

# MSP - THE DRIFTLESS

LA CROSSE, WI



PROJECT/BUILDING DATA
NEW RESIDENTIAL MULTI-FAMILY HOUSING COMPLEX INCLUDING A FIVE-STORY APARTMENT BUILDING WITH A GROUND FLOOR PARKING GARAGE, FOUR TOWNHOUSE BUILDINGS WITH PRIVATE GARAGES, AND SURFACE PARKING.
<b>UNIT COUNTS</b>
APARTMENT BUILDING:
- 68 1-BEDROOM UNITS
- 32 2-BEDROOM UNITS
- 100 UNITS TOTAL
TOWNHOUSES:
- 20 3-BEDROOM UNITS
- 120 UNITS TOTAL ON SITE.
<b>PARKING COUNTS</b>
TOTAL SITE PARKING SPACES = 108
TOTAL SURFACE PARKING SPACES = 31
(INCLUDING 2 ACCESSIBLE STALLS)
TOTAL APARTMENT GARAGE PARKING SPACES = 65
(INCLUDING 2 ACCESSIBLE STALLS)
TOTAL PRIVATE GARAGE PARKING SPACES = 12

SHEET NO.	SHEET NAME
G-0.1	COVER SHEET
G-0.2	LOCATION PLAN
C1.0	SITE PLAN
C2.0	SITE GRADING PLAN
C3.0	SITE UTILITY PLAN
C4.0	EROSION CONTROL PLAN
L100	SITE LANDSCAPING PLAN
1 OF 1	SITE LIGHTING PLAN
-	SITE LIGHTING SPEC SHEETS
AS-1.0	ARCHITECTURAL SITE PLAN
A-1.0	FLOOR PLANS - APARTMENTS
A-1.1	FLOOR PLANS - APARTMENTS
A-1.2	FLOOR PLANS - APARTMENTS & UNIT PLANS
A-1.3	FLOOR PLANS - TOWNHOUSES & FLATS
A-1.4	FLOOR PLANS - TOWNHOUSES & FLATS
A-1.5	FLOOR PLANS - TOWNHOUSES & FLATS
A-2.0	EXTERIOR ELEVATIONS - APARTMENTS
A-2.1	EXTERIOR ELEVATIONS - APARTMENTS
A-2.2	EXTERIOR ELEVATIONS - TOWNHOUSES & FLATS
A-2.3	EXTERIOR ELEVATIONS - TOWNHOUSES & FLATS
A-2.4	EXTERIOR ELEVATIONS - TOWNHOUSES & FLATS
A-2.5	EXTERIOR ELEVATIONS - TOWNHOUSES & FLATS
A-3.0	PERSPECTIVE VIEWS
A-3.1	PERSPECTIVE VIEWS
A-3.2	PERSPECTIVE VIEWS
A-4.0	MATERIAL PALETTE

**Architecture :**

**Dimension IV - Madison Design Group**  
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719  
p: 608.829.4444 www.dimensionivmadison.com

**Civil Engineer:**

**CJ Engineering**  
9205 West Center Street, Suite 214, Milwaukee, WI 53222  
p: 414.443.1312 www.cj-engineering.com

**Landscape Architect:**

**raSmith**  
221 South 2nd Street, Suite 100, Milwaukee, WI 53204  
p: 262.781.1000 www.rasmith.com

**Lighting Design:**

**Hein Electric Supply Company**  
2030 South 116th Street, West Allis, WI 53227  
p: 262.790.8400 www.hein.com



FIGURE 2.2.4: Multi-family Zone

PROJECT LOCATION

**MSP - THE DRIFTLESS**

LA CROSSE, WI

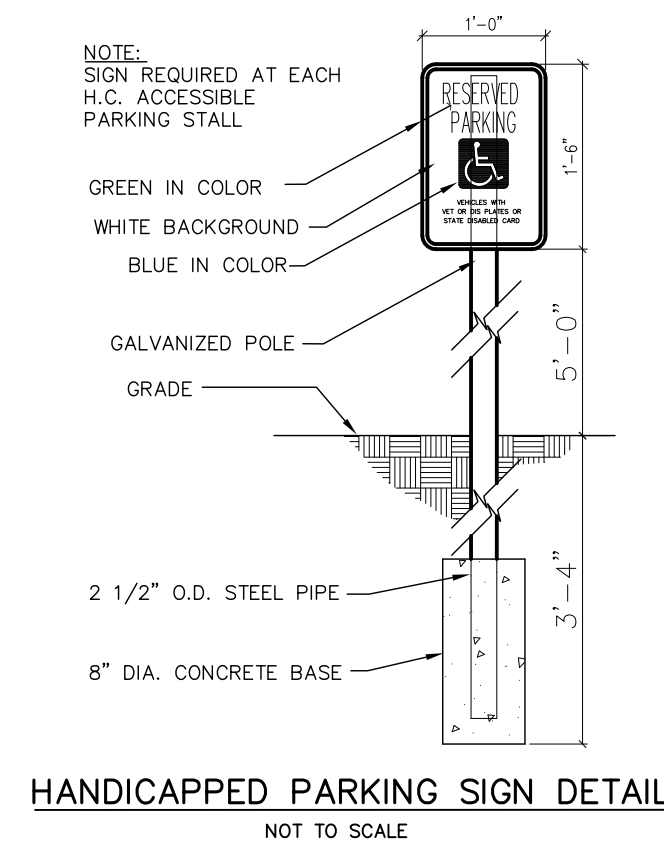
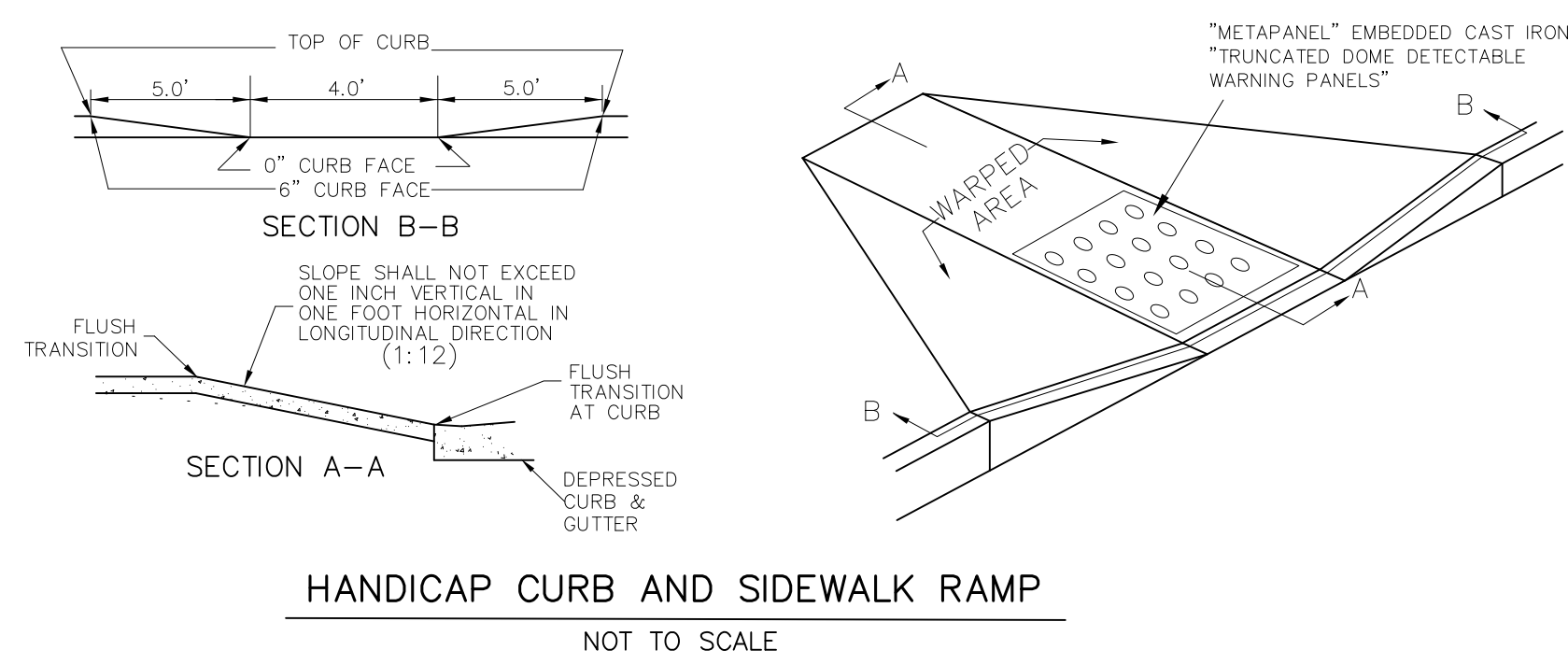
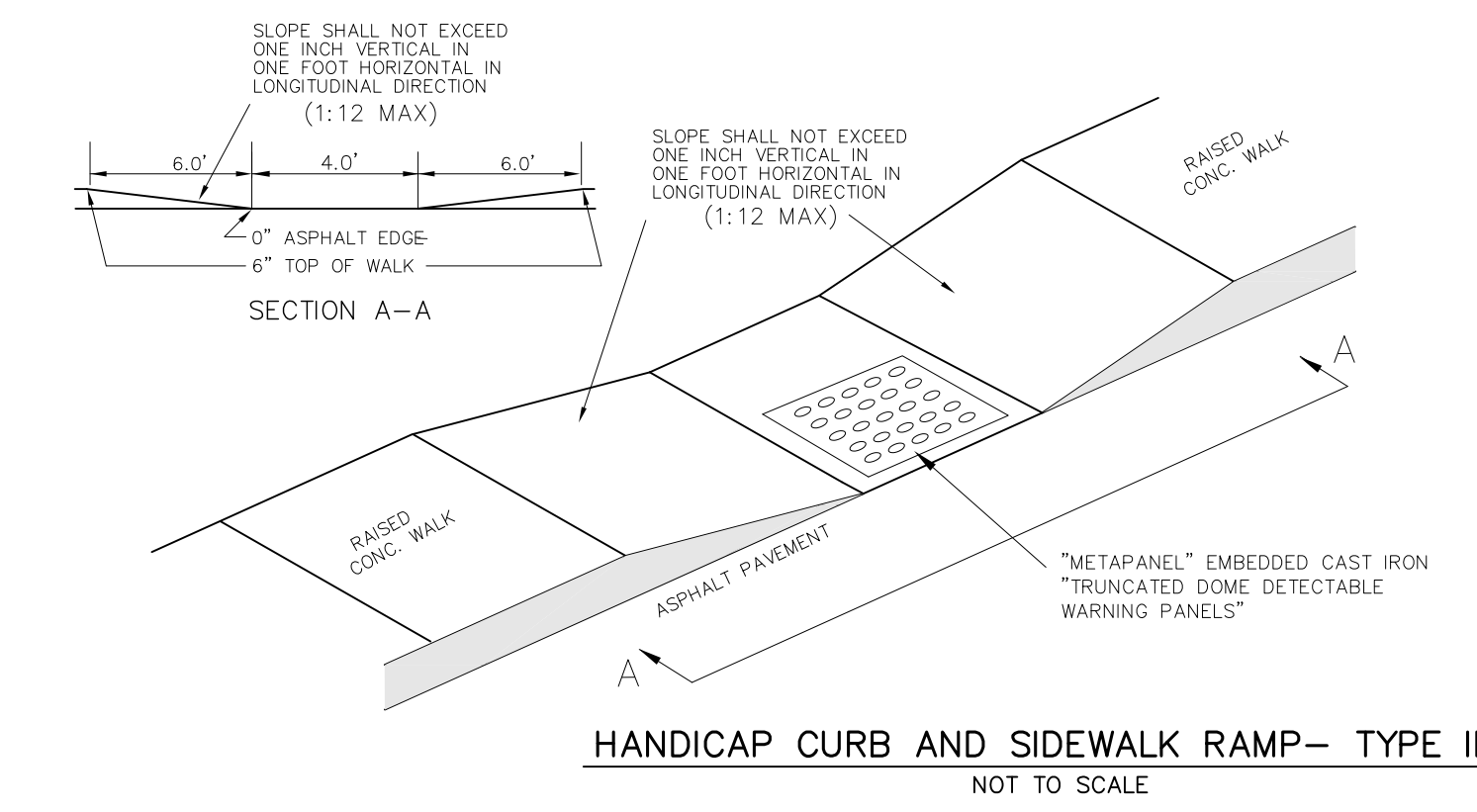
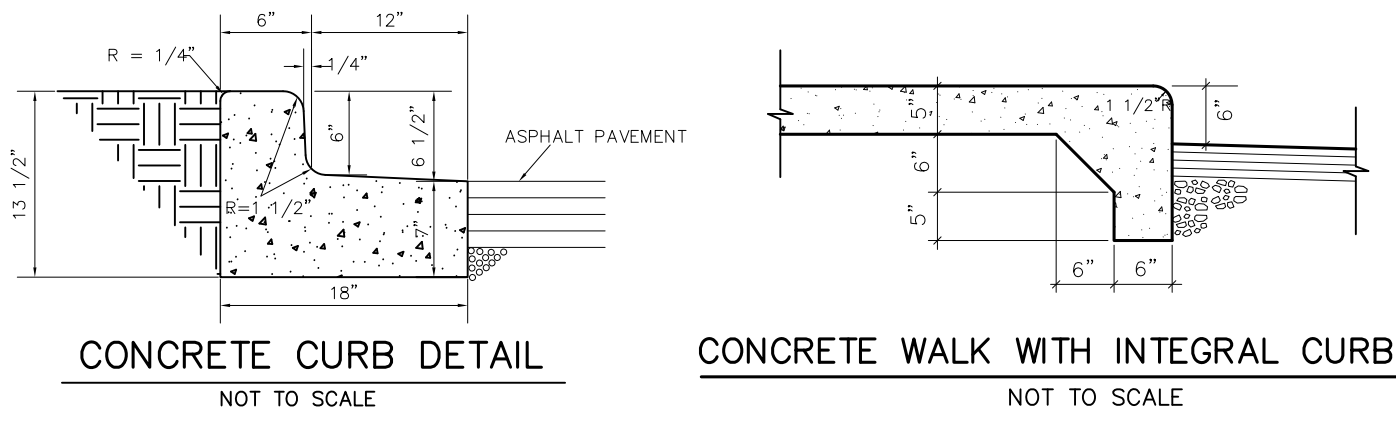
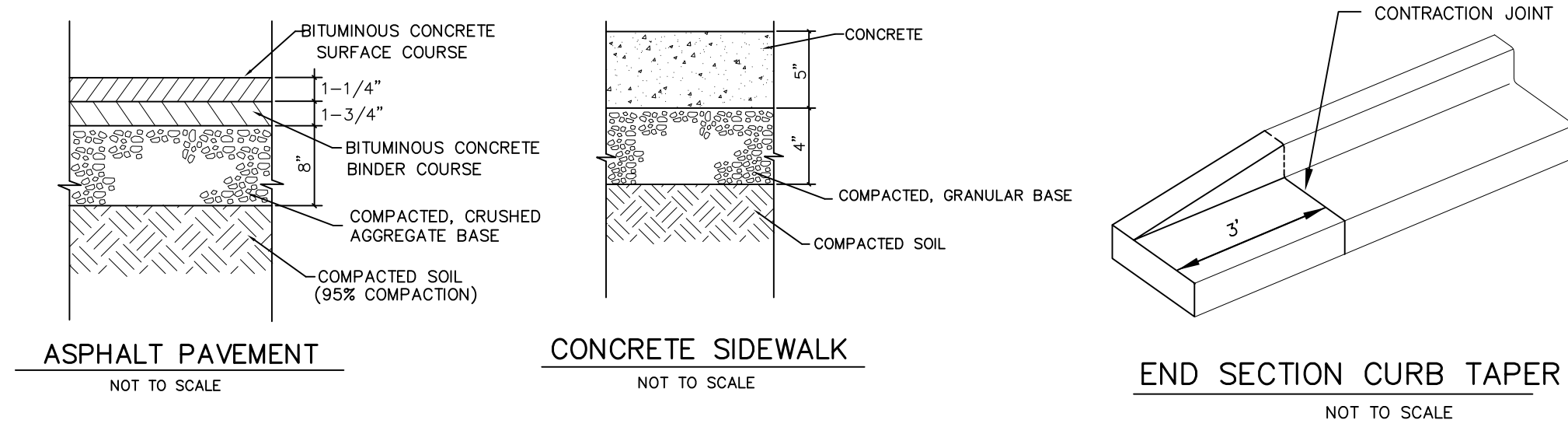
DATE OF ISSUE: 01/19/2023

REVISIONS:

PROJECT # 21136

**LOCATION PLAN**

**G-0.2**



**SITE AREAS**

EXISTING IMPERVIOUS AREA = 0 S.F. (0.000 ACRES)  
 [0% OF THE SITE]  
 EXISTING PERVIOUS AREA = 82,414 S.F. (1.892 ACRES)  
 [100% OF THE SITE]

PROPOSED BUILDING FOOTPRINTS = 40,452 S.F. (0.929 ACRES)  
 PROPOSED PAVEMENT = 24,986 S.F. (0.574 ACRES)

PROPOSED IMPERVIOUS AREA = 65,438 S.F. (1.502 ACRES)  
 [79% OF THE SITE]  
 PROPOSED OPEN SPACE (LANDSCAPE AREA) = 16,975 S.F.  
 (0.390 ACRES) [21% OF THE SITE]

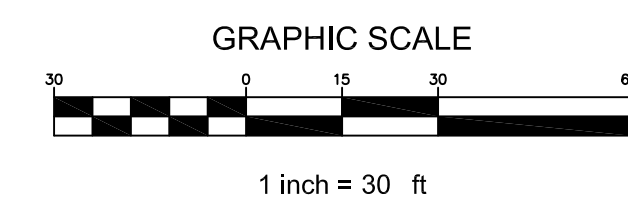
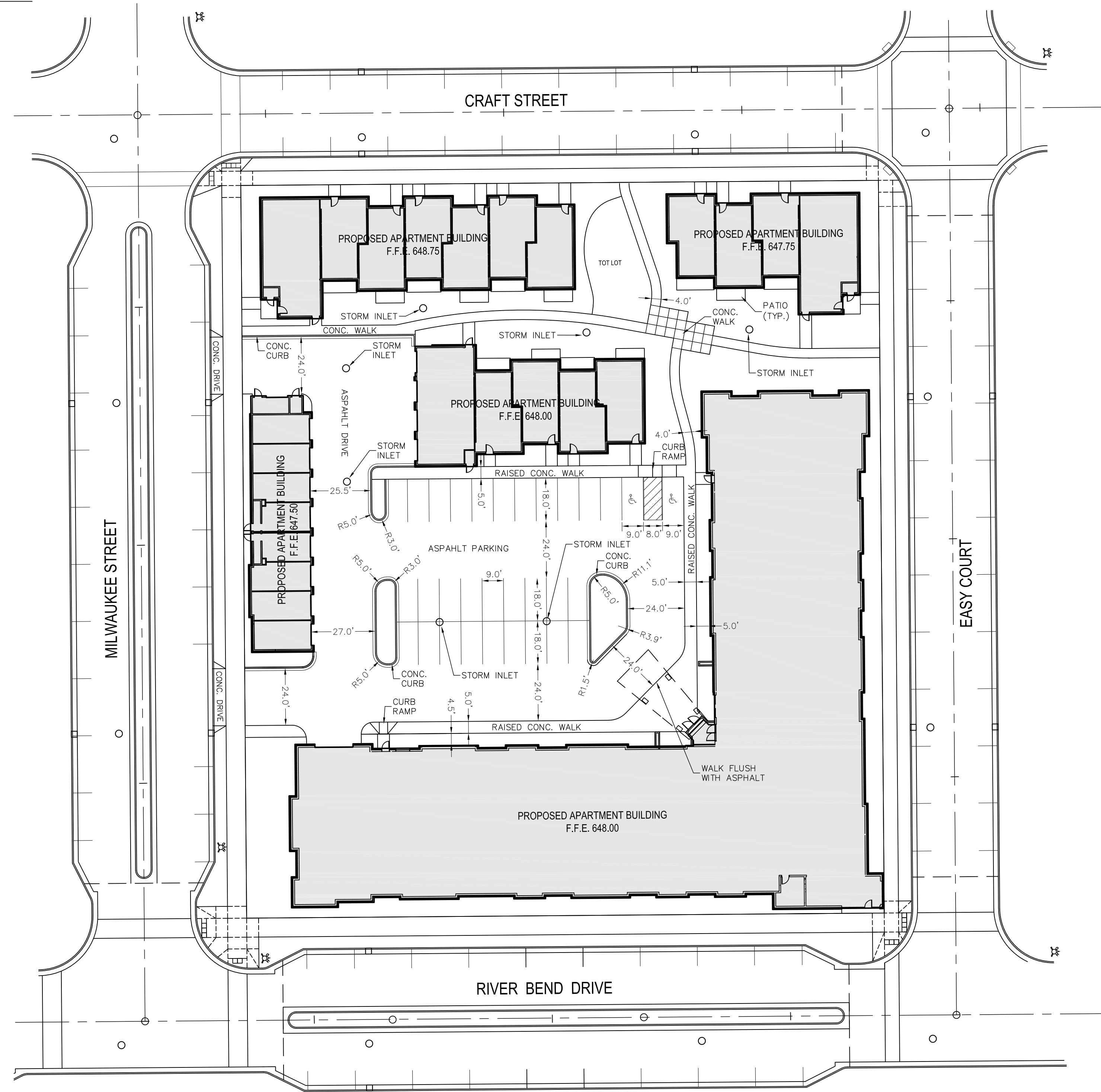
TOTAL AREA = 82,414 S.F. (1.502 ACRES)

**PROPOSED SURFACE PARKING**

29 REGULAR SPACES  
 2 HANDICAPPED SPACES  
 31 TOTAL SPACES

**NOTES:**

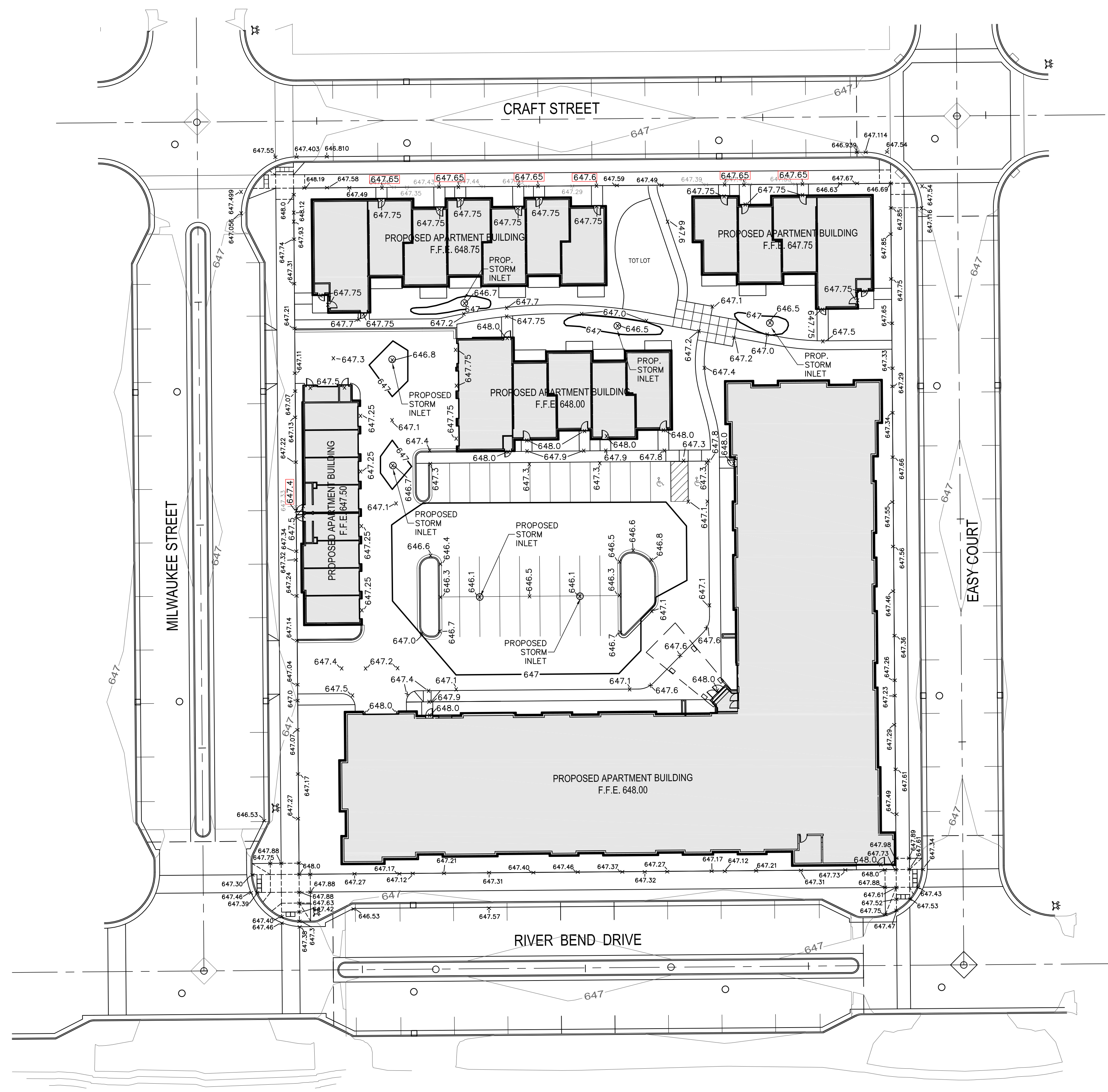
- EXISTING CONDITIONS BASED ON PROPOSED DESIGN FROM SEH DEVELOPMENT DISTRICT MASTER PLAN
- DISTURBED AREA = 1.502 ACRES
- STORM WATER MANAGEMENT WILL BE HANDLED BY OFFSITE REGIONAL FACILITY DESIGNED AND INSTALLED BY SEH



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 LA CROSSE, WI

CJE NO.:2220RI  
 JANUARY 18, 2023

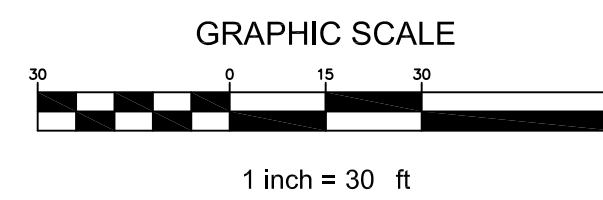




- NOTES:**
1. EXISTING CONDITIONS BASED ON PROPOSED DESIGN FROM SEH DEVELOPMENT DISTRICT MASTER PLAN
  2. DISTURBED AREA = 1.502 ACRES
  3. STORM WATER MANAGEMENT WILL BE HANDLED BY OFFSITE REGIONAL FACILITY DESIGNED AND INSTALLED BY SEH
  4. ALL PROPOSED SIDEWALK MAX 2% CROSS SLOPE.
  5. ALL PROPOSED SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE. ALL PROPOSED SPOT GRADES ALONG THE FACE OF A RAISED WALK ARE AT THE BOTTOM OF WALK (ASPH.) UNLESS OTHERWISE SPECIFIED.



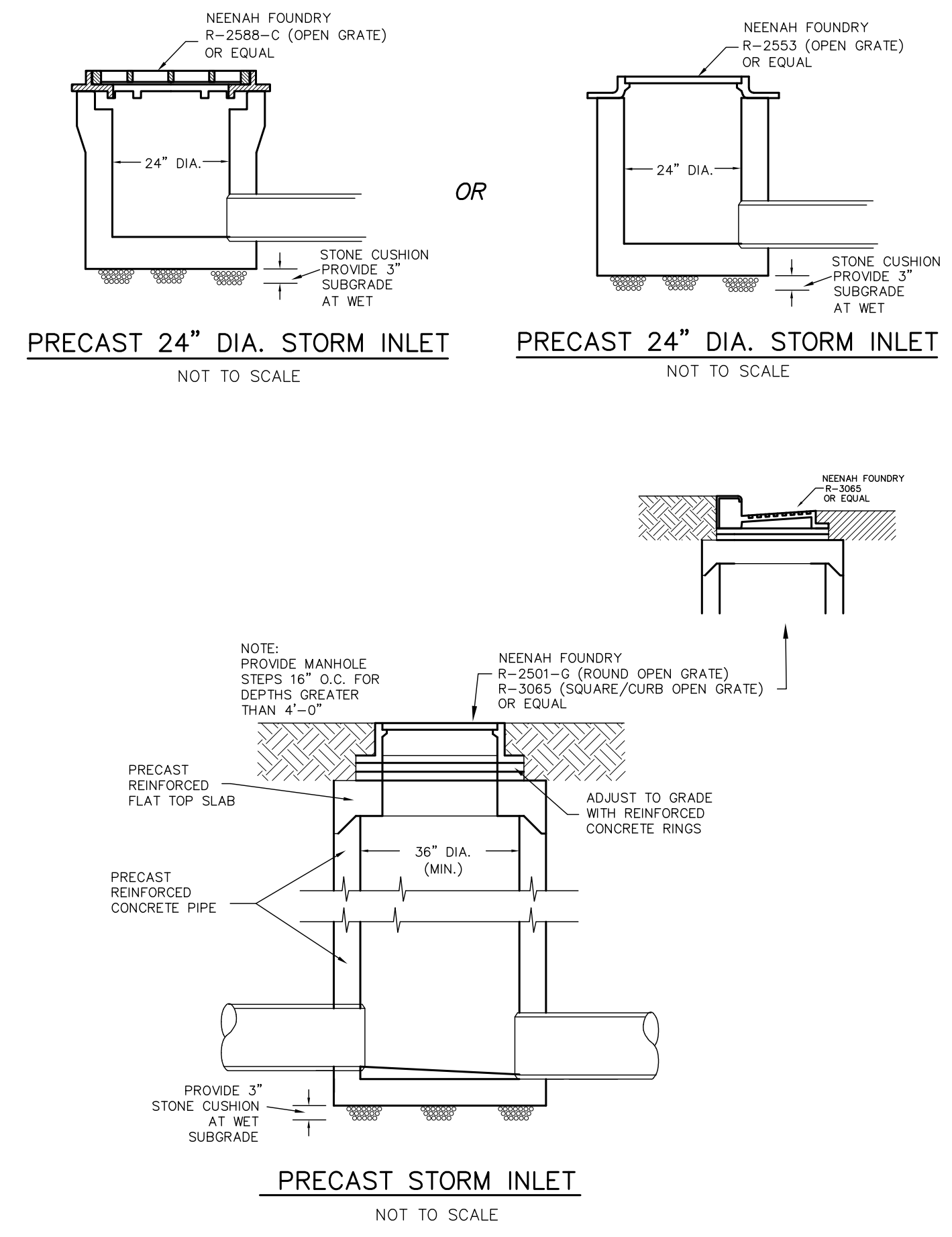
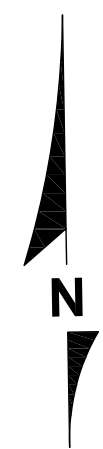
LEGEND	
----- 732 -----	EXISTING CONTOUR
----- 733 -----	PROPOSED CONTOUR
x=734.5	PROPOSED ELEVATION
x=734.5	REVISED PROPOSED PUBLIC WALK GRADES
x=734.5	PROPOSED PUBLIC WALK GRADES - BY OTHERS
x=734.5	PROPOSED PUBLIC WALK GRADES - NO LONGER RELEVANT/REMOVED



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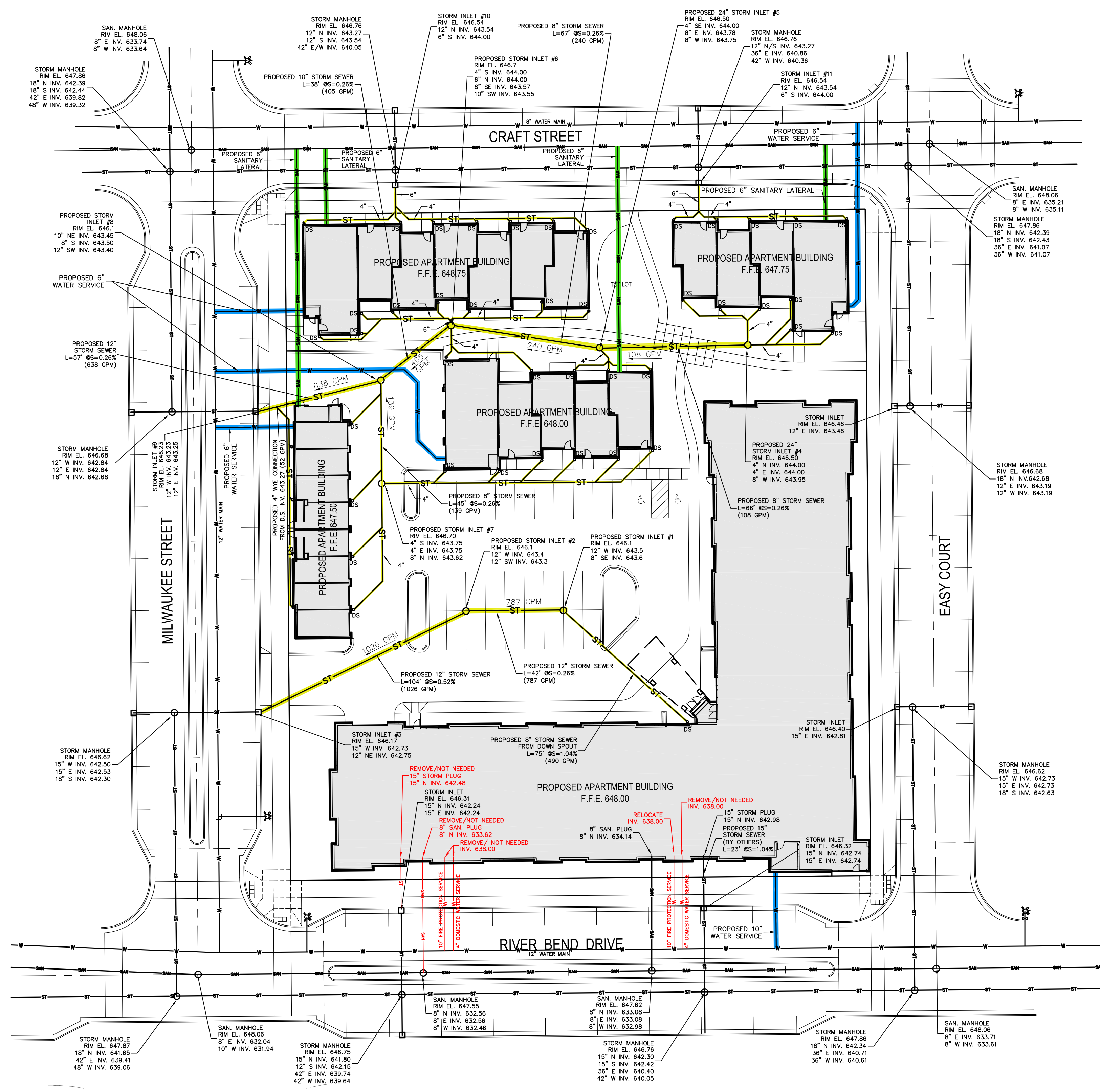
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**SITE GRADING PLAN C2.0**

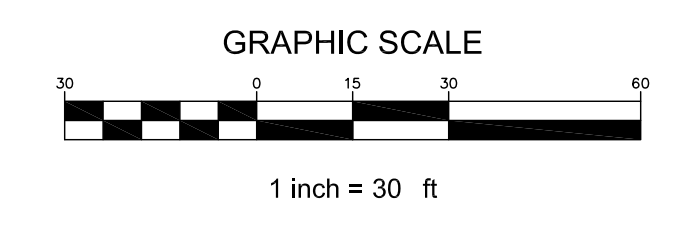


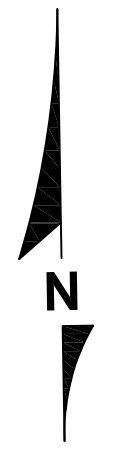
- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF LA CROSSE REQUIREMENTS.
  2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
  3. EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR.
  4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 6 FEET OF COVER.
  5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
  6. THE PROPOSED STORM SEWER HAS BEEN DESIGNED USING THE AREA METHOD.
  7. BUILDING ROOF DRAINS AND DOWN SPOUTS WILL BE DIRECTLY CONNECTED TO STORM SEWER. ALL DOWNSPOUTS FROM BUILDING TO BE 4" WITH A MINIMUM PITCH OF PIPING EQUAL TO OR GREATER THAN 0.52% UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY LOCATION OF DOWNSPOUT CONNECTIONS AND NOTIFY ENGINEER WITH ANY DISCREPANCIES.
  8. STORM SEWER: PVC ASTM D3034, OR ADSN-12 HDPE  
 SANITARY SEWER: PVC ASTM D3034, SDR 35  
 WATER MAIN: PVC, AWWA C900, CLASS 150 (DR18)

LEGEND	
	PROPOSED STORM SEWER
	PROPOSED STORM SEWER BY OTHERS
	PROPOSED WATER
	PROPOSED WATER BY OTHERS
	PROPOSED WATER BY OTHERS NOT NEEDED/TO BE REMOVED
	PROPOSED SANITARY
	PROPOSED SANITARY BY OTHERS
	PROPOSED SANITARY BY OTHERS NOT NEEDED/TO BE REMOVED

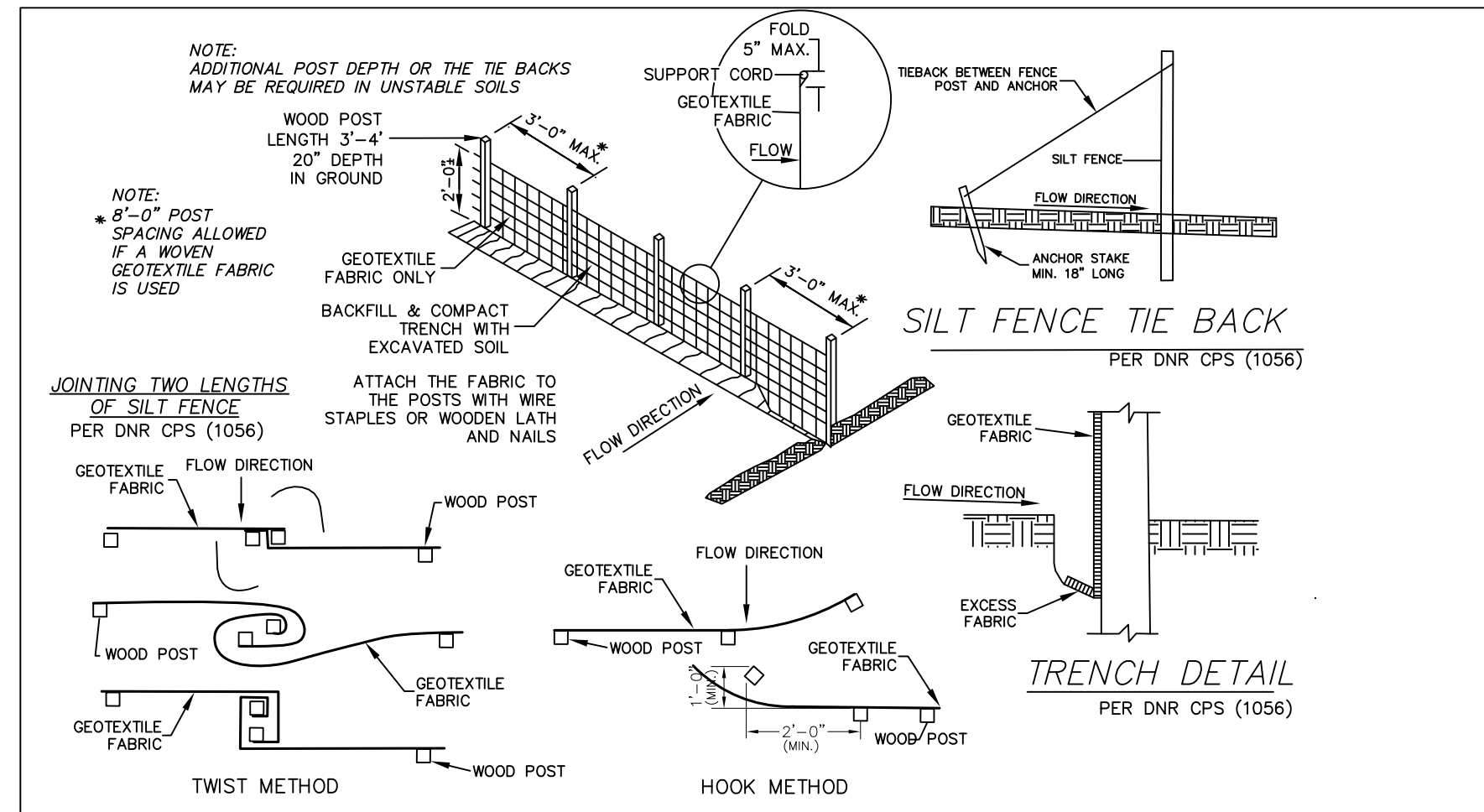


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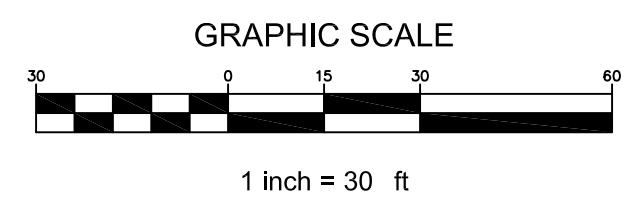
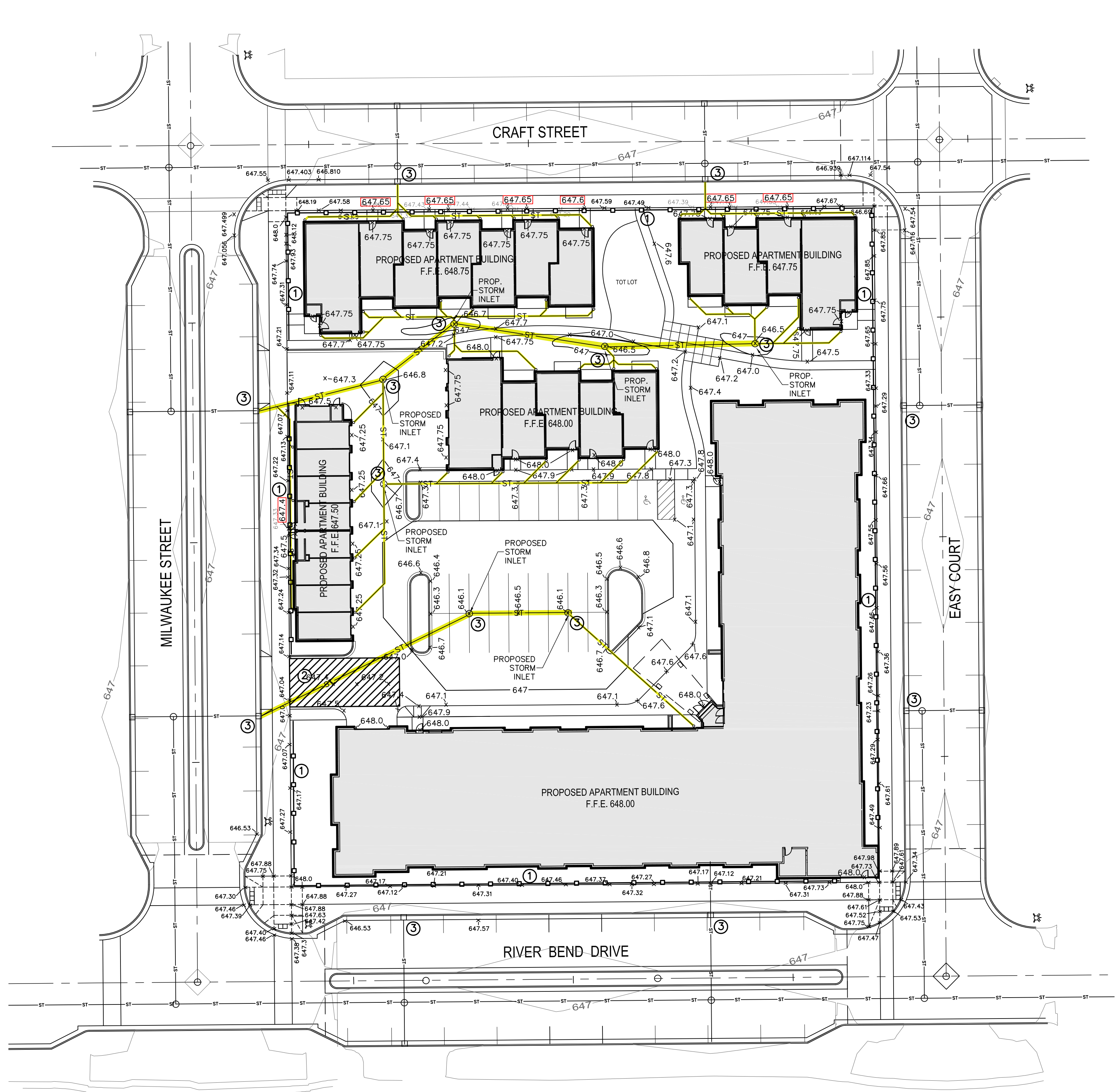
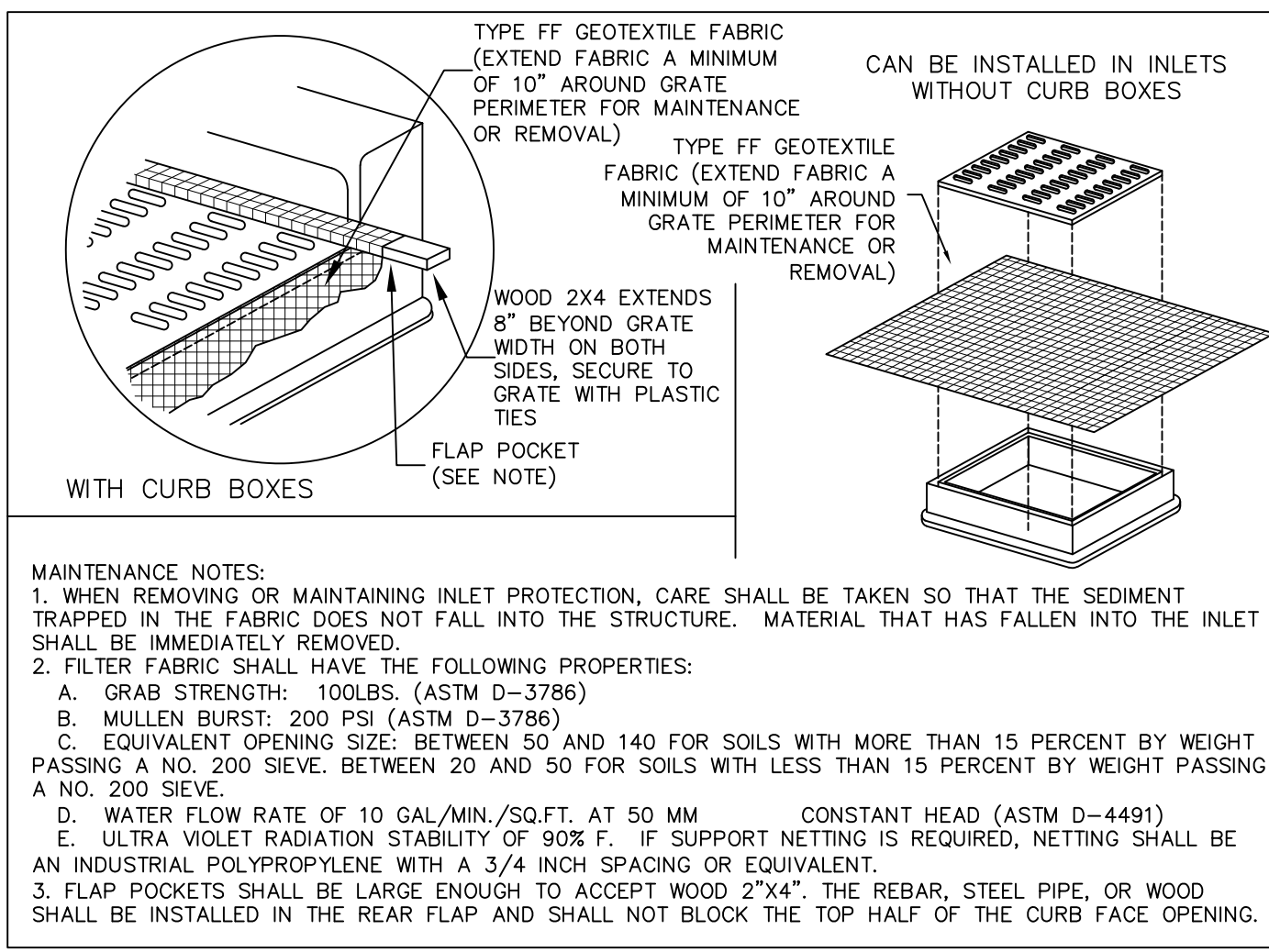
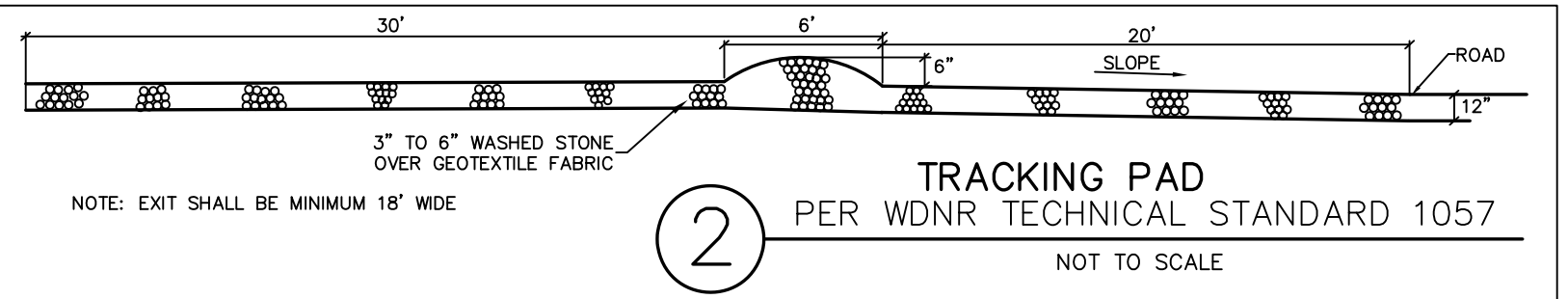
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**SILT FENCE CONSTRUCTION SPECIFICATIONS**  
 PER DNR CPS (1056)

**SILT FENCE**  
 PER WDNR TECHNICAL STANDARD 1056  
 NOT TO SCALE

- CONSTRUCTION SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM
- LOCATE POSTS PER DNR CPS (1056)
- WHEN JOINTS ARE NECESSARY REFER TO DNR CPS (1056)
- FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 50 LB./IN. IN. (MIN.) - AND WITH A FLOW RATE OF AT LEAST 0.3 GAL./SQ. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
- THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" X 6" TRENCH
- THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS.
- POST TO BE 1 1/8" X 1 1/8" HICKORY OR OAK, 3 FEET LONG, SPACED A MAXIMUM OF 3 FEET APART.
- USE WIRE REINFORCEMENT IN UNSTABILIZED MINOR SWALES, DITCHES AND DIVERSIONS.
- USE WSDOT APPROVED SILT FENCE

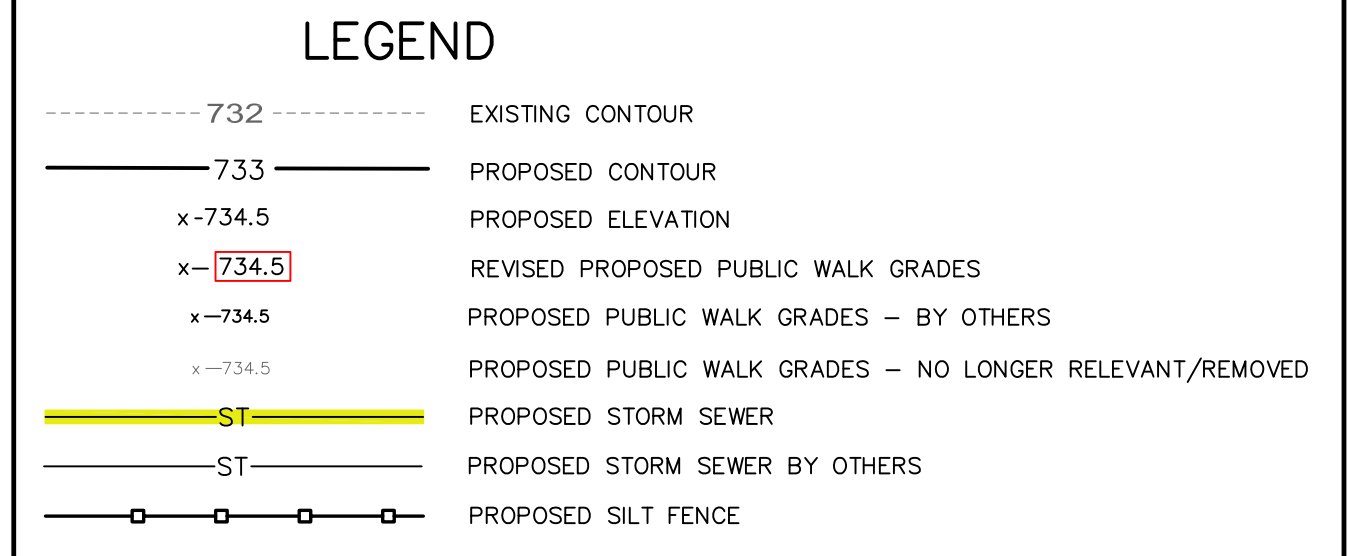


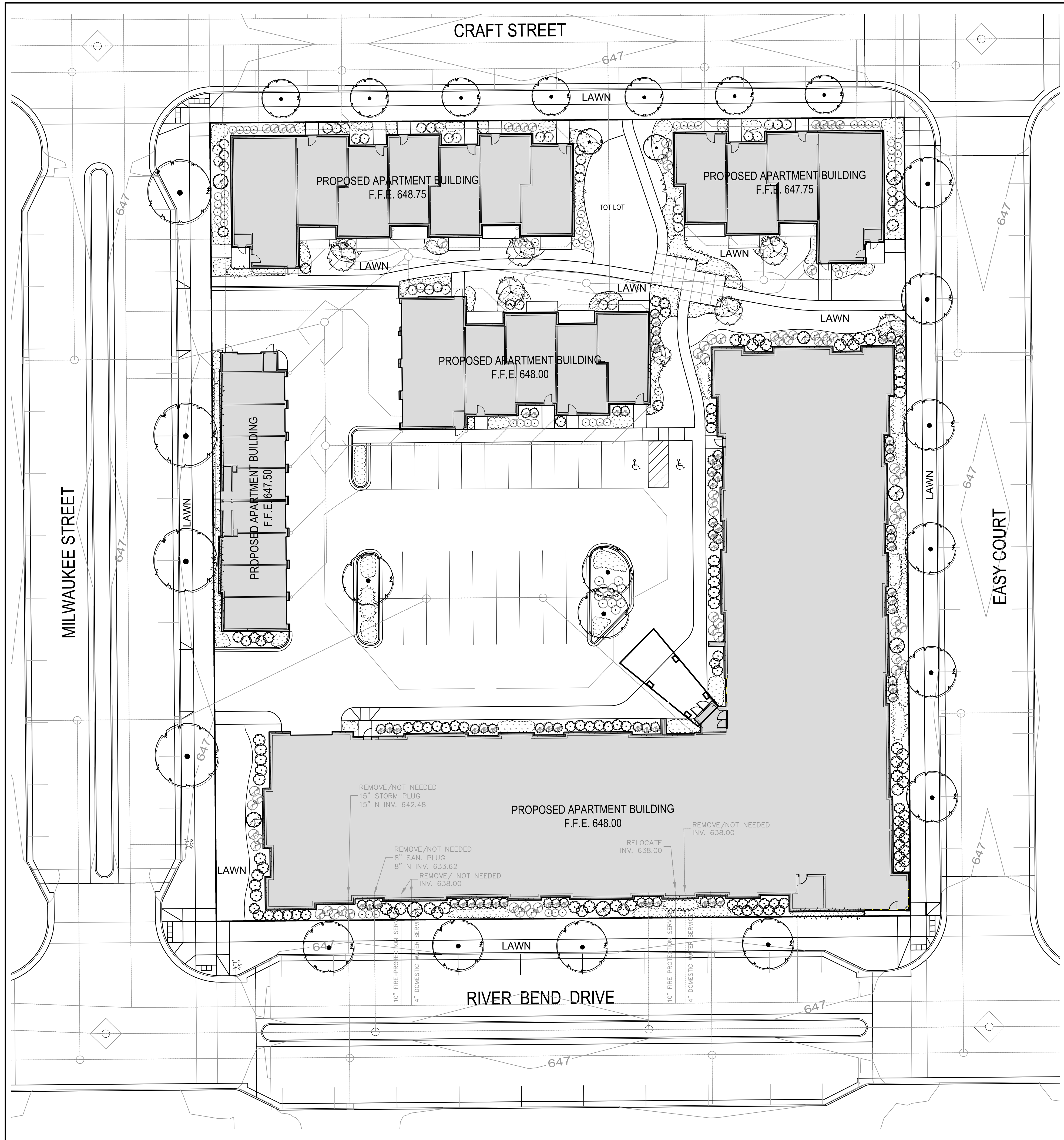
- EROSION CONTROL PRACTICES SCHEDULE**
- SILT FENCE
  - CONSTRUCTION EXIT
  - INLET PROTECTION
  - EROSION MATTING
- AFTER FINISH GRADING AND TOPSOILING AND FOR FINAL STABILIZATION, PROVIDE CLASS 1, TYPE B EROSION MAT PER WSDOT EROSION CONTROL PAL (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.

- CONSTRUCTION SCHEDULE**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
  - FLAG THE WORK LIMIT AREA FOR PROTECTION.
  - INSTALL SILT FENCE.
  - INSTALL CONSTRUCTION EXIT.
  - INSTALL INLET GRATE SCREENS IN ALL INLETS ADJACENT TO SITE. AS SHOWN ON PLAN.
  - ROUGH GRADE SITE. REMOVE ANY EXCESS MATERIAL FROM SITE IMMEDIATELY.
  - BEGIN BUILDING CONSTRUCTION.
  - INSTALL PROPOSED UTILITIES.
  - INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
  - PROVIDE IMMEDIATE TEMPORARY STABILIZATION OF ANY DISTURBED AREAS WHICH WILL REMAIN INACTIVE FOR A PERIOD EXCEEDING 7 DAYS.
  - INSTALL CURBS, WALK AND BASE COURSE OF PAVEMENT.
  - FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS FOR FINAL STABILIZATION.
  - ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
  - AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
  - ESTIMATED TIME BEFORE FINAL STABILIZATION - 9 MONTHS.

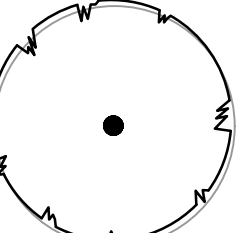
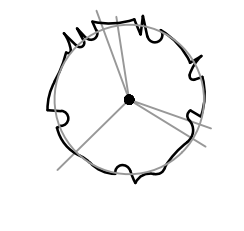
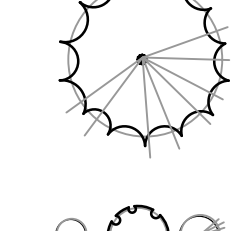
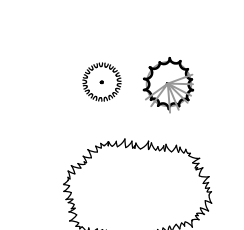
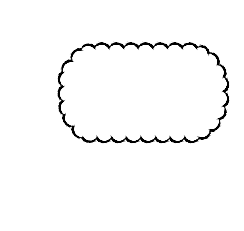


- MAINTENANCE PLAN**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
  - SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
  - ALL SEEDING AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
  - ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

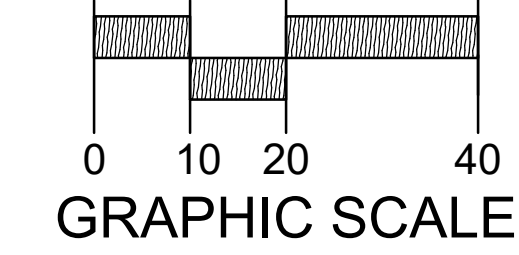
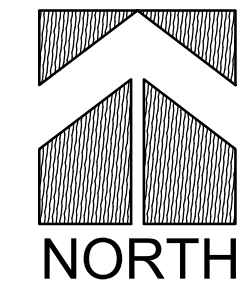
- NOTES:**
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  - DISTURBED AREA = 1,502 ACRES
  - STORM WATER MANAGEMENT WILL BE HANDLED BY OFFSITE REGIONAL FACILITY DESIGNED AND INSTALLED BY SEH
  - ALL CONSTRUCTION MATERIALS TO BE STORED ON-SITE.
  - THE CONTRACTOR IS RESPONSIBLE FOR ANY CITY AND/OR STATE PERMITS FOR ALL WORK IN THE PUBLIC RIGHT OF WAY. ALL WORK IN THE PUBLIC RIGHT OF WAY REQUIRES A STREET OCCUPANCY PERMIT FROM THE CITY.





**PLANT SYMBOL KEY**

-  SHADE TREES - 2 1/2" - 3" CAL. BB : HACKBERRY, MAPLE, HONEYLOCUST, TURKISH FILBERT
  -  ORNAMENTAL TREES - 2" CAL./7' CL BB : SERVICEBERRY, MUSCLEWOOD, FLOWERING CRAB
  -  EVERGREEN TREES - 6'-7' BB -UPRIGHT JUNIPER,ARBORVITAE
  -  DECIDUOUS SHRUBS - 15"-30" POT -CHOKEBERRY, DOGWOOD, HYDRANGEA, DIERVILLA, NINEBARK, SPIREA
  -  EVERGREEN SHRUBS - 15"-18" POT -YEW
  -  ORNAMENTAL GRASSES- 1 GAL: HEAVY METAL SWITCH GRASS, KARL FOERSTER GRASS
  -  PERENNIALS - DAYLILY, CORAL BELLS, HOSTA, CATMINT, RUSSIAN SAGE, SEDUM
- ALL FINAL PLANT SELECTIONS WILL BE DETERMINED ON THE FINAL LANDSCAPE CONSTRUCTION PLANS.

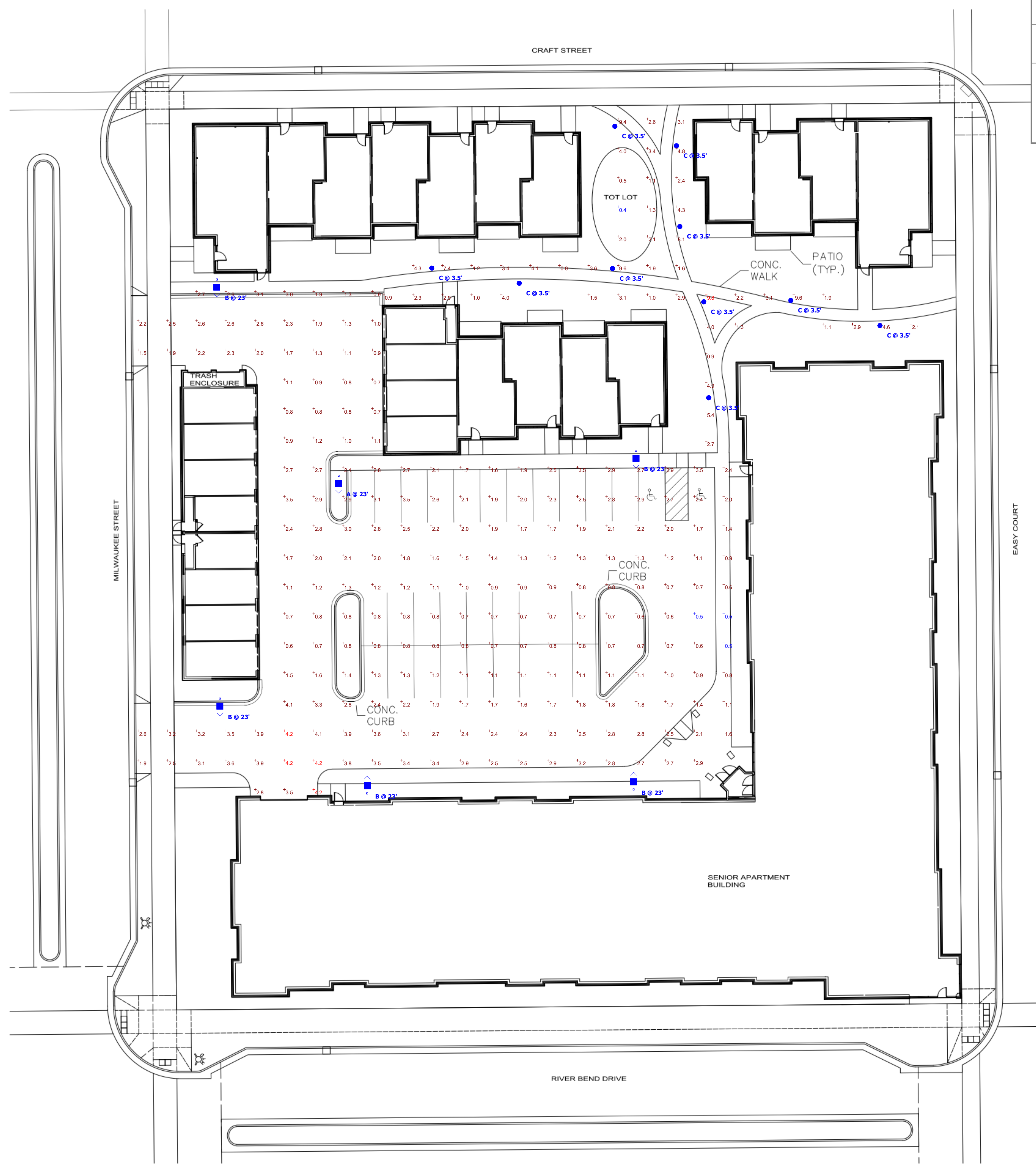


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DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 <b>raSmith</b> CREATIVITY BEYOND ENGINEERING <a href="http://rasmith.com">rasmith.com</a>	
Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI Cedarburg, WI   Naperville, IL   Irvine, CA	
<b>MSP-THE DRIFTLESS LA CROSE, WI</b>	
<b>PRELIMINARY SITE LANDSCAPE PLAN</b>	
© COPYRIGHT 2023 R.A. Smith, Inc. DATE: 01/18/23 SCALE: 1" = 20' JOB NO. 3220294 PROJECT MANAGER: ROB WILLIAMS DESIGNED BY: REW CHECKED BY: REW <b>SHEET NUMBER</b> L100	



Schedule							Number	Lumens	Light Loss	Wattage
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamps	Per Lamp	Factor		
	A	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C25-D-UNV-T3-BZ	PREVAL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K LEDS AND TYPE III OPTICS, BRONZE PAINTED FINISH	2	6594	1	96	
	B	5	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C25-D-UNV-T3-BZ-HSS	PREVAL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K LEDS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD, BRONZE PAINTED FINISH	2	5989	1	96	
	C	10	RAB LIGHTING INC. RC LIGHTING	BLEDR24N (42" ROUND BOLLARD)	EXTRUDED BROWN PAINTED CYLINDRICAL METAL LOWER HOUSING, CAST METAL TOP, CAST FINNED METAL HEAT SINK WITH WHITE PAINTED INTERIOR, MOLDED SPECULAR FINISHED PLASTIC REFLECTOR, 4 WHITE CIRCUIT BOARDS EACH WITH 3 LEDS, 4 WHITE CIRCUIT BOARDS EACH WITH 2 LEDS, FROSTED PLASTIC LENS, CAST BROWN PAINTED METAL BOTTOM.	20	129	1	23.3	

Statistics					
Description	Symbol	Avg	Max	Min	Max/Min
DRIFTLESS		2.2 fc	9.8 fc	0.4 fc	24.5:1

**Note**  
20' POLE MOUNTED ON A 3' BASE.

Plan View  
Scale - 1" = 20ft

MSP - THE DRIFTLESS  
LA CROSSE, WI.



**DESCRIPTION**

The Prevail™ LED pole and fixture combination makes selection and installation of poles and fixtures simple. Included is the die-cast Prevail area, site and roadway luminaire with standard mounting arm, square straight steel pole, anchor bolts, base cover, template and hardware. Stock configurations are available in single and dual fixture combinations. The Prevail luminaire delivers a new level of versatility and value in patent pending, architectural design that delivers energy savings greater than 85% and replaces 150-450W metal halide fixtures. The Prevail fixture and pole combo is ideal for general area/site lighting applications.

**SPECIFICATION FEATURES**

**Construction**  
Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing in dark bronze polyester powder paint. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136.31).

**Optics**  
Available in Type III and IV distributions with lumen packages ranging from 7,000 to 20,000 nominal lumens. Light engine configurations consist of 1 or 2 high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L9150,000 hours at 25°C) per IESNA TM-21. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

**Electrical**  
Available in 120-277V 50/60Hz, 10kV/10kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C.

**Mounting**  
The versatile, patent pending, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting.

**Pole**  
Shaft is one-piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A306 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A518 with two nuts, two flat washers, and one lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt, 4" hook for 1" bolt.

**Finish**  
Housing and cast parts finished in five-stage super TGIC polyester bronze powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.

**Warranty**  
Five-year warranty.

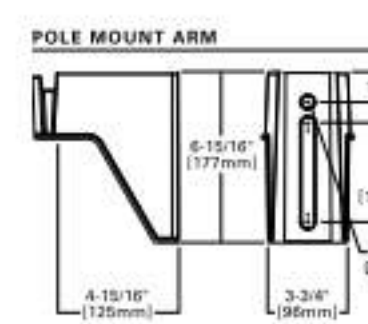
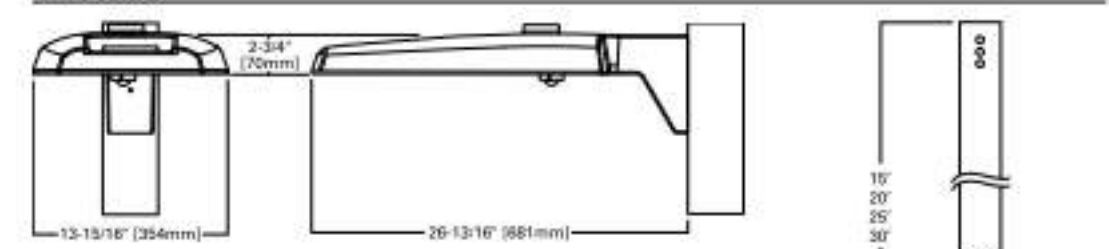
**Lumark**

Catalog #	SEE BELOW	Type	A
Project		Date	
Comments			
Prepared by			



**PPFRV PREVAIL POLE AND FIXTURE COMBO**  
LED  
POLE AND FIXTURE COMBO

**DIMENSIONS**



**CERTIFICATION DATA**  
UL and cUL Wet Location Listed  
IP66-Rated  
3G Vibration Rated (ISO 9001)

**ENERGY DATA**  
Electronic LED Driver  
0.9 Power Factor  
±20% Total Harmonic Distortion  
120-277V/50 and 60Hz  
307V/60Hz, 480V/50Hz  
-40°C Minimum Temperature Rating  
+40°C Ambient Temperature Rating

**EPA**  
Effective Projected Area (Sq. Ft.): 0.75 (1 fixture)

**SHIPPING DATA**  
Approximate Net Weight:  
20lbs. (9.09 kgs.) (1 fixture)

TSI TD50002EN  
September 10, 2021 10:27 AM



**DESCRIPTION**

The Prevail™ LED pole and fixture combination makes selection and installation of poles and fixtures simple. Included is the die-cast Prevail area, site and roadway luminaire with standard mounting arm, square straight steel pole, anchor bolts, base cover, template and hardware. Stock configurations are available in single and dual fixture combinations. The Prevail luminaire delivers a new level of versatility and value in patent pending, architectural design that delivers energy savings greater than 85% and replaces 150-450W metal halide fixtures. The Prevail fixture and pole combo is ideal for general area/site lighting applications.

**SPECIFICATION FEATURES**

**Construction**  
Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing in dark bronze polyester powder paint. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136.31).

**Optics**  
Available in Type III and IV distributions with lumen packages ranging from 7,000 to 20,000 nominal lumens. Light engine configurations consist of 1 or 2 high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L9150,000 hours at 25°C) per IESNA TM-21. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

**Electrical**  
Available in 120-277V 50/60Hz, 10kV/10kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C.

**Mounting**  
The versatile, patent pending, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting.

**Warranty**  
Five-year warranty.

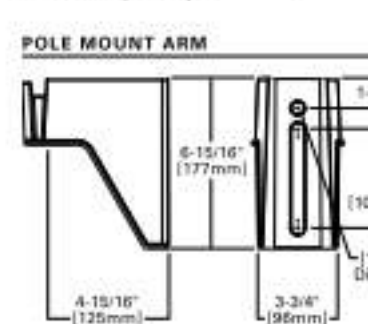
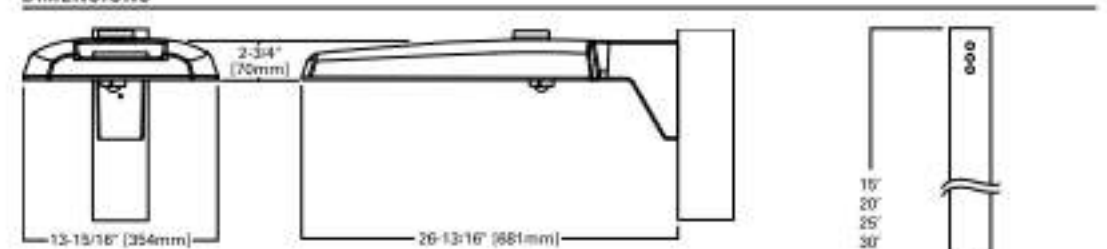
**Lumark**

Catalog #	SEE BELOW	Type	B
Project		Date	
Comments			
Prepared by			



**PPFRV PREVAIL POLE AND FIXTURE COMBO**  
LED  
POLE AND FIXTURE COMBO

**DIMENSIONS**



**CERTIFICATION DATA**  
UL and cUL Wet Location Listed  
IP66-Rated  
3G Vibration Rated (ISO 9001)

**ENERGY DATA**  
Electronic LED Driver  
0.9 Power Factor  
±20% Total Harmonic Distortion  
120-277V/50 and 60Hz  
307V/60Hz, 480V/50Hz  
-40°C Minimum Temperature Rating  
+40°C Ambient Temperature Rating

**EPA**  
Effective Projected Area (Sq. Ft.): 0.75 (1 fixture)

**SHIPPING DATA**  
Approximate Net Weight:  
20lbs. (9.09 kgs.) (1 fixture)

TSI TD50002EN  
September 10, 2021 10:27 AM



**BDLEDR24N**



LED bolted with architectural quality and strength at an affordable price point. Cylindrical post with dome head. Available in 4 light pattern configurations including 360° (24W), 270° (18W), 180° (12W option) & 90° (12W standard).  
Color: Bronze Weight: 11.4 lbs.

Project:	TYPE C
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	24W
120V	0.36A	Color Temp	4000K (Neutral)
208V	0.18A	Color Accuracy	72 CRI
240V	0.15A	L70 LifeSpan	100,000 Hours
277V	0.14A	Lumens	2,577 lm
Input Watts	23.3W	Efficacy	110.6 lm/W

**Technical Specifications**

**Compliance**  
**UL Listed:**  
Suitable for wet locations. Suitable for mounting within 4 ft. (1.2m) of the ground.

**IESNA LM-79 & LM-80 Testing:**  
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**DLC Listed:**  
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.  
DLC Product Code: P65W0M37

**LED Characteristics**  
**LED:**  
Long-life, high-efficiency, surface-mount LEDs.  
**Color Consistency:**  
5-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

**Color Stability:**  
LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period.

**Color Uniformity:**  
RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

**Performance**  
**Lifespan:**  
100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations.

**Wattage Equivalency:**  
Equivalent to 70W Metal Halide.  
**Optical**  
**BUG Rating:**  
B2 U3 G2

**Construction**  
**Cold Weather Starting:**  
The minimum starting temperature is -40°C (-40°F).

**Thermal Management:**  
Cast aluminum Thermal Management system for optimal heat sinking. The BDLED is designed for cool operation, maximum efficiency and long life by minimizing LED junction temperature.

**Housing:**  
Die-cast aluminum with extruded aluminum post.  
**Lens:**  
Frosted vandal resistant polycarbonate.

Need help? Tech help line: (800) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com  
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architecture · interior design · planning  
6515 Grand Teton Plaza, Suite 120  
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p608.829.4444 f608.829.4445 dimensionivmadison.com

**MSP - THE DRIFTLESS**

LA CROSSE, WI

DATE OF ISSUE: 01/19/2023

REVISIONS:

PROJECT # 21136

**SITE LIGHTING SPEC SHEETS**

**MSP - THE DRIFTLESS**

La Crosse, WI



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**ARCHITECTURAL SITE PLAN**

1 ARCHITECTURAL SITE PLAN 1/16" = 1'-0" 0' 4' 8' 16' N

**AS-1.0**

**MSP - THE DRIFTLESS**

LA CROSSE, WI



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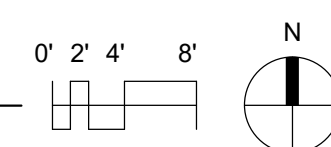
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**FLOOR PLANS - APARTMENTS**

**A-1.0**

**1 GROUND FLOOR PLAN**  
332' x 110'



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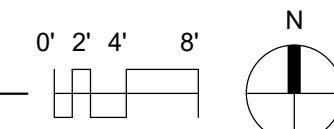
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**FLOOR PLANS -  
APARTMENTS**

**A-1.1**

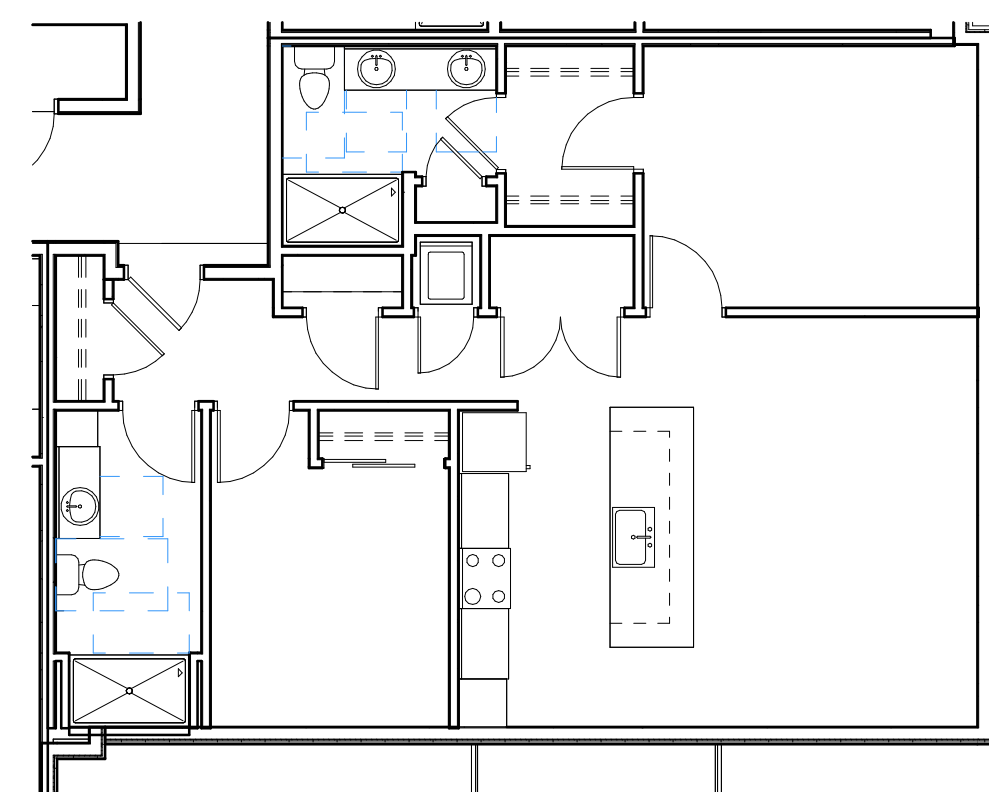
**1 FIRST FLOOR PLAN**



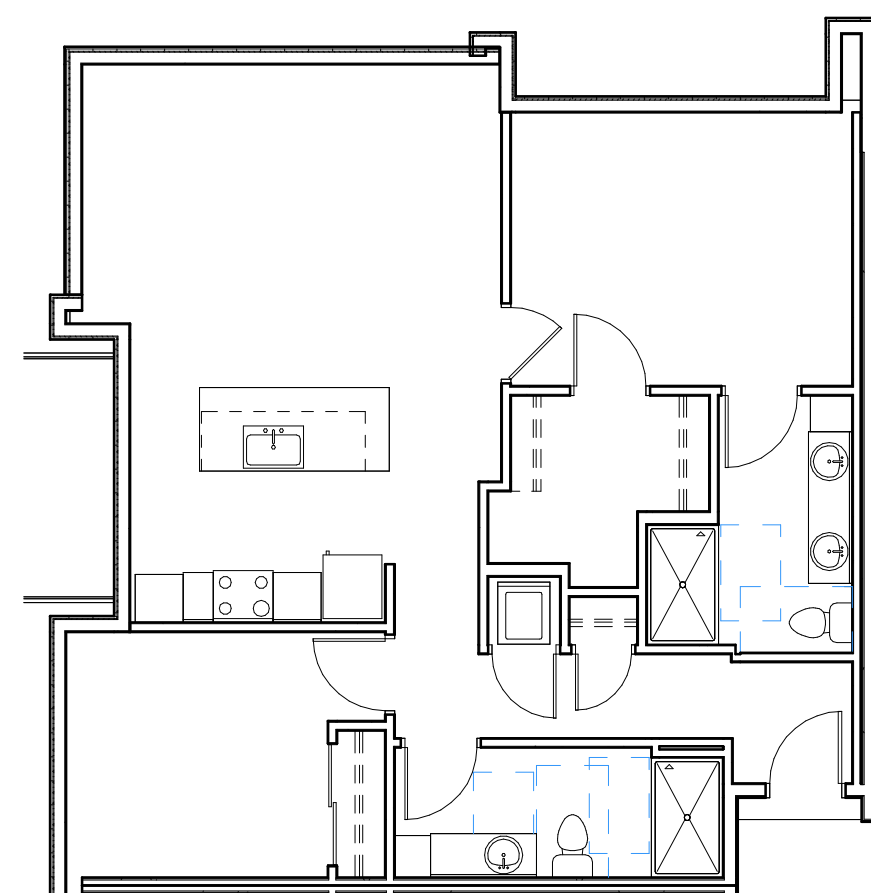
3/32" = 1'-0"

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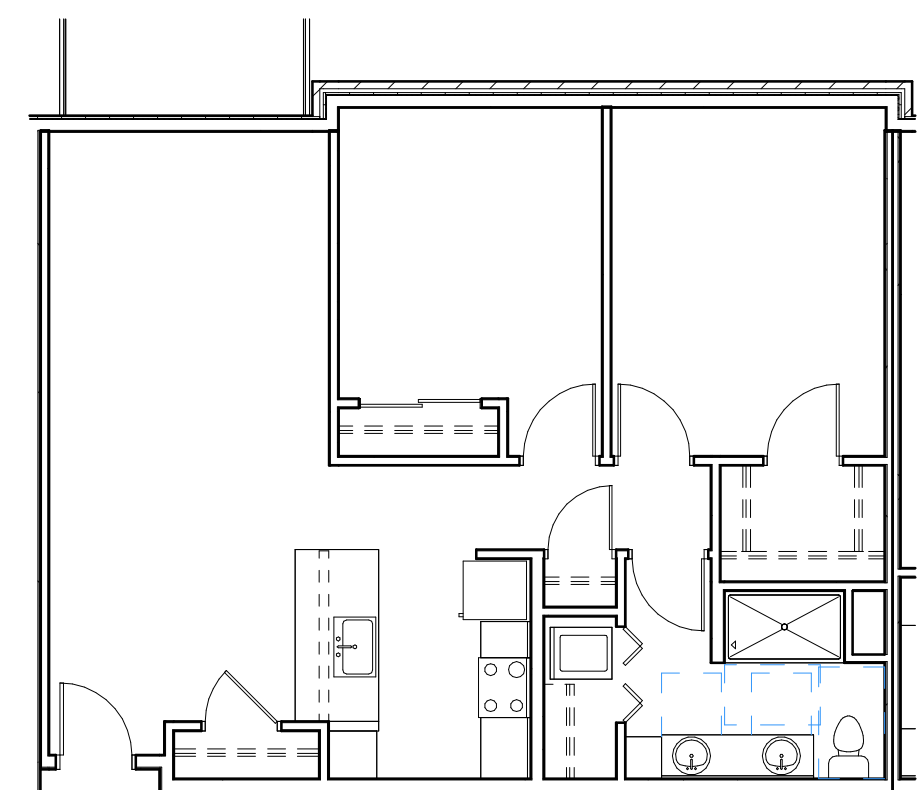
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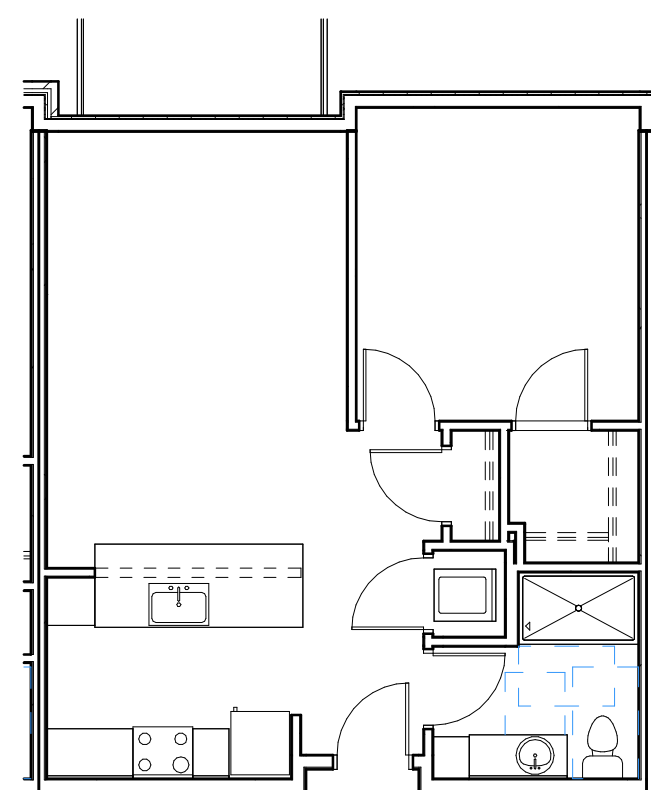
**5 2 BEDROOM UNIT - TYPE 3**  
1/8" = 1'-0" 0' 2' 4' 8"



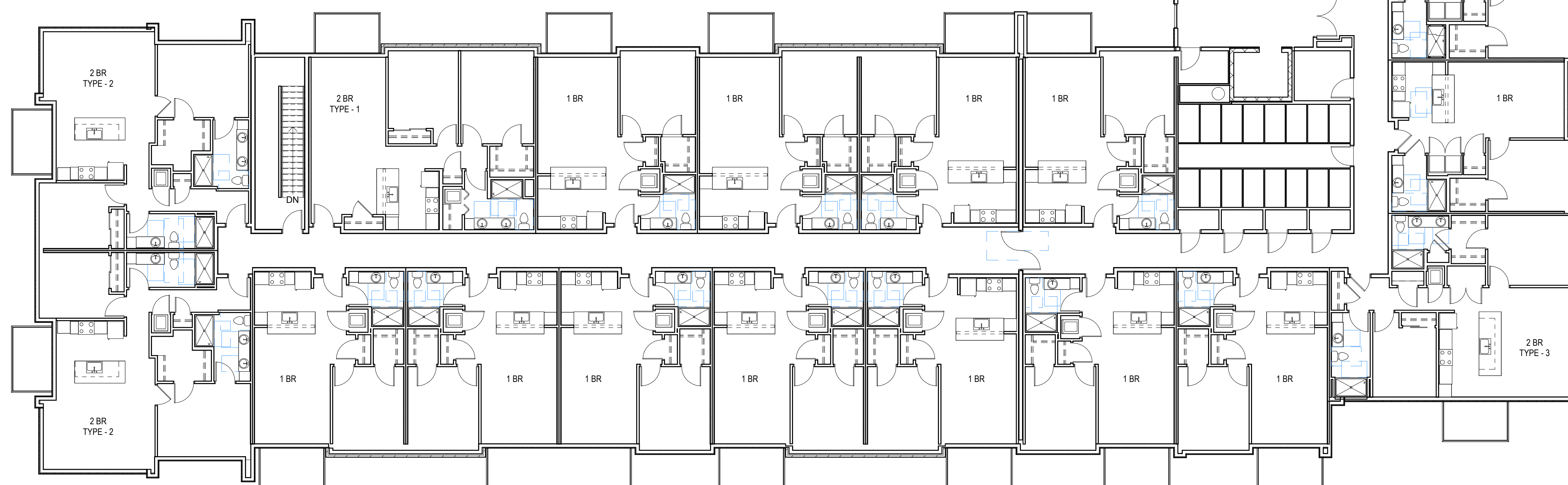
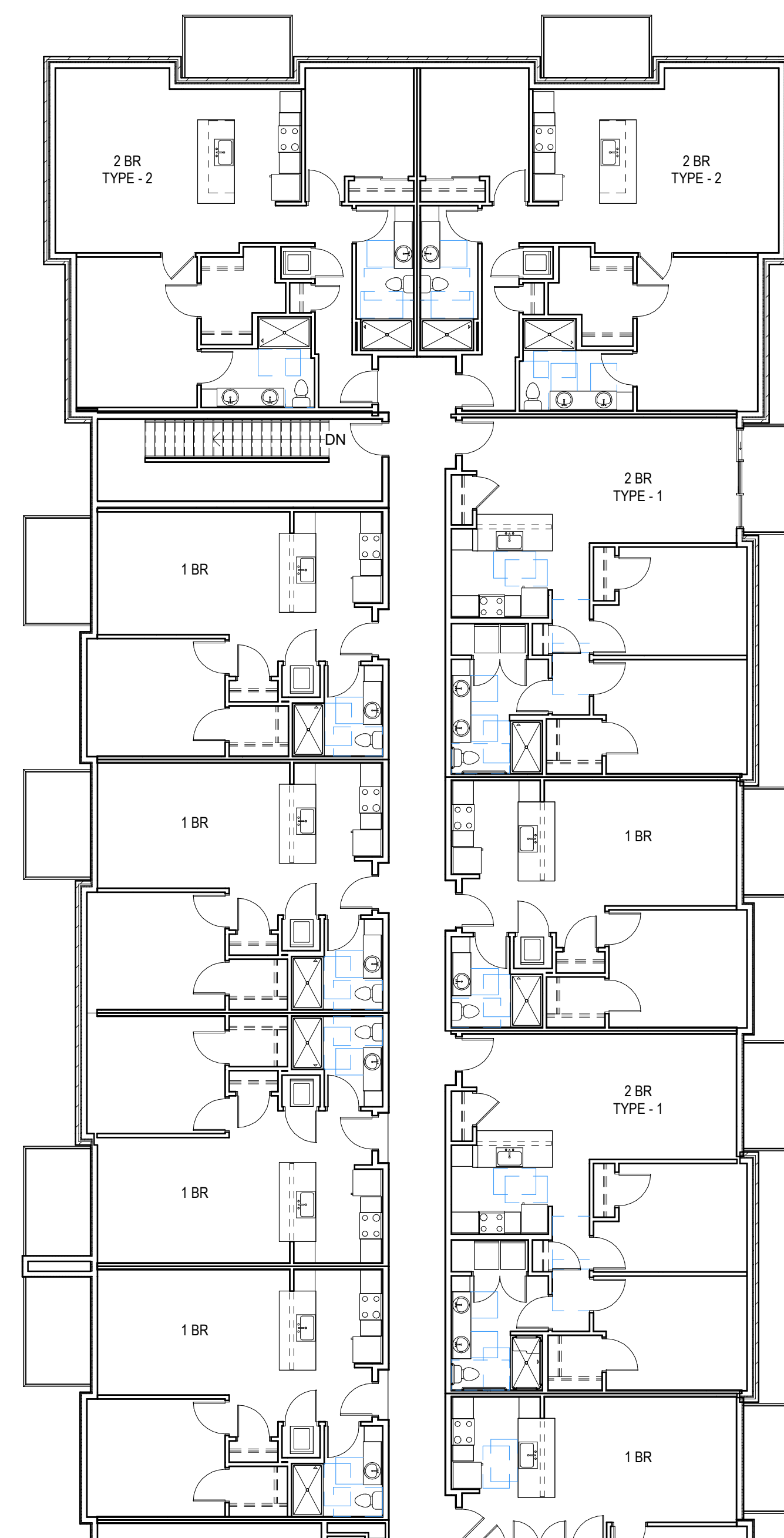
**4 2 BEDROOM UNIT - TYPE 2**  
1/8" = 1'-0" 0' 2' 4' 8"



**3 2 BEDROOM UNIT - TYPE 1**  
1/8" = 1'-0" 0' 2' 4' 8"



**2 1 BEDROOM UNIT**  
1/8" = 1'-0" 0' 2' 4' 8"



**1 SECOND - FOURTH FLOOR PLANS**  
3/32" = 1'-0" 0' 2' 4' 8" N

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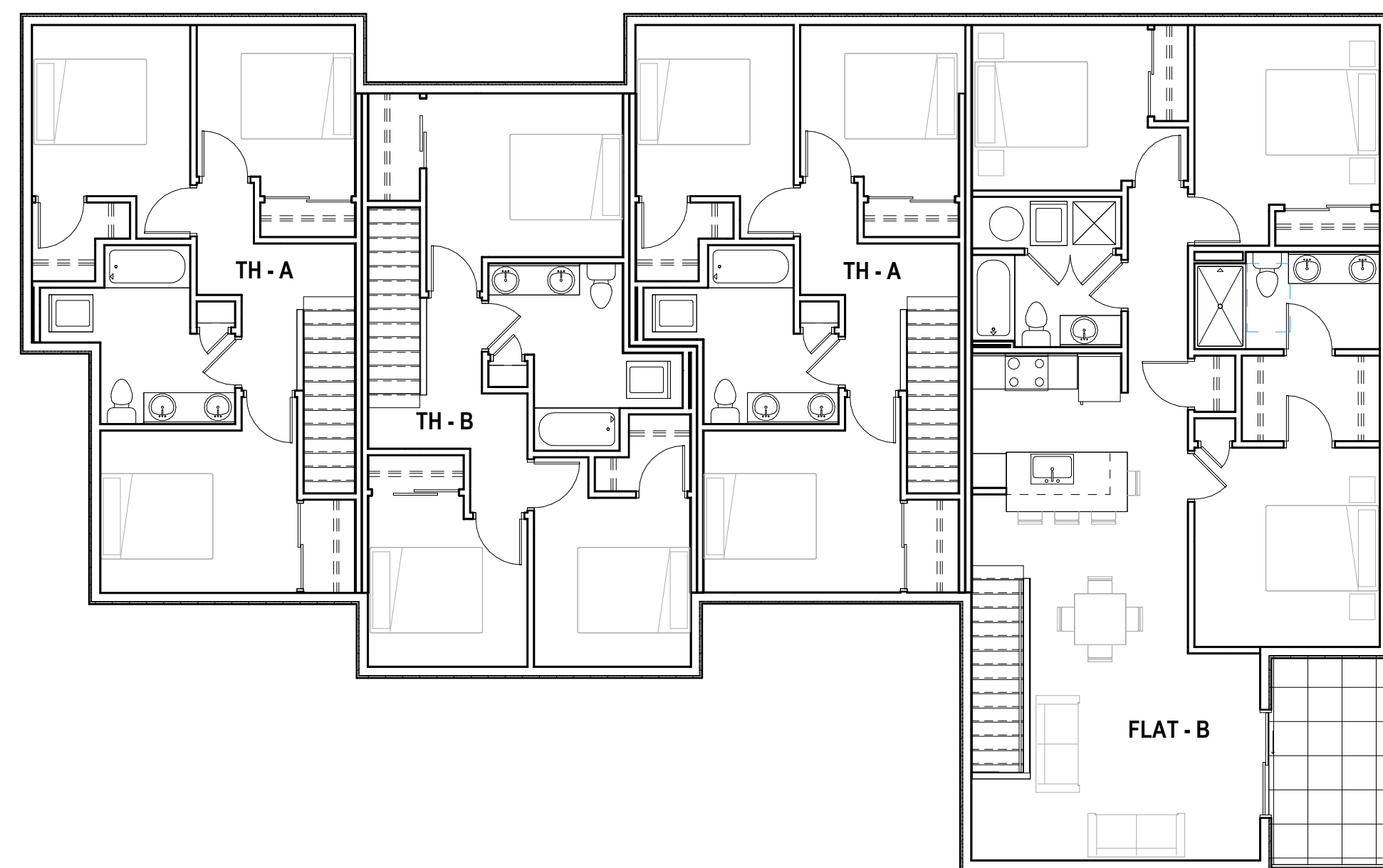

PROJECT # 21136

**FLOOR PLANS - APARTMENTS & UNIT PLANS**

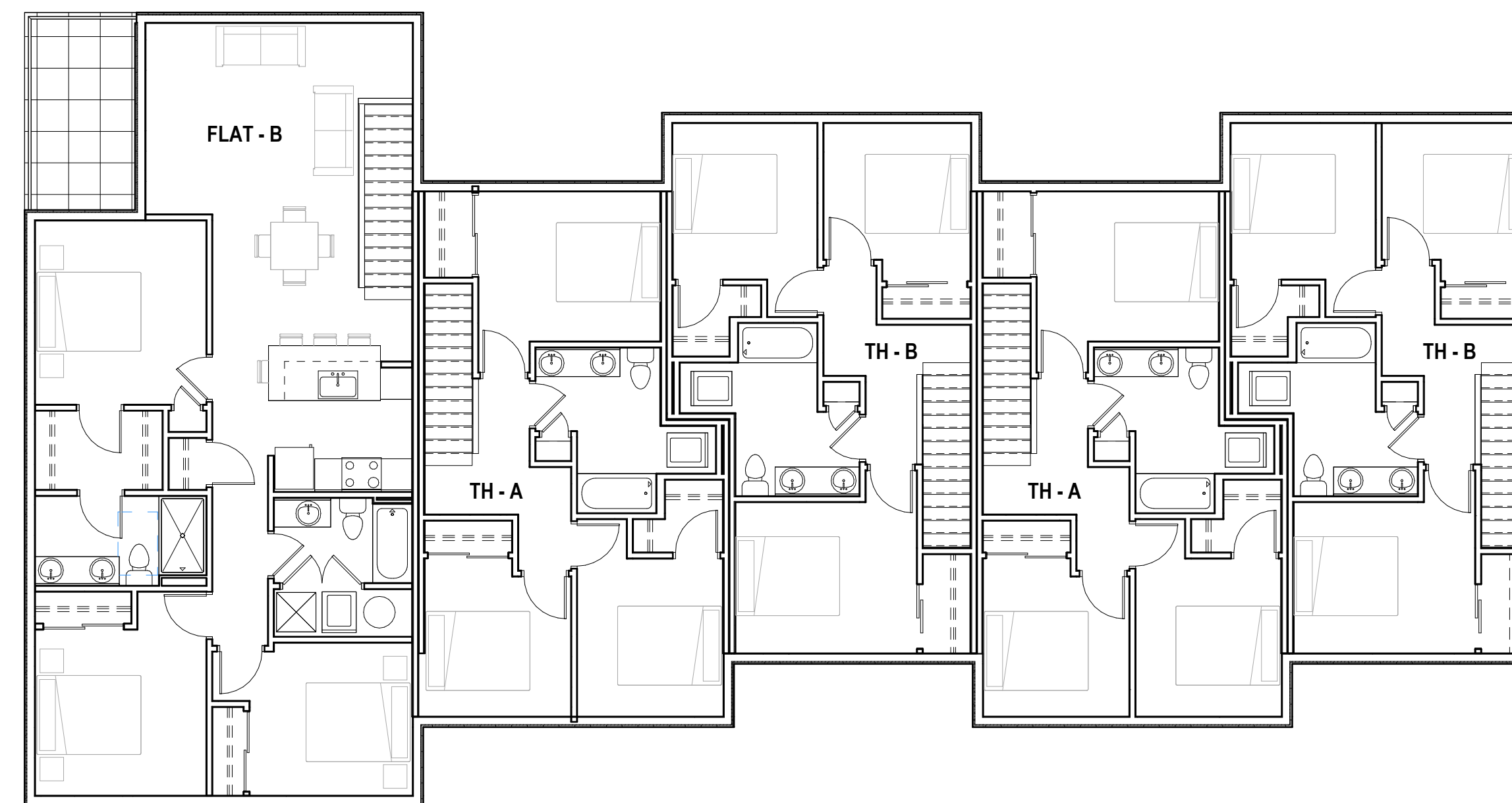
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**MSP - THE DRIFTLESS**

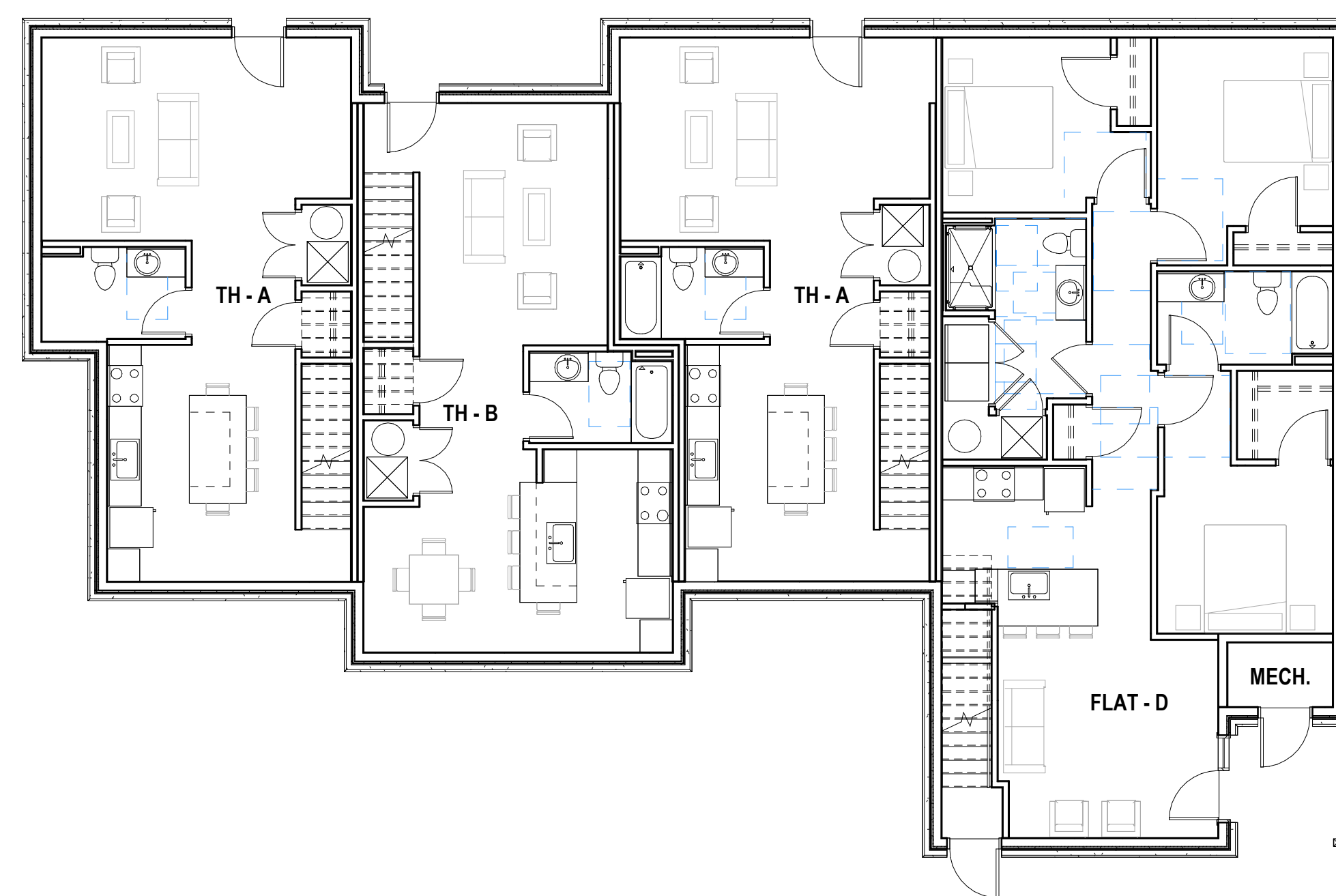
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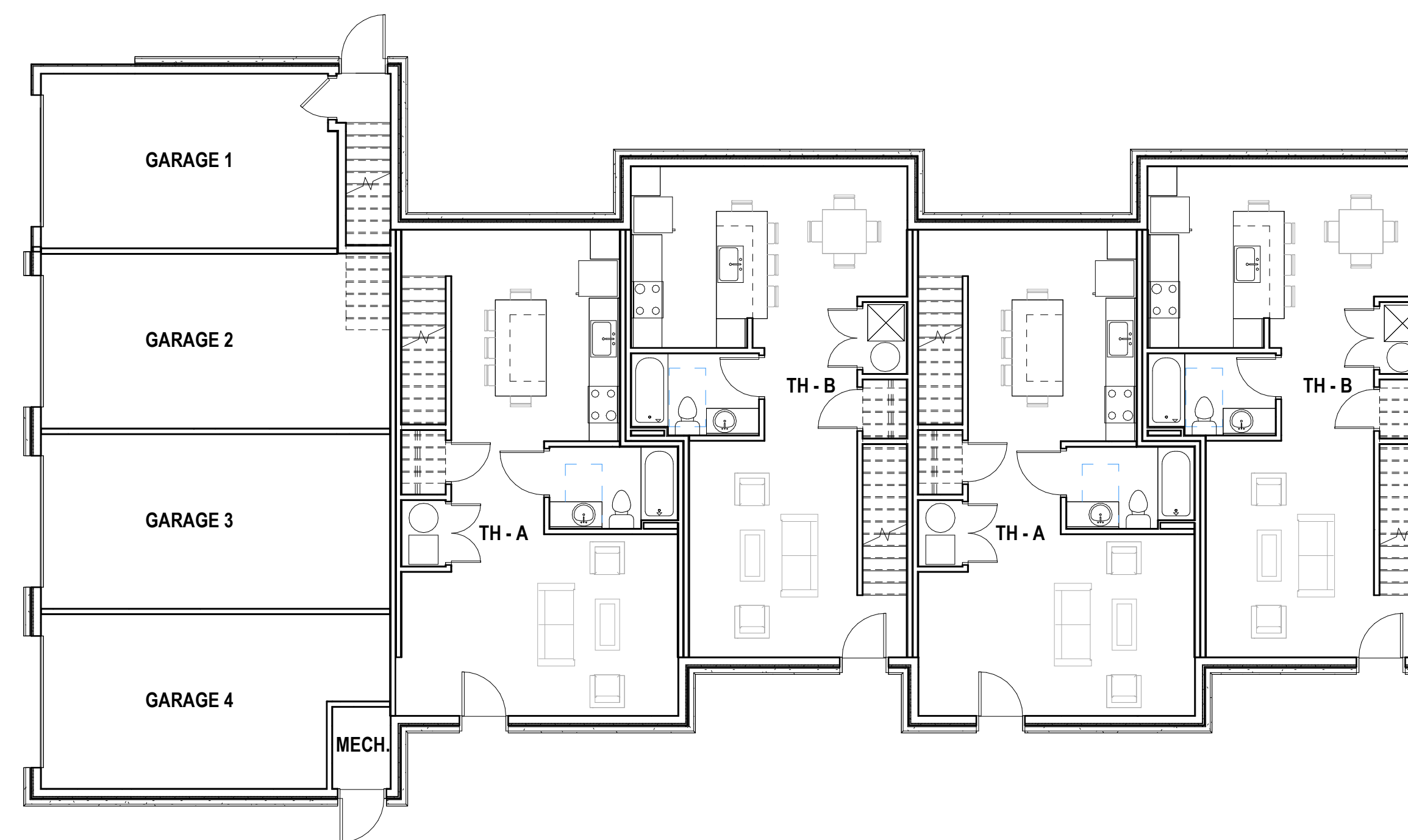
**4 SECOND FLOOR PLAN - BUILDING B**  
1/8" = 1'-0"



**2 SECOND FLOOR PLAN - BUILDING A**  
1/8" = 1'-0"



**3 GROUND FLOOR PLAN - BUILDING B**  
1/8" = 1'-0"



**1 GROUND FLOOR PLAN - BUILDING A**  
1/8" = 1'-0"

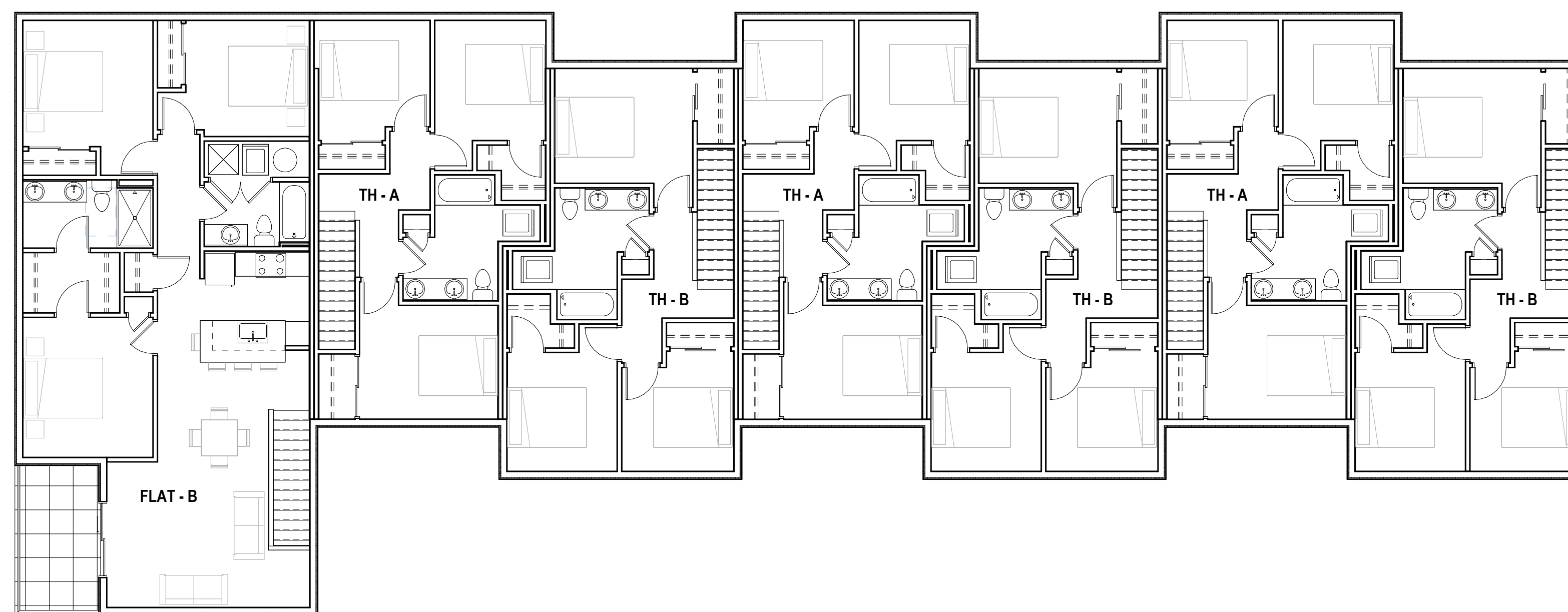
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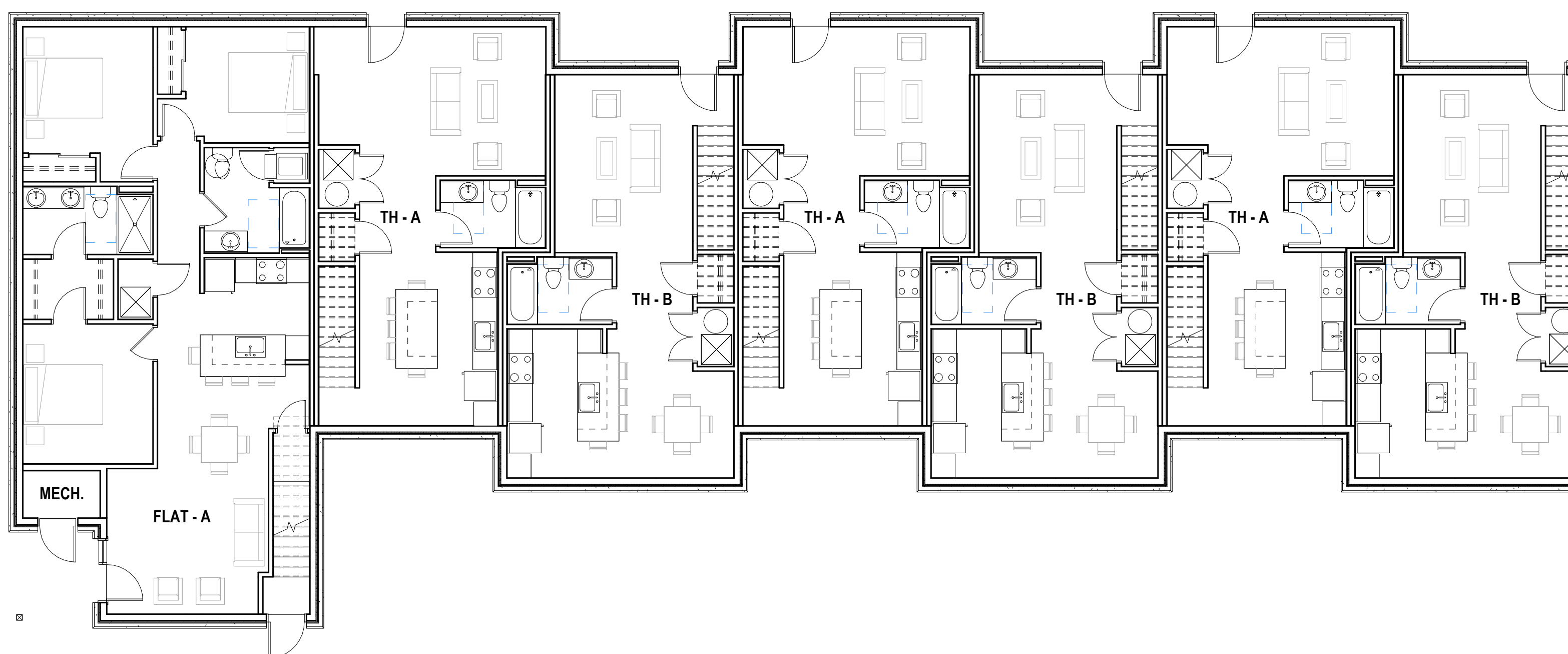

PROJECT # 21136

**FLOOR PLANS -  
TOWNHOUSES &  
FLATS**

**A-1.3**



**2 SECOND FLOOR PLAN - BUILDING C**  
1/8" = 1'-0" 0' 2' 4' 8' N



**1 GROUND FLOOR PLAN - BUILDING C**  
1/8" = 1'-0" 0' 2' 4' 8' N

**MSP - THE DRIFTLESS**

La Crosse, WI

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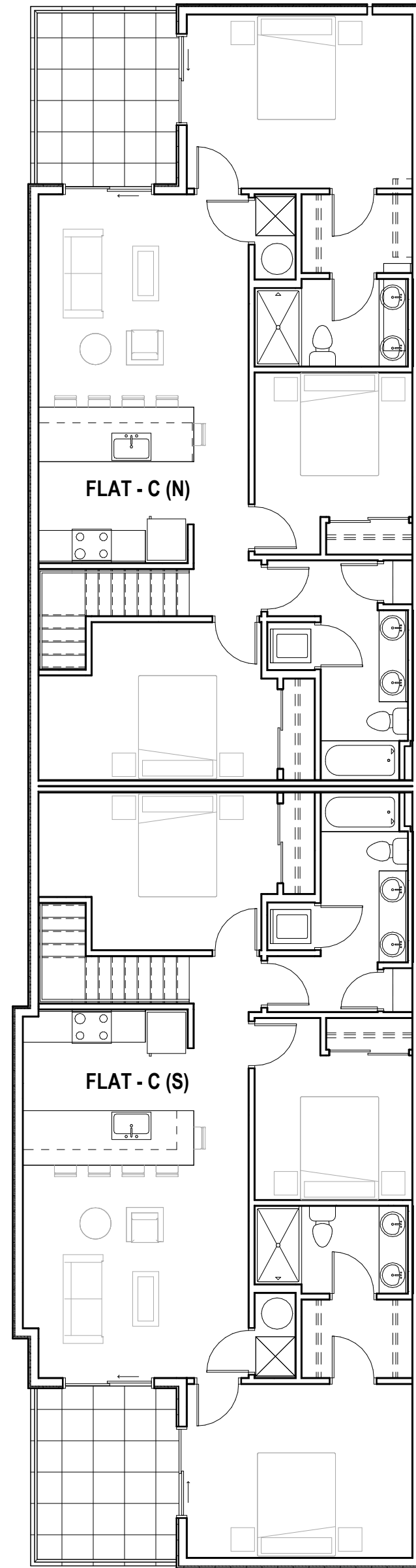

PROJECT # 21136

**FLOOR PLANS -  
TOWNHOUSES &  
FLATS**

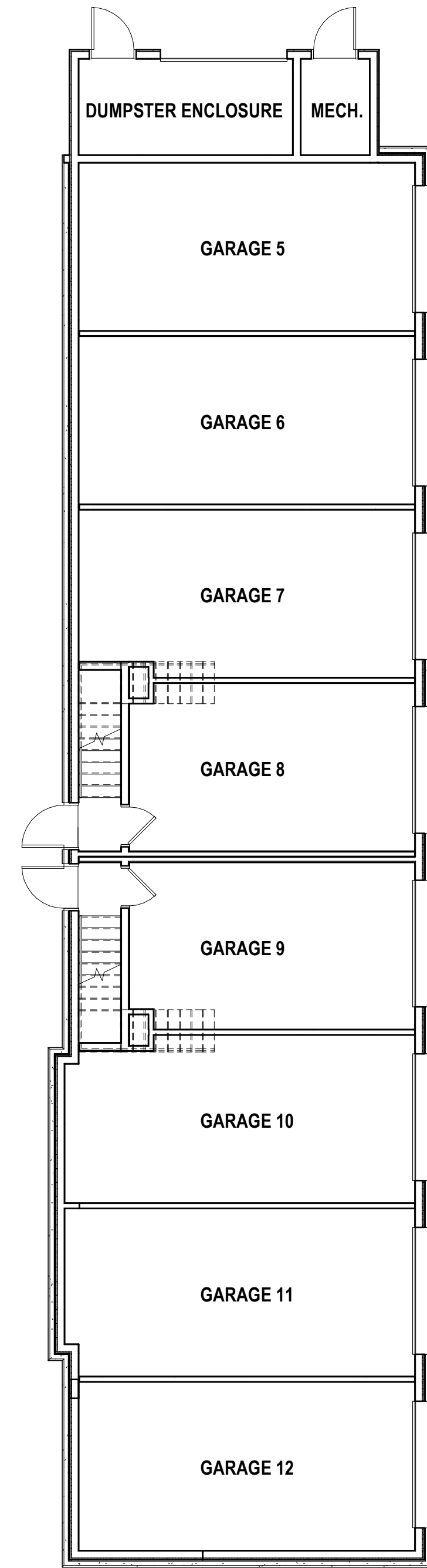
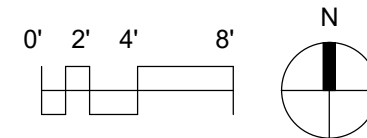
**A-1.4**

**MSP - THE DRIFTLESS**

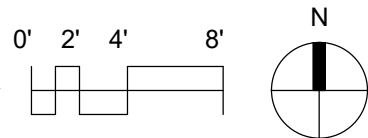
La Crosse, WI



**2 SECOND FLOOR PLAN - BUILDING D**  
1/8" = 1'-0"



**1 GROUND FLOOR PLAN - BUILDING D**  
1/8" = 1'-0"



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**FLOOR PLANS -  
TOWNHOUSES &  
FLATS**

**A-1.5**



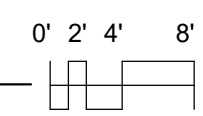
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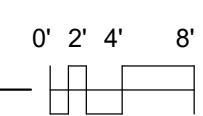
**1 SOUTH ELEVATION (SENIOR)**

3/32" = 1'-0"



**2 EAST ELEVATION (SENIOR)**

3/32" = 1'-0"



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**EXTERIOR ELEVATIONS - APARTMENTS**

**A-2.0**



**1 NORTH ELEVATION (SENIOR)**  
3/32" = 1'-0"  
0' 2' 4' 8'



**2 WEST ELEVATION (SENIOR)**  
3/32" = 1'-0"  
0' 2' 4' 8'

**MSP - THE DRIFTLESS**  
LA CROSSE, WI

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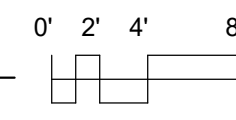

PROJECT # 21136

**EXTERIOR ELEVATIONS - APARTMENTS**

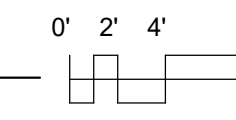
**A-2.1**



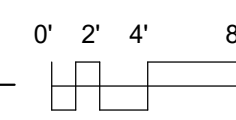
**1 WEST ELEVATION TOWNHOME A**  
1/8" = 1'-0"



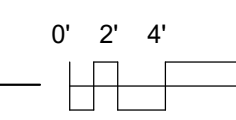
**2 SOUTH ELEVATION TOWNHOME A**  
1/8" = 1'-0"



**4 EAST ELEVATION TOWNHOME A**  
1/8" = 1'-0"



**3 NORTH ELEVATION TOWNHOME A**  
1/8" = 1'-0"



**MSP - THE DRIFTLESS**

LA CROSSE, WI

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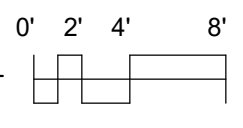
PROJECT # 21136

**EXTERIOR  
ELEVATIONS -  
TOWNHOUSES &  
FLATS**

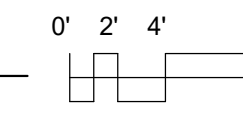
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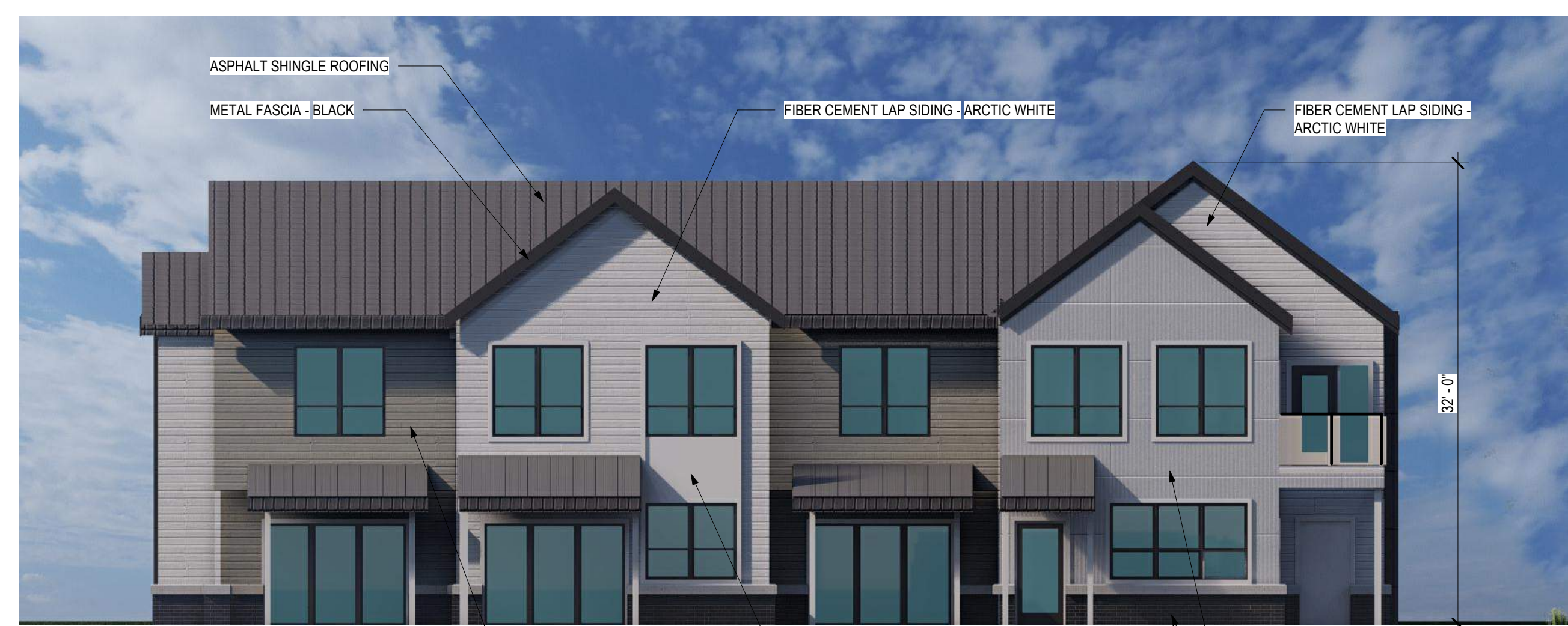
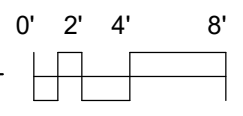
**1 EAST ELEVATION TOWNHOME B**  
1/8" = 1'-0"



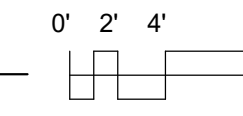
**2 NORTH ELEVATION TOWNHOME B**  
1/8" = 1'-0"



**4 WEST ELEVATION TOWNHOME B**  
1/8" = 1'-0"



**3 SOUTH ELEVATION TOWNHOME B**  
1/8" = 1'-0"



**MSP - THE DRIFTLESS**

LA CROSSE, WI

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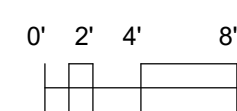
**EXTERIOR ELEVATIONS - TOWNHOUSES & FLATS**

**A-2.3**

METAL FASCIA - BLACK  
FIBER CEMENT LAP SIDING - ARCTIC WHITE  
FIBER CEMENT PANEL SIDING - ARCTIC WHITE  
FIBER CEMENT PANEL SIDING - ARCTIC WHITE  
BRICK VENEER - BLACK VELOUR



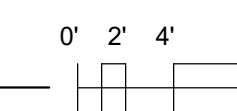
**1 EAST ELEVATION TOWNHOME C**  
1/8" = 1'-0"



FIBER CEMENT PANEL SIDING - RICH ESPRESSO  
FIBER CEMENT PANEL SIDING - MONTEREY TAUPE



**4 WEST ELEVATION TOWNHOME C**  
1/8" = 1'-0"



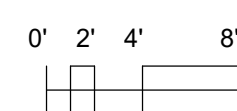
FIBER CEMENT PANEL SIDING - RICH ESPRESSO  
FIBER CEMENT LAP SIDING - ARCTIC WHITE  
FIBER CEMENT PANEL SIDING - ARCTIC WHITE

METAL FASCIA - BLACK

FIBER CEMENT LAP SIDING - MONTEREY TAUPE  
ASPHALT SHINGLE ROOFING



**2 NORTH ELEVATION TOWNHOME C**  
1/8" = 1'-0"



STANDING SEAM METAL ROOFING

BRICK VENEER - BLACK VELOUR  
FIBER CEMENT TRIM AT POSTS - ARCTIC WHITE

FIBER CEMENT LAP SIDING - ARCTIC WHITE

FIBER CEMENT PANEL SIDING - MONTEREY TAUPE  
FIBER CEMENT PANEL SIDING - RICH ESPRESSO

METAL FASCIA - COLOR TO MATCH RICH ESPRESSO

METAL FASCIA - BLACK

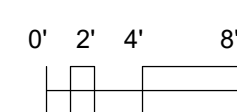
FIBER CEMENT PANEL SIDING - ARCTIC WHITE

FIBER CEMENT LAP SIDING - ARCTIC WHITE

ASPHALT SHINGLE ROOFING



**3 SOUTH ELEVATION TOWNHOME C**  
1/8" = 1'-0"



FIBER CEMENT PANEL SIDING - ARCTIC WHITE

STANDING SEAM METAL ROOFING

BRICK VENEER - BLACK VELOUR

FIBER CEMENT LAP SIDING - MONTEREY TAUPE

**MSP - THE DRIFTLESS**

LA CROSSE, WI

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**EXTERIOR ELEVATIONS - TOWNHOUSES & FLATS**

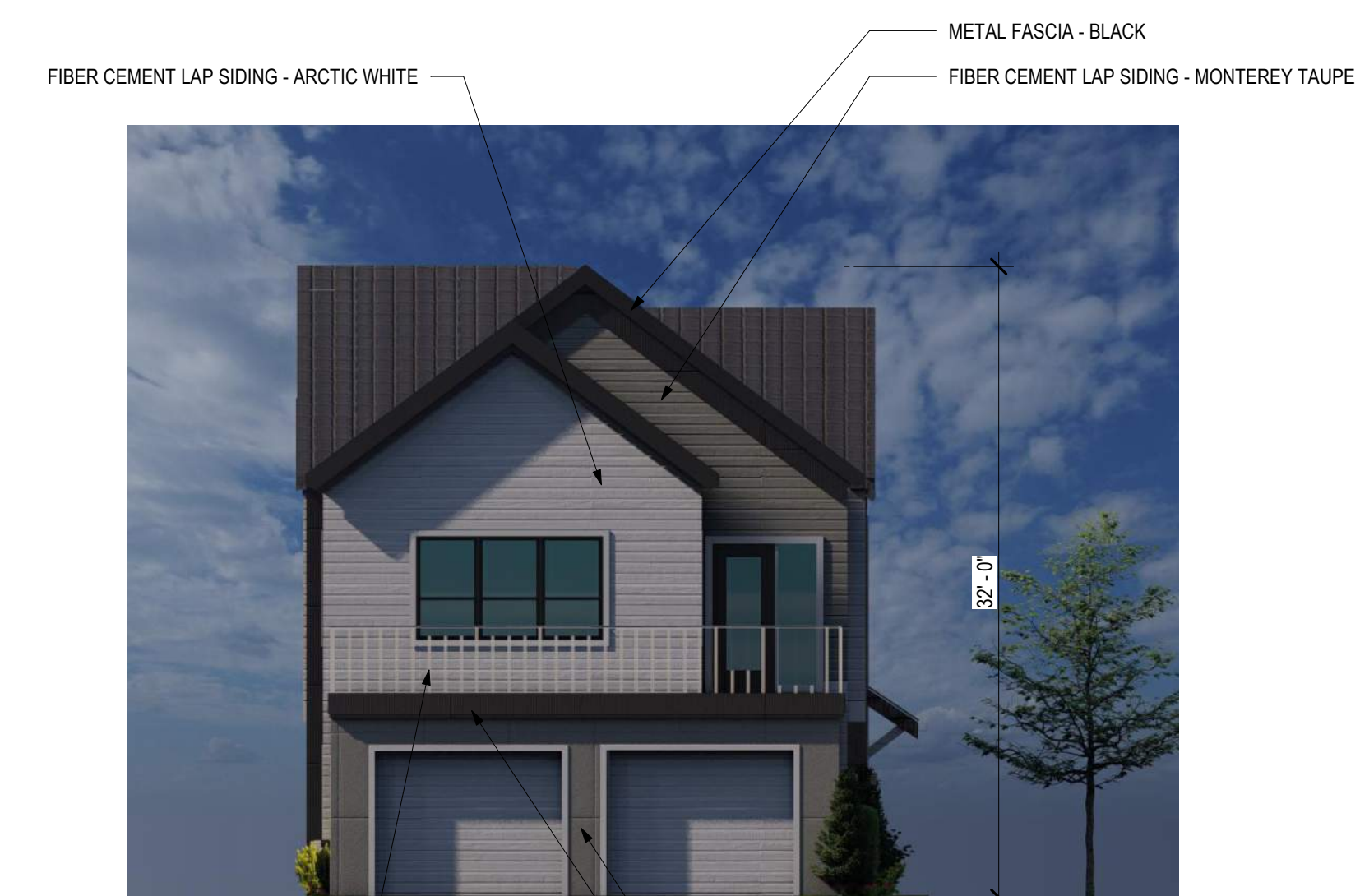
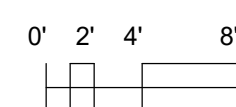
**A-2.4**

**MSP - THE  
DRIFTLESS**

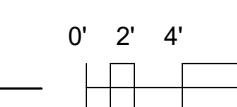
LA CROSSE, WI



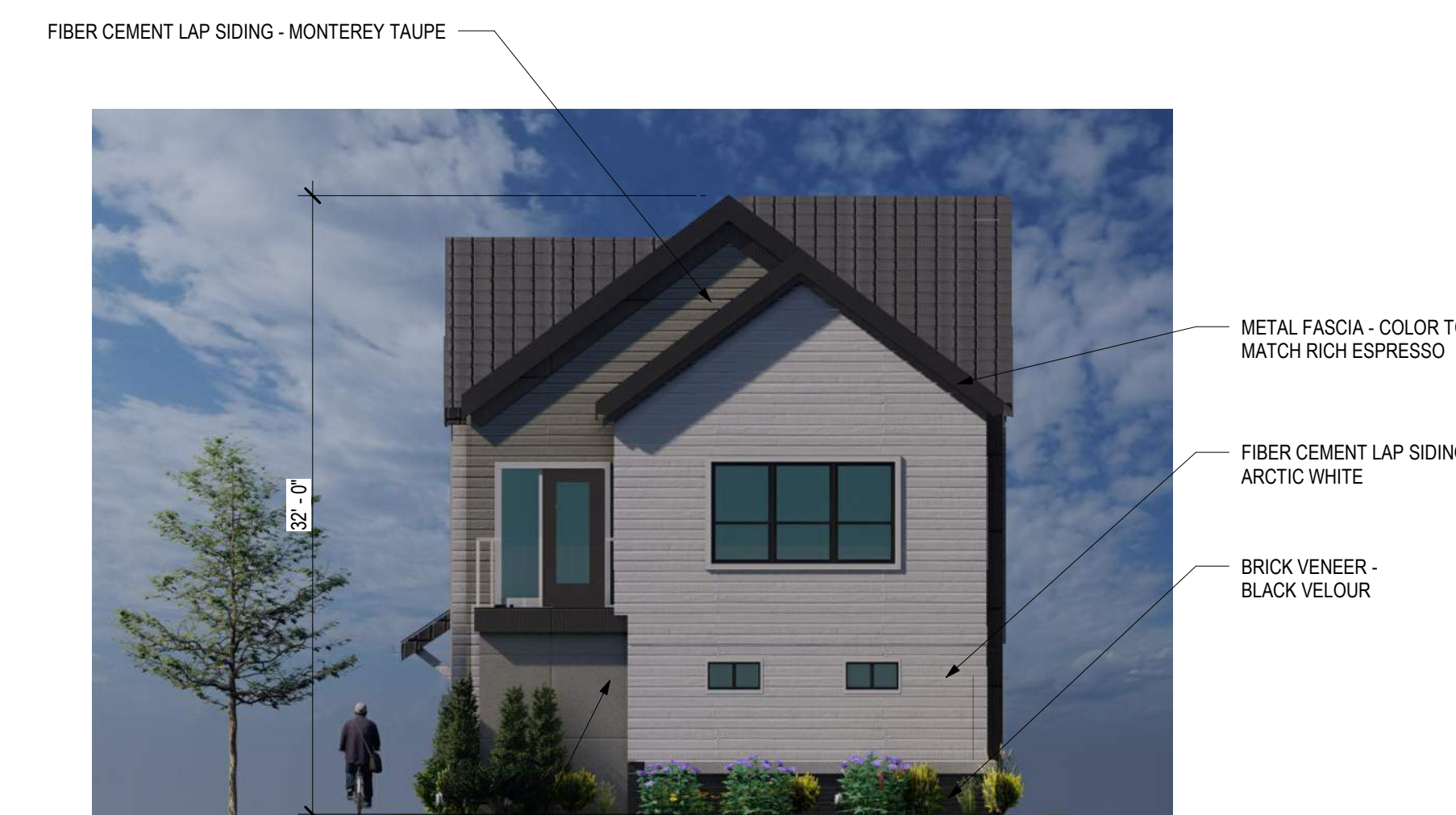
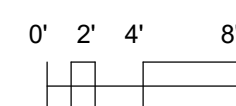
**1 EAST ELEVATION TOWNHOME D**  
1/8" = 1'-0"



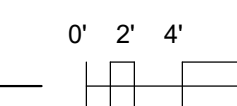
**2 NORTH ELEVATION TOWNHOME D**  
1/8" = 1'-0"



**4 WEST ELEVATION TOWNHOME D**  
1/8" = 1'-0"



**3 SOUTH ELEVATION TOWNHOME D**  
1/8" = 1'-0"



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**EXTERIOR  
ELEVATIONS -  
TOWNHOUSES &  
FLATS**

**A-2.5**



AERIAL VIEW LOOKING NORTHWEST



AERIAL VIEW LOOKING SOUTHEAST

**MSP - THE  
DRIFTLESS**

LA CROSSE, WI

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NO.	DESCRIPTION

PROJECT # 21136

**PERSPECTIVE  
VIEWS**

**A-3.0**



PERSPECTIVE VIEW OF APARTMENT BUILDING'S SOUTHEAST CORNER



PERSPECTIVE VIEW OF APARTMENT BUILDING'S WEST END

**MSP - THE  
DRIFTLESS**

LA CROSSE, WI

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**PERSPECTIVE  
VIEWS**

**A-3.1**





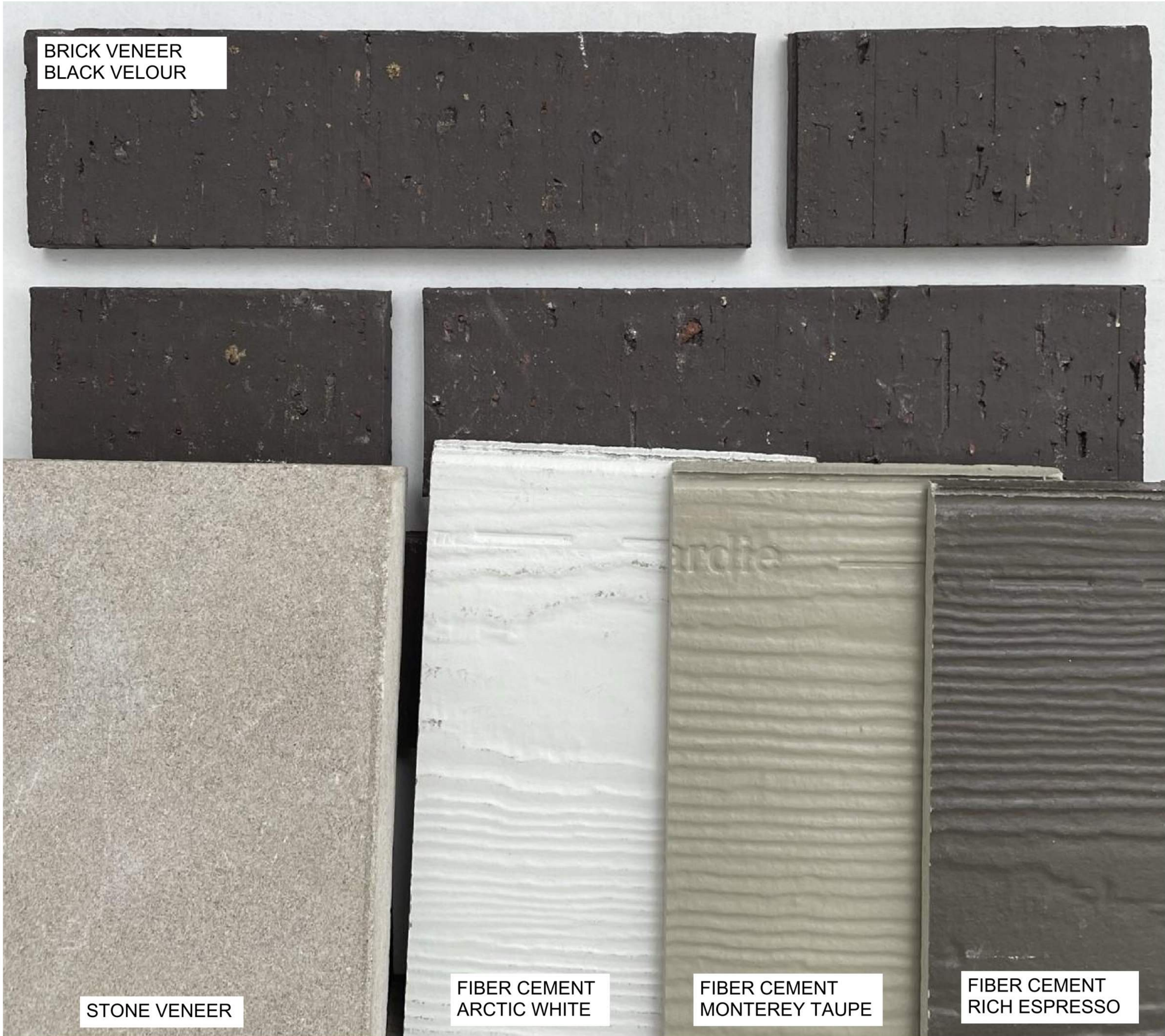
PERSPECTIVE VIEW OF APARTMENT BUILDING'S MAIN ENTRY

**MSP - THE  
 DRIFTLESS**  
 LA CROSSE, WI

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**PERSPECTIVE  
 VIEWS**

**A-3.2**



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**MATERIAL  
PALETTE**

**A-4.0**