applications

- Completed applications and fee
- Surrender of previous license, if applicable
- Lease, purchase agreement, or other proof of control of premise
- Contact Information Sheet
- Articles of Incorporation
- WI Seller’s Permit Certificate (copy)
- FEIN (copy)
- Floor Plan
- Site Plan
- Proof of course completion or valid operator license or on other license within last two years.
- Confirm proximity to school, church or hospital
- Confirm proximity to land zoned residential or multiple dwelling

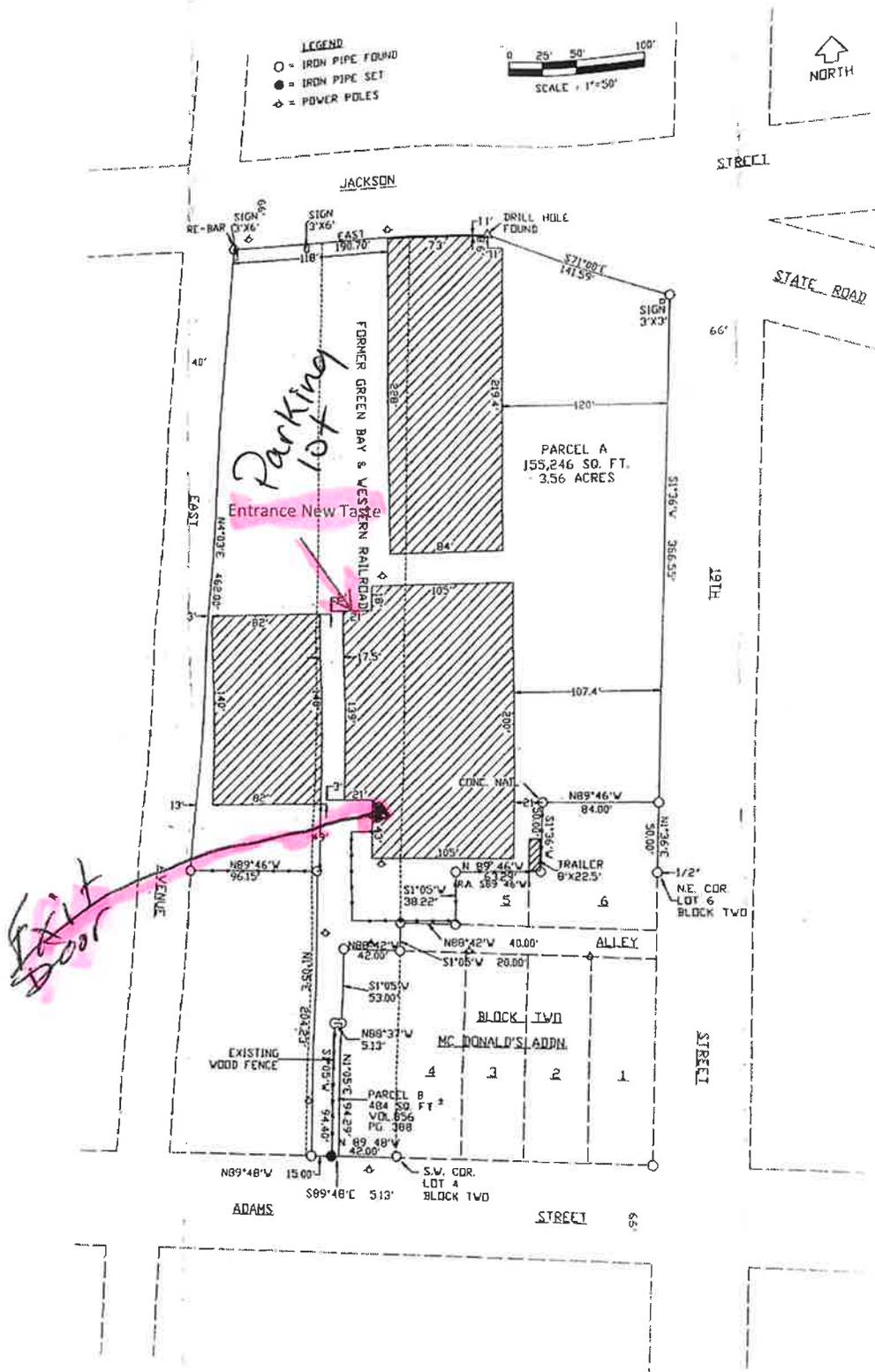
CENTER Q

PART OF THE SW1/4-SW1/4 OF SECTION 4, T. 15 N., R. 7 W.
CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

LEGEND
 ○ = IRON PIPE FOUND
 ● = IRON PIPE SET
 ▲ = POWER POLES

0 25 50 100'
 SCALE = 1"=50'

NORTH



I have surveyed the above-described property and the map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements and roadways and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof, and as to them I warrant the accuracy of said survey and map.

Dated at LA CROSSE, WI, this 27th day of SEPT 1980

SURRENDER OF LICENSE
Part II

2-16-2026
Date

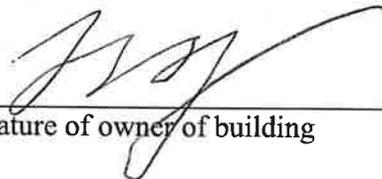
City Clerk
400 La Crosse St.
La Crosse, WI 54601

This is to notify you that I am the owner of the building located at 1812 Jackson Street, La Crosse, Wisconsin.

I have entered into a lease for the above property effective 2/1/2026 with JMH Foods LLC. (Strike sentence if not applicable.)

Further, this letter is to document that said owner or tenant has control of the premises, and may apply for the necessary beer and/or liquor licenses for said location.

Sincerely,



Signature of owner of building

Printed name of owner: Luke Soper

Home address of owner: N 2028 Wedgewood Drive E
La Crosse, WI 54601

Daytime phone number of owner: 608-769-5172

Form
AB-200

Alcohol Beverage License Application

For Municipal Use Only
Municipality
License Period

License(s) Requested: (up to two boxes may be checked)

- Class "A" Beer \$ _____ Class "B" Beer \$ _____
 "Class A" Liquor \$ _____ "Class B" Liquor \$ _____
 "Class A" Liquor (cider only) \$ _____ Reserve "Class B" Liquor \$ _____
 "Class C" Liquor (wine only) \$ _____

Fees	
License Fees	\$
Background Check Fee	\$
Publication Fee	\$
Total Fees	\$

Part A: Premises/Business Information

1. Legal Business Name (individual name if sole proprietorship) JMH Foods LLC			
2. Business Trade Name or DBA New Taste of India			
3. FEIN 41-3531933		4. Wisconsin Seller's Permit Number 4567032231249-02	
5. Entity Type (check one) <input checked="" type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization			
6. State of Organization Wisconsin		7. Date of Organization 8/17/2025	8. Wisconsin DFI Registration Number J066167
9. Premises Address 1812 Jackson Street			
10. City LaCrosse		11. State WI	12. Zip Code 54601
13. County LaCrosse		14. Governing Municipality: <input checked="" type="checkbox"/> City <input type="checkbox"/> Town <input type="checkbox"/> Village of: LaCrosse	15. Aldermanic District
16. Premises Phone		17. Premises Email	18. Website newtasteofindiawi.com
19. Premises Description - Describe the building or buildings where alcohol beverages are produced, sold, stored, or consumed, and related records are kept. Describe all rooms within the building, including living quarters. Authorized alcohol beverage activities and storage of records may occur only on the premises described in this application. Attach a map or diagram and additional sheets if necessary. Restaurant, max cap 100, bathrooms, kitchen, storage coolers/freezer, bar with stools, booths and bars for patrons, storage for beverages including alcohol in locked room closest to entrance. records in locked safe/file under bar.			
20. Mailing Address (if different from premises address)		21. City	
		22. State	23. Zip Code

Part B: Questions

1. Has the business (sole proprietorship, partnership, limited liability company, or corporation) been convicted of violating federal or state laws or local ordinances? Exclude traffic offenses unless related to alcohol beverages. Yes No

If yes, list the details of violation below. Attach additional sheets if necessary.

Law/Ordinance Violated	Location	Trial Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses pending against the business? Exclude traffic offenses unless related to alcohol . . . Yes No beverages.
 If yes, describe the nature and status of pending charges using the space below. Attach additional sheets as needed.

3. Is the applicant business or any of its officers, directors, members, agent, employees, owners, or other related individuals or entities a restricted investor with any interest in an alcohol beverage producer or distributor? . . . Yes No
 If yes, provide the name of the restricted investor and describe the nature of the interest.

4. Is the applicant business owned by another business entity? . . . Yes No
 If yes, provide the name(s) and FEIN(s) of the business entity owners below. Attach additional sheets as needed.

4a. Name of Business Entity	4b. Business Entity FEIN
-----------------------------	--------------------------

5. Have the partners, agent, or sole proprietor satisfied the responsible beverage server training requirement for this license period? Submit proof of completion. Yes No

6. Is the applicant business indebted to any wholesaler beyond 15 days for beer or 30 days for liquor/wine? Yes No

7. Does the applicant business owe past due municipal property taxes, assessments, or other fees? Yes No

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following positions in the applicant business or businesses listed in Part B, Question 4: sole proprietor, all officers, directors, and agent of a corporation or nonprofit organization, all partners of a partnership, and all members, managers, and agent of a limited liability company. Attach additional sheets if necessary.

Include Form AB-100 for each person listed below. Corporations and LLCs must appoint an agent by including Form AB-101.

Last Name	First Name	Title	Phone
Mejia Hernandez	Juan	Sole proprietor	[REDACTED]

Part D: Attestation

One of the following must sign and attest to this application:

- sole proprietor
- one general partner of a partnership
- one corporate officer
- one member of an LLC

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant business and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate this business according to the law, including but not limited to, purchasing alcohol beverages from state authorized wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name	First Name	M.I.
Mejia Hernandez	Juan	
Title	Email	Phone
Sole Proprietor	[REDACTED]	[REDACTED]
Signature	Date	
J M H	2-16-2026	

Part E: For Clerk Use Only

Date Application Was Filed With Clerk	License Number	Date License Granted	Date License Issued
Signature of Clerk/Deputy Clerk		Date Provisional License Issued (if applicable)	

Alcohol Beverage Individual Questionnaire

Date 2-16-26

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information	
1. Legal Business Name (individual name if sole proprietor)	<u>JMH Foods LLC</u>
2. Business Trade Name or DBA	<u>New Taste of India</u>
3. Entity Type (check one)	
<input checked="" type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization	

Part B: Individual Information			
1. Last Name	2. First Name	3. M.I.	
<u>Mejia Hernandez</u>	<u>Juan</u>		
4. Relationship to Business (Title)	5. Email	6. Phone	
<u>Sole Proprietor</u>	[REDACTED]	[REDACTED]	
7. Home Address			
<u>2603 Weston Street</u>			
8. City	9. State	10. Zip Code	11. Date of Birth
<u>Lacrosse</u>	<u>WI</u>	<u>54601</u>	[REDACTED]
12. Drivers License/State ID Number		13. Drivers License/State ID State of Issuance	
[REDACTED]		[REDACTED]	

Part C: Address History			
1. Do you currently live in Wisconsin?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If yes, provide the month and year when you permanently moved to Wisconsin	(MM/YYYY) <u>04/20/2013</u>		
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.			
Previous Address 1	City	State	Zip Code
<u>2603 Weston Street</u>	<u>LaCrosse</u>	<u>WI</u>	<u>54601</u>
Previous Address 2	City	State	Zip Code
<u>803 Johnson Street</u>	<u>LaCrosse</u>	<u>WI</u>	<u>54601</u>
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.			
State	County	State	County
<u>KY</u>	<u>Jefferson</u>		
State	County	State	County

Continued --->

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? Yes No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? Yes No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature J M H Date 2-16-26

Agent Type (check one)	
<input checked="" type="checkbox"/> Original (no fee)	<input type="checkbox"/> Successor (\$10 fee for municipal licensees only)

Part A: Business Information	
1. Legal Business Name (individual name if sole proprietor) IMH Foods LLC	
2. Business Trade Name or DBA New Taste of India	
3. Entity Type (check one) <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization	
4. Alcohol Beverage Business Authorization (check one) <input type="checkbox"/> Municipal Retail License <input type="checkbox"/> State Permit	5. If successor agent, provide State Permit or Municipal Retail License Number
6. Describe the reason for appointing a successor agent, if successor is checked above.	

Part B: Agent Information			
1. Last Name Mejia Hernandez	2. First Name Juan	3. M.I.	
4. Email [REDACTED]		5. Phone [REDACTED]	
6. Home Address 2603 Weston Street			
7. City LaCrosse	8. State WI	9. Zip Code 54601	10. Date of Birth [REDACTED]
11. Drivers License/State ID Number [REDACTED]		12. Drivers License/State ID State of Issuance	

Part C: Agent Questions	
1. Have you satisfied the responsible beverage server training requirement? Submit proof of completion.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
2. Have you completed Form AB-100, Alcohol Beverage Individual Questionnaire (licensee) or Form AB-300, Alcohol Beverage Personal Questionnaire (permittee)?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3. Have you been a Wisconsin resident for at least 90 continuous days? See instructions for exceptions.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Continued →

Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name	Mejia Hernandez	First Name	Juan	M.I.	
Title	Sole Proprietor	Email	[REDACTED]		
Signature	J M H	Date	2-16-2026		

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name	Mejia Hernandez	First Name	Juan	M.I.	
Signature	J M H	Date	2-16-2026		

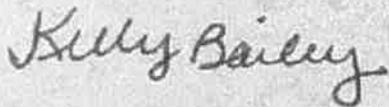
Wisconsin Responsible Beverage Seller/Server Training

JUAN MEJIA HERNANDEZ

has met all training requirements and successfully completed the above course and/or exam.

Certification Number: SL200241

Date of Completion: 01/14/2026



Authorized Signature

This certificate represents the successful completion of an approved Wisconsin Department of Revenue Responsible Beverage Server Course in compliance with secs. 125.04(5)(a)5., 125.17(6), and 134.66(2m), Wis. Stats. Present this certificate to your local municipal clerk's office to receive your Operator's or Retail license.

Diversys Learning, Inc.
1101 Arrow Point Drive, Suite 302
Cedar Park, TX 78613

Office of City Clerk



February 20, 2026

ATTN: JUAN MEJIA HERNANDEZ, AGENT
JMH FOODS DBA NEW TASTE OF INDIA
1812 JACKSON ST
LA CROSSE WI 54601

Dear Juan,

Our office is in receipt of the application for the Original Class "B" Beer and "Class C" Wine licenses for The JMH Foods dba New Taste of India at 1812 Jackson Street.

The application will be considered at the following meetings:

Judiciary & Administration Committee

Tuesday, March 3, 2026, 6:00 p.m.

Council Chambers, City Hall – 400 La Crosse St.

Common Council

Thursday, March 12, 2026, 6:00 p.m.

Council Chambers, City Hall – 400 La Crosse St.

It is recommended that someone attend the J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is generally not allowed at the Council meeting although there may be questions of Council Members. The applications will appear as part of the Various Licenses agenda item, which is a grouping of all of the licenses submitted for approval for March (File # 26-0094).

Attendance is allowed either in person or virtually. I will also be sending you an email with the dates listed above and the Zoom link for the J&A meeting. If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig, Deputy Clerk

craigs@cityoflacrosse.org

608-789-7549

cc: Juan Mejia Hernandez – PABLO19861986@YAHOO.COM



NOTICE OF APPLICATION FOR CLASS "B" BEER LICENSE IN THE CITY OF LA CROSSE

This is to notify you that the following business has applied for a **Class "B" Beer** license. Pursuant to sec. 4-145 of the Municipal Code, no Class "B" license shall be granted for premises located within 100 feet of lands zoned residential or multiple dwelling without property owners receiving notification.

**JMH Foods LLC dba New Taste of India
at 1812 Jackson St, La Crosse, WI 54601**

This application will be considered at the following meetings which are held in the Council Chambers of La Crosse City Hall, 400 La Crosse Street:

**Judiciary and Administration Committee – Tuesday, March 4, 2026 at 6:00 p.m.
Common Council – Thursday, March 13, 2026 at 6:00 p.m.**

The meeting can be viewed (no participation) by visiting the Legislative Information Center Meetings calendar (<https://cityoflacrosse.legistar.com/Calendar.aspx>) - find the scheduled meeting and click on the "In Progress" video link to the far right in the meeting list.

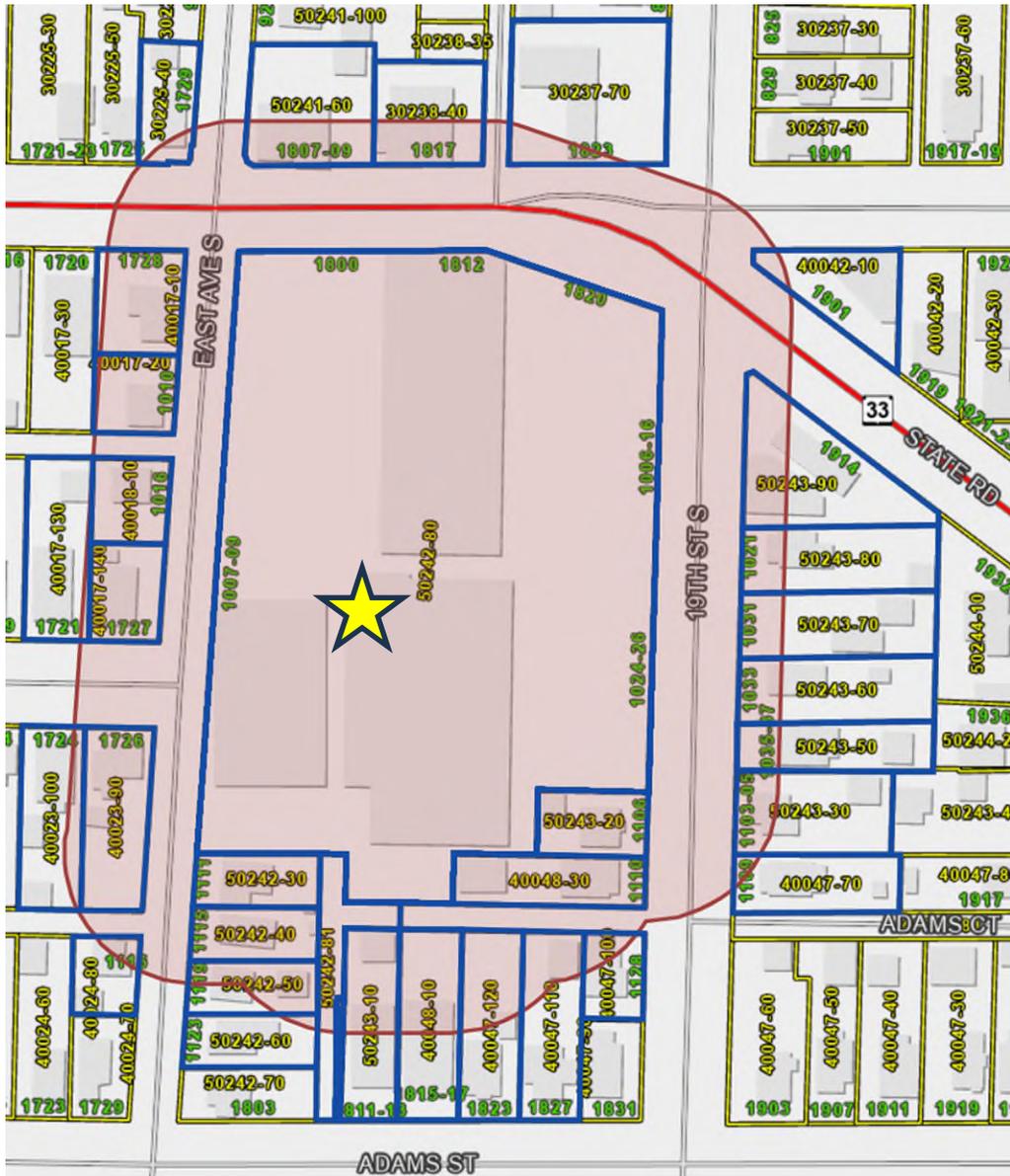
Written comments may be submitted to the City Clerk's Office by emailing cityclerk@cityoflacrosse.org, by delivery or mail to City Clerk, 400 La Crosse Street, La Crosse WI 54601 or by deposit in the green drop box on the north side of City Hall.

This notice is given pursuant to the order of the Common Council of the City of La Crosse.

Dated this 19th day of February 2026.

Alicia Smithburg
Assistant Clerk

JMH FOODS LLC
1812 JACKSON ST
LA CROSSE WI 54601



City of La Crosse, 400 La Crosse Street La Crosse, WI 54601
cityclerk@cityoflacrosse.org | 608-789-7510
www.cityoflacrosse.org

JMH FOODS LLC dba NEW TASTE OF INDIA - 100FT BUFFER - CLASS "B" BEER

Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-30225-40	NRE PROPERTIES LLC	1729 JACKSON ST	1400 PINE ST	LA CROSSE, WI 54601
17-30237-70	BECKY B BION, RANDOLPH D BION	1823 JACKSON ST, 826 19TH ST S	4035 ELM DR	LA CROSSE, WI 54601
17-30238-40	ROXSCO LLC	1817 JACKSON ST	530 SHORE ACRES RD	LA CRESCENT, MN 55947
17-40017-10	MARK A TAYLOR	1728 JACKSON ST	1728 JACKSON ST	LA CROSSE, WI 54601-5706
17-40017-130	CONNER J CLEMENTS, NEELIE L DAVIS	1721 JOHNSON ST	1721 JOHNSON ST	LA CROSSE, WI 54601
17-40017-140	ANTHONY C NEHRING, MICHELLE N NEHRING	1727 JOHNSON ST	2012 ADAMS ST	LA CROSSE, WI 54601
17-40017-20	LIM-GUMLEY UNION TRUST	1010 EAST AVE S	1230 CELEBRATION BLVD	SUN PRAIRIE, WI 53590
17-40018-10	ALEXIS HOUSTON	1016 EAST AVE S	1016 EAST AVE S	LA CROSSE, WI 54601
17-40023-100	THOMAS D WATSON, ROBIN A WATSON	1724 JOHNSON ST	1724 JOHNSON ST	LA CROSSE, WI 54601-5711
17-40023-90	HOFFER LLC	1726 JOHNSON ST	1510 MADISON ST	LA CROSSE, WI 54601
17-40042-10	RYAN RICHARD LLC	1901 STATE RD	N1526 HAGEN RD	LA CROSSE, WI 54601
17-50241-60	JACKSON1807 LLC	1807-1809 JACKSON ST	1717 CAMERON AVE	LA CROSSE, WI 54601
17-50242-80	JP NEIGHBORHOOD SHOPS LLC	1800 JACKSON ST STE 101-106, 1812-1820 JACKSON ST, 1007-1011 EAST AVE S, 1006-1037 19TH ST S	N2028 WEDGEWOOD DR E	LA CROSSE, WI 54601
17-50243-50	ADAM M WEISSENBERGER, TORI A WEISSENBERGER	1035-1037 19TH ST S	N2216 CLEMENTS RD	LA CROSSE, WI 54601
17-50243-60	AARON I CORBISIER, KEVIN A WELLS	1033 19TH ST S	1033 19TH ST S	LA CROSSE, WI 54601
17-50243-70	DIANNA J RASPILLER	1031 19TH ST S	1031 19TH ST S	LA CROSSE, WI 54601
17-50243-80	JULIE A GREENO	1021 19TH ST S	1021 19TH ST S	LA CROSSE, WI 54601-5861
17-50243-90	SKD PETROLEUM LLC	1914 STATE RD	9653 GRANVILLE RD N	MEQUON, WI 53097
(CITY)	CITY OF LA CROSSE	400 LA CROSSE ST	400 LA CROSSE ST	LA CROSSE WI 54601
Applicant	JMH FOODS LLC	1812 JACKSON ST	1812 JACKSON ST	LA CROSSE WI 54601



City of La Crosse, Wisconsin

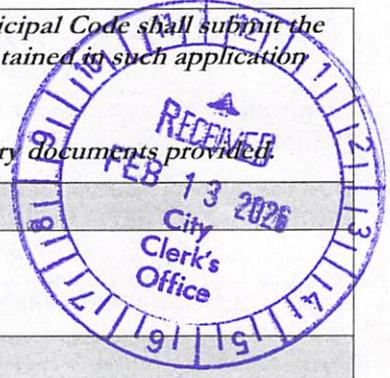
ORIGINAL ALCOHOL LICENSE APPLICATION INFORMATION SUBMITTAL

PAID
PAID
Rev. 10/7/2025

(Ch. 4, secs. 4-72 & 4-142)

All new applicants for an alcohol license pursuant to Chapter 4 of the La Crosse Municipal Code shall submit the following information with the original alcohol applications. Any false statement contained in such application shall automatically nullify any license issued pursuant thereto.

Applications will not be accepted until all of the information is complete and necessary documents provided.



TYPE OF LICENSE(S) REQUESTED

Class A: Beer, Liquor
 Class B: Beer, Liquor
 Class C: Wine

APPLICANT

Legal Business Name (Corporation, LLC, Sole Proprietor, Partnership):

M.E.P. Hospitality LLC

Trade Name:

Flatiron Cafe

Address:

Street

City

State

Zip Code

321 State Street

La Crosse

WI

54601

Telephone Number:

Email:

Website:

ACTIVE USE OF LICENSE

I understand that if a license is granted, said license **must be activated within 90 days of being granted** pursuant to Municipal Code secs. 4-43 and 4-108. This means open for business with stock and equipment.

Anticipated Date of Opening:

April 15th 2026

I understand that if a license is granted, said license shall be actively utilized pursuant to Municipal Code sec. 4-12. Actively utilized shall mean open for business with regular and consistent operating hours. If a license is not actively used throughout any 90-day period, the license shall be subject to revocation or suspension pursuant to sec. 4-82.

I understand that **if there is any change to the license or licensee information**, including but not limited to change in officers/members/directors or agent or their address/phone number, change in hours of operation, etc., **the City Clerk will be notified within 30 days** pursuant to Wis. Stat. sec. 125.04(3)(h).

CORPORATIONS/LLCs – AGENT QUALIFICATIONS & RESPONSIBILITIES

(N/A for Sole Proprietors and Partnerships)

I understand that as an officer of the applicant corporation or member of the applicant limited liability company, the appointed alcohol license agent shall meet the requirements of Wis. Stat. Ch. 125 and, in addition, shall have resided within the State of Wisconsin continuously for 90 days prior to the date of application and shall reside within a 25-mile radius of the City limits at the time of application and at all times such individual shall be the appointed agent. Further, the appointed agent is an individual who is regularly involved in the actual conduct of the business and has full authority and control of the premises described and of the conduct of all business on the premises relative to alcohol beverages.

BUSINESS PLAN

Type of Establishment:

- Tavern Nightclub Restaurant Liquor Store Grocery Store
 Convenience Store with gas pumps Convenience Store without gas pumps
 Other _____

Hours of Operation:

Tuesday - Thursday 11-8pm

Friday & Saturday 11-9pm

PAID
PAID
Anticipated Number of Employees:

6-8

Method for training employees in alcohol beverage laws and requirements for employees to hold a beverage operator license:

TIPS

Other Business to Be Conducted on Premise:

Estimated gross receipts for food and alcohol beverage sales by percentage.

(Note: Non-alcoholic drinks are classified as "Food.")

25 % Alcohol 75 % Food _____ % Other

If applicable, describe "Other":

Estimated capacity (Class B and Class C licenses only):

Indoor 40

Outdoor, if applicable _____

Will there be any outdoor sales/service or consumption of alcohol? If yes, explain.

If yes, a beer garden license or outdoor dining permit is required.

Yes

Will there be live entertainment (music or dancing) on premise? If yes, explain.

If yes, a cabaret license is required.

No

Do you have off-street parking? Yes No

If yes, how many parking spaces? 2 during 8-4pm 50+ after 5pm (Belle Square parking lot)

Provide a sketch of the floor plan showing overall dimensions, the areas of sales, consumption and storage, seating arrangements, location of coolers, and location where records are kept (invoices for purchase of alcohol).

Provide a site plan showing building location, any outside areas where alcohol beverages may be sold or consumed, off-street parking, ingress and egress, and existing or proposed screening.

The information provided is true and correct to the best of my knowledge, I have reviewed the Alcohol Beverage Submittal Requirements and Information page and will comply with necessary requirements.

Signature

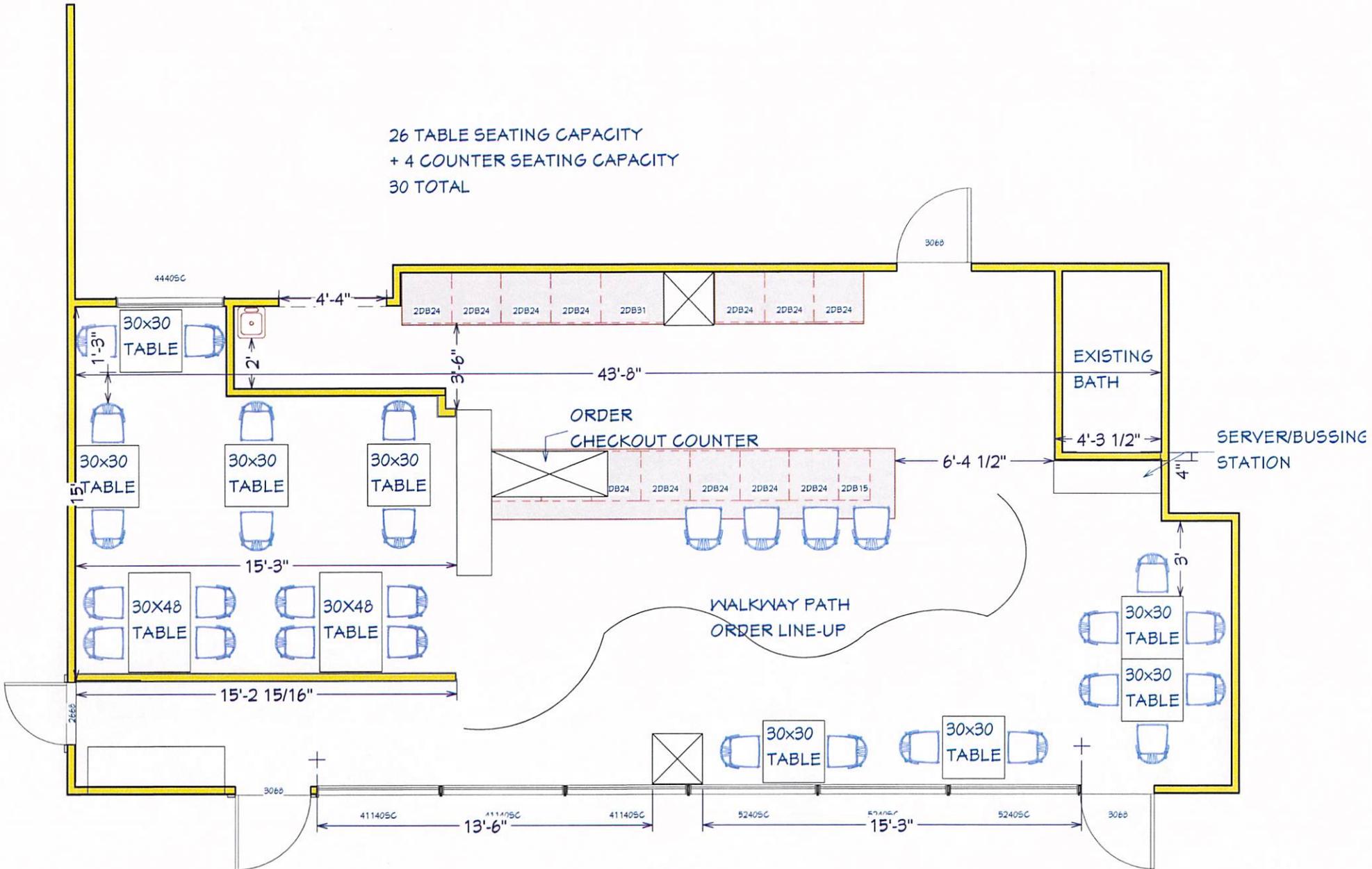
Date

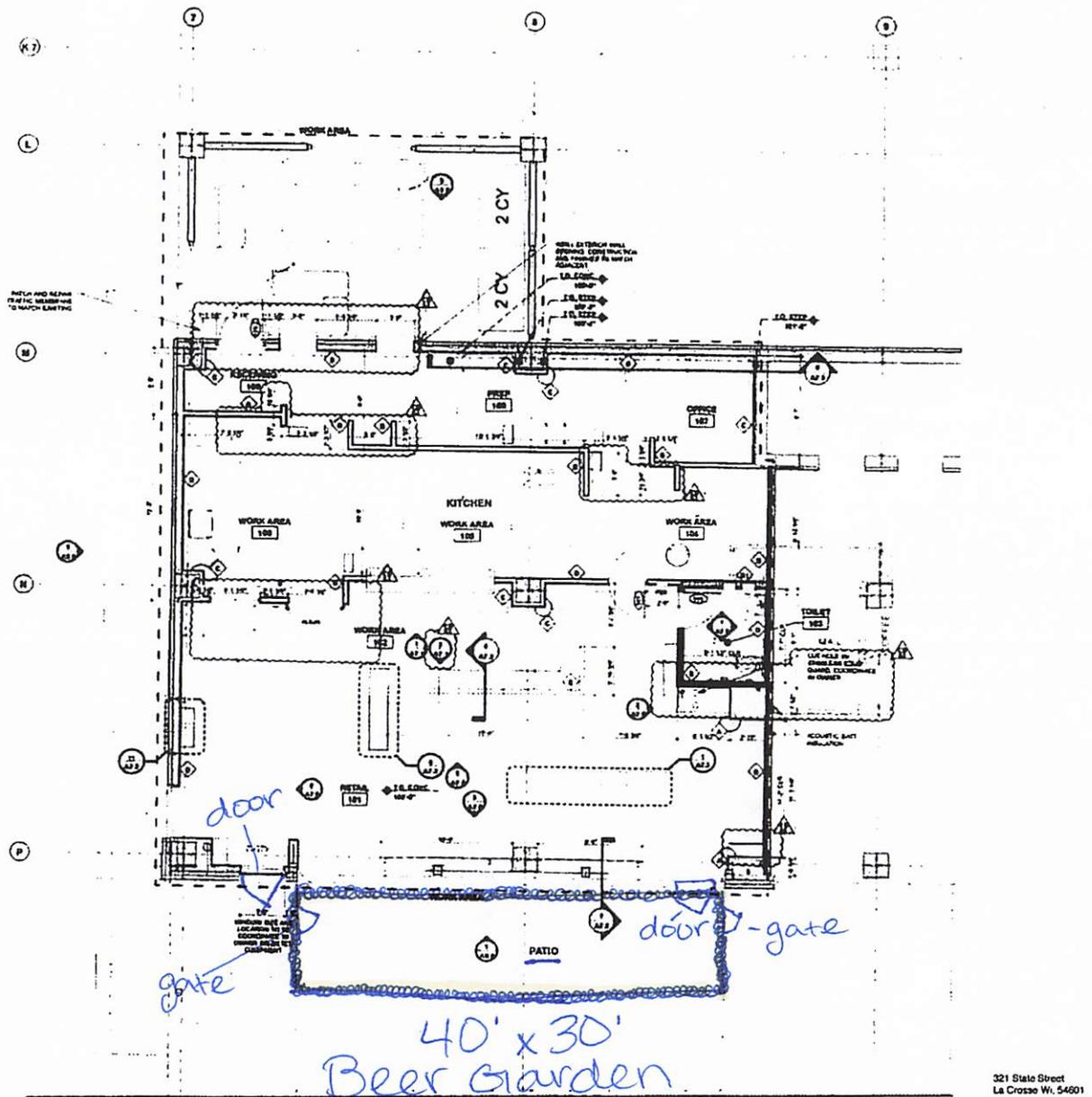
2/16/26

FOR OFFICE USE - City Clerk's Office checklist for complete applications

- Completed applications and fee
- Surrender of previous license, if applicable
- Lease, purchase agreement, or other proof of control of premise
- Contact Information Sheet
- Articles of Incorporation
- WI Seller's Permit Certificate (copy)
- FEIN (copy)
- Floor Plan
- Site Plan
- Proof of course completion or valid operator license or on other license within last two years.
- Confirm proximity to school, church or hospital
- Confirm proximity to land zoned residential or multiple dwelling

26 TABLE SEATING CAPACITY
 + 4 COUNTER SEATING CAPACITY
 30 TOTAL





1. FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

40' x 30'
Beer Garden
MEP Hospitality LLC
dba Flatiron

321 State Street
La Crosse WI, 54601



GENERAL NOTES

1. ALL INFORMATION CONCERNING EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. NOTIFY ARCHITECT AND OWNER FOR POSSIBLE REVISION. ACTION OF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN HERE.
2. REFER TO THE SCHEDULE FOR ADDITIONAL INFORMATION.
3. FILE INDIVIDUAL WALL TYPES (AS OF) FOR DIMENSIONS AND CONSTRUCTION.
4. VERIFY RECESS BILD EQUIPMENT WITH OWNER AND EQUIPMENT SUPPLIER PRIOR TO FABRICATING WALLS.
5. INTERIOR METAL DOOR FRAMES TO BE LOCATED 2" FROM FACE ADJACENT WALLS UNLESS NOTED OTHERWISE.
6. DIMENSIONS TO FACE OF STUD WALLS UNLESS NOTED OTHERWISE.
7. RECESS EQUIPMENT BY OTHERS. SHOW IN FINISH FOR DESIGN INTENT ONLY.
8. FLOOR DRAIN SANITARY AND LOCATIONS BY DEMONSTRATED PLUMBER. COORDINATE CONCRETE REINFORCEMENT WITH PLUMBER FOR HOSTIVE BLOCK TO DRAIN.

SYMBOL KEY

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- ① FINISH TAG
- ② DIMENSION TAG
- EXISTING DOOR TO REMAIN
- NEW DOOR
- XXX ROOM NAME & NUMBER
- STRUCTURAL GRID LINE
- ③ WALL OR BUILDING SECTION (SEE DEMONSTRATED SHEETS)
- ④ WALL TYPE
- ⑤ INTERIOR ELEVATION TAG



The Architects Collaborative, Inc.
401 N. 11th Street, Suite
200
La Crosse, WI 54601
P: 608.785.1100 F: 608.785.1104

**Belle Square
Butcher & Deli**

11.0000.00

WEBER HOLDINGS
200 N. Adams Street
La Crosse, WI 54601
P: 608.785.1100

CO SMITH
CONSTRUCTION, INC.
200 N. Adams Street
La Crosse, WI 54601
P: 608.785.1100

PIERCE ENGINEERS, INC.
200 N. Adams Street
La Crosse, WI 54601
P: 608.785.1100

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January 31, 2019
205814 10

Floor Plan

A1.1

Form
AB-200

Alcohol Beverage License Application

For Municipal Use Only
Municipality
License Period

License(s) Requested: (up to two boxes may be checked)

- Class "A" Beer \$ _____
 Class "B" Beer \$ _____
 "Class A" Liquor \$ _____
 "Class B" Liquor \$ _____
 "Class A" Liquor (cider only) \$ _____
 Reserve "Class B" Liquor \$ _____
 "Class C" Liquor (wine only) \$ _____

Fees	
License Fees	\$
Background Check Fee	\$
Publication Fee	\$
Total Fees	\$

Part A: Premises/Business Information

1. Legal Business Name (individual name if sole proprietorship) <i>M.E.P. Hospitality LLC</i>			
2. Business Trade Name or DBA <i>Flatica Cafe</i>			
3. FEIN <i>39-4694522</i>		4. Wisconsin Seller's Permit Number <i>456-1032282059-02</i>	
5. Entity Type (check one) <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization			
6. State of Organization <i>WI</i>		7. Date of Organization <i>10/1/25</i>	8. Wisconsin DFI Registration Number <i>M139374</i>
9. Premises Address <i>321 State</i>			
10. City <i>LaCrosse</i>		11. State <i>WI</i>	12. Zip Code <i>54601</i>
13. County <i>LaCrosse</i>	14. Governing Municipality: <input checked="" type="checkbox"/> City <input type="checkbox"/> Town <input type="checkbox"/> Village of: <i>La Crosse</i>		15. Aldermanic District
16. Premises Phone	17. Premises Email		18. Website
19. Premises Description - Describe the building or buildings where alcohol beverages are produced, sold, stored, or consumed, and related records are kept. Describe all rooms within the building, including living quarters. Authorized alcohol beverage activities and storage of records may occur only on the premises described in this application. Attach a map or diagram and additional sheets if necessary. <i>Restaurant, with a dining room, seperated kitchen and patio. Ground floor. All records to be stored in office in kitchen area.</i>			
20. Mailing Address (if different from premises address) <i>Alcohol to be served in bar (restaurant space)</i>			
21. City <i>Alcohol to be stored in bar, below counter and in locked storage cabinet in back office in kitchen.</i>		22. State	23. Zip Code

Part B: Questions

1. Has the business (sole proprietorship, partnership, limited liability company, or corporation) been convicted of violating federal or state laws or local ordinances? Exclude traffic offenses unless related to alcohol beverages. Yes No

If yes, list the details of violation below. Attach additional sheets if necessary.

Law/Ordinance Violated	Location	Trial Date
<i>Also possibly stored in wine cabinet in main space</i>		
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	

2. Are charges for any offenses pending against the business? Exclude traffic offenses unless related to alcohol beverages. Yes No
 If yes, describe the nature and status of pending charges using the space below. Attach additional sheets as needed.

3. Is the applicant business or any of its officers, directors, members, agent, employees, owners, or other related individuals or entities a restricted investor with any interest in an alcohol beverage producer or distributor? Yes No
 If yes, provide the name of the restricted investor and describe the nature of the interest.

4. Is the applicant business owned by another business entity? Yes No
 If yes, provide the name(s) and FEIN(s) of the business entity owners below. Attach additional sheets as needed.

4a. Name of Business Entity _____ 4b. Business Entity FEIN _____

5. Have the partners, agent, or sole proprietor satisfied the responsible beverage server training requirement for this license period? Submit proof of completion. Yes No
 6. Is the applicant business indebted to any wholesaler beyond 15 days for beer or 30 days for liquor/wine? Yes No
 7. Does the applicant business owe past due municipal property taxes, assessments, or other fees? Yes No

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following positions in the applicant business or businesses listed in Part B, Question 4: sole proprietor, all officers, directors, and agent of a corporation or nonprofit organization, all partners of a partnership, and all members, managers, and agent of a limited liability company. Attach additional sheets if necessary.

Include Form AB-100 for each person listed below. Corporations and LLCs must appoint an agent by including Form AB-101.

Last Name	First Name	Title	Phone
Dooley	Matthew	Owner	[REDACTED]
Michaels	Patrick	Owner	

Part D: Attestation

One of the following must sign and attest to this application:
 • sole proprietor • one general partner of a partnership • one corporate officer • one member of an LLC

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant business and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate this business according to the law, including but not limited to, purchasing alcohol beverages from state authorized wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name: Dooley First Name: Matthew M.I.: Z
 Title: Owner Email: [REDACTED] Phone: [REDACTED]
 Signature: [Signature] Date: 2/13/26

Part E: For Clerk Use Only

Date Application Was Filed With Clerk	License Number	Date License Granted	Date License Issued
Signature of Clerk/Deputy Clerk		Date Provisional License Issued (if applicable)	

Alcohol Beverage Individual Questionnaire

Date 2/9/26

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information				
1. Legal Business Name (individual name if sole proprietor) M.E.P. Hospitality LLC				
2. Business Trade Name or DBA Flatiron Cafe				
3. Entity Type (check one)				
<input type="checkbox"/> Sole Proprietor	<input type="checkbox"/> Partnership	<input checked="" type="checkbox"/> Limited Liability Company	<input type="checkbox"/> Corporation	<input type="checkbox"/> Nonprofit Organization

Part B: Individual Information				
1. Last Name Micheels		2. First Name Patrick		3. M.I. D.
4. Relationship to Business (Title) Owner		5. Email [REDACTED]		6. Phone [REDACTED]
7. Home Address 2922 26th Street S.				
8. City La Crosse WI		9. State WI	10. Zip Code 54601	11. Date of Birth [REDACTED]
12. Drivers License/State ID Number [REDACTED]			13. Drivers License/State ID State of Issuance 1/22/2021	

Part C: Address History							
1. Do you currently live in Wisconsin?				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If yes, provide the month and year when you permanently moved to Wisconsin				(MM/YYYY) 05/2019			
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.							
Previous Address 1	City	State	Zip Code				
Previous Address 2	City	State	Zip Code				
Previous Address 3	City	State	Zip Code				
Previous Address 4	City	State	Zip Code				
Previous Address 5	City	State	Zip Code				
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.							
State	County	State	County	State	County	State	County
NE	Douglas						
State	County	State	County	State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances?..... Yes No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated DUI	Location Scottsbluff, NE	Conviction Date May 2004
Penalty Imposed Probation/Work Release		Was sentence completed?..... <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated Hindering Arrest/False Information	Location Scottsbluff, NE	Conviction Date August 2004
Penalty Imposed Probation		Was sentence completed?..... <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated DUI	Location Lincoln, NE	Conviction Date May 2007
Penalty Imposed 40 Days Work Release		Was sentence completed?..... <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances?..... Yes No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature

Date

2/9/26

Alcohol Beverage Individual Questionnaire

Date
2/9/2020

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information			
1. Legal Business Name (individual name if sole proprietor) <u>M.E.P. Hospitality LLC</u>			
2. Business Trade Name or DBA <u>Flatiron Cafe</u>			
3. Entity Type (check one)			
<input type="checkbox"/> Sole Proprietor	<input type="checkbox"/> Partnership	<input checked="" type="checkbox"/> Limited Liability Company	<input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization

Part B: Individual Information			
1. Last Name <u>Dooley</u>		2. First Name <u>Matthew</u>	
3. M.I. <u>Z</u>			
4. Relationship to Business (Title) <u>Co-owner</u>		5. Email [REDACTED]	6. Phone [REDACTED]
7. Home Address <u>3122 25th St S</u>			
8. City <u>La Crosse</u>		9. State <u>WI</u>	10. Zip Code <u>54601</u>
		11. Date of Birth [REDACTED]	
12. Drivers License/State ID Number [REDACTED]		13. Drivers License/State ID State of Issuance <u>Wisconsin</u>	

Part C: Address History			
1. Do you currently live in Wisconsin?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If yes, provide the month and year when you permanently moved to Wisconsin			(MM/YYYY) <u>08/2020</u>
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.			
Previous Address 1	City	State	Zip Code
Previous Address 2	City	State	Zip Code
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.			
State	County	State	County
<u>GA</u>	<u>DeKalb</u>	<u>GA</u>	<u>Fulton</u>
<u>GA</u>	<u>Forsyth</u>		
State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? Yes No
 If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? Yes No
 If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature  Date 2/9/2026

Alcohol Beverage Appointment of Agent

Date
2/13/20

Agent Type (check one)

- Original (no fee) Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor) <i>M.E.P. Hospitalitas LLC</i>	
2. Business Trade Name or DBA <i>Flatiron Cafe</i>	
3. Entity Type (check one) <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization	
4. Alcohol Beverage Business Authorization (check one) <input type="checkbox"/> Municipal Retail License <input type="checkbox"/> State Permit	5. If successor agent, provide State Permit or Municipal Retail License Number
6. Describe the reason for appointing a successor agent, if successor is checked above.	

Part B: Agent Information

1. Last Name <i>Doolay</i>	2. First Name <i>Matthew</i>	3. M.I. <i>Z</i>
4. Email [REDACTED]	5. Phone [REDACTED]	
6. Home Address <i>3122 25th St S</i>		
7. City <i>LaCrosse</i>	8. State <i>WI</i>	9. Zip Code <i>54601</i>
10. Date of Birth [REDACTED]	11. Drivers License/State ID Number [REDACTED]	
12. Drivers License/State ID State of Issuance <i>Wisconsin</i>		

Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Submit proof of completion.
2. Have you completed Form AB-100, <i>Alcohol Beverage Individual Questionnaire</i> (licensee) or Form AB-300, <i>Alcohol Beverage Personal Questionnaire</i> (permittee)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3. Have you been a Wisconsin resident for at least 90 continuous days? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No See instructions for exceptions.

Continued →

Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Dooley</i>		First Name <i>Matthew</i>	M.I. <i>Z</i>
Title <i>Co-owner</i>	Email <i>mzdooley@gmail.com</i>		Phone <i>678 592-1329</i>
Signature 		Date <i>2/13/20</i>	

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Dooley</i>		First Name <i>Matthew</i>	M.I. <i>Z</i>
Signature 		Date <i>2/13/20</i>	

Office of City Clerk



February 20, 2026

ATTN: MATT DOOLEY, AGENT
MEP HOSPITALITY LLC DBA FLATIRON CAFE
3122 25TH ST S
LA CROSSE WI 54601

Dear Matt,

Our office is in receipt of the application for the Original Class "B" Beer and "Class C" Wine licenses and Beer Garden License for MEP Hospitality LLC dba Flatiron Café at 321 State Street.

The applications will be considered at the following meetings:

Judiciary & Administration Committee

Tuesday, March 3, 2026, 6:00 p.m.

Council Chambers, City Hall – 400 La Crosse St.

Common Council

Thursday, March 12, 2026, 6:00 p.m.

Council Chambers, City Hall – 400 La Crosse St.

It is recommended that someone attend the J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is generally not allowed at the Council meeting although there may be questions of Council Members. The applications will appear as part of the Various Licenses agenda item, which is a grouping of all of the licenses submitted for approval for March (File # 26-0094).

Attendance is allowed either in person or virtually. I will also be sending you an email with the dates listed above and the Zoom link for the J&A meeting. If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig, Deputy Clerk
craigs@cityoflacrosse.org
608-789-7549

cc: Matt Dooley – MZDOOLEY@GMAIL.COM

Form

AB-101

Alcohol Beverage Appointment of Agent

Date: _____

Agent Type (check one)

Original (no fee)

Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Kwik Trip, Inc.

2. Business Trade Name or DBA

Kwik Trip 829

3. Entity Type (check one)

Limited Liability Company

Corporation

Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

Municipal Retail License

State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

Interim agent appointment until new manager assigned to the store.

Part B: Agent Information

1. Last Name

Thomas

2. First Name

Brock

3. M.I.

J.

4. Email

5. Phone

6. Home Address

716 Kent St.

7. City

Sparta

8. State

WI

9. Zip Code

54656

10. Date of Birth

11. Drivers License/State ID Number

12. Drivers License/State ID State of Issuance

WI

Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? Submit proof of completion.

Yes No

2. Have you completed Form AB-100, Alcohol Beverage Individual Questionnaire (licensee) or Form AB-300, Alcohol Beverage Personal Questionnaire (permittee)?

Yes No

3. Have you been a Wisconsin resident for at least 90 continuous days? See instructions for exceptions.

Yes No

Continued →

Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the Undersigned, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Zietlow	First Name Scott	M.I. P
Title CEO/President	Email [REDACTED]	Phone [REDACTED]
Signature <i>Scott P. Zietlow</i>	Date 2/11/26	

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the Agent, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Thomas	First Name Brock	M.I. J
Signature <i>[Signature]</i>	Date 2/11/26	

Alcohol Beverage Individual Questionnaire

Date:

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor) Kwik Trip, Inc.			
2. Business Trade Name or DBA Kwik Trip 829			
3. Entity Type (check one)			
<input type="checkbox"/> Sole Proprietor	<input type="checkbox"/> Partnership	<input type="checkbox"/> Limited Liability Company	<input checked="" type="checkbox"/> Corporation
<input type="checkbox"/> Nonprofit Organization			

Part B: Individual Information

1. Last Name Thomas		2. First Name Brock		3. M.I. J.	
4. Relationship to Business (Title) Agent		5. Email [REDACTED]		6. Phone [REDACTED]	
7. Home Address 716 Kent St.					
8. City Sparta		9. State WI	10. Zip Code 54656		11. Date of Birth [REDACTED]
12. Drivers License/State ID Number [REDACTED]			13. Drivers License/State ID State of Issuance WI		

Part C: Address History

1. Do you currently live in Wisconsin? Yes No

If yes, provide the month and year when you permanently moved to Wisconsin: (MM/YYYY)
04/1991

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address	City	State	Zip Code
716 Kent St	Sparta	WI	54656
Previous Address 2	City	State	Zip Code
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
WI	Monroe	WI	La Crosse				
State	County	State	County	State	County	State	County

Continued →

Part D: Criminal History

1 Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? Yes No
If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	

2 Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? Yes No
If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature *Brown* Date 2/11/26



City of La Crosse, Wisconsin

APPLICATION FOR BEER GARDEN LICENSE

Check One: New Renewal For the license period _____ to _____ Fee: \$ 200

License Class: (Check One) Class "A" Class "B" Class "C" Class "D"
(ZONING RESTRICTION)

BUSINESS INFORMATION

Legal/Real Name:

The Rustic 3 LLC

Address of Above: Street City State Zip Code

103 N 3rd Street LaCrosse WI 54601

PREMISES INFORMATION

Trade Name of Business:

The Rustic

Address of premises to be Licensed:

103 N 3rd Street LaCrosse WI 54601

BEER GARDEN INFORMATION

Description of proposed beer garden: (MUST BE SPECIFIC: square feet, physical location, material made out of, etc.)

SEE MAP

AGENT INFORMATION

Agent Name: First Middle Last

Timothy J Larsen

Agent Home Address: Street City State Zip Code

2622 Highland Street LaCrosse WI 54601

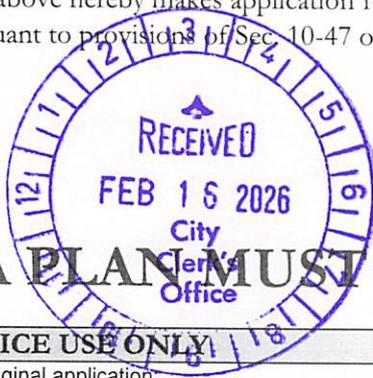
Home Phone Number: Daytime Phone Number:

[Redacted]

Was the above person listed as agent on last year's application?

Yes No

The above hereby makes application for a license to operate a Beer Garden at the above address within the City of La Crosse pursuant to provisions of Sec. 10-47 of the Code of Ordinances for the City of La Crosse.



[Signature]
Signature of Applicant

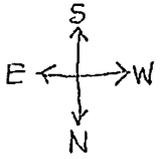
2/4/26
Date

A PLAN MUST ACCOMPANY THIS APPLICATION

OFFICE USE ONLY

For original application:
Attach a list of all property owners within 200 feet of the proposed licensed premises.

Signature:	Date:	Granted:	License #:
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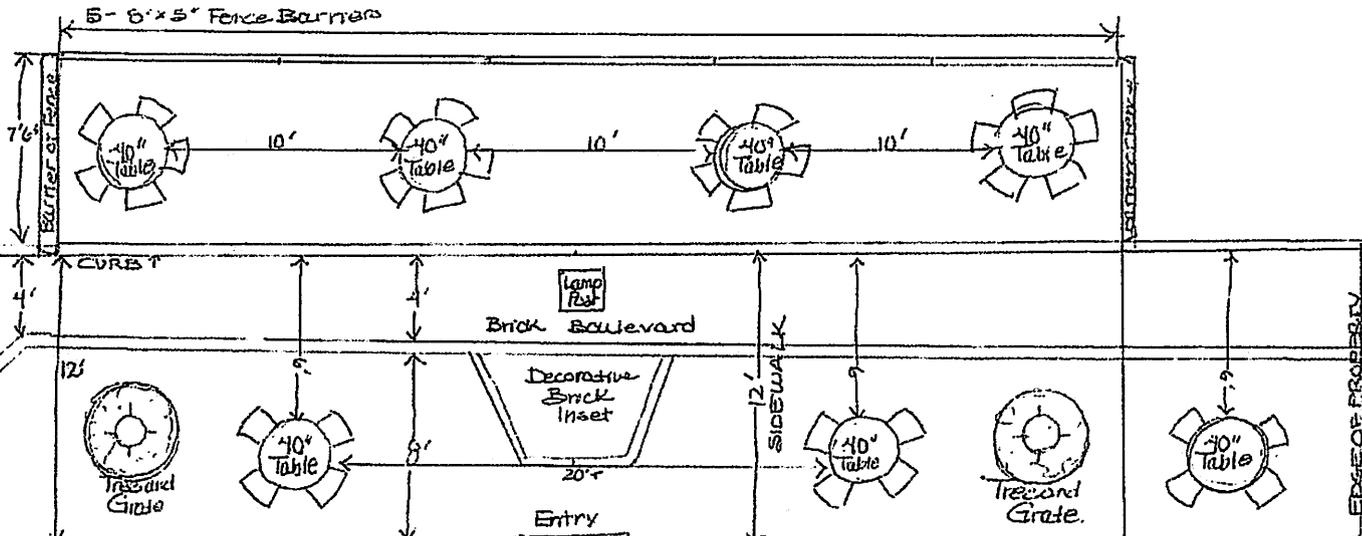
MAIN STREET

NW CORNER OF THIRD & MAIN



Clear Corner Walkway

THIRD STREET ↑

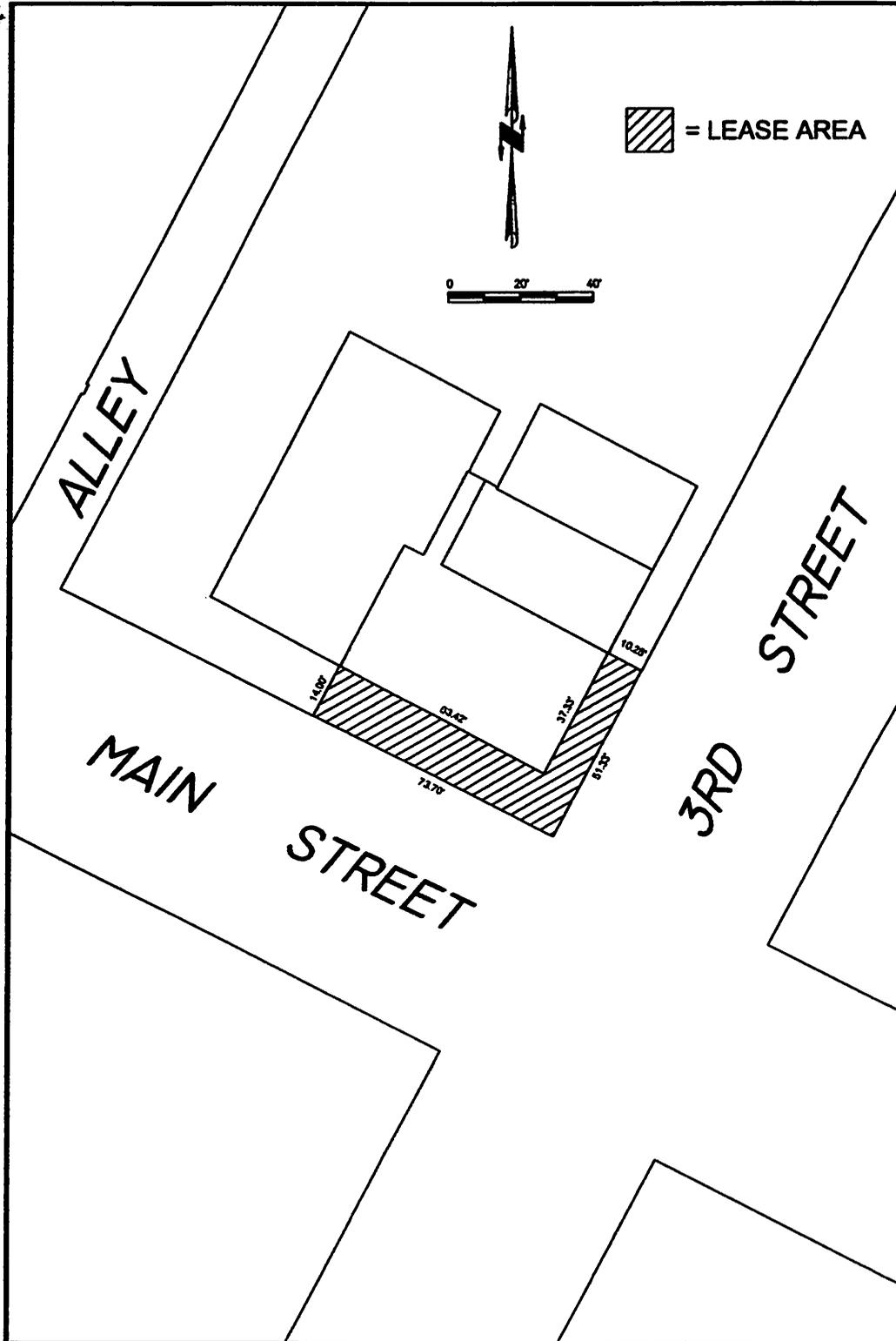


DUBLIN SQUARE
103 3rd STREET N.

All Tables 4-5 Seats
Approx. 40" Round Tables

Sidewalk Cafe- Width of Building on Main Street and corner of 3rd and Main.
Street Cafe- 2 parking spaces on Main Street.

EDGE OF PROPERTY





THE RUSTIC 3 LLC
103 3RD ST N
LA CROSSE WI 54601

NOTICE OF APPLICATION FOR BEER GARDEN LICENSE IN THE CITY OF LA CROSSE

This is to notify you that the following business has applied for a **Class "B" Beer Garden** license under Chapter 10, Article III of the Code of Ordinances of the City of La Crosse to allow consumption of alcoholic beverages in a designated outdoor area, as described below and on the attached drawing.

Pursuant to sec. 10-77, property owners within 200 feet of the proposed premises for a Beer Garden License shall receive notice of an original application.

**The Rustic 3 LLC dba The Rustic
at 103 3rd St N, La Crosse WI 54601**

Beer Garden description: 13.5 feet deep (approx. 1,200sq ft) leased-in area adjacent to building on Main & 3rd Streets.

This application will be considered at the following meetings which are held in the Council Chambers of La Crosse City Hall, 400 La Crosse Street:

- **Judiciary and Administration Committee – Tuesday, March 3, 2026 at 6:00 p.m.**
- **Common Council – Thursday, March 12, 2026 at 6:00 p.m.**

The meeting can be viewed (no participation) by visiting the Legislative Information Center Meetings calendar (<https://cityoflacrosse.legistar.com/Calendar.aspx>) - find the scheduled meeting and click on the "In Progress" video link to the far right in the meeting list.

Written comments may be submitted to the City Clerk's Office by emailing cityclerk@cityoflacrosse.org, by delivery or mail to City Clerk, 400 La Crosse Street, La Crosse WI 54601 or by deposit in the green drop box on the north side of City Hall.

This notice is given pursuant to the order of the Common Council of the City of La Crosse.

Dated this 19th day of February 2026.

Nikki M. Elsen, WCMC
City Clerk

Please note:

Beer Garden area shown in orange.

Properties within 200 feet of the beer garden are shown outlined in blue.



THE RUSTIC 3 LLC dba THE RUSTIC - 200FT BUFFER - BEER GARDEN

Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-20013-10	FIRST BANK LACROSSE BUILDING CORP	201 MAIN ST STE 100-1010	501 8TH ST S	MINNEAPOLIS, MN 55404
17-20013-40(CITY)	CITY OF LACROSSE	115 3RD ST N	400 LA CROSSE ST	LA CROSSE, WI 54601
17-20013-50	WOLF RENTALS LLC	221 MAIN ST	115 11TH ST N	LA CROSSE, WI 54601
17-20013-60	BBL REAL ESTATE HOLDINGS LLC	227-231 MAIN ST, 103 3RD ST N	103 3RD ST N	LA CROSSE, WI 54601
17-20013-70	RALPHS LLC	109 3RD ST N	PO BOX 32	LA CROSSE, WI 54602-0032
17-20013-80	RALPHS LLC	111 3RD ST N	PO BOX 32	LA CROSSE, WI 54602-0032
17-20014-70	DOCS HIDEOUT LLC	200 MAIN ST STE 001-300	901 STATE ST	LA CROSSE, WI 54601
17-20014-80	XIAOXU WU, YINGMIN LIN CARL SCHNEIDER TRUST, NARCELLE	212 MAIN ST	W6808 HILLTOP DR	ONALASKA, WI 54650
17-20015-110	SCHNEIDER TRUST	100-114 3RD ST S 100-106 3RD ST S, 222-236 MAIN ST, 228	110 3RD ST S	LA CROSSE, WI 54601
17-20015-120	CROW PROPERTIES LLC THE	MAIN ST APT 201-303	307 MAIN ST	LA CROSSE, WI 54601
17-20015-140	MAIN STREET RENAISSANCE INC	214-220 MAIN ST	504 MAIN ST	LA CROSSE, WI 54601
17-20016-110	DAVID H PRETASKY REVOCABLE TRUST	310 MAIN ST	220 17TH ST S	LA CROSSE, WI 54601
17-20016-120	AIRAM GROUP LLC	308 MAIN ST	2102 31ST ST S	LA CROSSE, WI 54601
17-20016-140	BRNCOS OF LACROSSE LLC	300-302 MAIN ST	2124 MADISON ST	LA CROSSE, WI 54601
17-20017-10	BRNCOS OF LACROSSE LLC	105 3RD ST S	105 3RD ST S	LA CROSSE, WI 54601
17-20017-20	RRJ HOLDINGS LLC	107 3RD ST S APT 201-202	307 MAIN ST	LA CROSSE, WI 54601
17-20017-40	BIG ALS PROPERTIES LLC	111 3RD ST S APT 201-202, 115 3RD ST S	307 MAIN ST	LA CROSSE, WI 54601
17-20018-130	608 PROPERTIES LLC	118 3RD ST N	307 MAIN ST	LA CROSSE, WI 54601
17-20018-140	LAYNE LLC	110 3RD ST N	108 3RD ST N	LA CROSSE, WI 54601
17-20018-70	ALYSHAS APARTMENTS LLC	122 3RD ST N, 126 3RD ST N APT 1-19	N2740 GERBERS RD	LA CROSSE, WI 54601
17-20019-10	LAYNE LLC	110 3RD ST N	108 3RD ST N	LA CROSSE, WI 54601
17-20019-100	608 PROPERTIES LLC	3RD ST N	307 MAIN ST	LA CROSSE, WI 54601
17-20019-30	K & N PRENTICE LLP	108 3RD ST N	108 3RD ST N	LA CROSSE, WI 54601-3207
17-20019-40	608 PROPERTIES LLC	311 MAIN ST	307 MAIN ST	LA CROSSE, WI 54601
17-20019-60	608 PROPERTIES LLC	307 MAIN ST STE 101-301	307 MAIN ST	LA CROSSE, WI 54601
17-20019-70	608 PROPERTIES LLC	301 MAIN ST	307 MAIN ST	LA CROSSE, WI 54601
Applicant	THE RUSTIC 3 LLC	103 3RD ST N	103 3RD ST N	LA CROSSE WI 54601



City of La Crosse, Wisconsin

APPLICATION FOR BEER GARDEN LICENSE

Check One: New Renewal For the license period _____ to _____ Fee: \$ _____

License Class: (Check One) Class "A" Class "B" Class "C" Class "D"
(ZONING RESTRICTION)

BUSINESS INFORMATION			
Legal/Real Name: <i>M.E.P. Hospitality</i>			
Address of Above: Street <i>321 State St</i>	City <i>LaCrosse</i>	State <i>Wi</i>	Zip Code <i>54601</i>
PREMISES INFORMATION			
Trade Name of Business: <i>Flatiron Cafe</i>			
Address of premises to be Licensed: <i>321 State St LaCrosse Wi 54601</i>			
BEER GARDEN INFORMATION			
Description of proposed beer garden: (MUST BE SPECIFIC: square feet, physical location, material made out of, etc.) <i>Wood and steel patio located out front of main premises. Approx. 40'x30'</i>			
AGENT INFORMATION			
Agent Name: First <i>Matthew</i>	Middle <i>Z</i>	Last <i>Dorley</i>	
Agent Home Address: Street <i>3122 25th St S</i>	City <i>LaCrosse</i>	State <i>WI</i>	Zip Code <i>54601</i>
Home Phone Number: <i>678 592-1329</i>	Daytime Phone Number:		
Was the above person listed as agent on last year's application? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			

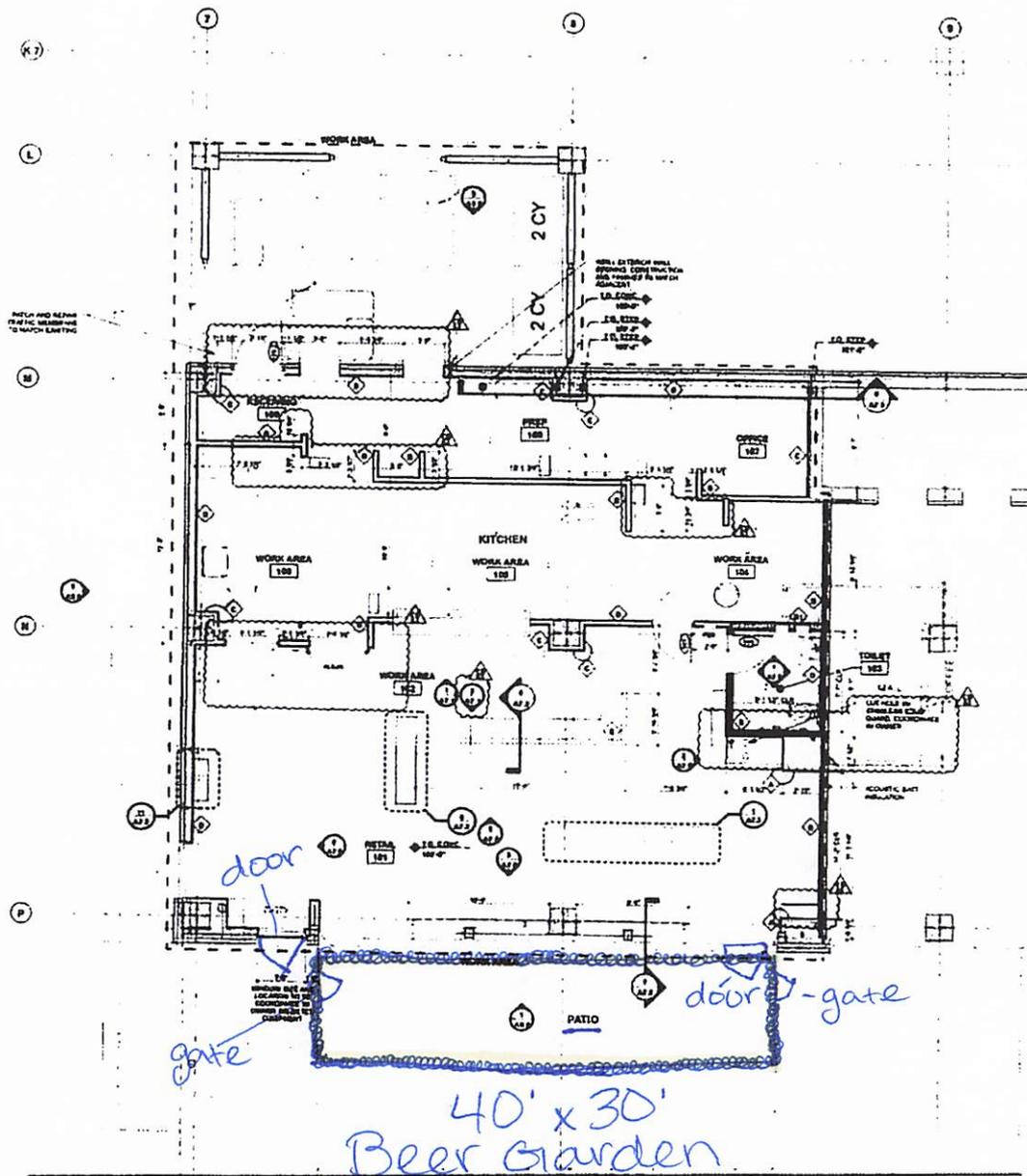
The above hereby makes application for a license to operate a Beer Garden at the above address within the City of La Crosse pursuant to provisions of Sec. 10-47 of the Code of Ordinances for the City of La Crosse.

[Signature]
Signature of Applicant

2/16/26
Date

A PLAN MUST ACCOMPANY THIS APPLICATION

OFFICE USE ONLY			
For original application: Attach a list of all property owners within 200 feet of the proposed licensed premises.			
Signature:	Date:	Granted:	License #:



1. FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

40' x 30'
Beer Garden
MEP Hospitality LLC
dba Flatiron

321 State Street
La Crosse WI, 54601



GENERAL NOTES

1. ALL INFORMATION CONCERNING EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. NOTIFY ARCHITECT AND OWNER FOR POSSIBLE REVISIONS. ACTION OF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN HERE.
2. REFER TO THE SCHEDULE FOR ADDITIONAL INFORMATION.
3. FILE INDIVIDUAL WALL TYPES (AS OF) FOR DIMENSIONS AND CONSTRUCTION.
4. VERIFY RECESS BILD EQUIPMENT WITH OWNER AND EQUIPMENT SUPPLIER PRIOR TO FABRICATING WALLS.
5. INTERIOR METAL DOOR FRAMES TO BE LOCATED 2" FROM HIGH ADJACENT WALLS UNLESS NOTED OTHERWISE.
6. DIMENSIONS TO FACE OF STUD WALLS UNLESS NOTED OTHERWISE.
7. RECESS EQUIPMENT BY OTHERS. SHOW IN PLAN FOR DESIGN INTENT ONLY.
8. FLOOR DRAIN SANITARY AND LOCATIONS BY DEMONSTRATED PLUMBER. COORDINATE CONCRETE REINFORCEMENT WITH PLUMBER FOR POSITIVE BLOCK TO DRAIN.

SYMBOL KEY

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- FINISH TAG
- EXISTING DOOR TO REMAIN
- NEW DOOR
- ROOM NAME & NUMBER
- STRUCTURAL GRID LINE
- WALL OR BUILDING SECTION (SEE DEMONSTRATED SHEETS)
- WALL TYPE
- INTERIOR ELEVATION TAG



The Architects Collaborative, Inc.
401 N. 11th Street
La Crosse, WI 54601
P: 608.785.1100 F: 608.785.1104

Belle Square
Butcher & Deli

11.0000.00

WEBER HOLDINGS
2004 West Main St
La Crosse, WI 54601

CO SMITH
CONSTRUCTION, INC
200 S. Adams Street
La Crosse, WI 54601

PIERCE ENGINEERS, INC
1000 S. Adams Street
La Crosse, WI 54601

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January 31, 2019
205814 10

Floor Plan

A1.1

MEP HOSPITALITY LLC - 200FT BUFFER LIST - CLASS B BEER AND CLASS B BEER GARDEN

Tax Parcel	OwnerName	PROPERTY ADDRESS	MAILING ADDRESS	MailCityStateZip
17-20020-60	PROJECT LEO LLC	125 4TH ST N	125 4TH ST N	LA CROSSE, WI 54601
17-20020-70	232 3RD ST N LLC	232 3RD ST N STE 100-600	1475 POWELL ST	EMERYVILLE, CA 94608
17-40381-140	232 3RD ST N LLC	319-321 STATE ST	1475 POWELL ST	EMERYVILLE, CA 94608
17-40381-160	232 3RD ST N LLC	303 STATE ST	1475 POWELL ST	EMERYVILLE, CA 94608
17-40381-180	232 3RD ST N LLC	318 VINE ST	1475 POWELL ST	EMERYVILLE, CA 94608
17-20010-120	GUNDERSEN LUTHERAN ADMINISTRATIVE SERVICES INC	201-219 3RD ST N, 225 STATE ST APT 15-434, 211 3RD ST N APT 1-5, 222 VINE ST	1900 SOUTH AVE	LA CROSSE, WI 54601
17-20020-80	LACROSSE COUNTY	300 3RD ST N, 351 4TH ST N, 410 3RD ST N, 333 VINE ST	212 6TH ST N	LA CROSSE, WI 54601
17-20320-10	LACROSSE COUNTY	300 4TH ST N	212 6TH ST N	LA CROSSE, WI 54601
17-40381-230	LACROSSE COUNTY	322 VINE ST	212 6TH ST N	LA CROSSE, WI 54601
17-20011-10	CHRISTENE M BREININGER	229 3RD ST N	23255 HILLCREST LN	RICHLAND CENTER, WI 53581
17-20018-130	608 PROPERTIES LLC	118 3RD ST N	307 MAIN ST	LA CROSSE, WI 54601
17-20018-60	STATE ROOM PROPERTIES LLC	128 3RD ST N, 306 STATE ST	307 MAIN ST	LA CROSSE, WI 54601
17-20013-40(CITY)	CITY OF LACROSSE	115 3RD ST N	400 LA CROSSE ST	LA CROSSE, WI 54601
17-20021-110	NEW STATE BANK OF LA CROSSE	120 & 128 4TH ST N	401 MAIN ST	LA CROSSE, WI 54601
17-20021-120	NEW STATE BANK OF LA CROSSE	401-413 MAIN ST	401 MAIN ST	LA CROSSE, WI 54601
17-40381-130	ASSOCIATED BANK NATIONAL ASSOCIATION	205 4TH ST N	433 MAIN ST	GREEN BAY, WI 54301
17-20020-50	117 NORTH 4TH ST LLC	115 4TH ST N, 117 4TH ST N STE 101-103, 121-123 4TH ST N	450 LOSEY COURT LN	LA CROSSE, WI 54601
17-40381-150	COWGILL PROPERTIES LLC	307 STATE ST	503 COUNTRY CLUB LN	ONALASKA, WI 54650
17-20021-90	USA	425 STATE ST	FORT SNELLING	ST PAUL, MN 55111-4000
17-20018-70	ALYSHAS APARTMENTS LLC	122 3RD ST N, 126 3RD ST N APT 1-19	N2740 GERBERS RD	LA CROSSE, WI 54601
17-20018-90	ALYSHAS APARTMENTS LLC	310-312 STATE ST	N2740 GERBERS RD	LA CROSSE, WI 54601
17-40381-170	BELLE SQUARE PROPCO LLC, BELL SQUARE DB LLC	323 STATE ST APT 201-620	N30W28701 LAKESIDE DR W	PEWAUKEE, WI 53072
17-40381-220	BELLE SQUARE PROPCO LLC, BELL SQUARE DB LLC	320 VINE ST	N30W28701 LAKESIDE DR W	PEWAUKEE, WI 53072
17-20011-20	SCIART HOLDINGS LLC	225-227 3RD ST N	N5935 PARK DR	ONALASKA, WI 54650
17-20018-150	312 STATE LLC	310-312 STATE ST	PO BOX 936	LA CROSSE, WI 54602-0936
17-20018-80	312 STATE LLC	310-312 STATE ST	PO BOX 936	LA CROSSE, WI 54602-0936
APPLICANT	M.E.P. HOSPITALITY LLC	321 STATE ST	321 STATE ST	LA CROSSE WI 54601



M.E.P. HOSPITALITY LLC
321 STATE ST
LA CROSSE WI 54601

NOTICE OF APPLICATION FOR CLASS "B" BEER AND BEER GARDEN LICENSE IN THE CITY OF LA CROSSE

This is to notify you that the following business has applied for a **Class "B" Beer** and **Class B Beer Garden** license under Chapter 10, Article III of the Code of Ordinances of the City of La Crosse to allow consumption of alcoholic beverages in a designated outdoor area, as described below and on the attached drawing.

Pursuant to sec. 4-145 of the Municipal Code, no Class "B" license shall be granted for premises located within 100 feet of lands zoned residential or multiple dwelling without property owners receiving notification.

Pursuant to sec. 10-77, property owners within 200 feet of the proposed premises for a Beer Garden License shall receive notice of an original application.

**M.E.P. Hospitality LLC dba Flatiron
at 321 State St, La Crosse WI 54601**

Beer Garden description: Wood and steel patio located out front of main premises. Approx. 40'x30'.

This application will be considered at the following meetings which are held in the Council Chambers of La Crosse City Hall, 400 La Crosse Street:

- **Judiciary and Administration Committee – Tuesday, March 3, 2026 at 6:00 p.m.**
- **Common Council – Thursday, March 12, 2026 at 6:00 p.m.**

The meeting can be viewed (no participation) by visiting the Legislative Information Center Meetings calendar (<https://cityoflacrosse.legistar.com/Calendar.aspx>) - find the scheduled meeting and click on the "In Progress" video link to the far right in the meeting list.

Written comments may be submitted to the City Clerk's Office by emailing cityclerk@cityoflacrosse.org, by delivery or mail to City Clerk, 400 La Crosse Street, La Crosse WI 54601 or by deposit in the green drop box on the north side of City Hall.

This notice is given pursuant to the order of the Common Council of the City of La Crosse.

Dated this 19th day of February 2026.

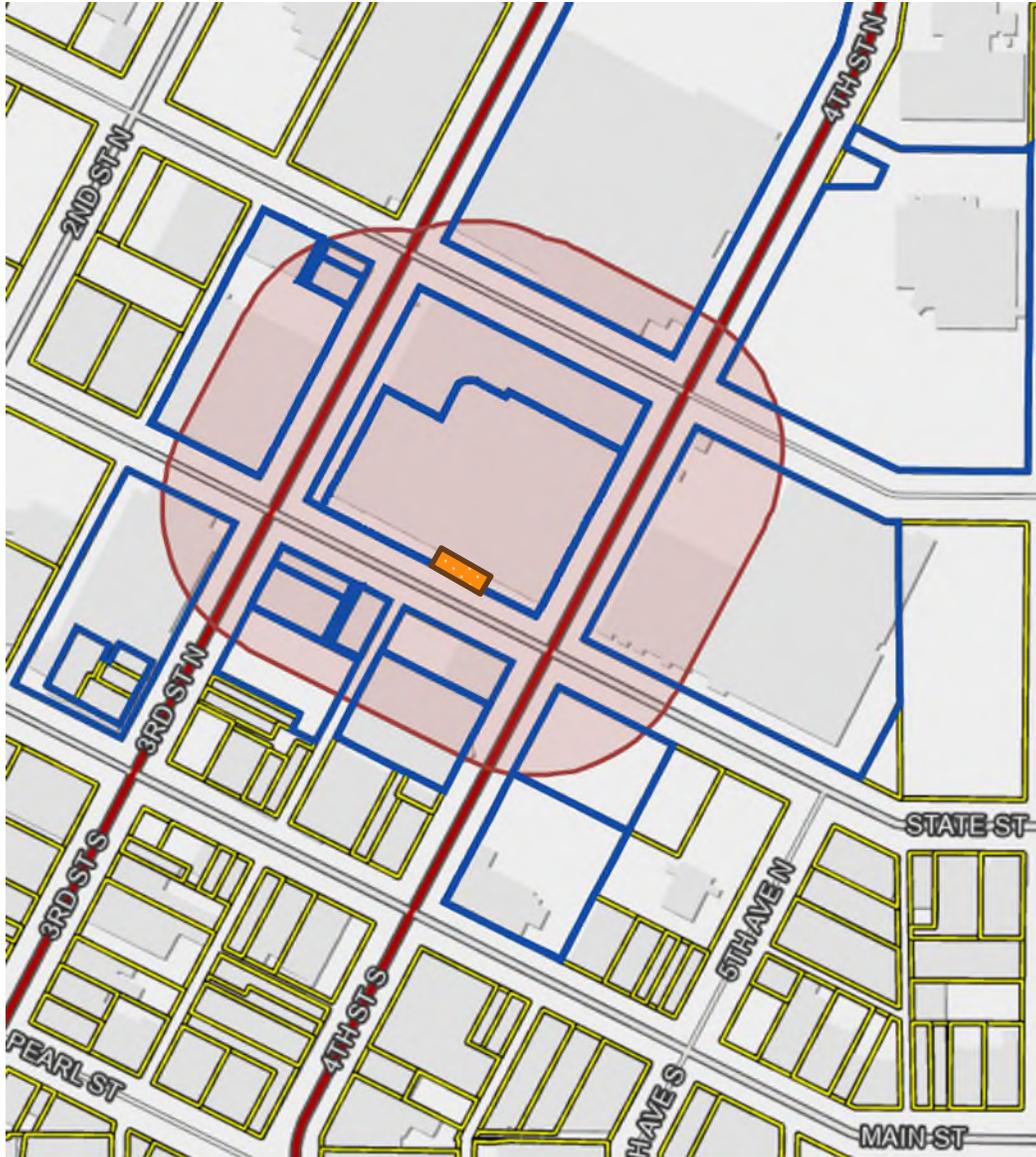
A handwritten signature in black ink, appearing to read "Alicia Smithburg".

Alicia Smithburg
Assistant Clerk

Please note:

Beer Garden area shown in orange.

Properties within 200 feet of the beer garden are shown outlined in blue.





City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0095

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Application

License Number _____

License Fee: \$ _____

License Issued _____

**CITY OF LA CROSSE
APPLICATION FOR PUBLIC VEHICLE FOR HIRE**

Invoice #: _____

License Period: January 1st, 2026 to December 31st, 2026

BUSINESS INFORMATION

Business Name (Real/Legal)	TMT Medical Transport LLC
Trade Name (DBA)	Twilight Medical Transport
Address	1100 Kane St La Crosse WI 54601
Zoning District <i>New addresses must be verified compliant by a building inspector.</i>	
Telephone	608-881-9222
Wisconsin Seller Permit No. <i>Required if vehicles are leased to drivers.</i>	



OWNER INFORMATION

Owner(s) Name <i>(First, Full Middle, Last)</i>	Ronald Chatel	
Owner(s) Date of Birth		
Home Address	1441 George St La Crosse WI 54603	
Telephone	Home	Cell [REDACTED]

- HAVE YOU EVER BEEN CONVICTED OF A FELONY OR MISDEMEANOR? [] YES [X] NO
- HAVE YOU BEEN CONVICTED OF AN ORDINANCE VIOLATION IN THE LAST FIVE (5) YEARS? [] YES [X] NO
- IF EITHER ANSWER IS YES, INCLUDE NATURE OF THE OFFENSE AND PLACE OF CONVICTION (use reverse side, if necessary).

INSURANCE INFORMATION

Insurance Carrier/Agent	<u>SC NATIONAL SPECIALTY / DEBRUYNE INS. AGENCY</u>	
Address	<u>1375 FUR DR, WISCONSIN DELLS, WI 53965</u>	
Telephone/Email	Telephone	<u>608-432-6049</u>

ATTACH A CERTIFICATE OF INSURANCE INDICATING THE INSURANCE CARRIER, INSURED, POLICY NUMBER, POLICY LIMITS AND DURATION OF THE POLICY. ALL INSURED VEHICLES SHALL BE IDENTIFIED ON THE CERTIFICATE OF INSURANCE. The policy must be endorsed naming the City of La Crosse as Additional Insured and said endorsement page must accompany the certificate.

RATE INFORMATION

Method of Charging	Metered Rates <u>x</u> Zone Rates <u> </u> Vehicle Rental Rate <u> </u>
Schedule of Rates <i>(or attach Schedule to be posted the vehicles)</i>	START/PICK-UP: \$2.00, MILEAGE: \$2.50/MILE, WHEELCHAIRS \$25.00, WHEELCHAIR RETURNS(LOCAL) \$1.00/MILE, WHEELCHAIR RETURNS(OUT OF ARE/ <u>1.00/MILE</u> WAITING TIME: \$40.00/HOUR.

VEHICLE INFORMATION

Number of Vehicles to be Licensed	<u>3</u> 10
-----------------------------------	---

VEHICLE ID NUMBER	YEAR, MAKE & MODEL <i>(Model Year Cannot Exceed 10 Years of Age - Renewals are Exempt)</i>	CAPACITY <i>(incl. driver)</i>	STATE & LICENSE NO
5TDX23DC4HS771998	2017 TOYOTA SIENNA	3	WI AZH 8830
4T3BK3BB9FU115476	2015 TOYOTA VENZA	5	WI AMS 8764
5TDKK3DC2ES476117	2014 TOYOTA SIENNA	6	WI AYV 7808
WDZPE7GDXGP241413	2016 MERCEDES BENZ SPRINTER	7	WI AZL 9215
5TDZZ3DC8HS899749	2017 TOYOTA SIENNA	5	WI AYV 7807

*vehicles with capacities of 16 or greater that have both a valid USDOT and MC number are exempt.

~~5TDZK3DC5ES480662~~ 2014 Toyota Sienna | 5

ATTACH ORIGINAL CERTIFICATE OF INSPECTION FOR EACH VEHICLE certifying that the vehicle to be used for hire is in good mechanical condition. The inspection and certificate must be completed by an A.S.E. Certified Technician.

ATTACH A CERTIFICATE OF INSURANCE. All insured vehicles shall be identified on the certificate by Make, Model and VIN. Said policy must be endorsed naming the City of La Crosse as additional insured. Said endorsement MUST accompany the Certificate of Insurance at the time of filing. Note: A statement of additional insured on the certificate is not acceptable; we must receive the endorsement page.

ATTACH A PHOTOCOPY OF THE TITLE/CONFIRMATION OF OWNERSHIP & REGISTRATION FOR EACH VEHICLE (the title/confirmation must be in the name of business or owner); required for original vehicle application only. Note: A salvage title may not be used as a public vehicle until the vehicle has been repaired and inspected by an authorized salvage vehicle inspector and rebranded for road use (a copy of the inspection must be provided).

ATTACH PHOTOCOPY OF LEASE OR RENTAL AGREEMENT, if applicable. This is required of new applicants or when there is a change in business address only.

The above hereby makes application for a Public Vehicle For Hire License within the City of La Crosse pursuant to Chapter 10, Article XIII of the Code of Ordinances of the City of La Crosse.

I hereby attest that the information contained in this application is true and correct. I am aware that withholding information or making false statements on this application will be basis for denial/revocation of license. I further certify that the above automobile(s) was inspected by an A.S.E. certified technician and will be kept in good mechanical condition at all times and will comply with the provisions of law pertaining to public vehicles for hire (Ch. 10, Article XIII of the La Crosse Municipal Code).

SIGNATURE OF APPLICANT Donald Chastel DATE 1-19-26

LICENSE [] APPROVED [] DENIED
SIGNATURE OF POLICE REPRESENTATIVE _____ DATE _____

CERTIFICATE OF INSPECTION

#13

NAME OF BUSINESS Twilight Medical Transport LLC

VEHICLE MAKE Ford MODEL SIEGNE YEAR 2014

VIN 5TDJ2K3JCSE5480662

	NEEDS REPAIR	DATE OF REPAIR	NO REPAIR NECESSARY
Headlamps (incl. cover and aim)	OK		
Parking Lamps	RR Tailgate Out		
Directional Lamps	OK		
Flashing Warning Lamps	OK		
Side Marker Lamps/Reflectors	OK		
Tail Lamps (incl. cover)	OK		
Back Up Lamps	OK		
Brake Lamps	OK		
Steering System	Left Tie Rod play		
Hood & Trunk Latches	OK		
Emission/Exhaust System	OK		
Tires (incl. spare & jack) <small>(Note: tire-tread depth shall not be less than 2/32 of an inch)</small>	OK		
Windshield (incl. wipers & washers)	OK		
Windows (side, rear)	OK		
Windshield Defroster	OK		
Horn	no		
Mirrors	OK		
Speed Indicator	OK		
Restraining Devices & Seats	OK		
Brakes (incl. parking brake)	Fronts Due		
Heater	OK		
Air Conditioning	OK		
Door Handles (interior & exterior)	OK		

DISCLOSURE STATEMENT: I am an A.S.E. Certified Technician with an unexpired certificate and have exercised reasonable diligence in inspecting this vehicle. On the basis of such inspection, I declare the apparent existing condition to be as indicated above.

A.S.E. Certified Technician: Signature: Colin Beper Printed Name: ANDREW BEPERMAN

Business: ANDYS AUTO SERVICE Address: 641 So 2nd Ave Date: 12-28-25
Chalaski WI

Per Sec. 10-589, each public passenger vehicle shall be kept and maintained in a safe and reliable condition. To insure the safe condition of all motor vehicles, applicant must present to the City Clerk an original certificate of inspection as to the mechanical condition of the automobile from an A.S.E. certified technician (other than vehicle owner/employee).

CERTIFICATE OF INSPECTION

#3

NAME OF BUSINESS TWILIGHT MEDICAL TRANSPORT LLC

VEHICLE MAKE PORTA MODEL VENZA YEAR 2015

VIN 4T3BK3BB9FU115476

	NEEDS REPAIR	DATE OF REPAIR	NO REPAIR NECESSARY
Headlamps (incl. cover and aim)	OK		
Parking Lamps	OK		
Directional Lamps	OK		
Flashing Warning Lamps	OK		
Side Marker Lamps/Reflectors	OK		
Tail Lamps (incl. cover)	OK		
Back Up Lamps	OK		
Brake Lamps	OK		
Steering System	OK		
Hood & Trunk Latches	OK		
Emission/Exhaust System	OK		
Tires (incl. spare & jack) <i>(Note: tire-tread depth shall not be less than 2/32 of an inch)</i>	OK		
Windshield (incl. wipers & washers)	OK		
Windows (side, rear)	OK (left Rear Dust work)		
Windshield Defroster	OK		
Horn	OK		
Mirrors	OK		
Speed Indicator	OK		
Restraining Devices & Seats	OK		
Brakes (incl. parking brake)	OK		
Heater	OK		
Air Conditioning	OK		
Door Handles (interior & exterior)	OK		

DISCLOSURE STATEMENT: I am an A.S.E. Certified Technician with an unexpired certificate and have exercised reasonable diligence in inspecting this vehicle. On the basis of such inspection, I declare the apparent existing condition to be as indicated above.

A.S.E. Certified Technician: Signature: Andrew Begeyan Printed Name: ANDREW BEGEYAN

Business: ANDYS AUTO SERVICE Address: 641 So 2nd ave Date: 12-22-25
ANCHORAGE

Per Sec. 10-589, each public passenger vehicle shall be kept and maintained in a safe and reliable condition. To insure the safe condition of all motor vehicles, applicant must present to the City Clerk an original certificate of inspection as to the mechanical condition of the automobile from an A.S.E. certified technician (other than vehicle owner/employee).

CERTIFICATE OF INSPECTION

41

NAME OF BUSINESS TWILIGHT MEDICAL TRANSPORT LLC

VEHICLE MAKE TOYOTA MODEL SEVILLA YEAR 2014

VIN 5TOKK3DC2ES476117

	NEEDS REPAIR	DATE OF REPAIR	NO REPAIR NECESSARY
Headlamps (incl. cover and aim)	OK		
Parking Lamps	OK		
Directional Lamps	OK		
Flashing Warning Lamps	OK		
Side Marker Lamps/Reflectors	OK		
Tail Lamps (incl. cover)	OK		
Back Up Lamps	OK		
Brake Lamps	OK		
Steering System	OK		
Hood & Trunk Latches	OK		
Emission/Exhaust System	OK		
Tires (incl. spare & jack) <small>(Note: tire-tread depth shall not be less than 2/32 of an inch)</small>	no spare		
Windshield (incl. wipers & washers)	OK		
Windows (side, rear)	OK		
Windshield Defroster	OK		
Horn	NO		
Mirrors	OK		
Speed Indicator	OK		
Restraining Devices & Seats	OK		
Brakes (incl. parking brake)	Rear Disc		
Heater	OK		
Air Conditioning	OK		
Door Handles (interior & exterior)	Left Rear Door work		

DISCLOSURE STATEMENT: I am an A.S.E. Certified Technician with an unexpired certificate and have exercised reasonable diligence in inspecting this vehicle. On the basis of such inspection, I declare the apparent existing condition to be as indicated above.

A.S.E. Certified Technician: Signature: Andrew Bebey Printed Name: ANDREW BEBEY

Business: Only Auto Service Address: 641 502nd Ave Date: 12-23-2015

Per Sec. 10-589, each public passenger vehicle shall be kept and maintained in a safe and reliable condition. To insure the safe condition of all motor vehicles, applicant must present to the City Clerk an original certificate of inspection as to the mechanical condition of the automobile from an A.S.E. certified technician (other than vehicle owner/employee).

Vehicle List and Schedule of Rates

Twilight Medical Transport LLC - Vehicle Listing 2026			
Year, Make, Model	VIN	License Plate	Capacity
2014 Toyota Sienna	5TDKK3DC2ES476117	AYV7808	6
2014 Toyota Sienna	5TDZK3DC5ES480662	AZL9053	6
2015 Toyota Venza	4T3BKBB9FU115476	AMS8764	5
2026 Metered Rates:			
Pick Up: \$2.00	Mileage: \$2.50/mile	Wait Time: \$40.00/hour	
Wheelchairs: \$25.00	Wheelchair Returns: \$1.00/mile (Local) \$1.00/mile (out of area)		

Office of City Clerk



February 20, 2026

ATTN: RONALD CHATEL
TWILIGHT MEDICAL TRANSPORT LLC
1100 KANE ST
LA CROSSE WI 54601

Dear Ronald,

Our office is in receipt of the application for the Public Vehicle for Hire License for Twilight Medical Transport LLC dba T.M.T. Medical Transportation & Taxi Service

The application will be considered at the following meetings:

Judiciary & Administration Committee

Tuesday, March 3, 2026, 6:00 p.m.

Council Chambers, City Hall – 400 La Crosse St.

Common Council

Thursday, March 12, 2026, 6:00 p.m.

Council Chambers, City Hall – 400 La Crosse St.

It is recommended that someone attend the J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is generally not allowed at the Council meeting although there may be questions of Council Members. The application will appear on the agendas as File # 26-0095.

Attendance is allowed either in person or virtually. I will also be sending you an email with the dates listed above and the Zoom link for the J&A meeting. If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig, Deputy Clerk

craigs@cityoflacrosse.org

608-789-7549

cc: Ronald Chatel – DRIVERCHATEL@HOTMAIL.COM

Office of City Clerk



February 18, 2026

Ed Debruyne
Debruyne Insurance
Via email Ed@debins.com

Ronald A Chatel
Twilight Medical Transport LLC
Via email tmtllclacrosse@gmail.com

Re: 2026 Public Passenger Vehicle for Hire License – Insurance Requirements

Ed Debruyne and Ron Chatel.

Following additional review and consultation, it has been determined that National Specialty Insurance Company is licensed by the Wisconsin Office of Commissioner of Insurance and the automobile policy is sufficient.

There are a few issues that need to be corrected on the Certificate of Insurance:

- The NAIC#s need to be provided for both Insurer A and Insurer B.
- If National Specialty Insurance Company is Insurer B, please update the name. Perhaps SC National Specialty is the alias, but that name was not found to be licensed in Wisconsin.
- The City requires to be named additional insured under both the commercial general liability and the automobile policy. The intent of Sec. 2-2(19) is that the City obtain coverage for both bodily injury and property damage caused by either a vehicle incident (auto) or business operations unrelated to a vehicle incident (general). The language is vague as to admitted carrier for the general liability, so at this time, that requirement is only of the auto insurer.
- In the ADDL INSD column, there should be indication that the policy is endorsed or in the description you can leave the language, but you need to identify the policy numbers i.e., Certificate Holder is an additional insured to policy GUAH000932-00 and 202600600663.

City of La Crosse, 400 La Crosse Street La Crosse, WI 54601
cityclerk@cityoflacrosse.org | 608-789-7510 www.cityoflacrosse.org

Thank you for your prompt attention to this matter.

Regards,



Nikki M. Elsen, WCMC
City Clerk

Cc: City of La Crosse Legal Department



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0121

Agenda Date: 3/3/2026

Version: 2

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

ORDINANCE NO.: _____

AN ORDINANCE to amend Secs. 103-34(h)(7), 103-138(e)(5), 103-169(d)(4), 103-229(e)(5), and 105-28(b) of the Code of Ordinances of the City of La Crosse regarding annual increase in fees for certain regarding fees for building, plumbing, electrical, HVAC and erosion control permits.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Section 103-34. (h) (7) is hereby amended to read as follows:

Sec. 103-34. (h) (7)

(7) Beginning January 1, 2010, and each January 1 thereafter, all fees under this subsection (h) shall automatically increase by the Consumer Price Index for All Urban Consumers (SPI-U) or as approved by the Common Council.

SECTION II: Section 103-138. (e) (5) is hereby amended to read as follows:

Sec. 103-138. (e) (5)

(5) Beginning January 1, 2010, and each January 1 thereafter, all fees under this subsection (e) shall automatically increase by the Consumer Price Index for All Urban Consumers (SPI-U) or as approved by the Common Council.

SECTION III: Section 103-169. (d) (4) is hereby amended to read as follows:

Sec. 103-169. (d) (4)

(4) Beginning January 1, 2010, and each January 1 thereafter, all fees under this subsection (h) shall automatically increase by the Consumer Price Index for All Urban Consumers (SPI-U) or as approved by the Common Council.

SECTION IV: Section 103-229. (e) (5) is hereby amended to read as follows:

Sec. 103-229. (e) (5)

(5) Beginning January 1, 2010, and each January 1 thereafter, all fees under this subsection (e) shall automatically increase by the Consumer Price Index for All Urban Consumers (SPI-U) or as approved by the Common Council.

SECTION V: Section 105-28. (b) is hereby amended to read as follows:

Sec. 105-28. (b)

(b) *Permit application and fees.* The responsible party that will undertake a land disturbing construction activity subject to this article shall submit an application for a permit and an erosion and sediment control plan that meets the requirements of section 105-29, and shall pay an application fee in the amount provided in a fee schedule ~~established by the Common Council, that may be from time to time modified by resolution.~~ Beginning January 1, 2026, and each January 1 thereafter, the erosion control permit fees shall automatically increase by the Consumer Price Index for All Urban Consumers (CPI-U) or as approved by the Common Council. By submitting an application, the applicant is authorizing Community Risk Management to enter the site to obtain information required for the review of the erosion and sediment control plan.

SECTION VI: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION VII: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0123

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

ORDINANCE NO.: _____

AN ORDINANCE to amend Sec. 103-194 of the Code of Ordinances of the City of La Crosse to adopt the State of Wisconsin current version of the National Fuel Gas Code.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Section 103-194 is hereby amended to read as follows:

Sec. 103-194.

The provisions of the National Fuel Gas Code, ~~2009~~ 2021 Edition of ANSI Z223.1-NFPA 54, is hereby incorporated by reference and any amendments thereto. The installation of gas appliance burners, vents and piping not regulated by this division shall be made in conformance with such requirements and shall not be put into operation until the gas supplier has inspected such installation. All gas appliances other than heating system shall have a separately manually operated approved shut-off valve or cock installed in the gas piping system near the appliance to shut off the gas supply to the appliance for servicing.

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0126

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Resolution

Resolution approving 2026 Joint Powers Agreement - County 9-1-1 Emergency System between the City and County of La Crosse.

RESOLUTION

BE IT RESOLVED by the Common Council of the City of La Crosse that the 2026 Joint Powers Agreement - County 9-1-1 Emergency System is hereby approved.

BE IT FURTHER RESOLVED that the Mayor and City Clerk are hereby authorized to execute the same.



LA CROSSE COUNTY
Exceptional services. Extraordinary place.

La Crosse County Emergency Services 911
Courthouse and Law Enforcement Center
333 Vine Street Room 900
La Crosse, WI 54601-3200

January 14, 2026

Mayor Shaundel Washington-Spivey
Attn: Nikki Elsen
City of La Crosse
400 La Crosse St.
La Crosse, WI 54601

Dear Mayor Washington-Spivey

Enclosed please find two copies of the Joint Powers Agreement for 2026.

As you know, Wis. Stats. 256.35 (9) requires a new agreement be signed each year. Therefore, the enclosed agreement will be in effect for 2026. No changes have been made to the existing agreement.

Kindly sign and return one copy to Emergency Services at your earliest convenience

One copy is for your records.

Thank you.

La Crosse County Emergency Services

Patti Jakowski

Enclosures

JOINT POWERS AGREEMENT
COUNTY 9-1-1 EMERGENCY SYSTEM

WHEREAS, La Crosse County and the municipalities located within the boundaries of La Crosse County have implemented an Emergency 9-1-1 System for the purposes of providing emergency services to residents and visitors of these municipalities, including fire fighting, law enforcement, ambulance, medical and other emergency services; and

WHEREAS, Sec. 256.35 (9), Wis. Stats., "Joint Powers Agreement," requires that in implementing a 9-1-1 system as has been done in La Crosse County, municipalities shall annually enter into a Joint Powers Agreement, which Agreement shall be applicable on a daily basis and which shall provide that if an emergency services vehicle is dispatched in response to a request through the La Crosse County 9-1-1 System, such vehicle shall render its services to the persons needing the services, regardless of whether the vehicle is operating outside the vehicle's normal jurisdictional boundaries.

THEREFORE, in consideration of the mutual promises, agreements, and conditions contained herein, it is hereby jointly agreed between La Crosse County and the Town/City/Village of CITY OF LA CROSSE follows:

1. That effective January 1, 2026, this Agreement shall, thereafter, be applicable on a daily basis from said date through December 31, 2026
2. That if an emergency services vehicle operated by the municipality, or operated by an agency with which the municipality contracts for that particular emergency service, is dispatched in response to a request through the La Crosse County Emergency 9-1-1 System, such vehicle (whether owned and operated by the municipality or by the agency) shall render its services to the persons needing the services, regardless of whether the vehicle is operating outside the vehicle's normal jurisdictional (or as defined by contract) boundaries.
3. That a copy of this Agreement shall be filed with the State Department of Justice, as required by sec 256.35 (9), Wis. Stats.

LA CROSSE COUNTY (Dispatching agency)

By: 
(County Board Chairperson)

City of LaCrosse (Participating agency)
(Town/City/Village)

By: 
(Chairperson/Mayor/President)



CITY OF LA CROSSE

**400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org**

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0127

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

ORDINANCE NO.: _____

AN ORDINANCE to create Chapter 46, Article II, Subsection 44 of the Code of Ordinances of the City of La Crosse regarding Fire Suppression System Coordination and Testing.

WHEREAS, the City of La Crosse has adopted the National Public Fire Protection (NFPA) Code. (Wis. Admin. SPS 314.001; La Crosse Ordinance Sec. 18-64), and

WHEREAS, NFPA Section 4.1.4 requires property owners or their designated representative to notify the authority having jurisdiction (The La Crosse Water Utility), and the fire department before testing or shutting down a system or its supply.

NOW, THEREFORE, THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Chapter 46, Article II, Section 44 is hereby created to read as follows:

Sec. 46-44. Fire Suppression System Coordination and Testing.

- (a) Purpose: The purpose of this Section is to ensure that adequate water supply and pressure are maintained for all customers, as well as to minimize service disruptions, particularly during high-volume fire suppression system testing or operation.
- (b) Capacity Coordination Requirement: All customers operating or planning to install, a fire suppression system capable of drawing 1,500 gallons per minute (GPM) or more must perform a hydraulic analysis to ensure system capability with water services and provide the results to the Water Utility.
- (c) Advance Notification of Testing and Timing of Testing
 - (1) Customers with fire suppression systems capable of 1,500 GPM or more shall provide advance notification prior to testing. Notification shall be with the Water Utility Superintendent or Assistant Superintendent and be at least 10 business days in advance of any scheduled testing. The Customer and the Water Utility shall agree on the time of day to conduct the testing.
 - (2) Fire suppression system testing for 1,500 GPM systems or more shall only be conducted within 60 days after the most recent Water Utility routine hydrant flushing in the area.
 - (3) The Utility will provide the customer with a hydrant flushing schedule upon request.

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This Ordinance shall take effect upon passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0133

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

Agenda Number: 2.

ORDINANCE NO.: _____

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Special Residence District, allowing for three rental units (one duplex and a single-family unit) at 1402 & 1410 Gillette Street and 1552 Loomis Street.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Subsection 115-110 of the Code of Ordinances of the City of La Crosse is hereby amended by transferring certain property from the Single Family Residence District to the Special Residence District on the Master Zoning Map, to-wit:

Tax Parcel 17-10150-50; 1402 & 1410 Gillette St. and 1552 Loomis St.

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:

PETITION FOR CHANGE TO ZONING
CITY OF LA CROSSE

AMENDMENT OF ZONING DISTRICT BOUNDARIES

Petitioner (name and address):

Nicholas Webb 51350 Garlick Rd. Westby, WI 54667

Owner of site (name and address):

Blow Enterprises LLC
1410 Gillette St LaCrosse

Address of subject premises:

1410 Gillette St LaCrosse (1402 Gillette + 1552 Loomis)

Tax Parcel No.:

17-10150-050

Legal Description (must be a recordable legal description; see Requirements):

First Addition to Spier + Canterburys Addition Lot 7
Block 12 Lot 52: 45 X 140

Zoning District Classification:

R1 - Single Family

Proposed Zoning Classification:

R3 - Special Residence

Is the property located in a floodway/floodplain zoning district?

Yes No

Is the property/structure listed on the local register of historic places?

Yes No

Is the Rezoning consistent with Future Land Use Map of the Comprehensive Plan?

Yes No

Is the Rezoning consistent with the policies of the Comprehensive Plan?

Yes No

Property is Presently Used For:

Rentals

Property is Proposed to be Used For:

Rentals

Proposed Rezoning is Necessary Because (Detailed Answer):

The buildings are zoned R1 and needs to be rezoned R3 because
it is 3 rental units

Proposed Rezoning will not be Detrimental to the Neighborhood or Public Welfare Because (Detailed Answer):

unit is already been in use for the past 5-6 years

Proposed Rezoning will not be Detrimental to the City's Long Range Comprehensive Plan Goals, Objectives, Actions and Policies Because (Detailed Answer):

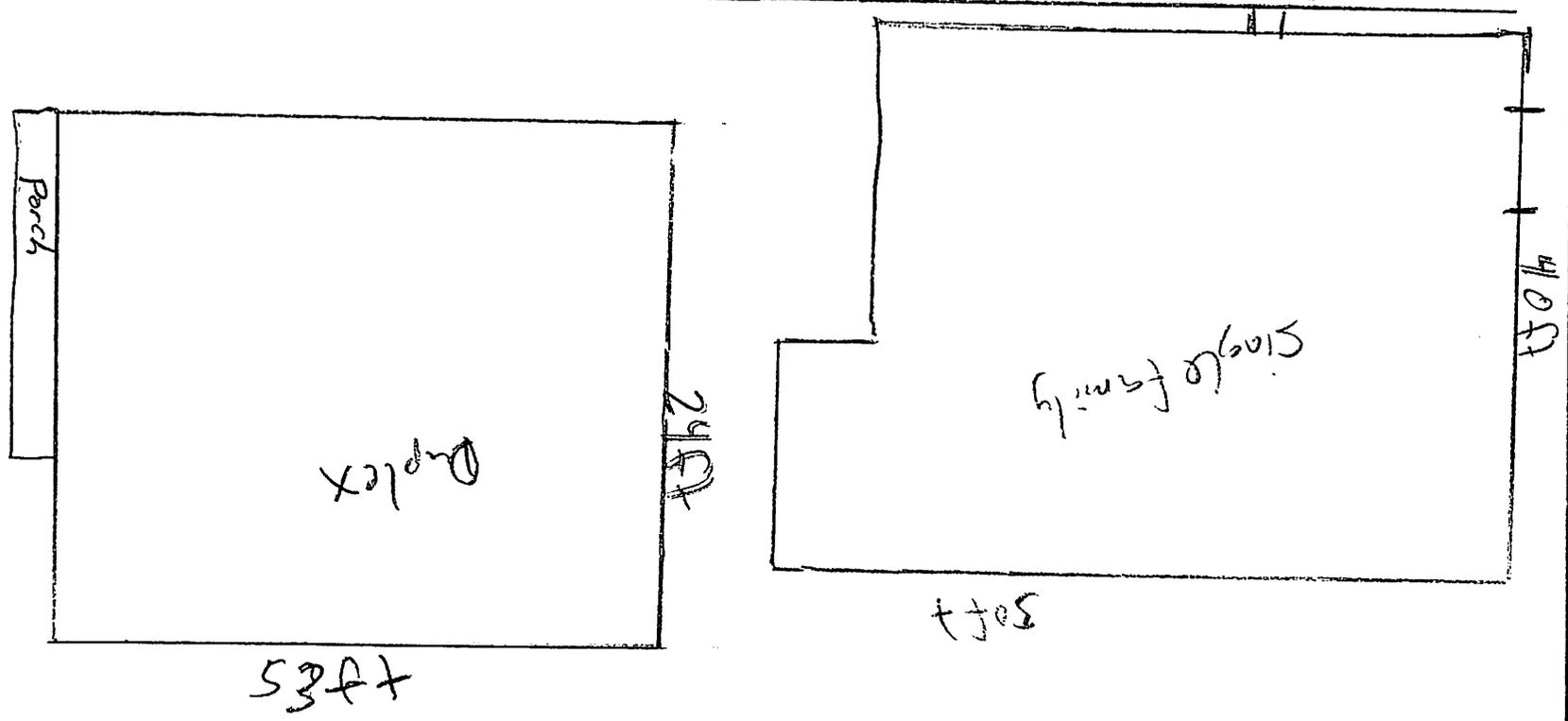
No it will not The building has already been a rental unit.

Gillete St.

side walk

Loomis Street

A11g



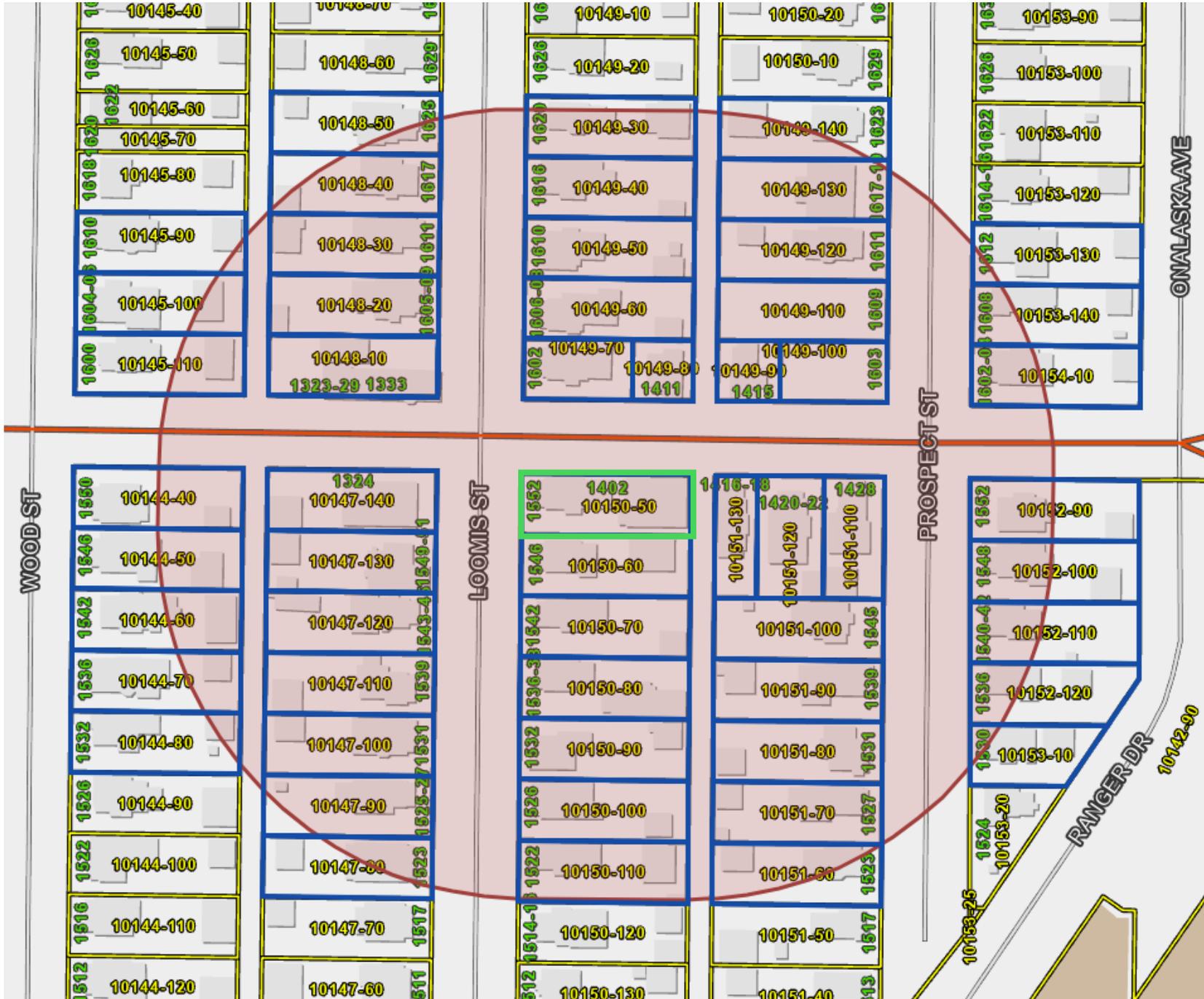
1552 Loomis, 1402 & 1410 Gillete

Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-10144-40	JOHN A WEBER	1550 WOOD ST	1550 WOOD ST	LA CROSSE WI 54603-2214
17-10144-50	TARA S MEZERA, PETER L MEZERA	1546 WOOD ST	1546 WOOD ST	LA CROSSE WI 54603
17-10144-60	LINDA L CAPONIGRO, THOMAS CAPONIGRO	1542 WOOD ST	1542 WOOD ST	LA CROSSE WI 54603-2214
17-10144-70	TRACEY L HORSTMAN, SHAWN R HORSTMAN	1536 WOOD ST	1536 WOOD ST	LA CROSSE WI 54603-2214
17-10144-80	JOHN P KOVARI	1532 WOOD ST	1532 WOOD ST	LA CROSSE WI 54603-2214
17-10145-100	CAROLE R STRITTMATER REVOCABLE TRUST	1604 & 1606 WOOD ST	1606 WOOD ST	LA CROSSE WI 54603
17-10145-110	WILLIAM G TILSON	1600 WOOD ST	1600 WOOD ST	LA CROSSE WI 54603-2216
17-10145-90	HEIDI N GRAHAM TRUST	1610 WOOD ST	1610 WOOD ST	LA CROSSE WI 54603-2216
17-10147-100	AUSTIN S RAMSEY	1531 LOOMIS ST	1531 LOOMIS ST	LA CROSSE WI 54603-2254
17-10147-110	MICHAEL N DEVINE, SANDRA J DEVINE	1539 LOOMIS ST	1539 LOOMIS ST	LA CROSSE WI 54603-2254
17-10147-120	NEIGHBORHOOD RENTALS LLC	1543 & 1545 LOOMIS ST	440 BARRANCA AVE N #8508	COVINA CA 91723
17-10147-130	COLLINS RENTALS OF LACROSSE LLC	1549 & 1551 LOOMIS ST	3815 MORMON COULEE RD #100	LA CROSSE WI 54601
17-10147-140	CAROL A SIMS	1324 GILLETTE ST	13876 SWISS LN	TRUCKEE CA 96161
17-10147-80	ARLENE S SARVIDA	1523 LOOMIS ST	1523 LOOMIS ST	LA CROSSE WI 54603-2254
17-10147-90	J & J PROPERTIES I LLC	1525 & 1527 LOOMIS ST	N8359 MCWAIN DR	HOLMEN WI 54636
17-10148-10	LITTLE WHITE CHURCH HOUSE LLC	1323, 1325, 1327, 1329, 1333 GILLETTE ST	S1341 HARRIS RD	HILLSBORO WI 54634
17-10148-20	BULLSEYE PROPERTY INVESTMENTS LLC	1605, 1607, 1609 LOOMIS ST	N4517 MEADOW WOOD RD	ONALASKA WI 54650
17-10148-30	DOUGLAS M PATROS, COLLEEN E PATROS	1611 LOOMIS ST	1611 LOOMIS ST	LA CROSSE WI 54603-2253
17-10148-40	SCOTT T WENZLAFF	1617 LOOMIS ST	1617 LOOMIS ST	LA CROSSE WI 54603
17-10148-50	JOSHUA J HEIN, STEPHANIE R HEIN	1625 LOOMIS ST	1625 LOOMIS ST	LA CROSSE WI 54603-2253
17-10149-100	ERIN M COZY	1603 PROSPECT ST	1603 PROSPECT ST	LA CROSSE WI 54603-2249
17-10149-110	ROGER M PAFFORD	1609 PROSPECT ST	1609 PROSPECT ST	LA CROSSE WI 54603-2249
17-10149-120	JACK B HAHM	1611 PROSPECT ST	1611 PROSPECT ST	LA CROSSE WI 54603
17-10149-130	WALTER M ROLES, ELLEN ROLES	1617 & 1619 PROSPECT ST	777 LOSEY BLVD N	LA CROSSE WI 54601
17-10149-140	WESLEY QUINTANA, MADDISON QUINTANA	1623 PROSPECT ST	1623 PROSPECT ST	LA CROSSE WI 54603-2249
17-10149-30	CHARLES T BAKER	1620 LOOMIS ST	1620 LOOMIS ST	LA CROSSE WI 54603-2266
17-10149-40	SHELTON LEWIS TOMLINSON, MICHAELA LINETTE TOMLINSON	1616 LOOMIS ST	1616 LOOMIS ST	LA CROSSE WI 54603-2266
17-10149-50	ANN L FRY	1610 LOOMIS ST	1610 LOOMIS ST	LA CROSSE WI 54603
17-10149-60	NRE INVESTMENTS LLC	1606 & 1608 LOOMIS ST	1400 PINE ST	LA CROSSE WI 54601
17-10149-70	MARK A MCBAIN	1602 LOOMIS ST	1602 LOOMIS ST	LA CROSSE WI 54603-2266
17-10149-80	MEGHANN E MADIGAN	1411 GILLETTE ST	1411 GILLETTE ST	LA CROSSE WI 54603-2281
17-10149-90	SHARON K THOFTNE, KERMIT J THOFTNE	1415 GILLETTE ST	1415 GILLETTE ST	LA CROSSE WI 54603-2281
17-10150-100	ERIC J KORISH, KARLA A KORISH	1526 LOOMIS ST	1526 LOOMIS ST	LA CROSSE WI 54603-2265
17-10150-110	DELORES M JOHNSON REVOCABLE TRUST	1522 LOOMIS ST	1522 LOOMIS ST	LA CROSSE WI 54603
17-10150-60	SAMPSON SCHUR	1546 LOOMIS ST	1546 LOOMIS ST	LA CROSSE WI 54603-2265
17-10150-70	KRISTI M CEASON	1542 LOOMIS ST	1542 LOOMIS ST	LA CROSSE WI 54603-2265
17-10150-80	JASON E HALL	1536 & 1538 LOOMIS ST	1536 LOOMIS ST	LA CROSSE WI 54603-2265
17-10150-90	JUDITH E MYER	1532 LOOMIS ST	1532 LOOMIS ST	LA CROSSE WI 54603-2265
17-10151-100	JEREMY M TANGEN	1545 PROSPECT ST	1545 PROSPECT ST	LA CROSSE WI 54603-2250
17-10151-110	RAYMOND BAILEY	1428 GILLETTE ST	1428 GILLETTE ST	LA CROSSE WI 54603-2262
17-10151-120	JACOB DORNBUSCH	1420 & 1422 GILLETTE ST	1420 GILLETTE ST	LA CROSSE WI 54603
17-10151-130	SPARKS HOLDINGS LLC	1416 1418 GILLETTE ST	N11830 WHISPERING PINES LN	TREMPEALEAU WI 54661
17-10151-60	CHARLES K SNIDER, CYNTHIA L SNIDER	1523 PROSPECT ST	1523 PROSPECT ST	LA CROSSE WI 54603-2250
17-10151-70	LAURA M BEIRNE	1527 PROSPECT ST	1527 PROSPECT ST	LA CROSSE WI 54603-2250
17-10151-80	JESSE J STEINHOFF, KATIE HANSEN	1531 PROSPECT ST	1531 PROSPECT ST	LA CROSSE WI 54603-2250
17-10151-90	FREDERICK E TYDRICH	1539 PROSPECT ST	1539 PROSPECT ST	LA CROSSE WI 54603-2250
17-10152-100	SHEA EALEY RENTALS LLC	1548 PROSPECT ST	W8052 AUGUST AVE	HOLMEN WI 54636
17-10152-110	ANDREW J BECKER	1540 & 1542 PROSPECT ST	1540 PROSPECT ST	LA CROSSE WI 54603
17-10152-120	KAYLYNN A MCDOWELL	1536 PROSPECT ST	1536 PROSPECT ST	LA CROSSE WI 54603-2203
17-10152-90	STEVEN G BECKER, LORI A BECKER	1552 PROSPECT ST	1552 PROSPECT ST	LA CROSSE WI 54603-2203
17-10153-10	VUE LEE, SONG V LEE	1530 PROSPECT ST	1513 WOOD ST	LA CROSSE WI 54603-2241
17-10153-130	DANG XIONG, YANG THAO L XIONG	1612 PROSPECT ST	1612 PROSPECT ST	LA CROSSE WI 54603-2268
17-10153-140	KIMBERLY M NISSALKE	1608 PROSPECT ST	1608 PROSPECT ST	LA CROSSE WI 54603
17-10154-10	TED A DUNCAN, MARY ANN DUNCAN	1602 & 1604 PROSPECT ST	1064 TERRACE DR	ONALASKA WI 54650-2130

Properties within 300 feet of 1402 & 1410 Gillette St & 1552 Loomis St.

Owner	BNW ENTERPRISES LLC	1402 GILLETTE ST & 1552 LOOMIS ST	S1350 GARLICK RD	WESTBY WI 54667
Applicant	NICHOLAS WEBB		S1350 GARLICK RD	WESTBY WI 54667

Properties within 300 feet of 1402 Gillette St & 1552 Loomis St.



**NOTICE OF HEARING ON
AMENDMENT TO ZONING RESTRICTION**

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Special Residence District, allowing for three rental units (one duplex and a single-family unit) at 1402 & 1410 Gillette Street and 1552 Loomis Street.

Property is presently: three rental units, one single family & one duplex

Property is proposed to be: three rental units, one single family & one duplex

Rezoning is necessary: to allow for the continued use of the property as three rental units

Tax Parcel 17-10150-50; 1402 & 1410 Gillette St. and 1552 Loomis St.

The City Plan Commission will meet to consider such application on **Monday, March 2, 2026, at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

A public hearing before the Judiciary & Administration Committee will be held on **Tuesday, March 3, 2026, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the **Common Council** on **Thursday, March 12, 2026, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The petition and/or maps relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 26-0133).

Dated this 10th day of February, 2026.

Nikki M. Elsen, City Clerk
City of La Crosse

Published: February 17 & 24, 2026
One (1) Affidavit

CITY CLERK

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LA CROSSE WI 54601

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AFFIDAVIT OF PUBLICATION

Lacrosse Tribune
1407 St. Andrew St., La Crosse, WI 54603
(866) 735-5631

Retain this portion for your records. Please do not remit payment until you receive your advertising invoice.

State of Florida, County of Orange, ss:

Anjana Bhadoriya, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of Lee Enterprises, publishers of Lacrosse Tribune, a newspaper at, La Crosse, for county of La Crosse, in the state of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published, therein on the dates listed below.

PUBLICATION DATES:

February. 17 2026, February. 24 2026

NOTICE ID: qlg2XtNbdIM4cfc5zvuB

PUBLISHER ID: COL-WI-102030

NOTICE NAME: Rezoning - Gillette & Loomis

Publication Fee: \$175.31

Section: Legals

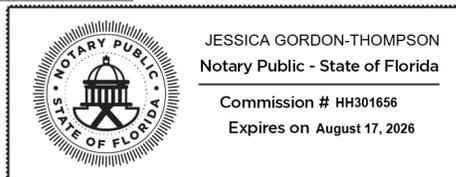
Category: 0001 Wisconsin Legals

Anjana Bhadoriya

(Signed) _____

VERIFICATION

State of Florida
County of Orange



Subscribed in my presence and sworn to before me on this: **02/24/2026**

J. Gordon-Thompson

Notary Public

Notarized remotely online using communication technology via Proof.

NOTICE OF HEARING ON AMENDMENT TO ZONING RESTRICTION

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Dated this 11th day of February, 2026.

Nikki M. Elsen, City Clerk
City of La Crosse
2/17, 2/24 LAC
COL-WI-102030 WNAXLP

Agenda Item 26-0133 (Jenna Dinkel)

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Special Residence District, allowing for three rental units (one duplex and a single-family unit) at 1402 & 1410 Gillette Street and 1552 Loomis Street.

General Location

Council District 3, Logan Northside Neighborhood Association. Located on the corner of Gillette and Loomis Street as depicted on attached Map PC26-0133. The property is surrounded by R-1 Single Family and some R2-Residence.

Background Information.

The applicant is requesting a rezoning from R-1 Single Family to R-3 Special Residence District. There is currently a duplex and an accessory structure with a dwelling unit and attached garage on the property. The dwelling unit on the accessory structure was added around 2018. No permits were obtained to add the dwelling to the accessory structure. The property has since been sold to a new property owner.

Prior to the dwelling unit in the accessory structure the property was legal non-conforming. The property is now non-conforming. The Building and Inspections Department conducted an inspection of the property. The inspection verified the violation of code with two principal structures on one lot.

The rezoning to R-3 Special Residence District is one of the steps needed to bring this property into compliance. The property owner will also need to submit plans to connect the two structures to Building & Inspections and receive a setback variance from the Board of Zoning Appeals.

Recommendation of Other Boards and Commissions

N/A

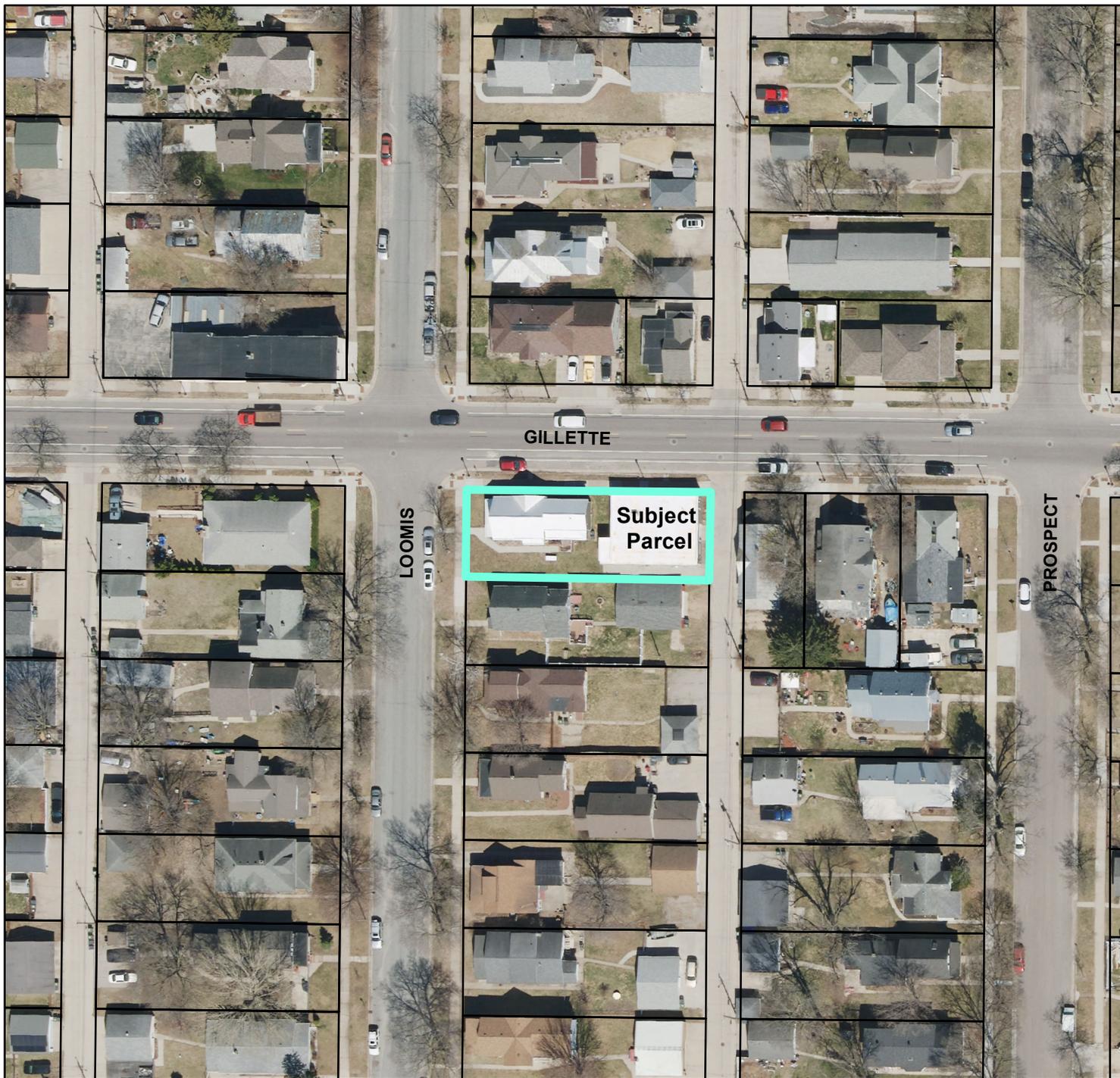
Consistency with Adopted Comprehensive Plan

This property is located in the Logan Northside Neighborhood. In the Logan Northside Neighborhood, low-density residential is a desirable use. The use of a three-unit is a desirable use in the Comprehensive Plan.

Staff Recommendation

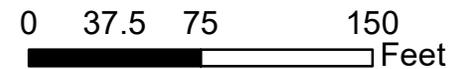
Referral – Staff recommends a 60-day referral so the applicant can submit a variance request to the Board of Zoning Appeals.

Routing J&A 3.03.26



BASIC ZONING DISTRICTS

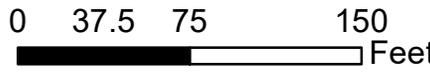
-  R1 - SINGLE FAMILY
-  R2 - RESIDENCE
-  WR - WASHBURN RES
-  R3 - SPECIAL RESIDENCE
-  R4 - LOW DENSITY MULTI
-  R5 - MULTIPLE DWELLING
-  R6 - SPECIAL MULTIPLE
-  PD- PLANNED DEVELOP
-  TND - TRAD NEIGH DEV.
-  C1 - LOCAL BUSINESS
-  C2 - COMMERCIAL
-  C3 - COMMUNITY BUSINESS
-  M1 - LIGHT INDUSTRIAL
-  M2 - HEAVY INDUSTRIAL
-  PS - PUBLIC & SEMI-PUBLIC
-  PL - PARKING LOT
-  UT - PUBLIC UTILITY
-  CON - CONSERVANCY
-  FW - FLOODWAY
-  A1 - AGRICULTURAL
-  EA - EXCLUSIVE AG
-  City Limits
-  SUBJECT PROPERTY





BASIC ZONING DISTRICTS

- R1 - SINGLE FAMILY
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- City Limits
- SUBJECT PROPERTY





City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0143

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

Agenda Number: 3.

ORDINANCE NO.: _____

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Local Business District to the Planned Development District - General, allowing for the construction of a mixed-use development including residential and commercial uses at 2415 State Road.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Subsection 115-110 of the Code of Ordinances of the City of La Crosse is hereby amended by transferring certain property from the Local Business District to the Planned Development District - General on the Master Zoning Map, to-wit:

Tax Parcel 17-50298-32; 2415 State Road

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:

PETITION FOR CHANGE TO ZONING
CITY OF LA CROSSE

AMENDMENT OF ZONING DISTRICT BOUNDARIES
For a Planned Development District or
Traditional Neighborhood District

Petitioner (name and address):

MKB Copper Rocks, LLC c/o Kirk Stoa 3800 Emerald Drive E. Onalaska, WI 54650

Owner of site (name and address):

MKB Copper Rocks, LLC c/o Kirk Stoa 3800 Emerald Drive E. Onalaska, WI 54650

Address of subject premises:

2415 State Rd, La Crosse, WI 54601

Tax Parcel No.:

17-50298-32

Legal Description (must be a recordable legal description; see Requirements):

See attached CSM

PDD/TND: General Specific General & Specific

Zoning District Classification: C1 - Local Business

Proposed Zoning Classification: Planned Development District (PDD)

- Is the property located in a floodway/floodplain zoning district? Yes No
- Is the property/structure listed on the local register of historic places? Yes No
- Is the Rezoning consistent with Future Land Use Map of the Comprehensive Plan? Yes No
- Is the consistent with the policies of the Comprehensive Plan? Yes No

Property is Presently Used For:

Vacant - Old retail building

Property is Proposed to be Used For:

Mixed-use residential and commercial development

Proposed Rezoning is Necessary Because (Detailed Answer):

Proposed use of residential and commercial does not fit in C1- Business Zoning

Proposed Rezoning will not be Detrimental to the Neighborhood or Public Welfare Because (Detailed Answer):

Proposed rezoning will remove a blighted site in the neighborhood and increase quality, affordable housing as well as some community and commercial space.

Proposed Rezoning will not be Detrimental to the City's Long Range Comprehensive Plan Goals, Objectives, Actions and Policies Because (Detailed Answer):

Proposed rezoning fulfills a recognized need of additional housing and will compliment the surrounding neighborhood. The proposed use also aligns with the city's recent comprehensive plan.

The undersigned depose and state that I/we am/are the owner of the property involved in this petition and that said property was purchased by me/us on the 6 day of February, 2026.

I hereby certify that I am the owner or authorized agent of the owner (include affidavit signed by owner) and that I have read and understand the content of this petition and that the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

[Handwritten signature in a box]

(signature)

608-779-2702

(telephone)

February 6, 2026

(date)

kstoa@festfoods.com

(email)

At least 30 days prior to filing the petition for approval of the designation of a Planned Development District, the owner or his agent making such petition shall meet with the Planning Department, Engineering Department and Building Safety to discuss the scope and proposed nature of the contemplated development. (Pursuant sec. 115-156(3)(e)(1) of the Municipal Code of Ordinances of the City of La Crosse.)

PETITIONER SHALL, BEFORE FILING, HAVE PETITION REVIEWED AND INFORMATION VERIFIED BY THE DIRECTOR OF PLANNING & DEVELOPMENT.

Review was made on the 12th day of February, 2026

Signed: [Handwritten signature] Director of Planning & Development

AFFIDAVIT

STATE OF Wisconsin)
) ss
COUNTY OF La Crosse)

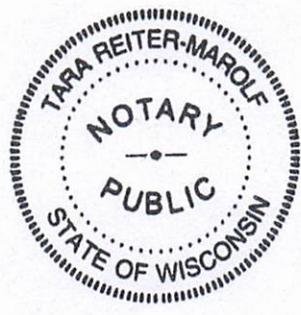
The undersigned, MKB Copper Rocks, LLC - Kirk Stoa, being duly sworn states:

1. That the undersigned is an adult resident of the City of Onalaska, State of Wisconsin.
2. That the undersigned is (one of the) legal owner(s) of the property located at 2415 State Road, La Crosse.
3. By signing this affidavit, the undersigned authorizes the application for a conditional use permit/district change or amendment (circle one) for said property.

[Signature]
Property Owner

Subscribed and sworn to before me this 6th day of Feb., 2026

[Signature]
Notary Public
My Commission expires 11/6/26





FEBRUARY 6, 2026

Tim Acklin
Planning Administrator
City of La Crosse, WI
400 La Crosse St.
La Crosse, WI 54601
acklint@cityoflacrosse.org

RE: SPECIFIC DEVELOPMENT PLAN SUBMITTAL - PROJECT DESCRIPTION
COPPER ROCKS REDEVELOPMENT - 2415 STATE ROAD, LA CROSSE, WI 54601

Tim,

Thank you for reviewing the following project information for the Copper Rocks Redevelopment located at 2415 State Road in La Crosse. The following materials are being submitted in support of this initial project review:

- Sketch Plan
- Parking Summary
- Geotechnical Report
- Landscaping Plan
- 360 Sustainability Plan

PROJECT DESCRIPTION

The former Kmart site at 2415 State Road in La Crosse is proposed to be redeveloped as a vibrant, community focused mixed-use development named 'Copper Rocks'. The proposed project will consist of three townhome buildings and three mixed-use buildings, as well as parking and outdoor community gathering space to create a vibrant and useful revitalization of the site. The developer will be seeking a rezoning from the current classification to Planned Development District (PDD) zoning allowing for mixed-use. This proposed zoning aligns with the City of La Crosse Comprehensive Plan, as the development will be focused on residents and sustainability.

As a key component of the requested rezoning action, a Specific Development Plan and various support materials are being provided. Specific Development Plan criteria are also outlined below along with a description of how the proposed plan will meet these standards.

SPECIFIC DEVELOPMENT PLAN CRITERIA

Requirements:

1. Total area to be included in the Planned Development District, area of open space in acres and percent, proposed uses of land keyed to the comparable existing zoning districts, residential density computations (gross and net), proposed number of dwelling units, the approximate location of different types or densities of dwelling units, population analysis, availability of or requirements for municipal services and utilities and any other similar data pertinent to a comprehensive evaluation of the proposed development

The 6.3-acre subject property is currently comprised of a large parking lot and a vacant Kmart building. The property is zoned C-1 Local Business. The rezoning request to Planned Development District is being made to best match the nature of the redevelopment. PDD zoning will allow the site to

be redeveloped to meet fundamental components of the 2040 City of La Crosse Comprehensive Plan: Forward La Crosse, as well as the City Vision 2020 Master Plan. Both plans build upon key ideas such as the encouragement of mixed-use developments, increases in density, and redevelopment, all key parts of this project.

Five buildings are proposed to be constructed on the site, each containing residential units. The total number of residential dwelling units will be approximately two hundred and forty (240). As a key focus of the project is on current and future residents, the 240 residential units will be market-rate, workforce housing. This is defined as housing that is affordable for people who earn incomes from 70%-110% of the Area Median Income (AMI). In La Crosse County the AMI in 2022 was \$72,019. For our analysis we used 30% of income allocated for housing. As a reference, Fannie Mae uses 45% debt-to-income ratio in their underwriting financing. This will allow for the development to house residents with a diversity of incomes and backgrounds and seeks to meet the goals of the 2040 City of La Crosse Comprehensive Plan: Forward La Crosse. Specifically, A Place to Call Home section and opportunities and strategies 1, 2 and 3. (Table 1)

Area	AMI	100% AMI Housing	80% AMI Housing	60% AMI Housing
State of Wisconsin	\$82,560	\$2,064	\$ 1,651	\$1,238
La Crosse County	\$72,019	\$1,800	\$1,440	\$1,080

Table 1

According to data gathered by the American Association of Retired People, 33% of all households are single people living alone. Additionally, couples without children account for another 25%. Copper Rocks will have a diverse unit mix of studio through three bedrooms to meet housing demands for a wide variety of incomes and demographics with a focus on workforce affordable housing.

Of the five new buildings, three will offer mixed-use opportunities. These four or five-story mixed-use buildings will be constructed and placed in the center and southwest corner of the site, tight to the traffic corridor of Losey Boulevard and State Road (State Highway 33). The buildings have been intentionally massed a considerable distance from the existing single-family residences to soften the transition between the neighbors.

Each of these three buildings will have underground or at-grade parking beneath the residential floors, and the first floor will also accommodate commercial space for lease and/or community space for use by the residents living in this development. The amount of commercial and community space to be included is estimated to be approximately 20,600 square feet.

Floors 2 - 5 of each mixed-use building will consist of residential apartments. The other two buildings on site will be strictly residential townhome buildings constructed along the northern end of the site along Farnam Street, orienting in an East-West fashion. These townhomes will be similar in design to the Canterbury townhomes at Campbell Road and Vine Street, developed by Three Sixty in 2017.

Existing municipal utilities currently serve the existing site and structure. It is anticipated that a new water, storm sewer, and sanitary service will be installed in Farnam Street to serve the development. New watermain, sanitary sewer, and storm sewer will be installed within the proposed project site as private infrastructure to serve the proposed buildings.

The project will incorporate a high degree of sustainable practices as guided by Three Sixty's commitment to sustainability, which is outlined in their attached Sustainability Plan.

2. A general summary of the estimated value of structures and site improvement costs, including landscaping and special features.

The overall project cost is currently estimated at approximately \$63,000,000.

3. A general outline of the organizational structure of a property owner's or management's association, which may be proposed to be established for the purpose of providing any necessary private services including proposed restrictive covenants.

The subject property is currently owned by MKB Copper Rocks, LLC. Three Sixty Real Estate Solutions, LLC will be developing the site, and once completed, the development will be managed by Three Sixty Real Estate Solutions, LLC. Once completed, the development will be owned by four separate single purpose entities (SPE) by asset or parcels. The SPEs are as follows: Copper Rocks 1, LLC; Copper Rocks 2, LLC; Copper Rocks 3, LLC; Copper Rocks 4, LLC

4. Any proposed departures and requested waivers from the standards of development as set forth in other City zoning regulations, land division ordinance, sign ordinance and other applicable regulations.

[Section 113-9](#)

As part of the redevelopment, the existing site will be subdivided into four separate parcels. MKB Copper Rocks, LLC and Three Sixty are requesting that the requirement for a subdivision plat per section 113-9 of the City of La Crosse Municipal Code of Ordinances be waived allowing for the use of a Certified Survey Map (CSM) to divide the existing lot as part of the PDD process.

The State Statutes require that no more than four lots of less than 1.5 acres can be created by CSM within 5 years. In 2020 a CSM was recorded splitting the parent parcel of the Kmart site into three parcels, two of which were under 1.5 acres in size. In order to meet the limit in the State Statues, only 2 of the proposed parcels will be under 1.5 acres.

[Section 115-512](#)

(b) Angled parking on Farnam Street and along Losey Boulevard does not meet building setback

(d) less than 15' landscaped buffer provided

(o) No curb, parking blocks, or bollards between parking lot and sidewalks

Section 115-515

(a)(2) Under required shrub count for site regarding item F.3c "At least one tree and 10 shrubs per 600 sq. ft. of landscaped area", the tree requirement has been exceeded, 129 in total. The shrub count is 714 due to impracticality of the placement of what would be 1,141 shrubs on the site based on the calculation from the total landscape area.

Section 115-517

Stormwater management requirements to follow Section 105-61

Section 115-521

(b) Front doors of buildings do not face public streets

Section 115-555

Stormwater management requirements to follow Section 105-61

5. The expected date of commencement of physical development as set forth in the proposal and also an outline of any development staging which is planned.

The target date for demolition of the existing building and site is June 2026. It is anticipated that construction will occur in two or three phases with completion in the fall of 2028. Phase One will see the west mixed-use building constructed and Phase Two will see the townhomes and East mixed use building completed. Phase three will see the south building completed. The phasing could change depending on several factors such as lease absorption, commercial tenant interest, construction costs and financing.

6. A sketch plan depicting the proposed lot layout, street configuration, utilities, and open space.

Please see the attached sketch plan.

7. A legal description of the boundaries of lands included in the proposed Planned Development District.

Lot 1 of Certified Survey Map Number 67, Volume 19, Document Number 1761262 located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin.

8. A description of the relationship between the lands included in the proposed Planned Development District and surrounding properties.

The two townhome buildings constructed along the northern end of the parcel will have front doors and porches opening to Farnam Street. On the other side of the townhomes, roof-top patios will face the development with southern exposure. The townhomes are similar in use to the land across the

street to the north and west sides of the development, which is residential and zoned R1 - Single Family. These buildings will be architecturally attractive and will blend and scale into the single-family neighborhood to the north. On Farnam Street we are asking the city to consider traffic calming measures - such as pedestrian bump-outs and on-street, angled parking along the south side of the street - in an effort to keep the street safe and friendly to pedestrians and residential use.

The three mixed-use buildings located in the southwest and southern sections of the parcel will be community oriented. A combined total of 20,600 square feet of commercial and community space will be offered on the ground level, which can be utilized by residents living in the townhomes and floors 2-5 of the mixed-use buildings, as well as by other community members / business patrons. In addition to the building space, there will be outdoor spaces focused on community and recreational use, including areas for seating and dining, a play area, outdoor fire pits, benches, and seating for viewing small performances. These outdoor uses will be concentrated in the southwestern section of the parcel, in between the three mixed use buildings. These community features and facilities will offer the surrounding neighborhood with valuable amenities that they can enjoy. Our goal is to create a place that is so well loved that it takes care of itself.

To the south and west of the development, land is zoned C1 Local Business and C2 Commercial, with a variety of businesses such as the restaurants: Las Margaritas, Domino's Pizza, Subway, and JavaVino; as well as other services such as: Sports Clips, Allstate Insurance, and Festival Foods. These businesses will support the residents by providing a variety of goods and services all within walking distance from their homes. In turn, the development will bring in more consumers to support nearby businesses.

9. The location of institutional, recreational and open space areas, common areas and areas reserved or dedicated for public uses, including schools, parks, and drainageways.

As mentioned in the latter section, the development will provide valuable recreational and open common areas, dedicated for the use of residents and the public. These will be concentrated in the southwestern section of the parcel, in the center of the three mixed-use buildings.

In the very southwestern section of the land, there will be a grass covered gathering space, a small performing area, seats to view the performance, and outdoor patio seating for the brewery planned within the southernmost building. Between the southernmost building housing the brewery and the central building, there will be more patio space, outdoor fire pits, as well as a walking path and a variety of trees to green the area. To the north of the central building will be a small play area for children, space for resting (allowing for the placement of hammocks and benches), complemented by additional green space. Additionally, there are plans for a fenced dog "run" for residents with dogs to use, located along the eastern property line next to the dumpster carrel.

10. Characteristics of soils related to contemplated specific uses.

Please see the attached geotech report completed by Braun Intertec in April 2022.

11. Existing topography on site with contours at no greater than two-foot intervals City Datum where available.

Please see the attached sketch plan.

12. General landscaping treatment.

Please see the attached landscaping plan detailing the planting list. This is currently being updated to reflect the new site configuration, but the planting list will be the same.

Please contact me at 608.790.5589 or via email at jeremy@threesixty.bz with any questions or if there is any additional information we can provide in support of this project.

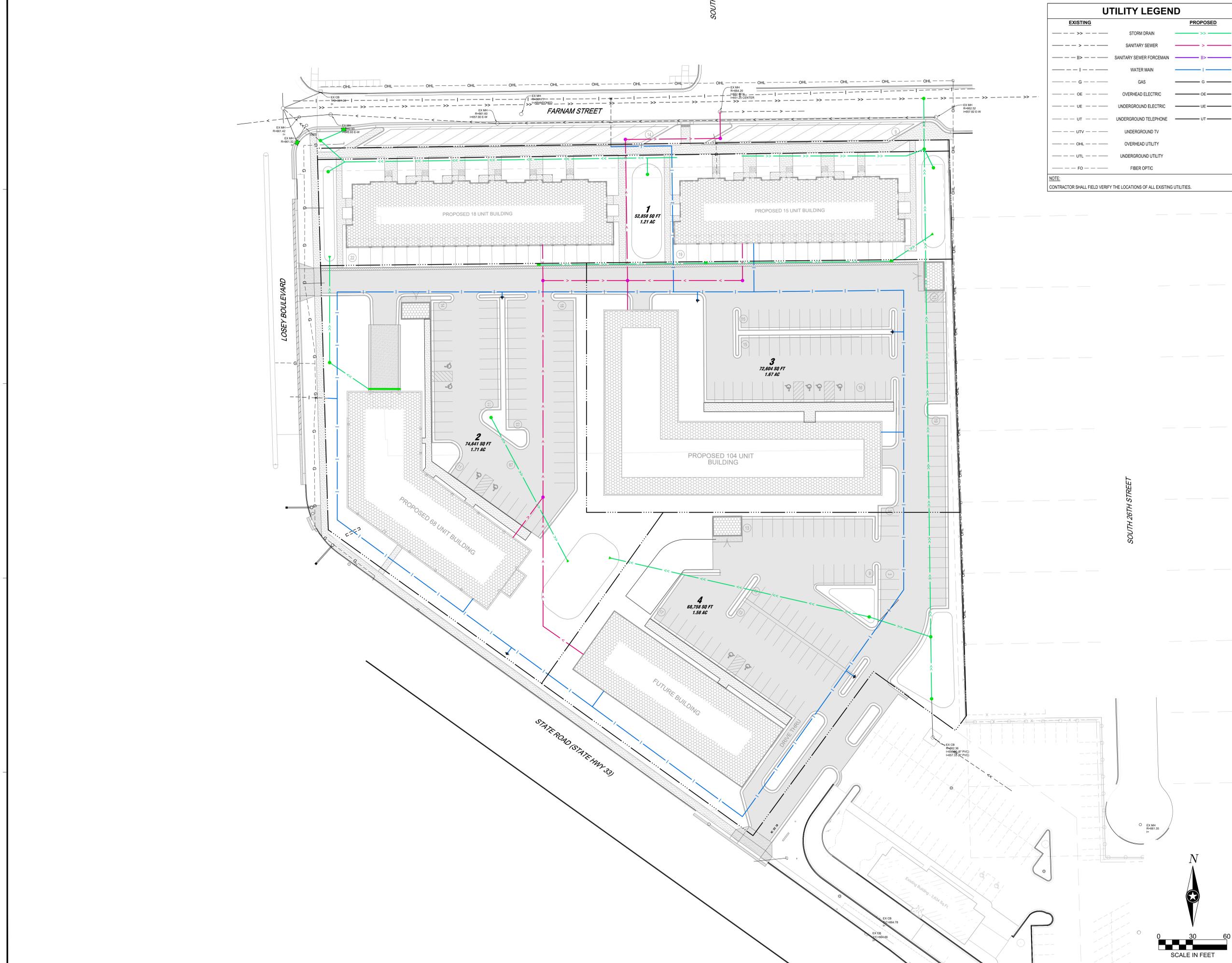
Sincerely,

Jeremy Novak



UTILITY LEGEND		
EXISTING		PROPOSED
->>->>-	STORM DRAIN	->>->>-
->->-	SANITARY SEWER	->->-
- - -	SANITARY SEWER FORCEMAIN	- - -
-I-I-	WATER MAIN	-I-I-
-G-G-	GAS	-G-G-
-OE-OE-	OVERHEAD ELECTRIC	-OE-OE-
-UE-UE-	UNDERGROUND ELECTRIC	-UE-UE-
-UT-UT-	UNDERGROUND TELEPHONE	-UT-UT-
-UTV-UTV-	UNDERGROUND TV	-UTV-UTV-
-OHL-OHL-	OVERHEAD UTILITY	-OHL-OHL-
-UTL-UTL-	UNDERGROUND UTILITY	-UTL-UTL-
-FO-FO-	FIBER OPTIC	-FO-FO-

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.



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PROJECT
COPPER ROCKS DEVELOPMENT
LA CROSSE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 31707
FILE NAME 31707 C3-UTILITY
DRAWN BY --
DESIGNED BY --
REVIEWED BY --
ORIGINAL ISSUE DATE --
CLIENT PROJECT NO. -

TITLE
UTILITY PLAN

SHEET
C3-20

PRELIMINARY NOT FOR CONSTRUCTION



Trees	Genus	Key	Count	Size
American Linden	Tilia americana	Tam	4	2' Cal.
American Mulcwood	Carpinus caroliniana	Coa	5	#15 multitem
Armstrong Maple	Acer rubrum 'Armstrong'	Aru	3	1.5' cal
Bartlett Pear	Pyrus communis 'Bartlett'	Poo	2	#5 con
Bur Oak	Quercus macrocarpa	Qma	2	2' Cal.
Columnar Swedish Aspen	Populus tremula 'Erecta'	Ptr	7	#15 con tree
Contender Peach	Prunus persica 'Contender'	Ppe	1	5' Bare root
Cornelian Cherry Dogwood	Cornus mas	Coma	3	1.5' con
Eastern Redbud	Cercis canadensis	Coa	17	1.5' cal
Hawthorne Winter King	Crataegus virens 'Winter King'	Cvi	3	1.5' cal
Hackberry	Celtis occidentalis	Coc	5	1.5' cal
Honey Locust	Gleditsia inacanthos	Gtr	4	1.5' cal
Ironwood	Ostrya virginiana	Ovi	7	1.5' cal
Kentucky Coffee Tree	Gymnocladia dioica	God	5	1.5' cal
Ohio Buckeye	Aesculus glabra	Agf	5	1.5' cal
Pagoda Dogwood	Cornus alternifolia	Cal	4	#15 multitem
Princeton Elm	Ulmus americana 'Princeton'	Uam	4	1.5' cal
Reliance Peach	Prunus persica 'Reliance'	Ppe	1	#5 con
River Birch	Betula Nigra	BNI	8	#15 multitem
Royal Raindrop Crabapple	Malus 'JFS-KW5'	MJF	9	1.5' cal
Red Jewel Crabapple	Malus 'Jewelcolor'	MJc	5	1.5' cal
Serviceberry Tree	Amelanchier grandiflora	Agr	14	#15 singlestem
Showy Mountain Ash	Sorbus decora	Sde	6	2' Cal.
Superior Plum	Prunus 'Superior'	PSu	2	5' Bare root
Swamp White Oak	Quercus bicolor	Qbi	4	2' Cal.
Tart Northstar Cherry	Prunus cerasus 'North Star'	Pce	4	5' Bare root
Thornless Cockspur Hawthorne	Crataegus crus-galli	Cor	7	1.5' cal
Toka Plum	Prunus 'Toka'	PTo	2	5' Bare root
Urban Pinnate Oak	Quercus macrocarpa 'JFS-KW5'	Qma-JFS	4	1.5' cal
Weeping Willow (Noble Willow)	Salix alba 'Tridis'	Sal	1	2' Cal.
			148	TOTAL

Shrubs	Genus	Key	Count	Size
Arctic Fire Dogwood	Cornus stolonifera	Cst	52	#5 Cont.
Aronia Lowscape Mound	Aronia melanocarpa 'UCONMAM165' PPAF; CPBRAF	Ame-UCON	19	#5 Cont.
Black Currant	Ribes nigrum	Rni	16	#5 Cont.
Blizzard Mock Orange	Philadelphus coronarius	Poo	33	#5 Cont.
Bloomerang Lilac	Syringa 'Penda' BLOOMERANG	SPe	20	#5 Cont.
Blue Muffin Viburnum	Viburnum dentatum 'Blue Muffin'	Vde	80	#5 Cont.
Bush Cinqufoil	Daphnora fullosa	Dfr	9	#5 Cont.
Chokeberry Aronia	Aronia melanocarpa	AME	85	#5 Cont.
Crabapple Colonaster	Colanaster apiculatus	Cap	45	#5 Cont.
Dwarf Bush Honeysuckle	Diervilla litoralis	Dlo	117	#5 Cont.
Elmberry	Sambucus Canadensis	SCa	26	#5 Cont.
Fall-Bearing Raspberry	Rubus idaeus 'Heritage'	Rid	50	#1 Cont.
Fibre-optic Buttonbush	Cephalanthus occidentalis 'Balloptics'	Coc	36	#5 Cont.
Friedance Dogwood	Cornus sericea 'Baldadeline'	Cse	12	#5 Cont.
Grey Dogwood	Cornus racemosa	Cra	8	#5 Cont.
Holmstrup Arborvitae	Thuja occidentalis 'Holmstrup'	Toc	11	5'
Jefferson Hazelnut	Corylus avellana	Car	20	#5 Cont.
Prairie Ninebark	Physocarpus opulifolius	Pop	24	#5 Cont.
Red Currant	Ribes rubrum	Rru	10	#5 Cont.
Rugosa Rose	Rosa rugosa	Rru	102	#5 Cont.
Serviceberry	Amelanchier Alnifolia	AAI	65	#5 Cont.
Snowberry	Symphoricarpos albus	Sal	45	#5 Cont.
St. John's Wort	Hypericum Perforatum	HPe	47	#5 Cont.
Star Power Juniper	Juniperus scopulorum 'Starrylet'	Jsc	30	5'
Sleepebush	Spiraea tomentosa	Slo	38	#5 Cont.
Sugar Shack Buttonbush	Cephalanthus occidentalis 'Sugar Shack'	Coc-SS	10	#5 Cont.
Summer Wine Ninebark	Physocarpus opulifolius 'Summer Wine'	Pop	4	#5 Cont.
Sweet Fern	Comptonia pergrina	Cpe	63	#5 Cont.
Trautman Juniper	Juniperus chinensis	Jch	24	5'
			1061	TOTAL

Forbs	Genus	Key	Quantity	Quantity
Anise Hyssop	Agastache tomentum	Ast	4	con
Aromatic aster	Aster oblongifolius	Aob	4	con
Blue False Indigo	Baptisia australis	Bau	4	con
Blue Stemmed Goldenrod	Solidago Caesia	SCa	4	con
Bradbury's Monarda	Monarda Bradburiana	MBr	4	con
Butterfly Milkweed	Asclepias Tuberosa	ATu	4	con
Cardinal Flower	Lobelia cardinalis	Lca	4	con
Downy Wood Mint	Blephilia ciliata	Bci	4	con
Golden Alexander	Zizia aurea	Zau	4	con
Hairy Beardtongue	Penstemon hirsutus	Pni	4	con
Ironweed	Vernonia baldwinii	Vba	4	con
Jacob's Ladder	Polemonium caeruleum	Pca	4	con
Joe Pyeweed	Eutrochium purpureum	Epu	4	con
Lanceleaf Coreopsis	Coreopsis lanceolata	Cla	4	con
Meadow Blazing Star	Liatris pycnostachya	Lpy	4	con
New England Aster	Synthyridium novae-angliae	Sno	4	con
Ohio Spiderwort	Tradescantia ohioensis	Toh	4	con
Orange Coneflower	Rudbeckia fulgida	Rfu	4	con
Prairie Sandrops	Oenothera pilosella	Opi	4	con
Purple Coneflower	Echinacea Purpurea	EPu	4	con
Purple Giant Hyssop	Agastache scrophularifolia	Asc	4	con
Purple Poppy Mallow	Callitriche involucrata	Cin	4	con
Rattlesnake Master	Eryngium yuccifolium	Eyu	4	con
Rose Milkweed	Asclepias incarnata	Ain	4	con
Showy Goldenrod	Solidago speciosa	Stp	4	con
Slender Mountain Mint	Pycnanthemum tenuifolium	Pte	4	con
Soft Coreopsis	Coreopsis palmata	Cpa	4	con
Whorled Milkweed	Asclepias verticillata	Ave	4	con
Wild Columbine	Aquilegia canadensis	Aca	4	con
Wild Geranium	Geranium maculatum	Gma	4	con
Wild Mint	Monarda arvensis	Mar	4	con
Wild Nodding Onion	Allium Cernuum	ACe	4	con
Wild Quinine	Parthenium integrifolium	Pin	4	con
			0	

Grasses/Sedges/Ferns	Genus	Key	Quantity	Size
Brown Fox Sedge	Carex Vulpinoides	CVu	4	con
Lady Fern	Athyrium filix-femina	Afi	4	con
Little Bluestem	Schizachyrium scoparium	Ssc	#1	con
Maidenhair Fern	Adiantum pedatum	Ape	4	con
Ostrich Fern	Matteuccia struthiopteris	Mat	4	con
Rain Sedge	Carex muskingumensis	Cmu	4	con
Pennsylvania Sedge	Carex pensylvanica	Cps	#1	con
Rhine Oval Sedge	Carex brexior	Cbr	4	con
Prairie Dropseed	Sporobolus heterolepis	She	#1	con
Side Oats Grama	Bouteloua curtipendula	Bcu	4	con
Switchgrass	Panicum virgatum 'Shenandoah'	Pvi	#1	con
			0	
			TOTAL	0

Site Notes
 Total Landscape Area:
 88,166 sq ft
 147 trees required per
 landscape area sq ft
 requirement
 148 trees provided
 1,470 shrubs required
 per landscape area sq
 ft requirement
 1,061 shrubs provided
 816 linear ft of
 frontage
 20 trees required
 20 trees provided



1522 Green Bay St.
 La Crosse, WI 54601
 (608) 799-2797
 couleeregionecoscapes@gmail.com

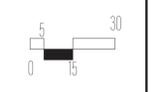
Copper Rocks

Title:
 Site Softscape Reference Plan

Project Location:
 La Crosse, WI

Revision Date:
 12/11/2024

Scale: 1:30



Sheet Number:
 LO-01

Trees	Genus	Count	Size
American Linden	Tilia americana	4	2" Cal.
American Muscledwood	Carpinus caroliniana	15	#15 multistem
American Sycamore	Platanus occidentalis	3	2" Cal.
Bur Oak	Quercus macrocarpa	6	2" Cal.
Contender Peach	Prunus persica 'Contender'	1	5' Bare root
Eastern RedBud	Cercis canadensis	16	2" Cal.
Honey Locust	Gleditsia triacanthos	9	2" Cal.
Ironwood	Ostrya virginiana	6	2" Cal.
Kentucky Coffee Tree	Gymnocladus dioica	4	2" Cal.
Pagoda Dogwood	Cornus alternifolia	4	#15 multistem
Reliance Peach	Prunus persica 'Reliance'	1	5' Bare root
River Birch	Batula Nigra	5	2" Caliper
Royal Raindrop Crabapple	Malus x 'JFS-KW5'	10	#15 Con
Serviceberry Tree	Amelanchier grandiflora 'Autumn Brilliance')	16	#15 singlestem
Seven Son Flower	Heptacodium miconioides	9	7' multistem
Showy Mountain Ash	Sorbus decora	5	2" Cal.
Superior Plum	Prunus 'Superior'	1	5' Bare root
Swamp/Bur Oak	Quercus x schuettei	3	2" Cal.
Tart Northstar Cherry	Prunus cerasus 'North Star'	2	5' Bare root
Toka Plum	Prunus 'Toka'	1	5' Bare root
Turkish Filbert	Corylus colurna	3	2" cal.
Urban Pinnacle Oak	Quercus macrocarpa 'JFS-KW3'	5	2" Cal.
	TOTAL	129	
Shrubs			
Arctic Fire Dogwood	Cornus stolonifera	38	#5 Cont.
Aronia Lowscape Mound	Aronia melanocarpa 'UCCONAM165' PPAF; CPBRA	26	#5 Cont.
Blizzard Mock Orange	Philadelphus coronarius	34	#5 Cont.
Blue Muffin' Viburnum	Viburnum dentatum 'Blue Muffin'	69	#5 Cont.
Chokeberry Aronia	Aronia Melanocarpa	31	#5 Cont.
Cranberry Cotoneaster	Cotoneaster apiculatus.	68	#5 Cont.
Dwarf Bush Honeysuckle	Diervilla lonicera	67	#5 Cont.
Elderberry	Sambucus Canadensis	4	#5 Cont.
Fibre-optics Buttonbush	Cephalanthus occidentalis 'Fibre-optics'	35	#5 Cont.
Gro-Low Sumac	Rhus aromatica Gro-Low	19	#5 Cont.
Holmstrup Arborvitae	Thuja occidentalis 'Holmstrup'	21	#5 Cont.
Jefferson Hazelnut	Corylus avellana	2	#5 Cont.
Judd Viburnum	Viburnum x juddii.	12	#5 Cont.
New Jersey Tea	Ceanothus americanus	15	#5 Cont.
Ninebark 'Little Devil'	Physocarpus opulifolius 'Little Devil'	20	#5 Cont.
Red Currant	Ribes rubrum	4	#5 Cont.
Rugosa Rose	Rosa rugosa	48	#5 Cont.
Serviceberry	Amelanchier Alnifolia	40	#5 Cont.
Skyrocket Juniper	Juniperus scopulorum 'Skyrocket'	9	#5 Cont.
Snowberry	Symphoricarpos albus	33	#5 Cont.
St. John's Wort	Hypericum Perforatum	54	#5 Cont.
Steeplebush	Spirea Tomentosa	6	#5 Cont.
Sugar Shack Buttonbush	Cephalanthus occidentalis 'Sugar Shack'	39	#5 Cont.
Summer Wine Ninebark	Physocarpus opulifolius 'Summer Wine'	5	#5 Cont.
Trautman Juniper	Juniperus chinensis	9	#5 Cont.
White Meadowsweet	Spirea Alba	6	#5 Cont.
	TOTAL	714	
Forbs			
Blazing Star	Liatris spicata	5	#1 Cont.
Blue False Indigo	Baptisia australis	6	#1 Cont.
Blue Stemmed Goldenrod	Solidago Caesia	8	#1 Cont.
Butterfly Milkweed	Asclepias Tuberosa	10	#1 Cont.
Fall-Bearing Raspberry	-	21	#1 Cont.
Great Blue Lobelia	Lobelia siphilitica	5	#1 Cont.
Jacob's Ladder	Polemonium caeruleum	40	#1 Cont.
Joe Pyeweed	Eutrochium purpureum	5	#1 Cont.
New England Aster	Symphotrichum novae-angliae	5	#1 Cont.
Purple Coneflower	Echinacea Purpurea	9	#1 Cont.
Rose Milkweed	Asclepias incarnata	10	#1 Cont.
Showy Goldenrod	Solidago speciosa	5	#1 Cont.
Sneezeweed	Helenium autumnale	5	#1 Cont.
Wild Geranium	Geranium maculatum	34	#1 Cont.
Wild Nodding Onion	Allium Cernuum	25	#1 Cont.
Bradbury's Monarda	Monarda Braburiana	14	#1 Cont.
Lanceleaf Coreopsis	Coreopsis lanceolata	18	#1 Cont.
Ohio Spiderwort	Tradescantia ohiensis	5	#1 Cont.
Wild Quinine	Parthenium integrifolium	5	#1 Cont.
Hairy Beardtongue	Penstemon hirsutus	3	#1 Cont.
Aromatic aster	Aster oblongifolius	5	#1 Cont.
Yellow Wild Indigo	Baptisia trinatoria	3	#1 Cont.
Cream Wild Indigo	Baptisia bracteata	3	#1 Cont.
Anise Hyssop	Agastache foeniculum	5	#1 Cont.
Orange Coneflower	Rudbeckia fulgida	3	#1 Cont.
Downy Wood Mint	Blephilia ciliata	5	#1 Cont.
Ironweed	Vernonia baldwinii	5	#1 Cont.
Golden Alexander	Zizia aurea	17	#1 Cont.
(Wine Caps) Purple Poppy Mallow	Callirhoe involucrata	25	#1 Cont.
Wild Strawberry	Fragaria vesca	20	#1 Cont.
Wild Mint	Mentha arvensis	20	#1 Cont.
Royal Catchfly	Silene regia	5	#1 Cont.
Cardinal Flower	Lobelia cardinalis	5	#1 Cont.
	TOTAL	359	
Grasses/Sedges			
Brown Fox Sedge	Carex Vulpinoidea	167	#1 Cont.
Prairie Dropseed	Sporobolus heterolepis	108	#1 Cont.
Switchgrass	Panicum virgatum 'Shenandoah'	53	#1 Cont.
Porcupine Sedge	Carex hystericina	35	#1 Cont.
Pennsylvania Sedge	Carex pensylvanica	141	#1 Cont.
Side Oats Grama	Bouteloua curtipendula	44	#1 Cont.
Little Bluestem	Schizachyrium scoparium	35	#1 Cont.
	TOTAL	548	

Three Sixty Sustainability Plan



THREE SIXTY
MARCH 25, 2021

SUSTAINABILITY PLAN

SUSTAINABILITY FOCUSED

Three Sixty Real Estate Solutions, LLC develops real estate for the here and now but with a critical focus on how the project will positively impact the communities we serve for future generations to come.

When it comes to sustainability, it is one thing to say you believe in sustainability; however, it is more complex to incorporate proven practices into each project effectively. Our team at Three Sixty has a proven track record of sustainability. Building healthy communities is who we are and what we do, which cannot be separated from sustainability. We also realize these efforts are integral to the long-term value of our customers, communities, investors, and team members

Managing all our properties with this same practical approach is a priority. We focus on being good stewards of our environment and help connect our residents to nature and the outdoors by thoughtfully integrating spaces, promoting walkability, and creating connecting trails. We offer community gardens with compost bins replace the sod with prairie gardens, bio-filtration areas, and native species landscaping.



Neighborhood Garden Raised Beds at 1243 Badger Street, La Crosse, WI – Aguilera



360 Managed 40 Acre Pollinator Prairie, La Crescent MN



Bio Filtration Plantings with Native Pollinator Plants – 415 North 6th Street, La Crosse, WI 54601 – The Hub

We strive to reduce our carbon footprint by investing in new, energy-efficient technology and sustainability. We utilize environmentally responsible building materials and construction practices. To us, it is more than just having single-stream recycling bins, electric car-charging stations, LED lights, and energy-efficient appliances. We have those, and they are essential, but it is about reducing the carbon footprint throughout each step of every project. We believe there is an environmentally-helpful solution to every need. For example, we have incorporated photothermal and photovoltaic solar into projects to create sustainable energy sources. We implement stormwater management best practices with on-site (and, where necessary underground) stormwater retention, pervious pavement, and biofiltration gardens. We practice this because we believe our developments will impact communities for generations to come.

When it comes to sustainability, very few principles are more important than the impact of the local factor, be it locally sourced materials, locally produced products, local jobs, or supporting fiscally fair job growth! We are committed to using community-based and regional businesses in development. Our corporate vision of sustainability is highly compatible with the community's vision of sustainability.



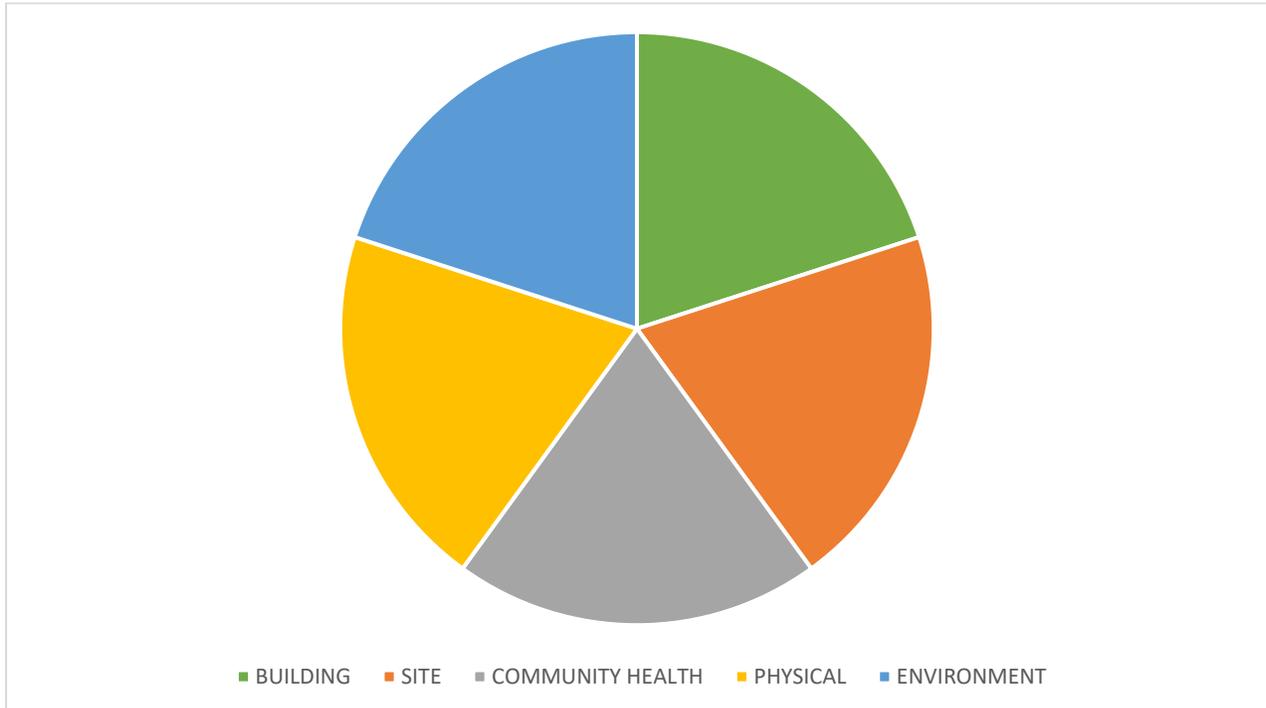
Community Garden – 415 6th St N – La Crosse, WI – The HUB

To effectively work to achieve our goal of maximizing sustainable building and development practices, Three Sixty and its development affiliates/partners will, whenever possible, work to mitigate the project carbon footprint. These practices will increase building efficiency, reduce waste and emissions, and be environmentally responsible. We have several established practices we will implement to varying degrees throughout the design and construction process to accomplish this effort.

THEMATIC APPROACH

We have developed a thematic approach when considering the many facets of sustainable real estate development by utilizing our years of practical experience in sustainable development practices. As a result, we can ensure that the various tasks specific to sustainable development are categorized into five major themes:

- Building (Design & Construction) & Indoor Environment
- Site (Design & Construction) & Outdoor Environment
- Community Health
- Physical
- Environment (At-Large)

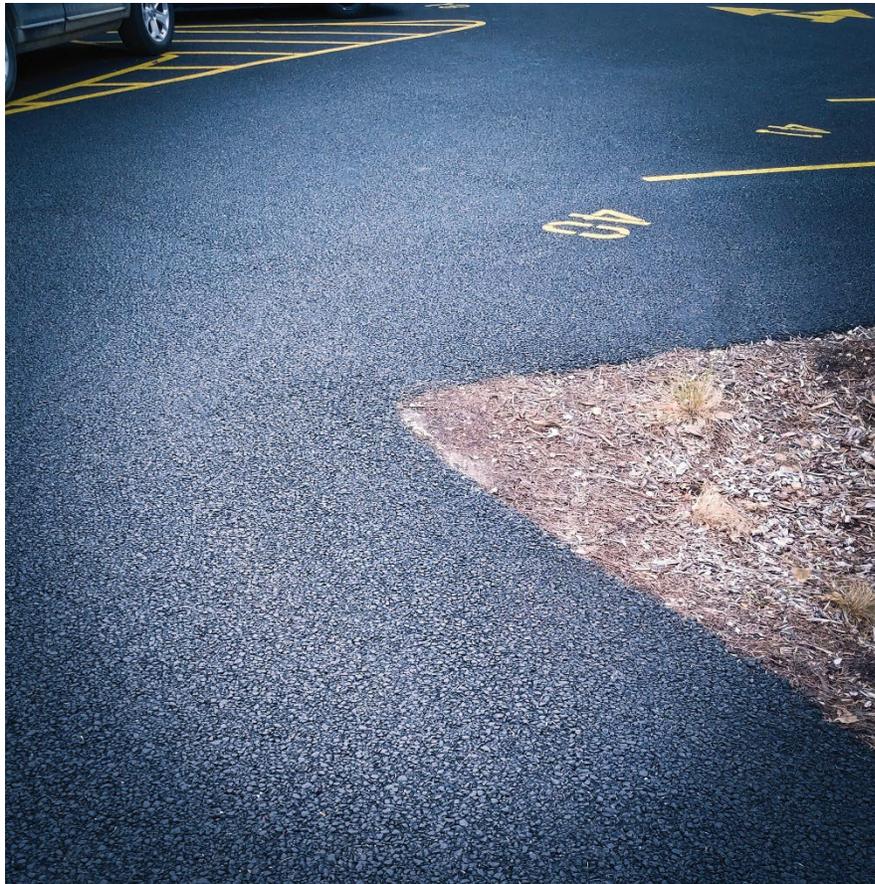


Building (Design & Construction) & Indoor Environment (B)

- Install alternative energy features and practices when economically beneficial. (Site, Environment)
- Design and build tight building envelopes that use best practices for lower energy consumption and increase indoor air quality. (Physical, Environment)
- Utilize sustainable, high-quality materials and energy-efficient designs. (Site, Environment)
- Design buildings that utilize the maximum amount of natural light for creature comfort and reduction in energy needs. (Community Health, Physical, Environment)

Site (Design & Construction) & Outdoor Environment (S)

- Include pervious pavement options in the parking lot/hard surfaces. (Environment)



Pervious Pavement – 507 N 13 St, La Crosse, WI - Aguilera

- Use In-Ground Storm Water Retention. (Environment)



Underground Stormwater Management System 507 N 13 St La Crosse, WI - AGUILERA

- Promote bicycle and pedestrian infrastructure to connect existing trails and paths. (Physical, Community Health, Environment)
- Develop and construct projects that promote and respect the natural habitat and connect people to nature. (Physical, Community Health, Environment)
- Use high-capacity bio-sequestration plantings and design methods to create stormwater retention and management. (Environment)

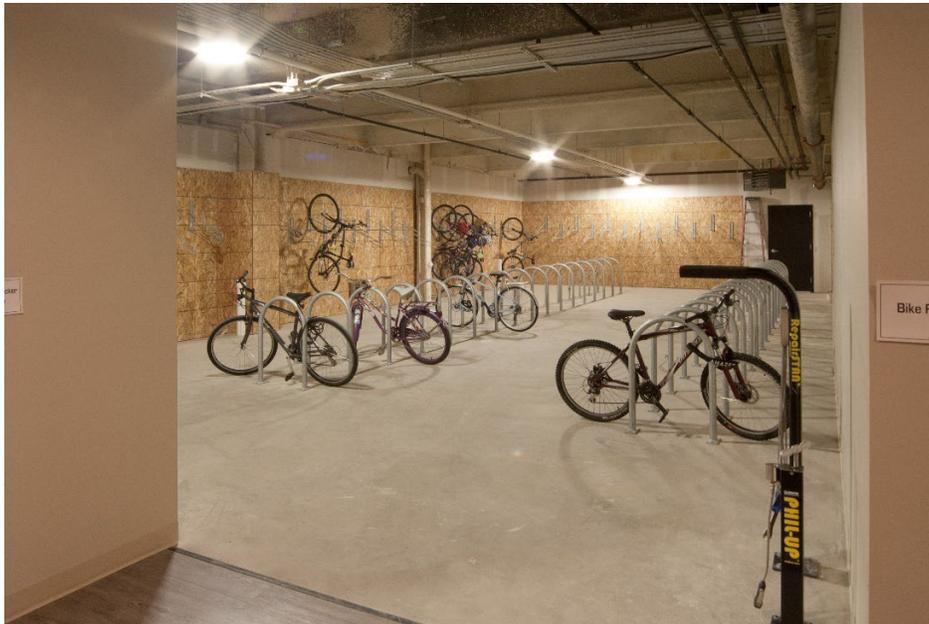
Community Health (CH)

- We are aware that the built environment dramatically affects the community and individual health. Therefore, our planning focuses on implementing approaches that improve our customers’ physical, emotional, and spiritual health.
- Early in our company’s history, long before it was popular, we converted all of our Multifamily properties “smoke-free” (Environment, Physical)
- Work to meet the hierarchy of present and future human needs reasonably and sufficiently. (Physical, Site)
- Create pedestrian-focused developments that reduce the reliance on automobiles and encourage health-promoting alternatives.

- Install sidewalk networks to and from the site to promote more pedestrian travel to and from the project, readily available to physically challenged and visually impaired, instead of taking a vehicle across town to other facilities. (Physical, Site, Building)
- Create green spaces that connect people to nature and enhance individual healthy lifestyles. (Site, Environmental, Physical, Building)

Physical (P)

- Minimize reliance upon car use and encourage pedestrian-focused and mass transit alternatives. (Environment, Site)
- Provide infrastructures such as installing bike racks, bike storage areas, and repair stations at specified areas adjacent to or inside each facility to promote bike use. (Physical, Building, Site)



Bike Storage, Wash Station & Repair Station – 415 N 6th St. La Crosse, WI The HUB



Fitness/Community Room – 415 N 6th St. La Crosse, WI - The HUB

Environment (At-Large) (E)

- Create environments that highlight and respect our natural resources and connect people to the natural resources. (Physical, Community Health, Site)
- Landscaping design and construction that uses native plants and edible gardens, providing food sources for people and wildlife. (Site, Community Health, Physical)
- Strive to develop brownfield, grayfield, and infill sites. (Community Health, Site, Building)
- Design, install and maintain raised garden boxes so residents (and neighbors!) can enjoy the benefits of fresh herbs, vegetables, and produce. In three past projects, we converted lawn/grass into community gardens, hired a gardener to maintain the garden, and partnered with the Salvation Army to provide fresh produce to community members. (Community Health, Physical, Site)
- Design and finish the landscape with native plant species that offer a food source for wildlife and people (planting Raspberry bushes instead of Dogwood). The finished landscaping consists of native shrubs, grasses, and trees throughout the project. (Community Health, Physical, Site)



Fruit Trees, edible landscaping beds at 415 North 6th St, La Crosse, WI – THE HUB

- Locally source as many materials as possible, creating economic and environmental sustainability. (Site, Building)
- Replace high carbon products with low or sequestered carbon products. For example, where possible, we will replace steel and wood members. If possible, concrete decking may be replaced with wood decking. (Site, Building)
- Where possible, work to convert fossil fuel-based products to renewable products with less environmental impact. (Site, Building)
- Recycle products and materials by having cardboard and metal recycling dumpsters during the construction process. We will require all Subs to utilize the recycling protocols during the building process. (Site, Building)
- Utilize low-flow water products in the building design. (Site, Building)
- Where possible, use Energy Star Appliances. (Building)
- Do not use any tropical hardwoods in the project unless such products have been approved by the Forest Stewardship Council or verified as sustainability harvested. (Building)
- Use silt fence barriers (recycled if readily available), straw protections, and other mitigating resources from soil and stormwater management during construction. (Site, Building)
- Use deciduous trees throughout the project to help reduce the heat island effect. (Site, Building).

- Use high efficient commercial water heaters with circulating pumps versus a more traditional method of 1 electric water heater per unit. (Building)
- Install ceiling fans in all bedrooms. (Building).
- Ensure HVAC will be a highly efficient heat pump unit with multiple zoned heads and programable thermostats for increased control flexibility. (Buildings)
- We will use LED lighting, Energy Star advanced lighting package (APL), occupancy sensors in common areas, and light color toned interior walls. (Building)
- Concrete construction site forms will be reusable metal forms versus built-in-place wood forms. (Building, Site)
- Fixtures, equipment, site furnishings, and other outdoor structures will utilize low toxicity, sustainable and recycled materials where possible. (Building, Site)
- We will use panelized construction to eliminate waste, energy-efficient, and tightness of building structure. (Building)
- We will use value engineering to reduce product waste, increase energy efficiency, and increase building quality. (Building, Site)
- We will use fiber cement or wood composite siding and brick. (Building, Site).
- When available we will use locally sourced wood products. (Building, Site)
- We will provide composting on-site in the garden beds and eliminate garbage disposals. (Building, Site, Project).
- We will use low VOC adhesive throughout the project.(Building)
- We will continuously educate ourselves and explore opportunities to lessen and offset the carbon footprint of the development project.
- Seek out partners to leverage our collective abilities and expertise to have a greater overall synergistic impact on reducing impact to our environment and climate.
- Carbon sequestration is a process that pulls carbon from the atmosphere and, through natural processes, places it back into the soils. Consider that one acre of Prairie plantings can store one and a half to two tones of carbon on roots/soil per year, depending on the quality and age of the prairie. Which improves water quality, prevents erosion, restores native

species, and increases the biodiversity in the soil. We do our part to save the soil because healthy soil saves our planet. (Building, Site)

***Note: We recently restored (and managed) 48 acres of the previous tilled field into natural pollinator prairie in La Crescent, Minnesota, as a practical example of “walk the walk.” This work was a collaborative partnership with USDA, pheasants forever, MN DNR, and local contractors. The site has now been used for educational purposes by governmental agencies. Resources and links available upon request.**



Former Corn Field – 2019



Native Pollinator Prairie - 2020



Rooftop Solar Panels – 415 N 6th St La Crosse, WI The HUB

- Comprehensive development and management sustainable practices and programs will be considered and efficiently incorporated. One specific goal of this plan is to mitigate climate change and adapt to our changing environment by meeting the Natural Steps for system conditions:
 - Reduce dependence upon fossil fuels extract underground metals and minerals. (Building, Site)
 - Reduce dependence on chemicals and other manufactured substances that can accumulate in nature. (Building, Site)
 - Reduce dependence on activities that harm life-sustaining ecosystems. (Building, Site)

Geotechnical Evaluation Report

Proposed Copper Rocks Development
2415 State Road
La Crosse, Wisconsin

Prepared for

Mettera, LLC



Brandon K. Wright, PE
Senior Engineer
License Number: 40141
May 6, 2022



May 6, 2022

Project B2202146

Mr. Roger Lundsten
Mettera, LLC
1243 Badger Street
La Crosse, WI 54601

Re: Geotechnical Evaluation
Proposed Copper Rocks Development
2415 State Road
La Crosse, Wisconsin

Dear Mr. Lundsten:

We are pleased to present this Geotechnical Evaluation Report for the proposed Copper Rock Development project.

Thank you for making Braun Intertec your geotechnical consultant for this project. If you have questions about this report, or if there are other services that we can provide in support of our work to date, please contact Brandon Wright at 608.781.7277 or by email (bwright@braunintertec.com).

Sincerely,

BRAUN INTERTEC CORPORATION



Brandon K. Wright, PE
Senior Engineer



Ray A. Huber
Vice President

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Appendix

Soil Boring Location Sketch
 Log of Standard Penetration Test Boring Sheets
 Log of Cone Penetration Test Sounding
 Descriptive Terminology of Soil
 Descriptive Terminology Cone Penetration Test
 Wisconsin DSPS Soil and Site Evaluation Storm Form

A. Introduction

A.1. Project Description

This Geotechnical Evaluation Report addresses the proposed design and construction of the proposed Copper Rocks Development project located at 2415 State Road in La Crosse, Wisconsin. The project will include the construction of up to six structures with mixed residential and commercial use. Figure 1 shows an illustration of the proposed site layout.

Figure 1. Proposed Site Layout

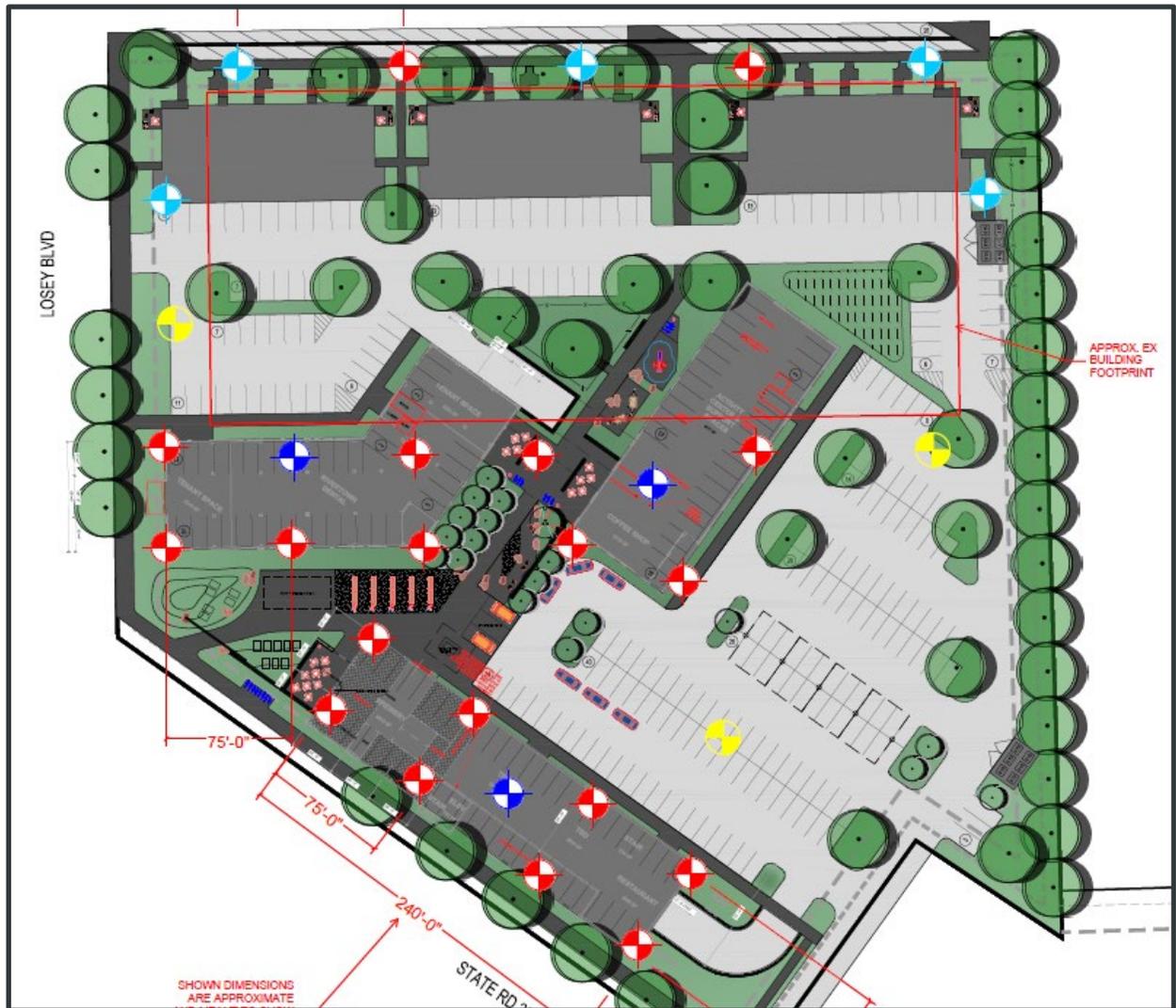


Figure provided by I&S Group, dated February 1, 2022.

Three of the structures will have below-grade parking and three of the structures will be slab-on-grade. The largest building is expected to be composed of one- to two-levels of pre-cast concrete framing with up to 4 levels of wood framing above. Buildings with below-grade parking will have a connecting below-grade tunnel providing access to each of the buildings. Associated parking, pavements, underground utilities, and landscaping are also planned for the project. Tables 1 and 2 provide project details.

Table 1. Building Description

Aspect	Description	
	Single-Story Commercial	Multi-Story Mixed Use
Below grade levels	None	1
Above grade levels	1	4 to 6
Provided Lowest level floor elevation (ft)	664.6 to 665.1	655.3
Assumed Column loads (kips)	100	550
Assumed Wall loads (kips/ft)	5	10

Table 2. Site Aspects and Grading Description

Aspect	Description
Pavement type(s)	Bituminous or Concrete
Provided/Assumed pavement loads	Light-duty: 50,000 ESALs*
	Heavy-duty: 150,000 ESALs*
Grade changes	Within 1 to 2 feet of existing site grades

*Equivalent 18,000-lb single axle loads based on 20-year design for bituminous and 35-year for concrete.

We have described our understanding of the proposed construction and site to the extent others reported it to us. Depending on the extent of available information, we may have made assumptions based on our experience with similar projects. If we have not correctly recorded or interpreted the project details, the project team should notify us. New or changed information could require additional evaluation, analyses and/or recommendations.

A.2. Site Conditions and History

Currently, the site exists as a developed, but vacant, commercial property. The site is 6-acres and contains an approximate 90,000-square-foot, single story, former Kmart retail store. The site also contains an existing parking lot and underground utilities.

A.3. Purpose

The purpose of our geotechnical evaluation will be to characterize subsurface geologic conditions at selected exploration locations, evaluate their impact on the project, and provide geotechnical recommendations for the design and construction of footings, ground supported slabs, lateral earth pressures, pavement thickness designs, and storm water infiltration discussion.

A.4. Scope of Services

We performed our scope of services for the project in accordance with our Proposal QTB153342, dated March 14, 2022. The following list describes the geotechnical tasks completed in accordance with our authorized scope of services.

- Staking and clearing the exploration location of underground utilities. I & S Group selected, and we staked the exploration locations. We acquired the surface elevations and locations with GPS technology. The Soil Boring Location Sketch included in the Appendix shows the approximate locations of the borings.
- Performing standard penetration test (SPT) borings, cone penetration test (CPT) soundings, and test pits (TP). In total, we drilled 8 SPT borings, 19 CPT soundings, and logged 3 test pits.
- Performing laboratory testing on select samples to aid in soil classification and engineering analysis.
- Preparing this report containing a boring location sketch, logs of soil borings, a summary of the soils encountered, results of laboratory tests, and recommendations for structure and pavement subgrade preparation and the design of foundations, floor slabs, exterior slabs, utilities, stormwater improvements and pavements.

Our scope of services did not include environmental services or testing and our geotechnical personnel performing this evaluation are not trained to provide environmental services or testing. We can provide environmental services or testing at your request.

B. Results

B.1. Geologic Overview

We based the geologic origins used in this report on the soil types, in-situ and laboratory testing, and available common knowledge of the geological history of the site. Because of the complex depositional history, geologic origins can be difficult to ascertain. We did not perform a detailed investigation of the geologic history for the site.

B.2. Boring Results

B.2.a. Standard Penetration Test Borings

Table 3 provides a summary of the soil boring results; in the general order we encountered the strata. Please refer to the Log of Boring sheets in the Appendix for additional details. The Descriptive Terminology sheets in the Appendix include definitions of abbreviations used in Table 3.

Table 3. Subsurface Profile Summary*

Strata	Soil Type - ASTM Classification	Range of Penetration Resistances	Commentary and Details
Pavement materials	NA	NA	<ul style="list-style-type: none"> ▪ Bituminous thickness 2 to 5 inches. ▪ Apparent aggregate** base is 6 to 9 inches.
Fill***	SP, SP-SM, SM	8 to 22 BPF	<ul style="list-style-type: none"> ▪ Below the pavement materials, Borings ST-01, ST-02, ST-03, and ST-05 encountered fill. ▪ Fill was composed of sandy soils that extended to depths of 3 to 6 ½ feet. ▪ Based on penetration resistance testing, the fill appears to have received variable compaction effort.
Alluvial	SP, SP-SM	6 to 13 BPF	<ul style="list-style-type: none"> ▪ Below the pavement and fill, the borings encountered alluvial soils. ▪ Alluvial soils were composed of poorly graded sand (SP) and poorly graded sand with silt (SP-SM). ▪ Penetration resistance indicates the alluvial sands are loose to medium dense in relative density. ▪ Moisture condition was moist.

*Abbreviations defined in the attached Descriptive Terminology sheets.

**We did not perform gradation analysis on the apparent aggregate base material encountered as part of the pavement section, in accordance with our scope of work. Therefore, we cannot conclusively determine if the encountered material satisfies a particular specification.

***For simplicity in this report, we define existing fill to mean existing, uncontrolled, or undocumented fill.

B.2.b. Cone Penetration Test Sounding

We performed CPT soundings in addition to our SPT soil borings. The Appendix includes CPT Sounding Logs that present the tip resistance, sleeve resistance, pore pressure and correlations based on the data that indicates a soil boring penetration resistance (N_{60}) and soil behavior type (SBT). The SBT does not correlate to soil classification based on grain size distribution or plasticity, and the SBT is not a reliable indicator of existing fill material gradation or extents.

We performed CPT soundings to provide a continuous profile of in-situ conditions that we use to estimate soil behavior properties for our engineering analyses. Refer to the attached Descriptive Terminology Cone Penetration Test in the Appendix for more information.

The results of the soundings indicate a soil profile consistent with findings in our SPT borings. Based on the SBT, the CPT soundings indicate the site is composed of sandy alluvial soils to the termination depth.

B.3. Groundwater

We did not observe groundwater while advancing our SPT borings. However, based on pore water pressure readings from our CPT soundings, we estimate groundwater to be at a depth of about 33 to 34 feet, corresponding to elevations 631 to 631 ½ feet. Project planning should anticipate seasonal and annual fluctuations of groundwater.

B.4. Laboratory Test Results

Table 4 presents the results of our laboratory tests.

Table 4. Laboratory Classification Test Results

Location	Sample Depth (ft)	Classification	Moisture Content (w, %)	Percent Passing a #200 Sieve
ST-01	10	Poorly Graded Sand (SP)	5	2
ST-02	5	FILL: Poorly Graded Sand with Silt (SP-SM)	6	6
ST-03	5	Poorly Graded Sand with Silt (SP-SM)	6	6
ST-04	7 ½	Poorly Graded Sand (SP)	7	3
ST-05	5	Poorly Graded Sand with Silt (SP-SM)	8	8
ST-09	15	Poorly Graded Sand (SP)	5	2
ST-16	15	Poorly Graded Sand (SP)	5	2
ST-24	15	Poorly Graded Sand with Silt (SP-SM)	6	7

C. Recommendations

C.1. Design and Construction Discussion

C.1.a. Introduction

Based on our subsurface exploration, the site is composed of existing pavement materials, existing fill, and alluvial soils. The existing pavement materials were found to be about 1 foot in thickness. Below the pavement materials, a portion of the borings encountered fill that extended to depths of up to 6 ½ feet. Below these materials, the borings encountered alluvial sand soils. Based on strength testing, the soils present at the site are loose to medium dense in relative density.

C.1.b. Building Subgrade Preparation

Site preparation work should include demolition of the existing commercial building. This should include removal of the structure, including footings, slabs, and underground utilities. In addition, the existing pavement should also be removed. Following removal of these materials, and prior to placement of structural fill or footings, the subgrades should be thoroughly surface compacted with a self-propelled vibratory steel-drum compactor.

Following these site preparations, the single-story commercial buildings can be designed for a net allowable bearing pressure of 4,000 pounds per square foot. The multi-story buildings, however, having below grade levels, and having 12 to 15 feet of overburden soil removed will aid in a higher bearing pressure. Furthermore, based on our CPT data, the multi-story buildings with below-grade levels can be designed for a net allowable bearing pressure of up to 7,000 pounds per square foot.

C.1.c. Pavement

Areas that will be receiving new pavement should be prepared by first removing existing pavement material and enough existing fill to allow for placement of new pavement materials. Additionally, if any debris is present in the existing fill, we recommend removing it within 2 feet of the proposed subgrade elevation. Prior to placing aggregate base material, we recommend surface compacting the pavement subgrade to enhance uniformity.

C.2. Site Grading and Subgrade Preparation

C.2.a. Building Demolition

We recommend demolition of the existing commercial building include removal of footings, slabs, foundation walls and underground utilities. These materials will need to be completely removed and the excavation backfilled with compacted soil.

C.2.b. Building Subgrade Excavations

Following building demolition, we also recommend removing existing pavement materials and existing fill below the proposed structures and their oversize areas. Table 5 shows the anticipated excavation depths and bottom elevations for each of the SPT borings.

Table 5. Building Excavation Depths

SPT Boring	Approximate Surface Elevation (ft)	Anticipated Excavation Depth (ft)	Anticipated Bottom Elevation (ft)
ST-01	661.5	4	657 ½
ST-02	663.4	6 ½	657
ST-03	663.1	3	660
ST-04	664.1	1	663
ST-05	663.1	4	659
ST-09	664.2	1	663
ST-16	664.5	1	663 ½
ST-24	665.9	1	665

Excavation depths will vary between the borings. Portions of the excavations may also extend deeper than indicated by the borings. A geotechnical representative should observe the excavations to make the necessary field judgments regarding the suitability of the exposed soils.

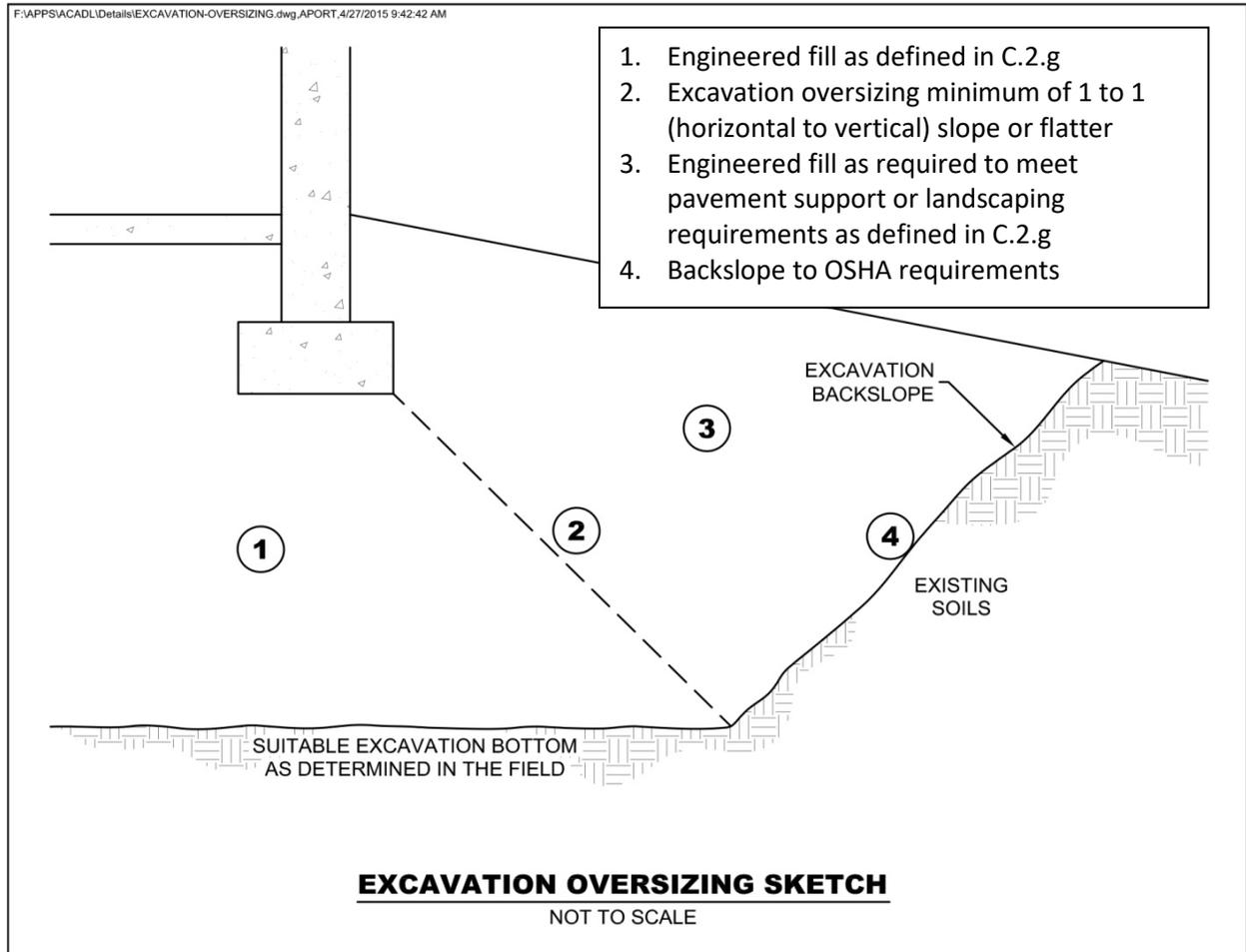
C.2.c. Surface Compaction

Prior to the placement of engineered fill or footings, we recommend surface compacting the exposed soils in the bottoms of the excavations with a minimum of five passes by a large (minimum diameter of 3 1/2 feet), smooth-drum compactor and be compacted to a minimum of 98 percent of the standard Proctor (ASTM D698) optimum density.

C.2.d. Excavation Oversizing

When removing unsuitable materials below structures or pavements, we recommend the excavation extend outward and downward at a slope of 1H:1V (horizontal: vertical) or flatter. See Figure 2 for an illustration of excavation oversizing.

Figure 2. Generalized Illustration of Oversizing



C.2.e. Excavated Slopes

Based on the borings, we anticipate on-site soils in excavations will consist of fill and alluvial sand soils. These soils are typically considered Type C Soil under OSHA (Occupational Safety and Health Administration) guidelines. OSHA guidelines indicate unsupported excavations in Type C soils should have a gradient no steeper than 1.5H:1V. Slopes constructed in this manner may still exhibit surface sloughing. OSHA requires an engineer to evaluate slopes or excavations over 20 feet in depth.

An OSHA-approved qualified person should review the soil classification in the field. Excavations must comply with the requirements of OSHA 29 CFR, Part 1926, Subpart P, "Excavations and Trenches." This document states excavation safety is the responsibility of the contractor. The project specifications should reference these OSHA requirements.

C.2.f. Pavement and Exterior Slab Subgrade Preparation

Areas that will be receiving new pavement should be prepared by first removing existing pavement material and enough existing fill to allow for placement of new pavement materials. Additionally, if any debris is present in the existing fill, we recommend removing it within 2 feet of the proposed subgrade elevation. Prior to placing aggregate base material, we recommend surface compacting the pavement subgrade to enhance uniformity. We recommend performing a proofroll after the aggregate base material is in place, and prior to placing bituminous or concrete pavement. We also recommend having a geotechnical representative observe the proofroll. Areas that fail the proofroll indicate soft or weak areas that will require additional soil correction work to support pavements.

C.2.g. Engineered Fill Materials and Compaction

Table 6 below contains our recommendations for engineered fill materials.

Table 6. Engineered Fill Materials*

Fill Classification	Locations To Be Used	Fill Source and Soil Descriptions	Gradation	Relative Compaction, percent (ASTM D698 – Standard Proctor)
Structural fill	<ul style="list-style-type: none"> ▪ Soil correction backfill ▪ Below foundations ▪ Interior & exterior foundation wall backfill ▪ Below interior & exterior slabs 	On-site alluvial sand soils or Imported sand and gravel consisting of GP, GW, SP, SW, SP-SM	100% passing 2-inch sieve <12% passing #200 sieve <2% Organic Content (OC)	98
Pavement Materials	Dense graded base	Imported aggregate	WisDOT Standard Spec 305 Dense Graded Base	98
	Pavement subgrades	On-site alluvial sand soils or Imported sand and gravel consisting of GP, GW, SP, SW, SP-SM, SM	100% passing 2-inch sieve <25% passing #200 sieve <3% OC	95
Non-structural fill	Below landscaped surfaces, where subsidence is not a concern	On-site soils and imported soils	100% passing 6-inch sieve < 10% OC	90

* More select soils comprised of coarse sands with < 5% passing #200 sieve may be needed to accommodate work occurring in periods of wet or freezing weather.

We recommend spreading engineered fill in loose lifts of approximately 12 inches thick. The project documents should specify relative compaction of engineered fill, based on the structure located above the engineered fill, and vertical proximity to that structure.

The project documents should not allow the contractor to use frozen material as engineered fill or to place engineered fill on frozen material. Frost should not penetrate under foundations during construction.

We recommend performing density tests in engineered fill to evaluate if the contractors are effectively compacting the soil and meeting project requirements.

C.3. Spread Footings

Table 7 below contains our recommended parameters for foundation design.

Table 7. Recommended Spread Footing Design Parameters

Item	Description	
	Single-Story Commercial	Multi-Story Mixed Use
Maximum net allowable bearing pressure (psf)	4,000	7,000
Minimum factor of safety for bearing capacity failure	3.0	3.0
Minimum width (inches)	18 for wall 36 for column	24 for wall 48 for column
Minimum embedment below final exterior grade for heated structures (inches)	48	48
Minimum embedment below final exterior grade for unheated structures or for footings not protected from freezing temperatures during construction (inches)	60	60
Total estimated settlement (inches)	Less than 1	1
Differential settlement (inch)	Less than 1/2	1/2

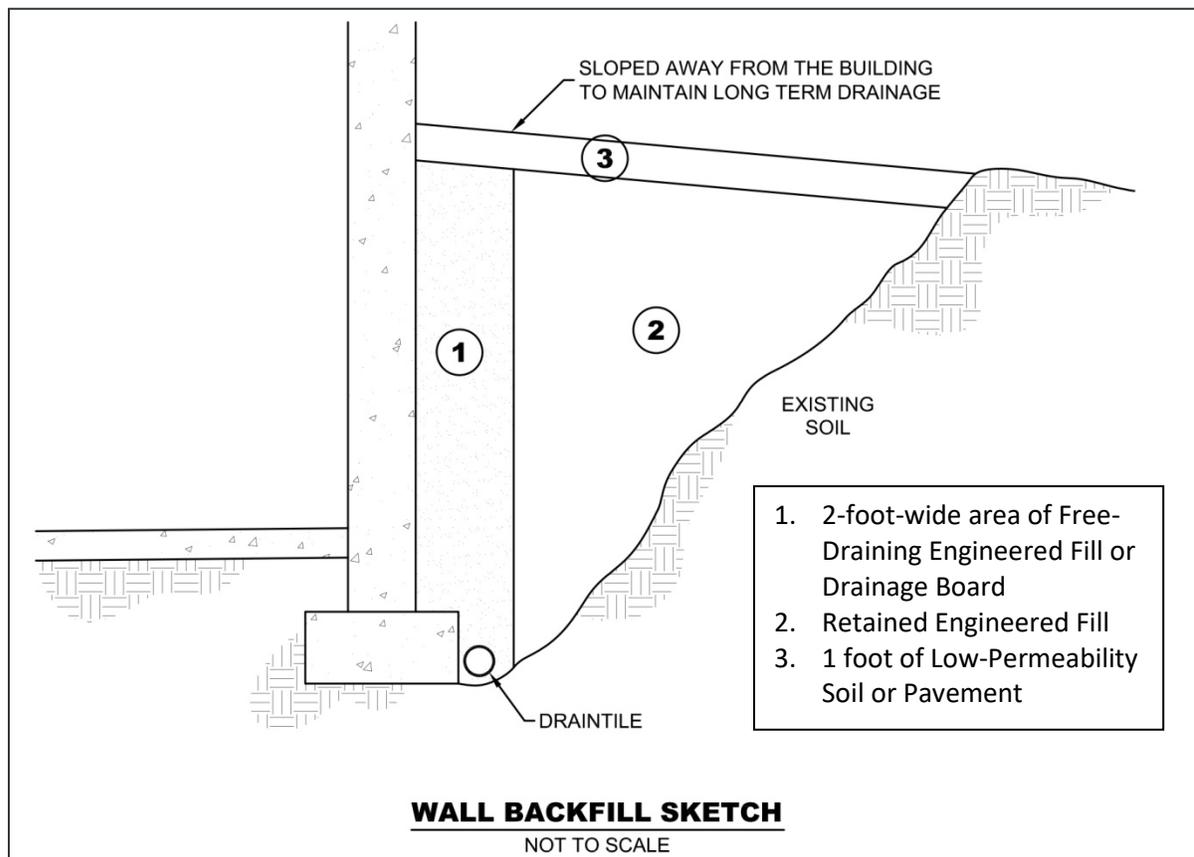
C.4. Below-Grade Walls

C.4.a. Drainage Control

We recommend installing drain tile to remove water behind the below-grade walls, at the location shown in Figure 3. The below-grade wall drainage system should also incorporate free-draining, engineered fill or a drainage board placed against the wall and connected to the drain tile.

Even with the use of free-draining, engineered fill, we recommend general waterproofing of below-grade walls that surround occupied or potentially occupied areas because of the potential cost impacts related to seepage after construction is complete.

Figure 3. Generalized Illustration of Wall Engineered Fill



The materials listed in the sketch should meet the definitions in Section C.2. Low-permeability material can direct water away from the wall, like clay, topsoil, or pavement. The project documents should indicate if the contractor should brace the walls prior to filling and allowable unbalanced fill heights.

As shown in Figure 3, we recommend Zone 2 consist of retained, engineered fill, and this material will control lateral pressures on the wall. However, we are also providing design parameters for using other engineered fill material. If final design uses non-sand material for engineered fill, project planning should account for the following items:

- Other fill material may result in higher lateral pressure on the wall.
- Other fill materials composed of silty or clayey soils may be more difficult to compact.
- Post-construction consolidation of other engineered fill material may result in settlement-related damage to the structures or slabs supported on the engineered fill. Post-construction settlement of other engineered fill material may also cause drainage towards the structure. The magnitude of consolidation could be up to about 3 percent of the wall fill thickness.

C.4.b. Configuring and Resisting Lateral Loads

Table 8 presents our recommended lateral equivalent fluid pressures for wall design of active, at-rest and passive earth pressure conditions. The table also provides recommended wet unit weights and internal friction angles. Designs should also consider the slope of any engineered fill and dead or live loads placed behind the walls within a horizontal distance that is equal to the height of the walls. Our recommended values assume the wall design provides drainage so water cannot accumulate behind the walls. The construction documents should clearly identify what soils the contractor should use for engineered fill of walls.

Table 8. Recommended Below-Grade Wall Design Parameters – Drained Conditions

Retained Soil	Wet Unit Weight (pcf)	Friction Angle (degrees)	Active Lateral Equivalent Fluid Pressure (pcf)	At-Rest Lateral Equivalent Fluid Pressure (pcf)	Passive Lateral Equivalent Fluid Pressure* (pcf)
On-site Sand	120	30	40	60	360

* Based on Rankine model for soils in a region behind the wall extending at least 2 horizontal feet beyond the bottom outer edges of the wall footings and then rising and away from the wall at an angle no steeper than 60 degrees from horizontal.

Sliding resistance between the bottom of the footing and the soil can also resist lateral pressures. We recommend assuming a sliding coefficient equal to 0.36 between the concrete and soil.

The values presented in this section are un-factored.

C.5. Interior Slabs

C.5.a. Subgrade Modulus

The anticipated floor subgrade is expected to consist of compacted structural fill or surface compacted alluvial soils. We recommend using a modulus of subgrade reaction, k , of 200 pounds per square inch per inch of deflection (pci) to design the slabs. If the slab design requires placing 6 inches of compacted crushed aggregate base immediately below the slab, the slab design may increase the k -value by 50 pci. We recommend that the aggregate base materials be free of bituminous. In addition to improving the modulus of subgrade reaction, an aggregate base facilitates construction activities and is less weather sensitive.

C.5.b. Moisture Vapor Protection

Excess transmission of water vapor could cause floor dampness, certain types of floor bonding agents to separate, or mold to form under floor coverings. If project planning includes using floor coverings or coatings, we recommend placing a vapor retarder or vapor barrier immediately beneath the slab. We also recommend consulting with floor covering manufacturers regarding the appropriate type, use and installation of the vapor retarder or barrier to preserve warranty assurances.

C.6. Pavements and Exterior Slabs

C.6.a. Design Sections

Our scope of services for this project did not include laboratory tests on subgrade soils to determine a California Bearing Ratio (CBR) value for pavement design. Based on our experience with similar sandy soils anticipated at the pavement subgrade elevation, we recommend pavement design assume a CBR-value of 10. Similarly, we based the concrete pavement designs on an assumed modulus of subgrade reaction (k) of 200 pci. Table 9 provides recommended pavement sections, based on the soils support and traffic loads.

Table 9. Recommended Bituminous Pavement Sections

Use	Asphalt Pavement		Concrete Pavement	
	Light Duty	Heavy Duty	Light Duty	Heavy Duty
Minimum asphalt thickness (inches)	4	5	---	---
Minimum concrete thickness (inches)	---	---	5	6
Minimum aggregate base thickness (inches)	8	10	6	6

C.6.b. Concrete Pavements

We recommend specifying concrete for pavements that has a minimum 28-day compressive strength of 4,500 psi, and a modulus of rupture (M_r) of at least 650 psi. We also recommend Type I cement meeting the requirements of ASTM International C 150. We recommend specifying 4.5 to 7.5 percent entrained air for exposed concrete to provide resistance to freeze-thaw deterioration. We also recommend using a water/cement ratio of 0.45 or less for concrete exposed to deicers.

C.6.c. Bituminous Pavement Materials

Appropriate mix designs are critical to the performance of flexible pavements. We recommend utilizing hot mix asphalt meeting the specifications of Wisconsin Department of Transportation (WisDOT) Section 460. We recommend utilizing a nominal 12.5 mm gradation for the base course and a nominal 9.5 mm gradation for the surface course as defined in Table 460-1 in Section 460.2.2.3. We recommend the Performance Graded Asphalt cement be a PG 58-28 in the lower and upper layer.

C.6.d. Performance and Maintenance

We based the above pavement designs on a 20-year performance life for bituminous and a 35-year life for concrete. This is the amount of time before we anticipate the pavement will require reconstruction. This performance life assumes routine maintenance, such as seal coating and crack sealing. The actual pavement life will vary depending on variations in weather, traffic conditions and maintenance.

It is common to place the non-wear course of bituminous and then delay placement of wear course. For this situation, we recommend evaluating if the reduced pavement section will have sufficient structure to support construction traffic.

Many conditions affect the overall performance of the exterior slabs and pavements. Some of these conditions include the environment, loading conditions and the level of ongoing maintenance. Regarding bituminous pavements, it is common to have thermal cracking develop within the first few years of placement and continue throughout the life of the pavement. We recommend developing a regular maintenance plan for filling cracks in exterior slabs and pavements to lessen the potential impacts for cold weather distress due to frost heave or warm weather distress due to wetting and softening of the subgrade.

C.7. Utilities

C.7.a. Subgrade Stabilization

Earthwork activities associated with utility installations located inside the building area should adhere to the recommendations in Section C.2.

For exterior utilities, we anticipate the soils at typical invert elevations will be suitable for utility support. However, if construction encounters unfavorable conditions such as soft clay, organic soils or perched water at invert grades, the unsuitable soils may require some additional subcutting and replacement with sand or crushed rock to prepare a proper subgrade for pipe support. Project design and construction should not place utilities within the 1H:1V oversizing of foundations.

C.7.b. Corrosion Potential

Many of the soil borings indicated the site consists of sandy soils. We consider these soils non- to slightly corrosive to metallic conduits. If utilities extend through clay soils, we recommend bedding the utilities in sandy soil free of any clay lumps or constructing the utilities with non-corrosive materials.

C.8. Storm Water

C.8.a. Test Pits

We observed the excavation of three test pits that were extended to depths of approximately 10 feet each below existing grades. We labeled our exploration locations Test Pits, TP-28, TP-29, and TP-30. We visually examined the sidewalls of the test pit and classified the materials brought to the surface by the excavator bucket. We measured strata boundary depths with a tape measure to the nearest inch.

C.8.b. Storm Water Soil Profile Summary

Based on the test pit excavations, the storm water locations are composed of existing pavement materials over alluvial soils. Beneath the pavement, the alluvial soils were initially composed of sandy clay loam (USCS Soil Classification Sandy Lean Clay "CL") and fine-grained loamy sand (USCS Soil Classification Poorly Graded Sand with Silt "SP-SM"). At depth, the test pits encountered alluvial soils composed of fine-grained sand (USCS Soil Classification Poorly Graded Sand "SP").

Groundwater was not observed within the test pit excavations. Seasonal and annual fluctuations of groundwater should be anticipated.

C.8.c. Infiltration Discussion

In general, the alluvial sand soils present at the site are well suited for infiltration of storm water. However, lower infiltration rates should be anticipated in the sandy clay loam near Test Pit TP-28. Infiltration rates for the site are included on the Soil and Site Evaluation – Storm form attached in the Appendix.

Infiltration rates in natural soils are variable based on soil type, moisture content, void space between soil particles, and discontinuities in the soil structure. Discontinuities are not present in disturbed or compacted soils, such as existing fills, because void space between soil particles may have been reduced from compaction efforts, if applicable.

This geotechnical evaluation does not constitute a review of site suitability for storm water infiltration or evaluate the potential impacts, if any, from infiltration of large amounts of storm water.

C.9. Equipment Support

The recommendations included in the report may not be applicable to equipment used for the construction and maintenance of this project. We recommend evaluating subgrade conditions in areas of shoring, scaffolding, cranes, pumps, lifts, and other construction equipment prior to mobilization to determine if the exposed materials are suitable for equipment support or require some form of subgrade improvement. We also recommend project planning consider the effect that loads applied by such equipment may have on structures they bear on or surcharge – including pavements, buried utilities, and below-grade walls. We can assist you in this evaluation.

D. Procedures

D.1. Penetration Test Borings

We drilled the penetration test borings with a track-mounted core and auger drill equipped with hollow-stem auger. We performed the borings in general accordance with ASTM D6151 taking penetration test samples at 2 1/2- or 5-foot intervals in general accordance with ASTM D1586. The boring logs show the actual sample intervals and corresponding depths.

D.2. Cone Penetration Test Soundings

We performed CPT soundings by advancing a 1.75-inch diameter Vertek seismic piezocone with an unequal end area ratio of 0.8. We used a 15-ton track mounted rig to advance the cone into the ground. We performed the soundings in general accordance with ASTM D5778. While advancing the cone, we digitally recorded tip resistance (Q_t), sleeve friction (F_s) and pore pressure (U_2).

D.3. Exploratory Test Pits

Hess Excavation excavated the test pits with a track-mounted excavator, under the direction and observation of our staff. We prepared Test Pit Logs in accordance with the Wisconsin DSPS Technical Standard 1002. Soils excavated in the test pits were logged by visually examining the sidewalls of the test pits and classifying the materials brought to the surface by the bucket. We measured strata boundary depths with a tape measure.

D.4. Exploration Logs

D.4.a. Log of Boring Sheets

The Appendix includes Log of Boring sheets for our penetration test borings. The logs identify and describe the penetrated geologic materials and present the results of penetration resistance and other in-situ tests performed. The logs also present the results of laboratory tests performed on penetration test samples, and groundwater measurements. The Appendix also includes a Fence Diagram intended to provide a summarized cross-sectional view of the soil profile across the site.

We inferred strata boundaries from changes in the penetration test samples and the auger cuttings. Because we did not perform continuous sampling, the strata boundary depths are only approximate.

The boundary depths vary away from the boring locations, and the boundaries themselves may occur as gradual rather than abrupt transitions.

D.4.b. Cone Penetration Test Sounding Logs

The Appendix also includes CPT Sounding Logs. The CPT sounding logs report the tip resistance (Q_t), sleeve friction (F_s) and pore pressure (U_2) measured by the cone during advancement, as well as the soil behavior type (SBT) inferred from established relationships between tip resistance, sleeve friction and pore pressure. The SBT does not indicate a soil classification based on grain size distribution. Refer to the attached Descriptive Terminology Cone Penetration Test in the Appendix for more information. The CPT logs also report the friction ratio, which calculated by dividing the sleeve friction by the tip resistance.

We inferred strata boundaries, like SBT, from changes in tip resistance, sleeve friction and pore pressure. While cone measurements are continuous with depth, the boundaries are still only approximate, vary away from the sounding locations and may also occur as gradual rather than abrupt transitions.

D.4.c. Log of Test Pit Sheets

The Appendix also includes Log of Test Pit sheets. The logs classify and describe the geologic materials exposed in the sidewalls and bottoms of the pits, present the results of laboratory tests performed on bulk samples obtained from them, and depict groundwater measurements.

D.4.d. Geologic Origins

We assigned geologic origins to the materials shown on the logs and referenced within this report, based on: (1) a review of the background information and reference documents cited above, (2) visual classification of the various geologic material samples retrieved during the course of our subsurface exploration, (3) penetration resistance and other in-situ testing performed for the project, (4) laboratory test results, and (5) available common knowledge of the geologic processes and environments that have impacted the site and surrounding area in the past.

D.5. Material Classification and Testing

D.5.a. Visual and Manual Classification

We visually and manually classified the geologic materials encountered based on ASTM D2488. When we performed laboratory classification tests, we used the results to classify the geologic materials in accordance with ASTM D2487. The Appendix includes a chart explaining the classification system we used.

D.5.b. Laboratory Testing

The exploration logs in the Appendix note most of the results of the laboratory tests performed on geologic material samples. The remaining laboratory test results follow the exploration logs. We performed the tests in general accordance with ASTM procedures.

D.6. Groundwater Measurements

The drillers checked for groundwater while advancing the penetration test borings, and again after auger withdrawal. We then filled the boreholes or allowed them to remain open for an extended period of observation, as noted on the boring logs.

We inferred groundwater levels from pore pressure measurements made during advancement of the piezocone.

E. Qualifications

E.1. Variations in Subsurface Conditions

E.1.a. Material Strata

We developed our evaluation, analyses, and recommendations from a limited amount of site and subsurface information. It is not standard engineering practice to retrieve material samples from exploration locations continuously with depth. Therefore, we must infer strata boundaries and thicknesses. Strata boundaries may also be gradual transitions, and project planning should expect the strata to vary in depth, elevation, and thickness, away from the exploration locations.

Variations in subsurface conditions present between exploration locations may not be revealed until performing additional exploration work or starting construction. If future activity for this project reveals any such variations, you should notify us so that we may reevaluate our recommendations. Such variations could increase construction costs, and we recommend including a contingency to accommodate them.

E.1.b. Groundwater Levels

We made groundwater measurements under the conditions reported herein and shown on the exploration logs and interpreted in the text of this report.

Note that the observation periods were short, and project planning can expect groundwater levels to fluctuate in response to rainfall, flooding, irrigation, seasonal freezing and thawing, surface drainage modifications and other seasonal and annual factors.

E.2. Continuity of Professional Responsibility

E.2.a. Plan Review

We based this report on a limited amount of information, and we made several assumptions to help us develop our recommendations. We should be retained to review the geotechnical aspects of the designs and specifications. This review will allow us to evaluate whether we anticipated the design correctly, if any design changes affect the validity of our recommendations, and if the design and specifications correctly interpret and implement our recommendations.

E.2.b. Construction Observations and Testing

We recommend retaining us to perform the required observations and testing during construction as part of the ongoing geotechnical evaluation. This will allow us to correlate the subsurface conditions exposed during construction with those encountered by the borings and provide professional continuity from the design phase to the construction phase. If we do not perform observations and testing during construction, it becomes the responsibility of others to validate the assumption made during the preparation of this report and to accept the construction-related geotechnical engineer-of-record responsibilities.

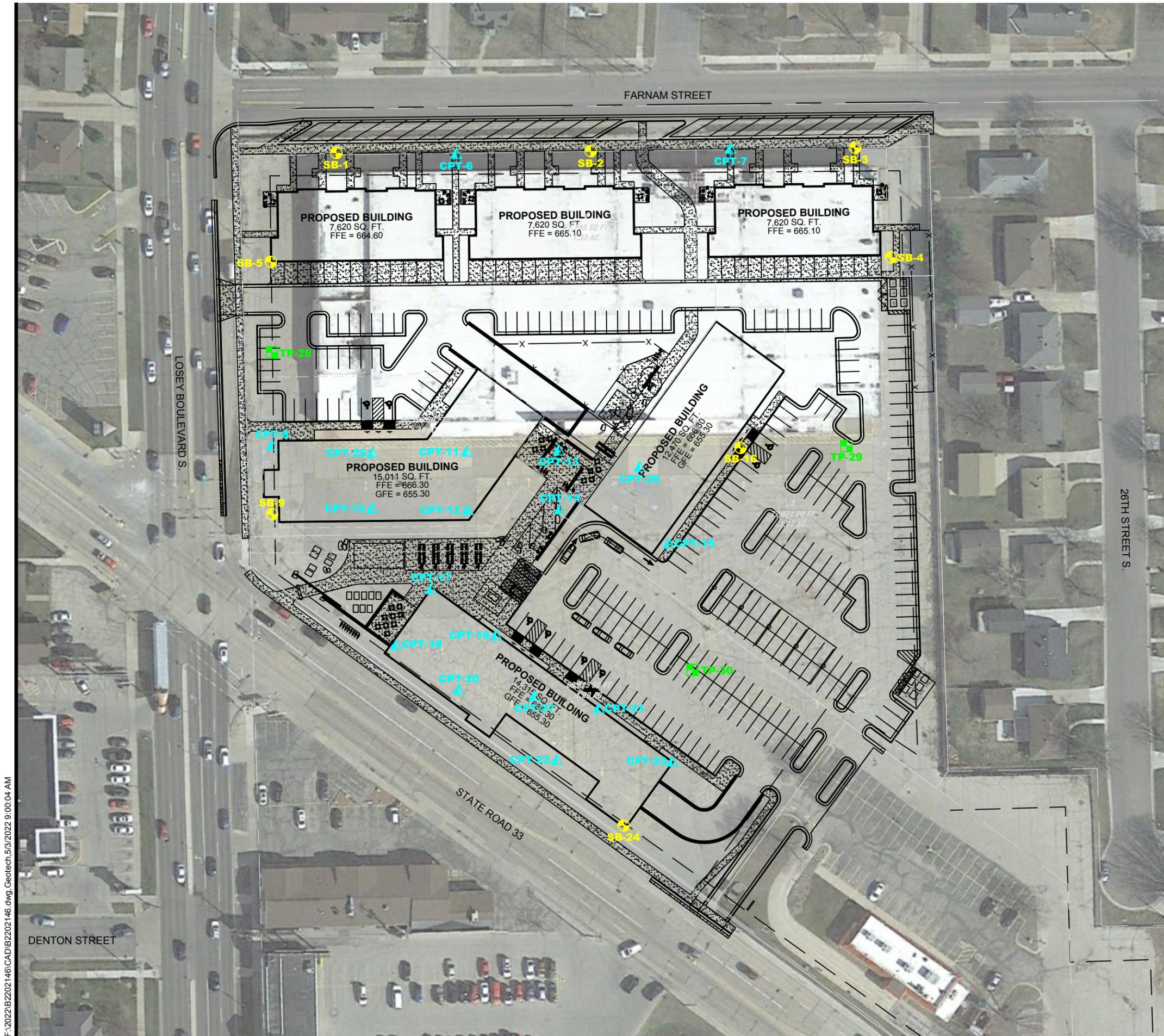
E.3. Use of Report

This report is for the exclusive use of the addressed parties. Without written approval, we assume no responsibility to other parties regarding this report. Our evaluation, analyses and recommendations may not be appropriate for other parties or projects.

E.4. Standard of Care

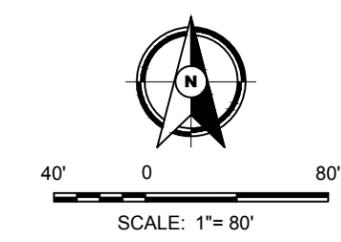
In performing its services, Braun Intertec used that degree of care and skill ordinarily exercised under similar circumstances by reputable members of its profession currently practicing in the same locality. No warranty, express or implied, is made.

Appendix



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-  DENOTES APPROXIMATE LOCATION OF STANDARD PENETRATION TEST BORING
-  DENOTES APPROXIMATE LOCATION OF CPT SOUNDING
-  DENOTES APPROXIMATE LOCATION OF TEST PIT



Drawing Information

Project No:	B2202146
Drawing No:	B2202146
Drawn By:	JAG
Date Drawn:	3/15/22
Checked By:	BW
Last Modified:	5/3/22

Project Information

Kmart Redevelopment Project
2415 State Road
La Crosse, Wisconsin

Soil Boring Location Sketch

Project Number B2202146					BORING: ST-01		
Geotechnical Evaluation					LOCATION: See attached sketch		
Copper Rocks Development					NORTHING:		
2415 State Road					EASTING:		
La Crosse, Wisconsin					START DATE: 03/31/22		
DRILLER: Subcontractor		LOGGED BY: B. Wright			END DATE: 03/31/22		
SURFACE ELEVATION: 661.5 ft		RIG: Subcontractor		METHOD: 3 1/4" HSA		SURFACING: Pavement	WEATHER: Overcast
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
660.6		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base					
0.9		FILL: POORLY GRADED SAND with SILT (SP-SM), fine-grained, brown, moist		5-4-4 (8)			
657.5		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose to medium dense (ALLUVIUM)	5	4-5-6 (11)			
4.0				4-4-4 (8)			
			10	4-3-5 (8)		5	P200=2%
				3-3-5 (8)			
			15	3-4-6 (10)			
640.5			20	3-4-6 (10)			
21.0		END OF BORING					Water not observed while drilling.
		Boring then grouted					
			25				
			30				
			35				

See Descriptive Terminology sheet for explanation of abbreviations

Project Number B2202146					BORING: ST-02		
Geotechnical Evaluation					LOCATION: See attached sketch		
Copper Rocks Development					NORTHING:		
2415 State Road					EASTING:		
La Crosse, Wisconsin					START DATE: 03/31/22		
DRILLER: Subcontractor		LOGGED BY: B. Wright			END DATE: 03/31/22		
SURFACE ELEVATION: 663.4 ft		RIG: Subcontractor		METHOD: 3 1/4" HSA		SURFACING: Pavement	WEATHER: Overcast
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
662.5 0.9		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base		15-10-12 (22)			P200=6%
		FILL: SILTY SAND (SM), fine-grained, trace bituminous debris, dark brown to brown, moist	5	5-7-9 (16)		6	
656.9 6.5		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose (ALLUVIUM)		2-3-4 (7)			Water not observed while drilling.
			10	3-4-4 (8)			
				4-4-4 (8)			
			15	4-4-4 (8)			
			20	3-4-6 (10)			
642.4 21.0		END OF BORING Boring then grouted					

Project Number B2202146					BORING: ST-03		
Geotechnical Evaluation					LOCATION: See attached sketch		
Copper Rocks Development					NORTHING:		
2415 State Road					EASTING:		
La Crosse, Wisconsin					START DATE: 03/31/22		
DRILLER: Subcontractor		LOGGED BY: B. Wright			END DATE: 03/31/22		
SURFACE ELEVATION: 663.1 ft	RIG: Subcontractor	METHOD: 3 1/4" HSA		SURFACING: Pavement		WEATHER: Overcast	
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
662.2		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base					
0.9		FILL: POORLY GRADED SAND (SP), fine-grained, trace Gravel, light brown, moist		7-7-7 (14)			
660.1		POORLY GRADED SAND with SILT (SP-SM), fine-grained, brown to light brown, moist, loose (ALLUVIUM)	5	5-6-3 (9)		6	P200=6%
656.6		POORLY GRADED SAND (SP), fine-grained, light brown, moist, loose (ALLUVIUM)		3-3-3 (6)			
6.5			10	3-4-3 (7)			
				3-3-5 (8)			
			15	2-3-4 (7)			
				4-4-5 (9)			
642.1		END OF BORING					Water not observed while drilling.
21.0		Boring then grouted					
			25				
			30				
			35				

See Descriptive Terminology sheet for explanation of abbreviations

Project Number B2202146 Geotechnical Evaluation Copper Rocks Development 2415 State Road La Crosse, Wisconsin					BORING: ST-04		
					LOCATION: See attached sketch		
					NORTHING:	EASTING:	
DRILLER: Subcontractor	LOGGED BY: B. Wright		START DATE: 03/31/22	END DATE: 03/31/22			
SURFACE ELEVATION: 664.1 ft	RIG: Subcontractor	METHOD: 3 1/4" HSA	SURFACING: Pavement	WEATHER: Overcast			
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
663.2 0.9		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base					
		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose to medium dense (ALLUVIUM)	4-4-4 (8)				
			5 3-3-4 (7)				
			4-4-4 (8)			7	P200=3%
			10 4-4-4 (8)				
			4-4-5 (9)				
			15 4-5-7 (12)				
643.1 21.0		END OF BORING	20 3-4-6 (10)				Water not observed while drilling.
		Boring then grouted					
			25				
			30				
			35				

Project Number B2202146					BORING: ST-05		
Geotechnical Evaluation					LOCATION: See attached sketch		
Copper Rocks Development					NORTHING:		
2415 State Road					EASTING:		
La Crosse, Wisconsin					START DATE: 03/31/22		
DRILLER: Subcontractor		LOGGED BY: B. Wright		END DATE: 03/31/22			
SURFACE ELEVATION: 663.1 ft	RIG: Subcontractor	METHOD: 3 1/4" HSA	SURFACING: Pavement		WEATHER: Overcast		
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
662.4		PAVEMENT, 2 inches over 7 inches of apparent aggregate base					
0.8		FILL: SILTY SAND (SM), fine-grained, dark brown, moist		4-4-4 (8)			
659.1		POORLY GRADED SAND with SILT (SP-SM), fine-grained, brown, moist, medium dense (ALLUVIUM)	5	4-5-6 (11)		8	P200=8%
4.0							
656.6		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose (ALLUVIUM)		4-3-4 (7)			
6.5							
			10	3-3-4 (7)			
			15	3-4-5 (9)			
			20	3-4-5 (9)			
642.1		END OF BORING		4-5-5 (10)			
21.0		Boring then grouted					Water not observed while drilling.
			25				
			30				
			35				

Project Number B2202146					BORING: ST-09		
Geotechnical Evaluation					LOCATION: See attached sketch		
Copper Rocks Development					NORTHING:		
2415 State Road					EASTING:		
La Crosse, Wisconsin					START DATE: 03/31/22		
DRILLER: Subcontractor		LOGGED BY: B. Wright			END DATE: 03/31/22		
SURFACE ELEVATION: 664.2 ft		RIG: Subcontractor		METHOD: 3 1/4" HSA		SURFACING: Pavement	WEATHER: Overcast
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
663.3 0.9		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base					
		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose to medium dense (ALLUVIUM)	5	5-4-3 (7)			
				4-4-5 (9)			
				3-3-3 (6)			
			10	4-4-4 (8)			
				4-4-4 (8)			
			15	3-4-5 (9)		5	P200=2%
				3-3-3 (6)			
			25	3-4-6 (10)			
				5-5-6 (11)			
633.2 31.0		END OF BORING					Water not observed while drilling.
		Boring then grouted					
			35				

Project Number B2202146 Geotechnical Evaluation Copper Rocks Development 2415 State Road La Crosse, Wisconsin					BORING: ST-24		
					LOCATION: See attached sketch		
					NORTHING:	EASTING:	
DRILLER: Subcontractor	LOGGED BY: B. Wright		START DATE: 03/31/22	END DATE: 03/31/22			
SURFACE ELEVATION: 665.9 ft	RIG: Subcontractor	METHOD: 3 1/4" HSA	SURFACING: Pavement	WEATHER: Overcast			
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
665.0		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base					
0.9							
662.9		POORLY GRADED SAND with SILT (SP-SM), fine-grained, brown, moist, medium dense (ALLUVIUM)		6-5-7 (12)			
3.0							
		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose to medium dense (ALLUVIUM)	5	4-4-4 (8)			
			10	3-3-4 (7)			
651.9		POORLY GRADED SAND with SILT (SP-SM), fine-grained, light brown, moist, loose (ALLUVIUM)	15	3-4-5 (9)		6	P200=7%
14.0							
647.9		POORLY GRADED SAND (SP), fine-grained, light brown, moist, loose to medium dense (ALLUVIUM)	20	5-5-5 (10)			
18.0							
			25	5-5-6 (11)			
634.9			30	6-4-5 (9)			
31.0		END OF BORING					Water not observed while drilling.
		Boring then grouted					
			35				



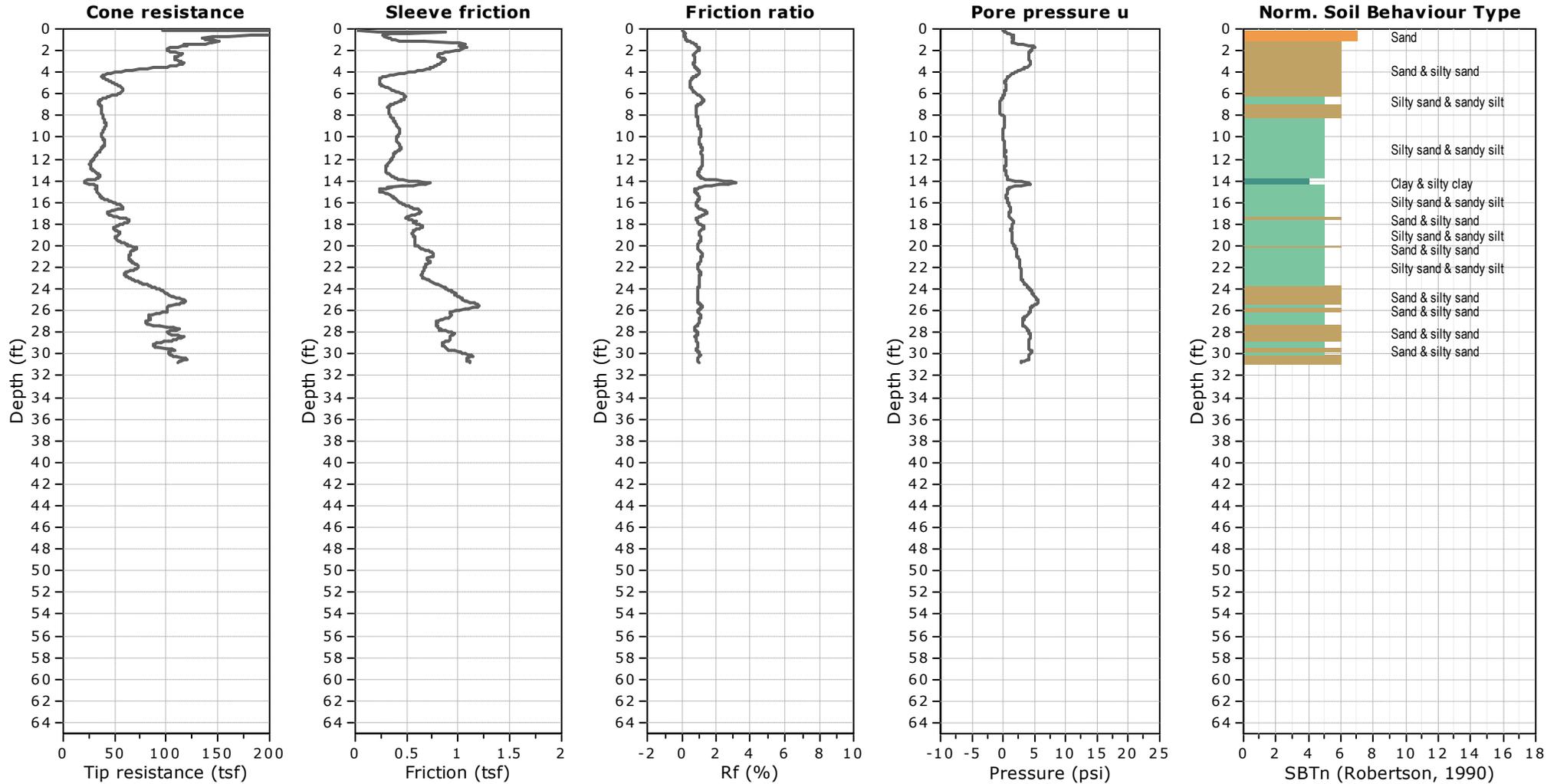
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-06

Total depth: 30.77 ft, Date: 4/8/2022
 Surface Elevation: 662.30 ft
 Coords: N 126408.696, E 453756.315
 Cone Type: 200727
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

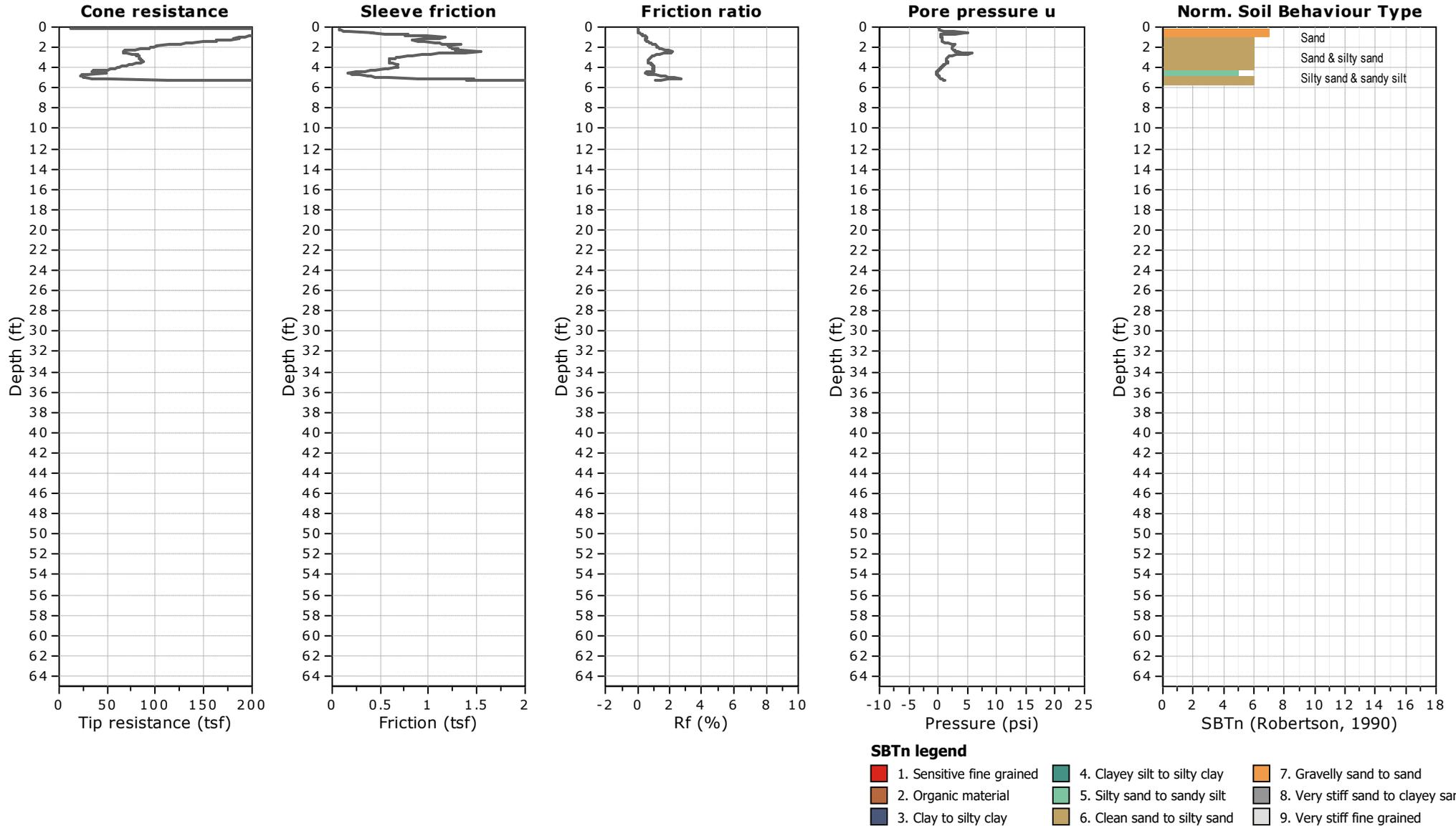


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146





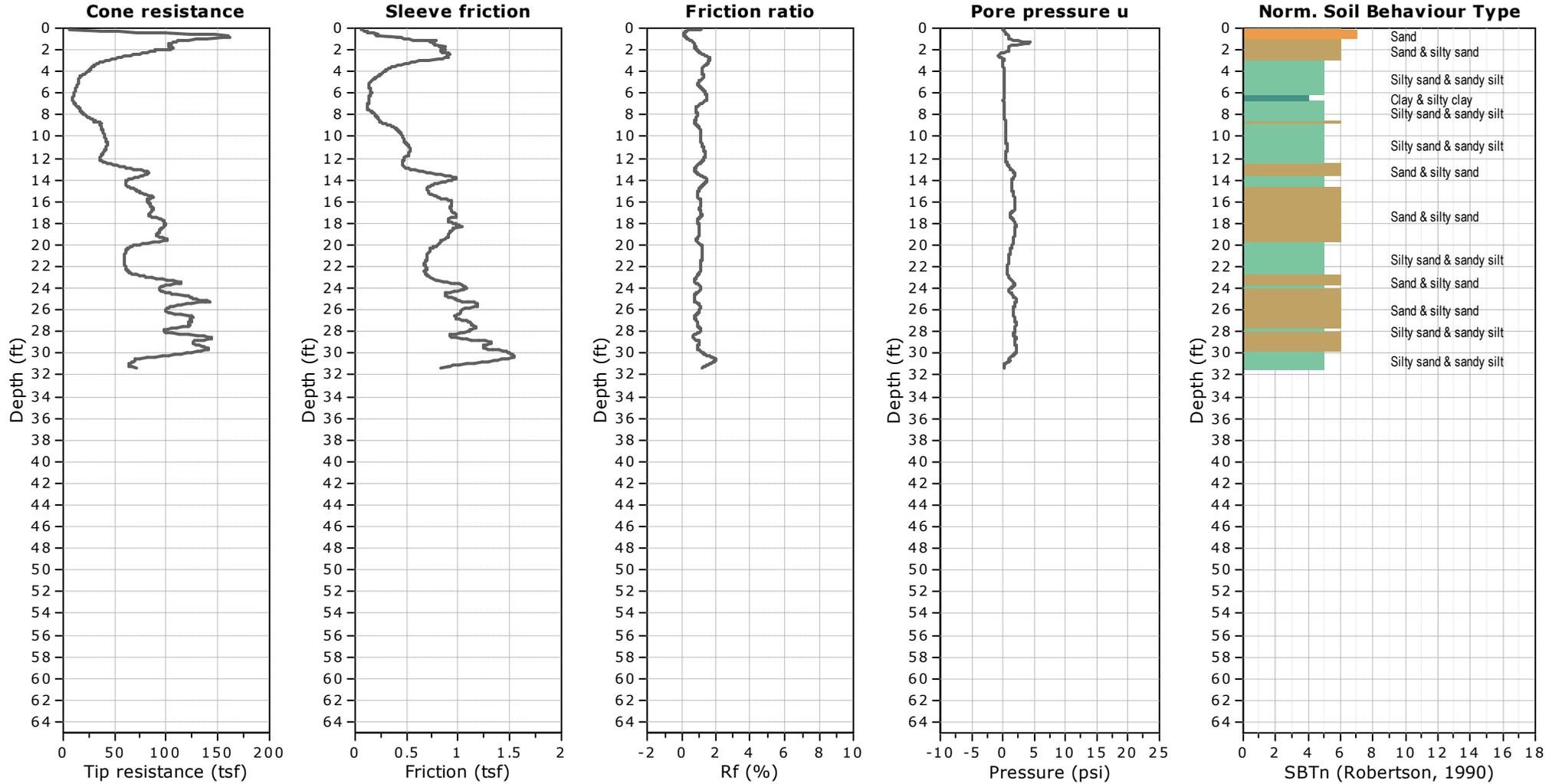
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-08

Total depth: 31.30 ft, Date: 4/8/2022
 Surface Elevation: 663.90 ft
 Coords: N 126174.571, E 453607.932
 Cone Type: 200726
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

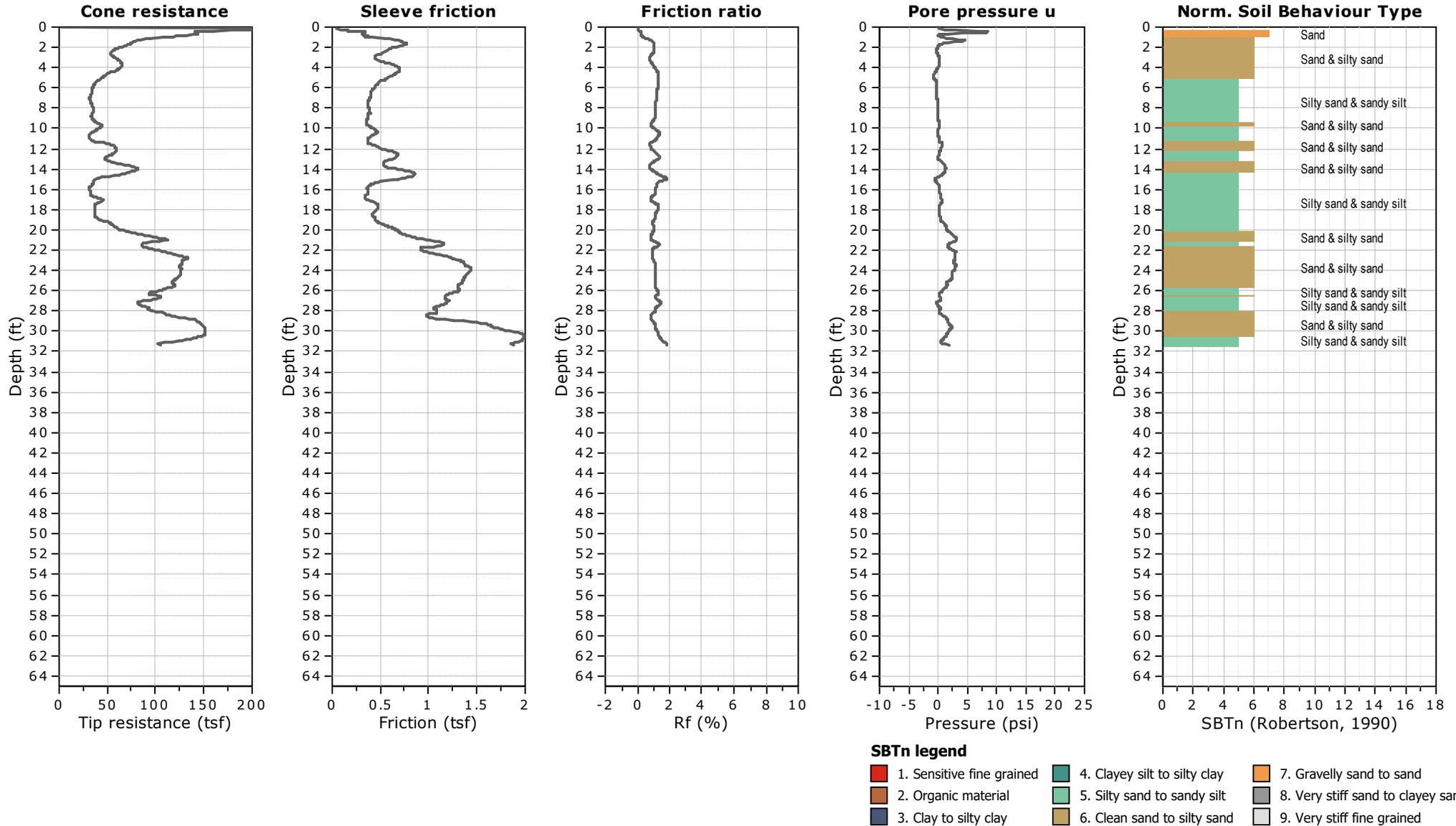


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146





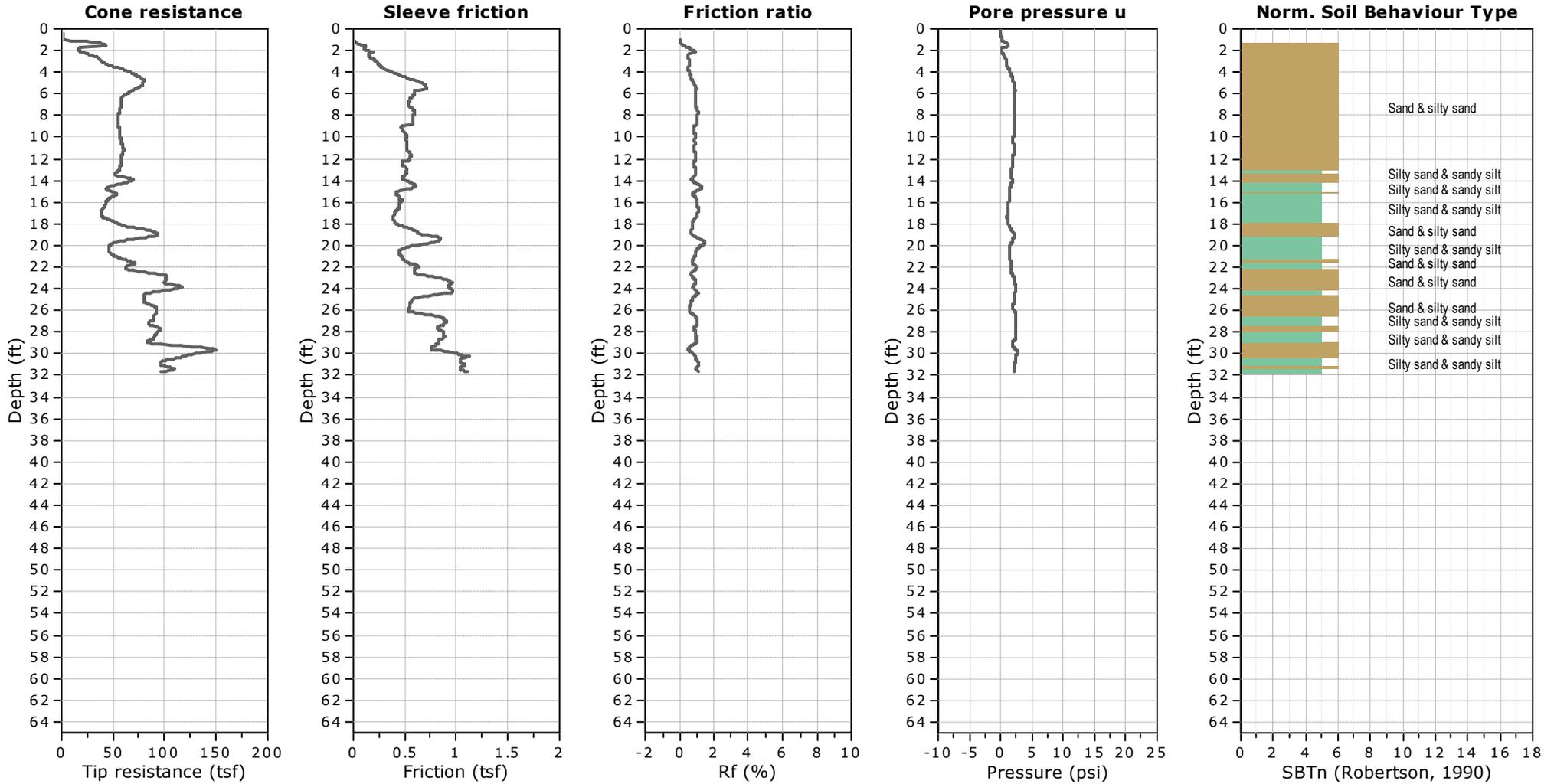
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-11

Total depth: 31.69 ft, Date: 4/9/2022
 Surface Elevation: 664.48 ft
 Coords: N 126169.688, E 453764.767
 Cone Type: 200724
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



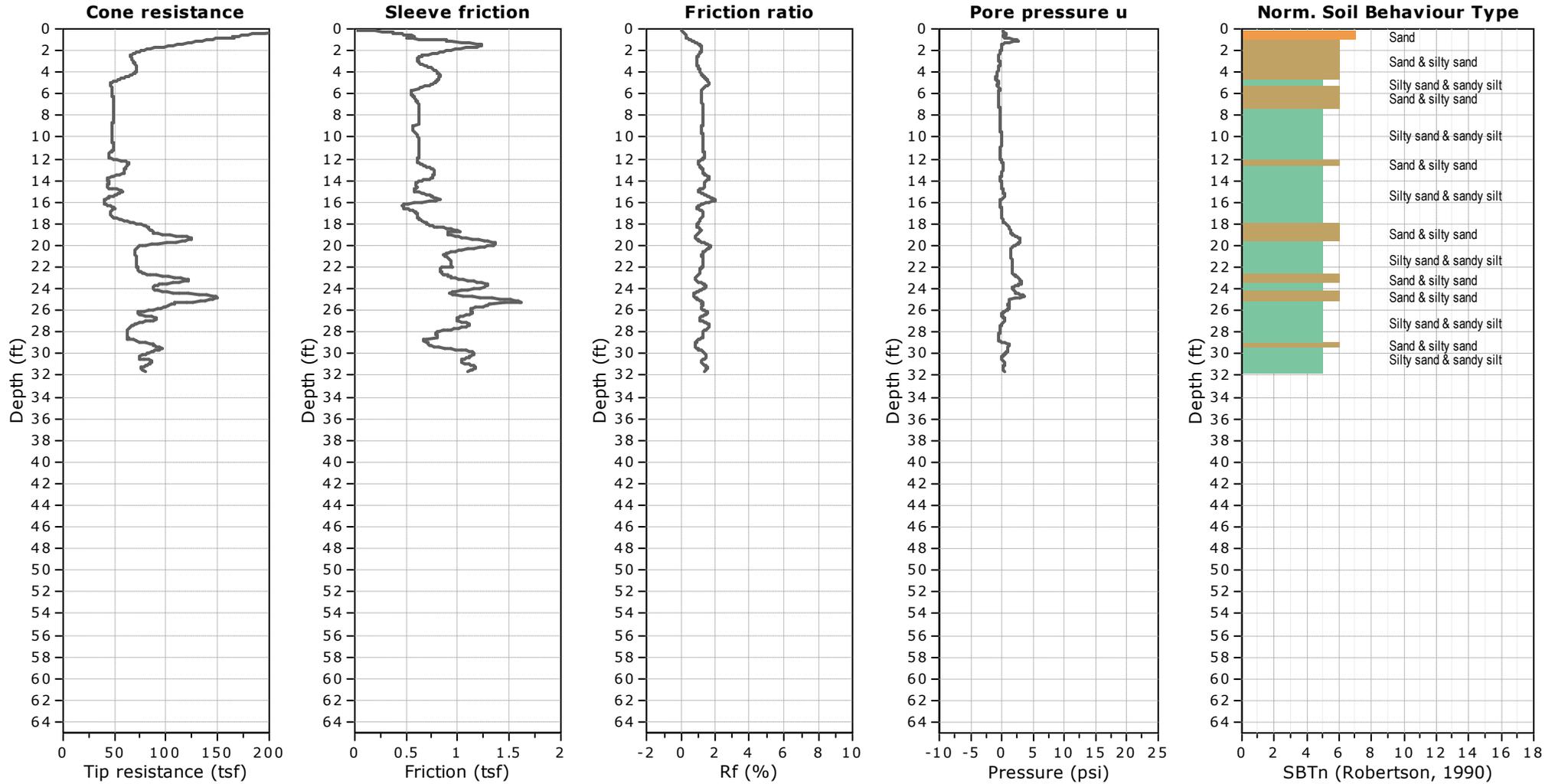
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-12

Total depth: 31.63 ft, Date: 4/8/2022
 Surface Elevation: 663.81 ft
 Coords: N 126122.632, E 453765.658
 Cone Type: 200724
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



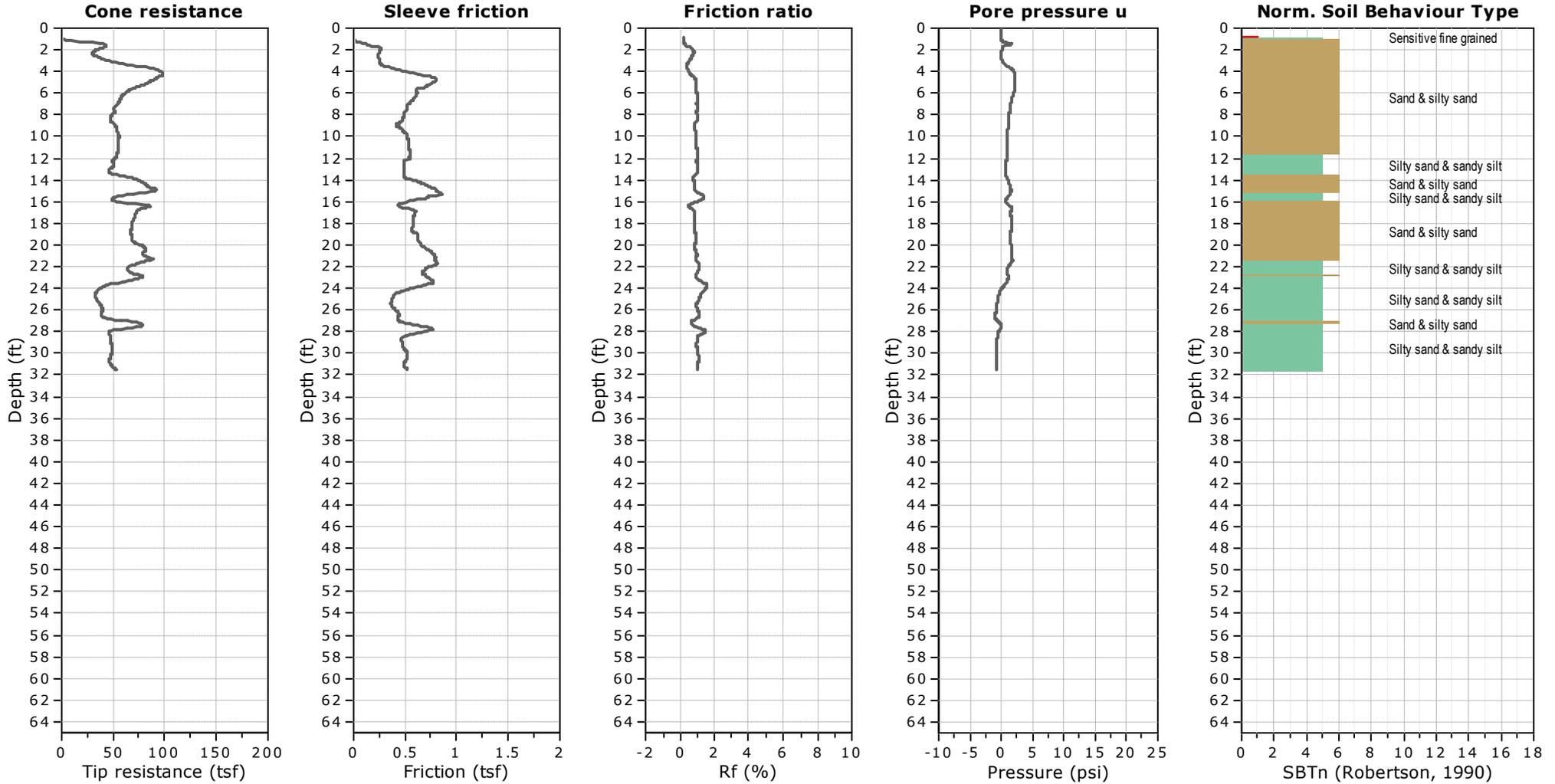
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-13

Total depth: 31.56 ft, Date: 4/9/2022
 Surface Elevation: 664.50 ft
 Coords: N 126170.618, E 453838.885
 Cone Type: 200724
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

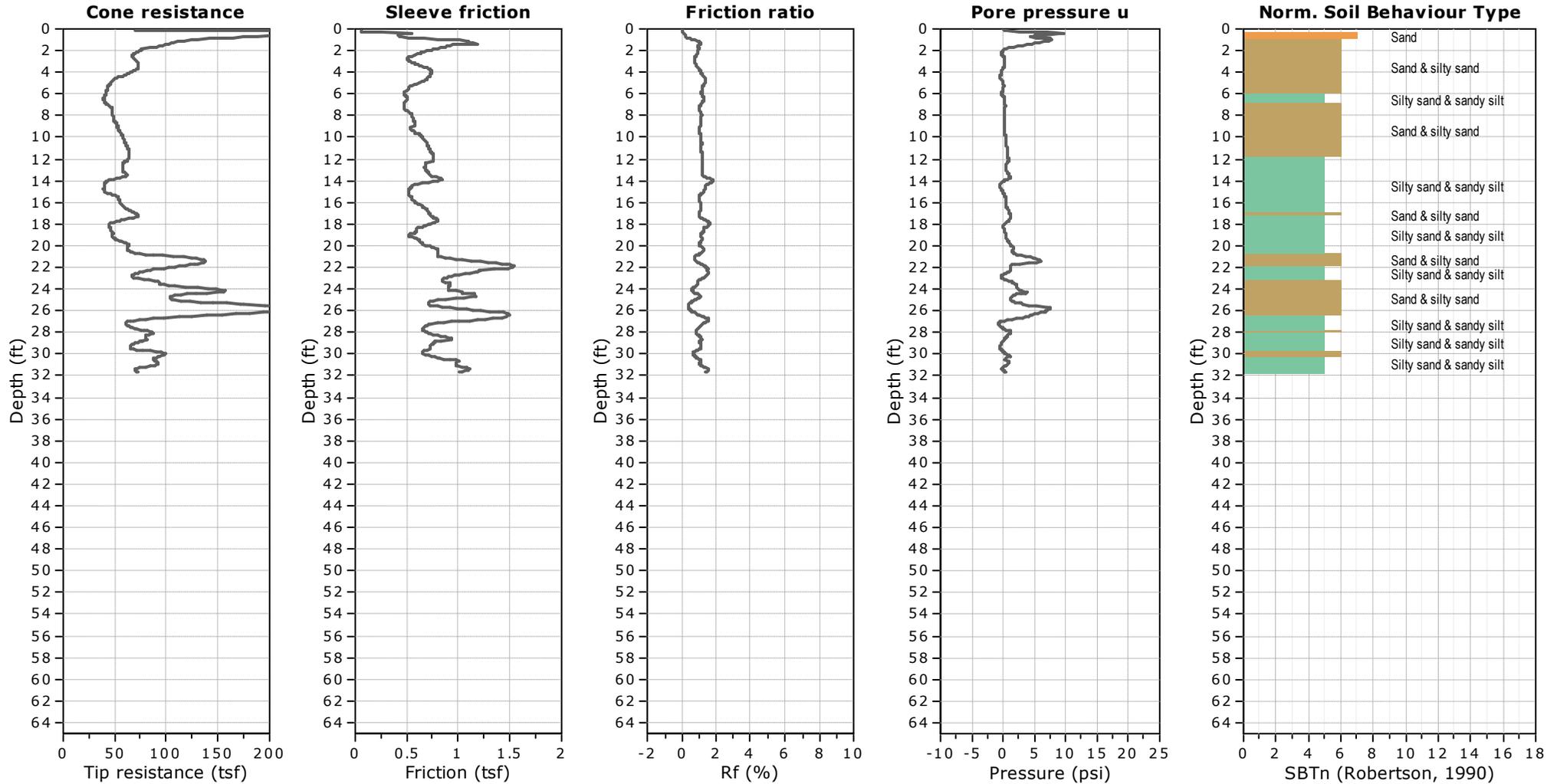


SBTn legend

- | | | |
|--|---|---|
| ■ 1. Sensitive fine grained | ■ 4. Clayey silt to silty clay | ■ 7. Gravelly sand to sand |
| ■ 2. Organic material | ■ 5. Silty sand to sandy silt | ■ 8. Very stiff sand to clayey sand |
| ■ 3. Clay to silty clay | ■ 6. Clean sand to silty sand | ■ 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



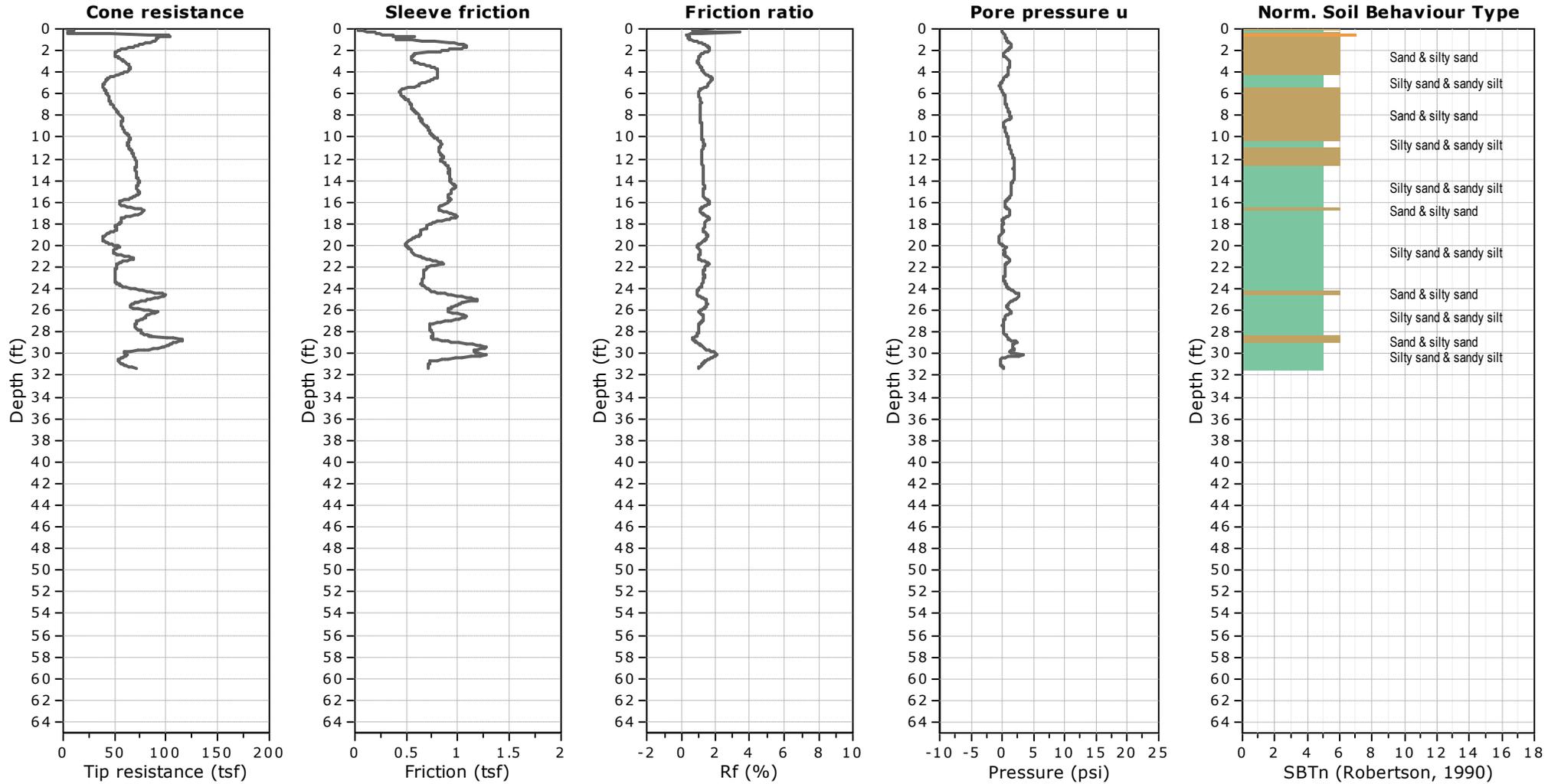
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-15

Total depth: 31.30 ft, Date: 4/8/2022
 Surface Elevation: 663.42 ft
 Coords: N 126095.902, E 453927.326
 Cone Type: 200727
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



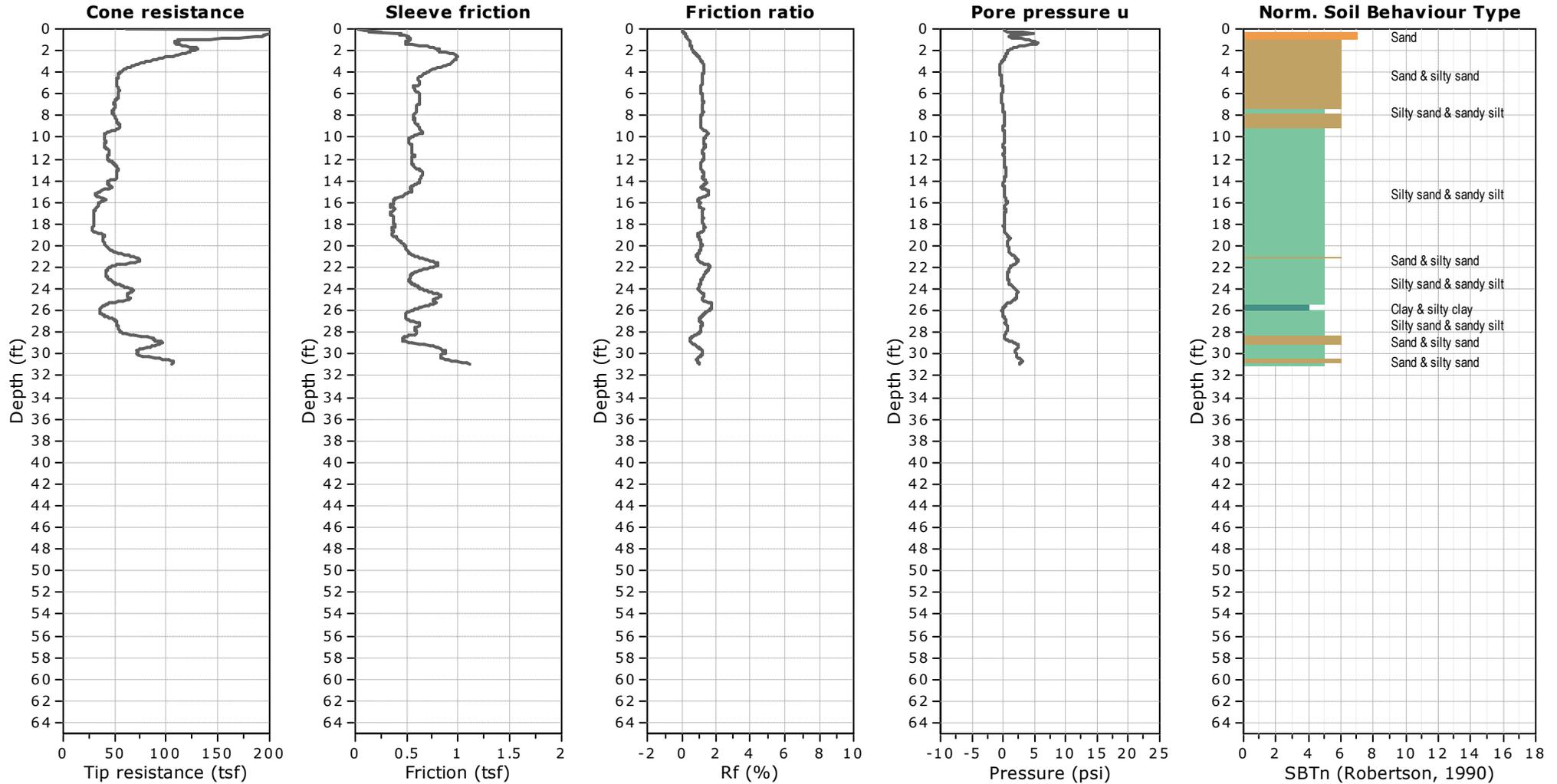
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-17

Total depth: 30.91 ft, Date: 4/8/2022
 Surface Elevation: 663.85 ft
 Coords: N 126059.291, E 453736.160
 Cone Type: 200724
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



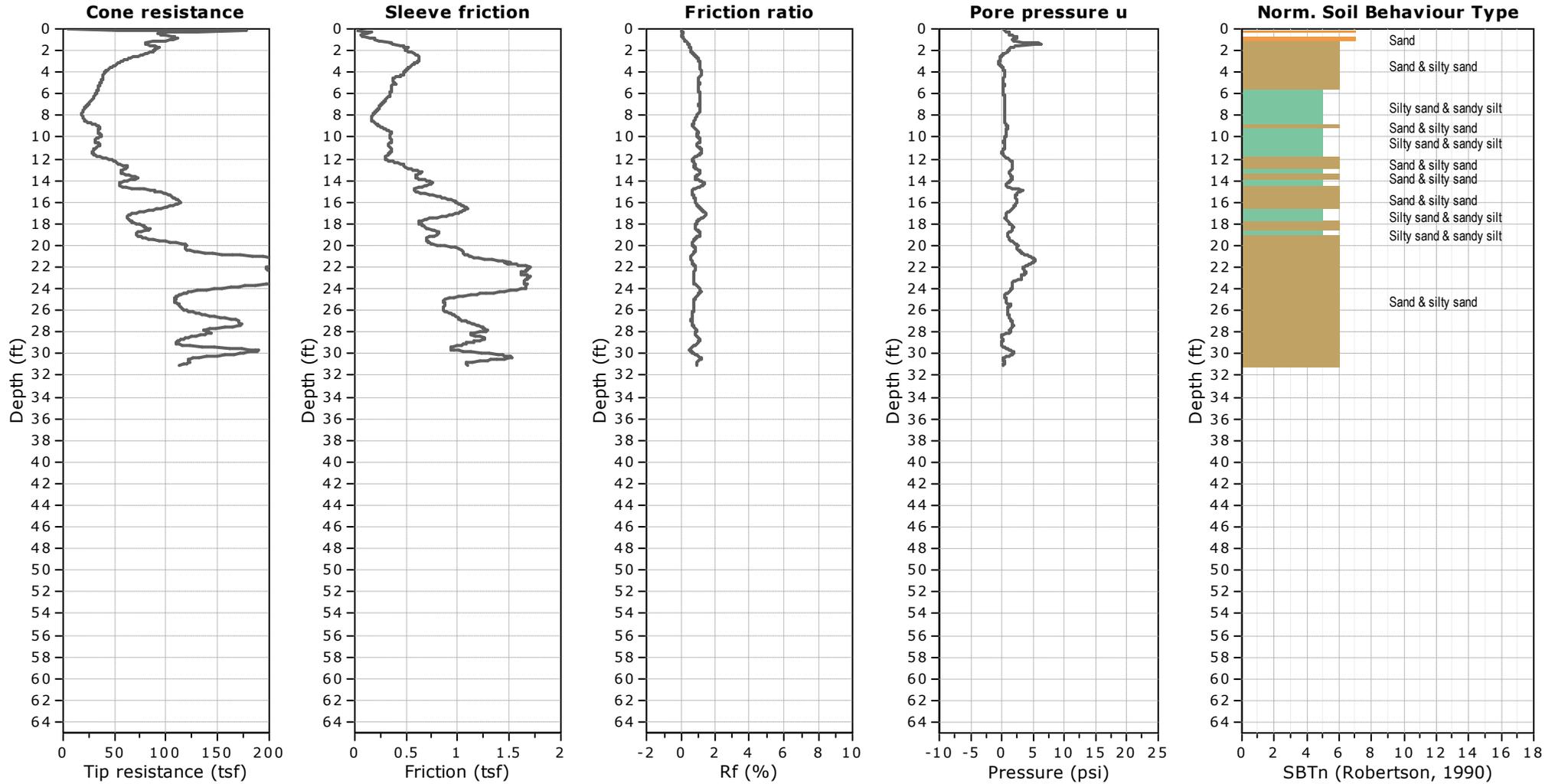
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-18

Total depth: 31.04 ft, Date: 4/8/2022
 Surface Elevation: 664.98 ft
 Coords: N 126014.262, E 453707.785
 Cone Type: 200727
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



- SBTn legend**
- 1. Sensitive fine grained
 - 4. Clayey silt to silty clay
 - 7. Gravelly sand to sand
 - 2. Organic material
 - 5. Silty sand to sandy silt
 - 8. Very stiff sand to clayey sand
 - 3. Clay to silty clay
 - 6. Clean sand to silty sand
 - 9. Very stiff fine grained



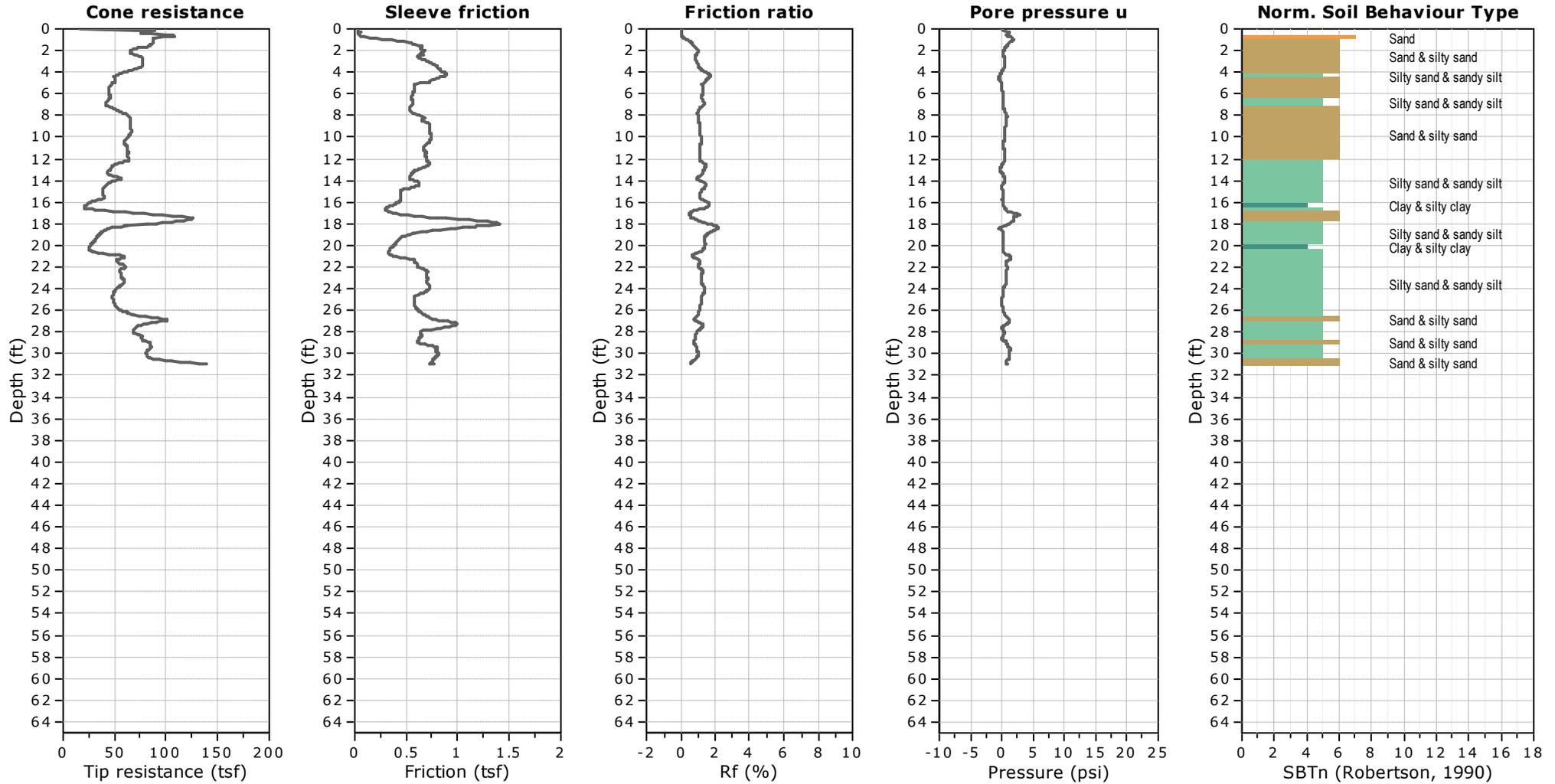
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-19

Total depth: 30.97 ft, Date: 4/8/2022
 Surface Elevation: 664.86 ft
 Coords: N 126022.157, E 453788.298
 Cone Type: 200726
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



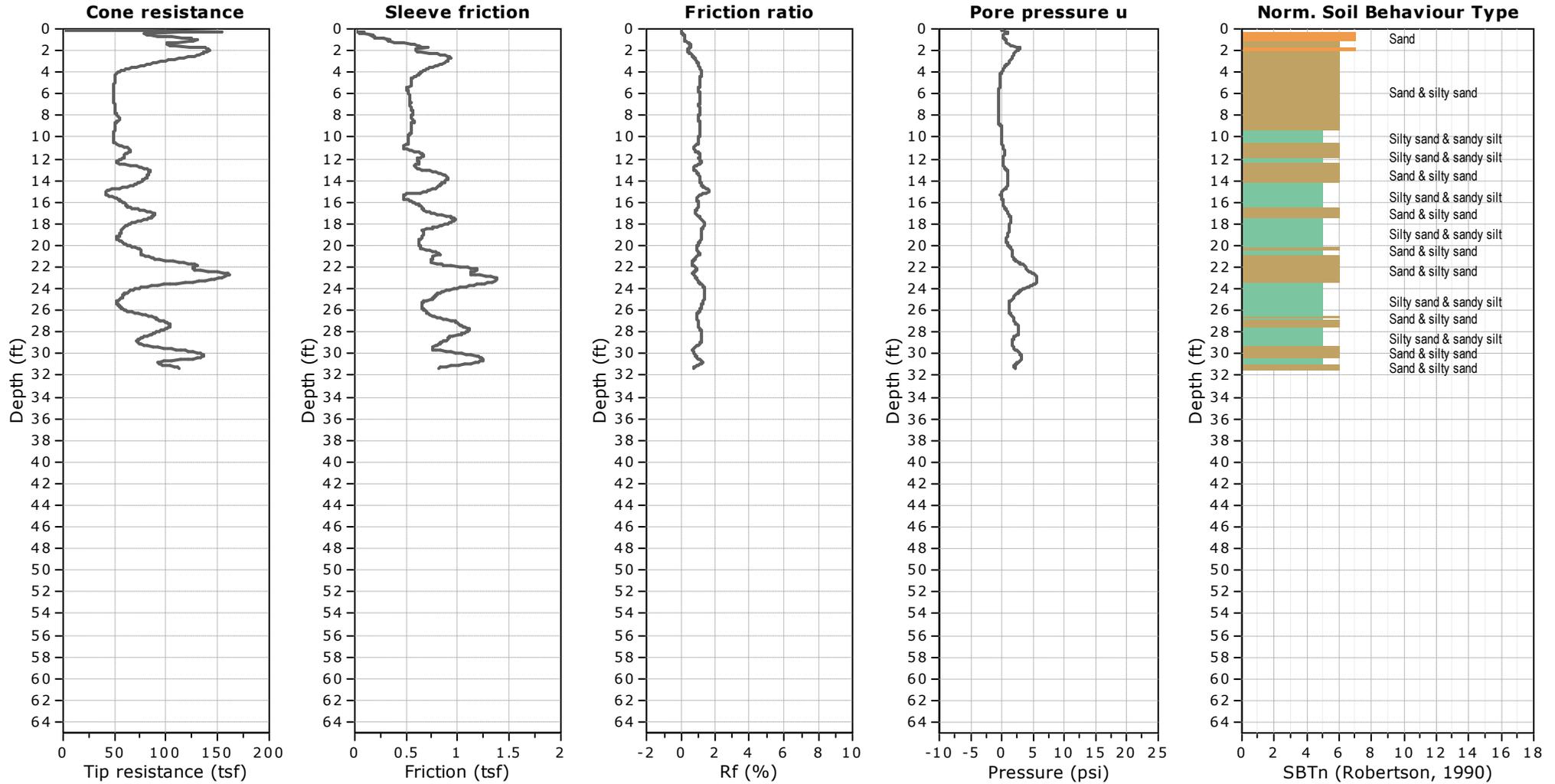
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-20

Total depth: 31.30 ft, Date: 4/8/2022
 Surface Elevation: 665.65 ft
 Coords: N 125978.434, E 453758.528
 Cone Type: 200726
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

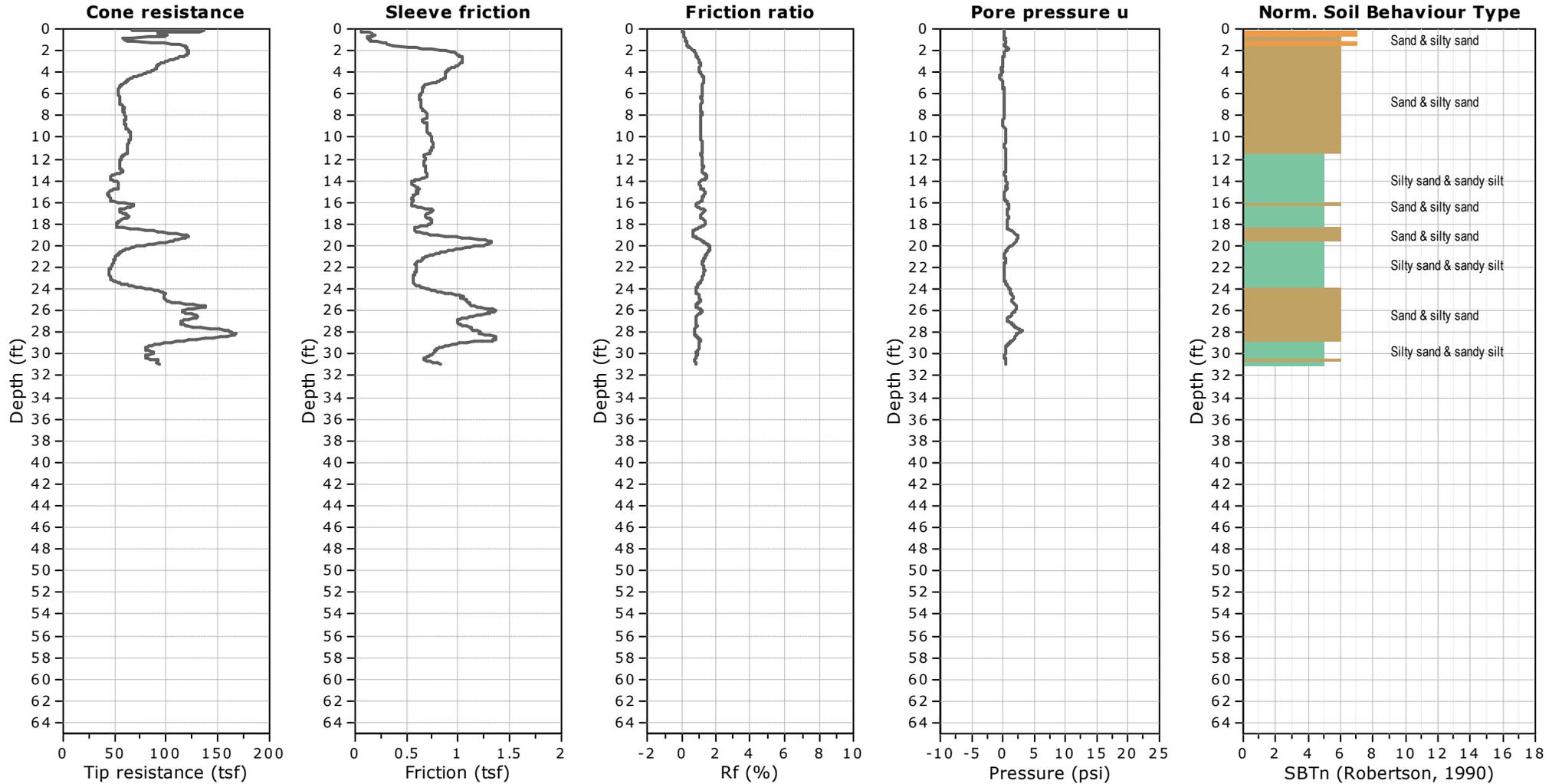


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

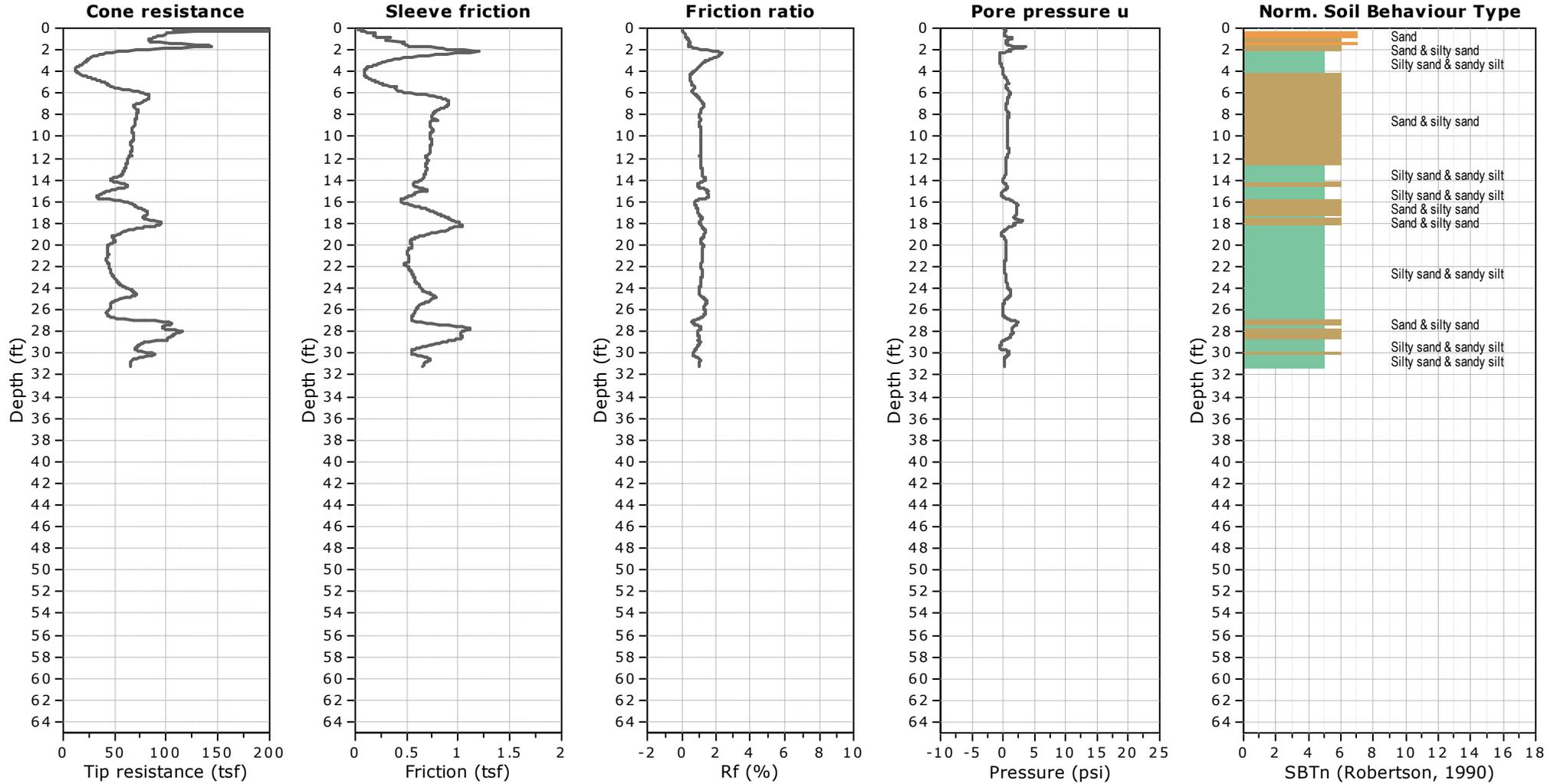


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

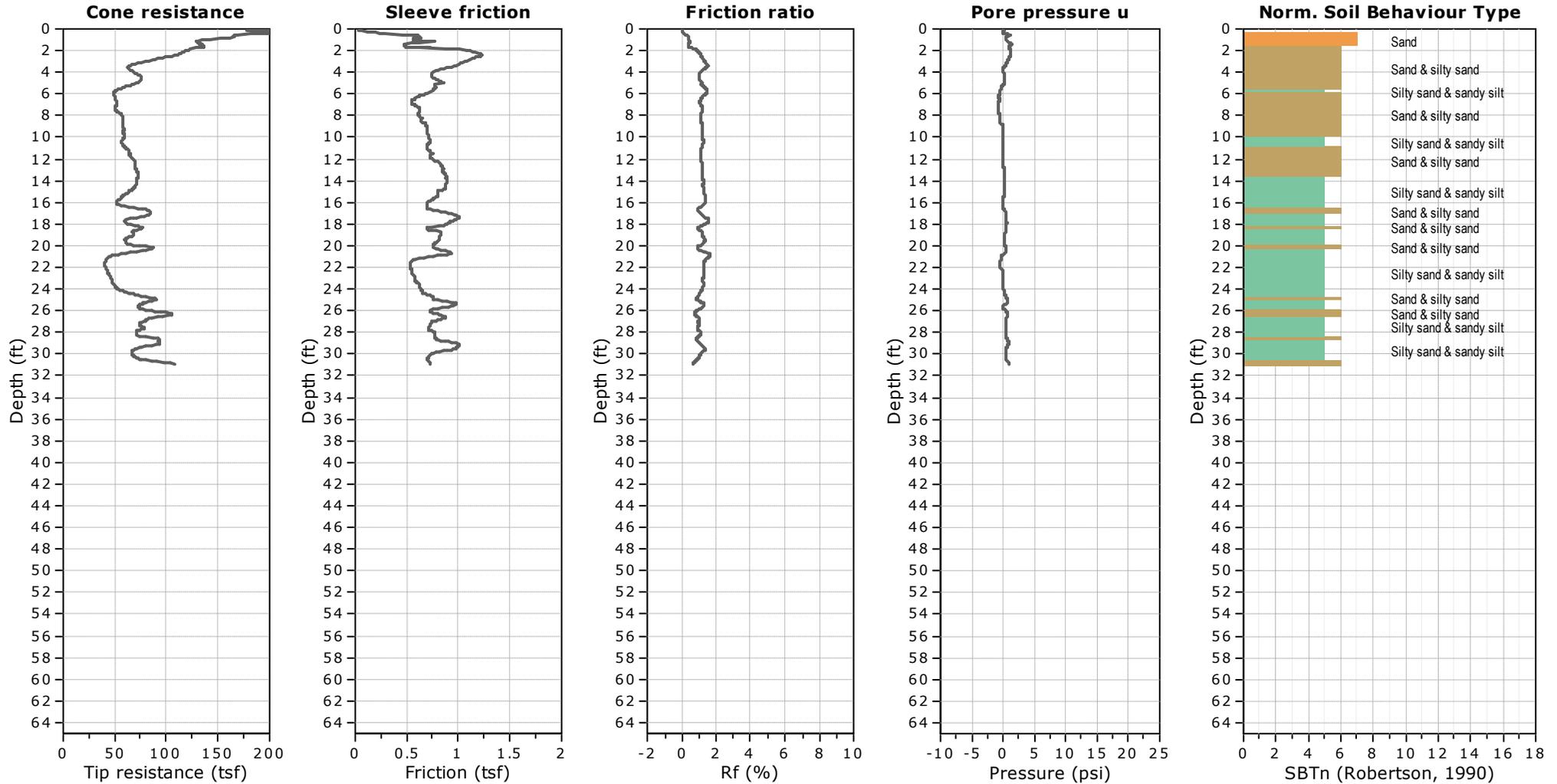


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



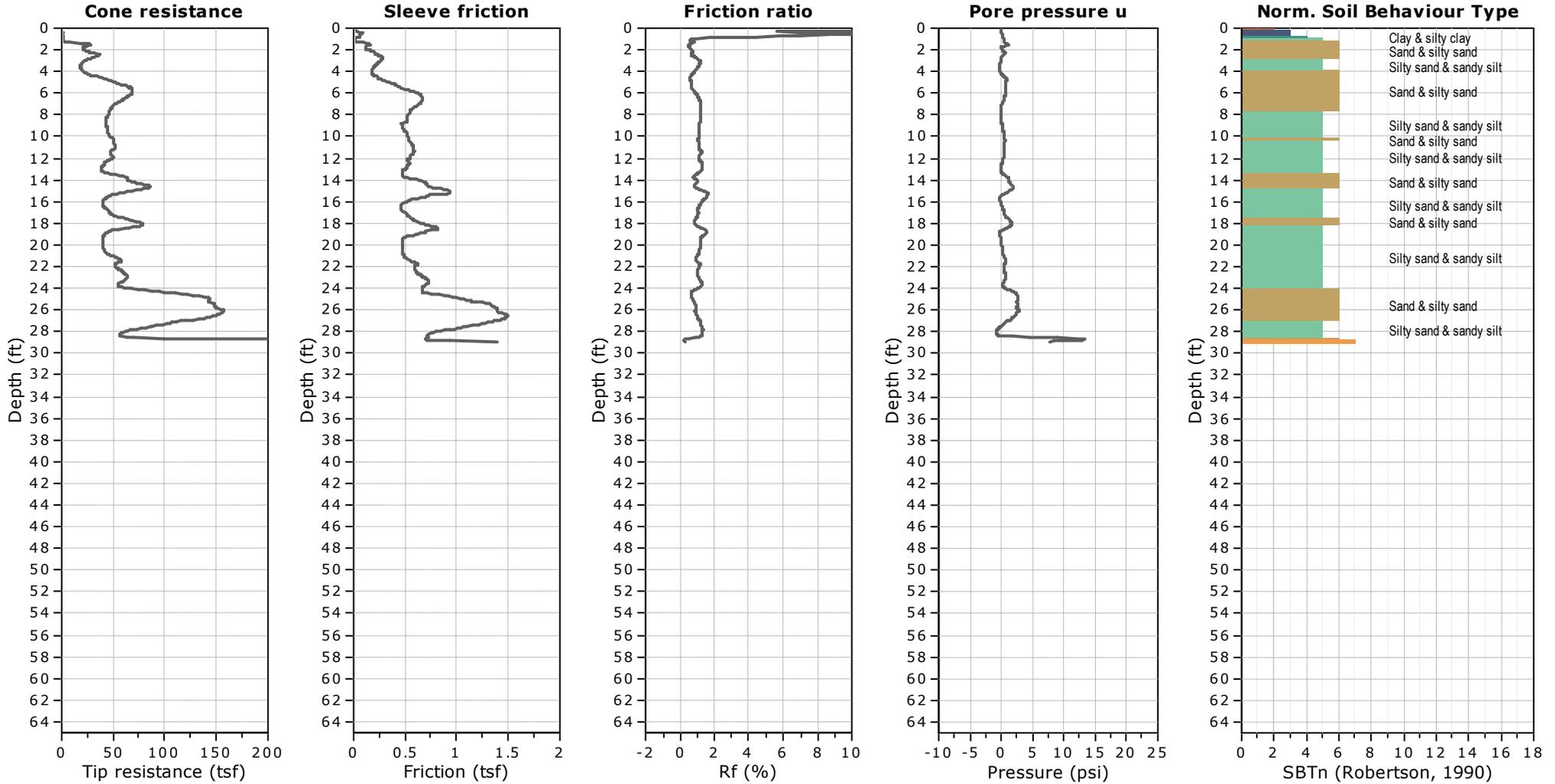
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-25

Total depth: 28.94 ft, Date: 4/9/2022
 Surface Elevation: 664.45 ft
 Coords: N 126168.685, E 453688.706
 Cone Type: 200726
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

1. Sensitive fine grained	4. Clayey silt to silty clay	7. Gravelly sand to sand
2. Organic material	5. Silty sand to sandy silt	8. Very stiff sand to clayey sand
3. Clay to silty clay	6. Clean sand to silty sand	9. Very stiff fine grained



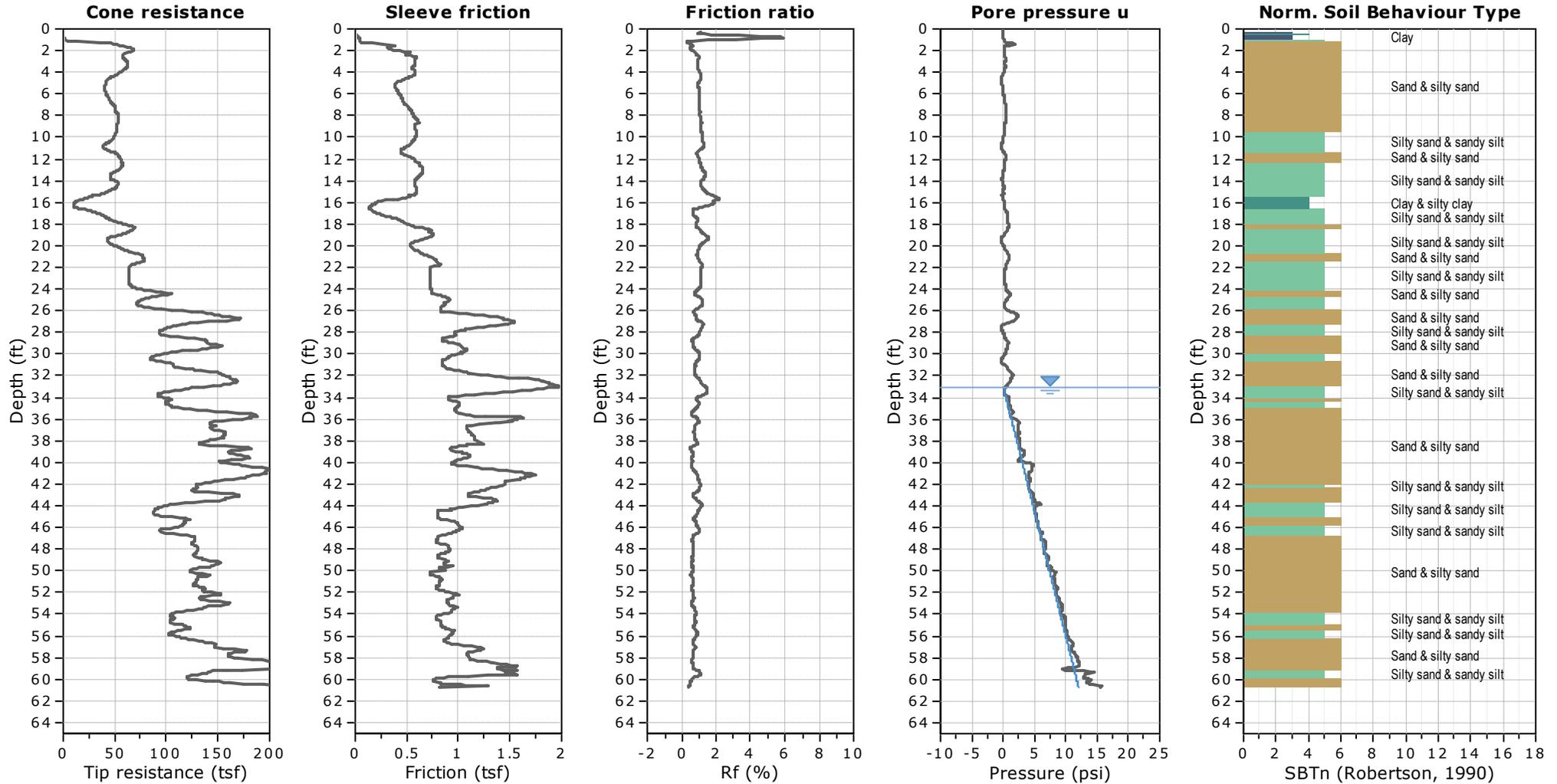
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-26

Total depth: 60.70 ft, Date: 4/9/2022
 Surface Elevation: 664.16 ft
 Coords: N 126157.368, E 453903.911
 Cone Type: 200724
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

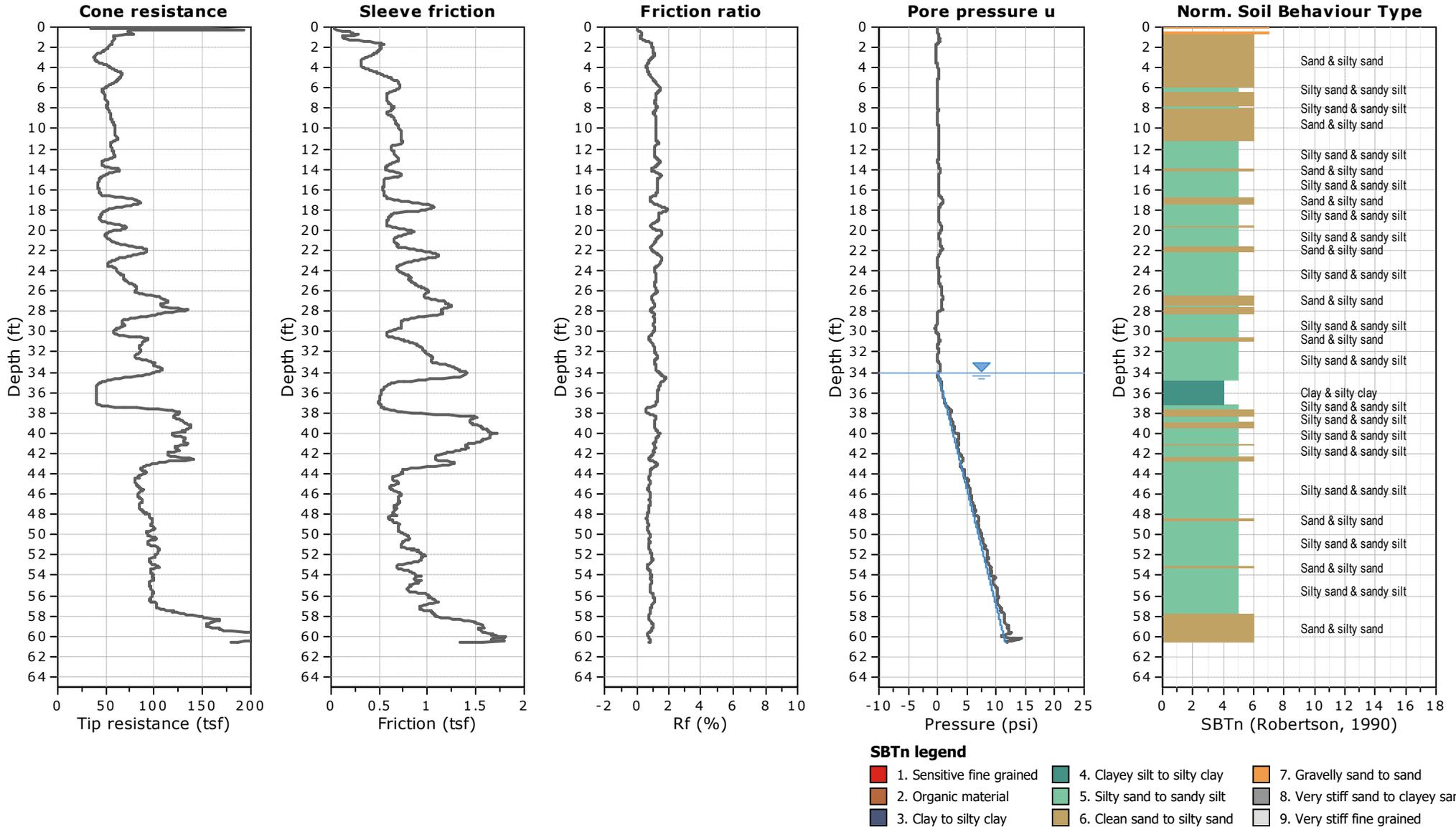


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

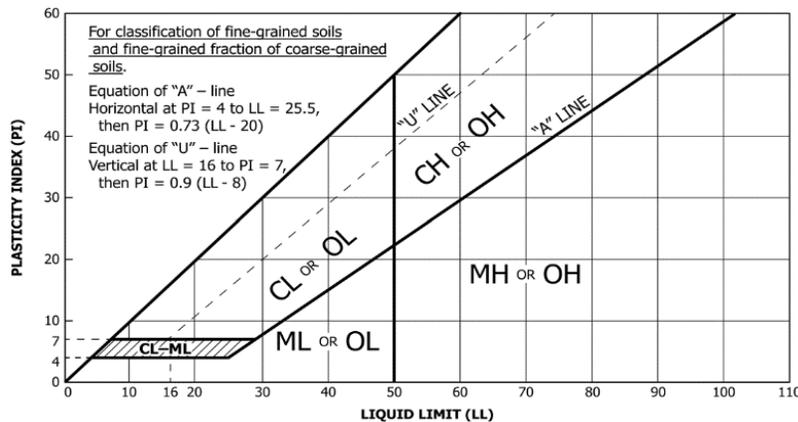
Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests ^A				Soil Classification		
				Group Symbol	Group Name ^B	
Coarse-grained Soils (more than 50% retained on No. 200 sieve)	Gravels (More than 50% of coarse fraction retained on No. 4 sieve)	Clean Gravels (Less than 5% fines ^C)	$C_u \geq 4$ and $1 \leq C_c \leq 3^D$	GW	Well-graded gravel ^E	
		Gravels with Fines (More than 12% fines ^C)	Fines classify as ML or MH	GM	Silty gravel ^{EFG}	
			Fines Classify as CL or CH	GC	Clayey gravel ^{EFG}	
		Sands (50% or more coarse fraction passes No. 4 sieve)	Clean Sands (Less than 5% fines ^H)	$C_u \geq 6$ and $1 \leq C_c \leq 3^D$	SW	Well-graded sand ^I
	Sands with Fines (More than 12% fines ^H)		Fines classify as ML or MH	SM	Silty sand ^{FGI}	
			Fines classify as CL or CH	SC	Clayey sand ^{FGI}	
	Fine-grained Soils (50% or more passes the No. 200 sieve)		Silts and Clays (Liquid limit less than 50)	Inorganic	PI > 7 and plots on or above "A" line ^J	CL
		PI < 4 or plots below "A" line ^J			ML	Silt ^{KLM}
Organic		Liquid Limit – oven dried		Organic clay ^{KLMN} Organic silt ^{KLMQ}		
		Liquid Limit – not dried <0.75				
Silts and Clays (Liquid limit 50 or more)		Inorganic	PI plots on or above "A" line	CH	Fat clay ^{KLM}	
			PI plots below "A" line	MH	Elastic silt ^{KLM}	
		Organic	Liquid Limit – oven dried	Organic clay ^{KLM P} Organic silt ^{KLM Q}		
			Liquid Limit – not dried <0.75			
Highly Organic Soils	Primarily organic matter, dark in color, and organic odor			PT	Peat	

- A. Based on the material passing the 3-inch (75-mm) sieve.
- B. If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.
- C. Gravels with 5 to 12% fines require dual symbols:
GW-GM well-graded gravel with silt
GW-GC well-graded gravel with clay
GP-GM poorly graded gravel with silt
GP-GC poorly graded gravel with clay
- D. $C_u = D_{60} / D_{10}$ $C_c = (D_{30})^2 / (D_{10} \times D_{60})$
- E. If soil contains $\geq 15\%$ sand, add "with sand" to group name.
- F. If fines classify as CL-ML, use dual symbol GC-GM or SC-SM.
- G. If fines are organic, add "with organic fines" to group name.
- H. Sands with 5 to 12% fines require dual symbols:
SW-SM well-graded sand with silt
SW-SC well-graded sand with clay
SP-SM poorly graded sand with silt
SP-SC poorly graded sand with clay
- I. If soil contains $\geq 15\%$ gravel, add "with gravel" to group name.
- J. If Atterberg limits plot in hatched area, soil is CL-ML, silty clay.
- K. If soil contains 15 to < 30% plus No. 200, add "with sand" or "with gravel", whichever is predominant.
- L. If soil contains $\geq 30\%$ plus No. 200, predominantly sand, add "sandy" to group name.
- M. If soil contains $\geq 30\%$ plus No. 200 predominantly gravel, add "gravelly" to group name.
- N. PI ≥ 4 and plots on or above "A" line.
- O. PI < 4 or plots below "A" line.
- P. PI plots on or above "A" line.
- Q. PI plots below "A" line.



DD Dry density, pcf
WD Wet density, pcf
P200 % Passing #200 sieve

Laboratory Tests
OC Organic content, %
q_p Pocket penetrometer strength, tsf
MC Moisture content, %
q_u Unconfined compression test, tsf

LL Liquid limit
PL Plastic limit
PI Plasticity index

Particle Size Identification

- Boulders..... over 12"
- Cobbles..... 3" to 12"
- Gravel
Coarse..... 3/4" to 3" (19.00 mm to 75.00 mm)
Fine..... No. 4 to 3/4" (4.75 mm to 19.00 mm)
- Sand
Coarse..... No. 10 to No. 4 (2.00 mm to 4.75 mm)
Medium..... No. 40 to No. 10 (0.425 mm to 2.00 mm)
Fine..... No. 200 to No. 40 (0.075 mm to 0.425 mm)
- Silt..... No. 200 (0.075 mm) to .005 mm
- Clay..... < .005 mm

Relative Proportions^{L-M}

- trace..... 0 to 5%
- little..... 6 to 14%
- with..... $\geq 15\%$

Inclusion Thicknesses

- lens..... 0 to 1/8"
- seam..... 1/8" to 1"
- layer..... over 1"

Apparent Relative Density of Cohesionless Soils

- Very loose 0 to 4 BPF
- Loose 5 to 10 BPF
- Medium dense..... 11 to 30 BPF
- Dense..... 31 to 50 BPF
- Very dense..... over 50 BPF

Consistency of Cohesive Soils Blows Per Foot Approximate Unconfined Compressive Strength

- Very soft..... 0 to 1 BPF..... < 0.25 tsf
- Soft..... 2 to 4 BPF..... 0.25 to 0.5 tsf
- Medium..... 5 to 8 BPF 0.5 to 1 tsf
- Stiff..... 9 to 15 BPF..... 1 to 2 tsf
- Very Stiff..... 16 to 30 BPF..... 2 to 4 tsf
- Hard..... over 30 BPF..... > 4 tsf

Moisture Content:

- Dry:** Absence of moisture, dusty, dry to the touch.
- Moist:** Damp but no visible water.
- Wet:** Visible free water, usually soil is below water table.

Drilling Notes:

Blows/N-value: Blows indicate the driving resistance recorded for each 6-inch interval. The reported N-value is the blows per foot recorded by summing the second and third interval in accordance with the Standard Penetration Test, ASTM D1586.

Partial Penetration: If the sampler could not be driven through a full 6-inch interval, the number of blows for that partial penetration is shown as #/x" (i.e. 50/2"). The N-value is reported as "REF" indicating refusal.

Recovery: Indicates the inches of sample recovered from the sampled interval. For a standard penetration test, full recovery is 18", and is 24" for a thinwall/shelby tube sample.

WOH: Indicates the sampler penetrated soil under weight of hammer and rods alone; driving not required.

WOR: Indicates the sampler penetrated soil under weight of rods alone; hammer weight and driving not required.

Water Level: Indicates the water level measured by the drillers either while drilling (∇), at the end of drilling (\blacktriangledown), or at some time after drilling (∇).

This document accompanies Cone Penetration Test Data. Please refer to the Boring Log Descriptive Terminology Sheet for information relevant to conventional v. Cone Penetration Test (CPT) boring logs.

Cone Penetration Test (CPT) sounding was performed in general accordance with ASTM D 5778 and consistent with the ordinary degree of care and skill used by reputable practitioners of the same discipline currently practicing under similar circumstances and in the same locality. No warranty, express or implied, is made.

Since subsurface conditions outside each CPT sounding are unknown, and soil, rock and pore water conditions cannot be relied upon to be consistent or uniform, no warranty is made that conditions adjacent to each sounding will necessarily be the same as or similar to those shown on this log. Braun Intertec is not responsible for any interpretations, assumptions, projections or interpolations of the data made by others.

Pore water pressure measurements and subsequently interpreted water levels shown on CPT logs should be used with discretion as they represent dynamic conditions. Dynamic pore water pressure measurements may deviate substantially from hydrostatic conditions, especially in cohesive soils. In cohesive soils, pore water pressures often take an extended time to reach equilibrium and thus reflect their true field level. Groundwater levels can be expected to vary both seasonally and yearly. The absence of notations on this log regarding water does not necessarily mean that groundwater is not present to the depth explored, or that a contractor will not encounter groundwater during excavation or construction.

CPT Terminology

- CPT..... Cone Penetration Test
- CPTU..... Cone Penetration Test with Pore Pressure measurements
- SCPTU..... Cone Penetration Test with Pore Pressure and Seismic measurements
- Piezocone...Common name for CPTU test
- Q_T normalized cone resistance
- B_q pore pressure ratio
- F_r normalized friction ratio
- σ_{vo} overburden pressure
- σ'_{vo} effective overburden pressure

q_T TIP RESISTANCE

The resistance at the cone corrected for water pressure. Data is from cone with a 60 degree apex angle and a 15 cm² end area.

f_s SLEEVE FRICTION RESISTANCE

The resistance along the sleeve of the penetrometer.

F_r Friction Ratio

Ratio of sleeve friction over corrected tip resistance.
 $F_r = f_s/q_t$

V_s Shear Wave Velocity

A measure of the speed at which a seismic wave travels through soil/rock.

SBT SOIL BEHAVIOR TYPE

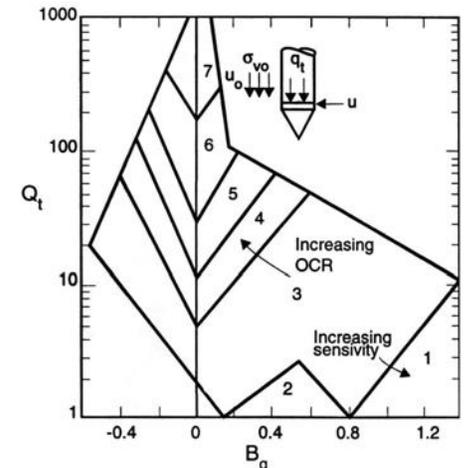
Soil Identification methods for the Cone Penetration Test are based on correlation charts developed from observations of CPT data and conventional borings. Please note that these identification charts are provided as a guide to Soil Behavior Type and should not be used to infer a soil classification based on grain size distribution.

Engineering judgment and comparison with augered borings is especially important in the proper interpretation of CPT data in certain geo-materials.

The following charts provide a Soil Behavior Type for the CPT Data. The numbers corresponding to different regions on the charts represent the following soil behavior types:

Soil Behavior Type based on pore pressure

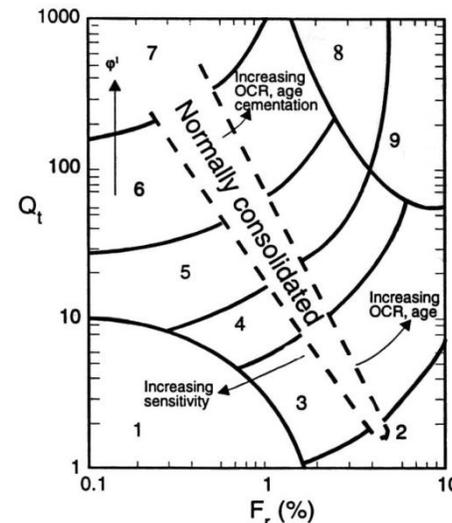
Soil Behavior Type based on pore pressure



$$Q_t = \frac{q_t - \sigma_{vo}}{\sigma'_{vo}} \quad B_q = \frac{u_2 - u_o}{q_t - \sigma_{vo}}$$

Robertson CPT 1990

- 1 Sensitive, Fine Grained
- 2 Organic Soils - Peat
- 3 Clays - Clay to Silty Clay
- 4 Silt Mixtures - Clayey Silt to Silty Clay
- 5 Sand Mixtures - Silty Sand to Sandy Silt
- 6 Sands - Clean Sand to Silty Sand
- 7 Gravelly Sand to Sand
- 8 Very Stiff Sand to Clayey Sand
- 9 Very Stiff, Fine Grained

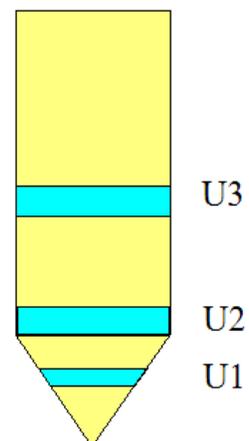


$$Q_t = \frac{q_t - \sigma_{vo}}{\sigma'_{vo}} \quad F_r = \frac{f_s}{q_t - \sigma_{vo}} \times 100\%$$

Robertson CPT 1990

U2 PORE WATER MEASUREMENTS

Pore water measurements reported on CPT logs are representative of pore water pressures measured at the U2 location, just behind the cone tip, prior to the sleeve, as shown in the figure below. These measurements are considered to represent dynamic pore water pressures due to the local disturbance caused by the cone tip. Dynamic pore water pressure decay and static pore water pressure measurements are reported on a Pore Water Pressure Dissipation Graph.





Attachment 2:

SOIL AND SITE EVALUATION - STORM

In accordance with SPS 382.365, 385, Wis. Adm. Code, and WDNR Standard 1002

Attach a complete site plan on paper not less than 8 1/2 x 11 inches in size. Plan must include, but not limited to vertical and horizontal reference point (BM), direction and percent of slope, scale or dimensions, north arrow, and BM reference to nearest road. Please print all information Personal information you provide may be used for secondary purposes [Privacy Law, s. 15.04(1)(m)]	County
	Parcel I.D.
	Reviewed by: Date:

Property Owner: MKB COPPER ROCKS, LLC	Property Location Govt. Lot 1/4 1/4 S T N R E (or) W		
Property Owner's Mailing Address: 3800 EMERALD DRIVE EAST	Lot	Block #	Subd. Name or CSM #/Address
City, State Zip LA CROSSE, WI 54601	Phone Number	<input checked="" type="checkbox"/> City <input type="checkbox"/> Village <input type="checkbox"/> Town Nearest Road 2415 STATE ROAD, LA CROSSE, WI LOSEY BLVD	
Drainage Area _____ <input type="checkbox"/> sq. ft. <input type="checkbox"/> acres Test site suitable for (check all that apply): <input type="checkbox"/> Bio-retention; <input type="checkbox"/> Subsurface Dispersal System; <input type="checkbox"/> Reuse; <input type="checkbox"/> Irrigation <input type="checkbox"/> Other	Hydraulic Application Test Method <input checked="" type="checkbox"/> Morphological Evaluation <input type="checkbox"/> Double Ring Infiltrometer Other: (specify)	Soil Moisture Date of soil Borings: APR. 4, 2022 USDA-NRCS WETS Value: <input type="checkbox"/> Dry = 1; <input checked="" type="checkbox"/> Normal = 2; <input type="checkbox"/> Wet = 3.	

TP-28 #OBS Pit Boring Ground surface Elevation 663.2 ft. Elevation of limiting factor NA ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr.
PVMT	0 - 10	---	---	---	---	---	---	---	---	---
B	10 - 32	10YR 3/2	NONE	SCL	1.GR.F	ML	A.S	0	<30	0.07
C	32 - 55	10YR 4/2	NONE	F.LS	0.SG.F	ML	A.S	0	<15	0.50
C	55 - 120	10YR 4/4	NONE	F.S	0.SG.F	ML	A.S	0	<5	0.50

Comments:

TP-29 #OBS Pit Boring Ground surface Elevation 664.4 ft. Elevation of limiting factor NA ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr.
PVMT	0 - 9	---	---	---	---	---	---	---	---	---
C	9 - 120	10YR 5/4	NONE	F.S	0.SG.F	ML	A.S	0	<5	0.50

Comments:

Name: BRANDON WRIGHT	Signature:	Credential Number: SP-041100003
Address: 2309 Palace Street, La Crosse, WI	Date of Evaluation: APRIL 4, 2022	Phone Number: 608.781.7277

TP-30 #OBS Pit Boring Ground surface Elevation 664.6 ft. Elevation of limiting factor NA ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr.
PVMT	0 – 9	---	---	---	---	---	---	---	---	---
B	9 – 32	10YR 3/2	NONE	F.LS	0.SG.F	ML	A.S	0	<15	0.50
C	32 – 120	10YR 4/4	NONE	F.S	0.SG.F	ML	A.S	0	<5	0.50
Comments:										

Overall Site Comments:

**NOTICE OF HEARING ON
AMENDMENT TO ZONING RESTRICTION**

TO WHOM IT MAY CONCERN:

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Property is presently: vacant retail building

Property is proposed to be: mixed-use residential and commercial development

Rezoning is necessary: to allow for the mix of residential and commercial uses

Tax Parcel 17-50298-32; 2415 State Road

The City Plan Commission will meet to consider such application on **Monday, March 2, 2026, at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

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Dated this 12th day of February, 2026.

Nikki M. Elsen, City Clerk
City of La Crosse

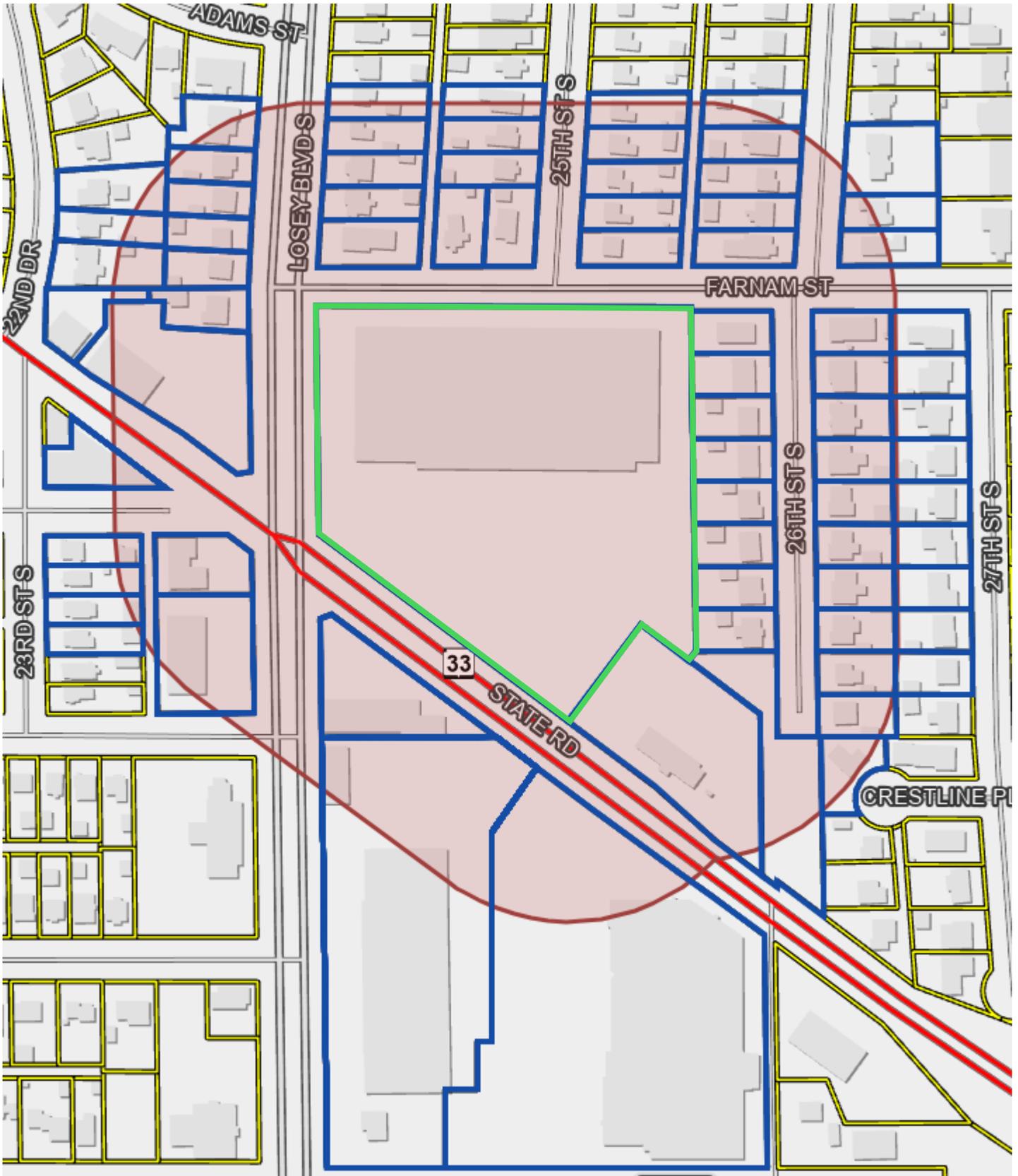
Published: February 17 & 24, 2026
One (1) Affidavit

Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-40087-60	3RD & MAIN LLC	1416, 1418, 1420, 1422 LOSEY BLVD S	PO BOX 609	LA CROSSE WI 54602-0609
17-40107-40	ALYSSA YEITER	1322 26TH ST S	1322 26TH ST S	LA CROSSE WI 54601-6122
17-40086-130	AMY E PERRIN, PETER G KNAPIK	2300 PARK AVE	2300 PARK AVE	LA CROSSE WI 54601
17-40070-90	ANA L PENGRA, THOMAS P PENGRA	1219 25TH ST S	13 VICTORIA WAY	MACKINAW IL 61755
17-40069-110	ANDREW SMITH	1209 LOSEY BLVD S	1209 LOSEY BLVD S	LA CROSSE WI 54601
17-40069-50	ANDY WILDT, JOHNNYRAY WILDT	2419 FARNAM ST	2419 FARNAM ST	LA CROSSE WI 54601-6136
17-40069-20	ANGELA N MCDONALD	1208 25TH ST S	1208 25TH ST S	LA CROSSE WI 54601-6092
17-40124-40	BRETT BAYLOR STRAND	1218 LOSEY BLVD S	1218 LOSEY BLVD S	LA CROSSE WI 54601-6004
17-40108-50	BRIAN T WITTENBERG	1355 26TH ST S	1355 26TH ST S	LA CROSSE WI 54601
17-40108-60	CARL W HAPPEL, HEATHER A HAPPEL	1361 26TH ST S	1361 26TH ST S	LA CROSSE WI 54601-6131
17-40109-90	CHARLES A DUTCHIN, SHAWN R DUTCHIN	1354 27TH ST S	1354 27TH ST S	LA CROSSE WI 54601
17-40069-80	CHRISTOPHER J CLARK, BARBARA CLARK	1223 LOSEY BLVD S	1223 LOSEY BLVD S	LA CROSSE WI 54601-6054
17-40070-60	CHUE S MOUA, KA THAO	1208 26TH ST S	1208 26TH ST S	LA CROSSE WI 54601-6026
17-40069-30	CLIFFORD HEIJ (LE), ILENE HEIJ (LE), SUE MILISCH	1212 25TH ST S	1212 25TH ST S	LA CROSSE WI 54601-6092
17-40069-40	D&D EARLEY LLC	1214 & 1216 25TH ST S	W3209 COUNTY ROAD N	COON VALLEY WI 54623
17-40107-130	DANIEL J ZANTER, LINDA L ZANTER	1317 26TH ST S	1317 26TH ST S	LA CROSSE WI 54601
17-40087-20	DANIELLE A FERAN	1415 23RD ST S	1415 23RD ST S	LA CROSSE WI 54601
17-40133-20	DEANNA M HART	2607 CRESTLINE PL	2607 CRESTLINE PL	LA CROSSE WI 54601
17-40108-10	DEBRA K RUBASCH	1329 26TH ST S	1329 26TH ST S	LA CROSSE WI 54601-6131
17-40109-70	DONALD N OLSON (LE), RUTH J OLSON (LE), SUSAN R KELM,			
17-40109-70	MICHAELLE D LAMPING	1340 27TH ST S	1340 27TH ST S	LA CROSSE WI 54601-6124
17-40124-130	DONNA M VIGNESS, DANIEL J KAMINSKI	1239 22ND DR S	1239 22ND DR S	LA CROSSE WI 54601
17-40069-70	DOUGLAS DWYER, JENNIFER L DWYER	2405 FARNAM ST	2405 FARNAM ST	LA CROSSE WI 54601
17-40087-10	GARY D ARNESON	1411 23RD ST S	1411 23RD ST S	LA CROSSE WI 54601
17-40107-120	GREGORY J PIELHOP	1311 26TH ST S	1311 26TH ST S	LA CROSSE WI 54601-6131
17-40109-40	GRETCHEN L VOGTHENCHEN	1322 27TH ST S	1322 27TH ST S	LA CROSSE WI 54601-6124
17-40069-100	IGNACIO MORALES MORALES, MARGARITA CASTRO CUEVAS,			
17-40069-100	EFRAIN MORALES CASTRO	1213 LOSEY BLVD S	4502 MARKLE RD	LA CROSSE WI 54601
17-40109-10	IVENS INVESTMENTS LLC	2610 FARNAM ST	120 MAPLE CT	MT HOREB WI 53572
17-50289-30	J5 PROPERTIES LLC	1302 LOSEY BLVD S	N2271 WILLOW WAY W	LA CROSSE WI 54601
17-40107-30	JACOB P WOODS	1316 26TH ST S	1316 26TH ST S	LA CROSSE WI 54601-6122
17-40108-40	JACOB T HELGERSON	1347 26TH ST S	1347 26TH ST S	LA CROSSE WI 54601-6131
17-40086-140	JEFFREY G KOSTUCH	1407 23RD ST S	1407 23RD ST S	LA CROSSE WI 54601-5921
17-40070-110	JESS B HOLLENBACK	1224 26TH ST S	1224 26TH ST S	LA CROSSE WI 54601
17-40125-30	JK DAHL REAL ESTATE LLC	1251 22ND DR S	208 17TH PL S	LA CROSSE WI 54601
17-40109-60	JOSHUA T LUETHE, LAURA B LUETHE	1334 27TH ST S	1334 27TH ST S	LA CROSSE WI 54601-6124
17-40109-80	JR PLUS PROPERTIES LLC	1348 27TH ST S	297 SOUTH MARINA DR	BROWNSVILLE MN 55919
17-40108-30	KAREN E SEGLER	1341 26TH ST S	1341 26TH ST S	LA CROSSE WI 54601-6131
17-40087-50	KEVIN BA HOANG NGUYEN	1402 LOSEY BLVD S	1402 LOSEY BLVD S	LA CROSSE WI 54601
17-40124-20	KEVIN E GRAAP	1226 LOSEY BLVD S	1226 LOSEY BLVD S	LA CROSSE WI 54601
17-40070-80	KIMBERLY J RADLOFF TEKIPPE	1215 25TH ST S	1215 25TH ST S	LA CROSSE WI 54601-6049
17-40107-50	KYLE J TERHARK, NATALIE B TERHARK	1328 26TH ST S	1328 26TH ST S	LA CROSSE WI 54601
17-40124-10	L M PROPERTIES LLC	1230 LOSEY BLVD S	333 PARK PLAZA DR	LA CROSSE WI 54601
17-40070-70	LAURA D SANBORN, JOHN A SANBORN, DAVID SANBORN	1214 26TH ST S	1214 26TH ST S	LA CROSSE WI 54601-6026
17-50289-10	LOSEY & STATE PROPERTIES LLC	2309 STATE RD	N2271 WILLOW WAY W	LA CROSSE WI 54601
17-50289-20	LOSEY & STATE PROPERTIES LLC	2311 STATE RD	N2271 WILLOW WAY W	LA CROSSE WI 54601
17-40109-30	LUKE BUSSIÈRE, EMILY BUSSIÈRE	1316 27TH ST S	1316 27TH ST S	LA CROSSE WI 54601-6124
17-40069-90	LUKE A OLSEN, JENNIFER M OLSEN	1219 LOSEY BLVD S	1219 LOSEY BLVD S	LA CROSSE WI 54601-6054
17-40070-100	MARILYNE SAND	1218 26TH ST S	1218 26TH ST S	LA CROSSE WI 54601
17-50249-10	MAUREEN HOWELL	2601 FARNAM ST	2601 FARNAM ST	LA CROSSE WI 54601-6138
17-40109-20	MCKAYLEE FERGUSON, NICOLAS COLLAR	1308 27TH ST S	1308 27TH ST S	LA CROSSE WI 54601-6124
17-40109-50	MICHELLE R KERN	1328 27TH ST S	1328 27TH ST S	LA CROSSE WI 54601-6124
17-40107-10	RAYMOND L SPIES, DELORES M SPIES	2544 FARNAM ST	2011 LIBERTY ST	LA CROSSE WI 54603-2084
17-40125-20	RICHARD A SENN, ANITA L HANSON	1245 22ND DR S	1245 22ND DR S	LA CROSSE WI 54601-5943
17-50249-20	ROBERT FUNK	1225 26TH ST S	1225 26TH ST S	LA CROSSE WI 54601
17-40108-20	ROBERT J HANCOCK, JULIE A HANCOCK	1335 26TH ST S	1335 26TH ST S	LA CROSSE WI 54601-6131
17-40070-130	ROSE MARIE CLEMENTS	1231 25TH ST S	1231 25TH ST S	LA CROSSE WI 54601-6049
17-40070-50	RUTH ANN KURINSKY	1211 25TH ST S	1211 25TH ST S	LA CROSSE WI 54601-6049
17-50249-30	RYAN D POLLESCH	1219 26TH ST S	1219 26TH ST S	LA CROSSE WI 54601
17-40124-50	SAM CHEN	1208 LOSEY BLVD S	2014 VIKING AVE	HOLMEN WI 54636
17-40124-30	SARAH R HINZE-PATASKA	1222 LOSEY BLVD S	1222 LOSEY BLVD S	LA CROSSE WI 54601-6004
17-40070-120	SETH MARTIN	1225 25TH ST S	1225 25TH ST S	LA CROSSE WI 54601-6049
17-40107-140	SHARON A HONECK	1323 26TH ST S	1323 26TH ST S	LA CROSSE WI 54601
17-50298-40	STATE ROAD LOSEY LLC	2400, 2402, 2404 STATE RD	2418 STATE RD	LA CROSSE WI 54601
17-40107-60	STEVEN P GEIER, LISA J GEIER	1334 26TH ST S	1334 26TH ST S	LA CROSSE WI 54601-6122
17-40107-110	T & J FARNAM ST LLC	2608 FARNAM ST	4008 BEVERLY DR	ONALASKA WI 54650
17-40107-80	TERRY L LUBBEN, DAWN E LUBBEN	1346 26TH ST S	1346 26TH ST S	LA CROSSE WI 54601-6122
17-40107-70	TIMOTHY L KOTERWSKI	1340 26TH ST S	1340 26TH ST S	LA CROSSE WI 54601
17-40069-60	TORYN PATROS	1226 25TH ST S	1226 25TH ST S	LA CROSSE WI 54601-6092
17-40107-20	TSS RENTALS LLC	1306 26TH ST S	1300 21ST ST S	LA CROSSE WI 54601
17-40086-120	VAARAHI LLC	1319 & 1321 23RD ST S		
17-50298-33	VSC CORPORATION	2316, 2318, 2320, 2322 STATE RD	4486 EL CAMINO REAL DR	LA CROSSE WI 54601
17-50298-34	VSC CORPORATION	2505 STATE RD	2418 STATE RD	LA CROSSE WI 54601-6151
17-50298-34	VSC CORPORATION	1352 26TH ST S	2418 STATE RD	LA CROSSE WI 54601-6151
17-50298-85	VSC CORPORATION	1421, 1502 - 1535, 1601 - 1631 LOSEY BLVD S		
17-50298-85	VSC CORPORATION	2406 - 2432 STATE RD	2418 STATE RD	LA CROSSE WI 54601-6151
17-50298-65	VSC CORPORATION	2500 STATE RD		
17-50298-65	C/O WI FOODLINER	2511 GREEN BAY ST	3800 EMERALD DR E	ONALASKA WI 54650
17-40070-140	WILLIAM G WARREN, ELIZABETH M WARREN	2527 FARNAM ST	2527 FARNAM ST	LA CROSSE WI 54601-6169

Properties above are within 300 feet of 2415 State Road

Applicant/Owner	MKB COPPER ROCKS LLC C/O KIRK STOA	2415 STATE RD	3800 EMERALD DR E	ONALASKA WI 54650
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Properties within 300 feet of 2415 State Road.



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LA CROSSE WI 54601-3396

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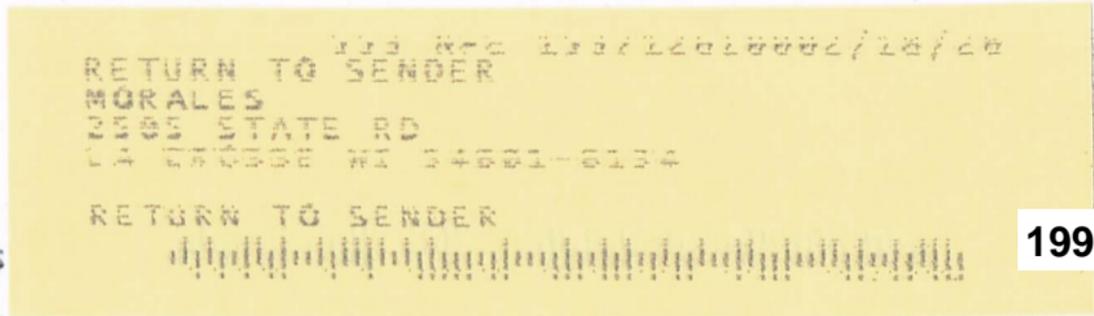
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EFRAIN MORALES CASTRO
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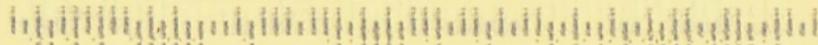
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1218 LOSEY BLVD S
LA CROSSE WI 54601

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STRAND BRETT BAYLOR
TEMPORARILY AWAY

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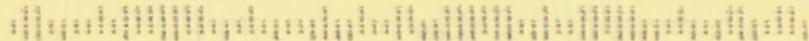
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(866) 735-5631

Retain this portion for your records. Please do not remit payment until you receive your advertising invoice.

State of Florida, County of Orange, ss:

Anjana Bhadoriya, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of Lee Enterprises, publishers of Lacrosse Tribune, a newspaper at, La Crosse, for county of La Crosse, in the state of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published, therein on the dates listed below.

PUBLICATION DATES:

February. 17 2026, February. 24 2026

NOTICE ID: vuw1yelviA62DiUDebpx

PUBLISHER ID: COL-WI-102035

NOTICE NAME: Rezoning - 2415 State Road

Publication Fee: \$171.09

Section: Legals

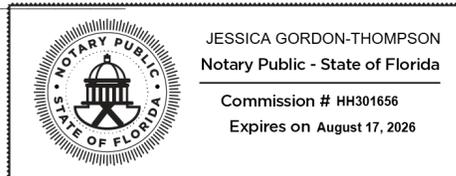
Category: 0001 Wisconsin Legals

Anjana Bhadoriya

(Signed) _____

VERIFICATION

State of Florida
County of Orange



Subscribed in my presence and sworn to before me on this: **02/24/2026**

J. T. A.

Notary Public

Notarized remotely online using communication technology via Proof.

NOTICE OF HEARING ON AMENDMENT TO ZONING RESTRICTION

TO WHOM IT MAY CONCERN:
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Property is proposed to be: mixed-use residential and commercial development

Rezoning is necessary : to allow for the mix of residential and commercial uses

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Dated this 12th day of February, 2026.

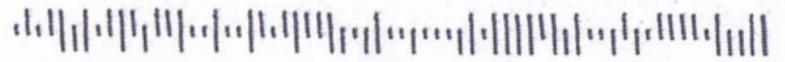
Nikki M. Elsen, City Clerk
City of La Crosse
2/17, 2/24 LAC
COL-WI-102035 WNAXLP

26-0143

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JR PLUS PROPERTIES LLC
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BROWNSVILLE MN 55919



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Agenda Item 26-0143 (Tim Acklin)

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Local Business District to the Planned Development District - General, allowing for the construction of a mixed-use development including residential and commercial uses at 2415 State Road.

General Location

Council District 17 in the Bluffside Neighborhood Association. Located at the NE corner of the intersection of State Rd and Losey Blvd as depicted on attached Map PC26-0143. The property was the former K-Mart site. The property is surrounded by residential to the north and east, and commercial uses to the west and south.

Background Information

This item is also related to agenda item #26-0144.

The subject parcel (6.3 acres) was previously rezoned to the Planned Development District (PDD) in order to be redeveloped into mixed-use development consisting of 216 market-rate residential dwelling units and commercial spaces in six buildings (three townhomes and three mixed-use) with an outdoor community space. The previous PDD-Specific zoning was approved by the Common Council in July 2022. Municipal Code requires that a building permit must be pulled within 12 months or the property reverts back to the original zoning, in this case C1-Local Business. The applicant requested an extension of 18 months from the Common Council which was approved in October of 2023. No permits were applied for within the 18 months, so the property reverted back to C1-Local Business.

The applicant is requesting to be rezoned back to PPD-General with some revisions to the previous plan. They are proposing to develop five buildings with a total number of residential dwelling units to be approximately two hundred and forty (240). Their key focus is market-rate, workforce housing.

Of the five buildings, three will be mixed-use. These four-to five-story mixed-use buildings will be constructed and placed closer to the intersection to offer retail and commercial opportunities. The applicant stated that the buildings have been designed and located on the site to soften the transition to the townhomes. The three mixed-use buildings will also have underground or at-grade parking. The amount of non-residential space is estimated to be approximately 20,600 square feet.

See attached plans for more information.

Recommendation of Other Boards and Commissions

The previous Planned Development District – General zoning was approved by the Common Council at their April 14, 2022, meeting. Planned Development District-Specific zoning was approved by the Common Council at their July 14, 2022, meeting.

Consistency with Adopted Comprehensive Plan

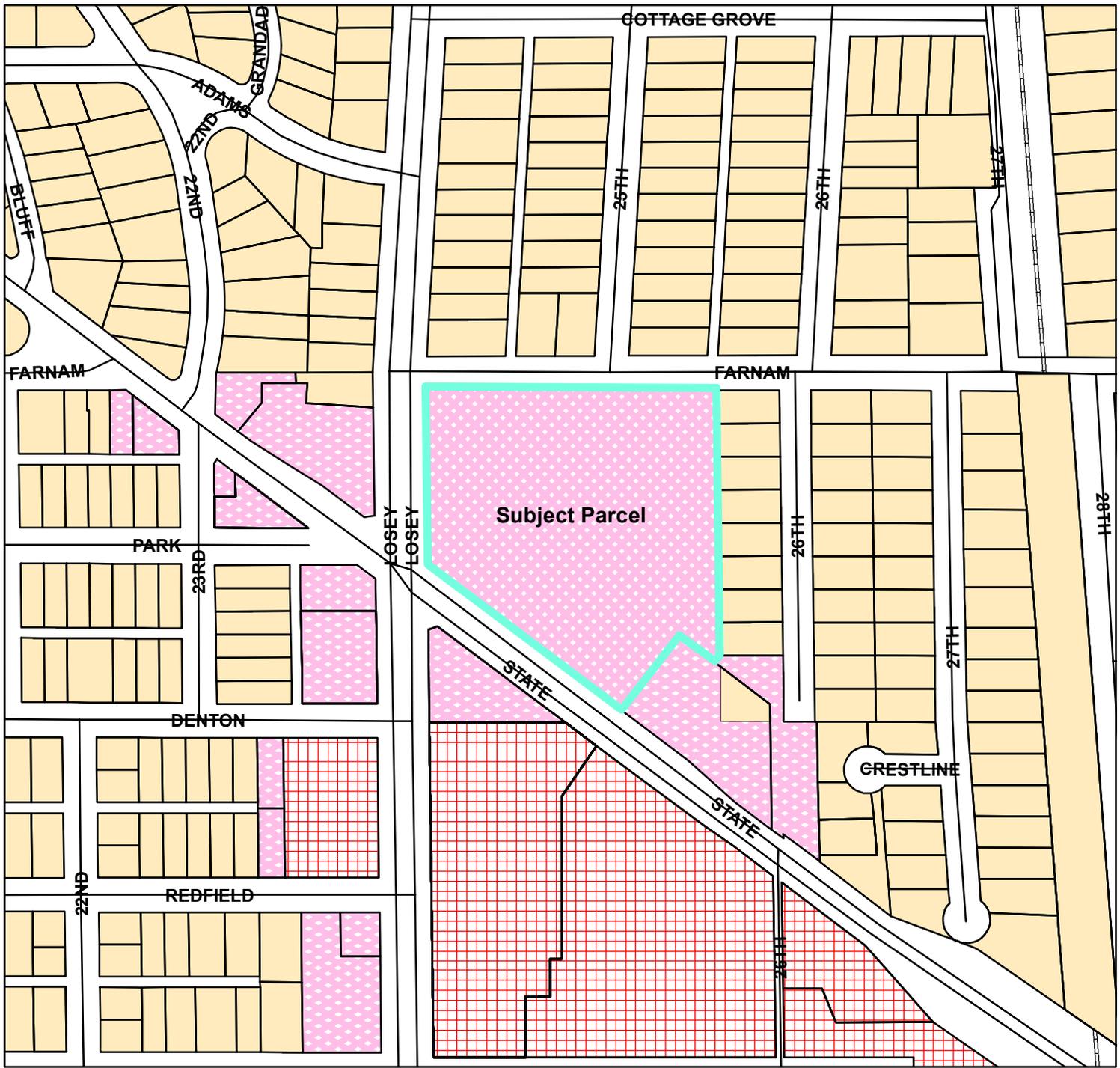
The subject property is located within the State Road Corridor (C-5) in the Land Use component of the Comprehensive Plan. The plan states that future land uses within the State Road corridor should focus on developing a mix of medium-high density residential and commercial uses that are accessible via multiple modes of transportation. The proposed development could be considered both High Density Residential and Low-Intensity Mixed-Use which are both “Desirable” land uses in this corridor making it consistent with the Comprehensive Plan.

Staff Recommendation

Staff is in receipt of the developer’s TIF Application and a Developer’s Agreement is currently being drafted. It is anticipated that both the development agreement and the PDD-Specific zoning application will be submitted before the Common Council within the next couple of months.

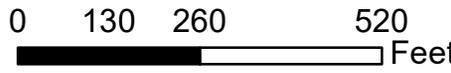
This item is recommended for approval.

Routing J&A 3.03.26



BASIC ZONING DISTRICTS

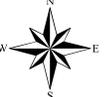
- R1 - SINGLE FAMILY
- R2 - RESIDENCE
- WR - WASHBURN RES
- R3 - SPECIAL RESIDENCE
- R4 - LOW DENSITY MULTI
- R5 - MULTIPLE DWELLING
- R6 - SPECIAL MULTIPLE
- PD- PLANNED DEVELOP
- TND - TRAD NEIGH DEV.
- C1 - LOCAL BUSINESS
- C2 - COMMERCIAL
- C3 - COMMUNITY BUSINESS
- M1 - LIGHT INDUSTRIAL
- M2 - HEAVY INDUSTRIAL
- PS - PUBLIC & SEMI-PUBLIC
- PL - PARKING LOT
- UT - PUBLIC UTILITY
- CON - CONSERVANCY
- FW - FLOODWAY
- A1 - AGRICULTURAL
- EA - EXCLUSIVE AG
- City Limits
- SUBJECT PROPERTY





BASIC ZONING DISTRICTS

-  R1 - SINGLE FAMILY
-  R2 - RESIDENCE
-  WR - WASHBURN RES
-  R3 - SPECIAL RESIDENCE
-  R4 - LOW DENSITY MULTI
-  R5 - MULTIPLE DWELLING
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-  PD- PLANNED DEVELOP
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-  FW - FLOODWAY
-  A1 - AGRICULTURAL
-  EA - EXCLUSIVE AG
-  City Limits
-  SUBJECT PROPERTY



Craig, Sondra

From: City of La Crosse Notices - No Reply
Sent: Friday, February 27, 2026 1:00 PM
To: Craig, Sondra; Elsen, Nikki; Janssen, Barb; Kahlow, Chris; Sleznikow, Larry; Trost, Jennifer; Mindel, Mackenzie; Dickinson, Tamra; Goggin, Erin; Steele, Annette; Washington-Spivey, Shaundel; Weston, Lisa; Newberry, Aron; Bedford, Crystal; Padesky, Gary; Stine, Olivia; Northwood, Rosanne
Subject: City Council Contact Form: Rezoning - 2415 State Road (Copper Rocks)

Submitted on: 2/27/2026

Name: Barb Clark

Email Address: clarkbarb93@gmail.com

Is this related to a legislative agenda item: Yes

Agenda item number: Rezoning - 2415 State Road (Copper Rocks) (March 3, 2026 agenda)

Subject: Rezoning - 2415 State Road (Copper Rocks)

The constituents (including myself) living near the empty Kmart building learned that 2415 State Road (Copper Rocks) is up for rezoning on the March 3. As constituents, we are concerned this is not the first-time developers for Copper Rocks have failed to meet the timeframe for demo and building. Thus, leaving Kmart to remain as a dumping ground, a magnet for graffiti and vandalism, and an eyesore for the community.

At a Bluffside Neighborhood meeting back in July 2025, many constituents expressed the following concerns to the developer Three-Sixty Realty with little explanation other than the price of lumber and interest rates are high:

*Traffic flow is a huge concern, but we were told that it is less traffic now than when Kmart was in operation. Jeremy also stated the traffic would only be busy when people are heading to work. A comment was made that it is very difficult to make a left-hand turn from Farnam to Losey now and that it would be more concerning when the project is complete.

*Many were concerned for the need for housing in the La Crosse area and suggested going back to the drawing board and building homes like the single-family homes built on Green Bay Street.

*Jeremy had noted that the cost to rent a studio at Copper Rocks would be \$1,400 a month. This statement drew considerable concerns for the need for affordable housing in La Crosse.

*Underground parking was also discussed and one of the constituents asked if the developer/investors were aware of the underground springs in the area and if they addressed this in the plans.

*The lumber and interest rates will probably never go down but yet the developer continues to complete other housing projects in the area, i.e., River Point, etc.

*Many homes in the area, including mine, have recently seen an increase in their valuation leading to potentially higher property taxes (I pay almost \$5,000 in yearly real estate taxes) and I don't believe I or others should pay higher property taxes when we live next to abandoned property that attracts unwanted visitors and continues to decay.

Now to add to the above list is the constant delay of the project because the developers for Copper Rocks never proceed forward to demo and build once the rezoning application has been approved. They continually sit on the project, do nothing, the timeframe on the rezoning permit lapse and they have to resubmit their rezoning permit.

The constituents are tired of the project being delayed; continued vandalism and intruders daily; and the property used as a dumping ground for large items and trash. It should also be noted that Three-sixty Realty fails to maintain the property and their answer to intruders is to just install plywood over the broken windows.

Craig, Sondra

From: City of La Crosse Notices - No Reply
Sent: Saturday, February 28, 2026 12:53 PM
To: Craig, Sondra; Elsen, Nikki; Janssen, Barb; Kahlow, Chris; Slezniak, Larry; Trost, Jennifer; Mindel, Mackenzie; Dickinson, Tamra; Goggin, Erin; Steele, Annette; Washington-Spivey, Shaundel; Weston, Lisa; Newberry, Aron; Bedford, Crystal; Padesky, Gary; Stine, Olivia; Northwood, Rosanne
Subject: City Council Contact Form: Amendment to Zoning Restriction KMart lot/Copper Rocks

Submitted on: 2/28/2026

Name: Steven and Lisa Geier

Email Address: s_geier@msn.com

Is this related to a legislative agenda item: Yes

Agenda item number: File 26-0143

Subject: Amendment to Zoning Restriction KMart lot/Copper Rocks

We have lived at this address almost 40 years. We are contacting you with our concerns regarding the vacant retail building on State Road and the possibility of mixed residential and commercial uses. We have great concern with the location near our property lines and the fact this will be five story buildings. Gardening has been in my blood as a young child. I have had vegetable and flower gardens every summer my whole life. With a building this tall, we will not have much sun in our yard for my produce and lawn. We feel with these tall buildings, we won't have privacy in our own backyard and can't even have our windows open without people looking down into our home. This must be very concerning for families with young children. There isn't another five story building within miles, this complex is out of place. A complex of 3 story buildings would be a better blend with the surrounding area. We also have concerns about traffic. This intersection is very busy now without the added vehicles. We can sit for five minutes or more at times to get off Farnam St onto Losey Boulevard either direction. With more traffic, the risk of more accidents will occur. Has there been a study done on traffic flow? Then, there is the parking. If there aren't enough parking spaces for the residents, where will they be parking? On the side streets? In front of our homes after walking through our yards to get to their apartments? Also, concerned about how this monstrosity will affect the resale value of our home. We agree something needs to be developed here, but we don't think this is the right thing to do. There needs to be a timeline for something to be done. This has gone on far too long. Thank you. Steven and Lisa Geier 1334 26th St. South

Constituents want to see the building demolished, and building begin on Copper Rocks. However, it sits while other projects are popping up everywhere, even with the higher price of lumber and interest rates.

If the city does approve this rezoning application on March 3, we the constituents would like to see additional specifications be added to this approval. Such as a date for demo to be completed and a date for the beginning construction of the new building and most importantly, if these specifications are not met by a certain date (prior to the permit expiring) that the developers must abandon plans for Copper Rocks and either sell the building to another developer that will begin a project in a timely manner or at least demo the property so it does not remain as an eyesore.

If possible, the constituents would like very much to meet with the investors and the city to discuss accelerating the plans for something new to the property. We are beginning to believe Copper Rocks was just a dream and that dream has faded away. We all don't want this building to continue to sit empty for another 8 years and beyond.

Thank you.

Barb Clark

1223 Losey Blvd. South

La Crosse, WI 54601

Craig, Sondra

From: City of La Crosse Notices - No Reply
Sent: Sunday, March 1, 2026 8:08 PM
To: Craig, Sondra; Elsen, Nikki; Janssen, Barb; Kahlow, Chris; Sleznikow, Larry; Trost, Jennifer; Mindel, Mackenzie; Dickinson, Tamra; Goggin, Erin; Steele, Annette; Washington-Spivey, Shaundel; Weston, Lisa; Newberry, Aron; Bedford, Crystal; Padesky, Gary; Stine, Olivia; Northwood, Rosanne
Subject: City Council Contact Form: Copper Rocks Proposal

Submitted on: 3/1/2026

Name: Natalie Terhark

Email Address: nblaira@gmail.com

Is this related to a legislative agenda item: Yes

Agenda item number:

Subject: Copper Rocks Proposal

We are writing to express our concerns regarding the plans for the vacant retail building on State road (Copper Rocks proposal). Being that our property is directly adjacent to this property, we hope our concerns will be listened to and addressed. We know this property needs to be developed; however, we disagree with the plans to build such a large residential dwelling. With the development of a 5-story building abutting our backyard, we have extreme concerns about our privacy and safety for our children. We have a toddler and a baby due in June. People will be able to see into our backyard (and possibly our house) whenever they want. That's a problem, especially considering we have little children. Not to mention the noise and safety concerns that an influx of so many people will bring. Our other major concern we have is the traffic. The traffic on Losey is already a problem, especially when trying to turn left off of Farnam onto Losey. It is already dangerous most times throughout the day and we can't imagine how difficult and unsafe it will become when 240 residents move into the proposed development. We love where we live and we love being able to raise our family here. As proposed, the Copper Rocks project will significantly reduce the value from the home and neighborhood we've grown to love. This development, as proposed, will likely force us to move from this neighborhood and I believe many others in our neighborhood would do the same.

Craig, Sondra

From: City of La Crosse Notices - No Reply
Sent: Monday, March 2, 2026 1:56 PM
To: Craig, Sondra; Elsen, Nikki; Janssen, Barb; Kahlow, Chris; Sleznikow, Larry; Trost, Jennifer; Mindel, Mackenzie; Dickinson, Tamra; Goggin, Erin; Steele, Annette; Washington-Spivey, Shaundel; Weston, Lisa; Newberry, Aron; Bedford, Crystal; Padesky, Gary; Stine, Olivia; Northwood, Rosanne
Subject: City Council Contact Form: Kmart construction

Submitted on: 3/2/2026

Name: Alyssa Gilbertson

Email Address: owenandalyssag@gmail.com

Is this related to a legislative agenda item: No

Agenda item number:

Subject: Kmart construction

Hello,

My husband and I live at 1322 26th St S in La Crosse. We would like to bring up some questions/concerns related to the proposed construction of the KMart building and lot. One concern we have is the loss of privacy with the tall buildings looking down on our back yards and into our home. Reading about the plans, my first thought was that I am going to have to save money and plant many trees to protect our home and our dog from the constant noise and business of the construction and complex. Even then, with the buildings being 5 stories high, we will still have people able to look down into our property and home. The other concerns we have include the amount of traffic it is going to add to an already busy area. Getting onto Losey from Farnam is already difficult to do with how busy the intersection is of State Rd and Losey. Adding 240 units worth of people onto that corner is going to significantly worsen this issue. Is there any idea of what can be done to improve this? For two years, our neighborhood will be dealing with the noise, dust, and disruption of the construction. I ask that you take that into consideration and assist our neighborhood with some of these issues that will persist after the construction is completed.

Shopping List

(3/2/2026)



26-0143



Regarding K Mart:

Ideas from southside

residents:

Trader Joes

Costco

Popular department store.

Entertainment,

shopping, & night

life to make up for

what has disappeared

from the Southside;

forexample: Big Lots,

Boyer Furniture, Hordeas,

K Mart, Pizya Doctors,

Radio Shack, Shopko, &

Southland Bowling.

A Science Museum like

large cities have would be a win-win
(over)

for the K Mart area, & attract tourists who would probably also shop at the surrounding businesses.

We need more businesses on the Southside, so people find what they need in their area. Highway 16 is very congested, & downtown shopping & parking aren't sufficient. Buses don't run on week-ends, & quit early on week nights. Not everyone drives.

The Planned Development District will cost much more than the city can afford at this time.

Sandy

(608) 519-5394



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0144

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Plat/Certified Survey
Map

Agenda Number: 4.



CITY OF LA CROSSE, WISCONSIN

Rev. 1/2021

CERTIFIED SURVEY MAP SUBMITTAL & REVIEW CHECK LIST

X with request for Right-of-Way designation + Waiver of Plat-Requirements
CSM located in Extra-Territorial Jurisdiction (Council Approval Required)
CSM located in the City (Department Review Only)

Extra-Territorial Review: BEFORE FILING WITH THE CITY, you must have both Town and County approvals. The Plan Commission may not consider any land division which did not have prior approval by the approving authorities for both the Town(s) and La Crosse County.

Town Board Approved: (date) La Crosse County Approved: (date)

To be completed by property owner/surveyor with submittal (*incomplete checklist may cause a delay in the review):

Current Tax Parcel Number(s): 17-50298-32

Map ID / Location: 2415 State Road

Surveyor: ISG Phone No. 608-789-2034

Property Owner: MKB Copper Rocks, LLC Phone No. 608-782-7368

**circle who should be called when CSM is ready for pick up.

I am the property owner of record, and I approve of this CSM: (signature) (property owner signature)

*In lieu of owner's signature on this submittal checklist, you may provide written communication from property owner.

Purpose of CSM and intended outcome (or attach a letter explaining):

As part of the redevelopment, the existing site will be subdivided into four separate parcels. MKB Copper Rocks, LLC and Three Sixty are requesting that the requirement for a subdivision plat per section 113-9 of the City of La Crosse Municipal Code of Ordinances be waived allowing for the use of a Certified Survey Map (CSM) to divide the existing lot as part of the PDD process.

Have you worked with any other Department/staff person with regard to this CSM? If so, who?

Previously worked with planning staff on the site rezoning and CSM.

Have you received any other decision with regard to this CSM from any City board, commission or committee?

If so, which one and when?

It was approved 4 years ago by Plan Commission, J & A and city council when the property was rezoned for PDD in 2022.

To be completed by City Clerk at time of filing:

2/9/2026 Original Document for Signature. (Clerk will make a photocopy which is distributed for review.)

2/16/2026 Review Fee (cash, check payable to City Treasurer or credit card with convenience fee)

\$300 - \$200.00 - First Application

\$150 - \$100.00 - Reapplication of the same CSM

Internal Review Routing & Email to County Surveyor. (Initiated by Clerk with complete filing.)

Original CSM Issued. (Upon approval, the original will be signed and available for pick up.)

To be completed by each Reviewing Department before the City Clerk will sign.

BUILDING AND INSPECTIONS APPROVAL

This Certified Survey Map is hereby approved by the Chief Inspector.

Dated this _____ day of _____, 20__.

Chief Inspector

Comments: _____

CITY UTILITIES (WATER – STORM – SEWER) APPROVAL

This Certified Survey Map is hereby approved by the City Utilities Office.

Dated this _____ day of _____, 20__.

Water Storm Sewer

Utilities Office

Comments: _____

ASSESSOR APPROVAL

This Certified Survey Map is hereby approved by the Assessor.

Dated this _____ day of _____, 20__.

Assessor

Comments: _____

ENGINEERING DEPARTMENT APPROVAL

This Certified Survey Map is hereby approved by the City Surveyor.

Dated this _____ day of _____, 20__.

Engineering/Surveyor

Comments: _____

PLANNING DEPARTMENT APPROVAL

This Certified Survey Map is hereby approved by the Planning Department.

Dated this _____ day of _____, 20__.

Planner

Comments: _____

COMMON COUNCIL APPROVAL, if required

Resolved that this Certified Survey Map is hereby approved by the Common Council of the City of La Crosse.

Dated this _____ day of _____, 20__.

Mayor (required only if signing off prior to expiration of veto period)

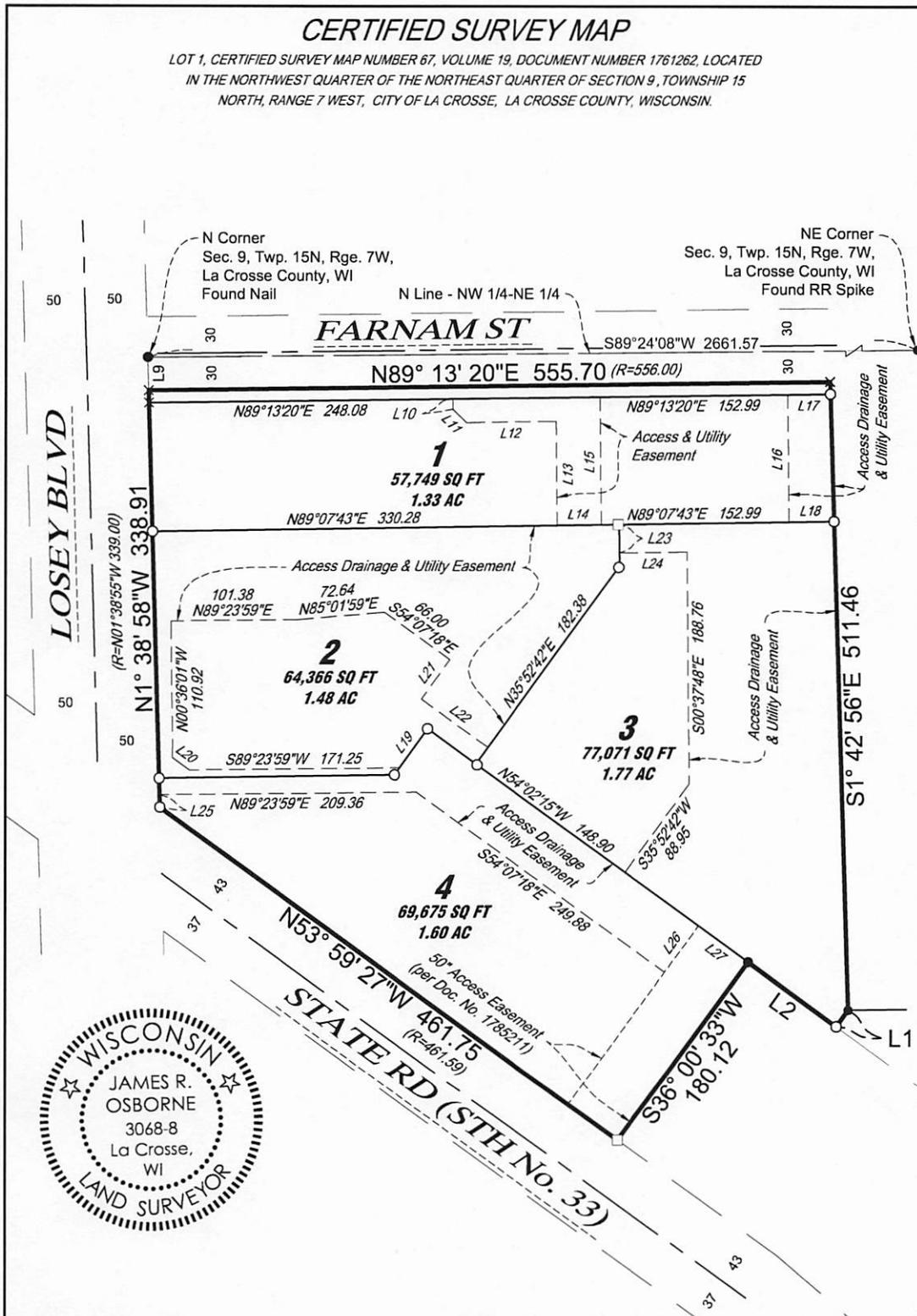
I hereby certify that the foregoing is a copy of a resolution adopted by the Common Council of the City of La Crosse.

Dated this _____ day of _____, 20__.

City Clerk

CERTIFIED SURVEY MAP

LOT 1, CERTIFIED SURVEY MAP NUMBER 67, VOLUME 19, DOCUMENT NUMBER 1761262, LOCATED
IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 15
NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.



CERTIFIED SURVEY MAP



THIS DOCUMENT IS THE PROPERTY OF ISG GROUP, INC. IT IS TO BE USED, COPIED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT NO.:	21-25290
FILE NAME:	25290 CSM
DRAWN BY:	JRO
REVISED:	

SHEET 2 OF 3 SHEETS

CERTIFIED SURVEY MAP

LOT 1, CERTIFIED SURVEY MAP NUMBER 67, VOLUME 19, DOCUMENT NUMBER 1761262, LOCATED
IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 15
NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

LAND DESCRIPTION:

Lot 1 of Certified Survey Map Number 67, Volume 19, Document Number 1761262 located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin.

CERTIFICATION:

I, James R. Osborne, Professional Land Surveyor, hereby certify that I have surveyed and mapped the lands described hereon, and that this map is a representation thereof, to the best of my knowledge and that I have complied with Chapter 236.34 of the Wisconsin State Statutes as per agreement with MKB Copper Rocks LLC who has requested such survey.

CITY OF LA CROSSE APPROVAL CERTIFICATE

Resolved that this Certified Survey Map is hereby approved by the City of La Crosse.

Dated this ____ day of _____, 20__.

City Clerk

OWNERS CERTIFICATE

As owner, I hereby certify that I caused the land described herein to be surveyed, divided, mapped and dedicated as represented on the Certified Survey Map. I also certify that this Certified Survey Map is required to be submitted to the following for approval, the City of La Crosse.

Dated this ____ day of _____, 20__.

Name Title

State of Wisconsin)

County of _____) SS

Personally came before me this ____ day of _____, 20__, the above named Owner to me known to be the same person who executed the foregoing instrument and acknowledged the same.

(Notary Seal) _____ Notary Public, _____ County, Wisconsin

My commission expires: _____

NOTE: Field work was completed on February 21, 2022.



LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	16.41	S36°00'33"W
L2	89.18	N53°59'27"W
L3	23.52	N1°38'58"W
L4	46.23	N35°36'26"E
L5	48.83	S53°59'27"E
L6	33.59	N0°52'17"W
L7	10.00	N1°38'58"W
L8	10.00	S1°42'56"E
L9	26.95	S1°38'58"E
L10	8.26	S0°36'01"E
L11	15.36	S45°36'01"E
L12	73.25	N89°23'59"E
L13	84.45	S0°36'01"E
L14	35.75	N89°07'43"E
L15	103.76	N0°36'01"W
L16	103.51	N0°36'01"W
L17	34.77	N89°13'20"E
L18	36.79	N89°07'43"E
L19	39.17	S35°36'26"W
L20	17.18	N54°07'18"W
L21	39.36	S35°52'42"W
L22	67.01	S54°07'18"E
L23	22.80	S0°52'17"E
L24	55.00	N89°23'59"E
L25	10.13	N1°38'58"W
L26	46.68	N36°00'33"E
L27	50.00	S53°59'27"E

	CERTIFIED SURVEY MAP		
	THIS DOCUMENT IS THE PROPERTY OF ISG GROUP, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT PRIOR WRITTEN CONSENT.	PROJECT NO.: 21-25290	SHEET 3 OF 3 SHEETS
	FILE NAME: 25290 CSM		
	DRAWN BY: JRO		
REVISED:			

Memorandum

Copper Rocks Waiver Request



To: City of La Crosse Common Council
Date: February 6, 2026
Subject: Copper Rocks Waiver Request

MKB Copper Rocks, LLC (MKB) and Three Sixty Real Estate Solutions, LLC (Three Sixty) are working on a joint venture agreement to develop the former “Kmart” Site located at 2415 State Road, La Crosse. The proposed “Copper Rocks” project will consist of two townhome buildings and three mixed-use buildings. As part of the project, the existing lot will be subdivided into 4 separate parcels and a rezoning request to Planned Development District (PDD) will be made. MKB and Three Sixty are requesting a waiver of the requirement of a subdivision plat per 113-09, Waiver of Requirements, and request to use a Certified Survey Map in its place.

Office of City Clerk



February 17, 2026

MKB COPPER ROCKS LLC
C/O KIRK STOA
3800 EMERALD DR E
ONALASKA WI 54650

JAMES OSBORNE, SURVEYOR
201 MAIN ST, STE 1020
LA CROSSE WI 54601

Re: Certified Survey Map

We are in receipt of the *Certified Survey Map - Lot 1, Certified Survey Map Number 67, Volume 19, Document Number 1761262, Located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way and waiver of platting requirements.*

The CSM will be considered at the following meetings:

City Plan Commission

**Monday, March 2, 2026 at 4:00 p.m.
Council Chambers, City Hall – first floor**

Judiciary & Administration Committee

**Tuesday, March 3, 2026, at 6:00 p.m.
Council Chambers, City Hall – first floor**

Common Council

**Thursday, March 12, 2026 at 6:00 p.m.
Council Chambers, City Hall – first floor**

We recommend someone attend the CPC and J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is not allowed at the Council meeting, although you are welcome to attend. The CSM will appear on the agendas as file 26-0144 (the associated rezoning petition is file 26-0143 and is also scheduled for the meetings above).

Attendance at the meetings is allowed either in person or virtually. I will also be sending an email with the links to the agenda and Zoom meeting. If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig, Deputy City Clerk
(608) 789-7549
craigs@cityoflacrosse.org

Craig, Sondra

From: Reinhart, David
Sent: Tuesday, February 17, 2026 10:18 AM
To: Craig, Sondra
Subject: RE: For Review: CSM - 2415 State Road (Copper Rocks)

Sondra,

B&I cannot approve until the existing building is removed and the zoning approved.

Thanks,

David Reinhart

Chief Building Inspector

Building & Inspections

400 La Crosse St., La Crosse, WI 54601

Office: 608-789-7564

From: Craig, Sondra <craigs@cityoflacrosse.org>

Sent: Tuesday, February 17, 2026 9:35 AM

To: Hewitt, Dale <DHewitt@lacrossecounty.org>; Meyer, Bryan <bmeyer@lacrossecounty.org>; Acklin, Tim <Acklint@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Crandall, Jay <CrandallJ@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Gallagher, Matthew <gallagerm@cityoflacrosse.org>; Holland, Michelle <hollandm@cityoflacrosse.org>; Neumann, Shannon <Neumanns@cityoflacrosse.org>; Reinhart, David <Reinhartd@cityoflacrosse.org>; Trane, Andrea <tranea@cityoflacrosse.org>

Subject: For Review: CSM - 2415 State Road (Copper Rocks)

Good morning,

Attached for your review is a CSM for 2415 State Road. They are requesting a waiver of City platting requirements and dedicating public right-of-way, so this will be routed through Council for approval as well as your review (March meetings). Waiver request is attached just for additional information, if needed for some of you.

Please let me know if you approve or have any comments that I can pass on to the owner/surveyor.

Thank you,

SONDRA CRAIG, WCMC (she/her)

Deputy City Clerk

City Clerk's Office

City of La Crosse

400 La Crosse Street

La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

Visit the City Clerk webpage: <https://www.cityoflacrosse.org/your-government/departments/city-clerk>

City Clerk's Office hours:

8:00 a.m. to 4:30 p.m., Monday through Thursday

8:00 a.m. to 2:00 p.m., Friday

Public Service (walk in) hours 8:00 a.m. to 4:00 p.m. Monday through Thursday & 8:00 a.m. to 12:00 p.m. on Friday in the City Hall Lobby

Agenda Item 26-0144 (Tim Acklin)

Certified Survey Map - Lot 1, Certified Survey Map Number 67, Volume 19, Document Number 1761262, Located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way and waiver of platting requirements.

General Location

Council District 17 in the Bluffside Neighborhood Association. Located at the NE corner of the intersection of State Rd and Losey Blvd as depicted on attached Map PC26-0144. The property was the former K-Mart site. The property is surrounded by residential to the north and east, and commercial uses to the west and south.

Background Information

This item is also related to agenda item #26-0143.

The subject CSM is part of the Copper Rocks Development. The applicant is requesting to subdivide the existing lot the former KMart building was located on into four separate parcels as part of the proposed, new development. The new development consists of five buildings that include three multi-story, mixed-use buildings and two townhome buildings. The townhome buildings are proposed to be located on one of the lots and each of the other three buildings will each be located on the other three.

Subdividing the parcel in this way will likely require drainage, utility and access agreements as part of the final approval of the CSM.

Recommendation of Other Boards and Commissions N/A

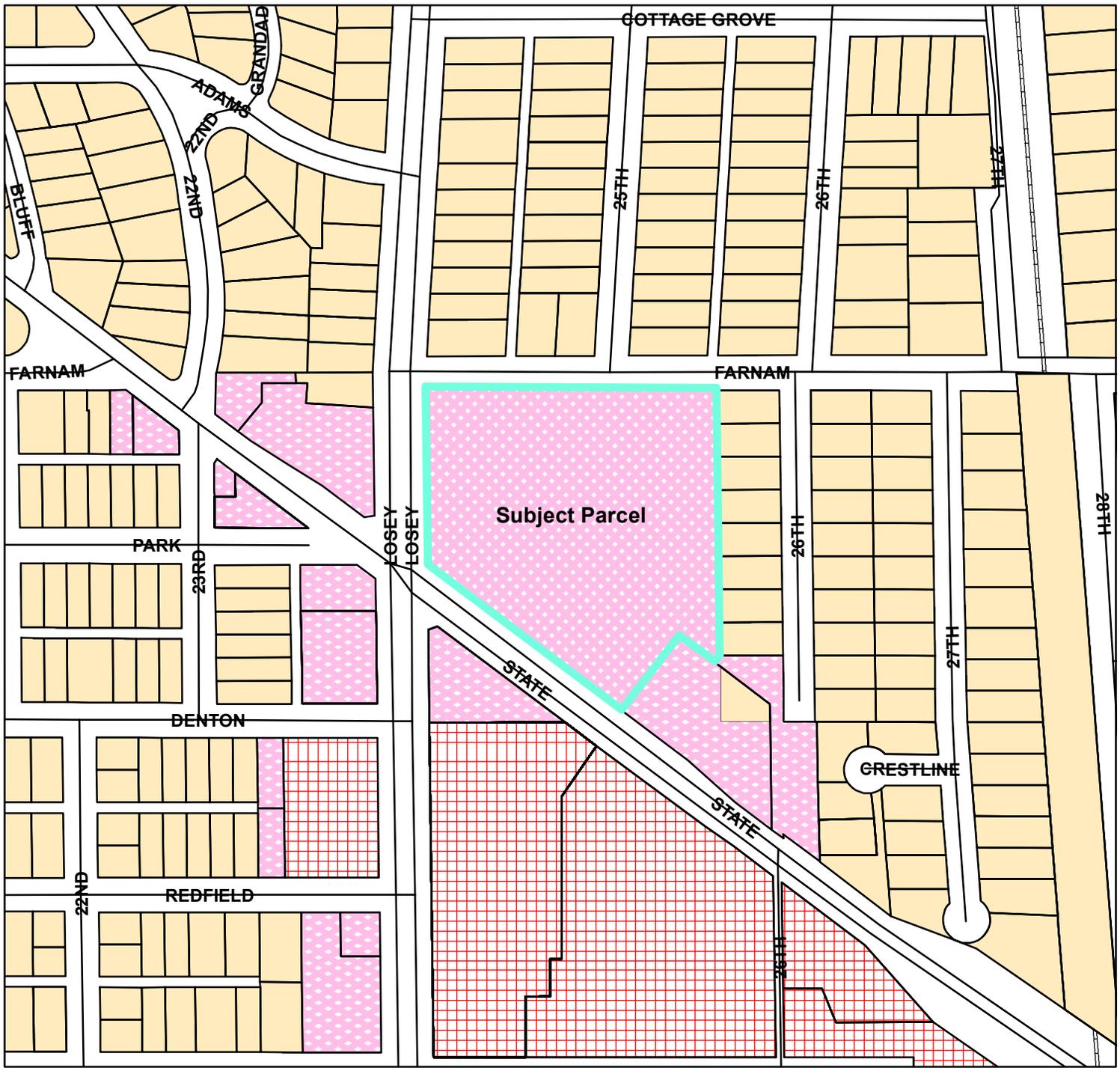
Consistency with Adopted Comprehensive Plan

This item is part of the Copper Rocks Development. The subject property is located within the State Road Corridor (C-5) in the Land Use component of the Comprehensive Plan. The plan states that future land uses within the State Road corridor should focus on developing a mix of medium-high density residential and commercial uses that are accessible via multiple modes of transportation. The proposed development could be considered both High Density Residential and Low-Intensity Mixed-Use which are both "Desirable" land uses in this corridor making it consistent with the Comprehensive Plan.

Staff Recommendation

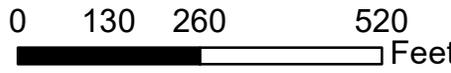
Since submittal of this item staff have been made aware by the applicant's design team that the submitted CSM was not the current version. As of February 25, 2026, an updated CSM had not been submitted to staff for review. **Until staff has the correct information to review this item is recommended for referral to the April cycle.**

Routing J&A 3.03.26



BASIC ZONING DISTRICTS

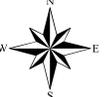
- R1 - SINGLE FAMILY
- R2 - RESIDENCE
- WR - WASHBURN RES
- R3 - SPECIAL RESIDENCE
- R4 - LOW DENSITY MULTI
- R5 - MULTIPLE DWELLING
- R6 - SPECIAL MULTIPLE
- PD- PLANNED DEVELOP
- TND - TRAD NEIGH DEV.
- C1 - LOCAL BUSINESS
- C2 - COMMERCIAL
- C3 - COMMUNITY BUSINESS
- M1 - LIGHT INDUSTRIAL
- M2 - HEAVY INDUSTRIAL
- PS - PUBLIC & SEMI-PUBLIC
- PL - PARKING LOT
- UT - PUBLIC UTILITY
- CON - CONSERVANCY
- FW - FLOODWAY
- A1 - AGRICULTURAL
- EA - EXCLUSIVE AG
- City Limits
- SUBJECT PROPERTY





BASIC ZONING DISTRICTS

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-  R2 - RESIDENCE
-  WR - WASHBURN RES
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City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0171

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

ORDINANCE NO.: _____

AN ORDINANCE to amend Sec. 30-3(e) of the Code of Ordinances of the City of La Crosse regarding nuisance abatement of drug and gang houses.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Section 30-3(e) is hereby amended to read as follows:

Sec. 30-3. Abatement of drug and gang houses.

- (e) After notice, as provided herein, having been given, it shall be unlawful to continue, maintain or permit a nuisance as hereinbefore defined in this section. ~~No person shall be charged with the violation of this section if such person has instituted eviction proceedings against a tenant whose suspected criminal activities would otherwise give rise to potential liability under this chapter. The owner is required, however, to move forward expeditiously with any such eviction proceedings.~~

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed: /2026
Approved: /2026
Published: /2026



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
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LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0186

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

ORDINANCE NO.: _____

AN ORDINANCE amending and creating various sections of Article V, Chapter 10 of the Code of Ordinances of the City of La Crosse relating to retail cigarette, tobacco products, and electronic vaping devices licensing; and to repeal and recreate Section 32-187 regarding the minimum age to purchase or possess cigarettes or tobacco products.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Section 10-171 is hereby amended to read as follows:

- (a) *Required.* Pursuant to the Wis. Stat. § 134.65, no persons shall in any manner, or upon any pretense or by any device, directly or indirectly sell, expose for sale, possess with intent to sell, exchange, barter, dispose of or give away any cigarettes, tobacco products, and electronic vaping devices to any person without first obtaining a retail license from the City Clerk, as hereinafter provided.
- (b) State law adopted. Wis. Stat. §134.65 is hereby adopted and incorporated by reference. All applicants and licensees shall comply with the requirements of Wis. Stat. § 134.65, as well as all other applicable federal, state, or local regulations.
- (c) License eligibility generally. In addition to the requirements imposed by the provisions of Wis. Stat. § 134.65(1m), the following restrictions shall apply to the issuance of licenses pursuant to this section:
 - (1) No license shall be issued for any premises which do not conform to applicable federal and state sanitary, safety and health requirements including all ordinances and regulations adopted by the City or County of La Crosse which pertain to sanitation, safety and health requirements.
 - (2) Delinquent taxes, assessments, etc.
 - a. Premises. No initial or renewal license shall be granted for any premises for which taxes, assessments, forfeitures or other fees of the City are delinquent and unpaid.
 - b. Persons, partnerships and corporations. No initial or renewal license shall be granted to any person, partnership or corporation:
 - 1. Delinquent in payment of any taxes, assessments or other fees owed to the City.
 - 2. Delinquent in payment of a forfeiture resulting from a violation of any ordinance of the City.
- (d) License year. The license year shall be from July 1 to the following June 30.
- ~~(de)~~ Applications. ~~A written application shall be~~ Applications, on a form pursuant to Wis. Stat. § 134.65, and available from the City Clerk, shall be made in writing and filed with the City Clerk ~~on forms as required by the Department of Revenue.~~ Each application shall include the name of the proposed licensee, a specific description of the premises where such business is to be conducted, and whether the licensee will sell the cigarette, tobacco products, or electronic vaping devices over the counter or from a vending machine.
- (f) *Renewal applications.* All applications for renewal of licenses are subject to the qualifications, eligibility, inspection and granting provided in this chapter and the Wisconsin Statutes.
 - (1) *Renewal application deadline.* Renewal applications will be sent to all licensed entities on or before March 15 and are due to the City Clerk's Office on or before April 15 of each year. If April 15 falls on a non-business day, the deadline will be extended to the next business day. The Common Council shall grant or deny each timely-filed

application no later than June 15 for the ensuing license year. If a renewal application is received after April 15, notice of Council's intent to grant or deny the renewal application, as well as notice of any accompanying hearing, may not be available before the license expires on June 30.

- (2) Late application fee. Renewal applications received after the April 15 deadline shall be subject to a late filing fee in the amount established by resolution. Said late fee is imposed to recover the cost of processing the late application. Applications filed after May 15 will not be granted until after July 1.

- ~~(eg) Year and Fee. Each license shall be for the period of July 1 of each year or when applied for and continue in force until the following June 30 unless sooner revoked. The fee for the license shall be in the amount established by resolution, which shall be paid to the Director of Finance/Treasurer before the license is issued. Twenty-five dollars of said fee shall be provided to the County of La Crosse Health Department for education and other health needs relating to tobacco products.~~
- (dh) Issuance of license. The City Clerk may issue the license or exercise discretion to not issue the license in accordance with Wis. Stat. § 134.65. Pursuant to Wis. Stat. § 134.65(3), each such license shall name the licensee and specifically describe the premises where such business is to be conducted. Such licenses shall not be transferable from one person to another nor from one premises to another.
- (i) Posting of license. Pursuant to Wis. Stat. § 134.65, licenses or permits issued under this article shall enclose the license in a frame that has a transparent front that allows the license to be read clearly. The licensee shall conspicuously display the license for public inspection at all times in the room or place where the activity subject to licensure is carried out. Any licensee who shall fail to post such license as herein required shall be presumed to be operating without a license.
- (gj) Change in circumstances. Within thirty (30) days of any change in any fact set forth in an application for a license under Sec. 10-171(a), the applicant or licensee shall file a written description of the change with the City Clerk.
- (k) Violations by agent or employee of licensee. A violation of this article by a duly authorized agent or employee of the licensee shall constitute a violation of the licensee. Violations of the provisions of this article or the provisions of Wis. Stat. § 134.65 may be grounds for immediate revocation by the Common Council.
- (hl) Nonrenewal, Suspension, Revocation. Except as hereinafter provided, by the authority granted in Wis. Stat. § 134.65(8), the provisions of Wis. Stat. § 134.65(7) shall be applicable to proceedings for the revocation or suspension of all licenses granted under this section.
- (1) License suspension or revocation hearings shall be before the Judiciary and Administration Committee of the Council.
 - (2) Whenever any license under this section shall be revoked or suspended by the Council or action of any court, it shall be the duty of the Clerk to notify the licensee of such suspension or revocation and to notify the Chief of Police, who shall take physical possession of the license wherever it may be found and file it in the Clerk's office.
 - (3) If any license granted under this section is seized by any local, State or Federal agency pursuant to applicable statutes providing for the seizure of personal property, such seizure will act as an automatic revocation of that license upon notification to the City Clerk by the seizing agency that a seizure has been effected.

SECTION II: Section 10-173 is hereby created to read as follows:

Sec. 10-173. Restrictions.

- (a) No retailer, direct marketer, manufacturer, distributor, jobber or subjobber, no agent, employee or independent contractor of a retailer, direct marketer, manufacturer, distributor, jobber or subjobber and no agent or employee of an independent contractor may sell or provide for nominal or no consideration cigarettes, nicotine products, or tobacco products to any person under the age of 21, except as otherwise allowed by Wis. Stat. § 254.92(2)(a). A vending machine operator is not liable under this paragraph for the purchase of cigarettes, nicotine products, or tobacco products from his or her vending machine by a person under the age of 21 if the vending machine operator was unaware of the purchase.
- (b) No retailer, direct marketer, manufacturer, distributor, jobber or subjobber, no agent, employee or independent contractor of a retailer, direct marketer, manufacturer, distributor, jobber or subjobber and no agent or employee of an independent contractor may provide for nominal or no consideration cigarettes, nicotine products, or tobacco products to any person except in a place where no person younger than 21 years of age is present or permitted to enter unless the person who is younger than 21 years of age is accompanied by his or her parent or guardian or by his or her spouse who has attained the age of 21 years.
- (c) A retailer shall post a sign in areas within his or her premises where cigarettes or tobacco products are sold to consumers stating that the sale of any cigarette or tobacco product to a person under the age of 21 is unlawful under this article and 21 CFR Part 1140.
- (d) A vending machine operator shall attach a notice in a conspicuous place on the front of his or her vending machines stating that the purchase of any cigarette or tobacco product by a person under the age of 21 is unlawful under this article and 21 CFR Part 1140 and that the purchaser is subject to a forfeiture as outlined in Sec. 10-170 of this article.
- (e) A retailer or vending machine operator may not sell cigarettes or tobacco products from a vending machine unless the vending machine is located in a place where the retailer or vending machine operator ensures that no person younger than 21 years of age is present or permitted to enter unless he or she is accompanied by his or her parent or guardian or by his or her spouse who has attained the age of 21 years.
- (f) A retailer or vending machine operator may not sell cigarettes, nicotine products, or tobacco products without verifying that the purchaser has attained 21 years of age by a valid photo identification.
- (g) Notwithstanding subdivision (e), no retailer may place a vending machine within 500 feet of a school.
- (h) No retailer or direct marketer may sell cigarettes in a form other than as a package or container on which a stamp is affixed under Wis. Stat. § 139.32(1).
- (i) No adult may knowingly permit or fail to take action to prevent the illegal consumption of cigarettes, nicotine products, or tobacco products by a person younger than 21 years of age on property, including any premises, owned and occupied by the adult or occupied by the adult and under the adult's control. This subdivision does not apply to cigarettes, nicotine products, or tobacco products used exclusively as part of a religious service.

SECTION III: Section 10-174 is hereby created to read as follows:

Sec. 10-174. Training required.

The provisions of Wis. Stat. § 134.66(2m) are adopted by reference. This section is subject to any exemptions or exclusions from such statute provided in Wis. Stat. § 134.66(2m).

SECTION IV: Section 10-175 is hereby created to read as follows:

Sec. 10-175. Electronic vaping device directory.

The provisions of Wis. Stats. §§ 995.15(1), (2), (3), (4), (5), (6), (7), and (8) are adopted by reference. This section is subject to any exemptions or exclusions from such statute provided in Wis. Stat. § 995.15.

SECTION V: Sections 32-186 and 32-187 are hereby repealed, and Section 32-186 is hereby repealed and recreated as follows:

Sec. 32-186. Purchase or possession of cigarettes or tobacco products by person under 21 prohibited.

- (a) No person under 21 years of age may falsely represent his or her age for the purpose of receiving any cigarette, nicotine product, or tobacco product.
- (b) No person under 21 years of age may purchase, attempt to purchase, or possess any cigarette, nicotine product, or tobacco product except as follows:
 - (1) A person under 21 years of age may purchase or possess cigarettes, nicotine products, or tobacco products for the sole purpose of resale in the course of employment during his or her working hours if employed by a retailer.
 - (2) A person under 21 years of age may purchase, attempt to purchase or possess cigarettes, nicotine products, or tobacco products in the course of his or her participation in a law enforcement investigation.
- (c) No person may purchase cigarettes, tobacco products, or nicotine products on behalf of, or to provide to, any person who is under 21 years of age.

SECTION VI: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION VII: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
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LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0196

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

ORDINANCE NO.: _____

AN ORDINANCE to amend Sections 4-72(a) and 4-142(a) and create Sections 4-72(c), 4-142(c), 4-21 and 4-146 of the Code of Ordinances of the City of La Crosse regarding alcohol regulations, licensing requirements and municipal sales in City parks.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Section 4-72(a) is hereby amended and Section 4-72(c) is hereby created to read as follows

Sec. 4-72. – License Requirements.

- (a) *License required.* No person shall vend, sell, deal or traffic in or, for the purpose of evading any law or ordinance, give away any intoxicating liquor in any quantity whatsoever, or cause the same to be done, without having procured a license therefor, nor without complying with all the provisions of this Code, and all statutes, ordinances and regulations applicable thereto. ~~Such license shall be posted in a conspicuous place in the room or place where the licensed beverages are drawn or removed for sale or service. A separate license shall be required for each stand, place, room or enclosure where intoxicating liquor is kept, sold or offered for sale; except that only one license shall be required when a suite of rooms or enclosures are in direct connection and contiguous to each other, Only one license shall be required for a premise; all areas to be licensed of which must be in the same building on one land parcel, and operated by the licensee as one premises. All areas where intoxicating liquors are sold, served, consumed or stored must be described on the license.~~
- (c) *Renewal applications.* All applications for renewal of licenses are subject to the qualifications, eligibility, inspection and granting provided in this chapter and the Wisconsin Statutes.
- (1) *Renewal application deadline.* Renewal applications will be sent to all licensed entities on or before March 15 and are due to the City Clerk's Office on or before April 15 of each year. If April 15 falls on a non-business day, the deadline will be extended to the next business day. The Common Council shall grant or deny each timely-filed application no later than June 15 for the ensuing license year. If a renewal application is received after April 15, notice of Council's intent to grant or deny the renewal application, as well as notice of any accompanying hearing, may not be available before the license expires on June 30.
 - (2) *Late application fee.* Renewal applications received after the April 15 deadline shall be subject to a late filing fee in the amount established by resolution. Said late fee is imposed to recover the cost of processing the late application. Applications filed after May 15 will not be granted until after July 1.

SECTION II: Section 4-142(a) is hereby amended and Section 4-142(c) is hereby created to read as follows:

Sec. 4-142. – License Requirements.

- (a) *License required.* No person shall vend, sell, deal or traffic in or, for the purpose of evading any law or ordinance, give away any fermented malt beverage in any quantity whatsoever, or cause the same to be done, without having procured a license therefor, nor without complying with all the provisions of this Code, and all statutes, ordinances and regulations applicable thereto. ~~Such license shall be posted in a conspicuous place in the room or place where the licensed beverages are drawn or removed for sale or service. A separate license shall be required for each stand, place, room or enclosure where intoxicating liquor is kept, sold or offered for sale; except that only one license shall be required when a suite of rooms or enclosures are in direct connection and contiguous to each other, Only one license shall be required for a premise; all areas to be licensed of which must be in the same building on one land parcel, and operated by the licensee as one premises. All areas where fermented malt beverages are sold, served, consumed or stored must be described on the license.~~
- (c) Renewal applications. All applications for renewal of licenses are subject to the qualifications, eligibility, inspection and granting provided in this chapter and the Wisconsin Statutes.
- (1) Renewal application deadline. Renewal applications will be sent to all licensed entities on or before March 15 and are due to the City Clerk's Office on or before April 15 of each year. If April 15 falls on a non-business day, the deadline will be extended to the next business day. The Common Council shall grant or deny each timely-filed application no later than June 15 for the ensuing license year. If a renewal application is received after April 15, notice of Council's intent to grant or deny the renewal application, as well as notice of any accompanying hearing, may not be available before the license expires on June 30.
- (2) Late application fee. Renewal applications received after the April 15 deadline shall be subject to a late filing fee in the amount established by resolution. Said late fee is imposed to recover the cost of processing the late application. Applications filed after May 15 will not be granted until after July 1.

SECTION III: Section 4-21 is hereby created to read as follows:

Sec. 4-21. – Violation by agent or employee

A violation of this article by a duly authorized agent or employee of the licensee shall constitute a violation of the licensee. Violations of the provisions of this article or the provisions of Wis. Stat. ch. 125 may be grounds for immediate revocation by the Common Council.

SECTION IV: Section 4-146 is hereby created to read as follows:

Sec. 4-146. – Municipal sales in parks; license not required.

Pursuant to Wis. Stats. 125.06(6), officers and employees of the City are authorized to sell fermented malt beverages in any public park operated by the City without the necessity of obtaining a license therefore. Requirements pertaining to licenses imposed by this chapter shall not apply to such sales, but these sales must comply with all other general regulations of Wis. Stat. ch. 125.

SECTION V: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION VI: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:



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LEGISLATION STAFF REPORT FOR COUNCIL

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Staff Recommendation