City of La Crosse, Wisconsin

City Hall 400 La Crosse Street La Crosse, WI 54601

Meeting Agenda

Commercial/Multi-Family Design Review Committee

Friday, June 6, 2025

9:00 AM

The meeting is conducted through video conferencing.

Members of the public will be able to attend the meeting via video conferencing with the link below.

Join Zoom Meeting

Click this link (or typing the URL in your web browser address bar):

https://cityoflacrosse-org.zoom.us/j/82799188943?pwd=pAMS3MbJusyBqR9mjCiK3jH6cAP0rk.1

Meeting ID: 827 9918 8943

Passcode: 212646

Dial by your location 1 312 626 6799

If you wish to speak please provide written comments by emailing acklint@cityoflacrosse.org, using a drop box outside of City Hall or mailing the Department of Planning, Development, and Assessment at 400 La Crosse St, WI 54601

Call to Order

Agenda Items:

2. <u>25-0554</u> Review of plans for the commercial addition to the building located at

2835-2841 Darling Ct. (Kwik Trip Day Care/Clinic)

Attachments: Final Plans 6-6-25

Preliminary Design Review Memo 5-16-2025

Preliminary Plans 5-16-25

Adjournment

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.



City of La Crosse, Wisconsin

City Hall 400 La Crosse Street La Crosse, WI 54601

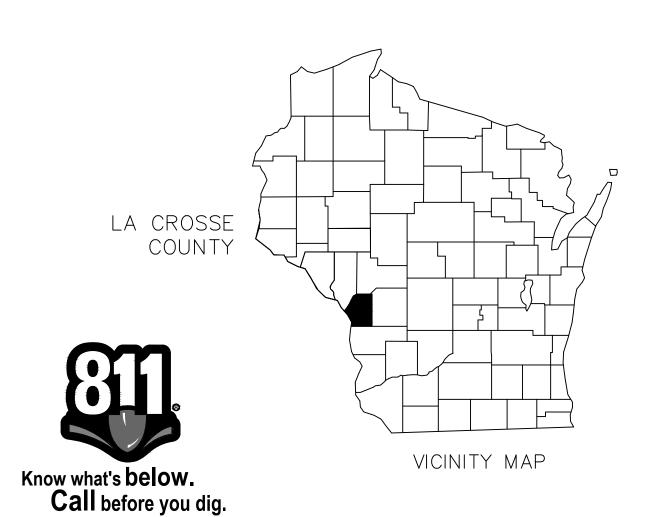
Text File

File Number: 25-0554

Agenda Date: Version: 1 Status: Agenda Ready

In Control: Commercial/Multi-Family Design Review Committee File Type: Review of Plans

Agenda Number: 2.



KWIK TRIP CLINIC & PHARMACY EXPANSION 2835 DARLING COURT LA CROSSE, WI 54603

PROJECT LOCATION-

	CONTACTS
ENGINEERING	DIRECTOR OF ENGINEERING & PLANNING MATT GALLAGER, P.E. 608.789.7505
PLANNING & DEVELOPMENT	DIRECTOR OF PLANNING, DEVELOPMENT AND ASSESSMENT ANDREA TRANE 608.789.8321
ELECTRIC	XCEL ENERGY — JASON MCROBERTS 715.577.1132
CABLE	CHARTER COMMUNICATIONS — PERRY MCCLELLAN 608.317.6213
GAS	XCEL ENERGY — JAKE ENDRES 608.498.3176
CABLE	LUMEN — TOM MURRAY 608.780.0895
FIRE DEPT.	FIRE CHIEF — JEFF SCHOTT 608.789.7559



LOCATION MAP

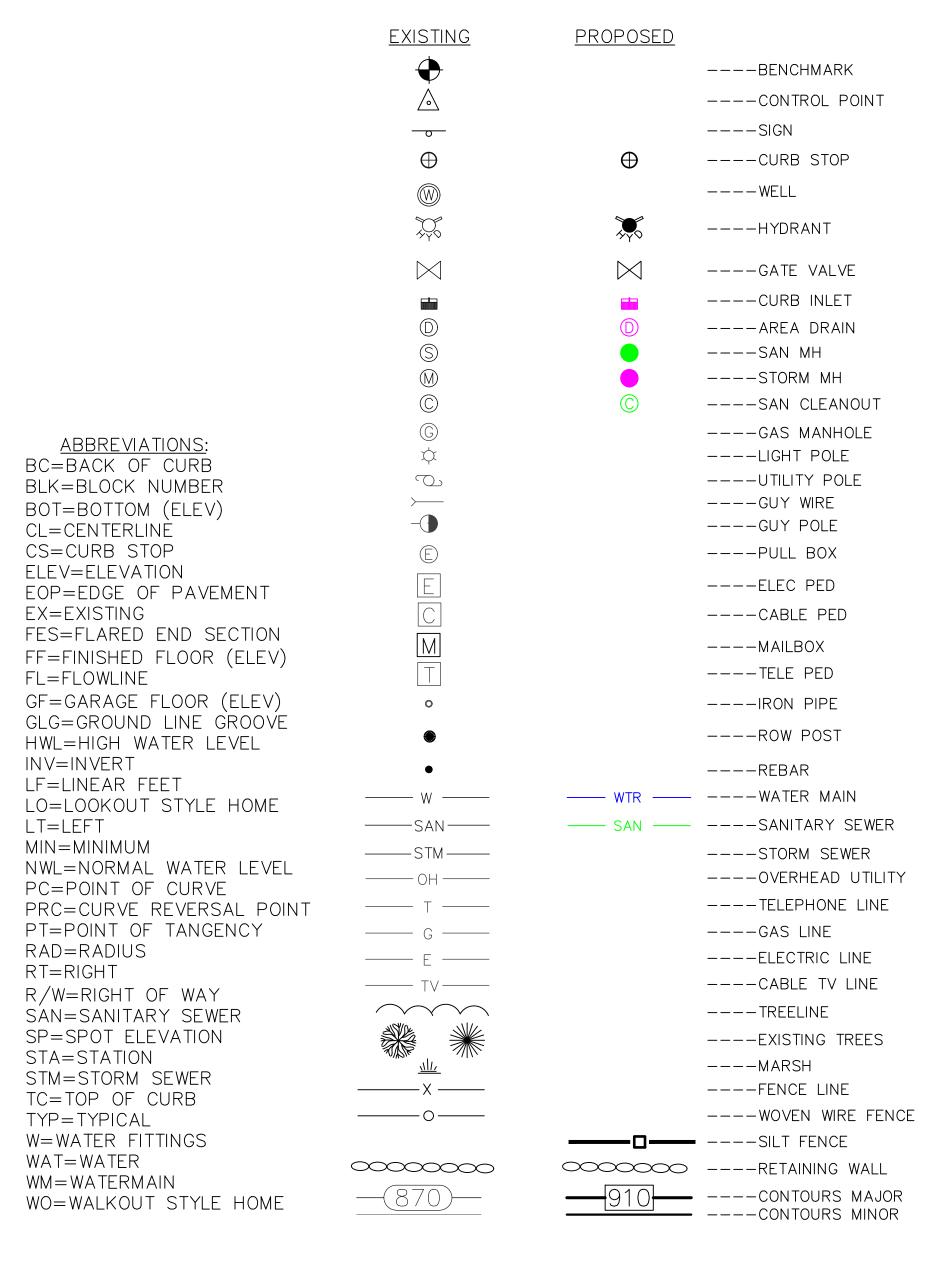
OWNER: WIESER BROTHERS GENERAL CONTRACTORS, INC ATTN: ETHAN THOMAS 200 TWILITE ST LA CRESCENT, MN 55947 507.895.8903 EMAIL: ethant@wieserbrothers.com PROJECT ARCHITECT: RIVER VALLEY ARCHITECTS, INC. ATTN: KEVIN GUNDERSON 3300 BIRCH STREET, SUITE 1A EAU CLAIRE, WI 54703 715.832.0875 EXT 111 EMAIL: kevin@rivervalleyarchitects.com PROJECT ENGINEER: ADVANCED ENGINEERING CONCEPTS SEAN BOHAN, P.E. 1360 INTERNATIONAL DRIVE EAU CLAIRE, WI 54701

715.552.0330

sbohan@aec.engineering

SCHEDULE OF REQUIRED PERMITS							
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL					
CITY OF LA CROSSE							
SITE PLAN SUBMITTAL							
DSPS-EXTERIOR							
PLUMBING PLAN REVIEW							

LEGEND



	SHEET SCHEDULE
SHEET NO.	DESCRIPTION
G001	TITLE SHEET
C101	EXISTING CONDITIONS & DEMOLITION PLAN
C201	SITE PLAN
C301	GRADING PLAN
C302	EROSION CONTROL
C401	UTILITY PLAN
C501-503	DETAILS
C601-602	LANDSCAPE

AEC PROJECT #: 25020

PLANS DATED: MAY 2025



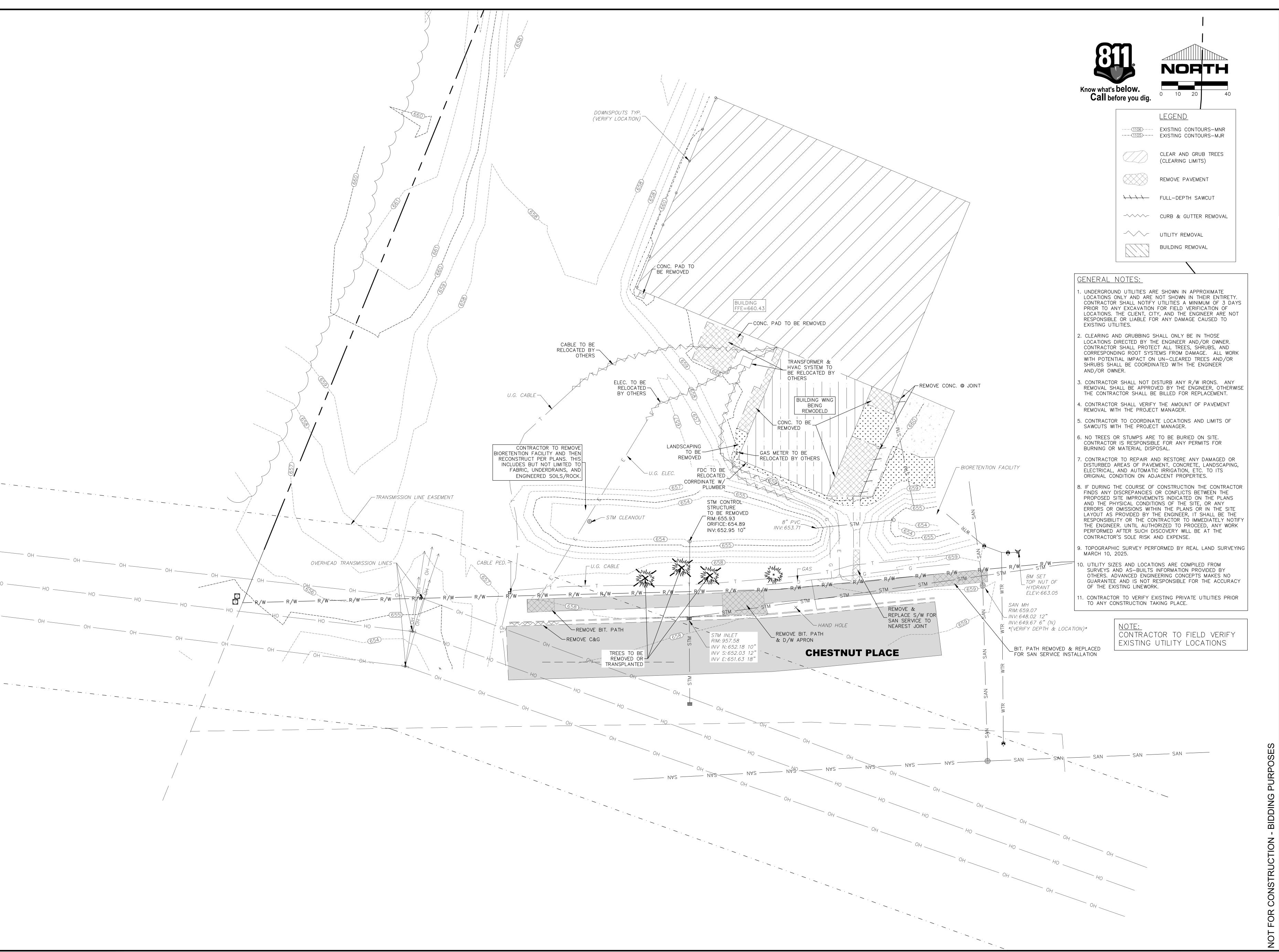
ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR. EAU CLAIRE, WI 54701 PH 715-552-0330 INFO@AEC.ENGINEERING COPYRIGHT 2025, AEC LLC.

O5.16.2025

TITLE SHEET G001

PHARMACY

KWIK T CLINIC

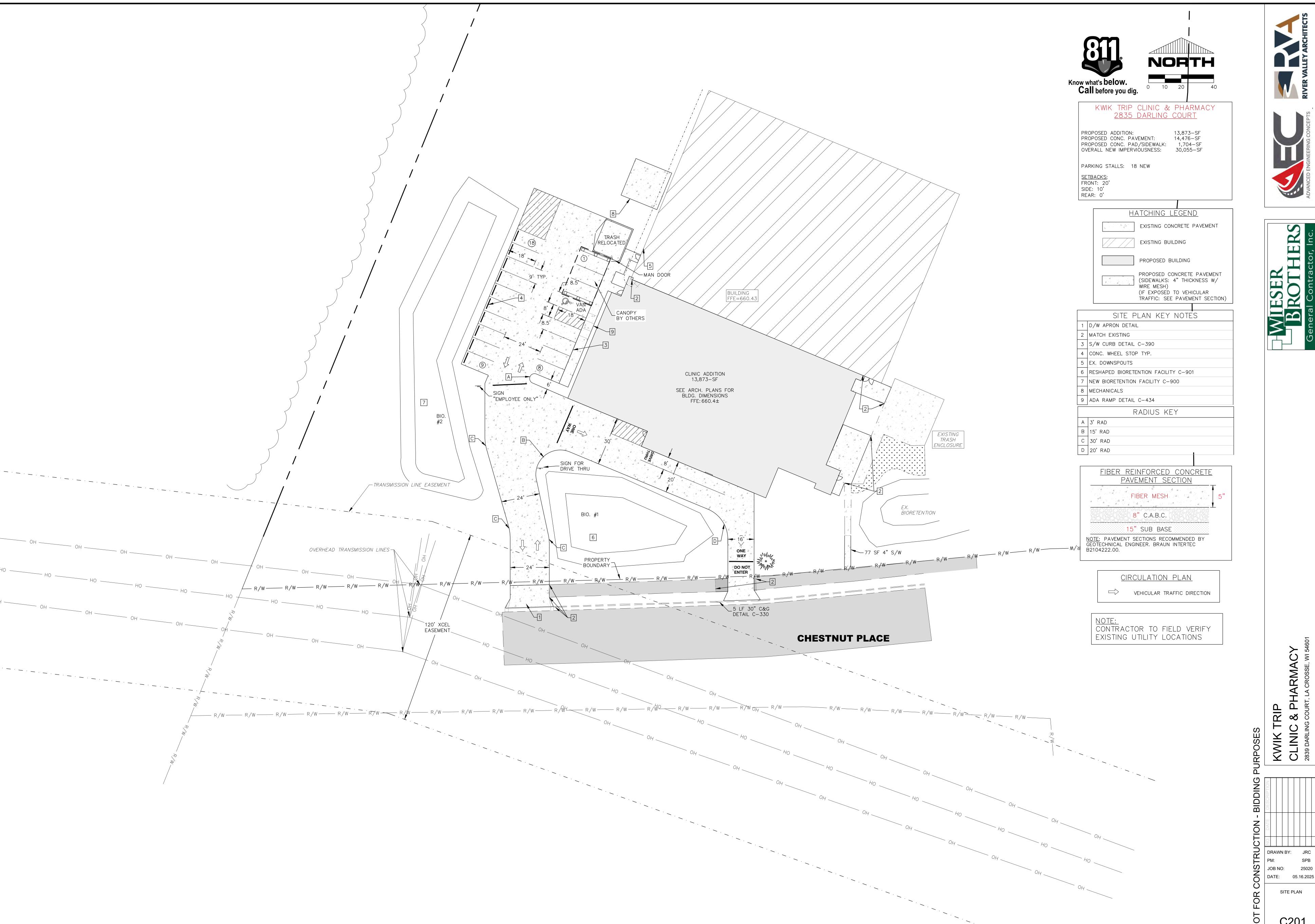




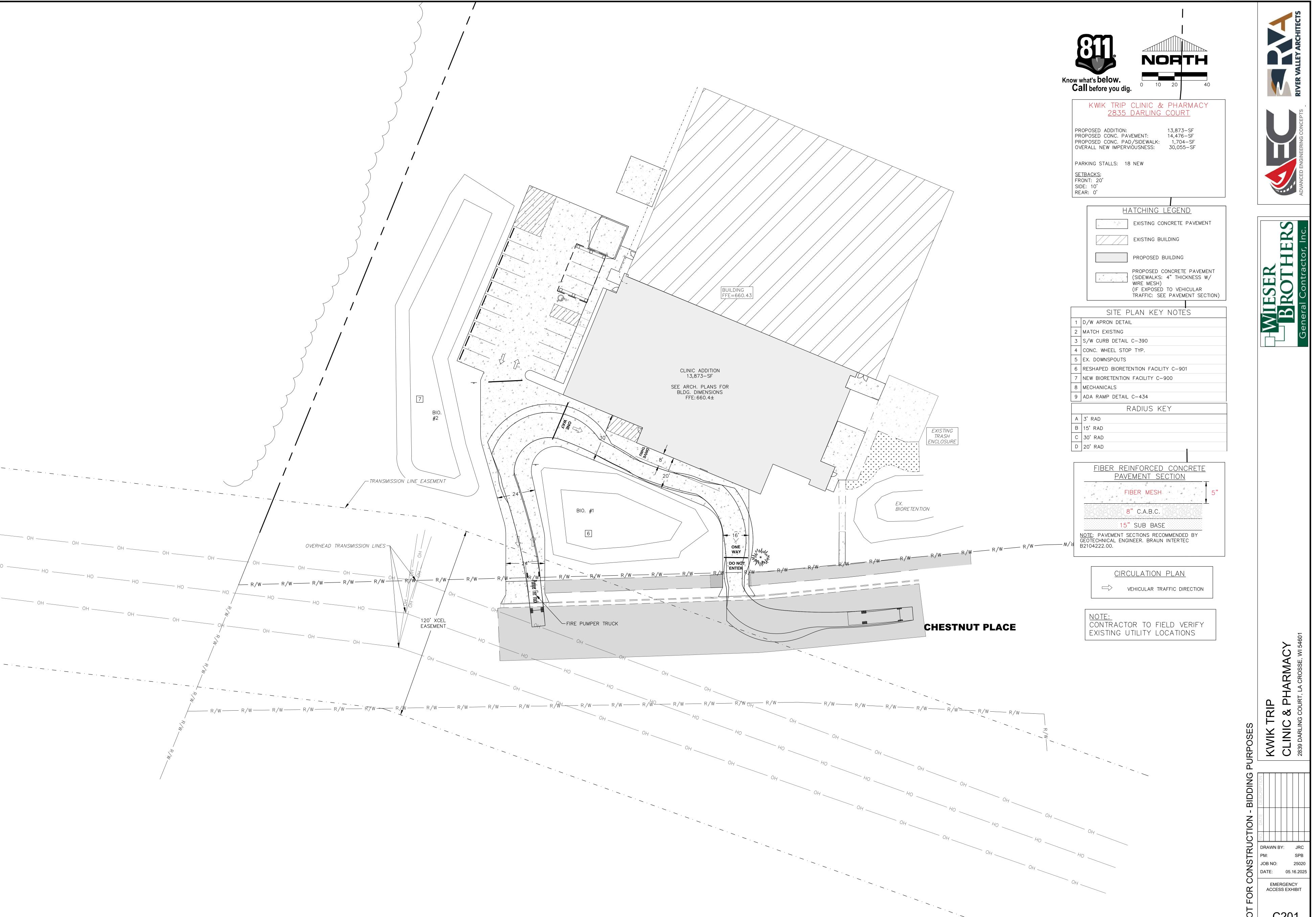


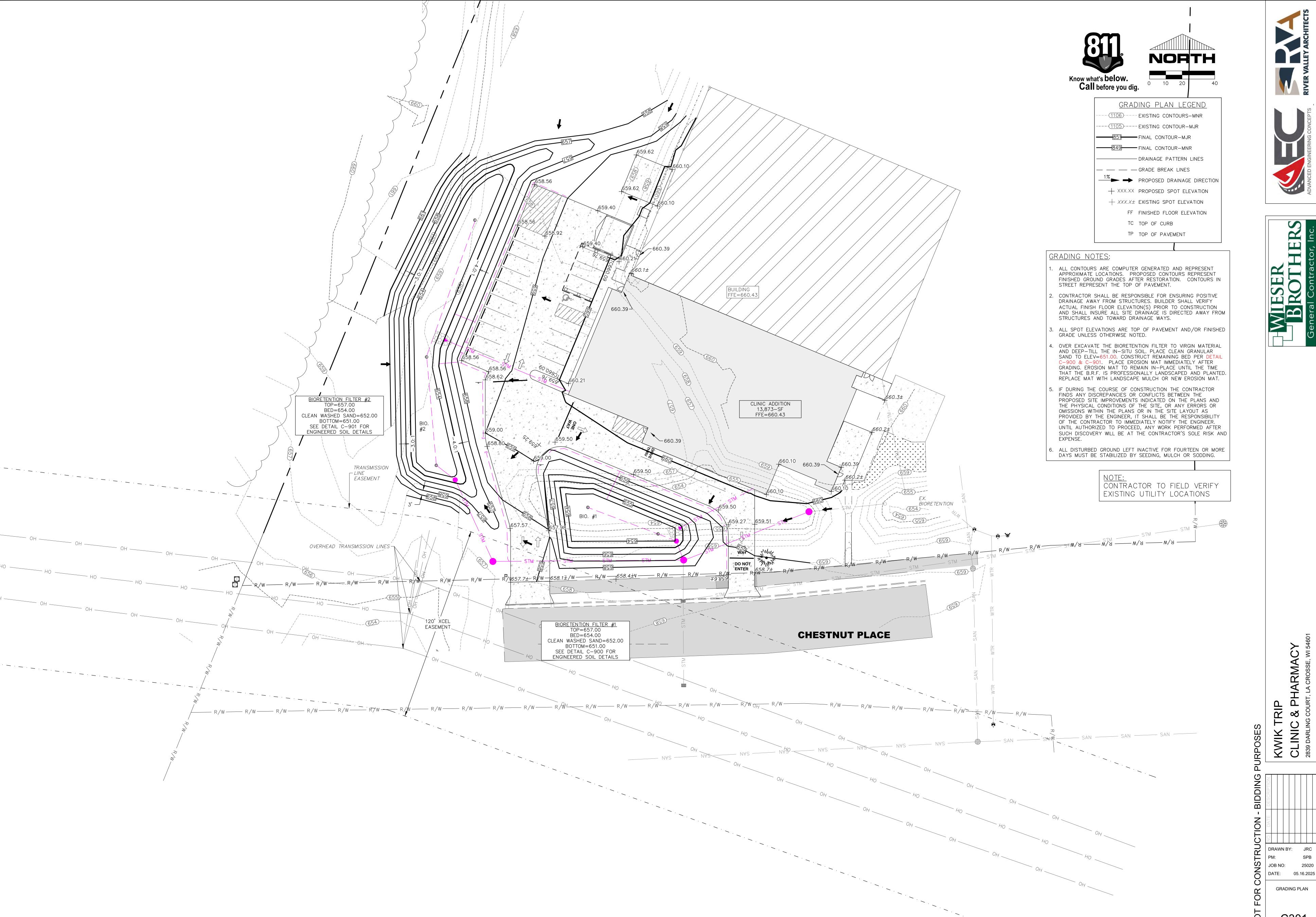
KWIK CLINIC

EXISTING CONDITION AND DEMOLITION PLAN

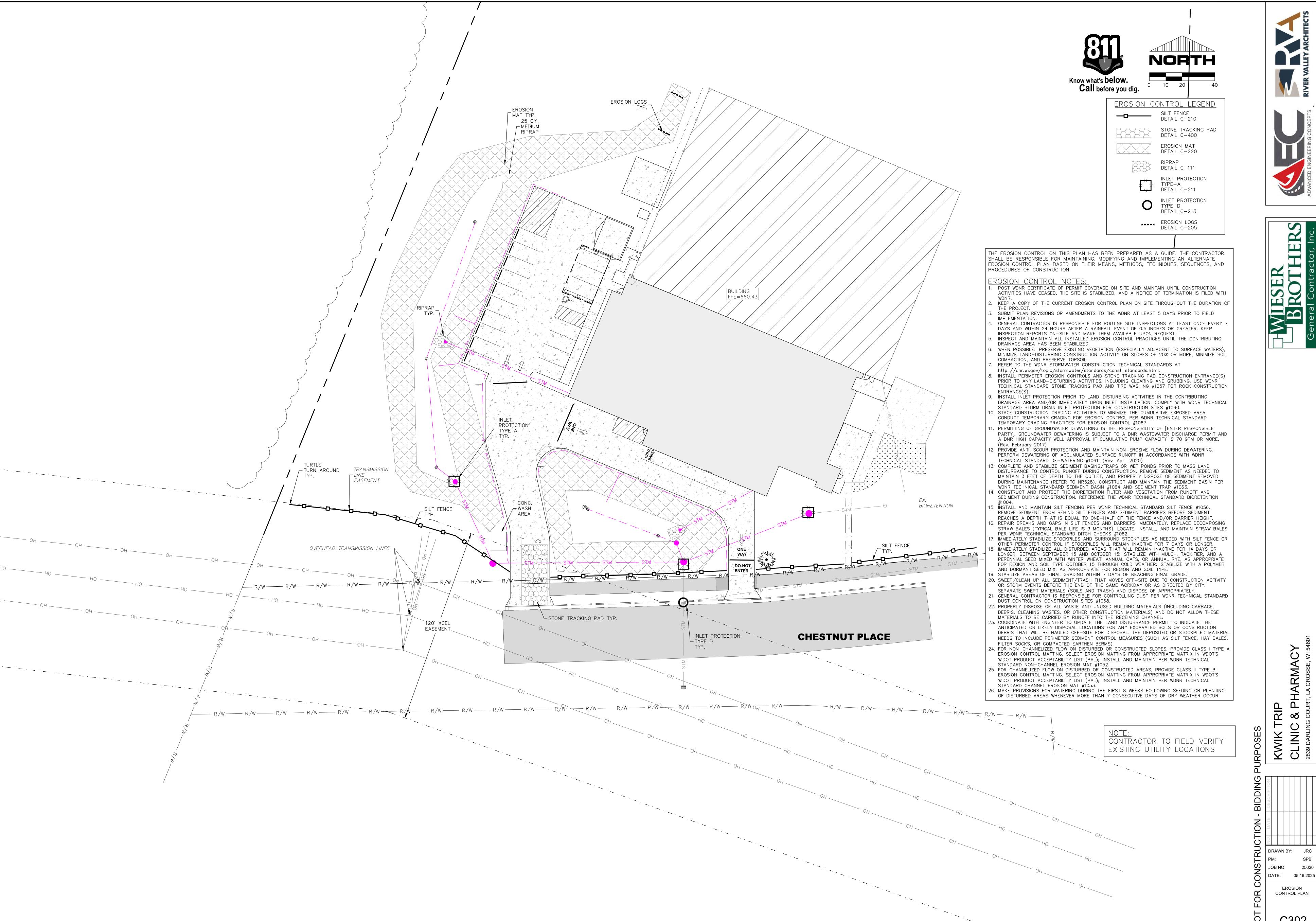


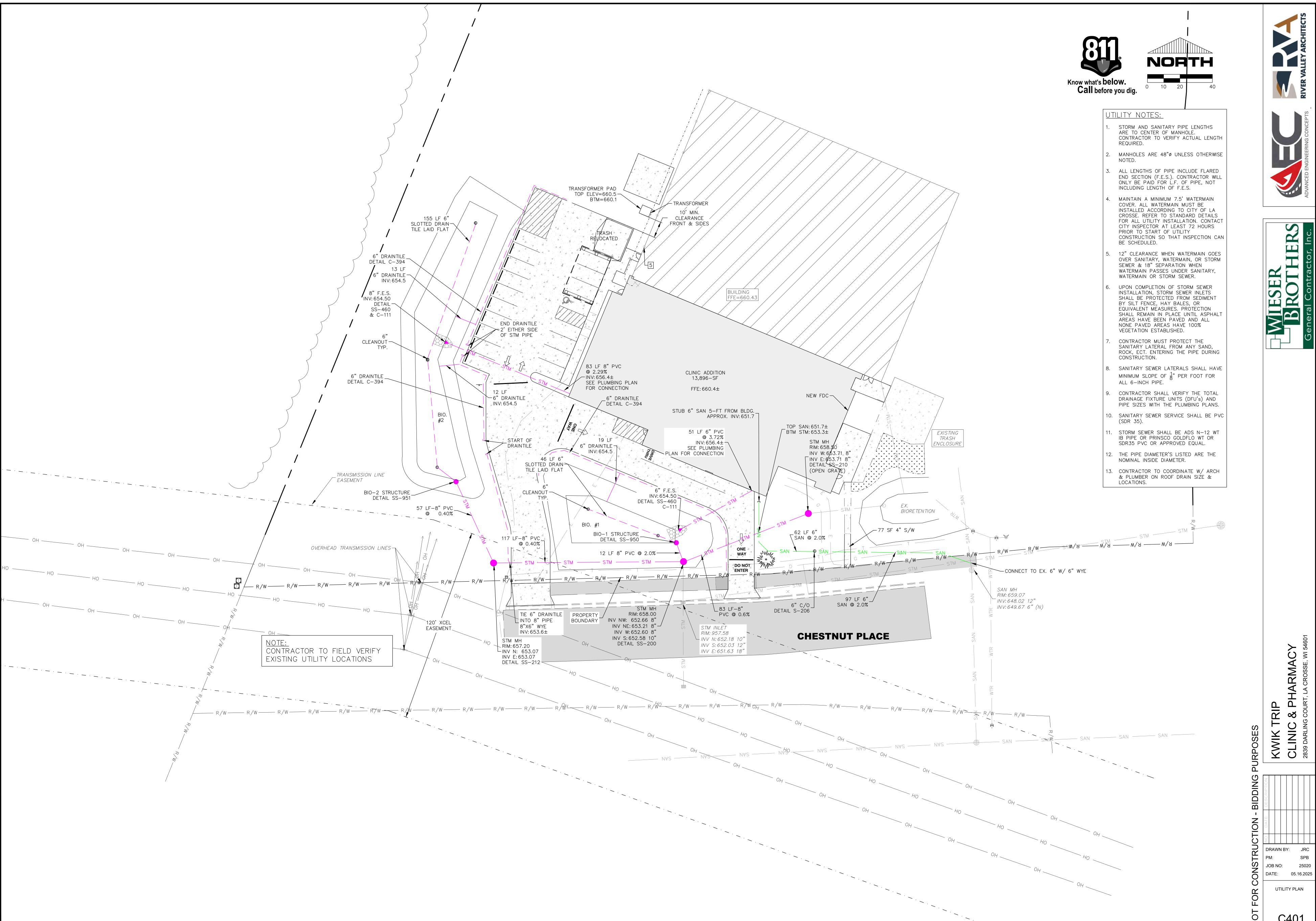




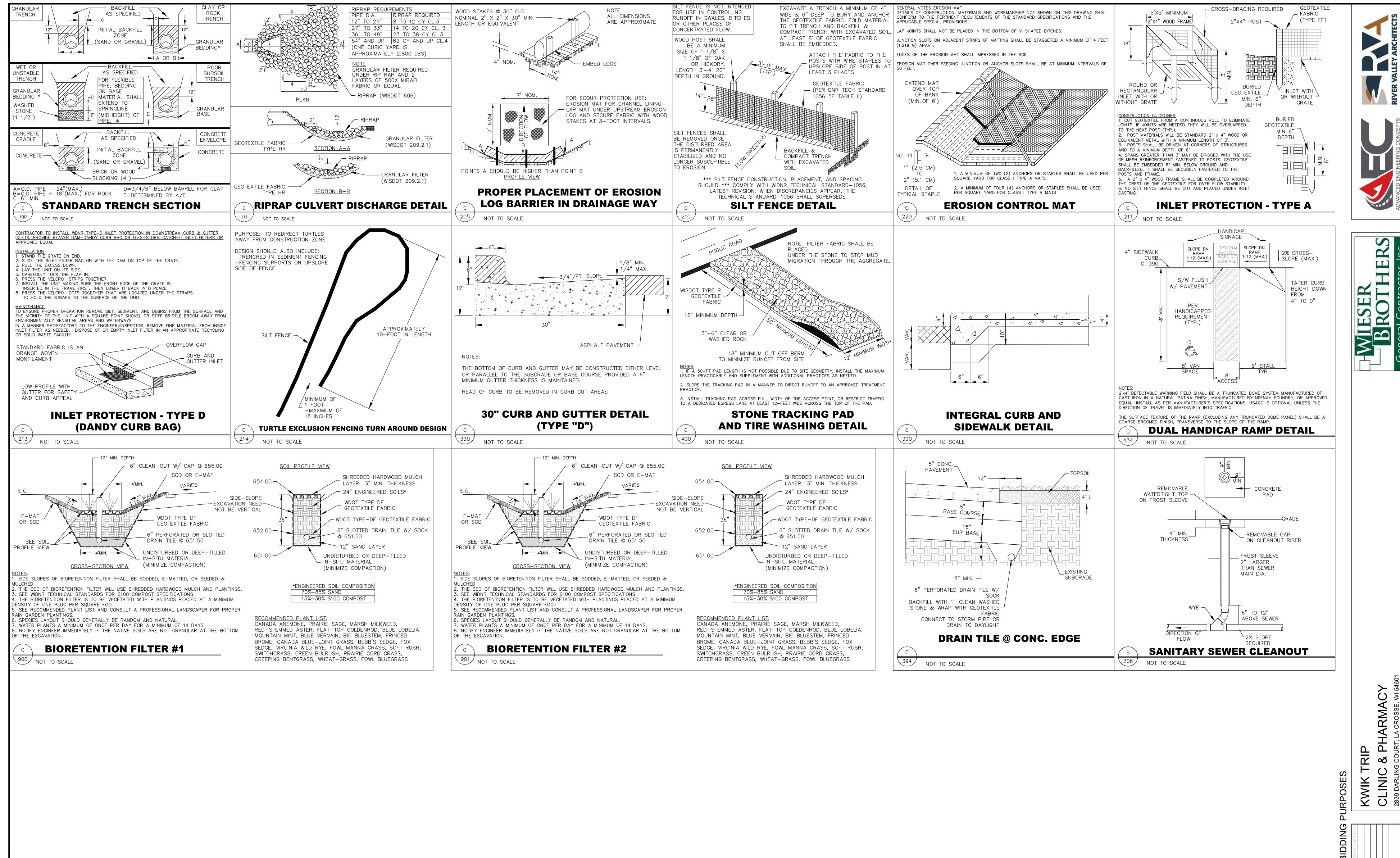


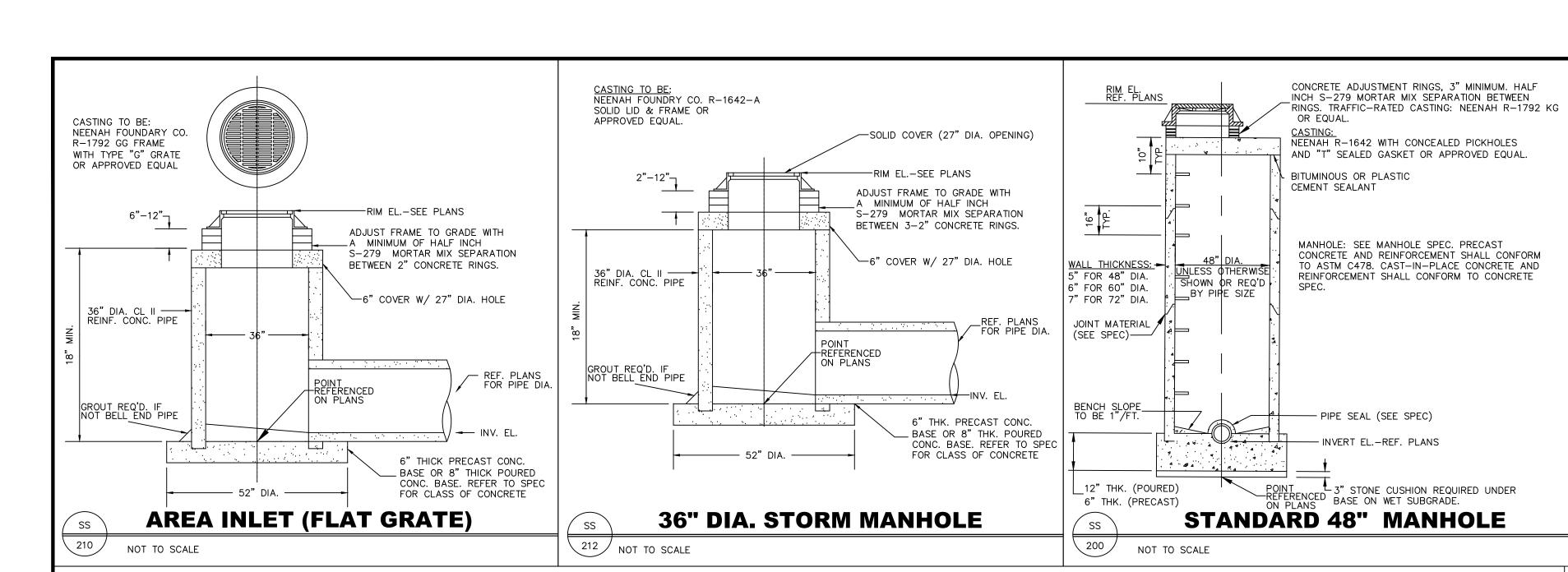


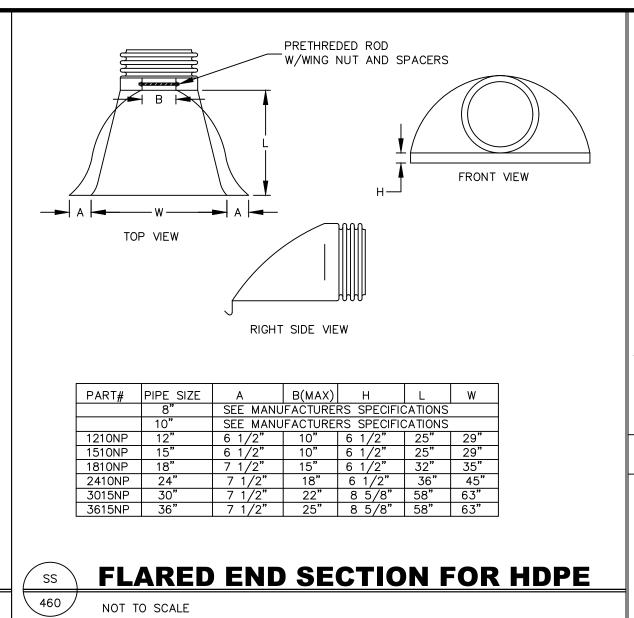


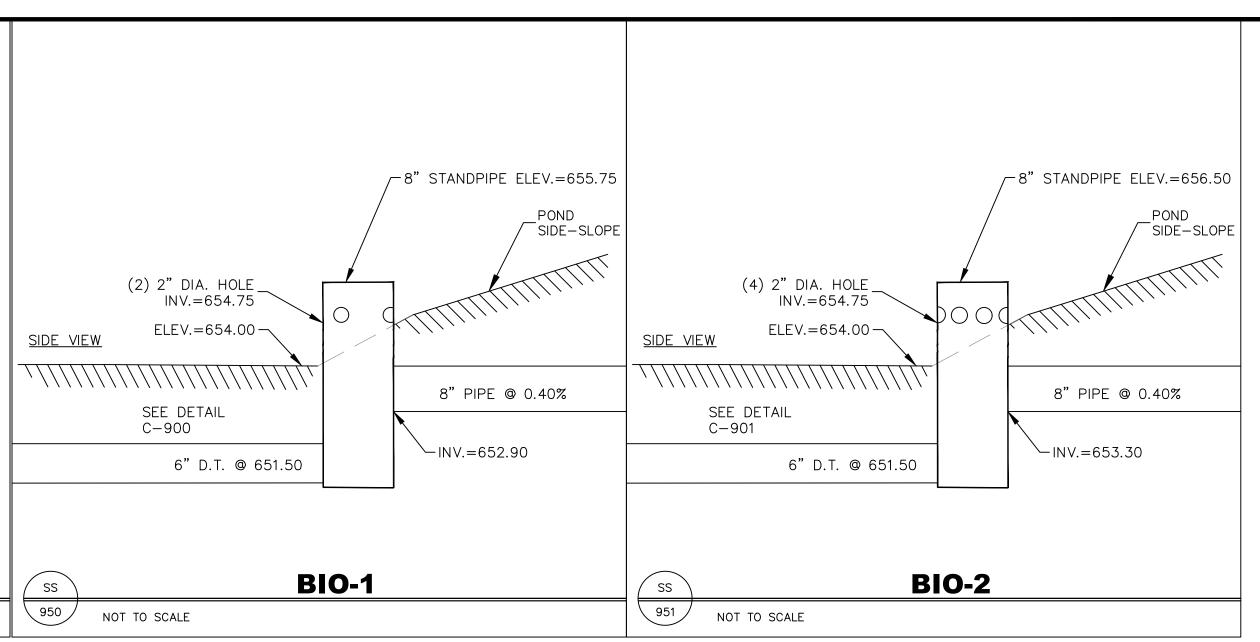




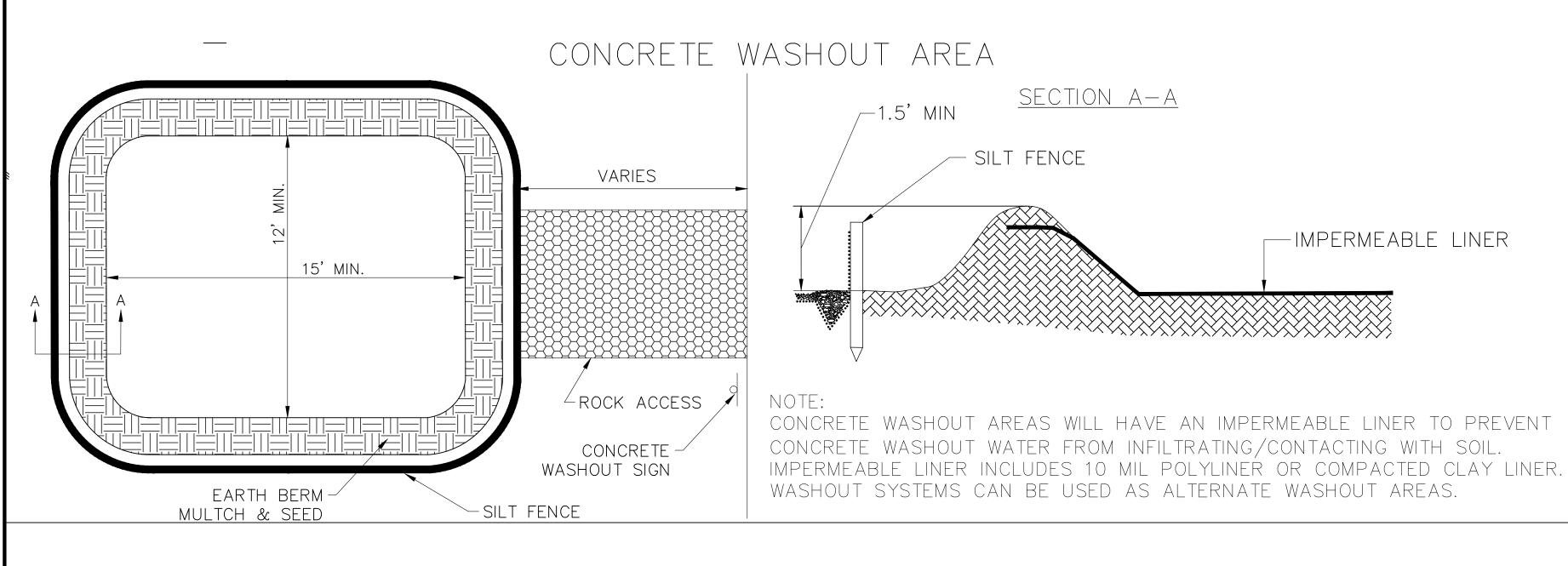














KWIK TRIP

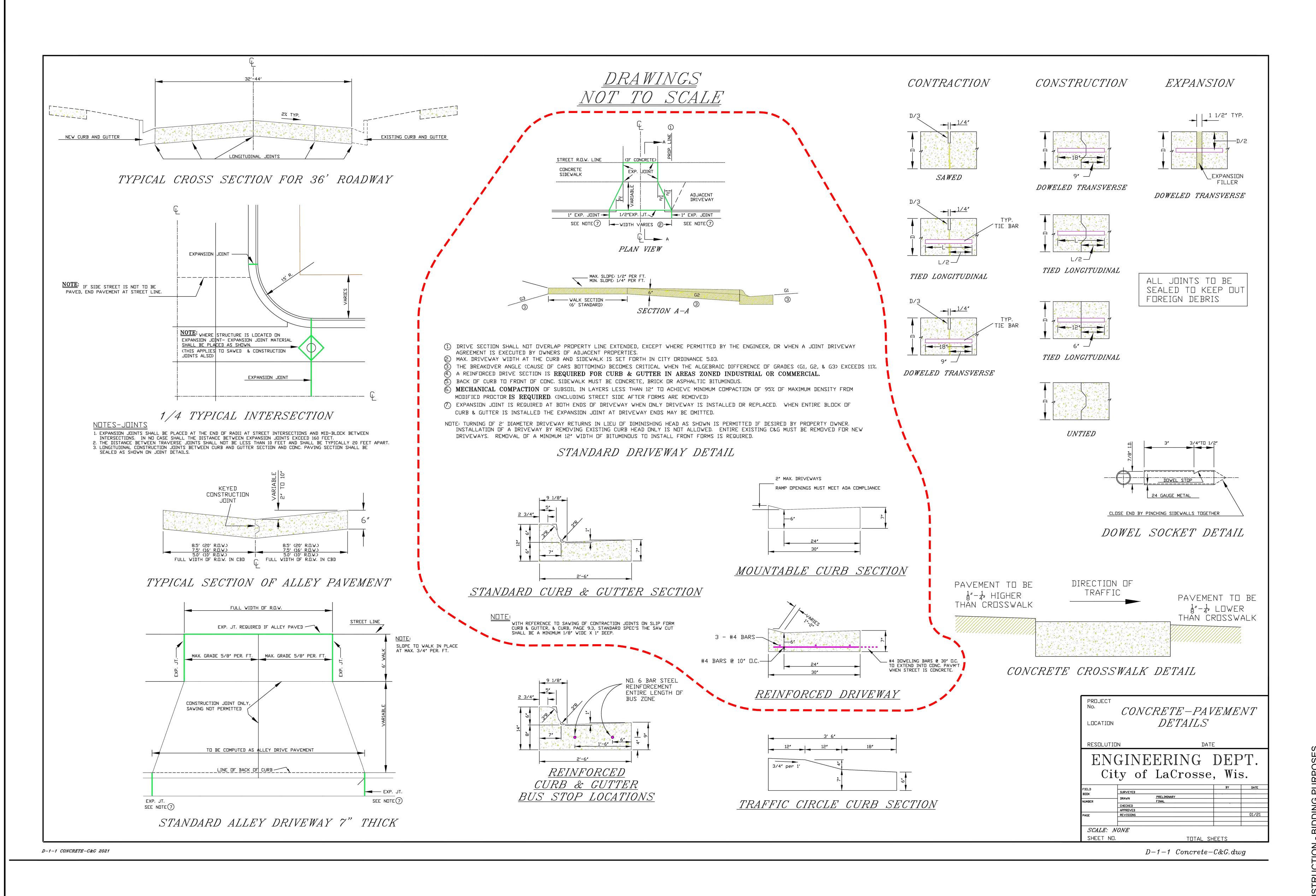
CLINIC & PHARMACY

2839 DARLING COURT, LA CROSSE, WI 5460

DRAWN BY:
PM:
JOB NO:
DATE: 05.

DETAILS

C502



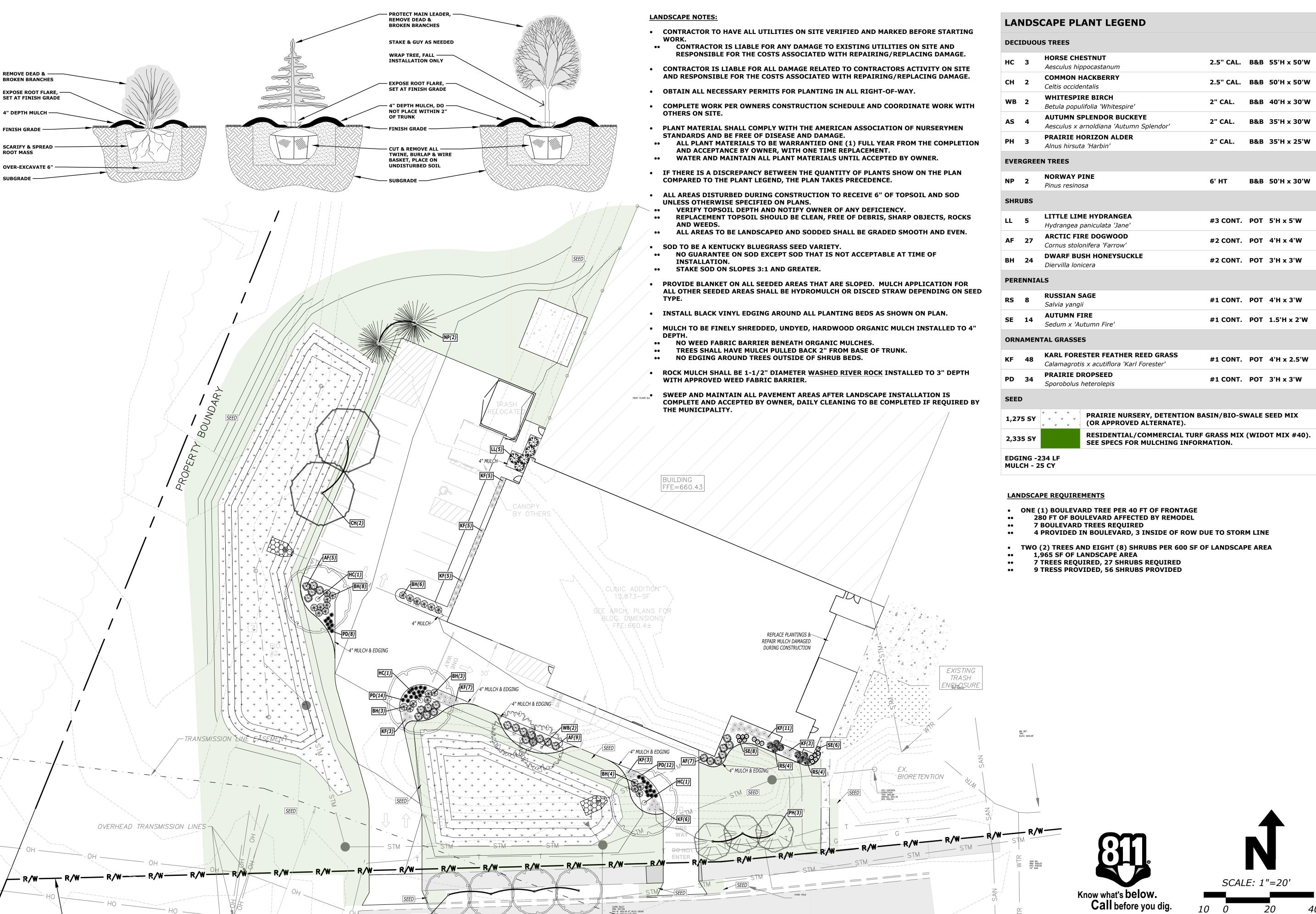


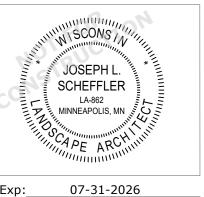


PHARMAC) R P

KWIK T
CLINIC

C503





PROJECT MANAGER

LOUIE DRAWN BY

PROJECT NAME

KWIK TRIP **CLINIC AND PHARMACY**

2839 DARLING CT LACROSSE, WI

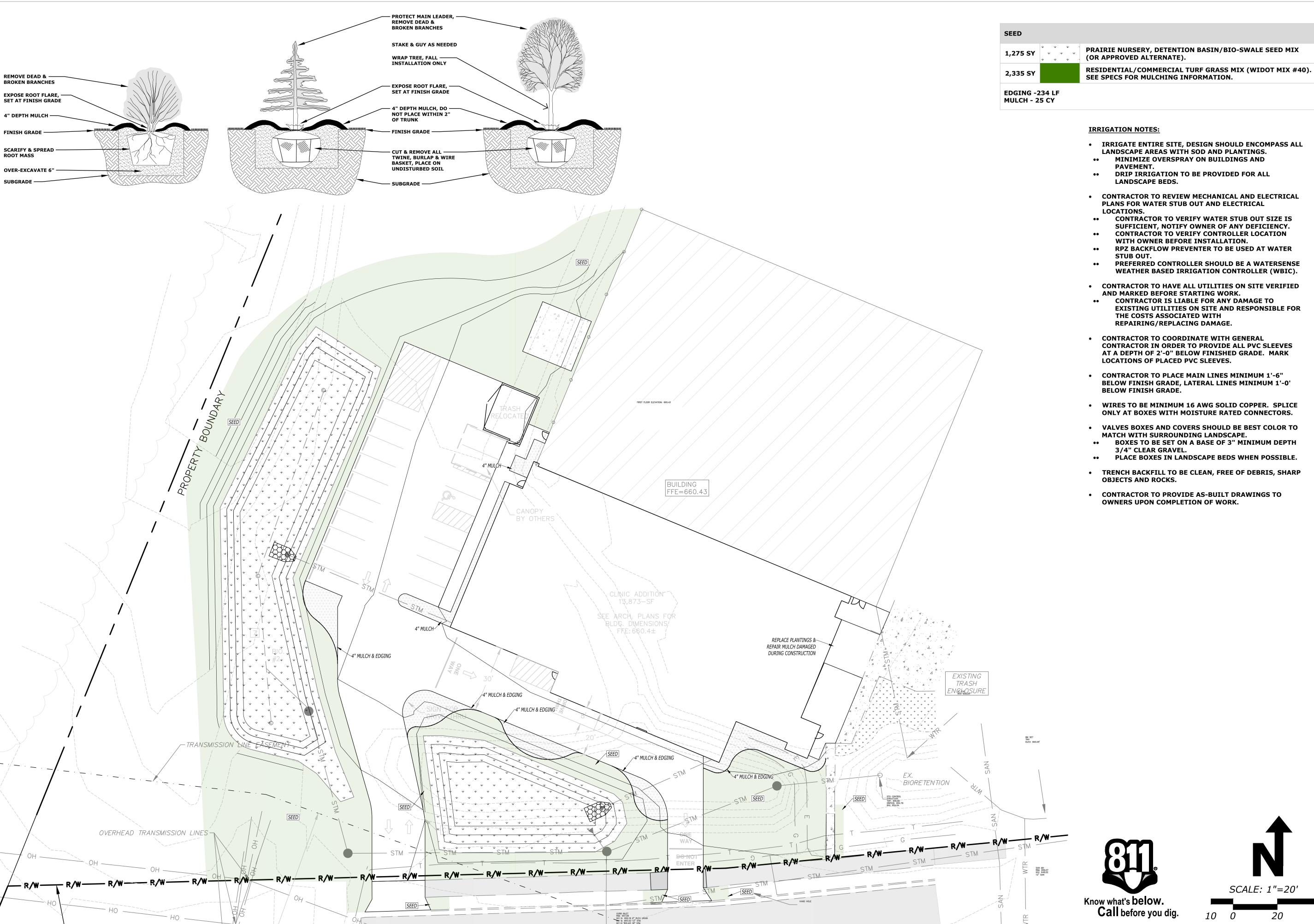
ISSUE LOG

05-19-2025 REVIEW

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER



- IRRIGATE ENTIRE SITE, DESIGN SHOULD ENCOMPASS ALL

- CONTRACTOR TO REVIEW MECHANICAL AND ELECTRICAL PLANS FOR WATER STUB OUT AND ELECTRICAL
- •• CONTRACTOR TO VERIFY WATER STUB OUT SIZE IS SUFFICIENT, NOTIFY OWNER OF ANY DEFICIENCY.
- CONTRACTOR TO VERIFY CONTROLLER LOCATION
- PREFERRED CONTROLLER SHOULD BE A WATERSENSE WEATHER BASED IRRIGATION CONTROLLER (WBIC).
- CONTRACTOR TO HAVE ALL UTILITIES ON SITE VERIFIED
- **EXISTING UTILITIES ON SITE AND RESPONSIBLE FOR**
- CONTRACTOR IN ORDER TO PROVIDE ALL PVC SLEEVES AT A DEPTH OF 2'-0" BELOW FINISHED GRADE. MARK
- BELOW FINISH GRADE, LATERAL LINES MINIMUM 1'-0'
- ONLY AT BOXES WITH MOISTURE RATED CONNECTORS.

- PLACE BOXES IN LANDSCAPE BEDS WHEN POSSIBLE.
- TRENCH BACKFILL TO BE CLEAN, FREE OF DEBRIS, SHARP
- CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS TO

JOSEPH L SCHEFFLER MINNEAPOLIS, MN 🗐

07-31-2026

PROJECT MANAGER

LOUIE

DRAWN BY

PROJECT NAME

KWIK TRIP **CLINIC AND PHARMACY**

2839 DARLING CT LACROSSE, WI

ISSUE LOG

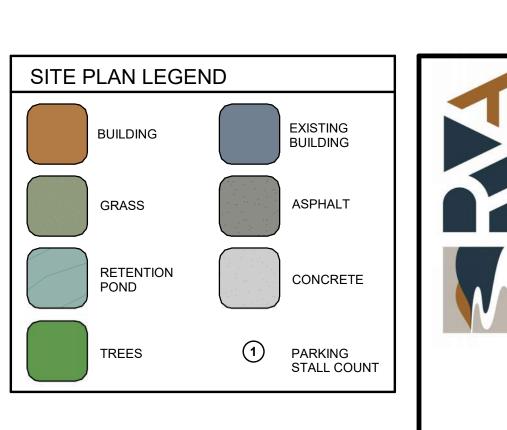
05-19-2025 REVIEW

SHEET TITLE

GROUND COVER PLAN

SHEET NUMBER



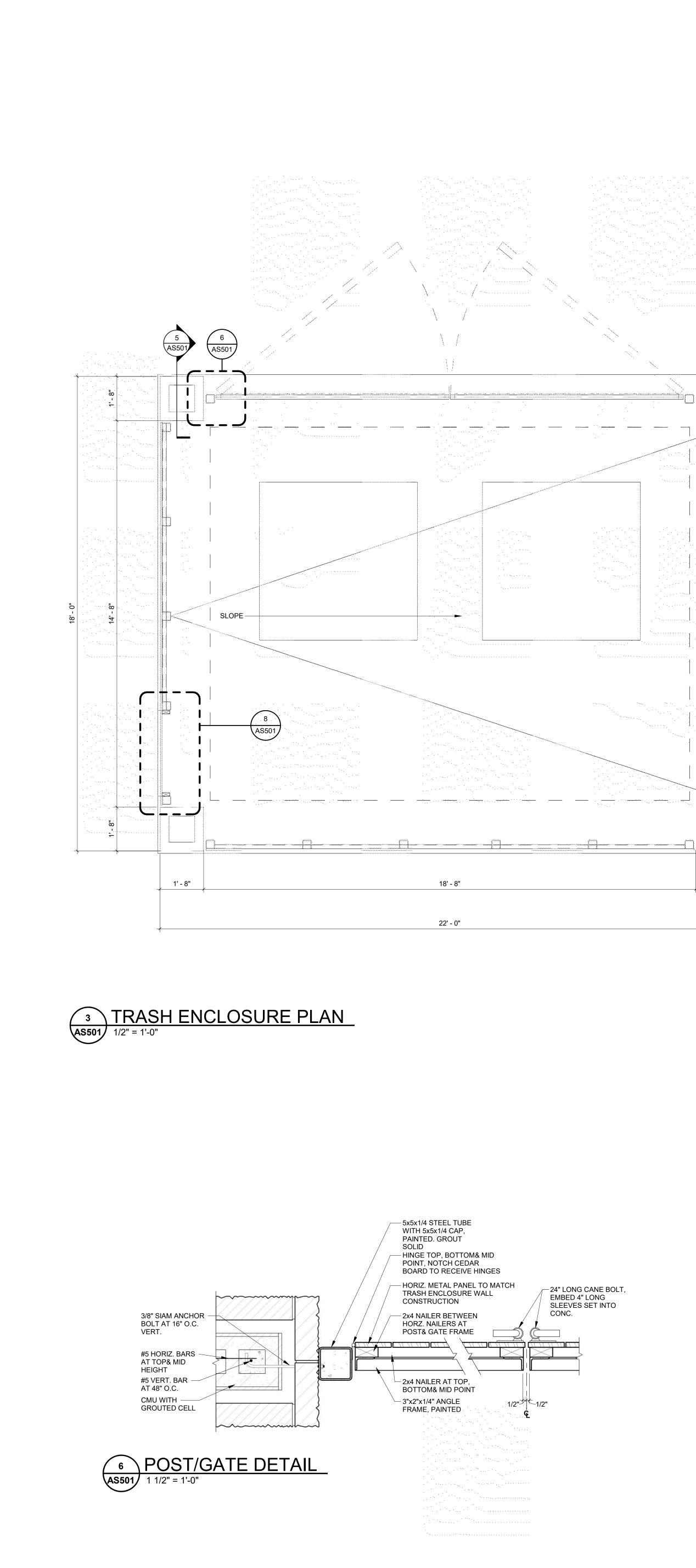


KEY NOTES

- 1 ADA PARKING SIGN. REFER TO DETAIL 1/AS501 2 ADA DETECTABLE WARNING. REF TO DETAIL 2/AS501
- 3 MONUMENT SIGN. DESIGN TBD. GC TO ALLOCATE CONSTRUCTION BUDGET FOR MASONRY MONUMENT SIGN SUPPORTED BY CONCRETE FOUNDATION SYSTEM WITH POWER SUPPLIED FROM MAIN BUILDING.

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UII Y DESIGN K	DESCRIPTION								
I ION -	NO. DATE I								
CONSTRUCTION	D Pl J(M:	NC	N B		05.2		K: -02	9
として	ARCHITECTURAL SITE PLAN								Έ





SLOPE -

18' - 8"

22' - 0"

— 5x5x1/4 STEEL TUBE WITH 5x5x1/4 CAP,

— HINGE TOP, BOTTOM& MID POINT, NOTCH CEDAR

BOARD TO RECEIVE HINGES

— HORIZ. METAL PANEL TO MATCH TRASH ENCLOSURE WALL

- 24" LONG CANE BOLT, EMBED 4" LONG

SLEEVES SET INTO

CONC.

PAINTED. GROUT

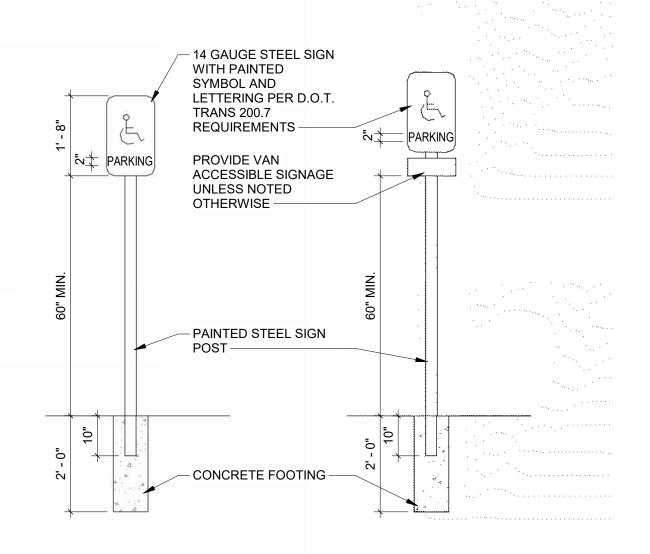
CONSTRUCTION

— 2x4 NAILER BETWEEN HORZ. NAILERS AT POST& GATE FRAME

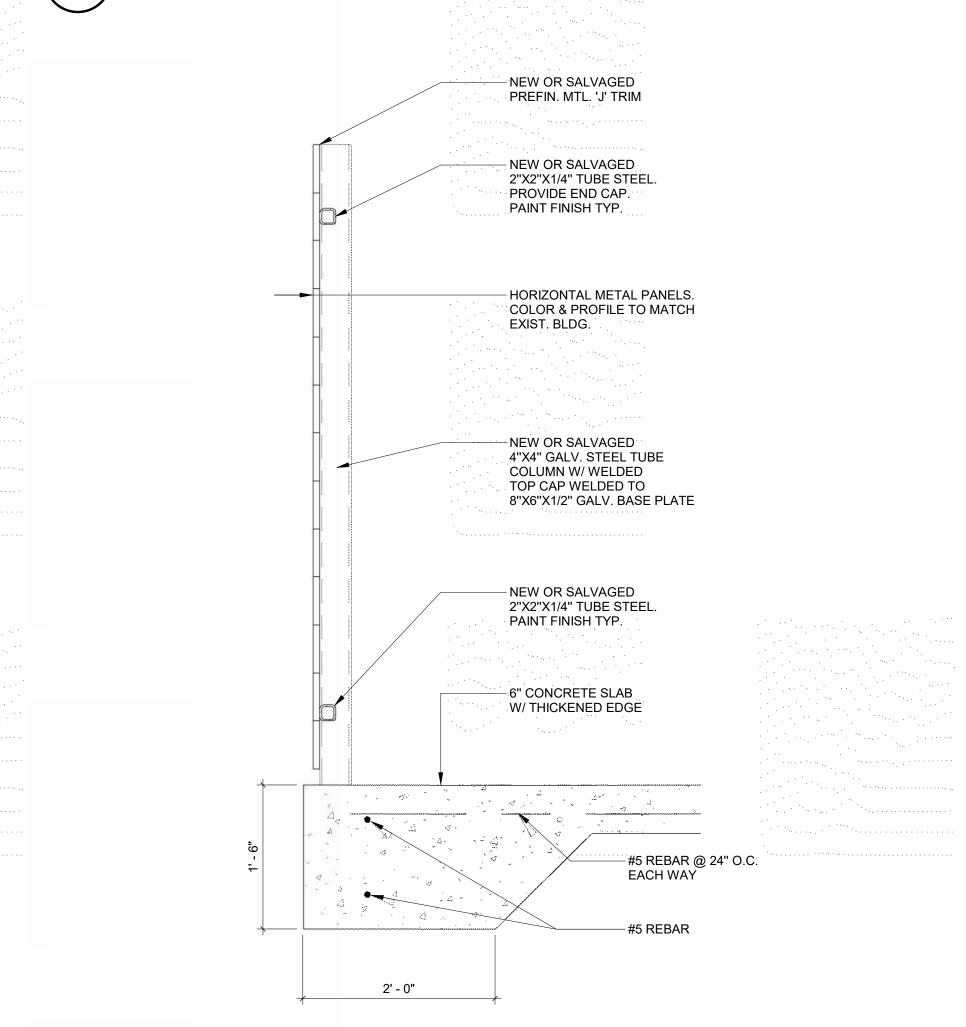
— 2x4 NAILER AT TOP, BOTTOM& MID POINT

3"x2"x1/4" ANGLE FRAME, PAINTED

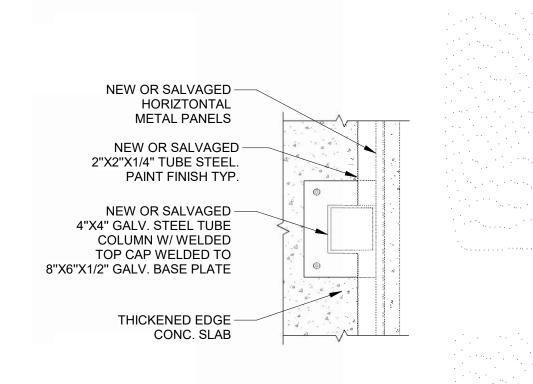
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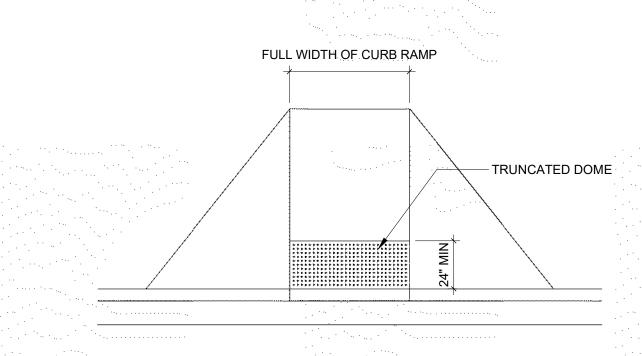






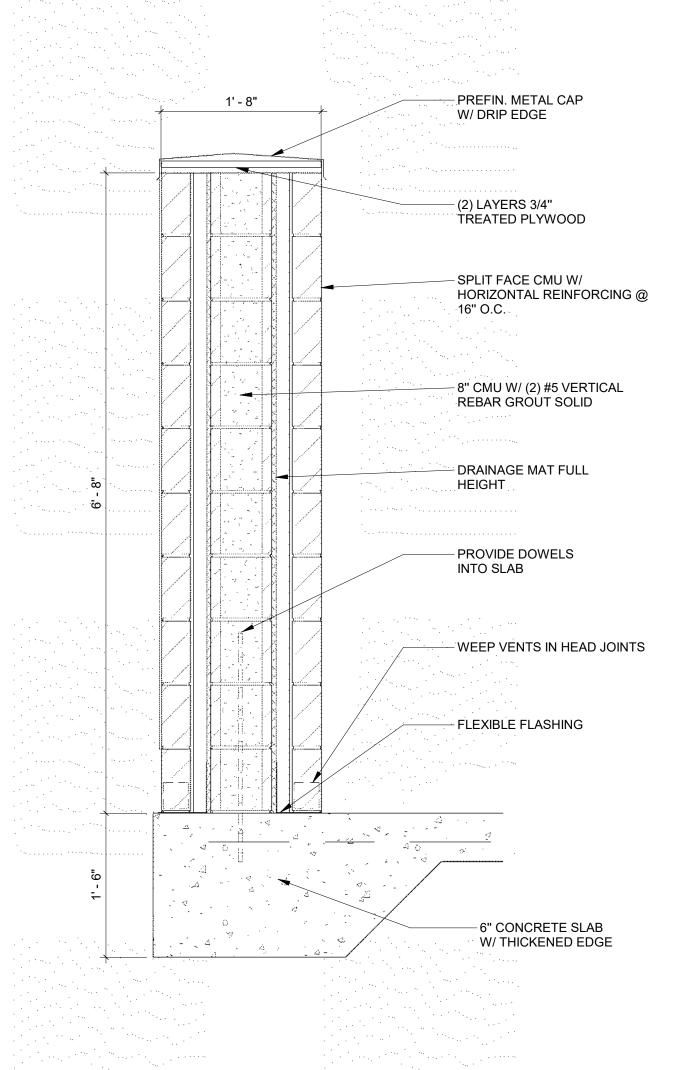


7 TYP.TUBE STEEL COLUMN DETAIL AS501 1 1/2" = 1'-0"

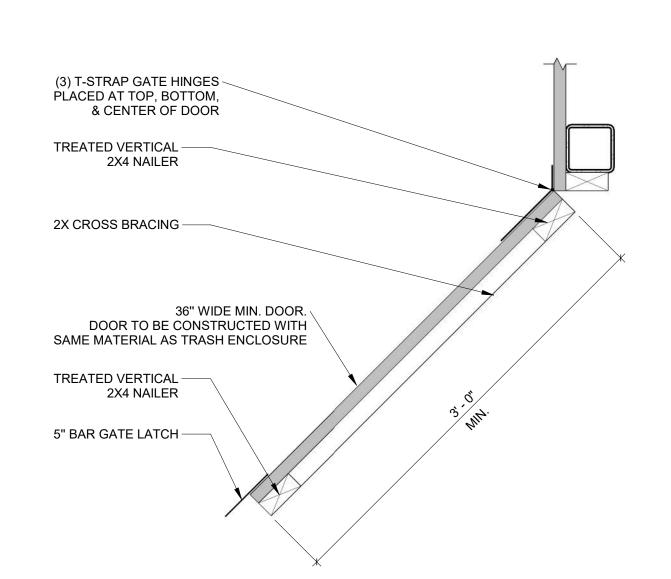


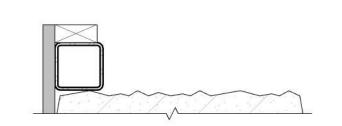
DETECTABLE WARNINGS - PERPENDICULAR

AS501 1/4" = 1'-0"

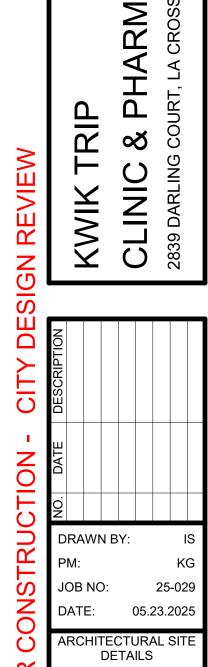


5 TRASH ENCLOSURE COLUMN DETAIL

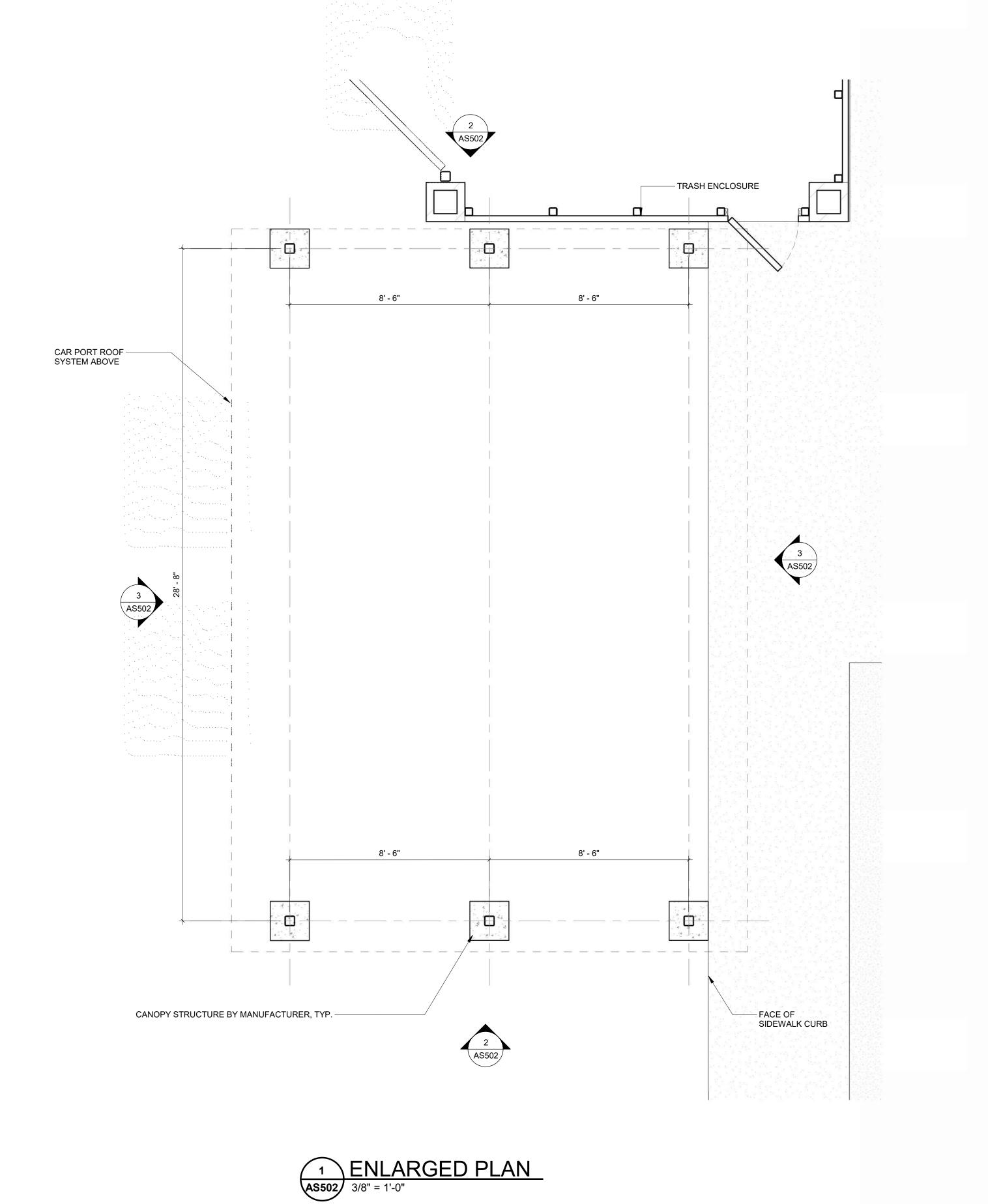


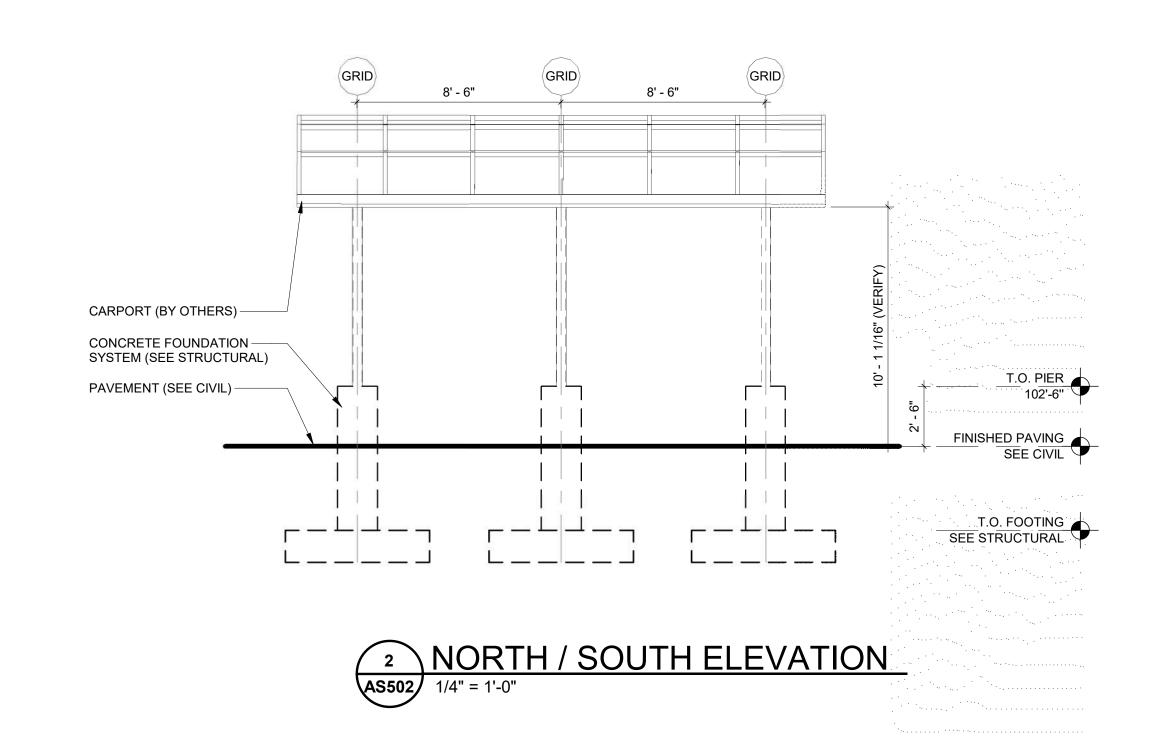


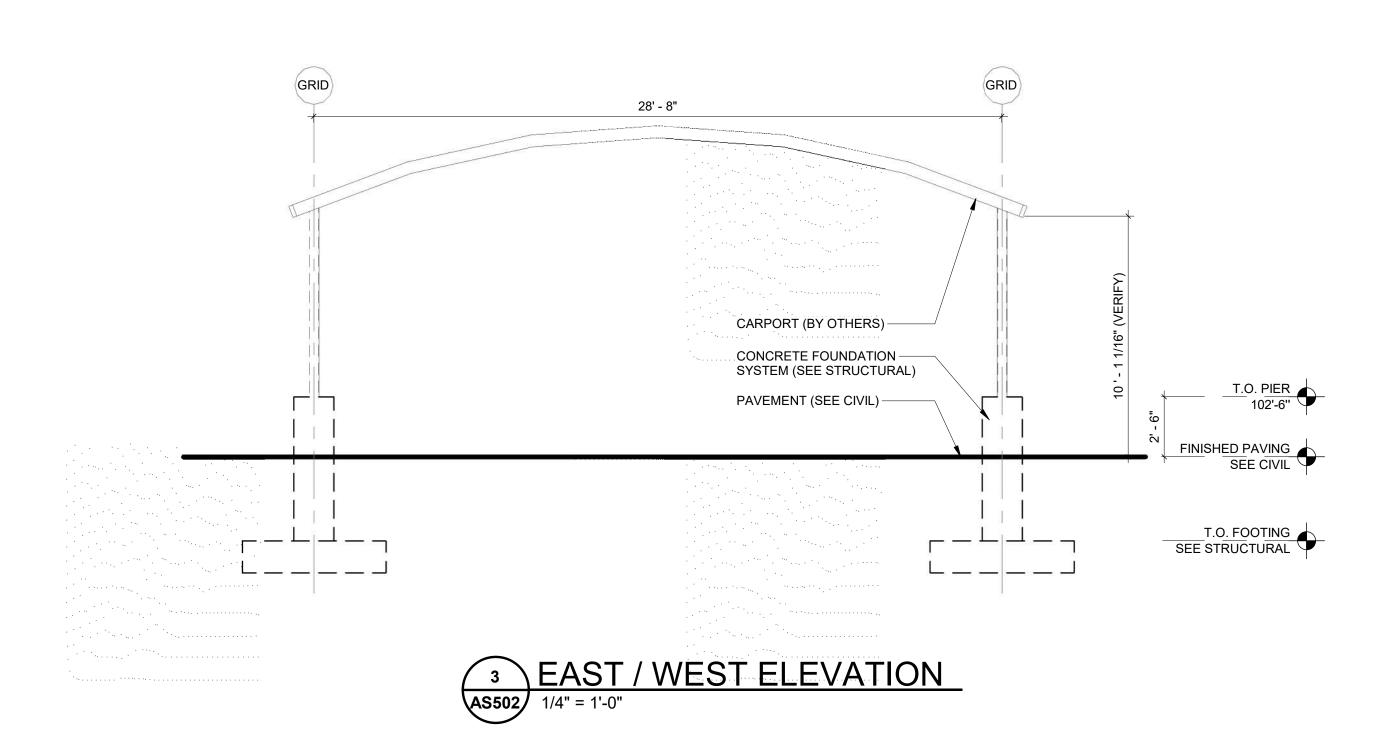




AS501





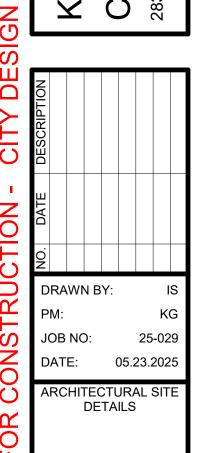




KWIK TRIP

CLINIC & PHARMACY

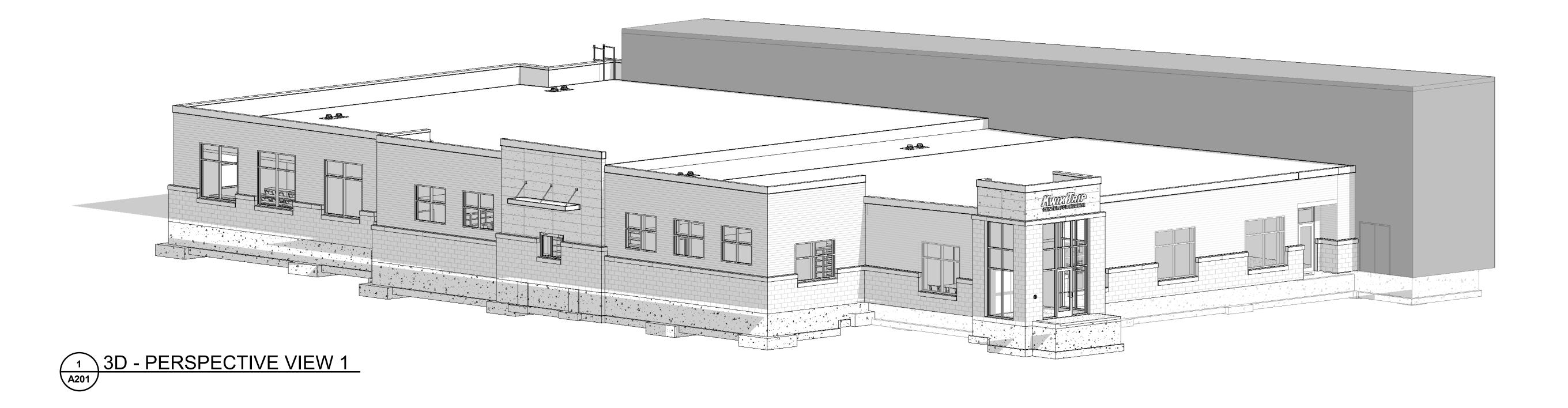
2839 DARLING COURT, LA CROSSE, WI 5460

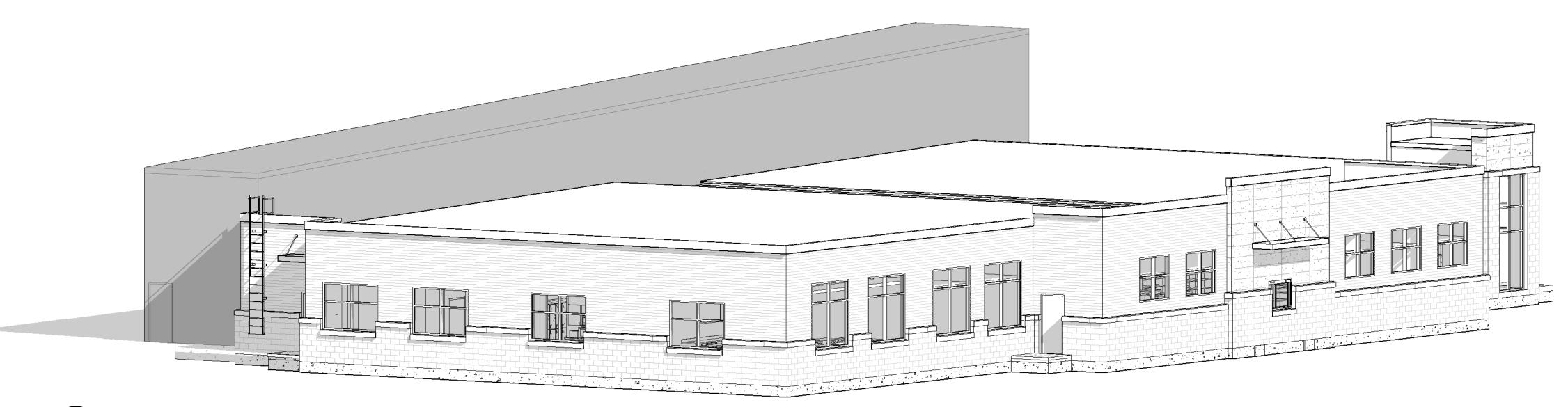


A. GENERAL NOTES ON THIS SHEET ARE APPLICABLE TO THIS SHEET ONLY.
B. 3D VIEWS ARE FOR INFORMATION ONLY AND ARE NOT PART OF THE CONTRACT DOCUMENTS. THEY DO NOT INDICATE ALL DETAILS, CHANGES IN MATERIAL, AND JOINTS.









² 3D - PERSPECTIVE VIEW 2

CITY DESIGN REVIEW

DESCRIPTION

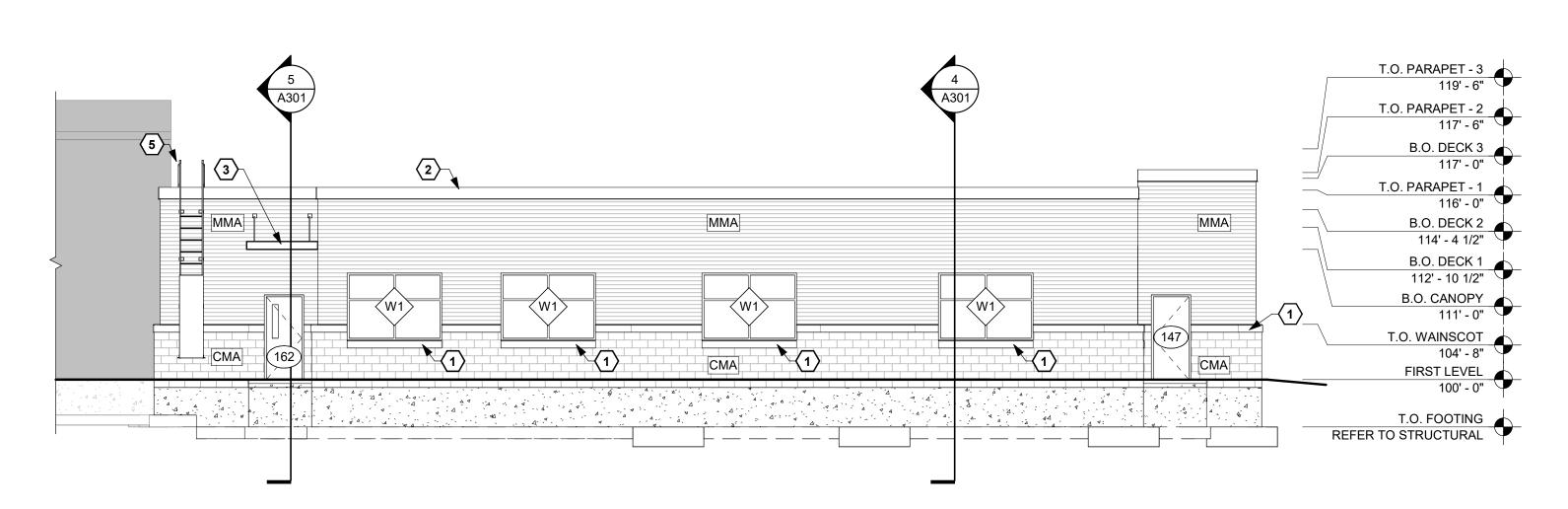
KWIK TRIP

CLINIC & PHARMAC

2839 DARLING COURT LA CROSSE WI

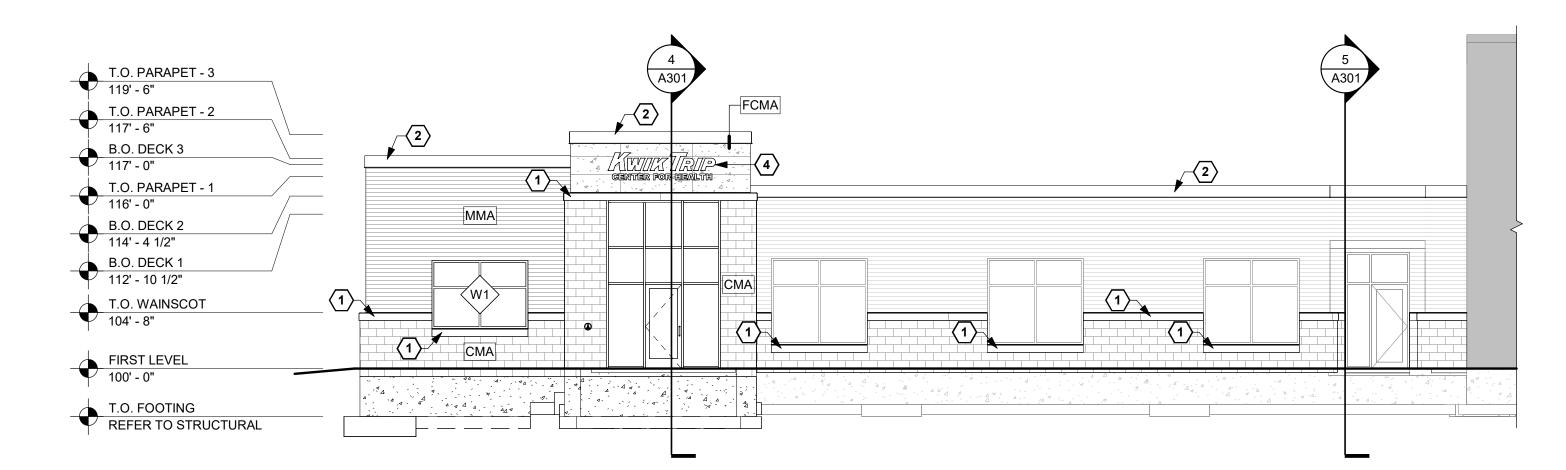
DRAWN BY: AD
PM: KG
JOB NO: 25-029
DATE: 05.23.2025

EXTERIOR
PERSPECTIVE VIEWS

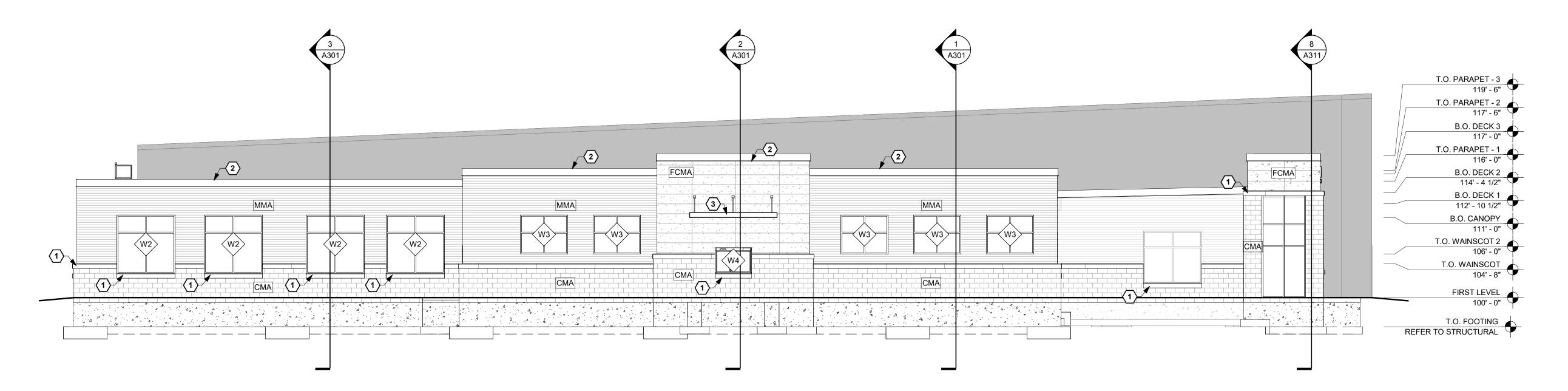


NORTHWEST ELEVATION

1/8" = 1'-0"



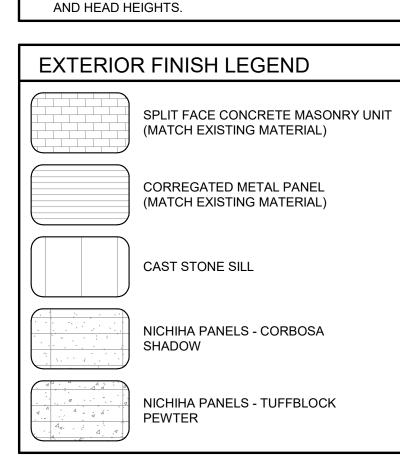






WINDOW SF: 600 TOTAL SF: 2950 20% OF WALL FACE ARE WINDOWS A. GENERAL NOTES ON THIS SHEET ARE APPLICABLE TO THIS SHEET ONLY.

B. SEE SHEET AE601 FOR DOOR AND WINDOW SIZES AND HEAD HEIGHTS.



KEY NOTES

- 1 CAST STONE CAP/SILL
- 2 PREFINISHED METAL COPING.3 PREFINISHED METAL AWNING4 SIGNAGE, BY OTHERS.
- 5 WALL MOUNTED ROOF ACCESS LADDER WITH SAFETY GATE

HWIESER BROTHERS General Contractor, Inc.

KWIK TRIP
CLINIC & PHARMACY
2839 DARLING COURT, LA CROSSE, WI 54601

DRAWN BY PM:
JOB NO:
DATE:
EXTI

Δ202





WIESER
BROTTHERS
General Contractor, Inc.

DATE DESCRIPTION

KWIK TRIP

CLINIC & PHARMA



Department of Planning and Development 400 La Crosse St, La Crosse, WI 54601 | P: (608) 789-7512

Memorandum

To: **DESIGN REVIEW COMMITTEE**

KEVIN GUNDERSON, RIVER VALLEY ARCHITECTS

From: TIM ACKLIN, PLANNING AND DEVELOPMENT DEPARTMENT

Date: May 16, 2025

Re: DESIGN REVIEW PROJECT

KWIK TRIP CLINIC ADDITION-2835-2841 DARLING CT

Design Review Committee Members:

Linnea Miller, Police Department

Tim Acklin, Planning & Development Department

Matt Gallager, Engineering Department

Yuri Nasonovs, Engineering Department

Andy Berzinski, Building & Inspections Department

Jason Riley, Building & Inspections Department

Bee Xiong, Fire Department-Community Risk Management

Brian Asp, Utilities Department

Leah Miller, Parks, Recreation, and Forestry Department

Jamie Hassemer, Engineering Department

Stephanie Sward, Engineering Department

Cullen Haldeman, Engineering Department

On May 9, 2025, plans were submitted to the Design Review Committee for review of the project located at 2835-2841 Darling Ct. (Kwik Trip Clinic). The following comments/feedback have been provided.

All revised plans in accordance with this memo must be submitted to the Planning and Development Department for review, unless otherwise stated. No permits will be issued for this project by the Division of Fire Prevention and Building Safety until they receive written confirmation/approval from the Planning and Development Department.

Requirements Prior to Issuance of a Demolition or Footing & Foundation Permit

- 1) Approval of a Certified Survey Map. (If applicable)
- 2) Combination of parcels for project site. (If applicable)
- 3) Approval of Final Plans from the Engineering Department.
- 4) Approval of Final Plans from the Utility/Water Department.
- 5) Approval of Final Plans from the Division of Fire Prevention and Building Safety (Inspections)

Requirements Prior to Issuance of a Building Permit

1) Approval of Final Plans from the Planning and Development Department.

Requirements Prior to Issuance of an Occupancy Permit

- 1) A Letter of Credit in the estimated cost amount of the proposed landscaping has been submitted to the Planning and Development Department to guarantee the proper installation and growth of all landscape improvements proposed in the approved Landscape Plan <u>OR</u> all proposed landscaping in the approved Landscape Plan has been installed.
- 2) A stamped letter of substantial completion from the design engineer of the project within 10 days of completion.
- 3) Field review and approval of the completed stormwater management facility by the City's Utilities Department.

<u>Engineering Department (Traffic)</u> - (Contact-Matt Gallager-789-7392, Stephanie Sward-789-8171, Jamie Hassemer- 789-8182, Cullen Haldeman- 789-8185)

- 1) Include street names on final plans. (Stephanie Sward)
- 2) New driveways and curbs must meet city specifications. Includes any removal. (Stephanie Sward)
- 3) Proposed drive thru opening is 16f can be reduced to 132ft. (Stephanie Sward)
 - Applicant stated that they prefer 16ft to make sure there is room for emergency vehicles.
 - If the model shows that 12ft works that is preferred. (Stephanie Sward)
- 4) One parking stall is labeled as 8ft. City requirement is 8.5 ft.
 - Applicant stated that 8ft meets the ADA width
 - Should meet city requirement of 8.5ft. (Stephanie Sward)
- 5) Photometric Plan looks good- Submit cutsheets of fixtures. (Jamie Hassemer)

Building and Inspections Department

(Contact-Andy Berzinski- 789-7562, Jason Riley- 789-7585)

- 1) Require State approved Building and HVAC plans.
- 2) Submit a separate permit for any proposed signs.
- 3) Stormwater Permit must be approved and issued prior to any building permits being issued.
- 4) Will need State plan approval for storm infiltration. (Jason Riley)
- 5) If there are more than 16 fixtures (interior and exterior) State plan approval is required for the Plumbing plans. (Jason Riley)
- 6) If licensed as a clinic then they may need to meet additional DHS standards. (Jason Riley)

7) If any new water connections are required must pay connection fees with the Utility Department prior to building permits being issued.

Police Department- Linnea Miller-789-7205

1) No concerns at this time.

Planning Department-(Contact-Tim Acklin-789-7391)

- 1) Must provide a Landscaping Plan for the final design review meeting. Meet parking lot landscaping requirements.
- 2) Provide parking lot dimensions on site plan. (Parking spaces, drive aisles, landscaped buffers)
- 3) Show percent windows calculations on facades facing the public streets.

Utilities Department- (Brian Asp-789-3897)

1) New sanitary sewer must installed with a Y into the existing manhole.

Engineering Department (Stormwater) - (Contact-Yuri Nasonovs-789-7594)

- 1) Will need to submit an application for a Stormwater Permit and include fee. Application on City website
- 2) Provide a draft maintenance agreement for review.
- 3) Submit plans and models for review in accordance with Chapter 105.

<u>Fire Department-</u> (Contact- Bee Xiong 789-7260)

- 1) Fire Alarm Plans (electronic) with Permit Application and Fees submitted to the state and local FD. (Will need copy of state approved plans).
- 2) Sprinkler System Plans (electronic) Permit Application and Fees submitted to the state and local FD. (Will need copy of state approved plans).
- 3) Where are they relocating the current FDC and horn/strobe (Fire Department Connection) for the sprinkler system. It is currently located on the SW corner of the building where the new addition will be going. It will need to be operable for the rest of the building before they start construction.
- 4) FDC needs to be within 100' of the nearest hydrant.



Parks, Recreation, and Forestry- (Contact-Leah Miller, 789-8672, Dan Trussoni 789-4915)

1) No concerns at this time

KWIK TRIP CLINIC & PHARMACY EXPANSION 2835 DARLING COURT LA CROSSE, WI 54603

PROJECT LOCATION—

	CONTACTS
ENGINEERING	DIRECTOR OF ENGINEERING & PLANNING MATT GALLAGER, P.E. 608.789.7505
PLANNING & DEVELOPMENT	DIRECTOR OF PLANNING, DEVELOPMENT AND ASSESSMENT ANDREA TRANE 608.789.8321
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GAS	XCEL ENERGY – JAKE ENDRES 608.498.3176
CABLE	LUMEN — TOM MURRAY 608.780.0895
FIRE DEPT.	FIRE CHIEF — JEFF SCHOTT 608.789.7559



LOCATION MAP

OWNER: WIESER BROTHERS GENERAL CONTRACTORS, INC ATTN: ETHAN THOMAS 200 TWILITE ST LA CRESCENT, MN 55947 507.895.8903 EMAIL: ethant@wieserbrothers.com PROJECT ARCHITECT: RIVER VALLEY ARCHITECTS, INC. ATTN: KEVIN GUNDERSON 3300 BIRCH STREET, SUITE 1A EAU CLAIRE, WI 54703 715.832.0875 EXT 111 EMAIL: kevin@rivervalleyarchitects.com PROJECT ENGINEER: ADVANCED ENGINEERING CONCEPTS SEAN BOHAN, P.E. 1360 INTERNATIONAL DRIVE EAU CLAIRE, WI 54701

715.552.0330

sbohan@aec.engineering

SCHEDULE OF REQUIRED PERMITS							
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL					
CITY OF LA CROSSE							
SITE PLAN SUBMITTAL							
DSPS-EXTERIOR							
PLUMBING PLAN REVIEW							

LEGEND

	ENISTING	<u>FRUFUSED</u>	
	•		BENCHMARK
	, T		CONTROL POINT
			SIGN
	\oplus	\oplus	CURB STOP
			WELL
			HYDRANT
	\bowtie	\bowtie	GATE VALVE
	i	<u>≓</u>	CURB INLET
	<u> </u>	<u> </u>	AREA DRAIN
	\$		SAN MH
	\bigcirc		STORM MH
	©	©	SAN CLEANOUT
	©		GAS MANHOLE
ABBREVIATIONS:	\(\phi\)		LIGHT POLE
BC=BACK OF CURB	♡		UTILITY POLE
BLK=BLOCK NUMBER	├		GUY WIRE
BOT=BOTTOM (ELEV) CL=CENTERLINE	-3		GUY POLE
CS=CURB STOP	Ē		PULL BOX
ELEV=ELEVATION EOP=EDGE OF PAVEMENT	E		ELEC PED
EX=EXISTING	C		CABLE PED
FES=FLARED END SECTION	M		MAILBOX
FF=FINISHED FLOOR (ELEV) FL=FLOWLINE			TELE PED
GF=GARAGE FLOOR (ELEV)	0		IRON PIPE
GLG=GROUND LINE GROOVE HWL=HIGH WATER LEVEL			ROW POST
INV=INVERT	•		REBAR
LF=LINEAR FEET LO=LOOKOUT STYLE HOME	——— W ———	WTR	WATER MAIN
LT=LEFT	SAN	SAN	SANITARY SEWER
MIN=MINIMUM	STM		STORM SEWER
NWL=NORMAL WATER LEVEL PC=POINT OF CURVE	——— OH ———		OVERHEAD UTILITY
PRC=CURVE REVERSAL POINT	—— T ——		TELEPHONE LINE
PT=POINT OF TANGENCY	—— G ——		GAS LINE
RAD=RADIUS	— Е —		ELECTRIC LINE
RT=RIGHT R/W=RIGHT OF WAY	TV		CABLE TV LINE
SAN=SANITARY SEWER			TREELINE
SP=SPOT ELEVATION			EXISTING TREES
STA=STATION			MARSH
STM=STORM SEWER	X		FENCE LINE
TC=TOP OF CURB TYP=TYPICAL	O		WOVEN WIRE FENCE
W=WATER FITTINGS		 -	SILT FENCE
WAT=WATER	0000000		RETAINING WALL
WM=WATERMAIN WO=WALKOUT STYLE HOME	(870)	910	CONTOURS MAJOR
			CONTOURS MINOR

	SHEET SCHEDULE
SHEET NO.	DESCRIPTION
G001	TITLE SHEET
C101	EXISTING CONDITIONS & DEMOLITION PLAN
C201	SITE PLAN
C301	GRADING PLAN
C302	EROSION CONTROL
C401	UTILITY PLAN
C501-502	DETAILS

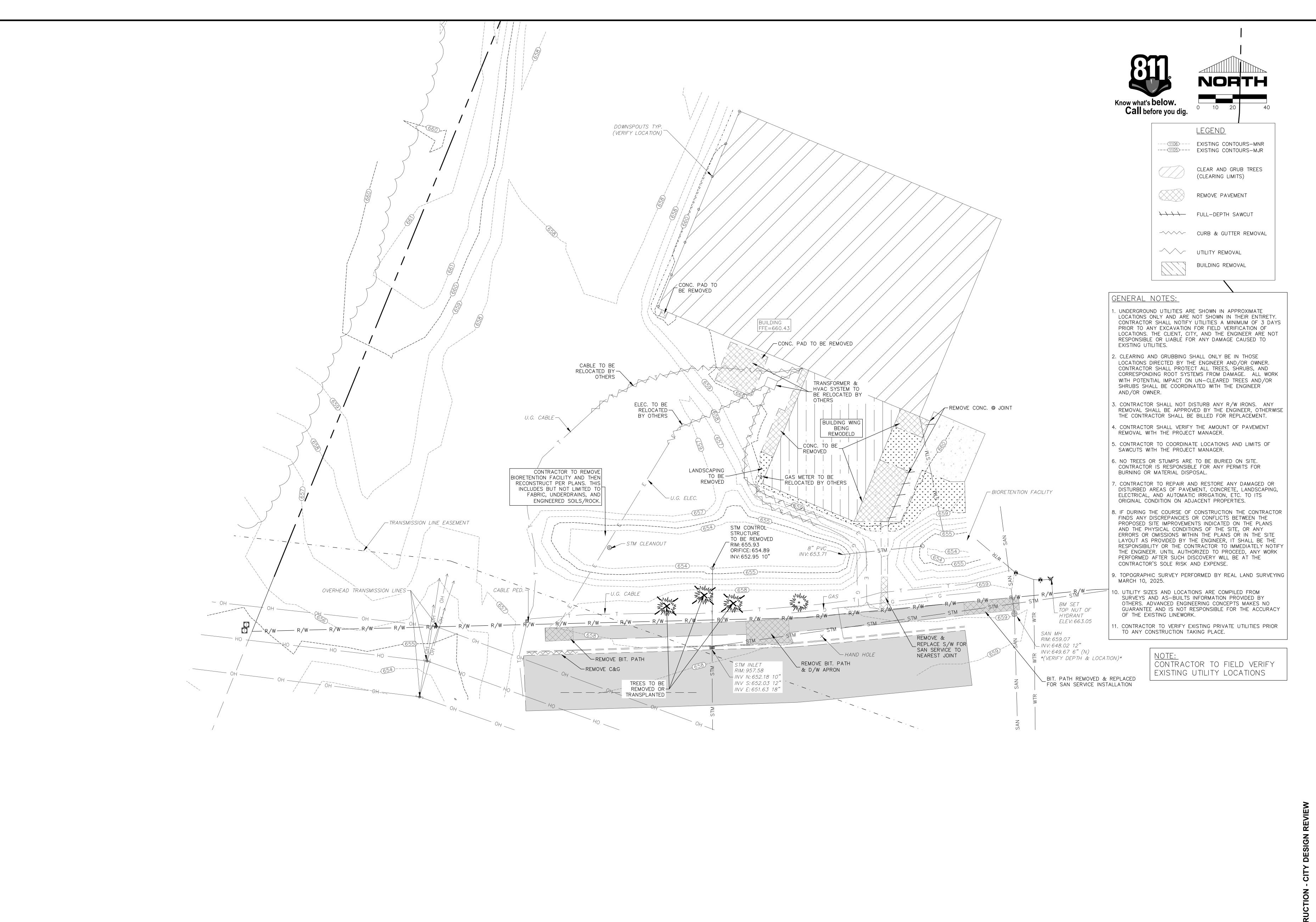
AEC PROJECT #: 25020 PLANS DATED: MAY 2025 5



ADVANCED ENGINEERING CONCEPTS 2 1360 INTERNATIONAL DR. EAU CLAIRE, WI 54701 PH 715-552-0330 INFO@AEC.ENGINEERING COPYRIGHT 2025, AEC LLC.

JOB NO: DATE: 05.02.2025 TITLE SHEET

G001

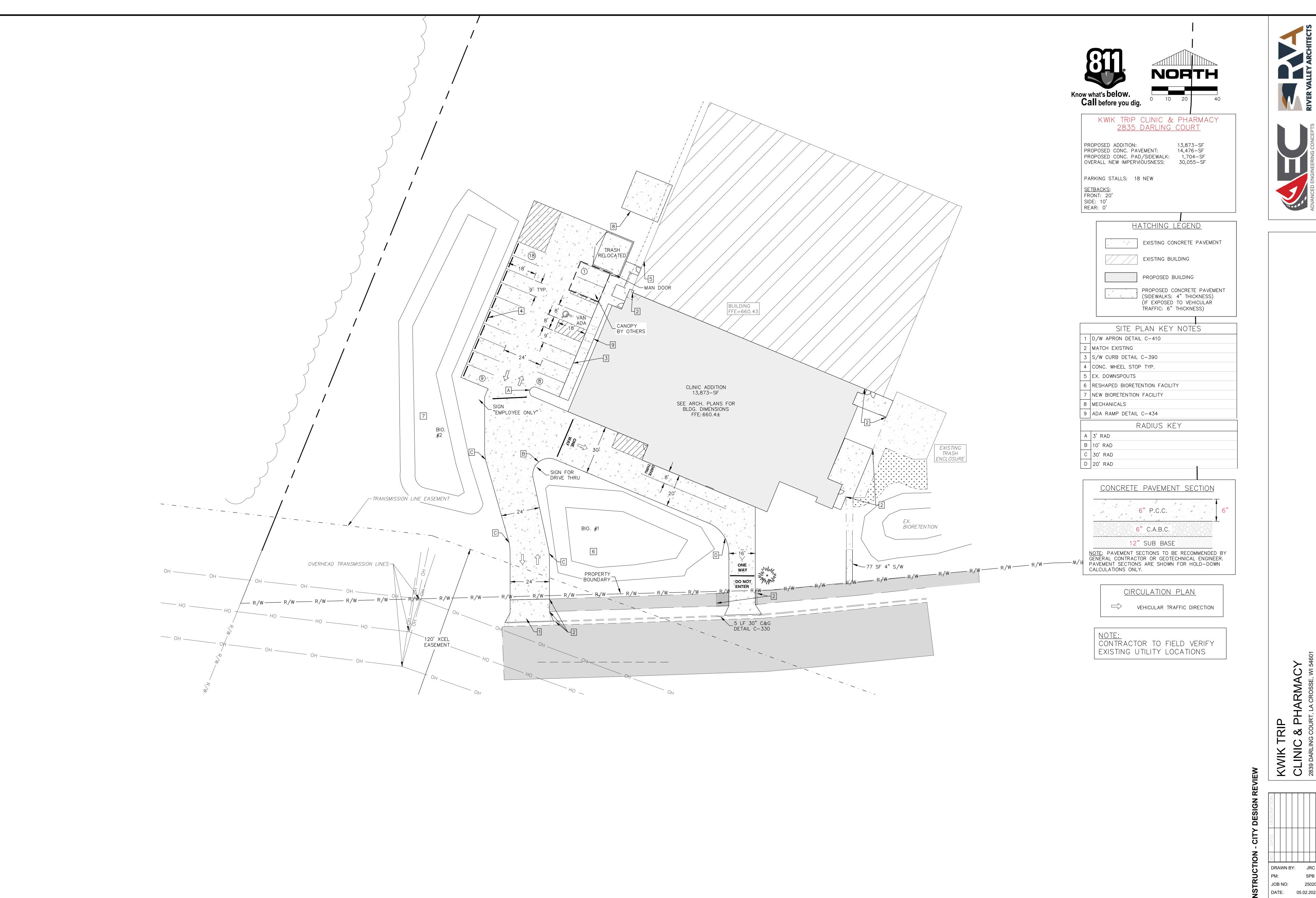




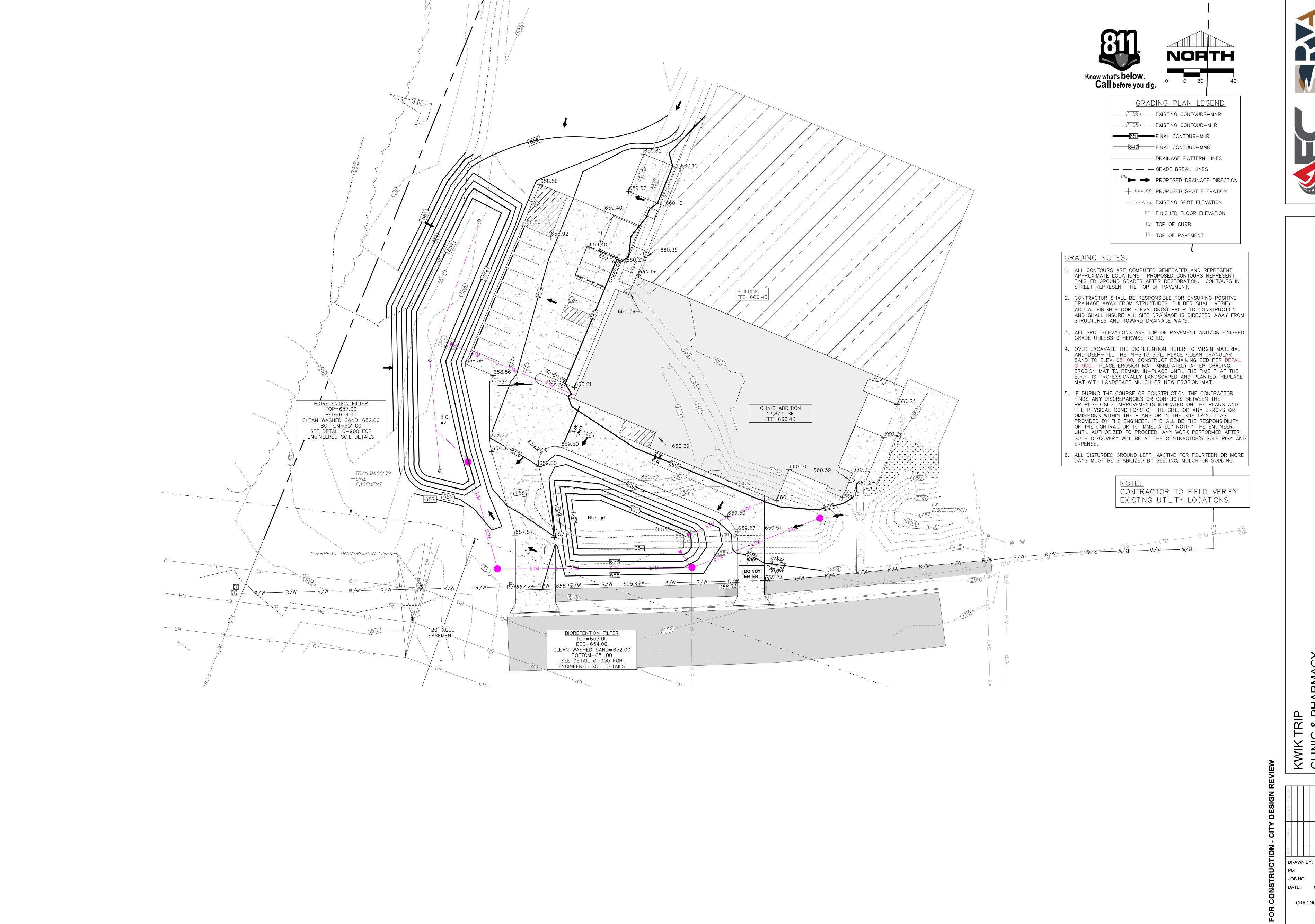
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2839 DARLING

CONDITION AND DEMOLITION PLAN

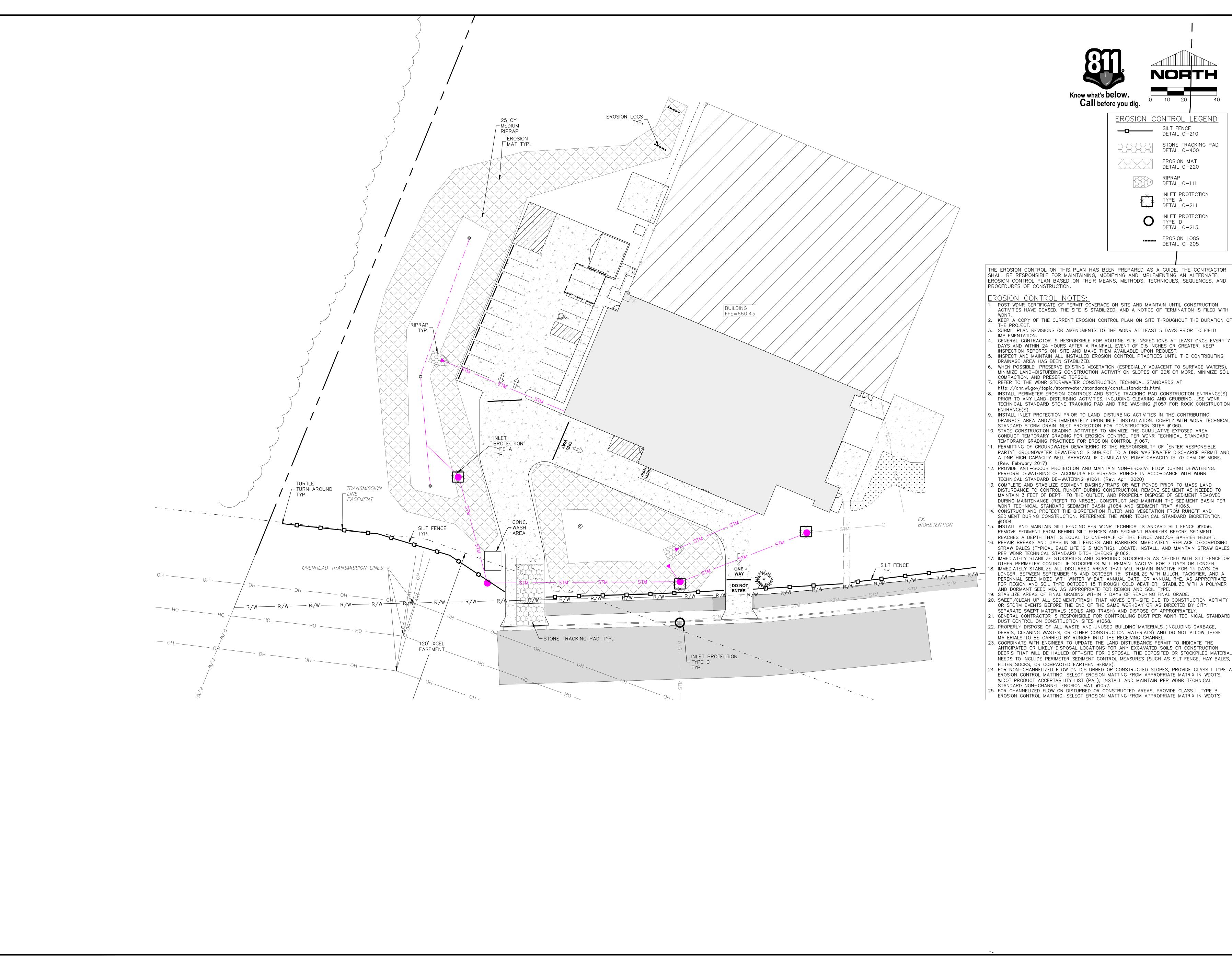








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2839 DARLING





THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND

EROSION CONTROL LEGEND

STONE TRACKING PAD

DETAIL C-400

EROSION MAT

DETAIL C-111

TYPE-A DETAIL C-211

TYPE-D DETAIL C-213

EROSION LOGS DETAIL C-205

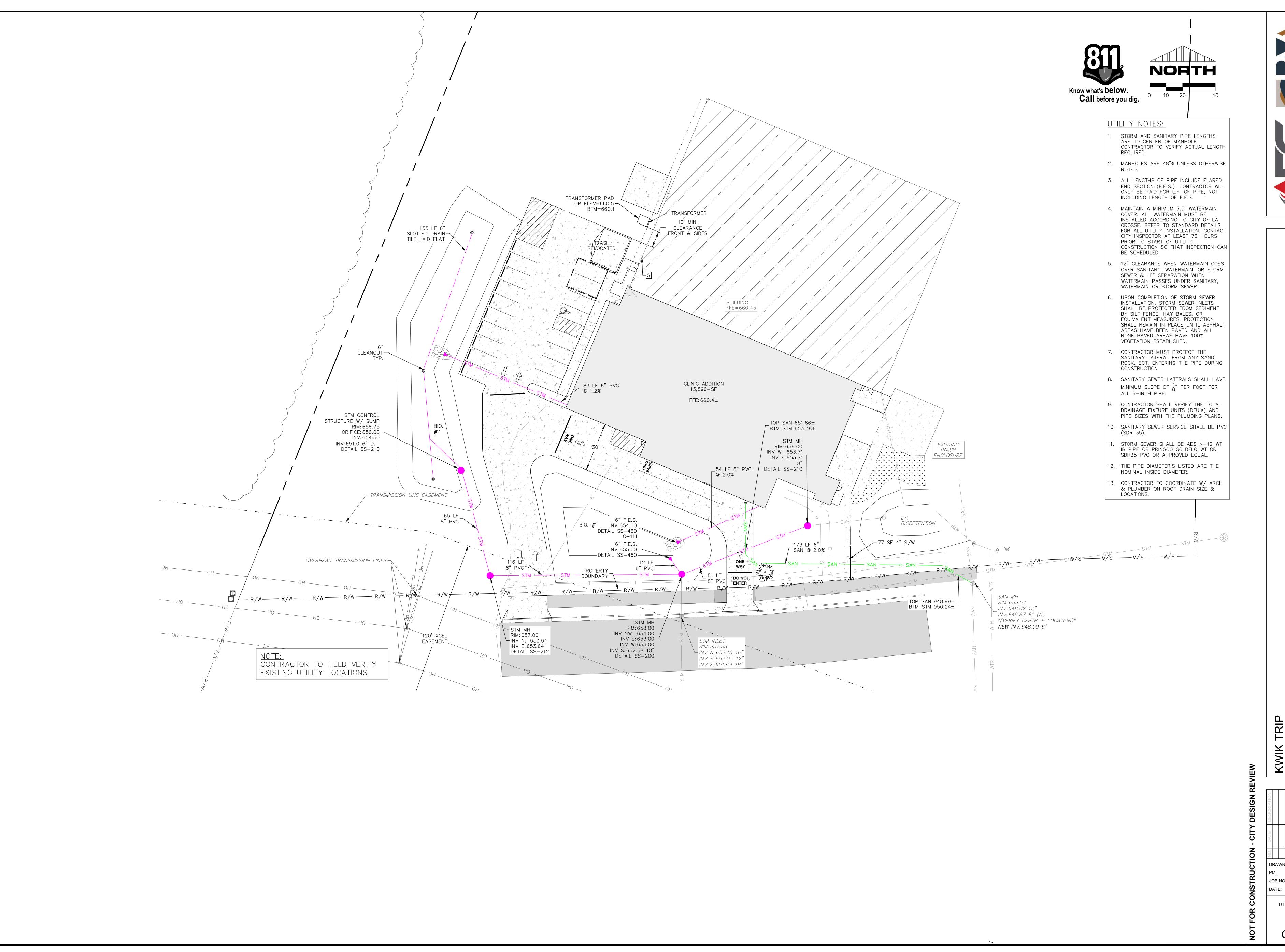
INLET PROTECTION

INLET PROTECTION

SILT FENCE DETAIL C-210

DETAIL C-220

- POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF
- SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD
- DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS),
- MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL
- REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
- INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION
- DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
- 10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
- . PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF [ENTER RESPONSIBLE PARTY]. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
- 2. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR
- 13. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER
- 14. CONSTRUCT AND PROTECT THE BIORETENTION FILTER AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION
- 5. ÏNSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056.
- REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT. 5. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING
- PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062. . IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR
- OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER. 3. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE
- FOR REGION AND SOIL TYPE OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE. 19. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE. 20. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY
- SEPARATE SWEPT MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY. I. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD
- DUST CONTROL ON CONSTRUCTION SITES #1068. 22. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE,
- DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL. 23. COORDINATE WITH ENGINEER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION
- DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS). 24. FOR NON-CHÂNNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S
- WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052. 25. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B
- EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S



RIVER VALLEY ARCHITECTS



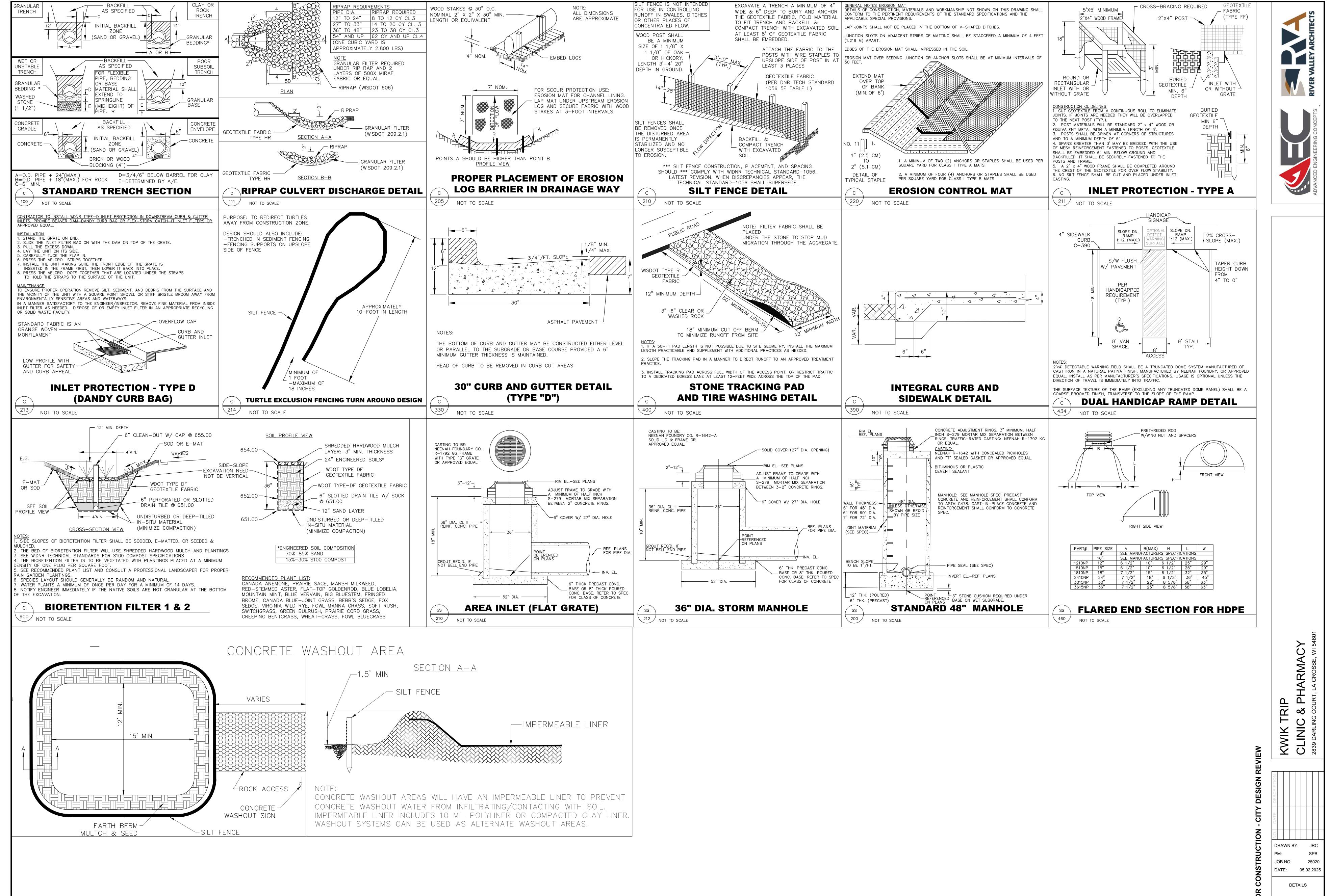
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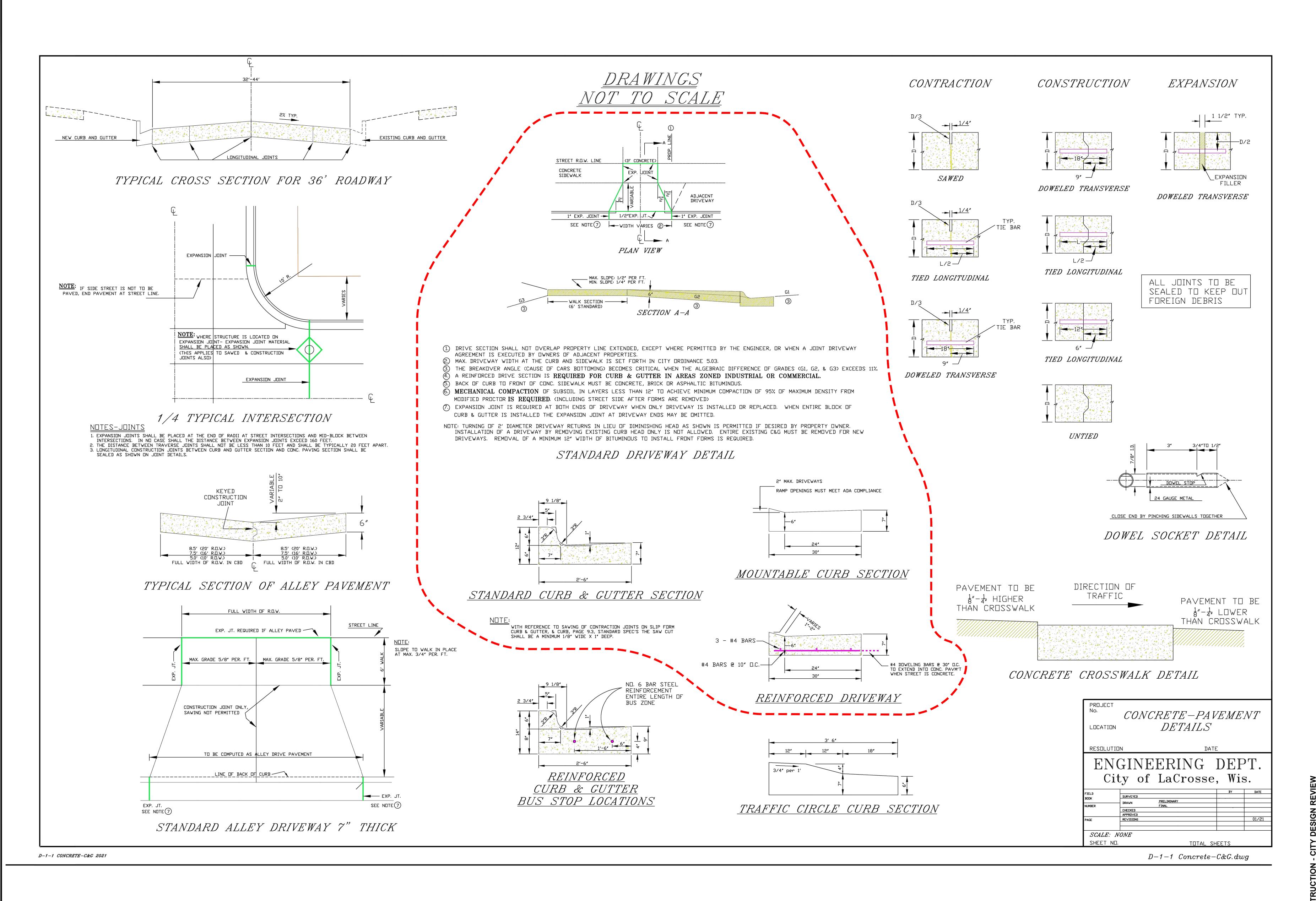
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2839 DARLING COURT, LA CROSSE, WI 54

DRAWN BY: JRC
PM: SPE

: 05.02.2025 JTILITY PLAN

C401







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C502





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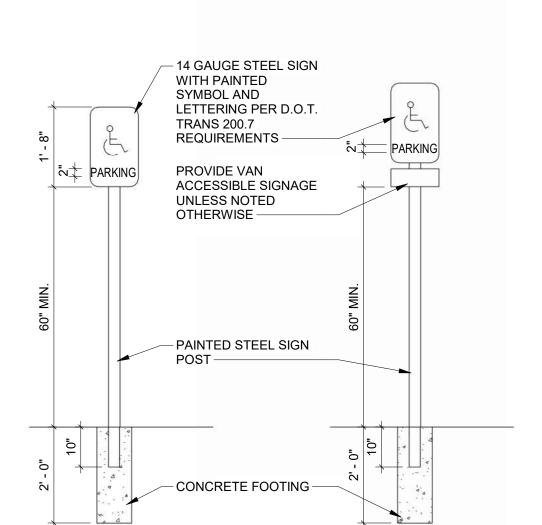
MATERIAL LEGEND

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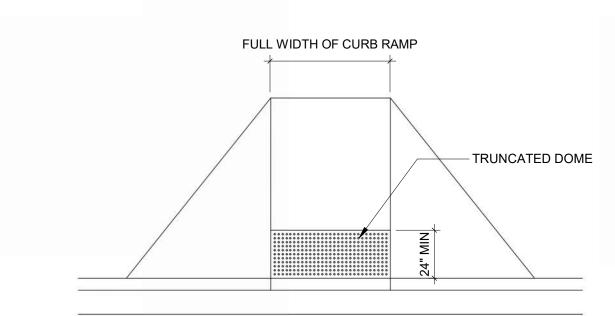


AS101 ARCHITECTURAL SITE PLAN

AS101 1/16" = 1'-0"

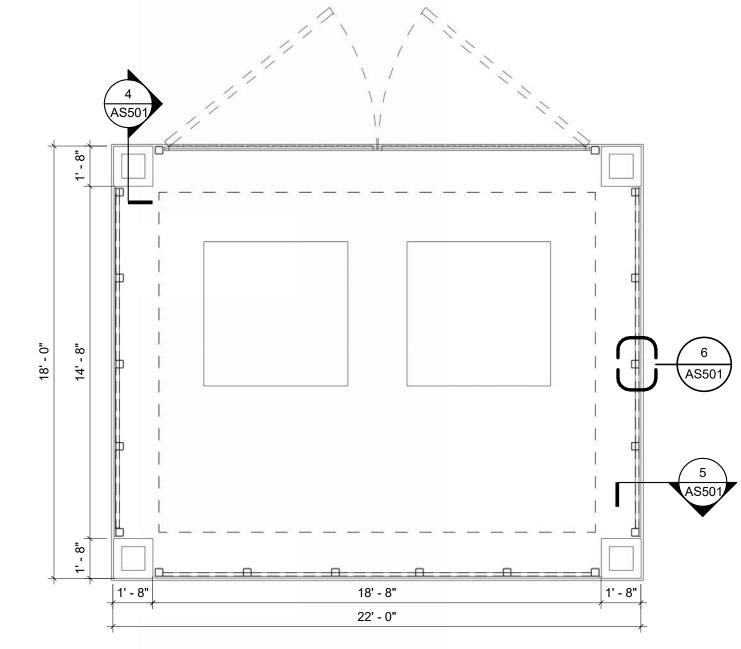




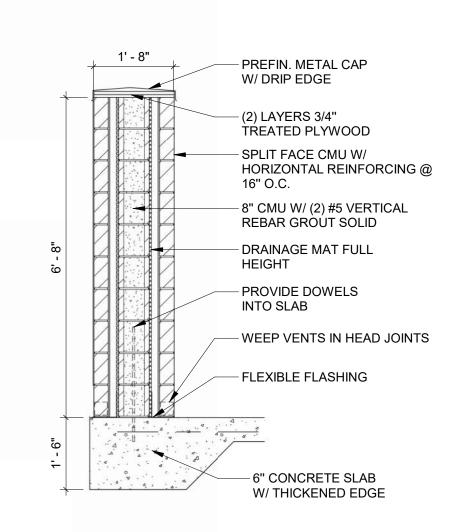


DETECTABLE WARNINGS - PERPENDICULAR

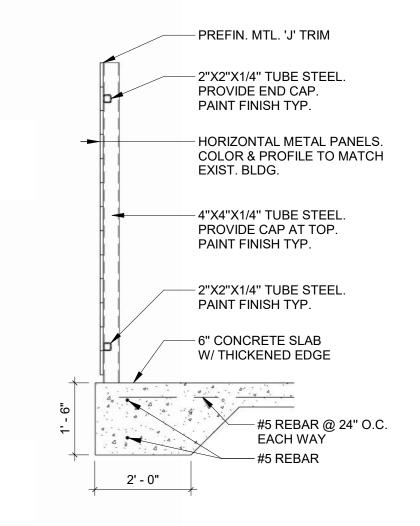
AS501 1/4" = 1'-0"



3 DUMPSTER ENCLOSURE PLAN
AS501) 1/4" = 1'-0"

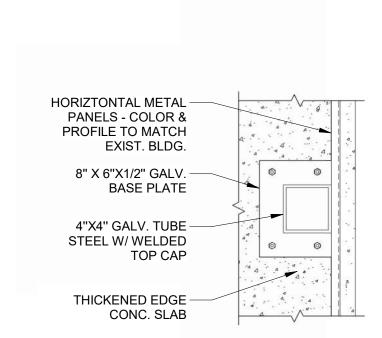


4 DUMPSTER COLUMN DETAIL
AS501 1/2" = 1'-0"



DUMPSTER SECTION

AS501) 1/2" = 1'-0"

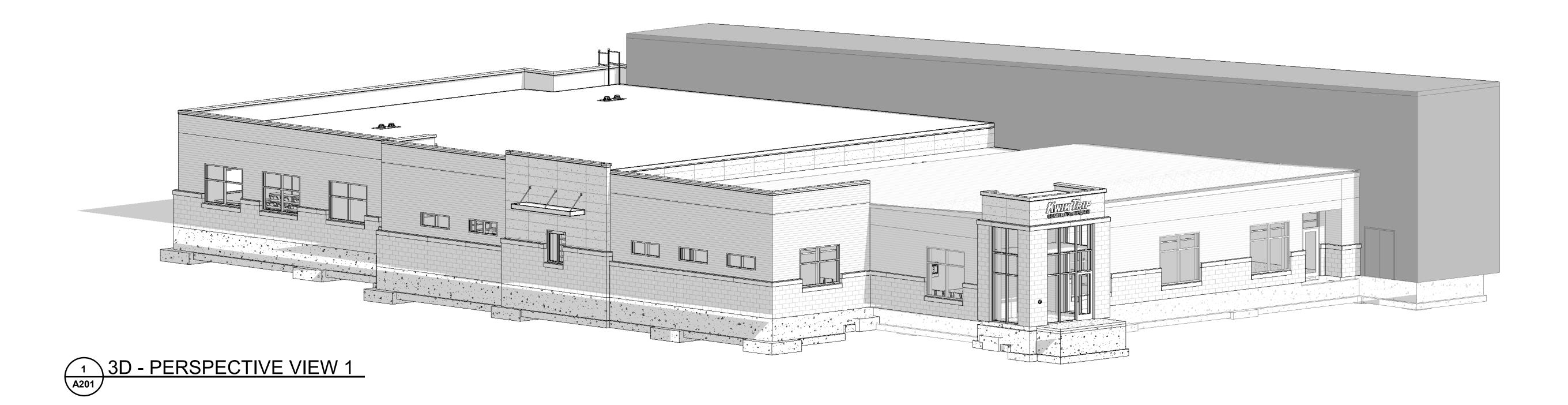


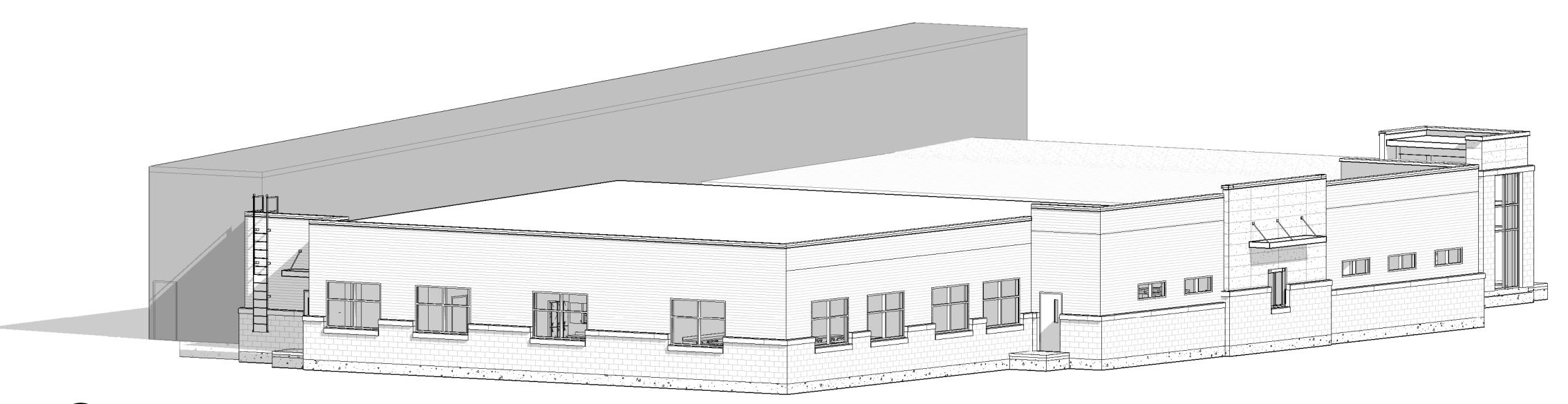
6 TUBE STEEL COLUMN DETAIL
AS501 1 1/2" = 1'-0"



A. GENERAL NOTES ON THIS SHEET ARE APPLICABLE TO THIS SHEET ONLY.
B. 3D VIEWS ARE FOR INFORMATION ONLY AND ARE NOT PART OF THE CONTRACT DOCUMENTS. THEY DO NOT INDICATE ALL DETAILS, CHANGES IN MATERIAL, AND JOINTS.







2 3D - PERSPECTIVE VIEW 2

JCTION - CITY DESIGN REVIEW

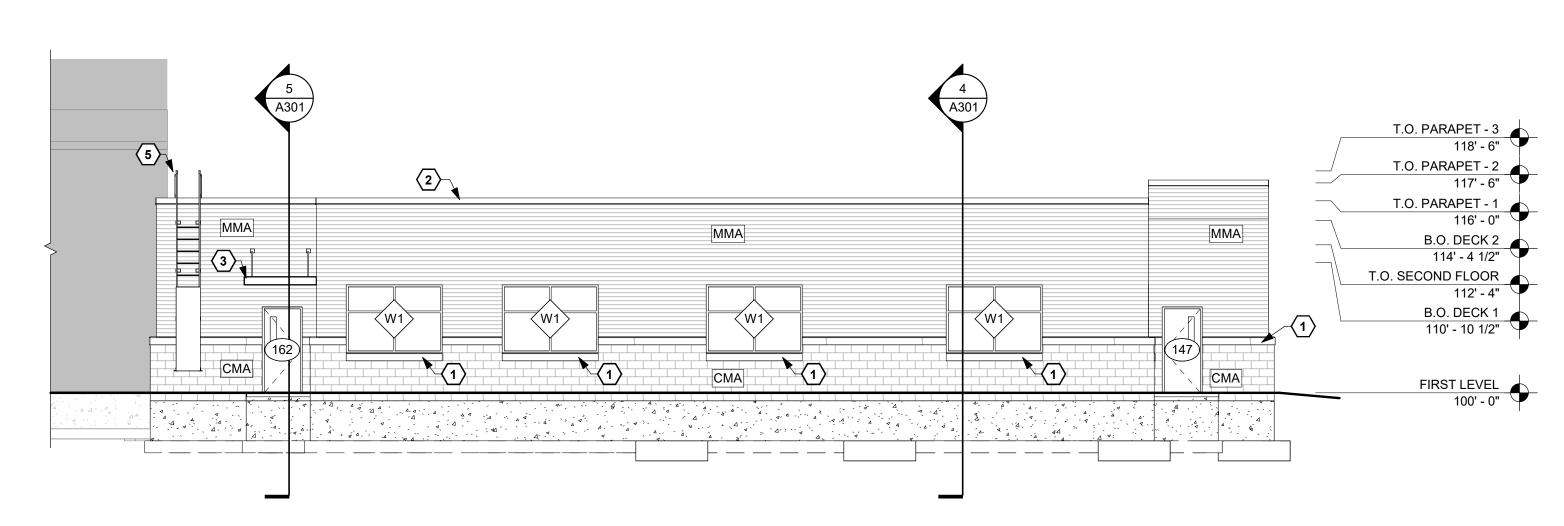
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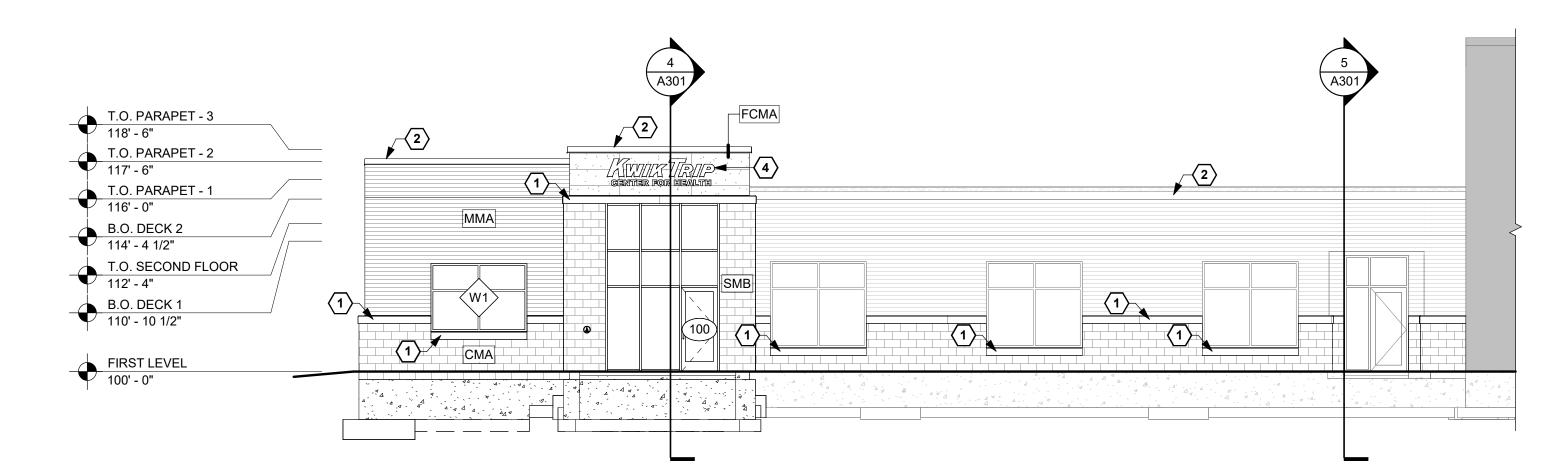
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PM: KG
JOB NO: 25-029
DATE: 05.02.2025

EXTERIOR
PERSPECTIVE VIEWS

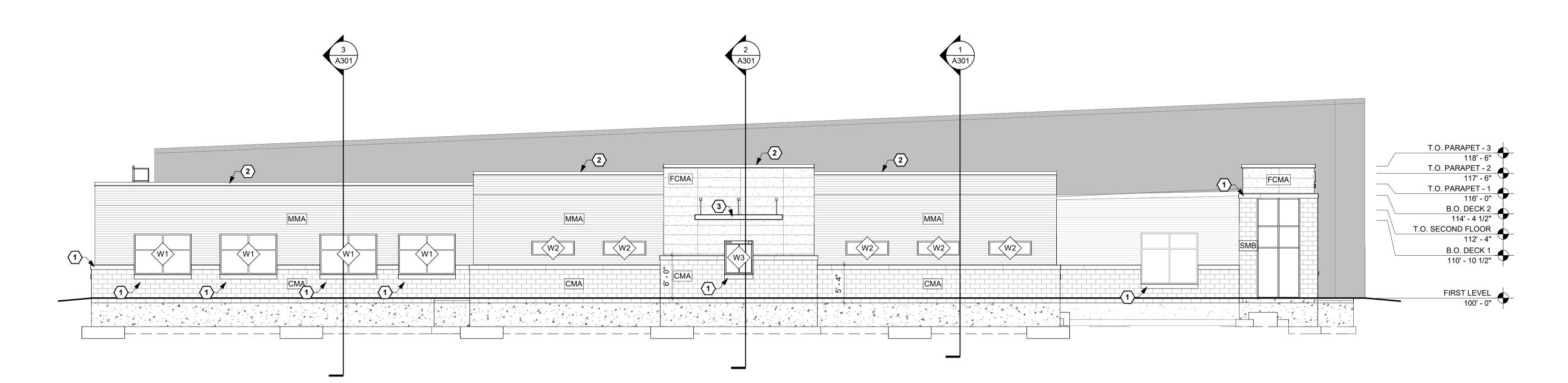
A201



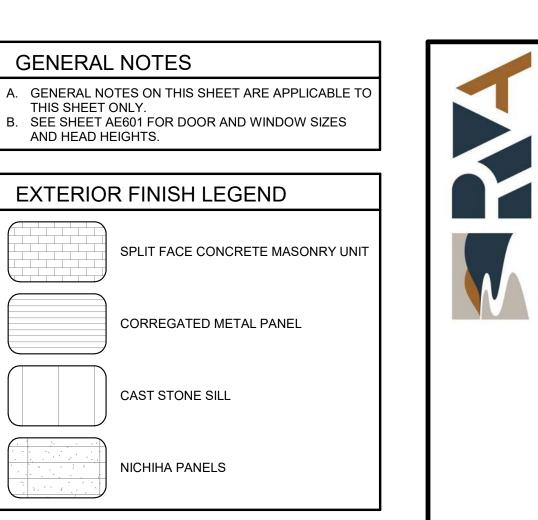
1 NORTH ELEVATION A202 1/8" = 1'-0"



SOUTH ELEVATION
A202 1/8" = 1'-0"



3 WEST ELEVATION A202 1/8" = 1'-0"



KEY NOTES

PREFINISHED METAL AWNING

SIGNAGE, BY OTHERS. 5 WALL MOUNTED ROOF ACCESS LADDER WITH SAFETY GATE

CAST STONE CAP/SILL PREFINISHED METAL COPING.

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