



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Meeting Agenda - Final

Common Council

Thursday, June 12, 2025

6:00 PM

Council Chambers
City Hall, First Floor

This meeting is open for in-person attendance and will also be available through video conferencing. The meeting can be viewed only (no participation) by visiting the Legislative Information Center Meetings calendar (<https://cityoflacrosse.legistar.com/Calendar.aspx>) - find the scheduled meeting and click on the "In Progress" video link to the far right in the meeting list.

Members of the public who would like to provide written comments on any agenda may do so by emailing cityclerk@cityoflacrosse.org, using the green drop box outside of City Hall, or mailing to City Clerk, 400 La Crosse Street, La Crosse WI 54601.

Council President Tamra Dickinson, Presiding

Roll Call

Pledge of Allegiance

Moment of Silence

Approval of Minutes

Minutes of May 8, 2024

Reports

[25-0665](#) Financial Report from the Director of Finance for the Month of April.

Notices and Discussions

COMMON COUNCIL MATTERS

[25-0664](#) Resolution approving 2025 Bills and Engineering Estimates paid in June 2025.

APPOINTMENTS BY THE MAYOR

[25-0607](#) Common Council Emergency Interim Successors - 2025.

[25-0638](#) Ethics Board: Michaela Olson. Heritage Preservation Commission: Bruce Baner. Human Rights Commission: Marissa Sutherland. La Crosse Center Board: Nicholas Padesky. International Committee: Alyson Glanz, Lynn West. Board of Park Commissioners: Eileen Kirsch, Todd Olson. Bicycle and Pedestrian Advisory Committee: Randi Pueschner.

**SUSPENSION OF COUNCIL RULE XV FOR THE FOLLOWING ITEMS:
(2/3 Vote Required)**

25-0639, 25-0641, 25-0642

REPORT OF BIDS/QUOTES RECOMMENDED TO BE ADOPTED

[25-0570](#) Report of Bids and Resolution awarding contract to Pember Companies, Inc. in the amount of \$112,470.00 for the 2025 Miscellaneous Sidewalk Infill project.

REPORT OF BIDS/QUOTES RECOMMENDED TO BE REJECTED

[25-0560](#) Report of Bids for the La Crosse Public Library Furniture Contract 01 - General Furnishings.

Insufficient amount of bidders.

[25-0562](#) Report of Bids for the La Crosse Public Library Furniture Contract 03 - Systems Furnishings project.

Insufficient amount of bidders.

[25-0563](#) Report of Bids for the La Crosse Public Library Furniture Contract 04 - Library Custom Furnishings project.

Insufficient amount of bidders.

[25-0564](#) Report of Bids for the La Crosse Public Library Furniture Contract 05 - Bookstacks project.

Insufficient amount of bidders.

ITEM WITH NO RECOMMENDATION

[25-0599](#) Resolution approving Stormwater Utility rates effective July 1, 2025.

Recommendation to Adopt failed on a vote of 1 to 3 (with 1 abstention).

ITEMS RECOMMENDED TO BE ADOPTED

[25-0601](#) AN ORDINANCE to amend Sec. 30-2 (c) and create Sec. 30-2 (d) of the Code of Ordinances of the City of La Crosse regarding storage of personalty.

Recommended to be adopted on a vote of 6 to 1 out of the Judiciary & Administration Committee.

[25-0600](#) AN ORDINANCE to create Sec. 103-36 (g) and (h) of the Code of Ordinances of the City of La Crosse regarding the Board of Building and Housing Appeals.

Recommended to be adopted on a vote of 5 to 1 (with 1 abstention) out of the Judiciary & Administration Committee.

[25-0571](#) Resolution creating and appropriating funds for Capital Improvement design for the Green Bay Street, from 9th Street to 14th Street STP-Urban project.

2/3 vote of Council required for a change to the Capital Budget.

[25-0572](#) Resolution appropriating additional, unused funding for the 2025 phases of the Citywide Traffic Implementation: Interconnect & Synchronization program (CIP #268).

2/3 vote of Council required for a change to the Capital Budget.

ITEM FOR POSSIBLE CLOSED SESSION

[25-0639](#) Status Review and possible action on Pettibone Park Resort, Inc. Lease. *(Note: The Committee and/or Council may convene in closed session pursuant to Wis. Stat. 19.85(1) (g) to confer with legal counsel. Following such closed session, the Committees and/or Council may reconvene in open session.)*

CONSENT AGENDA

The following consent agenda will be approved with a single voice vote, based on the recommended actions, unless an item is removed at the request of the Mayor or a Council Member.

ITEMS RECOMMENDED TO BE ADOPTED

[25-0453](#) AN ORDINANCE to repeal and recreate Chapter 115, Article V, Division 2 Floodplain Zoning, Sections 115-207 through 115-312 of the Code of Ordinances of the City of La Crosse.

[25-0506](#) AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Local Business District, allowing for an addition to be built onto the tavern at 1017 & 1019 10th St. S.

[25-0526](#) AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Residence District to the Public & Semi-Public District, allowing for the construction of a new elementary school at 803 & 807 East Ave. S. and 1739 Winnebago St.

[25-0533](#) AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Traditional Neighborhood Development District - General to the Traditional Neighborhood Development District - Specific, allowing for the construction of a mixed-use development with main floor being parking and commercial and upper floors being residential apartments at 922 & 928 State St., 915 & 927 Main St., and 115 & 119 10th St. N.

- [25-0483](#) Resolution approving the vacation of the 1800 block of Winnebago and associated land interests for redevelopment of the Hogan Administration site of the La Crosse School District.
- [25-0501](#) Resolution approving Certified Survey Map - Being all of block 8 of Salzer Terrace, a part of the vacated right-of-way of Winnebago Street, a part of the abandoned right-of-way of the former Green Bay and Western Railroad, and a part of the Hogan School Subdivision, located in part of the northwest 1/4 of the southwest 1/4 of Section 4, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way.
- [25-0518](#) Resolution approving Application of Householder Taverns LLC dba Bennett O'Riley's South La Crosse for Expansion of Alcohol Beverage License for a special event at 4329 Mormon Coulee Road on June 28, 2025.
- [25-0528](#) Resolution approving the Parks, Recreation, Forestry, Building and Grounds Department's 5-Year Strategic Plan.
- [25-0531](#) Resolution authorizing installation of neighborhood safety street lighting in the 2900 block of Fairchild Street West.
- [25-0535](#) Resolution approving contract with the La Crosse Tribune as the official newspaper for the City's council proceedings and legal notices.
- [25-0541](#) Resolution granting various license applications pursuant to Chapters 4, 6, and/or 10 of the La Crosse Municipal Code for license period 2024-2025 (June).
- [25-0542](#) Resolution granting various license applications pursuant to Chapters 4, 6, and/or 10 of the La Crosse Municipal Code for license period 2025-2026.
- [25-0552](#) Resolution approving a development agreement with Haven on Main, LLC, an affordable housing development located on the corner of Main Street and 10th Street North.
(Note: The Committee and/or Council may convene in closed session pursuant to Wis. Stat. 19.85(1)(e) to formulate & update negotiation strategies and parameters. Following such closed session, the Committees and/or Council may reconvene in open session.)
- [25-0555](#) Resolution approving a reorganization to the table of positions and classifications for the Finance department.
- [25-0556](#) Resolution approving a reorganization to the table of positions and classifications for the Water department.
- [25-0565](#) Resolution approving 2024 Compliance Annual Report (CMAR) for the Isle La Plume Wastewater Treatment Facility.
- [25-0608](#) Resolution approving Application of Neuie's Vogue LLC dba Neuie's Vogue Bar and Grill for Expansion of Alcohol Beverage License for a special event at 1820 George St. on July 20, 2025.
- [25-0641](#) Resolution regarding Highway 16 Water Transmission Main for PFAS Mitigation - North, Safe Drinking Water Program.

[25-0642](#)

Resolution regarding Highway 16 Water Transmission Main for PFAS Mitigation
- South, Safe Drinking Water Loan Program.

ITEMS RECOMMENDED TO BE RE-REFERRED

[25-0466](#)

Preliminary Plat of Chambers-Markle Farmstead Subdivision to the City of La Crosse, La Crosse County, Wisconsin.

Recommended to be referred 30 days to July 2025 meetings.

Adjournment

NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.

Any invocation that may be offered at the Council meeting shall be the voluntary offering of a private citizen, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Council, and the Council will not endorse the religious beliefs or views of this, or any other speaker.

Council Members:

Tamra Dickinson, Erin Goggin, Barb Janssen, Larry Slezniow, Olivia Stine, Christine Kahlow, Gary Padesky, Mackenzie Mindel, Aron Newberry, Jennifer Trost, Crystal Bedford, Lisa Weston, Rosanne Northwood



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0665

Agenda Date: 6/12/2025

Version: 1

Status: Agenda Ready

In Control: Common Council

File Type: Report

Agenda Number:

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

	2025
Revenue	\$2,251,243.66
1000410 - CLERK - GEN ADMIN	\$74,137.21
450000 - ALCOHOL LICENSE	\$55,777.04
450005 - OTHR LICENSE/PERM/RELATED FEE	\$18,235.17
450035 - PET & ANIMAL LICENSE	\$125.00
454000 - MISCELLANEOUS REVENUE	\$0.00
1002010 - POLICE - GEN ADMIN	\$7,210.63
431015 - PD REPORT COPIES	\$150.63
431020 - SALE OF ABANDONED VEHICLES	\$3,301.00
454000 - MISCELLANEOUS REVENUE	\$3,759.00
1002110 - FIRE - GEN ADMIN	\$6,686.04
430000 - FD SERVICES & TRAINING CHARGES	\$0.00
450005 - OTHR LICENSE/PERM/RELATED FEE	\$5,341.04
450010 - ELECTRICAL PERMITS	\$0.00
450020 - BUILDING & RELATED PERMITS	\$0.00
450025 - HEATING & PLUMBING PERMITS	\$0.00
450065 - REGISTRATION FEES	\$0.00
450070 - MISCELLANEOUS FINES & FEES	\$0.00
454000 - MISCELLANEOUS REVENUE	\$1,345.00
1003010 - PLANNING/DEVELOPMENT-GEN ADMIN	\$1,620.00
450005 - OTHR LICENSE/PERM/RELATED FEE	\$1,620.00
450020 - BUILDING & RELATED PERMITS	\$0.00
452015 - OTHER SERVICE CHARGES	\$0.00
1003015 - PLANNING/BUILDING & INSPECTION	\$107,372.90
450005 - OTHR LICENSE/PERM/RELATED FEE	\$4,896.96
450010 - ELECTRICAL PERMITS	\$15,922.94
450020 - BUILDING & RELATED PERMITS	\$56,946.18
450025 - HEATING & PLUMBING PERMITS	\$29,367.82
450065 - REGISTRATION FEES	\$110.00
450070 - MISCELLANEOUS FINES & FEES	\$129.00
1003310 - ENGINEERING - GEN ADMIN	\$55,655.43
450005 - OTHR LICENSE/PERM/RELATED FEE	\$1,474.00
450020 - BUILDING & RELATED PERMITS	\$35.00
450030 - WEIGHTS & MEASURES FEE	\$0.00
454000 - MISCELLANEOUS REVENUE	\$2,450.00
454005 - INTERFUND CHARGES FOR SERVICES	\$51,696.43

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

1003410 - HIGHWAY - GEN ADMIN	\$86,468.93
454000 - MISCELLANEOUS REVENUE	\$2,341.00
454001 - DAMAGE TO CITY PROPERTY	\$59,316.52
454002 - GAS TAX REFUND	\$0.00
454005 - INTERFUND CHARGES FOR SERVICES	\$22,916.75
491003 - SALE OF PROPERTY/EQUIP	\$1,894.66
1003430 - HIGHWAY - SERVICE CHRGES/PARTS	\$57,706.63
454005 - INTERFUND CHARGES FOR SERVICES	\$57,706.63
1004010 - LIBRARY - GEN ADMIN	\$0.00
421003 - COUNTY CONTRIBUTIONS	\$0.00
441030 - SERVICE FEES	\$0.00
450065 - REGISTRATION FEES	\$0.00
450070 - MISCELLANEOUS FINES & FEES	\$0.00
452015 - OTHER SERVICE CHARGES	\$0.00
454001 - DAMAGE TO CITY PROPERTY	\$0.00
1004110 - LAX CENTER - GEN ADMIN	\$0.00
405005 - ROOM TAX	\$0.00
440015 - FACILITY RENTAL FEES	\$0.00
441000 - LIQUOR FUND	\$0.00
441030 - SERVICE FEES	\$0.00
454000 - MISCELLANEOUS REVENUE	\$0.00
454004 - ATM COMMISSION/FEE REVENUE	\$0.00
481000 - INSURANCE DIVIDENDS	\$0.00
1004210 - PARKS/REC - GEN ADMIN	\$6,599.14
454000 - MISCELLANEOUS REVENUE	\$300.00
457100 - RENT/LEASE INCOME	\$6,299.14
1004215 - PARKS/REC - PARKS	\$10,682.62
440015 - FACILITY RENTAL FEES	\$10,682.62
1004220 - PARKS/REC - RECREATION	\$37,456.94
440000 - ADULT RECREATION FEES	\$9,837.37
440005 - YOUTH RECREATION FEES	\$5,469.31
450065 - REGISTRATION FEES	\$22,150.26
1004225 - PARKS/REC - FACILITIES	\$1,170.20
440015 - FACILITY RENTAL FEES	\$1,170.20
1004235 - PARKS/REC - AQUATICS	\$7,852.55
440010 - POOL ADMISSION FEES	\$7,852.55
1009905 - TRANSFERS	\$42,094.28

Income Statement

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For the Month of April 2025



Period: 4 to 4

492000 - TRANSFERS IN	\$42,094.28
1009910 - NON-DEPT - GEN ADMIN	\$1,748,530.16
405005 - ROOM TAX	\$28,978.76
405010 - MOBILE HOME TAX	\$3,399.86
405015 - PMTS IN LIEU OF TAXES (PILOT)	\$631.82
405035 - INTEREST/PENALTY DELINQ TAXES	\$16,658.69
405045 - SALES TAX DISCOUNT	\$324.86
415030 - TRANSPORTATION AID	\$787,319.03
415035 - CONNECTING STREETS	\$165,028.09
441030 - SERVICE FEES	\$0.00
450070 - MISCELLANEOUS FINES & FEES	\$102.00
453000 - INTEREST EARNINGS	\$5,733.62
453004 - REALIZED GAIN/LOSS	\$68,668.38
453005 - UNREALIZED GAIN/LOSS	\$485,050.43
453010 - INVESTMENT EARNINGS	\$4,544.32
454000 - MISCELLANEOUS REVENUE	\$2,294.99
454005 - INTERFUND CHARGES FOR SERVICES	\$170,452.77
456000 - CASH OVER/SHORT	(\$21.90)
481000 - INSURANCE DIVIDENDS	\$9,364.44
491002 - SALE OF LAND	\$0.00
Expense	\$4,171,321.87
1000210 - FINANCE - GEN ADMIN	\$52,997.16
510000 - SALARIES AND WAGES	\$33,786.63
510006 - OVERTIME PAY	\$498.90
510030 - CELL PHONE REIMBURSEMENT	\$35.00
511005 - HEALTH INSURANCE	\$7,012.62
511015 - LIFE INSURANCE	\$42.68
511020 - SOCIAL SECURITY AND MEDICARE	\$2,521.91
511025 - RETIREMENT BENEFITS	\$2,382.85
521101 - TELEPHONE	\$44.40
532000 - OFFICE SUPPLIES	\$29.92
532010 - OPERATING SUPPLIES	\$0.00
532060 - POSTAGE	(\$65.28)
532065 - PRINTING SERVICES	(\$41.98)
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$0.00
533010 - COMPUTER EQUIP UNDER \$10,000	\$3,324.73
580500 - OFFICE EQUIPMENT \$10,000+	\$3,424.78

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

1000215 - FINANCE -ACCOUNTING/PAYROLL	\$40,300.88
510000 - SALARIES AND WAGES	\$30,701.32
510006 - OVERTIME PAY	\$0.00
511005 - HEALTH INSURANCE	\$5,169.89
511015 - LIFE INSURANCE	\$69.69
511020 - SOCIAL SECURITY AND MEDICARE	\$2,226.24
511025 - RETIREMENT BENEFITS	\$2,133.74
520055 - RECRUITMENT FEES & SVCS	\$0.00
1000225 - FINANCE - TREASURY/CUST SVC	\$19,021.99
510000 - SALARIES AND WAGES	\$12,958.02
511005 - HEALTH INSURANCE	\$4,206.48
511020 - SOCIAL SECURITY AND MEDICARE	\$944.12
511025 - RETIREMENT BENEFITS	\$900.58
520110 - OTHER CONTRACTED SVCS	\$0.00
532000 - OFFICE SUPPLIES	\$0.00
532060 - POSTAGE	\$12.79
533010 - COMPUTER EQUIP UNDER \$10,000	\$0.00
1000230 - FINANCE -MAIL SRVC/PRINTING	\$2,369.18
510000 - SALARIES AND WAGES	\$1,747.20
511005 - HEALTH INSURANCE	\$377.00
511020 - SOCIAL SECURITY AND MEDICARE	\$123.54
511025 - RETIREMENT BENEFITS	\$121.44
1000310 - LEGAL - GEN ADMIN	\$63,789.34
510000 - SALARIES AND WAGES	\$46,606.40
511005 - HEALTH INSURANCE	\$8,019.88
511015 - LIFE INSURANCE	\$76.64
511020 - SOCIAL SECURITY AND MEDICARE	\$3,425.26
511025 - RETIREMENT BENEFITS	\$3,239.16
521006 - TRAINING/CONF. REGISTRATION	\$0.00
521101 - TELEPHONE	\$232.20
532000 - OFFICE SUPPLIES	\$103.95
532060 - POSTAGE	\$18.78
532070 - BOOKS & PUBLICATIONS	\$80.50
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$1,036.57
550000 - MISCELLANEOUS	\$950.00
1000410 - CLERK - GEN ADMIN	\$34,759.96
510000 - SALARIES AND WAGES	\$19,915.23

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

510001 - SEVERANCE PAY	\$0.00
510006 - OVERTIME PAY	\$434.07
510030 - CELL PHONE REIMBURSEMENT	\$35.00
511005 - HEALTH INSURANCE	\$4,595.86
511015 - LIFE INSURANCE	\$27.96
511020 - SOCIAL SECURITY AND MEDICARE	\$1,468.65
511025 - RETIREMENT BENEFITS	\$1,414.27
521006 - TRAINING/CONF. REGISTRATION	\$0.00
521101 - TELEPHONE	\$2.28
532000 - OFFICE SUPPLIES	\$1,449.20
532060 - POSTAGE	\$411.28
532070 - BOOKS & PUBLICATIONS	\$4,304.18
550000 - MISCELLANEOUS	\$701.98
1000415 - CLERK - ELECTIONS	\$37,614.39
510000 - SALARIES AND WAGES	\$0.00
510005 - LIMITED TERM EE SALARIES	\$32,900.00
510006 - OVERTIME PAY	\$0.00
511005 - HEALTH INSURANCE	\$118.66
511020 - SOCIAL SECURITY AND MEDICARE	\$2,514.35
511025 - RETIREMENT BENEFITS	\$165.49
521101 - TELEPHONE	\$4.76
532000 - OFFICE SUPPLIES	\$0.00
532060 - POSTAGE	\$417.78
532065 - PRINTING SERVICES	\$0.00
532070 - BOOKS & PUBLICATIONS	\$17.82
540100 - R&M - EQUIP/MACH	\$0.00
550000 - MISCELLANEOUS	\$1,475.53
1000510 - COUNCIL - GEN ADMIN	\$13,527.74
510000 - SALARIES AND WAGES	\$8,740.00
511005 - HEALTH INSURANCE	\$46.95
511015 - LIFE INSURANCE	\$0.11
511020 - SOCIAL SECURITY AND MEDICARE	\$942.94
511025 - RETIREMENT BENEFITS	\$9.74
511050 - OTHER BENEFITS	\$3,600.00
521006 - TRAINING/CONF. REGISTRATION	\$0.00
532000 - OFFICE SUPPLIES	\$188.00
550000 - MISCELLANEOUS	\$0.00

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

1000610 - MAYOR - GEN ADMIN	\$23,669.00
510000 - SALARIES AND WAGES	\$18,030.97
510030 - CELL PHONE REIMBURSEMENT	\$32.90
511005 - HEALTH INSURANCE	\$2,100.62
511015 - LIFE INSURANCE	\$90.06
511020 - SOCIAL SECURITY AND MEDICARE	\$1,371.68
511025 - RETIREMENT BENEFITS	\$1,239.61
511075 - CAR ALLOWANCE	\$250.00
521005 - TRAVEL - OTHER	\$0.00
521006 - TRAINING/CONF. REGISTRATION	\$49.87
521101 - TELEPHONE	\$42.79
532000 - OFFICE SUPPLIES	\$132.47
532060 - POSTAGE	\$4.21
532065 - PRINTING SERVICES	\$44.06
550000 - MISCELLANEOUS	\$279.76
1000710 - MUNI COURT - GEN ADMIN	\$18,980.88
510000 - SALARIES AND WAGES	\$14,241.02
511005 - HEALTH INSURANCE	\$2,331.76
511015 - LIFE INSURANCE	\$9.45
511020 - SOCIAL SECURITY AND MEDICARE	\$1,013.36
511025 - RETIREMENT BENEFITS	\$989.76
520110 - OTHER CONTRACTED SVCS	\$0.00
521101 - TELEPHONE	\$2.54
532000 - OFFICE SUPPLIES	\$107.39
532060 - POSTAGE	\$285.60
1000810 - IT - GEN ADMIN	\$93,839.68
510000 - SALARIES AND WAGES	\$59,640.01
510001 - SEVERANCE PAY	\$0.00
510005 - LIMITED TERM EE SALARIES	\$2,864.50
510030 - CELL PHONE REIMBURSEMENT	\$140.00
511005 - HEALTH INSURANCE	\$12,487.78
511015 - LIFE INSURANCE	\$43.55
511020 - SOCIAL SECURITY AND MEDICARE	\$4,581.04
511025 - RETIREMENT BENEFITS	\$4,344.05
520140 - ADMINISTRATIVE SVCS	\$8,063.48
521006 - TRAINING/CONF. REGISTRATION	\$0.00
521101 - TELEPHONE	\$1,449.58

Income Statement

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For the Month of April 2025



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532000 - OFFICE SUPPLIES	\$0.00
532055 - GASOLINE FUEL	\$0.00
532065 - PRINTING SERVICES	\$6.00
540500 - R&M - OTHER	\$210.72
550000 - MISCELLANEOUS	\$0.00
550250 - AP PMT BY CREDIT CARD FEE	\$8.95
580400 - VEHICLES	\$0.02
1000910 - HUMAN RESOURCES - GEN ADMIN	\$35,686.06
510000 - SALARIES AND WAGES	\$24,480.73
510001 - SEVERANCE PAY	\$0.00
510005 - LIMITED TERM EE SALARIES	\$504.00
510006 - OVERTIME PAY	\$0.00
510030 - CELL PHONE REIMBURSEMENT	\$0.00
511005 - HEALTH INSURANCE	\$3,471.18
511015 - LIFE INSURANCE	\$13.32
511020 - SOCIAL SECURITY AND MEDICARE	\$1,873.05
511025 - RETIREMENT BENEFITS	\$1,701.40
520025 - OUTSIDE LEGAL SVCS	\$0.00
520055 - RECRUITMENT FEES & SVCS	\$18.00
520110 - OTHER CONTRACTED SVCS	\$2,417.40
521002 - TRAVEL - TRNSPTN	\$282.97
521004 - TRAVEL - MILEAGE	\$229.60
521006 - TRAINING/CONF. REGISTRATION	\$379.00
521101 - TELEPHONE	\$42.40
532000 - OFFICE SUPPLIES	\$81.10
532060 - POSTAGE	\$29.92
532065 - PRINTING SERVICES	\$138.60
533010 - COMPUTER EQUIP UNDER \$10,000	\$23.39
550000 - MISCELLANEOUS	\$0.00
1002010 - POLICE - GEN ADMIN	\$1,013,680.86
510000 - SALARIES AND WAGES	\$647,551.71
510001 - SEVERANCE PAY	\$27,955.46
510006 - OVERTIME PAY	\$21,585.83
510030 - CELL PHONE REIMBURSEMENT	\$1,232.75
511005 - HEALTH INSURANCE	\$121,504.77
511015 - LIFE INSURANCE	\$572.98
511020 - SOCIAL SECURITY AND MEDICARE	\$50,892.99

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

511025 - RETIREMENT BENEFITS	\$98,584.29
511040 - UNIFORM AND OTHER ALLOWANCES	\$0.00
511055 - MEDICAL EVALUATIONS	\$4,680.00
520005 - PROFESSIONAL FEES	\$626.00
520055 - RECRUITMENT FEES & SVCS	\$400.16
520100 - CONTRACT SVCS - CLEANING	\$1,550.00
520110 - OTHER CONTRACTED SVCS	\$14,241.14
521001 - TRAVEL - LODGING	\$1,114.80
521002 - TRAVEL - TRNSPTN	\$6.30
521003 - TRAVEL - MEALS	\$814.35
521005 - TRAVEL - OTHER	\$0.00
521006 - TRAINING/CONF. REGISTRATION	\$3,519.50
521101 - TELEPHONE	\$2,255.39
521102 - ELECTRICITY	\$294.80
521104 - NATURAL GAS	\$182.95
532000 - OFFICE SUPPLIES	\$1,088.01
532005 - PROGRAM SUPPLIES	\$677.39
532055 - GASOLINE FUEL	\$396.38
532056 - DIESEL FUEL	\$0.00
532060 - POSTAGE	\$542.72
532065 - PRINTING SERVICES	\$490.25
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$50.00
532085 - FIRST AID & SAFETY SUPPLIES	\$0.00
533005 - VEHICLE EQUIPMENT	\$0.00
540100 - R&M - EQUIP/MACH	\$964.56
540150 - R&M - COMMUNICATION	\$1,998.78
540250 - R&M - VEHICLE	\$6,239.71
540500 - R&M - OTHER	\$450.00
550000 - MISCELLANEOUS	\$1,212.95
550250 - AP PMT BY CREDIT CARD FEE	\$3.94
1002015 - POLICE - FIELD SERVICES	\$2,893.74
510000 - SALARIES AND WAGES	\$2,688.11
510001 - SEVERANCE PAY	\$0.00
510006 - OVERTIME PAY	\$0.00
510030 - CELL PHONE REIMBURSEMENT	\$0.00
511005 - HEALTH INSURANCE	\$0.00
511020 - SOCIAL SECURITY AND MEDICARE	\$205.63

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

511025 - RETIREMENT BENEFITS	\$0.00
511040 - UNIFORM AND OTHER ALLOWANCES	\$0.00
1002020 - POLICE -INVESTIGATIVE SERVICES	\$0.00
510000 - SALARIES AND WAGES	\$0.00
510006 - OVERTIME PAY	\$0.00
510030 - CELL PHONE REIMBURSEMENT	\$0.00
511005 - HEALTH INSURANCE	\$0.00
511020 - SOCIAL SECURITY AND MEDICARE	\$0.00
511025 - RETIREMENT BENEFITS	\$0.00
511040 - UNIFORM AND OTHER ALLOWANCES	\$0.00
1002025 - POLICE -PROFESSIONAL STANDARDS	\$0.00
510000 - SALARIES AND WAGES	\$0.00
510006 - OVERTIME PAY	\$0.00
510030 - CELL PHONE REIMBURSEMENT	\$0.00
511005 - HEALTH INSURANCE	\$0.00
511020 - SOCIAL SECURITY AND MEDICARE	\$0.00
511025 - RETIREMENT BENEFITS	\$0.00
511040 - UNIFORM AND OTHER ALLOWANCES	\$0.00
1002110 - FIRE - GEN ADMIN	\$417,561.19
510000 - SALARIES AND WAGES	\$242,668.55
510001 - SEVERANCE PAY	\$18,746.48
510006 - OVERTIME PAY	\$17,798.40
511005 - HEALTH INSURANCE	\$39,944.73
511015 - LIFE INSURANCE	\$182.79
511020 - SOCIAL SECURITY AND MEDICARE	\$4,599.55
511025 - RETIREMENT BENEFITS	\$55,169.93
511030 - ER CONTRIBUTION ICMA	\$3,363.08
511040 - UNIFORM AND OTHER ALLOWANCES	\$1,900.00
511065 - EMPLOYEE RECOGNITION	\$477.67
511075 - CAR ALLOWANCE	\$75.32
520000 - CONTRACT/PROFESSIONAL SERVICES	\$40.50
521101 - TELEPHONE	\$2,050.71
521102 - ELECTRICITY	\$7,170.17
521103 - WATER	\$634.62
521104 - NATURAL GAS	\$10,398.52
521105 - SEWER	\$475.30
521106 - STORM WATER	\$225.12

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

531100 - EMPLOYEE HEALTH & SAFETY	\$0.00
532000 - OFFICE SUPPLIES	\$651.98
532060 - POSTAGE	\$7.27
532065 - PRINTING SERVICES	\$2.97
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$640.00
533015 - COMPUTER SOFTWARE UNDR \$10,000	\$26.08
540100 - R&M - EQUIP/MACH	\$0.00
540150 - R&M - COMMUNICATION	\$496.95
550000 - MISCELLANEOUS	\$0.00
580601 - COMPUTER SOFTWARE \$10,000+	\$9,814.50
1002115 - FIRE - COMMUNITY RISK MGMT	\$42,868.75
510000 - SALARIES AND WAGES	\$25,956.74
510001 - SEVERANCE PAY	\$4,942.95
510005 - LIMITED TERM EE SALARIES	\$670.00
510006 - OVERTIME PAY	\$0.00
510030 - CELL PHONE REIMBURSEMENT	\$0.00
511005 - HEALTH INSURANCE	\$5,623.15
511015 - LIFE INSURANCE	\$0.00
511020 - SOCIAL SECURITY AND MEDICARE	\$2,308.41
511025 - RETIREMENT BENEFITS	\$1,803.99
521001 - TRAVEL - LODGING	\$101.65
521006 - TRAINING/CONF. REGISTRATION	\$0.00
521101 - TELEPHONE	\$0.00
532000 - OFFICE SUPPLIES	\$0.00
532005 - PROGRAM SUPPLIES	\$527.92
532010 - OPERATING SUPPLIES	\$0.00
532055 - GASOLINE FUEL	\$0.00
532060 - POSTAGE	\$0.00
532095 - CLOTHING/UNIFORM	\$875.00
533035 - SMLL/MINR TOOLS UNDER \$1,000	\$0.00
540250 - R&M - VEHICLE	\$58.94
1002120 - FIRE - TRAINING & PROF STNDS	\$7,452.31
521001 - TRAVEL - LODGING	\$2,021.79
521003 - TRAVEL - MEALS	\$658.64
521004 - TRAVEL - MILEAGE	\$121.79
521005 - TRAVEL - OTHER	\$0.00
521006 - TRAINING/CONF. REGISTRATION	\$3,267.00

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$640.00
542000 - PROGRAM EXPENSES	\$743.09
1002125 - FIRE - FIRE & RESCUE OPS	\$560,418.93
510000 - SALARIES AND WAGES	\$375,651.50
510001 - SEVERANCE PAY	\$0.00
510006 - OVERTIME PAY	\$9,364.49
510030 - CELL PHONE REIMBURSEMENT	\$35.00
511005 - HEALTH INSURANCE	\$74,237.51
511015 - LIFE INSURANCE	\$370.29
511020 - SOCIAL SECURITY AND MEDICARE	\$5,704.83
511025 - RETIREMENT BENEFITS	\$89,730.52
511040 - UNIFORM AND OTHER ALLOWANCES	\$3,183.37
521006 - TRAINING/CONF. REGISTRATION	\$0.00
532000 - OFFICE SUPPLIES	\$0.00
532005 - PROGRAM SUPPLIES	\$0.00
532080 - CLEANING/JANITORIAL SUPPLIES	\$0.00
532096 - PROTECTIVE CLOTHING	\$341.00
533000 - OPERATING EQUIPMENT	\$1,800.42
533010 - COMPUTER EQUIP UNDER \$10,000	\$0.00
550000 - MISCELLANEOUS	\$0.00
1002130 - FIRE - FLEET & FACILITIES	\$14,015.67
521101 - TELEPHONE	\$0.00
521102 - ELECTRICITY	\$0.00
521103 - WATER	\$0.00
521104 - NATURAL GAS	\$0.00
521105 - SEWER	\$0.00
521106 - STORM WATER	\$0.00
532055 - GASOLINE FUEL	\$0.00
532056 - DIESEL FUEL	\$0.00
540000 - R&M - BUILDINGS	\$2,717.46
540100 - R&M - EQUIP/MACH	\$11,298.21
1003010 - PLANNING/DEVELOPMENT-GEN ADMIN	\$870.06
510000 - SALARIES AND WAGES	\$3,661.72
510005 - LIMITED TERM EE SALARIES	(\$354.00)
510030 - CELL PHONE REIMBURSEMENT	\$35.00
511005 - HEALTH INSURANCE	(\$9,217.07)
511015 - LIFE INSURANCE	\$48.58

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

511020 - SOCIAL SECURITY AND MEDICARE	\$123.72
511025 - RETIREMENT BENEFITS	\$340.10
520110 - OTHER CONTRACTED SVCS	\$3,682.70
521005 - TRAVEL - OTHER	\$2,336.95
521006 - TRAINING/CONF. REGISTRATION	\$15.00
521101 - TELEPHONE	\$8.48
532000 - OFFICE SUPPLIES	\$145.38
532060 - POSTAGE	\$10.21
532065 - PRINTING SERVICES	\$33.29
1003015 - PLANNING/BUILDING & INSPECTION	\$37,201.51
510000 - SALARIES AND WAGES	\$26,002.68
510005 - LIMITED TERM EE SALARIES	\$605.00
511005 - HEALTH INSURANCE	\$5,623.15
511015 - LIFE INSURANCE	\$57.33
511020 - SOCIAL SECURITY AND MEDICARE	\$2,018.96
511025 - RETIREMENT BENEFITS	\$1,860.50
511040 - UNIFORM AND OTHER ALLOWANCES	\$102.00
521101 - TELEPHONE	\$526.46
532000 - OFFICE SUPPLIES	\$173.43
532060 - POSTAGE	\$176.27
532065 - PRINTING SERVICES	\$27.56
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$15.00
532095 - CLOTHING/UNIFORM	\$12.83
550250 - AP PMT BY CREDIT CARD FEE	\$0.34
1003045 - PLANNING/DEVELOPMENT-ASSESSMEN	\$39,149.68
510000 - SALARIES AND WAGES	\$29,194.40
511005 - HEALTH INSURANCE	\$5,024.02
511015 - LIFE INSURANCE	\$44.10
511020 - SOCIAL SECURITY AND MEDICARE	\$2,094.77
511025 - RETIREMENT BENEFITS	\$2,029.02
520110 - OTHER CONTRACTED SVCS	\$0.00
521005 - TRAVEL - OTHER	\$200.20
521006 - TRAINING/CONF. REGISTRATION	\$50.00
521101 - TELEPHONE	\$4.62
532000 - OFFICE SUPPLIES	\$0.00
532060 - POSTAGE	\$78.55
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$430.00

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

1003310 - ENGINEERING - GEN ADMIN	\$139,205.06
510000 - SALARIES AND WAGES	\$99,746.87
510005 - LIMITED TERM EE SALARIES	\$0.00
510006 - OVERTIME PAY	\$1,352.60
510030 - CELL PHONE REIMBURSEMENT	\$70.00
511005 - HEALTH INSURANCE	\$13,429.01
511015 - LIFE INSURANCE	\$120.58
511020 - SOCIAL SECURITY AND MEDICARE	\$7,484.76
511025 - RETIREMENT BENEFITS	\$7,020.64
520055 - RECRUITMENT FEES & SVCS	\$0.00
521003 - TRAVEL - MEALS	\$0.00
521005 - TRAVEL - OTHER	\$0.00
521006 - TRAINING/CONF. REGISTRATION	\$0.00
521101 - TELEPHONE	\$784.71
532000 - OFFICE SUPPLIES	\$138.47
532010 - OPERATING SUPPLIES	\$2,472.48
532055 - GASOLINE FUEL	\$0.00
532060 - POSTAGE	\$68.34
532065 - PRINTING SERVICES	\$0.00
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$0.00
533010 - COMPUTER EQUIP UNDER \$10,000	\$6,538.60
533025 - OFFICE EQUIPMENT UNDER \$10,000	(\$22.00)
540250 - R&M - VEHICLE	\$0.00
1003410 - HIGHWAY - GEN ADMIN	\$232,982.88
510000 - SALARIES AND WAGES	\$154,423.03
510001 - SEVERANCE PAY	\$0.00
510005 - LIMITED TERM EE SALARIES	\$0.00
510006 - OVERTIME PAY	\$10,269.47
510030 - CELL PHONE REIMBURSEMENT	\$0.00
511005 - HEALTH INSURANCE	\$44,540.14
511015 - LIFE INSURANCE	\$403.26
511020 - SOCIAL SECURITY AND MEDICARE	\$11,900.89
511025 - RETIREMENT BENEFITS	\$11,446.09
532000 - OFFICE SUPPLIES	\$0.00
1003415 - HIGHWAY - STREET MAINTENANCE	\$166,496.86
520055 - RECRUITMENT FEES & SVCS	\$0.00
520110 - OTHER CONTRACTED SVCS	\$1,021.68

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

521005 - TRAVEL - OTHER	\$2,077.71
521006 - TRAINING/CONF. REGISTRATION	\$0.00
521101 - TELEPHONE	\$661.01
521102 - ELECTRICITY	\$5,160.32
521103 - WATER	\$666.87
521104 - NATURAL GAS	\$5,810.92
521105 - SEWER	\$543.88
521106 - STORM WATER	\$642.30
532000 - OFFICE SUPPLIES	\$560.37
532010 - OPERATING SUPPLIES	\$3,567.65
532015 - SALT	\$59,854.34
532016 - ASPHALT	\$30,242.45
532017 - CEMENT	\$12,947.95
532020 - PAINT	\$0.00
532025 - SIGNS	\$5,991.99
532030 - SIGNALS	\$9.99
532040 - WHITEWAYS	\$289.42
532055 - GASOLINE FUEL	\$0.00
532056 - DIESEL FUEL	\$116.60
532060 - POSTAGE	\$3.86
532065 - PRINTING SERVICES	\$83.05
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$152.63
532085 - FIRST AID & SAFETY SUPPLIES	\$28.65
533030 - MJR TOOLS & EQ UNDER \$10,000	\$5,448.00
533035 - SMLL/MINR TOOLS UNDER \$1,000	\$645.86
540000 - R&M - BUILDINGS	\$6,296.53
540100 - R&M - EQUIP/MACH	\$351.01
540150 - R&M - COMMUNICATION	\$250.52
540250 - R&M - VEHICLE	\$15,222.25
550250 - AP PMT BY CREDIT CARD FEE	\$71.55
555888 - WORKORDER PENDING CHARGEOUT	\$7,777.50
599900 - PRIOR YEAR EXPENSES	\$0.00
1003420 - HIGHWAY - REFUSE & RECYCLING	\$210,755.48
510000 - SALARIES AND WAGES	\$12,141.48
510005 - LIMITED TERM EE SALARIES	\$1,482.00
511005 - HEALTH INSURANCE	\$3,497.27
511015 - LIFE INSURANCE	\$8.12

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

511020 - SOCIAL SECURITY AND MEDICARE	\$952.46
511025 - RETIREMENT BENEFITS	\$843.84
521120 - RECYCLING SERVICES	\$48,716.37
521121 - YARD WASTE	\$185.12
521130 - GARBAGE SERVICES	\$142,257.57
532000 - OFFICE SUPPLIES	\$0.00
532010 - OPERATING SUPPLIES	\$0.47
532055 - GASOLINE FUEL	\$0.00
532056 - DIESEL FUEL	\$0.00
532060 - POSTAGE	\$464.70
532065 - PRINTING SERVICES	\$53.45
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$152.63
540100 - R&M - EQUIP/MACH	\$0.00
1003430 - HIGHWAY - SERVICE CHRGS/PARTS	\$16,561.61
555888 - WORKORDER PENDING CHARGEOUT	\$16,561.61
1004010 - LIBRARY - GEN ADMIN	\$372,208.43
510000 - SALARIES AND WAGES	\$237,173.84
510001 - SEVERANCE PAY	\$0.00
510006 - OVERTIME PAY	(\$163.33)
510030 - CELL PHONE REIMBURSEMENT	\$145.00
511005 - HEALTH INSURANCE	\$41,950.66
511015 - LIFE INSURANCE	\$227.29
511020 - SOCIAL SECURITY AND MEDICARE	\$17,432.17
511025 - RETIREMENT BENEFITS	\$15,235.59
511050 - OTHER BENEFITS	\$284.40
520065 - SOFTWARE VENDOR SVCS	\$0.00
520110 - OTHER CONTRACTED SVCS	\$15,269.60
521005 - TRAVEL - OTHER	\$3,225.05
521006 - TRAINING/CONF. REGISTRATION	\$0.00
521101 - TELEPHONE	\$1,832.73
521102 - ELECTRICITY	\$5,546.81
521103 - WATER	\$0.00
521104 - NATURAL GAS	\$5,175.38
521105 - SEWER	\$0.00
521106 - STORM WATER	\$0.00
532000 - OFFICE SUPPLIES	\$595.05
532005 - PROGRAM SUPPLIES	\$0.00

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

532055 - GASOLINE FUEL	\$112.51
532060 - POSTAGE	\$346.82
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$419.00
533010 - COMPUTER EQUIP UNDER \$10,000	\$12,079.00
533015 - COMPUTER SOFTWARE UNDR \$10,000	\$0.00
540000 - R&M - BUILDINGS	\$4,866.87
540050 - R&M - GROUNDS	\$152.63
550000 - MISCELLANEOUS	\$11.36
580105 - BUILDING IMPROVEMENTS	\$0.00
580601 - COMPUTER SOFTWARE \$10,000+	\$10,290.00
1004015 - LIBRARY - CIRCULATION	\$12,472.36
510000 - SALARIES AND WAGES	\$0.00
510030 - CELL PHONE REIMBURSEMENT	\$0.00
511020 - SOCIAL SECURITY AND MEDICARE	\$0.00
511025 - RETIREMENT BENEFITS	\$0.00
532070 - BOOKS & PUBLICATIONS	\$12,472.36
1004020 - LIBRARY - ARCHIVES	\$0.00
510000 - SALARIES AND WAGES	\$0.00
511020 - SOCIAL SECURITY AND MEDICARE	\$0.00
511025 - RETIREMENT BENEFITS	\$0.00
1004025 - LIBRARY - PROGRAMS	\$0.00
510000 - SALARIES AND WAGES	\$0.00
510030 - CELL PHONE REIMBURSEMENT	\$0.00
511020 - SOCIAL SECURITY AND MEDICARE	\$0.00
511025 - RETIREMENT BENEFITS	\$0.00
532005 - PROGRAM SUPPLIES	\$0.00
1004110 - LAX CENTER - GEN ADMIN	\$0.00
510000 - SALARIES AND WAGES	\$0.00
510005 - LIMITED TERM EE SALARIES	\$0.00
510006 - OVERTIME PAY	\$0.00
510030 - CELL PHONE REIMBURSEMENT	\$0.00
511005 - HEALTH INSURANCE	\$0.00
511010 - WORKERS COMPENSATION DEPT CHGS	\$0.00
511015 - LIFE INSURANCE	\$0.00
511020 - SOCIAL SECURITY AND MEDICARE	\$0.00
511025 - RETIREMENT BENEFITS	\$0.00
520015 - BANK FEES	\$0.00

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

520016 - ATM EXPENSE	\$0.00
520020 - MERCHANT CARD PROCESSOR FEES	\$0.00
520055 - RECRUITMENT FEES & SVCS	\$0.00
520060 - MARKETING	\$0.00
520075 - TEMPORARY LABOR SERVICES	\$0.00
520101 - CONTRACT SVCS - SECURITY	\$0.00
520110 - OTHER CONTRACTED SVCS	\$0.00
520120 - EVENT SERVICES	\$0.00
521001 - TRAVEL - LODGING	\$0.00
521005 - TRAVEL - OTHER	\$0.00
521101 - TELEPHONE	\$0.00
521102 - ELECTRICITY	\$0.00
521103 - WATER	\$0.00
521104 - NATURAL GAS	\$0.00
521105 - SEWER	\$0.00
521106 - STORM WATER	\$0.00
521130 - GARBAGE SERVICES	\$0.00
530250 - LIABILITY INS	\$0.00
532000 - OFFICE SUPPLIES	\$0.00
532010 - OPERATING SUPPLIES	\$0.00
532055 - GASOLINE FUEL	\$0.00
532060 - POSTAGE	\$0.00
532065 - PRINTING SERVICES	\$0.00
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$0.00
533020 - COMMUNICATION EQPT UNDR \$10,000	\$0.00
540500 - R&M - OTHER	\$0.00
550000 - MISCELLANEOUS	\$0.00
1004125 - LAX CENTER - FACILITY OPS	\$0.00
532080 - CLEANING/JANITORIAL SUPPLIES	\$0.00
540000 - R&M - BUILDINGS	\$0.00
540100 - R&M - EQUIP/MACH	\$0.00
1004210 - PARKS/REC - GEN ADMIN	\$52,939.50
510000 - SALARIES AND WAGES	\$23,369.53
510005 - LIMITED TERM EE SALARIES	\$1,880.00
510030 - CELL PHONE REIMBURSEMENT	\$34.50
511005 - HEALTH INSURANCE	\$5,148.92
511015 - LIFE INSURANCE	\$26.44

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

511020 - SOCIAL SECURITY AND MEDICARE	\$1,831.76
511025 - RETIREMENT BENEFITS	\$1,702.02
520015 - BANK FEES	\$10,844.67
520055 - RECRUITMENT FEES & SVCS	\$0.00
520060 - MARKETING	\$7,392.55
520110 - OTHER CONTRACTED SVCS	\$76.06
521006 - TRAINING/CONF. REGISTRATION	\$0.00
521101 - TELEPHONE	\$129.90
532000 - OFFICE SUPPLIES	\$377.74
532010 - OPERATING SUPPLIES	(\$37.55)
532060 - POSTAGE	\$108.47
532065 - PRINTING SERVICES	\$39.49
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$0.00
532095 - CLOTHING/UNIFORM	\$15.00
550000 - MISCELLANEOUS	\$0.00
1004215 - PARKS/REC - PARKS	\$106,660.01
510000 - SALARIES AND WAGES	\$40,980.70
510005 - LIMITED TERM EE SALARIES	\$14,581.12
510006 - OVERTIME PAY	\$121.43
510030 - CELL PHONE REIMBURSEMENT	\$204.50
511005 - HEALTH INSURANCE	\$6,567.60
511015 - LIFE INSURANCE	\$50.58
511020 - SOCIAL SECURITY AND MEDICARE	\$4,158.88
511025 - RETIREMENT BENEFITS	\$3,344.24
520100 - CONTRACT SVCS - CLEANING	\$0.00
520105 - CONTRACT SVCS - LANDSCAPING	\$4,497.45
520110 - OTHER CONTRACTED SVCS	\$2,100.80
521003 - TRAVEL - MEALS	\$0.00
521006 - TRAINING/CONF. REGISTRATION	\$1,200.00
521101 - TELEPHONE	\$928.91
521102 - ELECTRICITY	\$5,640.39
521103 - WATER	\$1,926.31
521104 - NATURAL GAS	\$741.88
521105 - SEWER	\$408.69
521106 - STORM WATER	\$1,241.82
521130 - GARBAGE SERVICES	\$1,291.94
532010 - OPERATING SUPPLIES	\$9,622.73

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

532055 - GASOLINE FUEL	\$0.00
532056 - DIESEL FUEL	\$0.00
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$152.63
532099 - GENERAL SUPPLIES	\$734.97
540050 - R&M - GROUNDS	\$1,991.74
540100 - R&M - EQUIP/MACH	\$775.35
540250 - R&M - VEHICLE	\$3,395.35
540450 - R&M - TRAILS	\$0.00
550250 - AP PMT BY CREDIT CARD FEE	\$0.00
1004220 - PARKS/REC - RECREATION	\$66,410.86
510000 - SALARIES AND WAGES	\$25,217.93
510005 - LIMITED TERM EE SALARIES	\$22,773.53
510006 - OVERTIME PAY	\$0.00
510030 - CELL PHONE REIMBURSEMENT	\$56.00
511005 - HEALTH INSURANCE	\$1,838.92
511015 - LIFE INSURANCE	\$18.11
511020 - SOCIAL SECURITY AND MEDICARE	\$3,644.29
511025 - RETIREMENT BENEFITS	\$2,107.26
520055 - RECRUITMENT FEES & SVCS	\$287.00
532005 - PROGRAM SUPPLIES	\$10,467.82
1004225 - PARKS/REC - FACILITIES	\$58,165.74
510000 - SALARIES AND WAGES	\$15,595.84
510005 - LIMITED TERM EE SALARIES	\$0.00
510006 - OVERTIME PAY	\$344.93
510030 - CELL PHONE REIMBURSEMENT	\$70.00
511005 - HEALTH INSURANCE	\$4,706.12
511015 - LIFE INSURANCE	\$45.27
511020 - SOCIAL SECURITY AND MEDICARE	\$1,157.15
511025 - RETIREMENT BENEFITS	\$1,107.89
520085 - SNOW REMOVAL SVCS	\$2,192.50
520110 - OTHER CONTRACTED SVCS	\$1,778.85
521101 - TELEPHONE	\$1,086.15
521102 - ELECTRICITY	\$9,704.48
521103 - WATER	\$581.88
521104 - NATURAL GAS	\$12,010.09
521105 - SEWER	\$1,077.55
521106 - STORM WATER	\$133.44

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

521130 - GARBAGE SERVICES	\$362.75
532010 - OPERATING SUPPLIES	\$542.11
532055 - GASOLINE FUEL	\$0.00
532099 - GENERAL SUPPLIES	\$112.94
533010 - COMPUTER EQUIP UNDER \$10,000	\$2,887.60
540000 - R&M - BUILDINGS	\$2,667.75
540050 - R&M - GROUNDS	\$0.00
550250 - AP PMT BY CREDIT CARD FEE	\$0.45
1004230 - PARKS/REC - FORESTRY	\$26,927.00
510000 - SALARIES AND WAGES	\$14,476.80
510030 - CELL PHONE REIMBURSEMENT	\$55.00
511005 - HEALTH INSURANCE	\$5,024.02
511015 - LIFE INSURANCE	\$9.92
511020 - SOCIAL SECURITY AND MEDICARE	\$1,042.93
511025 - RETIREMENT BENEFITS	\$1,006.14
520105 - CONTRACT SVCS - LANDSCAPING	\$600.00
532010 - OPERATING SUPPLIES	\$4,618.86
532099 - GENERAL SUPPLIES	\$53.05
540100 - R&M - EQUIP/MACH	\$9.99
550250 - AP PMT BY CREDIT CARD FEE	\$30.29
1004235 - PARKS/REC - AQUATICS	\$19,219.64
511020 - SOCIAL SECURITY AND MEDICARE	\$0.00
520110 - OTHER CONTRACTED SVCS	\$14,400.00
521006 - TRAINING/CONF. REGISTRATION	\$410.00
521101 - TELEPHONE	\$216.12
521102 - ELECTRICITY	\$1,139.90
521103 - WATER	\$444.00
521104 - NATURAL GAS	\$448.11
521105 - SEWER	\$219.32
521106 - STORM WATER	\$218.38
532010 - OPERATING SUPPLIES	\$720.99
532099 - GENERAL SUPPLIES	\$0.00
540050 - R&M - GROUNDS	\$994.27
550250 - AP PMT BY CREDIT CARD FEE	\$8.55
1009909 - CONTINGENCY	\$11,520.00
550000 - MISCELLANEOUS	\$11,520.00
1009910 - NON-DEPT - GEN ADMIN	\$106,127.48

Income Statement

General Fund Income Statement

For the Month of April 2025



Period: 4 to 4

511005 - HEALTH INSURANCE	\$0.00
511010 - WORKERS COMPENSATION DEPT CHGS	(\$1,815.67)
511055 - MEDICAL EVALUATIONS	\$505.00
511070 - TUITION REIMBURSEMENT	\$1,395.56
520015 - BANK FEES	\$6,996.11
520025 - OUTSIDE LEGAL SVCS	\$3,202.10
520050 - CONSULTING SERVICES	\$0.00
520055 - RECRUITMENT FEES & SVCS	\$239.00
520145 - CONTRIB. TO OTHER ENTITIES	\$53,000.00
521102 - ELECTRICITY	\$35,888.00
521106 - STORM WATER	\$314.92
530250 - LIABILITY INS	\$150.00
531100 - EMPLOYEE HEALTH & SAFETY	\$212.00
531500 - ALCOHOL & DRUG TEST PROGRAM	\$144.00
531600 - EE HEALTH CARE CONTAINMENT	\$1,140.00
532060 - POSTAGE	\$20.63
532065 - PRINTING SERVICES	\$0.00
532075 - MEMBERSHIPS & SUBSCRIPTIONS	\$0.00
532085 - FIRST AID & SAFETY SUPPLIES	\$0.00
532099 - GENERAL SUPPLIES	\$4,679.85
550000 - MISCELLANEOUS	\$0.00
550250 - AP PMT BY CREDIT CARD FEE	\$55.98
562400 - LOSS ON INVESTMENT	\$0.00
599900 - PRIOR YEAR EXPENSES	\$0.00
Net Income:	(\$1,920,078.21)

City of La Crosse
General Fund Year-To-Date Revenue Report
For the Period Ending April 30, 2025

DEPARTMENT	REVISED BUDGET	YTD REVENUE	AVAILABLE BUDGET	% USED
04 CLERK	\$ 522,546.00	\$ 181,251.09	\$ 341,294.91	34.69%
20 POLICE	\$ 241,161.00	\$ 269,587.29	\$ (28,426.29)	111.79%
21 FIRE/FPBS	\$ 1,192,915.00	\$ 394,198.88	\$ 798,716.12	33.05%
30 PLANNING/ASSESSOR	\$ 28,600.00	\$ 116,378.23	\$ (87,778.23)	406.92%
33 ENGINEERING	\$ 420,812.00	\$ 99,251.40	\$ 321,560.60	23.59%
34 HIGHWAY/REFUSE	\$ 281,000.00	\$ 290,351.23	\$ (9,351.23)	103.33%
40 LIBRARY	\$ 216,336.00	\$ 185,136.20	\$ 31,199.80	85.58%
42 PARKS/RECREATION/GROUNDS/BL	\$ 536,000.00	\$ 285,666.88	\$ 250,333.12	53.30%
99 NON-DEPARTMENTAL	\$ 68,963,480.00	\$ 48,109,744.14	\$ 20,853,735.86	69.76%
Grand Total	\$ 72,402,850.00	\$ 49,931,565.34	\$ 22,471,284.66	68.96%

City of La Crosse
General Fund Year-To-Date Expenditure Report
For the Period Ending April 30, 2025

DEPARTMENT	REVISED BUDGET	YTD EXPENDED	AVAILABLE BUDGET	% USED
02 FINANCE	\$ 1,653,151.00	\$ 424,736.13	\$ 1,228,414.87	25.69%
03 LEGAL	\$ 837,166.00	\$ 232,967.63	\$ 604,198.37	27.83%
04 CLERK	\$ 601,778.00	\$ 221,299.89	\$ 380,478.11	36.77%
05 COUNCIL	\$ 177,745.00	\$ 42,113.27	\$ 135,631.73	23.69%
06 MAYOR	\$ 332,477.00	\$ 91,834.30	\$ 240,642.70	27.62%
07 MUNICIPAL COURT	\$ 254,905.00	\$ 71,881.24	\$ 183,023.76	28.20%
08 INFORMATION SERVICES	\$ 2,649,743.00	\$ 1,023,579.11	\$ 1,626,163.89	38.63%
09 HUMAN RESOURCES	\$ 636,862.00	\$ 136,524.56	\$ 500,337.44	21.44%
20 POLICE	\$ 13,931,995.00	\$ 3,859,782.11	\$ 10,072,212.89	27.70%
21 FIRE/FPBS	\$ 14,434,251.00	\$ 4,015,680.62	\$ 10,418,570.38	27.82%
30 PLANNING/ASSESSOR	\$ 1,234,839.00	\$ 333,237.04	\$ 901,601.96	26.99%
33 ENGINEERING	\$ 1,927,021.00	\$ 509,218.67	\$ 1,417,802.33	26.43%
34 HIGHWAY/REFUSE	\$ 8,377,481.00	\$ 2,204,082.23	\$ 6,173,398.77	26.31%
40 LIBRARY	\$ 5,201,095.00	\$ 1,512,383.79	\$ 3,688,711.21	29.08%
42 PARKS/RECREATION/GROUNDS/BL	\$ 5,041,152.00	\$ 1,136,051.45	\$ 3,905,100.55	22.54%
99 NON-DEPARTMENTAL	\$ 15,111,189.00	\$ 1,674,073.40	\$ 13,437,115.60	11.08%
Grand Total	\$ 72,402,850.00	\$ 17,489,445.44	\$ 54,913,404.56	24.16%



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0664

Agenda Date: 6/12/2025

Version: 1

Status: Common Council
Matters

In Control: Common Council

File Type: Resolution

Resolution approving 2025 Bills and Engineering Estimates paid in June 2025.

RESOLUTION

BE IT RESOLVED by the Common Council of the City of La Crosse that the monthly bills by departments, the details of which are set forth in the attachment hereto, be and the same are hereby approved and ordered paid.

BE IT FURTHER RESOLVED that orders be drawn for contract estimates in favor of the named person, firm or corporation in the amount stated after their name, the details of which are set forth in the attachment hereto, the same being payment for the estimates and purposes set forth herein.

JUNE 2025 MONTHLY BILL DETAIL

AIRFIELD OPERATIONS	42,343.93	OPERATING GRANT	25,806.77
AIRPORT	3,293.76	PARKING OPERATIONS	4,082.49
ANIMAL LICENSE	19,117.13	PARKING UTILITY	4,584.74
CAPITAL PROGRAM	900,349.21	PARKS - 2023 BOND FUNDS	11,525.00
CAR WASH	2,351.72	PARKS - 2023 NOTE FUNDS	3,227.50
CLERK - ELECTIONS	2,911.38	PARKS - 2024 NOTE FUNDS	45,708.23
CLERK - GEN ADMIN	3,863.05	PARKS - 2025 NOTE FUNDS	18,996.25
CONTINGENCY	25,380.15	PARKS/REC - AQUATICS	39,949.55
COUNCIL - GEN ADMIN	475.00	PARKS/REC - FACILITIES	23,014.95
CUSTOMER ACCOUNTS	5,831.91	PARKS/REC - FORESTRY	7,571.74
DEBT SERVICE NON DEPART	163,731.73	PARKS/REC - GEN ADMIN	3,765.27
ENGINEERING - GEN ADMIN	10,185.87	PARKS/REC - PARKS	32,625.07
FACILITY OPERATIONS	123,933.84	PARKS/REC - RECREATION	24,331.62
FINANCE - GEN ADMIN	9,002.73	PARKS/REC BOAT HOUSE	5,665.00
FINANCE - TREASURY/CUST SVC	16,767.85	PARKS/REC BOAT LANDING IMPRV	12,981.10
FIRE - FIRE & RESCUE OPS	4,163.66	PARKS/REC GOLF COURSE	2.16
FIRE - 2023 BOND FUNDS	6,640.80	PARKS/REC MYRICK PARK IMPRVMNT	1,755.00
FIRE - 2023 NOTE FUNDS	135.84	PARKS/REC PARK IMPROVEMENT	1,433.00
FIRE - 2025 NOTE FUNDS	69,750.88	PARKS/REC PETTIBONE PARK IMPRV	13,259.96
FIRE - FLEET & FACILITIES	12,740.98	PARKS/REC RIVERSIDE PARK IMPRV	7,175.50
FIRE - GEN ADMIN	14,092.57	PARKS/REC SPECIAL OLYMPICS	5,585.52
FIRE - TRAINING & PROF STNDS	848.69	PARKS/REC SPECIAL RECREATION	757.32
FUEL MANAGEMENT	126,030.33	PARKS/REC STATE GRANTS	37,567.10
GEN ADMIN - AIRPORT	30,515.80	PARKS/REC TREE MEMORIALS	670.00
GEN ADMIN - FINANCE	1,007,390.79	PARKS/REC YOUTH ENRCHMNT ASSOC	2,970.28
GEN ADMIN - FIRE/CRM	11,163.07	PASSENGER FACILITY CHARGES - R	4,147.20
GEN ADMIN - IT	527.50	PAYROLL LIABILITIES	1,526,710.53
GEN ADMIN - NON DEPT	44,609.20	PLANNING - COULEE CAP AHP	13,125.00
GEN ADMIN - PARKING	15,070.57	PLANNING - LOCAL GRANTS	102,660.53
GEN ADMIN - POLICE	2,787.34	PLANNING HARBOR SINKING FUND	250.00
GEN ADMIN - STORM	18,903.11	PLANNING TID APPLICATION FEES	2,211.25
GEN ADMIN - TIF	140,421.73	PLANNING/BUILDING & INSPECTION	2,390.40
GEN ADMIN - TRANSIT	387,975.20	PLANNING/DEVELOPMENT-ASSESSMEN	1,633.45
GEN ADMIN - WASTE WATER	679,285.33	PLANNING/DEVELOPMENT-GEN ADMIN	7,732.11
GEN ADMIN - WATER	78,005.91	POLICE - 2023 BOND FUNDS	898.00
GEN ADMIN TID#18	533,037.90	POLICE - 2024 NOTE FUNDS	2,801.69
GENERAL FUND	206,400.12	POLICE - GEN ADMIN	58,036.34
HIGHWAY - GEN ADMIN	195.89	POLICE COMMUNITY SERVICES PROG	550.00
HIGHWAY - REFUSE & RECYCLING	183,875.33	POLICE DRUG INVESTIGATION	75.03
HIGHWAY - SERVICE CHRGES/PARTS	20,175.67	POLICE EQUITABLE SHARING AGREE	2,326.59
HIGHWAY - STREET MAINTENANCE	190,074.63	POLICE GRANT	22,836.74
HUD GRANTS - ADMIN	297.76	POLICE K-9 UNIT	2,897.27
HUD GRANTS - CDBG	1,310.78	POLICE RESERVE PROGRAM	212.36
HUD GRANTS - HOME	76,959.83	POLICE REVOLVING RESTITUTION	250.00
HUD GRANTS - HSING REHAB	43,275.00	POLICE TRAINING	2,649.42
HUD GRANTS - RPLC HSING	2,720.16	PRETREATMENT	66.20
HUMAN RESOURCES - GEN ADMIN	5,228.03	PUMPING	18,145.00
INTEREST CHARGES	691.28	QUALITY MANAGEMENT	59.82
IT - 2023 NOTE FUNDS	9,785.57	REAL ESTATE & PERSONAL PROP TX	169.05
IT - 2024 NOTE FUNDS	27,550.35	SELF-INSURED HEALTH	71.36
IT - 2025 NOTE FUNDS	5.00	SEWER COLLECTION	33,330.39
IT - GEN ADMIN	55,798.03	SOLIDS DISPOSAL	325,051.24
LA CROSSE CENTER - ADMIN	73,436.18	SP ASSIGNED BUDGET CARRYOVER	22,802.75
LA CROSSE CENTER - FOOD & BEV	17,697.98	SPECIAL ASSESSMENTS - ADMIN	1,890.00
LA CROSSE CENTER - PRODUCTION	31,991.75	SPECIAL ASSIGNED	40.00
LA CROSSE CENTER FACILITY OPS.	33,049.60	STOCK ROOM	11,472.96
LABORATORY	21,547.74	STORM COLLECTION	74,684.59
LACROSSE CENTER	2,280.00	STREET SWEEPING	4,393.99
LAX CENTER - 2025 NOTE FUNDS	43,615.00	STREETS - 2023 BOND FUNDS	16,212.46
LEGAL - GEN ADMIN	4,123.59	STREETS - 2023 NOTE FUNDS	3,725.00
LIBRARY - CIRCULATION	12,939.32	STREETS - 2024 NOTE FUNDS	100,957.96
LIBRARY - GEN ADMIN	41,897.45	STREETS - 2025 NOTE FUNDS	335,645.50
LIFT STATIONS	5,568.62	TERMINAL OPERATIONS	12,602.44
MAYOR - GEN ADMIN	453.62	TRANSFERS	94.72
MCPL COURT TRUST	28,939.26	TRANSMISSION & DISTRIBUTION	25,550.06
MISCELLANEOUS AGENCY	57.93	WASTE WATER UTILITY	3,237,885.53
MUNI COURT - GEN ADMIN	110.47	WATER TREATMENT	12,777.00
NON-DEPT - GEN ADMIN	164,915.29	WATER UTILITY	215,024.30
NON-DEPT GRANTS	311,716.02	WWU - 2024 BOND FUNDS	270,656.77
NON-DEPT LOCAL GRANT	1,000.00		

Grand Total

\$12,946,033.83

WARRANT PUBLICATION LIST

WARRANT RANGE: SP050125 TO SP053125 DATES: 01/01/25 TO 12/31/25

ORG

VENDOR NAME	AMOUNT
AIRFIELD OPERATIONS	
BAYCOM INC	221.00
BREYER'S SALES & SERVICE	110.97
ENTERPRISE FM TRUST	1,133.38
FPS OF ONALASKA INC	207.00
HARTLAND FUEL PRODUCTS LLC	11,231.95
MID-WEST ELECTRO-TECH CORP	636.50
NORTHERN STATES POWER CO WI	3,761.13
ROCK OIL REFINING INC	371.67
SHERWIN INDUSTRIES INC	4,320.00
UNITED STATES CELLULAR CORPORA	44.02
VERNON ELECTRIC COOPERATIVE IN	4.98
ZARNOTH BRUSH WORKS INC	457.37
	22,499.97
AIRPORT	
ENTERPRISE FM TRUST	3,293.76
	3,293.76
ANIMAL LICENSE	
COULEE REGION ANIMAL CONTROL D	18,500.00
ONE TIME PAY	12.00
	18,512.00
CAPITAL PROGRAM	
BOUND TREE MEDICAL	838.64
FIRE-RESCUE SUPPLY LLC	14,429.20
KNOX ASSOCIATES INC	18,138.00
	33,405.84
CAPITAL PROGRAM	
CBS SQUARED INC	1,630.67
JOHNSON CONTROLS INC	44,175.00
	45,805.67
CAPITAL PROGRAM	
MEAD AND HUNT INC	14,634.03
REXEL USA INC	366.00
TRAFFIC CONTROL CORPORATION	45,355.00
	60,355.03
CAPITAL PROGRAM	
WI DEPT OF TRANSPORTATION	3,466.43
	3,466.43

WARRANT PUBLICATION LIST

WARRANT RANGE: SP050125 TO SP053125 DATES: 01/01/25 TO 12/31/25

ORG

VENDOR NAME	AMOUNT
CAPITAL PROGRAM	
DONOHUE & ASSOCIATES INC	40,095.77
ENTERPRISE FM TRUST	115,771.96
VISU-SEWER LLC	344,791.20
	500,658.93
CAPITAL PROGRAM	
DONOHUE & ASSOCIATES INC	107,466.32
SHORT ELLIOTT HENDRICKSON INC	9,230.74
SJ ELECTRO SYSTEMS LLC	43,041.00
	159,738.06
CAPITAL PROGRAM	
GERKE EXCAVATING INC	93,087.71
WI DEPT OF TRANSPORTATION	169.50
	93,257.21
CAR WASH	
NORTHERN STATES POWER CO WI	1,467.25
	1,467.25
CLERK - ELECTIONS	
LA CROSSE COUNTY CLERK	2,869.50
	2,869.50
CLERK - GEN ADMIN	
LOFFLER COMPANIES INC	171.89
MINNESOTA LIFE INSURANCE COMPA	20.16
RANDY L BREHMER AND CYNTHIA J	30.00
WI DEPT OF FINANCIAL INSTITUTI	20.00
	242.05
CONTINGENCY	
LA CROSSE COUNTY SOLID WASTE D	420.15
MARION BYERSON	24,960.00
	25,380.15
CUSTOMER ACCOUNTS	
BADGER METER INC	824.25
DAIRYLAND POWER COOPERATIVE	3,658.82
PAYMENT SERVICE NETWORK INC	832.15
THE PERFECT ANSWER INC	169.14
	5,484.36

WARRANT PUBLICATION LIST

WARRANT RANGE: SP050125 TO SP053125 DATES: 01/01/25 TO 12/31/25

ORG

VENDOR NAME	AMOUNT
DEBT SERVICE NON DEPART	
BANC OF AMERICA PUBLIC CAPITAL	28,261.15
ENTERPRISE FM TRUST	103,083.08
WELLS FARGO BANK	32,387.50
	163,731.73
ENGINEERING - GEN ADMIN	
LA CROSSE COUNTY REGISTER OF D	21.00
LOFFLER COMPANIES INC	81.21
MINNESOTA LIFE INSURANCE COMPA	57.26
WESTERN TECHNICAL COLLEGE	495.00
	654.47
FACILITY OPERATIONS	
1ST BUSINESS SOLUTIONS INC	256.73
CORE & MAIN LP	210.61
CUSTOM FAB AND MACHINE LLC	84.22
DONALD E NUMSEN	3,952.50
HACH COMPANY	30,768.00
HAWKINS INC	24,500.49
LAI LLC	7,415.23
MISSISSIPPI WELDERS SUPPLY CO	1,166.67
NORTHERN STATES POWER CO WI	8,192.27
VAN METER INC	5,620.36
VIKING ELECTRIC SUPPLY LLC	2,613.78
XYLEM WATER SOLUTIONS USA INC	19,800.00
ZORN COMPRESSOR & EQUIPMENT IN	3,681.24
	108,262.10
FINANCE - GEN ADMIN	
CANON FINANCIAL SERVICES INC	568.44
CHADWICK HAWKINS	134.40
COMPLETE OFFICE OF WISCONSIN I	3,424.78
JACK HENRY & ASSOCIATES INC	3,584.16
LOFFLER COMPANIES INC	791.84
MINNESOTA LIFE INSURANCE COMPA	52.61
MUNICIPAL TREASURERS ASSC OF W	60.00
THE ARTINA GROUP INC	705.37
	9,321.60
FINANCE - TREASURY/CUST SVC	
PETDATA INC	16,257.60
	16,257.60
FIRE - FIRE & RESCUE OPS	
FIRE-DEX GW LLC	1,771.43
JEFFERSON FIRE & SAFETY INC	1,098.59

WARRANT PUBLICATION LIST

WARRANT RANGE: SP050125 TO SP053125 DATES: 01/01/25 TO 12/31/25

ORG	
VENDOR NAME	AMOUNT
	2,870.02
FIRE - 2023 BOND FUNDS	
MOTOROLA SOLUTIONS INC	6,640.80
	6,640.80
FIRE - 2023 NOTE FUNDS	
BOUND TREE MEDICAL	135.84
	135.84
FIRE - 2025 NOTE FUNDS	
ENTERPRISE FM TRUST	69,750.88
	69,750.88
FIRE - FLEET & FACILITIES	
ACCESS SECURITY INC	420.98
INTEGRAL BUILDING SYSTEMS INC	300.00
INTERSTATE ROOFING & WATERPROOF	285.00
KWIK TRIP INC	373.88
LA CROSSE GLASS COMPANY INC	633.61
MACQUEEN EQUIPMENT LLC	819.48
MIDWEST GAS COM INC	999.00
RELIANT FIRE APPARATUS INC	2,411.61
	6,243.56
FIRE - GEN ADMIN	
AMBER SEVERSON	32.90
KRONOS INCORPORATED	40.50
LOFFLER COMPANIES INC	230.02
MINNESOTA LIFE INSURANCE COMPA	216.99
MISSIONSQUARE RETIREMENT	5,087.91
NORTHERN STATES POWER CO WI	4,608.70
UNITED STATES CELLULAR CORPORA	396.22
VERNON ELECTRIC COOPERATIVE IN	44.79
	10,658.03
FIRE - TRAINING & PROF STNDS	
HILLTOPPER REFUSE & RECYCLING	90.00
	90.00
FUEL MANAGEMENT	
HARTLAND FUEL PRODUCTS LLC	122,199.43
	122,199.43

WARRANT PUBLICATION LIST

WARRANT RANGE: SP050125 TO SP053125 DATES: 01/01/25 TO 12/31/25

ORG

VENDOR NAME	AMOUNT
GEN ADMIN - AIRPORT	
ALLEN MEDIA BROADCASTING EVANS	1,535.00
BOARDMAN & CLARK LLP	283.20
BRIGHTSPEED HOLDING LLC	289.80
CRAWFORD MURPHY & TILLY INC	4,752.50
IDENTITY WORKS INC	785.40
KDP FIRE LLC	5,400.00
LA CROSSE BASEBALL LLC	4,650.00
LOFFLER COMPANIES INC	32.11
MINNESOTA LIFE INSURANCE COMPA	44.77
NEXSTAR BROADCASTING INC	500.00
QUEENB TELEVISION LLC	2,000.00
THE OS GROUP LLC	252.00
	20,524.78
GEN ADMIN - FINANCE	
BLUE CROSS BLUE SHIELD OF WI	746,505.31
DELTA DENTAL OF WI INC	34,477.40
MINNESOTA LIFE INSURANCE COMPA	3.17
NEIGHBORHOOD FAMILY CLINICS IN	28,345.00
PROFESSIONAL BENEFIT ADMINISTR	197,999.81
	1,007,330.69
GEN ADMIN - FIRE/CRM	
FIRE-RESCUE SUPPLY LLC	6,600.80
LOFFLER COMPANIES INC	4,491.83
	11,092.63
GEN ADMIN - NON DEPT	
WISCONSIN MUNICIPAL MUTUAL	43,628.70
	43,628.70
GEN ADMIN - NON DEPT	
MID-WEST ELECTRO-TECH CORP	980.50
	980.50
GEN ADMIN - PARKING	
BAYCOM INC	145.00
CDS NATIONAL HOLDINGS INC	1,075.00
DAHL AUTOMOTIVE LACROSSE INC	439.40
ENTERPRISE FM TRUST	1,555.69
HILLTOPPER REFUSE & RECYCLING	135.23
J F AHERN COMPANY	155.40
LA CROSSE GLASS COMPANY INC	1,109.93
LOFFLER COMPANIES INC	7.84
MINNESOTA LIFE INSURANCE COMPA	.40
NORTHERN STATES POWER CO WI	602.01

WARRANT PUBLICATION LIST

WARRANT RANGE: SP050125 TO SP053125 DATES: 01/01/25 TO 12/31/25

ORG

VENDOR NAME	AMOUNT
PARKING UTILITY REFUND VENDOR	155.00
PARKMOBILE LLC	4,955.38
UNITED STATES CELLULAR CORPORA	32.44
VERNON ELECTRIC COOPERATIVE IN	3.67
	10,372.39
GEN ADMIN - POLICE	
ICOR TECHNOLOGY INC	2,787.34
	2,787.34
GEN ADMIN - STORM	
DAHL AUTOMOTIVE LACROSSE INC	2,801.78
DEPT OF NATURAL RESOURCES	8,000.00
JWR INC	3,015.66
KORTERRA INC	1,821.19
NORTHERN STATES POWER CO WI	2.70
TRILOGY CONSULTING LLC	1,020.00
UNITED STATES CELLULAR CORPORA	23.17
VERNON ELECTRIC COOPERATIVE IN	2.62
	16,687.12
GEN ADMIN - TIF	
GERKE EXCAVATING INC	76,031.55
SHORT ELLIOTT HENDRICKSON INC	22,366.35
	98,397.90
GEN ADMIN - TIF	
EHLERS & ASSOCIATES	318.75
SHORT ELLIOTT HENDRICKSON INC	10,850.00
	11,168.75
GEN ADMIN - TIF	
BENJAMIN HEYER	18,530.40
MARTIN LEUM	115.00
	18,645.40
GEN ADMIN - TIF	
BROCK BORCHARDT	9,785.00
	9,785.00
GEN ADMIN - TRANSIT	
ABBY VANS INC	111,844.67
CURTIS PRINTING COMPANY INC	315.00
ENTERPRISE FM TRUST	597.93
GMV SYNCROMATICS CORP	12,000.00

WARRANT PUBLICATION LIST

WARRANT RANGE: SP050125 TO SP053125 DATES: 01/01/25 TO 12/31/25

ORG

VENDOR NAME	AMOUNT
INTERSTATE POWER SYSTEMS INC	2,589.04
J & K OF LA CROSSE, INC	890.00
KEN'S SERVICE CENTER LLC	310.00
KWIK TRIP INC	20.62
MAGALDI & MAGALDI INC	664.72
MINNESOTA LIFE INSURANCE COMPA	259.31
NICK GETTER	17,195.00
NORTH CENTRAL BUS & EQUIPMENT	74.44
NORTHERN STATES POWER CO WI	3,035.94
SPX TECHNOLOGIES INC	26,930.00
STEVEN LEITNER	345.00
THE BLU GROUP - ADVERTISING &	11,330.00
UNITED STATES CELLULAR CORPORA	111.22
VERNON ELECTRIC COOPERATIVE IN	12.57
WESTERN TECHNICAL COLLEGE	495.00
WYATT WOLFE JR	50.00
ZENOBE AMERICAS EV ASSET CO LL	5,833.34
	194,903.80
GEN ADMIN - TRANSIT	
GMV SYNCROMATICS CORP	151,866.00
	151,866.00
GEN ADMIN - WASTE WATER	
APPLETON PACKING & GASKET CO I	4,010.07
BEC ENTERPRISES LLC	310.38
BOARDMAN & CLARK LLP	530.50
BOBCAT OF THE COULEE REGION IN	875.00
BRIGHTSPEED HOLDING LLC	122.99
DAHL AUTOMOTIVE LACROSSE INC	5,693.29
DEPT OF NATURAL RESOURCES	51,543.95
ENTERPRISE FM TRUST	1,462.87
FARRELL EQUIPMENT & SUPPLY CO	222.99
HALRON LUBRICANTS INC	1,647.46
I&S GROUP INC	10,325.00
KORTERRA INC	1,821.19
KWIK TRIP INC	27.25
LOFFLER COMPANIES INC	7.34
MINNESOTA LIFE INSURANCE COMPA	120.94
MSA SAFETY INC	522.00
NORTHERN STATES POWER CO WI	8.11
PAXXO (USA) INC	5,231.56
SHORT ELLIOTT HENDRICKSON INC	1,368.74
STATE OF WISCONSIN	462,735.07
UNITED STATES CELLULAR CORPORA	69.51
US BANK NATL ASSOC	133,450.00
VERNON ELECTRIC COOPERATIVE IN	7.86
WESTERN TECHNICAL COLLEGE	5,980.00
	688,094.07

WARRANT PUBLICATION LIST

WARRANT RANGE: SP050125 TO SP053125 DATES: 01/01/25 TO 12/31/25

ORG

VENDOR NAME	AMOUNT
GEN ADMIN - WATER	
AIRGAS INC	59.80
DEPT OF NATURAL RESOURCES	125.00
ENTERPRISE FM TRUST	560.08
GGI MOTORS	20.28
HILLTOPPER REFUSE & RECYCLING	292.56
INTERA INCORPORATED	39,862.37
JFTCO INC	1,051.50
KISH & SONS ELECTRIC INC	1,085.85
LA CROSSE COUNTY SOLID WASTE D	150.90
LOFFLER COMPANIES INC	73.08
MATHY CONSTRUCTION COMPANY	20.00
MINNESOTA LIFE INSURANCE COMPA	77.35
NORTHERN STATES POWER CO WI	291.72
TERMINIX INTERNATIONAL CO LTD	86.91
UNITED STATES CELLULAR CORPORA	81.10
VERNON ELECTRIC COOPERATIVE IN	9.17
WATER REFUNDS	1,142.46
	44,990.13
GEN ADMIN - WATER	
1ST BUSINESS SOLUTIONS INC	5,385.10
KISH & SONS ELECTRIC INC	1,734.72
PUBLIC SERVICE COMMISSION OF W	830.21
SUMMIT 360 INC	2,967.93
	10,917.96
GEN ADMIN TID#18	
CHIPPEWA CONCRETE SERVICES INC	21,559.88
GARY THURK	258.00
PARAGON ASSOCIATES INC	2,640.00
REDEVELOPMENT AUTHORITY OF	505,580.02
RIGHT OF WAY PROFESSIONALS INC	3,000.00
	533,037.90
GENERAL FUND	
LA CROSSE COUNTY CONV & VISITO	121,802.23
PLANIT GEO INC	12,100.00
REC REFUNDS	481.00
SCHOOL DISTRICT OF LA CROSSE	3,518.74
THE PITNEY BOWES BANK INC	10,000.00
US BANK NATL ASSOC	468,881.71
WI DEPT OF REVENUE	54,928.00
	671,711.68
HIGHWAY - GEN ADMIN	
MINNESOTA LIFE INSURANCE COMPA	195.89

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VENDOR NAME	AMOUNT
	195.89
HIGHWAY - REFUSE & RECYCLING	
BEST KEPT PORTABLES LLC	105.00
DUBCO INC	1,110.00
HARTER'S QUICK CLEAN UP SERVIC	174,022.44
HILLTOPPER REFUSE & RECYCLING	5,267.27
	180,504.71
HIGHWAY - STREET MAINTENANCE	
BAYCOM INC	1,525.00
BOB'S LOCK & SAFE INC	6,924.06
BRIGHTSPEED HOLDING LLC	20.51
CROELL INC	10,416.25
ELECTRICAL SERVICES	8,740.69
KORTERRA INC	1,821.18
LEDEGAR ROOFING COMPANY INC	2,625.32
LOFFLER COMPANIES INC	218.81
MATHY CONSTRUCTION COMPANY	24,490.29
MID-AMERICAN SIGNAL INC	19,570.00
NORTHERN STATES POWER CO WI	9,221.67
SHERWIN INDUSTRIES INC	29,946.12
SOLES ENTERPRISES INC	10,106.32
THE FRANKLIN INVESTMENT CORPOR	7,214.90
UNITED STATES CELLULAR CORPORA	210.85
VERNON ELECTRIC COOPERATIVE IN	23.84
	133,075.81
HUD GRANTS - ADMIN	
KEVIN CONROY	184.59
	184.59
HUD GRANTS - CDBG	
COLUMN SOFTWARE PBC	170.17
NATL COMMUNITY DEVELOPMENT ASS	940.00
	1,110.17
HUD GRANTS - HOME	
BEST KEPT PORTABLES LLC	105.00
MARTIN LEUM	14,730.00
NORTHERN STATES POWER CO WI	759.04
PERFORMANCE CONCRETE LLC	57,901.30
	73,495.34
HUD GRANTS - HSING REHAB	
BEST CUSTOM HOMES, INC	25,800.00

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VENDOR NAME	AMOUNT
GRAF ELECTRIC INC	1,850.00
HUTSON LAND AND TIMBER LLC	15,625.00
	43,275.00
HUD GRANTS - RPLC HSING	
AVALON DESIGN GROUP INC	2,600.00
NORTHERN STATES POWER CO WI	59.38
	2,659.38
HUMAN RESOURCES - GEN ADMIN	
CRIVELLO, NICHOLS & HALL, S.C.	4,110.00
LOFFLER COMPANIES INC	230.84
MINNESOTA LIFE INSURANCE COMPA	20.54
REBECCA FRANZEN	315.70
	4,677.08
INTEREST CHARGES	
ENTERPRISE FM TRUST	691.28
	691.28
IT - 2023 NOTE FUNDS	
1ST BUSINESS SOLUTIONS INC	5,670.35
	5,670.35
IT - 2024 NOTE FUNDS	
1ST BUSINESS SOLUTIONS INC	170.00
BOB'S LOCK & SAFE INC	3,362.00
SUMMIT 360 INC	20,789.53
	24,321.53
IT - GEN ADMIN	
DURAND ALLEN MATHE	125.00
ENTERPRISE FM TRUST	.02
LOFFLER COMPANIES INC	7.34
MINNESOTA LIFE INSURANCE COMPA	21.63
SITEIMPROVE INC	2,440.08
WINONA HEATING & VENTILATING C	990.00
	3,584.07
LA CROSSE CENTER - ADMIN	
BRIGHTSPEED HOLDING LLC	413.50
CHARTER COMMUNICATIONS HOLDING	4,627.72
COMMERCIAL AV SYSTEMS LLC	18,619.63
GHELFI AWARDS	23.50
HARTER'S QUICK CLEAN UP SERVIC	2,539.15

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ORG

VENDOR NAME	AMOUNT
JSJD MEDIA LLC	2,000.00
LOFFLER COMPANIES INC	122.91
MARION BYERSON	2,686.00
MINNESOTA LIFE INSURANCE COMPA	39.07
NORTHERN STATES POWER CO WI	29,400.26
SPARTA-TOMAH BROADCASTING CO I	725.00
STANSFIELD VENDING INC	8,510.27
TERRY SEBRANEK	250.00
	69,957.01
LA CROSSE CENTER - FOOD & BEV	
BADGER POPCORN & CONCESSION SU	2,084.83
GRINON INDUSTRIES LLC	460.00
HOLIDAY WHOLESALE INC	2,241.49
MARC ANDERSON	701.86
MATTHEW CULLMANN	900.00
MISSISSIPPI WELDERS SUPPLY CO	35.40
PEPSI-COLA BOTTLING CO OF LA C	1,155.00
PERFORMANCE FOOD GROUP INC	6,094.70
SUMMIT FIRE PROTECTION CO	2,400.00
TAVERN LEAGUE OF WISCONSIN INC	200.00
	16,273.28
LA CROSSE CENTER - PRODUCTION	
FAMILY RADIO INC	2,500.00
IHEARTMEDIA ENTERTAINMENT INC	799.99
MAGNUM COMMUNICATIONS INC	1,087.32
MARION BYERSON	1,294.50
RR LIVE PARENTCO LLC	21,990.66
SAWYER HELGESON	150.00
TERRY SEBRANEK	250.00
WI DEPT OF REVENUE	1,515.36
YSW INC	1,000.00
	30,587.83
LA CROSSE CENTER FACILITY OPS.	
BAN-KOE SYSTEMS INC	265.00
BERNIE'S EQUIPMENT COMPANY INC	1,942.39
COULEE REGION MECHANICAL CONTR	10,209.87
INNOVATIVE EXCLUSIVELY LLC	4,199.10
INTERSTATE ROOFING & WATERPROO	2,402.99
MISSISSIPPI WELDERS SUPPLY CO	57.96
NORTHERN STATES POWER CO WI	23.51
OVERHEAD DOOR CO OF THE 7 RIVE	335.20
ROLLINS INC	250.00
TRANE US INC	1,781.08
UNITED STATES CELLULAR CORPORA	201.58
VERNON ELECTRIC COOPERATIVE IN	22.79
VESTIS GROUP INC	8,261.60

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VENDOR NAME	AMOUNT
WOLTER INC	630.97
	30,584.04
LABORATORY	
CT LABORATORIES LLC	498.00
DAVY ENGINEERING CO INC	2,258.75
PACE ANALYTICAL SERVICES LLC	1,590.00
	4,346.75
LABORATORY	
DAVY ENGINEERING CO INC	1,120.00
	1,120.00
LACROSSE CENTER	
JOY PUBLICATIONS LLC	2,280.00
	2,280.00
LAX CENTER - 2025 NOTE FUNDS	
BERNIE'S EQUIPMENT COMPANY INC	43,615.00
	43,615.00
LEGAL - GEN ADMIN	
LOFFLER COMPANIES INC	28.20
MINNESOTA LIFE INSURANCE COMPA	33.11
PREMIUM WATERS INC	43.00
STATE BAR OF WISCONSIN	358.80
	463.11
LIBRARY - CIRCULATION	
CENGAGE LEARNING INC	533.34
INFOUSA MARKETING INC	810.00
JD POWER	215.00
PLAYAWAY PRODUCTS LLC	2,066.92
WISCONSIN LIBRARY SERVICES INC	199.00
	3,824.26
LIBRARY - GEN ADMIN	
BRIGHTSPEED HOLDING LLC	283.34
CENTURYLINK COMMUNICATIONS LLC	9.82
DE LAGE LANDEN FINANCIAL SERVI	84.60
GAGGLE.NET INC	2,875.00
GLENN GARBERS	400.00
HILLTOPPER REFUSE & RECYCLING	973.15
J F AHERN COMPANY	1,846.63
KWIK TRIP INC	62.06

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ORG

VENDOR NAME	AMOUNT
LOFFLER COMPANIES INC	426.03
MARCO TECHNOLOGIES LLC	5,122.96
MINNESOTA LIFE INSURANCE COMPA	56.30
NORTHERN STATES POWER CO WI	7,924.55
PAPER ROLL PRODUCTS INC	873.99
TALON PROTECTION AGENCY INC	16,105.00
	37,043.43
LIFT STATIONS	
SCOTT NORDSTROM	354.00
USEMCO INC	313.13
VAN METER INC	999.32
	1,666.45
LIFT STATIONS	
NORTHERN STATES POWER CO WI	1,550.47
	1,550.47
MAYOR - GEN ADMIN	
LOFFLER COMPANIES INC	15.27
MINNESOTA LIFE INSURANCE COMPA	39.30
	54.57
MCPL COURT TRUST	
COULEE REGION ANIMAL CONTROL D	340.00
LA CROSSE COUNTY TREASURER	7,125.70
MUNICIPAL COURT REFUND VENDOR	1,687.52
STATE OF WISCONSIN	19,786.04
	28,939.26
MISCELLANEOUS AGENCY	
UNITED STATES CELLULAR CORPORA	57.93
	57.93
MUNI COURT - GEN ADMIN	
LOFFLER COMPANIES INC	20.45
MINNESOTA LIFE INSURANCE COMPA	4.32
PREMIUM WATERS INC	13.95
	38.72
NON-DEPT - GEN ADMIN	
AFRICAN AMERICAN MAYORS ASSOC	5,000.00
AMERICAN PLANNING ASSOCIATION	5,000.00
BLAKE HUNDT	1,395.56
BOARDMAN & CLARK LLP	15,100.50

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ORG

VENDOR NAME	AMOUNT
CENTRAL CONSERVATION INC	19,500.00
CLEANWATER CORP OF AMERICA	4,679.85
COUNTY OF LA CROSSE WISCONSIN	8,500.00
CRIVELLO, NICHOLS & HALL, S.C.	2,082.50
FRIENDS OF THE BLUFFLANDS INC	10,000.00
HMOOB CULTURAL AND COMMUNITY A	10,000.00
HOPE RESTORES CORPORATION	25,750.00
INTEGRITY INSURANCE CO	762.00
NORTH LA CROSSE BUSINESS ASSOC	7,500.00
NORTHERN STATES POWER CO WI	43,931.69
STANARD & ASSOCIATES INC	239.00
STATE OF COLORADO	4.50
STATE OF MINNESOTA	9.00
T E BRENNAN CO	2,541.90
VERNON ELECTRIC COOPERATIVE IN	934.02
	162,930.52
NON-DEPT GRANTS	
BAKER TILLY ADVISORY GROUP PAR	457.50
CHIPPEWA CONCRETE SERVICES INC	93,221.42
GERKE EXCAVATING INC	181,012.82
MSA PROFESSIONAL SERVICES INC	18,353.24
NORTH SIDE PROPERTIES LLC	6,020.06
RIVER TRAVEL MEDIA INC	3,333.33
SHORT ELLIOTT HENDRICKSON INC	5,421.45
TETRA TECH INC	3,896.20
	311,716.02
NON-DEPT LOCAL GRANT	
NOLAN MARTIN	1,000.00
	1,000.00
OPERATING GRANT	
GREEN HOMEOWNERS UNITED LLC	25,806.77
	25,806.77
PARKING OPERATIONS	
NORTHERN STATES POWER CO WI	275.99
SP PLUS CORPORATION	3,510.95
	3,786.94
PARKING UTILITY	
ENTERPRISE FM TRUST	4,584.74
	4,584.74
PARKS - 2023 BOND FUNDS	

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ORG

VENDOR NAME	AMOUNT
BOB'S LOCK & SAFE INC	5,220.00
FENCE BROS LLC	1,820.00
MAKEPEACE ENGINEERING LLC	4,485.00
	11,525.00
PARKS - 2023 NOTE FUNDS	
ZILLMER TREE MANAGEMENT LLC	3,227.50
	3,227.50
PARKS - 2024 NOTE FUNDS	
AYRES ASSOCIATES INC	7,870.00
LES MANSKE & SONS EXCAVATING &	24,865.73
ZILLMER TREE MANAGEMENT LLC	12,972.50
	45,708.23
PARKS - 2025 NOTE FUNDS	
CUSTOM MANUFACTURING INC	11,600.00
POINT OF BEGINNING INC	7,396.25
	18,996.25
PARKS/REC - AQUATICS	
CARRICO AQUATIC RESOURCES INC	28,400.00
COULEE REGION MECHANICAL CONTR	741.14
COUNTY OF LA CROSSE WISCONSIN	3,290.00
EDWARD F HAMMELL	446.25
GGI MOTORS	1,504.01
NORTHERN STATES POWER CO WI	716.78
	35,098.18
PARKS/REC - FACILITIES	
FIRST SUPPLY LLC #3010	26.47
JOSHUA R GATES	900.00
LA CROSSE COUNTY SOLID WASTE D	362.75
MICHAEL J MERCIER	2,100.00
NORTHERN STATES POWER CO WI	15,047.33
SCHNEIDER HEATING & AIR CONDIT	2,104.81
UNIFIRST CORPORATION	246.60
	20,787.96
PARKS/REC - FORESTRY	
ALTEC INC	1,732.20
	1,732.20
PARKS/REC - GEN ADMIN	
LA CROSSE YOUTH SOCCER PARENTS	2,025.00

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VENDOR NAME	AMOUNT
LOFFLER COMPANIES INC	168.29
MINNESOTA LIFE INSURANCE COMPA	62.34
	2,255.63
PARKS/REC - PARKS	
BEST KEPT PORTABLES LLC	1,820.00
CASON LAND & WATER MANAGEMENT	854.40
CRESCENT LANDSCAPE SUPPLY INC	2,460.00
DEBRA A HENKE	810.00
DLF USA INC	600.00
GARY THURK	43.00
GREGORY THOMAS FITZSIMMONS	1,799.00
HILLTOPPER REFUSE & RECYCLING	325.70
JOHNSON OPS TREE CARE LLC	2,430.00
LA CROSSE MAIL & PRINT SOLUTIO	40.11
NICHOLAS J HEILMAN	450.00
NORTHERN STATES POWER CO WI	6,089.03
PLANIT GEO INC	2,420.00
PLANT PEDDLER INC	2,422.21
RIVER CITY LAWNSCAPE INC	375.08
VERNON ELECTRIC COOPERATIVE IN	257.87
WOLOSEK LANDSCAPING	1,336.20
ZIEGLER'S LANDSCAPE BY DESIGN	480.00
	25,012.60
PARKS/REC - RECREATION	
AARP	245.00
ACCURACE TIMING SERVICES LLC	2,775.00
JOSEPH E CODY	100.00
LA CROSSE COMMUNITY THEATRE	4,860.00
LAMERS BUS LINES, INC.	3,825.00
READY BUS COMPANY INC	1,467.22
	13,272.22
PARKS/REC BOAT HOUSE	
GARY THURK	4,515.00
THOMAS J PETERSON	400.00
	4,915.00
PARKS/REC BOAT LANDING IMPRV	
BEST KEPT PORTABLES LLC	600.00
DEPARTMENT OF CORRECTIONS	29.70
EAGLE APPLIANCE LLC	642.50
GARY THURK	3,547.50
HILLTOPPER REFUSE & RECYCLING	293.42
MARTY WALLESER	787.50
NICHOLAS J HEILMAN	90.00
NORTHERN STATES POWER CO WI	408.44

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ORG

VENDOR NAME	AMOUNT
RECTRAC LLC	1,390.00
T2 SYSTEMS CANADA INC	450.00
THOMAS J PETERSON	450.00
	8,689.06
PARKS/REC MYRICK PARK IMPRVMT	
MARTY WALLESER	1,575.00
NICHOLAS J HEILMAN	180.00
	1,755.00
PARKS/REC PETTIBONE PARK IMPRV	
DEPARTMENT OF CORRECTIONS	89.97
KAYOESUP LLC	6,545.00
MAKEPEACE ENGINEERING LLC	6,060.00
NICHOLAS J HEILMAN	480.00
	13,174.97
PARKS/REC RIVERSIDE PARK IMPRV	
CHRIS RUNNING	700.00
DEBRA A HENKE	1,233.00
MARTY WALLESER	4,882.50
NICHOLAS J HEILMAN	360.00
	7,175.50
PARKS/REC SPECIAL OLYMPICS	
READY BUS COMPANY INC	1,964.67
	1,964.67
PARKS/REC STATE GRANTS	
CUSTOM MANUFACTURING INC	35,000.00
FAMILY RADIO INC	80.00
PULSE DESIGN INC	2,425.00
	37,505.00
PARKS/REC YOUTH ENRCHMNT ASSOC	
BEST KEPT PORTABLES LLC	250.00
GHELFI AWARDS	79.00
WAYNE D ELLEFSON SR	1,344.50
	1,673.50
PASSENGER FACILITY CHARGES - R	
LEIBOWITZ AMC INC	4,147.20
	4,147.20

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VENDOR NAME	AMOUNT
PAYROLL LIABILITIES	
AMALGAMATED TRANSIT UNION 519	4,141.36
CREATIVE FINANCE INC	450.00
FIRE FIGHTERS ASSOCIATION OF L	4,017.50
FIREFIGHTERS CREDIT UNION	14,561.19
GREAT RIVERS UNITED WAY INC	181.00
LA CROSSE PROFESSIONAL POLICE	6,852.50
MARK HARRING	249.12
MINNESOTA LIFE INSURANCE COMPA	13,037.58
MISSIONSQUARE RETIREMENT	187,273.20
STARMOUNT LIFE INSURANCE COMPA	6,519.95
STATE OF COLORADO	969.21
STATE OF MINNESOTA	1,095.03
STATE OF WI DEPT OF CHILDREN A	7,901.22
STATE OF WISCONSIN	204,292.27
UNITED STATES TREASURY	1,075,169.40
	1,526,710.53
PLANNING - COULEE CAP AHP	
HUTSON LAND AND TIMBER LLC	13,125.00
	13,125.00
PLANNING - LOCAL GRANTS	
CHRISTIAN FAITH HEADRICK CONST	2,100.00
LA CROSSE COMMUNITY FOUNDATION	100,560.53
	102,660.53
PLANNING HARBOR SINKING FUND	
WISCONSIN COMMERCIAL PORTS ASS	250.00
	250.00
PLANNING TID APPLICATION FEES	
EHLERS & ASSOCIATES	2,211.25
	2,211.25
PLANNING/BUILDING & INSPECTION	
LOFFLER COMPANIES INC	30.37
MINNESOTA LIFE INSURANCE COMPA	28.05
WAYNE D ELLEFSON SR	102.00
	160.42
PLANNING/DEVELOPMENT-ASSESSMEN	
CORELOGIC INC	688.20
COSTAR REALTY INFORMATION INC	430.00
DAMMON KROLL	9.80
JOSH BENRUD	230.30

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ORG

VENDOR NAME	AMOUNT
MINNESOTA LIFE INSURANCE COMPA	16.96
SHANNON NEUMANN	200.20
	1,575.46
PLANNING/DEVELOPMENT-GEN ADMIN	
GHELFI AWARDS	23.50
JENNA DINKEL	10.00
LOFFLER COMPANIES INC	26.96
MINNESOTA LIFE INSURANCE COMPA	24.10
NORTHERN STATES POWER CO WI	413.45
PALE BLUE DOT LLC	900.00
PAUL NICHOLAS	1,012.00
RIVER VALLEY PROPERTY MNGMNT O	1,290.00
SHORT ELLIOTT HENDRICKSON INC	2,000.00
	5,700.01
POLICE - GEN ADMIN	
AXON ENTERPRISE INC	630.00
CARGORAXX LLC	966.95
CODY PLENCE	342.42
COMMERCIAL AV SYSTEMS LLC	1,387.80
DAHL AUTOMOTIVE LACROSSE INC	4,439.23
IQ DATA SYSTEMS	326.56
JONI MARIE KREPLINE	8,564.04
JOSHUA R GATES	775.00
LA CROSSE COUNTY SHERIFFS OFFI	11,025.00
LOFFLER COMPANIES INC	163.76
MINNESOTA LIFE INSURANCE COMPA	67.76
NICHOLAS RADDANT	8.00
NORTHERN STATES POWER CO WI	365.55
PERSONNEL EVALUATION INC	187.00
ROLLINS INC	154.00
UNITED STATES CELLULAR CORPORA	400.85
VERNON ELECTRIC COOPERATIVE IN	45.30
	29,849.22
POLICE GRANT	
ADVANTAGE POLICE SUPPLY INC	6,898.56
COUNTY OF LA CROSSE WISCONSIN	3,920.35
LA CROSSE COUNTY SHERIFFS OFFI	6,631.00
NEW HORIZONS SHELTER & OUTREAC	3,575.00
	21,024.91
POLICE RESERVE PROGRAM	
RAY O'HERRON CO INC	134.36
STREICHER'S INC	78.00
	212.36

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ORG

VENDOR NAME	AMOUNT
POLICE REVOLVING RESTITUTION	
MAYO CLINIC HEALTH SYSTEM	250.00
	250.00
POLICE TRAINING	
SONJA WEBER	380.27
STREICHER'S INC	1,462.60
	1,842.87
PUMPING	
BRIGHTSPEED HOLDING LLC	30.58
NORTHERN STATES POWER CO WI	16,111.24
UNITED STATES CELLULAR CORPORA	434.84
VERNON ELECTRIC COOPERATIVE IN	360.83
	16,937.49
REAL ESTATE & PERSONAL PROP TX	
TREASURER REFUNDS	169.05
	169.05
SELF-INSURED HEALTH	
TREASURER REFUNDS	71.36
	71.36
SEWER COLLECTION	
FIRST SUPPLY LLC #3010	116.54
FLOW-RITE PIPE & SEWER SERVICE	250.00
GERKE EXCAVATING INC	5,313.56
HARTER TRUCKING INC	160.00
HUTSON LAND AND TIMBER LLC	15,800.00
	21,640.10
SOLIDS DISPOSAL	
A-1 ADVANCED PUMPING SERVICE I	293,374.80
DONALD E NUMSEN	1,940.00
LA CROSSE COUNTY SOLID WASTE D	24,245.65
	319,560.45
SOLIDS DISPOSAL	
LA CROSSE COUNTY SOLID WASTE D	4,381.30
	4,381.30
SP ASSIGNED BUDGET CARRYOVER	

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ORG

VENDOR NAME	AMOUNT
BOARDMAN & CLARK LLP	3,910.80
BRAUN INTERTEC CORP	1,042.95
FIRST AMERICAN TITLE INSURANCE	75.00
LTC IT SOLUTIONS INC	16,470.00
THE OS GROUP LLC	378.00
TYLER TECHNOLOGIES INC	800.00
	22,676.75
SPECIAL ASSESSMENTS - ADMIN	
BROCK BORCHARDT	1,890.00
	1,890.00
STOCK ROOM	
MIDLAND PAPER COMPANY	378.48
	378.48
STORM COLLECTION	
FLOW-RITE PIPE & SEWER SERVICE	63,207.95
HARTER TRUCKING INC	160.00
HUTSON LAND AND TIMBER LLC	9,100.00
	72,467.95
STREET SWEEPING	
LA CROSSE COUNTY SOLID WASTE D	4,393.99
	4,393.99
STREETS - 2023 BOND FUNDS	
GERKE EXCAVATING INC	7,333.30
WSP USA INC	8,879.16
	16,212.46
STREETS - 2023 NOTE FUNDS	
CHOSEN VALLEY TESTING	3,725.00
	3,725.00
STREETS - 2024 NOTE FUNDS	
ALFRED BENESCH & COMPANY	9,983.60
GERKE EXCAVATING INC	22,399.37
MATHY CONSTRUCTION COMPANY	583.85
MT ROCK INC	54,364.90
SHORT ELLIOTT HENDRICKSON INC	4,644.28
WSP USA INC	8,928.56
	100,904.56

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ORG

VENDOR NAME	AMOUNT
STREETS - 2025 NOTE FUNDS	
ARING EQUIPMENT COMPANY INC	210,900.00
DE BAUCHE TRUCK & DIESEL INC	124,745.50
	335,645.50
TERMINAL OPERATIONS	
BUREAU VERITAS TECHNICAL ASSES	264.33
DLF USA INC	108.00
GGI MOTORS	207.29
MARK LEE WHITE	2,307.08
NORTHERN STATES POWER CO WI	2,471.91
V-DRIVE WAKESPORTS LLC	400.00
	5,758.61
TRANSFERS	
NORTHERN STATES POWER CO WI	88.17
VERNON ELECTRIC COOPERATIVE IN	6.55
	94.72
TRANSMISSION & DISTRIBUTION	
CORE & MAIN LP	3,420.00
DAIRYLAND POWER COOPERATIVE	581.70
FIRST SUPPLY LLC #3010	4,035.02
HYDROCORPS LLC	13,030.00
KORTERRA INC	1,821.19
NORTHERN STATES POWER CO WI	134.85
	23,022.76
WASTE WATER UTILITY	
ENTERPRISE FM TRUST	5,754.41
STATE OF WISCONSIN	3,057,131.12
US BANK NATL ASSOC	175,000.00
	3,237,885.53
WATER TREATMENT	
DAVY ENGINEERING CO INC	2,109.00
HAWKINS INC	6,266.16
NORTHERN LAKE SERVICE INC	4,095.00
UNIVERSITY OF WISCONSIN SYSTEM	31.00
	12,501.16
WATER UTILITY	
CORE & MAIN LP	3,384.18
CROELL INC	734.00
ENTERPRISE FM TRUST	4,933.74
FERGUSON ENTERPRISES INC	1,652.58

WARRANT PUBLICATION LIST

WARRANT RANGE: SP050125 TO SP053125 DATES: 01/01/25 TO 12/31/25

ORG

VENDOR NAME	AMOUNT
FIRST SUPPLY LLC #3010	194,419.80
MARTIN LEUM	9,900.00
	215,024.30

WWU - 2024 BOND FUNDS

GERKE EXCAVATING INC	73,404.52
VISU-SEWER LLC	197,252.25
	270,656.77

TOTAL 12,946,033.83

** END OF REPORT - Generated by Nolte, Brent **

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
100	20,768	GRANICUS	3,570.15
290	20,768	TEAMUP CALENDAR	40.00
800	20,768	516 AUTO VALUE - LA	3.52
800	20,768	516 AUTO VALUE - LA	218.99
800	20,768	516 AUTO VALUE - LA	162.98
800	20,768	516 AUTO VALUE - LA	84.95
800	20,768	516 AUTO VALUE - LA	198.82
800	20,768	516 AUTO VALUE - LA	136.76
800	20,768	AMAZON MKTPL*NB7YK8L	57.70
800	20,768	AMAZON MKTPL*NB8CC5O	69.15
800	20,768	AMAZON MKTPL*ZU9ZK17	16.58
800	20,768	AMAZON RETA* 622OW83	11.98
800	20,768	CONSOLIDATED ENERGY	67.30
800	20,768	CONSOLIDATED ENERGY	30.95
800	20,768	ETRAILER CORPORATION	132.00
800	20,768	ETRAILER CORPORATION	107.58
800	20,768	ETRAILER CORPORATION	103.93
800	20,768	ETRAILER CORPORATION	459.63
800	20,768	FACTORY MOTOR PARTS	111.70
800	20,768	FIMCO SCHABEN AGSPRA	46.39
800	20,768	GRAINGER	146.40
800	20,768	HALRON LUBRICANTS IN	2,712.20
800	20,768	IMPERIAL SUPPLIES	17.40
800	20,768	MACQUEEN EMERG/EQUIP	1,238.00
800	20,768	MICHAELS TRUCK EQUIP	41.70
800	20,768	PETERBILT OF LACROSS	47.11
800	20,768	PETERBILT OF LACROSS	29.80
800	20,768	PETERBILT OF LACROSS	62.40
800	20,768	PETERBILT OF LACROSS	31.86
800	20,768	PETERBILT OF LACROSS	314.21
800	20,768	PETERBILT OF LACROSS	462.24
800	20,768	PETERBILT OF LACROSS	965.58
800	20,768	PETERBILT OF LACROSS	59.48
800	20,768	SAFE-FAST (LAX)	24.00
800	20,768	SAFE-FAST (LAX)	131.30
800	20,768	SAFE-FAST (LAX)	835.22
800	20,768	SAFE-FAST (LAX)	514.75
800	20,768	SAFE-FAST (LAX)	28.00
800	20,768	SCHILLING SUPPLY COM	138.08
800	20,768	SCHILLING SUPPLY COM	114.72
800	20,768	SHERWIN INDUSTRIES	358.12
800	20,768	STAPLES	50.18
800	20,768	WISCONSIN KENWORTH -	40.53
800	20,768	WISCONSIN KENWORTH -	472.32
800	20,768	ZORO TOOLS INC	22.80
800	20,768	ZORO TOOLS INC	215.17
840	20,768	HALRON LUBRICANTS IN	1,915.45
840	20,768	HALRON LUBRICANTS IN	1,915.45

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
1000210	20,768	CDW GOVT #FINANCE -	68.21
1000210	20,768	CENTURYLINK LUMEN	6.91
1000210	20,768	CENTURYLINK LUMEN	4.69
1000210	20,768	GLACIER CANYON LODGE	85.99
1000210	20,768	LA CROSSE MAIL & PRI	12.58
1000210	20,768	LA CROSSE MAIL & PRI	12.39
1000210	20,768	UPS*BILLING CENTER	-39.68
1000210	20,768	UPS*BILLING CENTER	-507.45
1000210	20,768	VERIZONWRLSS*RTCCR V	37.49
1000225	20,768	LA CROSSE MAIL & PRI	0.87
1000225	20,768	LA CROSSE MAIL & PRI	1.14
1000225	20,768	STAPLES	508.24
1000310	20,768	AMAZON MKTPL*YE03R35	9.97
1000310	20,768	AMAZON RETA* NI3727M	92.69
1000310	20,768	CENTURYLINK LUMEN	4.19
1000310	20,768	CENTURYLINK LUMEN	6.47
1000310	20,768	LA CROSSE MAIL & PRI	0.94
1000310	20,768	LA CROSSE MAIL & PRI	1.61
1000310	20,768	LEXISNEXIS RISK SOL	150.00
1000310	20,768	LEXISNEXIS RISK SOL	150.00
1000310	20,768	STAPLES	488.96
1000310	17,795	STATE BAR OF WISCONS	774.00
1000310	20,768	THOMSON WEST*TCD	886.57
1000310	20,768	THOMSON WEST*TCD	886.57
1000310	20,768	UPS*BILLING CENTER	-19.50
1000310	20,768	VERIZONWRLSS*RTCCR V	228.01
1000410	20,768	AMAZON MKTPL*NL9UA4Z	18.80
1000410	20,768	AMAZON MKTPL*NW2C094	200.28
1000410	20,768	CENTURYLINK LUMEN	2.28
1000410	20,768	CENTURYLINK LUMEN	2.04
1000410	20,768	COLUMN PUBLIC NOTICE	33.53
1000410	20,768	COLUMN PUBLIC NOTICE	67.22
1000410	20,768	COLUMN PUBLIC NOTICE	53.56
1000410	20,768	COLUMN PUBLIC NOTICE	73.53
1000410	20,768	COLUMN PUBLIC NOTICE	45.15
1000410	20,768	COLUMN PUBLIC NOTICE	41.99
1000410	20,768	COLUMN PUBLIC NOTICE	285.85
1000410	20,768	COLUMN PUBLIC NOTICE	43.04
1000410	20,768	COLUMN PUBLIC NOTICE	47.25
1000410	20,768	COLUMN PUBLIC NOTICE	39.89
1000410	20,768	COLUMN PUBLIC NOTICE	47.25
1000410	20,768	COLUMN PUBLIC NOTICE	44.10
1000410	20,768	COLUMN PUBLIC NOTICE	56.71
1000410	20,768	COLUMN PUBLIC NOTICE	147.75
1000410	20,768	COLUMN PUBLIC NOTICE	147.75
1000410	20,768	COLUMN PUBLIC NOTICE	254.99
1000410	20,768	COLUMN PUBLIC NOTICE	253.11
1000410	20,768	COLUMN PUBLIC NOTICE	286.98

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
1000410	20,768	COLUMN PUBLIC NOTICE	78.14
1000410	20,768	COLUMN PUBLIC NOTICE	279.44
1000410	20,768	COLUMN PUBLIC NOTICE	286.98
1000410	20,768	COLUMN PUBLIC NOTICE	277.56
1000410	20,768	COLUMN PUBLIC NOTICE	204.37
1000410	20,768	COLUMN PUBLIC NOTICE	94.55
1000410	20,768	COLUMN PUBLIC NOTICE	98.84
1000410	20,768	LA CROSSE MAIL & PRI	24.59
1000410	20,768	LA CROSSE MAIL & PRI	9.98
1000410	20,768	SQ *FIFTH AVENUE AWA	23.50
1000410	20,768	UW LOCAL GOV EDUCATI	20.00
1000410	20,768	WMCA	30.00
1000415	20,768	LA CROSSE MAIL & PRI	20.10
1000415	20,768	LA CROSSE MAIL & PRI	17.02
1000415	20,768	VERIZONWRLSS*RTCCR V	4.76
1000510	20,768	LEAGUE OF WISCONSIN	95.00
1000510	20,768	LEAGUE OF WISCONSIN	95.00
1000510	20,768	LEAGUE OF WISCONSIN	95.00
1000510	20,768	LEAGUE OF WISCONSIN	95.00
1000510	20,768	LEAGUE OF WISCONSIN	95.00
1000610	20,768	AMAZON MARK* 0D5YT3V	32.98
1000610	20,768	AMAZON MARK* 3H2LV1L	18.99
1000610	20,768	AMAZON MARK* 3H2LV1L	20.37
1000610	20,768	AMAZON MARK* 5K8HH2K	67.57
1000610	20,768	AMAZON MARK* BD7LY9T	29.99
1000610	20,768	AMAZON MARK* OE0581D	35.94
1000610	20,768	AMAZON MARK* OE0581D	-6.95
1000610	20,768	CENTURYLINK LUMEN	2.30
1000610	20,768	CENTURYLINK LUMEN	0.98
1000610	20,768	EB *LADCOS 67TH ECON	49.87
1000610	20,768	LA CROSSE MAIL & PRI	0.13
1000610	20,768	LEAGUE OF WISCONSIN	95.00
1000610	20,768	PAR*MOKA - WEST AVE	21.95
1000610	20,768	SQ *MERINGUE BAKERY	-5.39
1000610	20,768	SQ *MERINGUE BAKERY	-5.17
1000610	20,768	VERIZONWRLSS*RTCCR V	40.49
1000710	20,768	AMAZON MKTPL*NZ9Y57O	21.59
1000710	20,768	CENTURYLINK LUMEN	2.54
1000710	20,768	CENTURYLINK LUMEN	2.73
1000710	20,768	LA CROSSE MAIL & PRI	18.02
1000710	20,768	LA CROSSE MAIL & PRI	26.87
1000810	20,768	ACIBRIGHTSPEED	1,153.85
1000810	20,768	ACIBRIGHTSPEED	8.95
1000810	20,768	AMAZON MARK* 4U2XC0Z	51.27
1000810	20,768	AMAZON MARK* 4U2XC0Z	17.73
1000810	20,768	AMAZON MARK* FB2ZP7F	13.98
1000810	20,768	AMAZON MKTPL*NI8V42K	87.48
1000810	20,768	AMAZON MKTPL*NW63L7K	71.85

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
1000810	20,768	AMAZON RETA* GV6ZK8Z	49.02
1000810	20,768	CBI*3DISSUE	599.00
1000810	20,768	CDW GOVT #KOFAX YEAR	5,981.53
1000810	20,768	CDW GOVT #MAYOR EQUI	162.87
1000810	20,768	CDW GOVT #NETAPP REN	42,573.16
1000810	20,768	CDW GOVT #POLICE - 2	13.10
1000810	20,768	CENTURYLINK LUMEN	6.17
1000810	20,768	CENTURYLINK LUMEN	8.91
1000810	20,768	FRESHWORKS INC	-250.00
1000810	20,768	FRESHWORKS INC	617.83
1000810	20,768	FS COM INC	246.96
1000810	20,768	FS COM INC	27.44
1000810	20,768	SRFAX 866-554-0263	60.60
1000810	20,768	TECHSMITH CORPORATIO	456.24
1000810	20,768	VERIZONWRLSS*RTCCR V	72.02
1000810	20,768	VERIZONWRLSS*RTCCR V	157.48
1000810	20,768	ZOOM.COM 888-799-966	26.52
1000910	20,768	CENTURYLINK LUMEN	4.91
1000910	20,768	CENTURYLINK LUMEN	11.67
1000910	20,768	LA CROSSE MAIL & PRI	0.74
1000910	20,768	LA CROSSE MAIL & PRI	0.74
1000910	20,768	SMARTSIGN	116.40
1000910	20,768	SQ *NWTC CORPORATE T	379.00
1000910	20,768	VERIZONWRLSS*RTCCR V	37.49
1002010	20,768	4IMPRINT, INC	373.29
1002010	20,768	AIR SCIENCE	1,206.00
1002010	20,768	AMAZON MARK* M49FT00	15.98
1002010	20,768	AMAZON MKTPL*5U5KY23	19.99
1002010	20,768	AMAZON MKTPL*838O56V	27.45
1002010	20,768	AMAZON MKTPL*EO4PE86	12.99
1002010	20,768	AMAZON MKTPL*KR9XS2Y	5.99
1002010	20,768	AMAZON MKTPL*N29FV2S	99.99
1002010	20,768	AMAZON MKTPL*NB0B211	158.04
1002010	20,768	AMAZON MKTPL*NB0I797	19.54
1002010	20,768	AMAZON MKTPL*NI9DT4M	12.25
1002010	20,768	AMAZON MKTPL*TF0CW12	239.99
1002010	20,768	AMAZON MKTPL*TN3DK05	26.87
1002010	20,768	AMAZON MKTPL*UL6NB8A	78.98
1002010	20,768	AMAZON MKTPL*W12W96A	9.99
1002010	20,768	AMAZON.COM*5I32S4LC3	67.26
1002010	20,768	AMAZON.COM*6F6CC7FS3	9.49
1002010	20,768	AMAZON.COM*IF7RL68M3	77.90
1002010	20,768	AMAZON.COM*N299U2731	18.38
1002010	20,768	AMAZON.COM*N734S74J3	24.78
1002010	20,768	AT&T BILL PAYMENT	534.64
1002010	20,768	AXON	1,700.50
1002010	20,768	BAYLY-INC	124.45
1002010	20,768	CANDLEWOOD SUITES	490.00

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
1002010	20,768	CASA MARGARITA WEST	20.77
1002010	20,768	CASEYS #1682	53.28
1002010	20,768	CENTURYLINK LUMEN	46.90
1002010	20,768	CENTURYLINK LUMEN	56.17
1002010	20,768	CHARRO DECATUR	90.04
1002010	20,768	CHIPOTLE 2350	66.36
1002010	20,768	COULEE AUTO LLC	139.90
1002010	20,768	COULEE AUTO LLC	139.00
1002010	20,768	CULVERS OF DECORAH	11.71
1002010	20,768	EZPRNTS*PHOTOGIFTPRI	27.95
1002010	20,768	FAIRFIELD INN & SUIT	123.20
1002010	20,768	FBI LEEDA INC	795.00
1002010	20,768	FLYNN'S AUTO TRIM	25.00
1002010	20,768	FOX VALLEY TECH	325.00
1002010	20,768	GALLS	60.97
1002010	20,768	GALLS	105.83
1002010	20,768	GEXPRO 7535	165.00
1002010	20,768	GLENDALE PARADE STOR	148.30
1002010	20,768	GRAINGER	78.99
1002010	20,768	GRANICUS	8,330.34
1002010	20,768	HAMPTON INN BY HILTO	250.80
1002010	20,768	HAMPTON INN BY HILTO	250.80
1002010	20,768	IN *JOHNSON, ROBERTS	19.50
1002010	20,768	IN *JOHNSON, ROBERTS	19.50
1002010	20,768	IN *JOHNSON, ROBERTS	39.00
1002010	20,768	IN *JOHNSON, ROBERTS	19.50
1002010	20,768	IN *LASER LABS INC	3,995.00
1002010	20,768	IN *SIGN PRO OF LA C	25.00
1002010	20,768	JIMMY JOHNS 4462	56.47
1002010	20,768	KWIK TRIP #1110	7.15
1002010	20,768	KWIK TRIP #1110	45.13
1002010	20,768	KWIK TRIP #1205	42.32
1002010	20,768	KWIK TRIP #673	48.27
1002010	20,768	LA CROSSE MAIL & PRI	220.00
1002010	20,768	LA CROSSE MAIL & PRI	18.36
1002010	20,768	LA CROSSE MAIL & PRI	11.52
1002010	20,768	LA CROSSE MAIL & PRI	424.57
1002010	20,768	MARATHON PETRO227678	54.40
1002010	20,768	MCDONALD'S F887	10.26
1002010	20,768	MEGASGRILL	77.27
1002010	20,768	MENARDS LA CROSSE WI	384.73
1002010	20,768	MENARDS LA CROSSE WI	16.97
1002010	20,768	MENARDS ONALASKA WI	2.49
1002010	20,768	MID-STATES ORGANIZED	390.00
1002010	20,768	MOVEMENTFORWARD, INC	399.00
1002010	20,768	NATIONAL ASSOCIATION	550.00
1002010	20,768	NATIONAL ASSOCIATION	500.00
1002010	20,768	NATIONAL ASSOCIATION	50.00

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
1002010	20,768	NBS-FVT*FOX VALLEY T	9.26
1002010	20,768	OLIVE GARDEN 0021476	24.61
1002010	20,768	ONLINE QR GENERATOR	239.40
1002010	20,768	PARKING UTILITY SMAR	0.30
1002010	20,768	PARKING UTILITY SMAR	2.00
1002010	20,768	PARKING UTILITY SMAR	4.00
1002010	20,768	PEAVEY CORP.	213.52
1002010	20,768	PHILLIPS 66 - BILLIN	5.39
1002010	20,768	PISCHE MOTORS OF LA	215.95
1002010	20,768	PROPIO LANGUAGE SERV	9.52
1002010	20,768	SHELL OIL 1247729701	49.00
1002010	20,768	SHELL OIL 5744411530	15.74
1002010	20,768	SLIDERZ BAR AND GRIL	101.03
1002010	20,768	SLIDERZ BAR AND GRIL	3.50
1002010	20,768	SQ *FIFTH AVENUE AWA	60.50
1002010	20,768	SQ *NWTC CORPORATE T	379.00
1002010	20,768	STALKER RADAR	96.95
1002010	20,768	TLO TRANSUNION	200.80
1002010	20,768	TST*TRIO ENTERTAINME	28.31
1002010	20,768	UNIVERSITY OF WI RIV	2.00
1002010	20,768	UPS*BILLING CENTER	104.57
1002010	20,768	UPS*BILLING CENTER	15.65
1002010	20,768	UPS*BILLING CENTER	23.60
1002010	20,768	UPS*BILLING CENTER	33.41
1002010	20,768	UPS*BILLING CENTER	14.17
1002010	20,768	VERIZONWRLSS*RTCCR V	108.17
1002010	20,768	VERIZONWRLSS*RTCCR V	1,084.45
1002010	20,768	VERIZONWRLSS*RTCCR V	1,015.87
1002010	20,768	WIEBKE FUR CO	33.99
1002110	20,768	ACI*BRIGHTSPEED	239.58
1002110	20,768	ACI*BRIGHTSPEED	239.81
1002110	20,768	ADOBE *ADOBE	4.99
1002110	20,768	AMAZON MKTPL*2R19159	10.97
1002110	20,768	AMAZON MKTPL*8H9AQ7Z	17.28
1002110	20,768	AMAZON MKTPL*9F59K36	19.84
1002110	20,768	AMAZON MKTPL*KT07W2V	31.34
1002110	20,768	AMAZON RETA* NB5DL2L	23.99
1002110	20,768	AMAZON RETA* NI3UX5L	13.21
1002110	20,768	ATT* BILL PAYMENT	80.83
1002110	20,768	ATT* BILL PAYMENT	80.83
1002110	20,768	CENTURYLINK LUMEN	12.74
1002110	20,768	CENTURYLINK LUMEN	13.53
1002110	20,768	LA CROSSE MAIL & PRI	0.07
1002110	20,768	LA CROSSE MAIL & PRI	185.19
1002110	20,768	MATTERPORT.COM	756.00
1002110	20,768	MENARDS LA CROSSE WI	91.99
1002110	20,768	MENARDS LA CROSSE WI	19.71
1002110	20,768	MENARDS LA CROSSE WI	39.22

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
1002110	20,768	MICHAELS #9490	11.06
1002110	20,768	SAMSLUB.COM	16.48
1002110	20,768	UPS*BILLING CENTER	6.58
1002110	20,768	VERIZONWRLSS*RTCCR V	192.07
1002110	20,768	VERIZONWRLSS*RTCCR V	133.06
1002110	20,768	VERIZONWRLSS*RTCCR V	560.30
1002110	20,768	VERIZONWRLSS*RTCCR V	592.55
1002110	20,768	WM SUPERCENTER #5127	11.23
1002110	20,768	WM SUPERCENTER #5127	30.09
1002120	20,768	AMAZON MKTPL*2R19159	38.40
1002120	20,768	AMAZON RETA* NW0XK3L	55.61
1002120	20,768	BEST KEPT PORTABLES	90.00
1002120	20,768	FARM & FLEET OF LACR	-239.94
1002120	20,768	GUND CONTINUING MED	50.00
1002120	20,768	GUND CONTINUING MED	50.00
1002120	20,768	HAMPTON INN & SUITES	98.00
1002120	20,768	IL TOLLWAY -PAY BY P	10.13
1002120	20,768	IL TOLLWAY -PAY BY P	10.13
1002120	20,768	IL TOLLWAY -PAY BY P	3.37
1002120	20,768	IL TOLLWAY -PAY BY P	3.37
1002120	20,768	MENARDS LA CROSSE WI	32.18
1002120	20,768	NORTHWEST RIVER SUPP	88.04
1002120	20,768	TST*PIZZERIA DOLOROS	94.40
1002120	20,768	WISC CHAPTER 25 - IN	375.00
1002125	20,768	AIRGAS - NORTH	188.40
1002125	20,768	AMAZON MKTPL*KT07W2V	15.99
1002125	20,768	BOUND TREE MEDICAL L	175.66
1002125	20,768	BOUND TREE MEDICAL L	71.99
1002125	20,768	GUNDERSEN LTH ADM SV	307.38
1002125	20,768	IN *CHOICE1 HEALTH C	419.20
1002125	20,768	NATIONAL REGISTRY EM	25.00
1002125	20,768	TWILIO INC	90.02
1002130	20,768	516 AUTO VALUE - LA	16.99
1002130	20,768	516 AUTO VALUE - LA	225.21
1002130	20,768	516 AUTO VALUE - LA	-29.00
1002130	20,768	ALLIANT POWER	3,361.83
1002130	20,768	AMAZON MKTPL*768JY1P	25.98
1002130	20,768	AMAZON MKTPL*CC2WS5U	49.64
1002130	20,768	AMAZON MKTPL*N269U39	94.98
1002130	20,768	AMAZON MKTPL*NB8N93P	34.73
1002130	20,768	AMAZON MKTPL*R92657N	25.61
1002130	20,768	AMAZON RETA* NW5DL6Y	417.35
1002130	20,768	DEBAUCHE TRUCK & DIE	282.94
1002130	20,768	DEBAUCHE TRUCK & DIE	428.57
1002130	20,768	DEBAUCHE TRUCK & DIE	231.60
1002130	20,768	KIMBALL MIDWEST PAYE	146.18
1002130	20,768	MENARDS LA CROSSE WI	43.22
1002130	20,768	MENARDS LA CROSSE WI	7.78

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
1002130	20,768	MENARDS LA CROSSE WI	48.46
1002130	20,768	MENARDS LA CROSSE WI	96.09
1002130	20,768	MENARDS LA CROSSE WI	94.99
1002130	20,768	NAPA STORE 3388506	537.45
1002130	20,768	NAPA STORE 3388506	-537.45
1002130	20,768	NORTHERN BATTERY 108	664.12
1002130	20,768	NORTHERN BATTERY 108	-80.00
1002130	20,768	PAULS HEATING AND AI	100.00
1002130	20,768	QUALITY ELEVATOR PRO	195.38
1002130	20,768	QUALITY ELEVATOR PRO	-3.00
1002130	20,768	QUALITY ELEVATOR PRO	9.77
1002130	20,768	SUMMIT FIRE PROTECTI	8.00
1003010	20,768	AMAZON MKTPL*9A2UW70	95.80
1003010	20,768	APA	575.00
1003010	20,768	CENTURYLINK LUMEN	8.48
1003010	20,768	CENTURYLINK LUMEN	11.76
1003010	20,768	CHICAGO BOOKS & JOUR	46.91
1003010	20,768	CHIPOTLE 2555	13.92
1003010	20,768	CHOPSTICKERS	12.57
1003010	20,768	FSP*SHEPARD ROAD AIR	94.57
1003010	20,768	HYATT REG DENVER CC	11.22
1003010	20,768	HYATT REG DENVER CC	24.68
1003010	20,768	HYATT REG DENVER CC	20.94
1003010	20,768	HYATT REGENCY DENVER	859.10
1003010	20,768	LA CROSSE* INV-61892	75.00
1003010	20,768	MASABI_RTD	10.00
1003010	20,768	NAPCOMMISSIONS	15.00
1003010	20,768	PANDA EXPRESS A GATE	12.91
1003010	20,768	TST* LEVEN DELI	17.95
1003010	20,768	TST* PONY UP	29.51
1003010	20,768	TST*5280 BURGER BAR	31.21
1003010	20,768	TST*CHERRY CRICKET -	21.74
1003010	20,768	TST*RHEIN HAUS - DEN	33.62
1003010	20,768	UPS*BILLING CENTER	10.21
1003015	20,768	AMAZON MKTPL*242CB6N	32.29
1003015	20,768	AMAZON MKTPL*3P66U07	50.86
1003015	20,768	AMAZON MKTPL*8O97Q6F	25.41
1003015	20,768	AMAZON MKTPL*9E8TR2G	82.97
1003015	20,768	AMAZON MKTPL*O53D16O	145.88
1003015	20,768	AMAZON MKTPL*PLACE PMTS	-32.29
1003015	20,768	AMAZON MKTPL*PLACE PMTS	-61.00
1003015	20,768	AMAZON RETA* 8Y55W8J	21.47
1003015	20,768	CENTURYLINK LUMEN	6.74
1003015	20,768	CENTURYLINK LUMEN	7.85
1003015	20,768	DOA E PAY DOC SALES	502.60
1003015	20,768	DSPS E SERVICE FEE R	0.34
1003015	20,768	DSPS E SERVICE FEE R	0.71
1003015	20,768	GALLS	332.74

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1003015	20,768	LA CROSSE MAIL & PRI	15.21
1003015	20,768	LA CROSSE MAIL & PRI	7.57
1003015	20,768	MENARDS LA CROSSE WI	12.83
1003015	20,768	MENARDS LA CROSSE WI	10.53
1003015	20,768	MENARDS LA CROSSE WI	-0.55
1003015	20,768	MENARDS LA CROSSE WI	67.91
1003015	20,768	MENARDS LA CROSSE WI	59.54
1003015	20,768	MENARDS LA CROSSE WI	1.22
1003015	20,768	MENARDS LA CROSSE WI	-31.98
1003015	20,768	SP NINJA TRANSFERS D	27.41
1003015	20,768	STAPLES	37.73
1003015	20,768	STAYBRIDGE SUITES WI	-114.10
1003015	20,768	STAYBRIDGE SUITES WI	114.10
1003015	20,768	USCELL RECURRING	39.57
1003015	20,768	USCELL RECURRING	39.57
1003015	20,768	VERIZONWRLSS*RTCCR V	176.15
1003015	20,768	VERIZONWRLSS*RTCCR V	304.00
1003015	20,768	WI CODE UPDATES	40.00
1003015	20,768	WI DSPS LICENSURE	15.00
1003015	20,768	WI DSPS LICENSURE	31.70
1003015	20,768	WI IAEI	170.00
1003015	20,768	WL *VUE*TESTING EXAM	90.00
1003045	20,768	CENTURYLINK LUMEN	4.62
1003045	20,768	CENTURYLINK LUMEN	2.57
1003045	20,768	LA CROSSE MAIL & PRI	0.67
1003045	20,768	LA CROSSE MAIL & PRI	0.13
1003045	20,768	WL *VUE*TESTING EXAM	50.00
1003310	20,768	AMAZON MKTPL*9N95881	65.87
1003310	20,768	AMAZON MKTPL*9N95881	99.71
1003310	20,768	AMAZON MKTPL*B04QC5T	28.79
1003310	20,768	AMAZON MKTPL*D56D21G	11.94
1003310	20,768	AMAZON MKTPL*NB0JA4A	68.98
1003310	20,768	AMAZON MKTPL*NB8RO3A	71.96
1003310	20,768	AMAZON MKTPL*Z93TH1L	5.69
1003310	20,768	AMAZON MKTPL*PLACE PMTS	-0.58
1003310	20,768	AMAZON MKTPL*PLACE PMTS	-22.00
1003310	20,768	AMAZON.COM*JV2H904Z3	32.00
1003310	20,768	CDW GOVT #AD4ZM7X	6,538.60
1003310	20,768	CDW GOVT #AD5FC6K	15.00
1003310	20,768	CDW GOVT #AD5FN5H	204.63
1003310	20,768	CENTURYLINK LUMEN	6.15
1003310	20,768	CENTURYLINK LUMEN	8.10
1003310	20,768	LA CROSSE MAIL & PRI	4.29
1003310	20,768	LA CROSSE MAIL & PRI	5.49
1003310	20,768	MENARDS LA CROSSE WI	14.49
1003310	20,768	MENARDS LA CROSSE WI	260.18
1003310	20,768	METALS DEPOT	109.77
1003310	20,768	METALS DEPOT	-5.23

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1003310	20,768	MU EXT CONF & EVENTS	800.00
1003310	20,768	SAFE-FAST (LAX)	169.98
1003310	20,768	SURVEY SUPPLY INC	259.03
1003310	20,768	VERIZONWRLSS*RTCCR V	133.04
1003310	20,768	VERIZONWRLSS*RTCCR V	645.52
1003415	20,768	21C MUSEUM HOTEL ST	23.33
1003415	20,768	21C MUSEUM HOTEL ST	733.17
1003415	20,768	21C MUSEUM HOTEL ST	969.42
1003415	20,768	3M CREDIT	3,961.05
1003415	20,768	516 AUTO VALUE - LA	48.99
1003415	20,768	516 AUTO VALUE - LA	-1,308.00
1003415	20,768	516 AUTO VALUE - LA	54.95
1003415	20,768	516 AUTO VALUE - LA	18.60
1003415	20,768	516 AUTO VALUE - LA	7.99
1003415	20,768	516 AUTO VALUE - LA	-18.60
1003415	20,768	516 AUTO VALUE - LA	41.99
1003415	20,768	516 AUTO VALUE - LA	49.38
1003415	20,768	516 AUTO VALUE - LA	140.99
1003415	20,768	516 AUTO VALUE - LA	3.99
1003415	20,768	516 AUTO VALUE - LA	-93.37
1003415	20,768	516 AUTO VALUE - LA	7.49
1003415	20,768	516 AUTO VALUE - LA	30.78
1003415	20,768	516 AUTO VALUE - LA	98.76
1003415	20,768	ACE OF LA CROSSE	5.32
1003415	20,768	ACE OF LA CROSSE	199.98
1003415	20,768	AMAZON MKTPL*2U8N22M	159.95
1003415	20,768	AMAZON MKTPL*438DZ65	23.39
1003415	20,768	AMAZON MKTPL*438DZ65	259.90
1003415	20,768	AMAZON MKTPL*438DZ65	34.98
1003415	20,768	AMAZON MKTPL*7A54I45	7.99
1003415	20,768	AMAZON MKTPL*7B6UO38	44.99
1003415	20,768	AMAZON MKTPL*IU1TY9Z	39.38
1003415	20,768	AMAZON MKTPL*JL93X3K	30.87
1003415	20,768	AMAZON MKTPL*MU5925K	32.99
1003415	20,768	AMAZON MKTPL*N25K58S	59.48
1003415	20,768	AMAZON MKTPL*N88KM16	35.85
1003415	20,768	AMAZON MKTPL*NB1W070	138.50
1003415	20,768	AMAZON MKTPL*NB5EL3H	15.99
1003415	20,768	AMAZON MKTPL*NB6MN90	88.17
1003415	20,768	AMAZON MKTPL*S62F57T	32.99
1003415	20,768	AMAZON MKTPL*TV7R69P	81.63
1003415	20,768	AMAZON MKTPL*W17NV0B	19.59
1003415	20,768	AMAZON MKTPL*Z185H8D	24.73
1003415	20,768	AMAZON MKTPL*ZI95M76	9.99
1003415	20,768	AMAZON MKTPL*ZU9ZK17	19.66
1003415	20,768	AMAZON MKTPLACE PMTS	-23.39
1003415	20,768	AMAZON MKTPLACE PMTS	-19.99
1003415	20,768	AMAZON MKTPLACE PMTS	-32.99

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1003415	20,768	AMAZON MKTPLACE PMTS	-32.99
1003415	20,768	AMAZON RETA* 1E0GU38	10.87
1003415	20,768	AMAZON.COM*E50YY0UR3	47.45
1003415	20,768	AMAZON.COM*NI21H0H52	32.94
1003415	20,768	AMAZON.COM*NI3SE2PK2	187.66
1003415	20,768	BERNIE BUCHNER PLUMB	3,779.03
1003415	20,768	BERNIE BUCHNER PLUMB	1,206.88
1003415	20,768	BEST KEPT PORTABLES	40.00
1003415	20,768	CENTURYLINK LUMEN	16.18
1003415	20,768	CENTURYLINK LUMEN	11.46
1003415	20,768	DEBAUCHE TRUCK & DIE	82.54
1003415	20,768	DEBAUCHE TRUCK & DIE	-82.54
1003415	20,768	DEBAUCHE TRUCK & DIE	-110.60
1003415	20,768	DECKER SUPPLY CO INC	417.76
1003415	20,768	ETRAILER CORPORATION	572.37
1003415	20,768	FACTORY MOTOR PARTS	-284.98
1003415	20,768	FACTORY MOTOR PARTS	-105.00
1003415	20,768	FACTORY MOTOR PARTS	-22.99
1003415	20,768	FACTORY MOTOR PARTS	13.00
1003415	20,768	FARRELL EQUIPMENT&SU	72.99
1003415	20,768	FARRELL EQUIPMENT&SU	175.98
1003415	20,768	FARRELL EQUIPMENT&SU	1,649.94
1003415	20,768	FARRELL EQUIPMENT&SU	99.94
1003415	20,768	FARRELL EQUIPMENT&SU	607.98
1003415	20,768	FARRELL EQUIPMENT&SU	309.69
1003415	20,768	FASTENAL COMPANY 01W	8.24
1003415	20,768	GEXPRO 7535	927.03
1003415	20,768	GEXPRO 7535	290.00
1003415	20,768	GEXPRO 7535	2,310.00
1003415	20,768	GEXPRO 7535	6,250.00
1003415	20,768	GEXPRO 7535	4,450.00
1003415	20,768	GEXPRO 7535	185.00
1003415	20,768	GEXPRO 7535	225.00
1003415	20,768	GEXPRO 7535	927.00
1003415	20,768	GEXPRO 7535	96.00
1003415	20,768	GEXPRO 7535	230.00
1003415	20,768	GEXPRO 7535	25.02
1003415	20,768	GEXPRO 7535	120.62
1003415	20,768	GRIMCO INC	456.00
1003415	20,768	GRIMCO INC	1,874.99
1003415	20,768	HALRON LUBRICANTS IN	1,731.21
1003415	20,768	HARBOR FREIGHT TOOLS	357.92
1003415	20,768	HARBOR FREIGHT TOOLS	149.99
1003415	20,768	HARBOR FREIGHT TOOLS	25.93
1003415	20,768	IMPERIAL SUPPLIES	1,073.58
1003415	20,768	IMPERIAL SUPPLIES	154.31
1003415	20,768	IMPERIAL SUPPLIES	71.12
1003415	20,768	IMPERIAL SUPPLIES	53.23

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1003415	20,768	IMPERIAL SUPPLIES	351.46
1003415	20,768	IMPERIAL SUPPLIES	114.88
1003415	20,768	IMPERIAL SUPPLIES	101.40
1003415	20,768	IMPERIAL SUPPLIES	215.62
1003415	20,768	IMPERIAL SUPPLIES	750.01
1003415	20,768	KIMBALL MIDWEST PAYE	599.15
1003415	20,768	KIMBALL MIDWEST PAYE	483.89
1003415	20,768	KIMBALL MIDWEST PAYE	212.75
1003415	20,768	KIMBALL MIDWEST PAYE	199.94
1003415	20,768	KIMBALL MIDWEST PAYE	37.09
1003415	20,768	LA CROSSE GLASS COMP	149.00
1003415	20,768	LA CROSSE MAIL & PRI	0.13
1003415	20,768	LA CROSSE MAIL & PRI	0.27
1003415	20,768	LA CROSSE SEED LLC	141.42
1003415	20,768	LA CROSSE SEED LLC	5.66
1003415	20,768	MARRIOTT ST LOUIS GR	5.66
1003415	20,768	MCDONALD'S F30609	24.36
1003415	20,768	MENARDS LA CROSSE WI	48.26
1003415	20,768	MENARDS LA CROSSE WI	9.99
1003415	20,768	MENARDS LA CROSSE WI	942.94
1003415	20,768	MENARDS LA CROSSE WI	104.60
1003415	20,768	MENARDS LA CROSSE WI	-599.00
1003415	20,768	MENARDS LA CROSSE WI	60.39
1003415	20,768	MENARDS LA CROSSE WI	45.95
1003415	20,768	MENARDS LA CROSSE WI	448.10
1003415	20,768	MENARDS LA CROSSE WI	-153.05
1003415	20,768	MENARDS LA CROSSE WI	95.97
1003415	20,768	MENARDS LA CROSSE WI	68.90
1003415	20,768	MENARDS LA CROSSE WI	-59.94
1003415	20,768	MISSISSIPPI WELDERS	101.64
1003415	20,768	MISSISSIPPI WELDERS	531.81
1003415	20,768	MISSISSIPPI WELDERS	84.70
1003415	20,768	MOBOTREX INC	10,841.00
1003415	20,768	O'REILLY 2214	318.00
1003415	20,768	PAPA JOHN'S #4576	25.23
1003415	20,768	PETERBILT OF LACROSS	687.50
1003415	20,768	PRECISE MRM LLC	100.00
1003415	20,768	RONCO ENGR SALES-LA	39.40
1003415	20,768	SAFE-FAST (LAX)	99.67
1003415	20,768	SAFE-FAST (LAX)	13.99
1003415	20,768	SAFE-FAST (LAX)	59.10
1003415	20,768	SAFE-FAST (LAX)	2,415.76
1003415	20,768	SAMSCLUB.COM	191.76
1003415	20,768	SHELL OIL 5744549650	51.77
1003415	20,768	SQ *AMERICA'S CENTER	41.80
1003415	20,768	TITAN MACHINERY - LA	-717.14
1003415	20,768	TITAN MACHINERY - LA	-959.84
1003415	20,768	TOWMATE INC	4.05

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1003415	20,768	UNIFIRST CORPORATION	381.68
1003415	20,768	UNIFIRST CORPORATION	401.68
1003415	20,768	UNIFIRST FIRST AID C	48.36
1003415	20,768	VERIZONWRLSS*RTCCR V	76.05
1003415	20,768	VERIZONWRLSS*RTCCR V	548.27
1003415	20,768	WINTER EQUIPMENT CO	157.59
1003415	20,768	ZORO TOOLS INC	38.69
1003415	20,768	ZORO TOOLS INC	261.89
1003420	20,768	ALAMO GROUP	3,062.61
1003420	20,768	AMAZON MKTPL*ACODI4X	20.98
1003420	20,768	AMAZON MKTPL*YJ7O00L	7.99
1003420	20,768	AMAZON MKTPL*Z185H8D	25.19
1003420	20,768	GEXPRO 7535	206.90
1003420	20,768	LA CROSSE MAIL & PRI	29.15
1003420	20,768	LA CROSSE MAIL & PRI	5.83
1003420	20,768	MENARDS LA CROSSE WI	11.97
1003430	20,768	121 KEYSTONE AUTOMOT	425.00
1003430	20,768	516 AUTO VALUE - LA	4.41
1003430	20,768	516 AUTO VALUE - LA	71.88
1003430	20,768	516 AUTO VALUE - LA	5.76
1003430	20,768	516 AUTO VALUE - LA	60.88
1003430	20,768	516 AUTO VALUE - LA	23.09
1003430	20,768	516 AUTO VALUE - LA	18.98
1003430	20,768	516 AUTO VALUE - LA	2.99
1003430	20,768	516 AUTO VALUE - LA	32.16
1003430	20,768	516 AUTO VALUE - LA	9.99
1003430	20,768	516 AUTO VALUE - LA	36.28
1003430	20,768	516 AUTO VALUE - LA	54.99
1003430	20,768	516 AUTO VALUE - LA	14.98
1003430	20,768	516 AUTO VALUE - LA	12.99
1003430	20,768	516 AUTO VALUE - LA	7.99
1003430	20,768	516 AUTO VALUE - LA	20.00
1003430	20,768	516 AUTO VALUE - LA	14.21
1003430	20,768	516 AUTO VALUE - LA	19.99
1003430	20,768	516 AUTO VALUE - LA	23.96
1003430	20,768	516 AUTO VALUE - LA	14.99
1003430	20,768	518 AUTO VALUE - LA	67.98
1003430	20,768	AMAZON MKTPL*7A54I45	36.66
1003430	20,768	AMAZON MKTPL*EG0M56D	1,230.65
1003430	20,768	AMAZON MKTPL*H121Q3L	47.98
1003430	20,768	AMAZON MKTPL*TR5H62F	57.48
1003430	20,768	AMAZON MKTPL*WH04C9U	239.34
1003430	20,768	AMAZON.COM*AM2L55M93	146.62
1003430	20,768	BLAIN'S FARM & FLEET	1,599.98
1003430	20,768	BOBCAT OF THE COULEE	89.17
1003430	20,768	BROOKS TRACTOR SPART	200.00
1003430	20,768	BROOKS TRACTOR SPART	108.98
1003430	20,768	BROOKS TRACTOR WEST	110.85

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1003430	20,768	DAVE SYVERSON FREIGH	514.73
1003430	20,768	DAVE SYVERSON FREIGH	1,275.43
1003430	20,768	DEBAUCHE TRUCK & DIE	154.10
1003430	20,768	DEBAUCHE TRUCK & DIE	169.21
1003430	20,768	DEBAUCHE TRUCK & DIE	317.10
1003430	20,768	EFFINGER EQUIPMENT S	31.99
1003430	20,768	ETRAILER CORPORATION	258.31
1003430	20,768	ETRAILER CORPORATION	53.99
1003430	20,768	FACTORY MOTOR PARTS	239.96
1003430	20,768	FACTORY MOTOR PARTS	491.97
1003430	20,768	FASTENAL COMPANY 01W	4.40
1003430	20,768	GOLDBECK TOWING SERV	266.50
1003430	20,768	GOODYEAR AUTO SRV CT	559.36
1003430	20,768	HARBOR FREIGHT TOOLS	0.03
1003430	20,768	IMPERIAL SUPPLIES	380.49
1003430	20,768	KIMBALL MIDWEST PAYE	30.28
1003430	20,768	MACQUEEN EMERG/EQUIP	28.16
1003430	20,768	MACQUEEN EMERG/EQUIP	149.26
1003430	20,768	MACQUEEN EMERG/EQUIP	81.57
1003430	20,768	MENARDS LA CROSSE WI	21.27
1003430	20,768	MENARDS LA CROSSE WI	1.19
1003430	20,768	MENARDS LA CROSSE WI	7.90
1003430	20,768	MICHAELS TRUCK EQUIP	805.00
1003430	20,768	NORTHERN BATTERY 108	201.30
1003430	20,768	O'REILLY 2214	17.99
1003430	20,768	O'REILLY 2214	7.46
1003430	20,768	PETERBILT OF LACROSS	78.93
1003430	20,768	PETERBILT OF LACROSS	471.84
1003430	20,768	PETERBILT OF LACROSS	833.33
1003430	20,768	PETERBILT OF LACROSS	98.52
1003430	20,768	PETERBILT OF LACROSS	155.65
1003430	20,768	PISCHKE MOTORS OF LA	105.56
1003430	20,768	ROCHESTER FORD - MN	98.25
1003430	20,768	ROCHESTER FORD - MN	15.40
1003430	20,768	ROCHESTER FORD - MN	121.00
1003430	20,768	RONCO ENGR SALES-LA	27.72
1003430	20,768	RONCO ENGR SALES-LA	193.27
1003430	20,768	RONCO ENGR SALES-LA	68.30
1003430	20,768	RONCO ENGR SALES-LA	140.55
1003430	20,768	RONCO ENGR SALES-LA	260.33
1003430	20,768	RONCO ENGR SALES-LA	292.10
1003430	20,768	RONCO ENGR SALES-LA	16.40
1003430	20,768	SLEEPY HOLLOW FORD	429.50
1003430	20,768	SQ *CUSTOM FAB AND M	67.02
1003430	20,768	SQ *CUSTOM FAB AND M	23.80
1003430	20,768	SQ *CUSTOM FAB AND M	108.67
1003430	20,768	SQ *CUSTOM FAB AND M	90.07
1003430	20,768	THERO* REALTRUCK	566.33

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1003430	20,768	TITAN MACHINERY - LA	1,398.35
1003430	20,768	TITAN MACHINERY - LA	2,575.55
1003430	20,768	TITAN MACHINERY - LA	47.30
1003430	20,768	TITAN MACHINERY - LA	200.41
1003430	20,768	TOWMATE INC	128.38
1003430	20,768	TOWMATE INC	150.08
1003430	20,768	WISCONSIN KENWORTH -	2.17
1003430	20,768	WISCONSIN KENWORTH -	137.16
1003430	20,768	WISCONSIN KENWORTH -	78.58
1003430	20,768	ZORO TOOLS INC	314.99
1004010	20,768	11TH & MARQ RAMP 806	45.00
1004010	20,768	ADOBE INC	244.93
1004010	20,768	AMAZON MKTPL*004RT3E	158.38
1004010	20,768	AMAZON MKTPL*HY6BD3H	9.35
1004010	20,768	AMAZON MKTPL*N22MZ99	17.70
1004010	20,768	AMAZON MKTPL*NB0LA9N	445.33
1004010	20,768	AMAZON MKTPL*NB9OP7E	286.65
1004010	20,768	AMAZON MKTPL*R54Q48E	47.44
1004010	20,768	AMAZON MKTPL*SP5O85B	20.69
1004010	20,768	AMAZON MKTPL*TZ20R2U	76.37
1004010	20,768	AMAZON MKTPL*WU6Q76P	451.44
1004010	20,768	AMAZON RETA* EI4WW06	65.68
1004010	20,768	BARRIO	18.03
1004010	20,768	BOB'S LOCK AND SAFE	12.00
1004010	20,768	BOB'S LOCK AND SAFE	15.00
1004010	20,768	DIGICOPY-LA CROSSE	41.87
1004010	20,768	EBAY O*02-13050-6844	45.10
1004010	20,768	EBAY O*02-13050-6844	11.95
1004010	20,768	HILTON MINNEAPOLIS F	721.20
1004010	20,768	HILTON MINNEAPOLIS F	480.80
1004010	20,768	IN *WISCONSIN ELEVAT	380.00
1004010	20,768	MENARDS LA CROSSE WI	71.92
1004010	20,768	MENARDS LA CROSSE WI	84.56
1004010	20,768	MENARDS LA CROSSE WI	74.13
1004010	20,768	MSFT * E0100W5BJK	86.25
1004010	20,768	MSFT * E0100W5Q8L	6.60
1004010	20,768	MXTOOLBOX	240.00
1004010	20,768	OSHKOSH MARRIOTT HOT	213.98
1004010	20,768	QUILL CORPORATION	79.78
1004010	20,768	QUILL CORPORATION	77.78
1004010	20,768	SUSHI TRAIN DOWNTOWN	21.40
1004010	20,768	TST*THE LOCAL - NICO	37.62
1004010	20,768	UNIFIRST CORPORATION	68.21
1004010	20,768	UNIFIRST CORPORATION	71.81
1004010	20,768	UNIFIRST CORPORATION	10.64
1004010	20,768	UNIFIRST CORPORATION	68.21
1004010	20,768	VERIZONWRLSS*RTCCR V	46.22
1004015	20,768	AAS SKY PUBLISHING	59.46

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1004015	20,768	AMAZON MKTPL*0C7YL2N	29.65
1004015	20,768	AMAZON MKTPL*GI5UZ1V	18.99
1004015	20,768	AMAZON MKTPL*IL41O7G	10.97
1004015	20,768	AMAZON MKTPL*NB65T2C	11.87
1004015	20,768	AMAZON MKTPL*NB70J80	315.03
1004015	20,768	AMAZON MKTPL*NO9HK9C	14.35
1004015	20,768	AMAZON MKTPL*WV03172	68.99
1004015	20,768	AMAZON MKTPL*YO9WW6C	8.25
1004015	20,768	AMAZON RETA* 6I1J10G	41.98
1004015	20,768	AMAZON RETA* 796U534	69.98
1004015	20,768	AMAZON RETA* 957WV2Z	17.95
1004015	20,768	AMAZON RETA* DM1569D	12.86
1004015	20,768	AMAZON RETA* IL9DT0L	80.94
1004015	20,768	AMAZON RETA* IQ5MO3A	19.28
1004015	20,768	AMAZON RETA* JJ8L11T	53.96
1004015	20,768	AMAZON RETA* NB15R0P	20.99
1004015	20,768	AMAZON RETA* NB2KG12	37.99
1004015	20,768	AMAZON RETA* NB4GJ3M	61.54
1004015	20,768	AMAZON RETA* NB83I6X	61.38
1004015	20,768	AMAZON RETA* QL69W3J	93.86
1004015	20,768	AMAZON RETA* SR7N65C	46.98
1004015	20,768	AMAZON RETA* SR7N65C	-9.32
1004015	20,768	AMAZON RETA* TU0LV0F	-29.94
1004015	20,768	AMAZON RETA* UJ3LV5R	17.95
1004015	20,768	CCI SOLUTIONS	210.44
1004015	20,768	DEMCO INC	1,355.53
1004015	20,768	HOMEDEPOT.COM	52.99
1004015	17,796	INGRAM LIBRARY SERVI	29.43
1004015	17,796	INGRAM LIBRARY SERVI	124.38
1004015	17,796	INGRAM LIBRARY SERVI	43.00
1004015	17,796	INGRAM LIBRARY SERVI	117.12
1004015	17,796	INGRAM LIBRARY SERVI	135.43
1004015	17,796	INGRAM LIBRARY SERVI	242.38
1004015	17,796	INGRAM LIBRARY SERVI	61.96
1004015	17,796	INGRAM LIBRARY SERVI	73.78
1004015	17,796	INGRAM LIBRARY SERVI	837.81
1004015	17,796	INGRAM LIBRARY SERVI	157.21
1004015	17,796	INGRAM LIBRARY SERVI	236.76
1004015	17,796	INGRAM LIBRARY SERVI	194.39
1004015	17,796	INGRAM LIBRARY SERVI	154.43
1004015	17,796	INGRAM LIBRARY SERVI	37.29
1004015	17,796	INGRAM LIBRARY SERVI	97.18
1004015	17,796	INGRAM LIBRARY SERVI	240.40
1004015	17,796	INGRAM LIBRARY SERVI	330.99
1004015	17,796	INGRAM LIBRARY SERVI	69.18
1004015	17,796	INGRAM LIBRARY SERVI	426.84
1004015	17,796	INGRAM LIBRARY SERVI	496.52
1004015	17,796	INGRAM LIBRARY SERVI	141.02

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1004015	17,796	INGRAM LIBRARY SERVI	111.72
1004015	17,796	INGRAM LIBRARY SERVI	94.19
1004015	17,796	INGRAM LIBRARY SERVI	14.75
1004015	17,796	INGRAM LIBRARY SERVI	70.39
1004015	17,796	INGRAM LIBRARY SERVI	345.23
1004015	17,796	INGRAM LIBRARY SERVI	194.98
1004015	17,796	INGRAM LIBRARY SERVI	829.99
1004015	17,796	INGRAM LIBRARY SERVI	69.39
1004015	17,796	INGRAM LIBRARY SERVI	30.44
1004015	17,796	INGRAM LIBRARY SERVI	218.32
1004015	17,796	INGRAM LIBRARY SERVI	98.89
1004015	20,768	OUR WI MAG	24.98
1004015	20,768	WALMART.COM	9.39
1004210	20,768	AMAZON MARK* NB78X7B	173.99
1004210	20,768	AMAZON MARK* Z53XJ22	88.29
1004210	20,768	CDW GOVT #PARKS & RE	78.17
1004210	20,768	CENTURYLINK LUMEN	13.36
1004210	20,768	CENTURYLINK LUMEN	21.35
1004210	20,768	FACEBK *MEGGMN4NJ2	9.33
1004210	20,768	FACEBK *U7YF2NLNJ2	1.24
1004210	20,768	JERSEY MIKES ONLINE	4.63
1004210	20,768	LA CROSSE MAIL & PRI	0.34
1004210	20,768	LA CROSSE MAIL & PRI	40.74
1004210	20,768	MAILCHIMP	234.60
1004210	20,768	SAMSClub.COM	54.44
1004210	20,768	SMARTSIGN	80.55
1004210	20,768	STAPLES	124.50
1004210	20,768	STAPLES	430.02
1004210	20,768	VERIZONWRLSS*RTCCR V	36.01
1004210	20,768	VERIZONWRLSS*RTCCR V	80.53
1004210	20,768	WAL-MART #5127	37.55
1004215	20,768	ACE OF LA CROSSE	26.99
1004215	20,768	ACE OF LA CROSSE	16.99
1004215	20,768	ACE OF LA CROSSE	42.81
1004215	20,768	ACE OF LA CROSSE	38.71
1004215	20,768	ACI*BRIGHTSPEED	416.42
1004215	20,768	AMAZON MKTPL*D10810E	49.99
1004215	20,768	AMAZON MKTPL*ED5IY8X	83.28
1004215	20,768	AMAZON MKTPL*IT03759	77.35
1004215	20,768	AMAZON MKTPL*NIOCD36	145.99
1004215	20,768	AMAZON MKTPL*NI8CA86	269.95
1004215	20,768	AMAZON MKTPL*OG0JN5W	128.43
1004215	20,768	AMAZON RETA* IO0SU6D	159.99
1004215	20,768	BEACON ATHLETICS LLC	1,289.71
1004215	20,768	BROOKS TRACTOR WEST	215.64
1004215	20,768	DALCO ENTERPRISES	466.31
1004215	20,768	IN *ZW USA INC	1,071.55
1004215	20,768	MENARDS LA CROSSE WI	37.23

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1004215	20,768	MENARDS LA CROSSE WI	20.99
1004215	20,768	MENARDS LA CROSSE WI	19.98
1004215	20,768	MENARDS LA CROSSE WI	87.97
1004215	20,768	MENARDS LA CROSSE WI	111.26
1004215	20,768	MENARDS LA CROSSE WI	422.56
1004215	20,768	MENARDS LA CROSSE WI	58.97
1004215	20,768	MENARDS LA CROSSE WI	76.96
1004215	20,768	MENARDS LA CROSSE WI	165.93
1004215	20,768	MENARDS LA CROSSE WI	120.87
1004215	20,768	MENARDS LA CROSSE WI	16.82
1004215	20,768	MENARDS LA CROSSE WI	61.94
1004215	20,768	MENARDS LA CROSSE WI	11.98
1004215	20,768	MENARDS LA CROSSE WI	92.70
1004215	20,768	MENARDS LA CROSSE WI	5.86
1004215	20,768	MENARDS LA CROSSE WI	40.91
1004215	20,768	MENARDS LA CROSSE WI	80.79
1004215	20,768	MENARDS LA CROSSE WI	247.28
1004215	20,768	MENARDS LA CROSSE WI	356.09
1004215	20,768	MENARDS LA CROSSE WI	13.65
1004215	20,768	MENARDS LA CROSSE WI	30.28
1004215	20,768	MTI	18.06
1004215	20,768	MTI	52.22
1004215	20,768	POMP S TIRE #018	92.00
1004215	20,768	SHOPBACKFLOW.COM	612.99
1004215	20,768	SPECTRUM	160.00
1004215	20,768	VERIZONWRLSS*RTCCR V	36.01
1004215	20,768	VERIZONWRLSS*RTCCR V	60.06
1004220	20,768	AMAZON.COM*EE1Q84KD3	44.62
1004220	20,768	BRUSHFIRE TICKETS	2,806.05
1004220	20,768	CHANHASSEN DINNER TH	3,015.02
1004220	20,768	CITY OF REDWING SHEL	1,142.40
1004220	20,768	DICKS SPORTING GOODS	143.92
1004220	20,768	EPIC SPORTS	54.75
1004220	20,768	FACEBK *MEGGMN4NJ2	6.22
1004220	20,768	SAMS CLUB #6436	79.62
1004220	20,768	SP EVIL SPORTS	2,308.80
1004220	20,768	SQ *HEYDE CENTER FOR	1,209.00
1004220	20,768	WWW.VITERBO.EDU	249.00
1004225	20,768	ACI*BRIGHTSPEED	524.33
1004225	20,768	AMAZON MKTPL*BQ6KS7Q	9.99
1004225	20,768	CDW GOVT #PARKS - RA	68.21
1004225	20,768	DALCO ENTERPRISES	125.59
1004225	20,768	DNR EBILL ENV LIC SA	125.00
1004225	20,768	DNR EBILL ENV LIC SR	3.13
1004225	20,768	DSPS E SERVICE FEE C	2.25
1004225	20,768	DSPS E SERVICE FEE C	1.13
1004225	20,768	DSPS EPAY ISE	100.00
1004225	20,768	DSPS EPAY ISE	50.00

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1004225	20,768	EQUIPARTS CORP	122.51
1004225	20,768	FERGUSON ENT, INC 27	30.50
1004225	20,768	FIRST SUPPLY LA CROS	250.00
1004225	20,768	MENARDS LA CROSSE WI	27.63
1004225	20,768	ORKIN LLC 002	220.00
1004225	20,768	ORKIN LLC 002	60.00
1004225	20,768	ORKIN LLC 002	75.00
1004225	20,768	ORKIN LLC 002	86.00
1004225	20,768	ORKIN LLC 002	43.00
1004225	20,768	SPECTRUM	160.00
1004225	20,768	SQ *FIFTH AVENUE AWA	84.00
1004225	20,768	TRACTOR CENTRAL WEST	-148.68
1004225	20,768	TRANE SUPPLY-116412	28.09
1004225	20,768	UNIFIRST CORPORATION	45.08
1004225	20,768	UNIFIRST CORPORATION	53.90
1004225	20,768	UNIFIRST FIRST AID C	12.96
1004225	20,768	VERIZONWRLSS*RTCCR V	37.49
1004225	20,768	WM SUPERCENTER #1679	29.88
1004230	20,768	BREYERS SALES / SERV	377.93
1004230	20,768	BREYERS SALES / SERV	11.34
1004230	20,768	MENARDS LA CROSSE WI	29.47
1004230	20,768	SAFE-FAST (LAX)	520.80
1004230	20,768	TODAYS TREE SERVICE	4,900.00
1004235	20,768	ACE OF LA CROSSE	56.12
1004235	20,768	ACE OF LA CROSSE	98.66
1004235	20,768	ACE OF LA CROSSE	36.83
1004235	20,768	ACI*BRIGHTSPEED	108.06
1004235	20,768	AMERICAN RED CROSS	856.29
1004235	20,768	GATEWAY AREA COUNCIL	225.00
1004235	20,768	INDEED USI25-0216159	290.00
1004235	20,768	LA CROSSE AREA FAMIL	285.00
1004235	20,768	LA CROSSE AREA FAMIL	8.55
1004235	20,768	LA CROSSE AREA FAMIL	570.00
1004235	20,768	LA CROSSE AREA FAMIL	17.10
1004235	20,768	MENARDS LA CROSSE WI	179.97
1004235	20,768	MENARDS LA CROSSE WI	53.35
1004235	20,768	MENARDS LA CROSSE WI	34.34
1004235	20,768	MENARDS LA CROSSE WI	9.98
1004235	20,768	MENARDS LA CROSSE WI	95.66
1004235	20,768	MENARDS LA CROSSE WI	375.55
1004235	20,768	RECREATION SUPPLY CO	337.82
1004235	20,768	RONCO ENGR SALES-LA	181.61
1004235	20,768	THE DARNING GROUP	125.00
1004235	20,768	THE HOME DEPOT #4905	318.47
1004235	20,768	UNIFIRST FIRST AID C	418.61
1004235	20,768	WAL-MART #5127	52.73
1004235	20,768	ZORO TOOLS INC	69.51
1004235	20,768	ZORO TOOLS INC	47.16

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ORG	VENDOR #	VENDOR NAME	AMOUNT
1009910	20,768	AMAZON MKTPL*7W8GK2N	103.96
1009910	20,768	AMAZON MKTPL*IL3T68J	15.19
1009910	20,768	AMAZON MKTPL*NA1NG35	43.95
1009910	20,768	AMAZON MKTPL*VB4R713	144.98
1009910	20,768	DOLLARTREE	66.25
1009910	20,768	DOLLARTREE	13.75
1009910	20,768	FESTIVAL FOODS	32.97
1009910	20,768	HOBBY-LOBBY #0217	14.65
1009910	20,768	KWIK TRIP #478	640.00
1009910	20,768	KWIK TRIP #761	50.00
1009910	20,768	MED*GUNDERSEN LUTHER	212.00
1009910	20,768	MOTION CONNECTED	495.00
1009910	20,768	SQ *AFFIRM DRUG TEST	69.00
1009910	20,768	SQ *AFFIRM DRUG TEST	75.00
1009910	20,768	UPS*BILLING CENTER	8.07
2002085	20,768	INDUSTRIAL NETWORKIN	534.97
2002085	20,768	INDUSTRIAL NETWORKIN	1,241.86
2002085	20,768	URBANLANDINTERESTS53	13.00
2002085	20,768	URBANLANDINTERESTS53	12.00
2002085	20,768	URBANLANDINTERESTS53	10.00
2102110	20,768	MENARDS LA CROSSE WI	29.95
2102110	20,768	VERIZONWRLSS*RTCCR V	40.49
2104285	20,768	MENARDS LA CROSSE WI	62.10
2303010	20,768	CENTURYLINK LUMEN	5.34
2303010	20,768	CENTURYLINK LUMEN	6.13
2303010	20,768	SIMPLIFILE.COM	40.84
2303010	20,768	SIMPLIFILE.COM	40.84
2303010	20,768	VERIZONWRLSS*RTCCR V	20.02
2303080	20,768	LA CROSSE MAIL & PRI	1.54
2303080	20,768	LA CROSSE MAIL & PRI	0.07
2303080	20,768	SIMPLIFILE.COM	199.00
2303083	20,768	DSPS E SERVICE FEE R	0.56
2303083	20,768	MENARDS LA CROSSE WI	35.22
2303083	20,768	WI DSPS LICENSURE	25.00
2303084	20,768	AMAZON MKTPL*7X4YX2N	140.20
2303084	20,768	BEST BUY 000001	2,684.92
2303084	20,768	LA CROSSE WI*GOV	38.00
2303084	20,768	MENARDS LA CROSSE WI	6.66
2303084	20,768	TYL*LA CROSSE SERV F	1.95
2303084	20,768	XCEL EZ-PAY FEE WEB	8.80
2303084	20,768	XCEL EZ-PAY FEE WEB	3.96
2303084	20,768	XCEL EZ-PAY WEB	400.00
2303084	20,768	XCEL EZ-PAY WEB	180.00
2604110	20,768	330 W WELLS GARAGE	30.21
2604110	20,768	AMAZON MKTPL*EZ3HQ43	22.00
2604110	20,768	CANVA* I04478-490895	149.90
2604110	20,768	CDW GOVT #LA CROSSE	1,950.53
2604110	20,768	CDW GOVT #LCC - ALIX	30.39

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ORG	VENDOR #	VENDOR NAME	AMOUNT
2604110	20,768	CDW GOVT #LCC - MATT	65.33
2604110	20,768	CENTURYLINK LUMEN	10.47
2604110	20,768	CENTURYLINK LUMEN	8.78
2604110	20,768	HYATT REGENCY MILWAU	152.09
2604110	20,768	HYATT REGENCY MILWAU	-23.09
2604110	20,768	KWIK TRIP #583	34.68
2604110	20,768	LA CROSSE MAIL & PRI	1.54
2604110	20,768	LA CROSSE MAIL & PRI	0.60
2604110	20,768	MAILCHIMP	770.00
2604110	20,768	PST*TRIPLESEAT	80.00
2604110	20,768	SQ *MEETING PROFESSI	45.00
2604110	20,768	VERIZONWRLSS*RTCCR V	150.74
2604115	20,768	FACEBK *2FP6ZPCQE2	500.00
2604115	20,768	FACEBK *2NSMVNCQE2	39.94
2604115	20,768	FACEBK *5X6WXN4QE2	500.00
2604115	20,768	FACEBK *JAZYVNQPE2	305.48
2604115	20,768	POLLSTAR	19.50
2604115	20,768	POLLSTAR	19.50
2604115	20,768	POLLSTAR	19.50
2604120	20,768	ALDI 72144	16.90
2604120	20,768	FESTIVAL FOODS	199.50
2604120	20,768	FESTIVAL FOODS	55.96
2604120	20,768	FESTIVAL FOODS	23.73
2604120	20,768	FESTIVAL FOODS	19.74
2604120	20,768	FESTIVAL FOODS	21.34
2604120	20,768	FESTIVAL FOODS	199.50
2604120	20,768	FESTIVAL FOODS	237.86
2604120	20,768	FESTIVAL FOODS	11.96
2604120	20,768	FESTIVAL FOODS	32.89
2604120	20,768	FESTIVAL FOODS	130.30
2604120	20,768	MENARDS LA CROSSE WI	39.98
2604120	20,768	MENARDS LA CROSSE WI	14.28
2604120	20,768	MENARDS LA CROSSE WI	7.14
2604120	20,768	MENARDS LA CROSSE WI	13.09
2604120	20,768	PEOPLE'S FOOD CO-OP	40.03
2604120	20,768	PEOPLE'S FOOD CO-OP	41.24
2604120	20,768	SAMS CLUB #6436	52.46
2604120	20,768	SQ *BAUER'S MARKET &	141.80
2604120	20,768	TAVERN LEA* WI	125.00
2604125	20,768	ACE OF LA CROSSE	269.98
2604125	20,768	AMAZON MKTPL*5I6LR9J	20.77
2604125	20,768	AMAZON MKTPL*5T8QG8B	10.84
2604125	20,768	AMAZON MKTPL*6A7RJ1W	17.10
2604125	20,768	AMAZON MKTPL*H117542	70.28
2604125	20,768	DSPS E SERVICE FEE C	2.25
2604125	20,768	DSPS EPAY ISE	100.00
2604125	20,768	FIRST SUPPLY LA CROS	83.27
2604125	20,768	GEXPRO 7535	413.80

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ORG	VENDOR #	VENDOR NAME	AMOUNT
2604125	20,768	MENARDS LA CROSSE WI	95.23
2604125	20,768	MENARDS LA CROSSE WI	74.99
2604125	20,768	MENARDS LA CROSSE WI	84.59
2604125	20,768	MENARDS LA CROSSE WI	41.32
2604125	20,768	MENARDS LA CROSSE WI	60.61
2604125	20,768	O'REILLY 4764	19.96
2604125	20,768	SAFE-FAST (LAX)	214.32
2604125	20,768	SCHILLING SUPPLY COM	335.51
2604125	20,768	SCHILLING SUPPLY COM	204.00
2604125	20,768	SCHILLING SUPPLY COM	64.91
2604125	20,768	SOUTHEASTERN EQUIPME	59.49
2604125	20,768	UNIFIRST FIRST AID C	111.94
2604125	20,768	VIKING ELECTRIC-LACR	110.40
2703110	20,768	516 AUTO VALUE - LA	10.40
2703110	20,768	516 AUTO VALUE - LA	62.40
2703110	20,768	516 AUTO VALUE - LA	383.64
2703110	20,768	516 AUTO VALUE - LA	115.66
2703110	20,768	516 AUTO VALUE - LA	12.99
2703110	20,768	516 AUTO VALUE - LA	95.88
2703110	20,768	ABC FLORIDA PARTS CA	128.56
2703110	20,768	ABC FLORIDA PARTS CA	1,076.96
2703110	20,768	ACE OF LA CROSSE	9.28
2703110	20,768	ACIBRIGHTSPEED	135.54
2703110	20,768	ACIBRIGHTSPEED	8.95
2703110	20,768	AMAZON MKTPL*8J8L032	16.94
2703110	20,768	AMAZON MKTPL*NI3NI3A	79.65
2703110	20,768	AMAZON.COM*JJ5OU75Y3	5.49
2703110	20,768	AMAZON.COM*Q72ZP0NB3	81.64
2703110	20,768	APPLIED MSS LLC 6511	415.89
2703110	20,768	BAYCOM	768.00
2703110	20,768	BERNIE BUCHNER PLUMB	892.94
2703110	20,768	BOB'S LOCK AND SAFE	370.00
2703110	20,768	BOSCH AUTOMOTIVE SER	410.00
2703110	20,768	BTS*UNIFIRST CORPORA	14.90
2703110	20,768	BTS*UNIFIRST CORPORA	14.24
2703110	20,768	BTS*UNIFIRST CORPORA	105.82
2703110	20,768	BTS*UNIFIRST CORPORA	14.24
2703110	20,768	BTS*UNIFIRST CORPORA	14.90
2703110	20,768	BTS*UNIFIRST CORPORA	121.82
2703110	20,768	BTS*UNIFIRST CORPORA	14.24
2703110	20,768	BTS*UNIFIRST CORPORA	14.90
2703110	20,768	BTS*UNIFIRST CORPORA	14.90
2703110	20,768	BTS*UNIFIRST CORPORA	14.24
2703110	20,768	BTS*UNIFIRST CORPORA	14.90
2703110	20,768	BTS*UNIFIRST CORPORA	14.24
2703110	20,768	BTS*UNIFIRST CORPORA	105.82
2703110	20,768	BTS*UNIFIRST CORPORA	104.60
2703110	20,768	BTS*UNIFIRST CORPORA	104.60

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ORG	VENDOR #	VENDOR NAME	AMOUNT
2703110	20,768	CDW GOVT #MTU SECURI	1,834.80
2703110	20,768	CENTURYLINK LUMEN	9.30
2703110	20,768	CENTURYLINK LUMEN	11.14
2703110	20,768	DAHL FORD LA CROSSE	50.36
2703110	20,768	DAHL FORD LA CROSSE	-42.89
2703110	20,768	DAHL FORD LA CROSSE	-0.86
2703110	20,768	DIAMOND MFG HOT FIRE	248.50
2703110	20,768	DIAMOND MFG HOT FIRE	226.50
2703110	20,768	DOJ EPAY RECORDS CHE	7.00
2703110	20,768	FACEBK *3HPP3NG592	72.00
2703110	20,768	FACEBK *5UGQBMG592	48.00
2703110	20,768	FACEBK *DTP8DLL492	53.00
2703110	20,768	FACEBK *P22JVL8592	59.00
2703110	20,768	FACEBK *UPHZFNG592	71.72
2703110	20,768	FACEBK *UQBP3M8592	65.00
2703110	20,768	FIRE PROTECTION SPEC	141.04
2703110	20,768	GEXPRO 7535	310.00
2703110	20,682	GILLIG LLC	412.20
2703110	20,682	GILLIG LLC	294.20
2703110	20,682	GILLIG LLC	2,066.69
2703110	20,682	GILLIG LLC	159.39
2703110	20,682	GILLIG LLC	110.91
2703110	20,682	GILLIG LLC	375.44
2703110	20,682	GILLIG LLC	456.48
2703110	20,682	GILLIG LLC	629.04
2703110	20,682	GILLIG LLC	47.28
2703110	20,682	GILLIG LLC	-294.20
2703110	20,768	GRAINGER	52.19
2703110	20,768	GRAINGER	13.14
2703110	20,768	HALRON LUBRICANTS IN	1,901.19
2703110	20,768	HALRON LUBRICANTS IN	368.00
2703110	20,768	HALRON LUBRICANTS IN	432.40
2703110	20,768	IDENTISYS INCORPORAT	64.00
2703110	20,768	IDENTISYS.COM	64.00
2703110	20,768	IN *TALON PROTECTION	3,343.00
2703110	20,768	IN *TALON PROTECTION	2,610.28
2703110	20,768	IN *THE BLU GROUP AD	1,320.00
2703110	20,768	KIRKS AUTOMOTIVE INC	770.00
2703110	20,768	KIRKS AUTOMOTIVE INC	636.00
2703110	20,768	LA CROSSE MAIL & PRI	4.89
2703110	20,768	LA CROSSE MAIL & PRI	5.09
2703110	20,768	MENARDS LA CROSSE WI	253.08
2703110	20,768	MENARDS LA CROSSE WI	46.40
2703110	20,768	NEWMAN SIGNS	1,223.99
2703110	20,768	PAYPAL *SUPREME	1,251.80
2703110	20,768	PETERBILT OF LACROSS	951.86
2703110	20,768	PETERBILT OF LACROSS	535.20
2703110	20,768	PETERBILT OF LACROSS	-212.50

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ORG	VENDOR #	VENDOR NAME	AMOUNT
2703110	20,768	PETERBILT OF LACROSS	205.16
2703110	20,768	PETERBILT OF LACROSS	747.70
2703110	20,768	PETERBILT OF LACROSS	747.70
2703110	20,768	POMP S TIRE #018	1,350.12
2703110	20,768	POMP S TIRE #018	596.72
2703110	20,768	POMP S TIRE #018	997.72
2703110	20,768	POWER ELECTRONICS US	3,283.46
2703110	20,768	RONCO ENGR SALES-LA	95.79
2703110	20,768	RONCO ENGR SALES-LA	9.65
2703110	20,768	RONCO ENGR SALES-LA	59.26
2703110	20,768	SAFETY KLEEN SYSTEMS	214.27
2703110	20,768	SAFETY KLEEN SYSTEMS	6.42
2703110	20,768	TENNANT CO	2,383.55
2703110	20,768	THERMO KING SALES &	469.86
2703110	20,768	THERMO KING SALES &	14.10
2703110	20,768	VERIZONWRLSS*RTCCR V	187.73
2703110	20,768	WISCONSIN KENWORTH -	-43.50
2703110	20,768	WISCONSIN KENWORTH -	454.76
2703110	20,768	WISCONSIN KENWORTH -	600.71
2900252	20,768	A-1 GLASS COMPANY	420.00
2900252	20,768	AMAZON MKTPL*NB4SR9T	25.97
2900252	20,768	CODE 3 ASSOCIATES	25.50
2900252	20,768	CODE 3 ASSOCIATES	25.50
2900252	20,768	CODE 3 ASSOCIATES	25.00
2900252	20,768	LA POLICE GEAR INC	83.16
2902051	20,768	AMAZON MKTPL*6B23F1T	25.94
2902051	20,768	AMAZON MKTPL*7F1VF28	34.87
2902051	20,768	BSN SPORTS LLC	656.97
2902051	20,768	QUALIFICATION TARGET	88.77
2902058	20,768	AMAZON MARK* M49FT00	54.38
2902058	20,768	AMAZON MKTPL*2J0T064	59.08
2902058	20,768	CULVERS OF DARBOY	11.59
2902058	20,768	CULVERS OF DARBOY	11.28
2902058	20,768	FOX HARBOR PUB & GRI	39.56
2902058	20,768	FUN FUR PETS DOG DAY	29.00
2902058	20,768	HAMPTON INN	109.00
2902058	20,768	HAMPTON INN	109.00
2902058	20,768	HAMPTON INN	109.00
2902058	20,768	HAMPTON INN	109.00
2902058	20,768	HOLIDAY STATIONS 355	20.00
2902058	20,768	HOLIDAY STATIONS 355	20.00
2902058	20,768	KWIK TRIP #1048	24.34
2902058	20,768	KWIK TRIP #171	5.69
2902058	20,768	KWIK TRIP #222	34.68
2902058	20,768	KWIK TRIP #222	37.25
2902058	20,768	KWIK TRIP #222	33.81
2902058	20,768	KWIK TRIP #222	36.76
2902058	20,768	KWIK TRIP #329	37.88

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ORG	VENDOR #	VENDOR NAME	AMOUNT
2902058	20,768	KWIK TRIP #633	46.51
2902058	20,768	KWIK TRIP #633	30.00
2902058	20,768	KWIK TRIP #633	35.01
2902058	20,768	KWIK TRIP #864	12.61
2902058	20,768	MENARDS LA CROSSE WI	19.18
2902058	20,768	PAMPERED PAWS	78.86
2902058	20,768	PETCO 0622	131.98
2902058	20,768	PETCO 0622	94.99
2902058	20,768	PETCO 0622	123.97
2902058	20,768	PETCO 0622	149.98
2902058	20,768	RUDY'S FEED 'N SEED	69.51
2902058	20,768	THE ZONE BAR & GRILL	13.51
2902058	20,768	THE ZONE BAR & GRILL	0.40
2902058	20,768	THOMPSON ANIMAL MEDI	915.70
2902058	20,768	THOMPSON ANIMAL MEDI	35.19
2902058	20,768	THOMPSON ANIMAL MEDI	35.19
2902058	20,768	TST* BOULDER TAP HOU	21.88
2902058	20,768	TST* BOULDER TAP HOU	22.15
2902058	20,768	TST* BOULDER TAP HOU	25.08
2902058	20,768	TST* BOULDER TAP HOU	22.93
2902058	20,768	TST* BOULDER TAP HOU	0.65
2902058	20,768	TST* BOULDER TAP HOU	0.66
2902058	20,768	TST* BOULDER TAP HOU	0.75
2902058	20,768	TST* BOULDER TAP HOU	0.68
2902058	20,768	WAGS AND WHISKERS	59.99
2902058	20,768	WWW.MODERNICON.US	58.61
2902059	20,768	LA CROSSE MAIL & PRI	550.00
2902060	20,768	VERIZONWRLSS*RTCCR V	75.03
2902065	20,768	NATL CNCL FOR BHVRL	2,321.00
2902065	20,768	NATL CNCL FOR BHVRL	-121.00
2902065	20,768	VERIZONWRLSS*RTCCR V	40.04
2902065	20,768	VERIZONWRLSS*RTCCR V	86.55
2904250	20,768	CENTURYLINK LUMEN	0.57
2904250	20,768	CENTURYLINK LUMEN	1.59
2904253	20,768	TODAYS TREE SERVICE	750.00
2904265	20,768	SP ROOTS TO FRUITS N	1,433.00
2904267	20,768	LA CROSSE MEMORIALS,	335.00
2904267	20,768	LA CROSSE MEMORIALS,	335.00
2904268	20,768	AMAZON MKTPL*GC4D73L	49.95
2904268	20,768	AMAZON MKTPL*IT03759	22.52
2904268	20,768	AMAZON MKTPL*YL4E79W	95.79
2904268	20,768	BOB'S LOCK AND SAFE	20.00
2904268	20,768	CHASEBURG MANUFACTUR	1,330.84
2904268	20,768	MENARDS LA CROSSE WI	36.47
2904268	20,768	MENARDS LA CROSSE WI	165.84
2904268	20,768	MENARDS LA CROSSE WI	28.39
2904268	20,768	MENARDS LA CROSSE WI	95.86
2904268	20,768	MENARDS LA CROSSE WI	8.90

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ORG	VENDOR #	VENDOR NAME	AMOUNT
2904268	20,768	SQ *CUSTOM FAB AND M	280.80
2904268	20,768	TEAMUP CALENDAR	80.00
2904268	20,768	TODAYS TREE SERVICE	1,750.00
2904268	20,768	ZORO TOOLS INC	27.91
2904268	20,768	ZORO TOOLS INC	298.77
2904269	20,768	SPECTRUM	84.99
2904274	20,768	HASTY AWARDS	912.65
2904274	20,768	HASTY AWARDS	234.00
2904274	20,768	VOLLEYBALLUSA.COM	125.29
2904274	20,768	WM SUPERCENTER #1679	24.84
2904275	20,768	AMAZON MKTPL*GU5VB7P	38.39
2904275	20,768	FESTIVAL FOODS	13.99
2904275	20,768	FESTIVAL FOODS	56.40
2904275	20,768	FESTIVAL FOODS	6.73
2904275	20,768	FESTIVAL FOODS	29.74
2904275	20,768	FESTIVAL FOODS S	-0.35
2904275	20,768	KWIK TRIP #391	31.92
2904275	20,768	SAMSClub #6436	39.64
2904275	20,768	SAMSClub.COM	250.70
2904275	20,768	WAL-MART #1679	17.46
2904275	20,768	WALMART.COM	93.17
2904275	20,768	WM SUPERCENTER #1679	30.19
2904275	20,768	WM SUPERCENTER #1679	28.60
2904275	20,768	WM SUPERCENTER #1679	120.74
2904276	20,768	JERSEY MIKES ONLINE	89.20
2904276	20,768	KWIK TRIP #643	13.96
2904276	20,768	OSHKOSH FAIRFIELD IN	3,262.00
2904276	20,768	SAMSClub #6436	36.96
2904276	20,768	SAMSClub.COM	108.60
2904276	20,768	STOP N GO #532	27.92
2904276	20,768	WALMART.COM 80092562	27.21
2904276	20,768	WALMART.COM 80092562	53.55
2904276	20,768	WALMART.COM 80092562	1.45
2909999	20,768	SLIDEROOM	126.00
4012023	20,768	IN *SIGN PRO OF LA C	898.00
4020823	20,768	CDW GOVT #BOATHARBOR	4,115.22
4020824	20,768	AMAZON MARK* FB2ZP7F	27.99
4020824	20,768	AMAZON MKTPL*9I5HQ41	37.98
4020824	20,768	CDW GOVT #MSC DOOR C	870.80
4020824	20,768	FS COM INC	285.52
4020824	20,768	INDUSTRIAL NETWORKIN	1,690.88
4020824	20,768	L-COM	315.65
4020825	20,768	CDW GOVT #2025 COMPU	5.00
4022024	20,768	AMAZON MARK* FB2ZP7F	199.99
4022024	20,768	FS COM INC	517.44
4022024	20,768	L-COM	908.30
4022024	20,768	L-COM	1,175.96
4023424	20,768	FS COM INC	53.40

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ORG	VENDOR #	VENDOR NAME	AMOUNT
4115110	20,768	COUN OF DEVELOP FINA	675.00
4115110	20,768	COUN OF DEVELOP FINA	750.00
4115110	20,768	EB *LADCOS 67TH ECON	99.74
4115110	20,768	HYATT REGENCY DENVER	859.10
4115110	20,768	SIMPLIFILE.COM	0.84
4115110	20,768	SIMPLIFILE.COM	40.00
4800810	20,768	2COCOM*STELLAR INFOR	527.50
4913495	20,768	GEXPRO 7535	112.04
6006010	20,768	ADVANCE LOCAL MEDIA	7,050.00
6006010	20,768	ADVERTISING CONCEPTS	164.58
6006010	20,768	CDW GOVT #AIRPORT -	361.27
6006010	20,768	CENTURYLINK LUMEN	14.91
6006010	20,768	CENTURYLINK LUMEN	16.01
6006010	20,768	EB *FORKLIFT TRAIN T	215.26
6006010	20,768	EB *LADCOS 67TH ECON	49.87
6006010	20,768	GOOGLE*GSUITE LSEAIR	7.20
6006010	20,768	HI STEVENS POINT CON	196.00
6006010	20,768	HI STEVENS POINT CON	98.00
6006010	20,768	LA CROSSE MAIL & PRI	1.14
6006010	20,768	LA CROSSE MAIL & PRI	1.21
6006010	20,768	LA CROSSE* WI	25.00
6006010	20,768	LEXISNEXIS RISK SOL	216.49
6006010	20,768	MENARDS LA CROSSE WI	77.89
6006010	18,504	TELOS CORPORATION	301.75
6006010	20,768	UNIFIRST CORPORATION	198.31
6006010	20,768	UNIFIRST CORPORATION	244.85
6006010	20,768	UNIFIRST CORPORATION	145.49
6006010	20,768	UNIFIRST CORPORATION	190.05
6006010	20,768	USPS PO 5644390083	44.64
6006010	20,768	VERIZONWRLSS*RTCCR V	33.26
6006010	20,768	VERIZONWRLSS*RTCCR V	36.01
6006010	20,768	VERIZONWRLSS*RTCCR V	301.83
6006015	20,768	FARM & FLEET OF LACR	79.99
6006015	20,768	FIRST SUPPLY LA CROS	91.80
6006015	20,768	GDLD INC	74.02
6006015	20,768	GOOGLE GSUITE_LSEAIR	7.20
6006015	20,768	GRAINGER	367.10
6006015	20,768	GRAINGER	61.20
6006015	20,768	GRAINGER	59.04
6006015	20,768	GRAINGER	59.04
6006015	20,768	GRAINGER	59.04
6006015	20,768	GRAINGER	162.94
6006015	20,768	HARTER'S TRASH & REC	446.29
6006015	20,768	LEXISNEXIS RISK SOL	216.49
6006015	20,768	MENARDS LA CROSSE WI	32.78
6006015	20,768	MENARDS LA CROSSE WI	13.79
6006015	20,768	ORKIN LLC 002	96.00
6006015	20,768	ORKIN LLC 002	96.00

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ORG	VENDOR #	VENDOR NAME	AMOUNT
6006015	20,768	SAFE-FAST (LAX)	81.00
6006015	20,768	SAFE-FAST (LAX)	75.00
6006015	20,768	SCHILLING SUPPLY COM	385.98
6006015	20,768	SCHILLING SUPPLY COM	95.60
6006015	20,768	SCHILLING SUPPLY COM	211.83
6006015	20,768	SCHILLING SUPPLY COM	2,700.00
6006015	20,768	SPECTRUM	259.67
6006015	20,768	UNIFIRST CORPORATION	293.07
6006015	20,768	UNIFIRST CORPORATION	251.95
6006015	20,768	VAN METER - LA CROSS	31.85
6006015	20,768	VAN METER - LA CROSS	425.63
6006015	20,768	VIKING ELECTRIC-LACR	47.72
6006015	20,768	VIKING ELECTRIC-LACR	61.81
6006020	20,768	516 AUTO VALUE - LA	75.48
6006020	20,768	516 AUTO VALUE - LA	58.89
6006020	20,768	517 AUTO VALUE - ONA	61.49
6006020	20,768	517 AUTO VALUE - ONA	42.84
6006020	20,768	517 AUTO VALUE - ONA	5.98
6006020	20,768	517 AUTO VALUE - ONA	61.54
6006020	20,768	517 AUTO VALUE - ONA	31.94
6006020	20,768	517 AUTO VALUE - ONA	21.22
6006020	20,768	AMAZON MKTPL*WL0G211	46.85
6006020	20,768	BEST KEPT PORTABLES	129.00
6006020	20,768	BLUEGLOBES LLC	315.49
6006020	20,768	COAST INDUS	492.71
6006020	20,768	CULLIGAN LA CROSSE 2	42.95
6006020	20,768	CULLIGAN LA CROSSE 2	31.00
6006020	20,768	EDMO DISTRIBUTORS IN	67.20
6006020	20,768	FARM & FLEET OF LACR	7,799.40
6006020	20,768	FARRELL EQUIPMENT&SU	159.96
6006020	20,768	FASTENAL COMPANY 01W	36.51
6006020	20,768	GALLS	1,583.25
6006020	20,768	GRAINGER	20.48
6006020	20,768	GRAINGER	66.60
6006020	20,768	GRAINGER	6.01
6006020	20,768	GRAINGER	125.05
6006020	20,768	GRAINGER	36.47
6006020	20,768	GRAINGER	70.64
6006020	20,768	GRAINGER	137.96
6006020	20,768	GRAINGER	302.19
6006020	20,768	GRAINGER	38.86
6006020	20,768	GRAINGER	27.68
6006020	20,768	HARBOR FREIGHT TOOLS	259.99
6006020	20,768	HARTER'S TRASH & REC	226.22
6006020	20,768	MB COMPANIES	74.56
6006020	20,768	MENARDS LA CROSSE WI	57.68
6006020	20,768	MENARDS LA CROSSE WI	54.95
6006020	20,768	MENARDS LA CROSSE WI	69.99

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ORG	VENDOR #	VENDOR NAME	AMOUNT
6006020	20,768	MENARDS LA CROSSE WI	69.32
6006020	20,768	MENARDS LA CROSSE WI	242.04
6006020	20,768	MENARDS LA CROSSE WI	46.98
6006020	20,768	MENARDS LA CROSSE WI	2.19
6006020	20,768	MENARDS LA CROSSE WI	136.60
6006020	20,768	MICHAELS TRUCK EQUIP	20.00
6006020	20,768	MIDWEST CALEDONIA	565.55
6006020	20,768	MIDWEST CALEDONIA	603.14
6006020	20,768	MIDWEST CALEDONIA	116.32
6006020	20,768	MIDWEST CALEDONIA	518.97
6006020	20,768	MIDWEST CALEDONIA	550.88
6006020	20,768	MIDWEST CALEDONIA	-406.47
6006020	20,768	MISSISSIPPI WELDERS	99.00
6006020	20,768	MISSISSIPPI WELDERS	142.75
6006020	20,768	MISSISSIPPI WELDERS	20.00
6006020	20,768	MISSISSIPPI WELDERS	19.00
6006020	20,768	ORKIN LLC 002	142.00
6006020	20,768	ORKIN LLC 002	75.00
6006020	20,768	ORKIN LLC 002	142.00
6006020	20,768	ORKIN LLC 002	75.00
6006020	20,768	PAYPAL *WILLIAMLOWT	2,000.00
6006020	20,768	POMP S TIRE #018	217.00
6006020	20,768	POMP S TIRE #018	156.44
6006020	20,768	RONCO ENGR SALES-LA	60.92
6006020	20,768	RONCO ENGR SALES-LA	52.53
6006020	20,768	SAFE-FAST (LAX)	158.68
6006020	20,768	SAFE-FAST (LAX)	97.26
6006020	20,768	SHERWIN-WILLIAMS7038	-116.00
6006020	20,768	SHERWIN-WILLIAMS7038	447.95
6006020	20,768	SHERWIN-WILLIAMS7038	-145.39
6006020	20,768	UNIFIRST CORPORATION	66.80
6006020	20,768	UNIFIRST CORPORATION	47.88
6006020	20,768	UNIFIRST CORPORATION	84.68
6006020	20,768	UNIFIRST CORPORATION	47.88
6006020	20,768	VIKING ELECTRIC-LACR	1.23
6006020	20,768	VIKING ELECTRIC-LACR	60.24
6006020	20,768	VIKING ELECTRIC-LACR	279.00
6006020	20,768	VIKING ELECTRIC-LACR	373.82
6006020	20,768	VIKING ELECTRIC-LACR	61.83
6006020	20,768	VIKING ELECTRIC-LACR	3.62
6006020	20,768	VIKING ELECTRIC-LACR	68.29
6006025	20,768	WINDCAVE INC	137.80
6006025	20,768	WINDCAVE INC	157.75
6006030	20,768	MENARDS LA CROSSE WI	8.98
6006030	20,768	MENARDS LA CROSSE WI	15.98
6006030	20,768	MENARDS LA CROSSE WI	5.97
6006030	20,768	ORKIN LLC 002	33.00
6006030	20,768	ORKIN LLC 002	33.00

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ORG	VENDOR #	VENDOR NAME	AMOUNT
6006030	20,768	TOMMY CAR WASH SYSTE	686.99
6006030	20,768	VIKING ELECTRIC-LACR	100.55
6106110	20,768	1000BULBS.COM	105.28
6106110	20,768	ACIBRIGHTSPEED	271.52
6106110	20,768	ACIBRIGHTSPEED	8.95
6106110	20,768	GEXPRO 7535	172.75
6106110	20,768	IN *DIGITAL BAY, LLC	994.00
6106110	20,768	IN *DIGITAL BAY, LLC	39.76
6106110	20,768	LA CROSSE MAIL & PRI	71.76
6106110	20,768	LA CROSSE MAIL & PRI	65.79
6106110	20,768	MENARDS LA CROSSE WI	5.99
6106110	20,768	MENARDS LA CROSSE WI	98.72
6106110	20,768	NIC*TRAFFICVIOLREGPR	0.48
6106110	20,768	NIC*TRAFFICVIOLREGPR	0.54
6106110	20,768	NIC*TRAFFICVIOLREGPR	0.06
6106110	20,768	NIC*TRAFFICVIOLREGPR	24.00
6106110	20,768	NIC*TRAFFICVIOLREGPR	27.00
6106110	20,768	NIC*TRAFFICVIOLREGPR	3.00
6106110	20,768	NIC*TRAFFICVIOLREGPR	0.18
6106110	20,768	NIC*TRAFFICVIOLREGPR	0.48
6106110	20,768	NIC*TRAFFICVIOLREGPR	0.36
6106110	20,768	NIC*TRAFFICVIOLREGPR	0.42
6106110	20,768	NIC*TRAFFICVIOLREGPR	0.36
6106110	20,768	NIC*TRAFFICVIOLREGPR	9.00
6106110	20,768	NIC*TRAFFICVIOLREGPR	24.00
6106110	20,768	NIC*TRAFFICVIOLREGPR	18.00
6106110	20,768	NIC*TRAFFICVIOLREGPR	21.00
6106110	20,768	NIC*TRAFFICVIOLREGPR	18.00
6106110	20,768	NIC*TRAFFICVIOLREGPR	0.24
6106110	20,768	NIC*TRAFFICVIOLREGPR	12.00
6106110	20,768	NIC*TRAFFICVIOLREGPR	1.20
6106110	20,768	NIC*TRAFFICVIOLREGPR	60.00
6106110	20,768	PLUNKETTS PEST CONTR	277.75
6106110	20,768	SMARTSIGN	545.86
6106110	20,768	SMARTSIGN	-28.46
6106110	20,768	SQ *DON'S TOWING AND	650.00
6106110	20,768	SQ *DON'S TOWING AND	500.00
6106110	20,768	UPS*BILLING CENTER	12.62
6106110	20,768	VERIZONWRLSS*RTCCR V	252.15
6106110	20,768	VERIZONWRLSS*RTCCR V	144.04
6106110	20,768	VERIZONWRLSS*RTCCR V	225.04
6106110	20,768	XCEL EZ-PAY FEE WEB	0.71
6106110	20,768	XCEL EZ-PAY FEE WEB	0.67
6106110	20,768	XCEL EZ-PAY WEB	32.32
6106110	20,768	XCEL EZ-PAY WEB	30.64
6306310	20,768	ACE OF LA CROSSE	68.00
6306310	20,768	A-LINE MACHINE TOOL	32.95
6306310	20,768	A-LINE MACHINE TOOL	18.57

ORG	VENDOR #	VENDOR NAME	AMOUNT
6306310	20,768	AMAZON MARK* 962711R	37.04
6306310	20,768	AMAZON MARK* 962711R	102.50
6306310	20,768	AMAZON MARK* NB9WO92	17.41
6306310	20,768	AMAZON MARK* NI1T32Q	237.57
6306310	20,768	AMAZON MARK* SX3598J	47.69
6306310	20,768	AMAZON MKTPL*G53K363	41.92
6306310	20,768	AMAZON MKTPL*KJ4290U	8.99
6306310	20,768	AMAZON MKTPL*NB4F37V	32.97
6306310	20,768	APPLIED MSS LLC 6511	1,033.87
6306310	20,768	CENTURYLINK LUMEN	5.55
6306310	20,768	CENTURYLINK LUMEN	5.25
6306310	20,768	CSWEA	285.00
6306310	20,768	DNR WS2 EM1 EPAY DEM	45.00
6306310	20,768	DNR WS2 EM1 EPAY DEM	0.90
6306310	20,768	FARRELL EQUIPMENT&SU	5,170.65
6306310	20,768	FIRST SUPPLY LA CROS	116.54
6306310	20,768	FIRST SUPPLY LA CROS	15.50
6306310	20,768	GARRATT CALLAHAN COM	6,256.50
6306310	20,768	GOODYEAR AUTO SRV CT	30.00
6306310	20,768	GRAINGER	70.39
6306310	20,768	GRAINGER	222.08
6306310	20,768	GRAINGER	278.36
6306310	17,785	HACH COMPANY	196.20
6306310	17,785	HACH COMPANY	122.00
6306310	17,785	HACH COMPANY	323.00
6306310	20,768	HARBOR FREIGHT TOOLS	85.98
6306310	20,768	LA CROSSE MAIL & PRI	0.05
6306310	20,768	LA CROSSE MAIL & PRI	0.07
6306310	20,768	MENARDS LA CROSSE WI	145.12
6306310	20,768	MENARDS LA CROSSE WI	16.03
6306310	20,768	MENARDS LA CROSSE WI	35.97
6306310	20,768	MENARDS LA CROSSE WI	9.99
6306310	20,768	MENARDS LA CROSSE WI	19.94
6306310	20,768	MENARDS LA CROSSE WI	3.36
6306310	20,768	MENARDS LA CROSSE WI	258.88
6306310	20,768	MENARDS LA CROSSE WI	15.99
6306310	20,768	MENARDS LA CROSSE WI	698.92
6306310	20,768	NORLAB INC	590.00
6306310	20,768	P T WELDING AND DRIV	545.88
6306310	20,768	RONCO ENGR SALES-LA	74.20
6306310	20,768	RONCO ENGR SALES-LA	516.92
6306310	20,768	SAFE-FAST (LAX)	496.92
6306310	20,768	SAFERITE SOLUTIONS	154.03
6306310	20,768	SOLENIS	-31,510.34
6306310	20,768	SP EPASALES	1,703.39
6306310	20,768	SP RESTOCKIT	-11.70
6306310	20,768	SP WORKWEAR GURUS	448.97
6306310	20,768	TORCOM/ANSWERING INN	142.71

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
6306310	20,768	UNIFIRST CORPORATION	56.09
6306310	20,768	UNIFIRST CORPORATION	56.09
6306310	20,768	UNIFIRST FIRST AID C	49.49
6306310	20,768	UPS*BILLING CENTER	9.95
6306310	20,768	UPS*BILLING CENTER	60.09
6306310	20,768	UPS*BILLING CENTER	94.08
6306310	20,768	VERIZONWRLSS*RTCCR V	263.84
6306310	20,768	VERIZONWRLSS*RTCCR V	72.02
6306310	20,768	VERIZONWRLSS*RTCCR V	1,265.93
6306320	20,768	LEE ENT ADVERTISING	66.20
6306330	20,768	HARTER'S TRASH & REC	776.91
6306330	20,768	HILLTOPPER REFUSE	332.58
6306332	20,768	AMAZON MKTPL*KJ4290U	99.70
6306332	20,768	GRAINGER	109.91
6306332	20,768	IDEXX DISTRIBUTION I	1,728.78
6306332	20,768	MENARDS LA CROSSE WI	11.98
6306332	2,542	NORTH CENTRAL LABS	4,120.59
6306332	2,542	NORTH CENTRAL LABS	162.11
6306332	2,542	NORTH CENTRAL LABS	947.92
6306332	20,768	UNISON SOLUTIONS INC	4,450.00
6306332	20,768	UNISON SOLUTIONS INC	4,450.00
6306334	20,768	COUNTY MATERIALS COR	9,173.60
6306334	20,768	TODAYS TREE SERVICE	300.00
6306334	20,768	TODAYS TREE SERVICE	2,216.69
6306336	20,768	BDI USA	738.36
6306336	20,768	BDI USA	33.21
6306336	20,768	CONSOLIDATED ENERGY	110.77
6306336	20,768	GRAINGER	471.75
6306336	20,768	GRAINGER	305.10
6306336	20,768	NORTHERN BATTERY 108	403.06
6306336	20,768	NORTHERN BATTERY 108	239.68
6306336	20,768	VERNON ELECTRIC COOP	49.77
6306340	20,768	BOB'S LOCK AND SAFE	605.00
6306340	20,768	FARRELL EQUIPMENT&SU	31.96
6306340	20,768	FIRST SUPPLY LA CROS	124.08
6306340	20,768	FIRST SUPPLY LA CROS	91.66
6306340	20,768	FIRST SUPPLY LA CROS	111.82
6306340	20,768	GRAINGER	819.88
6306340	20,768	GRAINGER	373.54
6306340	20,768	IN *REGIONAL CONCRET	1,400.00
6306340	20,768	MENARDS LA CROSSE WI	20.60
6306340	20,768	MENARDS LA CROSSE WI	13.96
6306340	20,768	P T WELDING AND DRIV	3,863.40
6306340	20,768	PBBS EQUIPMENT CORPO	1,151.27
6306340	20,768	QUALITY BEARINGS ONL	475.40
6306340	20,768	QUALITY BEARINGS ONL	900.00
6306340	20,768	UGSI CHEMICAL FEED,	5,402.34
6306340	20,768	UGSI CHEMICAL FEED,	162.07

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
6306340	20,768	WWP*WIL-KIL PEST CON	62.38
6306340	20,768	WWP*WIL-KIL PEST CON	62.38
6406410	20,768	A1 VACUUM SERVICE AN	129.47
6406410	20,768	ACE OF LA CROSSE	849.98
6406410	20,768	AIRGAS LLC - NORTH N	106.97
6406410	20,768	AMAZON MKTPL*NB07O37	32.38
6406410	20,768	AMAZON MKTPL*VF7RD9L	25.99
6406410	20,768	AMAZON.COM*J18320S33	13.99
6406410	20,768	AMAZON.COM*L229L1B63	91.18
6406410	20,768	AMAZON.COM*LR9ZN0JG3	11.18
6406410	20,768	AMAZON.COM*PD4ZD70V3	33.98
6406410	20,768	AMAZON.COM*QL0DO79F3	24.95
6406410	20,768	CENTURYLINK LUMEN	10.93
6406410	20,768	CENTURYLINK LUMEN	10.78
6406410	20,768	FARM & FLEET OF LACR	134.91
6406410	20,768	FARM & FLEET OF LACR	125.00
6406410	20,768	FARM & FLEET OF LACR	-134.91
6406410	20,768	HALRON LUBRICANTS IN	34.92
6406410	20,768	HARBOR FREIGHT TOOLS	179.99
6406410	20,768	HARBOR FREIGHT TOOLS	44.99
6406410	20,768	HARBOR FREIGHT TOOLS	44.98
6406410	20,768	MENARDS LA CROSSE WI	483.37
6406410	20,768	MENARDS LA CROSSE WI	7.28
6406410	20,768	MENARDS LA CROSSE WI	87.23
6406410	20,768	MENARDS LA CROSSE WI	25.90
6406410	20,768	MENARDS LA CROSSE WI	61.98
6406410	20,768	MENARDS LA CROSSE WI	32.05
6406410	20,768	MENARDS LA CROSSE WI	398.01
6406410	20,768	MENARDS LA CROSSE WI	44.15
6406410	20,768	MENARDS LA CROSSE WI	45.30
6406410	20,768	MENARDS LA CROSSE WI	106.33
6406410	20,768	MENARDS LA CROSSE WI	49.07
6406410	20,768	MENARDS LA CROSSE WI	9.48
6406410	20,768	MENARDS LA CROSSE WI	117.86
6406410	20,768	MENARDS LA CROSSE WI	1.44
6406410	20,768	MENARDS LA CROSSE WI	14.86
6406410	20,768	MENARDS LA CROSSE WI	17.87
6406410	20,768	MENARDS LA CROSSE WI	15.96
6406410	20,768	MENARDS LA CROSSE WI	8.69
6406410	20,768	MENARDS LA CROSSE WI	40.32
6406410	20,768	MENARDS LA CROSSE WI	115.92
6406410	20,768	MENARDS LA CROSSE WI	5.48
6406410	20,768	MENARDS LA CROSSE WI	41.17
6406410	20,768	MENARDS LA CROSSE WI	1,599.99
6406410	20,768	MILESTONE-811-SWANSO	21.10
6406410	20,768	MILESTONE-811-SWANSO	-21.10
6406410	20,768	MONROE TRUCK EQUIPME	1,937.00
6406410	20,768	RONCO ENGR SALES-LA	160.68

PCARD DETAIL - MAY 2025

ORG	VENDOR #	VENDOR NAME	AMOUNT
6406410	20,768	RONCO ENGR SALES-LA	411.77
6406410	20,768	RONCO ENGR SALES-LA	16.88
6406410	20,768	TREES TODAY NURSERY	124.86
6406410	20,768	TREES TODAY NURSERY	167.41
6406410	20,768	VERIZONWRLSS*RTCCR V	40.49
6406410	20,768	VERIZONWRLSS*RTCCR V	20.02
6406410	20,768	VERIZONWRLSS*RTCCR V	40.04
6406410	20,768	VERIZONWRLSS*RTCCR V	586.03
6406410	20,768	VERMEER WISCONSIN, I	73.89
6406410	20,768	WAL-MART #1679	45.96
6406410	20,768	WAL-MART #5127	77.84
6406410	20,768	WAL-MART #5127	125.00
6406410	20,768	WIAWWA	260.00
6406410	20,768	WM SUPERCENTER #1679	101.88
6406432	20,768	516 AUTO VALUE - LA	45.99
6406432	20,768	ACE OF LA CROSSE	-23.43
6406432	20,768	MENARDS LA CROSSE WI	321.83
6406432	20,768	MENARDS LA CROSSE WI	88.52
6406432	20,768	MENARDS LA CROSSE WI	199.99
6406432	20,768	MENARDS LA CROSSE WI	143.94
6406432	20,768	MENARDS LA CROSSE WI	28.92
6406432	20,768	MENARDS LA CROSSE WI	18.99
6406432	20,768	MENARDS LA CROSSE WI	-18.99
6406432	20,768	VERIZONWRLSS*RTCCR V	121.47
6406432	20,768	VERIZONWRLSS*RTCCR V	280.28
6406434	20,768	USABUEBOOK	40.95
6406434	20,768	ZORO TOOLS INC	234.89
6406436	20,768	AMAZON MKTPL*N295V1S	64.95
6406436	20,768	MENARDS LA CROSSE WI	13.95
6406436	20,768	TODAYS TREE SERVICE	2,216.67
6406436	20,768	VERMEER WISCONSIN, I	231.73
6406438	20,768	CDW GOVT #WATER - TI	286.64
6406438	20,768	LA CROSSE MAIL & PRI	27.14
6406438	20,768	LA CROSSE MAIL & PRI	33.77
6456410	20,768	CDW GOVT #MYRICK CAM	6,979.36
6456410	20,768	CDW GOVT #MYRICK CAM	740.60
6456410	20,768	CDW GOVT #MYRICK CAM	3,267.02
6456410	20,768	VIKING ELECTRIC-LACR	520.07
6456410	20,768	ZORO TOOLS INC	1,299.65
6456495	20,768	PETE'S TRAILER SALES	3,550.00
6506510	20,768	FARRELL EQUIPMENT&SU	2,215.99
6506512	20,768	AMAZON MKTPL*6J0JX61	8.85
6506512	20,768	IMPERIAL SUPPLIES	50.97
6506524	20,768	TODAYS TREE SERVICE	2,216.64
8100210	20,768	LA CROSSE MAIL & PRI	5.90
8100210	20,768	LA CROSSE MAIL & PRI	54.20
		TOTAL	<u><u>\$468,881.71</u></u>

Monthly Estimates for June 2025

	CONTRACTOR	CONTRACT NAME	JOB #	May 2025 ESTIMATE AMOUNT	CONTRACT AMOUNT	CONTINGENCY AMT
1	Gerke Excavating (FINAL)	9th Street South - Redfield St to Green Bay St	CURB-24-24	3,221.03	132,313.97	19,847.10
2	Dakota Supply Group (Partial Final)	Hintgen Heighorhood Lighting Equipment	LITG-25-08	37,218.00	39,090.00	-
3	Chippewa Concrete Services, Inc	Rose Street & St James Street Streetscape and Reconstruction	CURB-24-29	50,185.88	575,876.33	86,381.45
4	Gerke Excavating	Charles Street Reconstruction	CURB-24-22	148,256.43	326,467.50	34,192.76
5	Fowler & Hammer, Inc.	Cass Street Streetscape Improvements	LITG-24-32	87,989.95	209,531.00	19,916.36
6	Gerke Excavating	Smith Valley Storm Improvements	STRM-24-35	44,248.73	211,002.81	23,997.19
7	WSP USA	Green Bay - Losey Blvd to Dead End	AGRE-25-01	18,633.10	95,800.00	-
8	Gerke Excavating	Pettibone Watermain Extension	PRKS-24-33	82,553.54	667,449.34	42,550.66
9	WSP USA	Reconstruction of Monitor Street - Rose Street to Lang Drive (STP Urban)	AGRE-23-11	20,234.81	196,369.39	-
10	Short Elliott Hendrickson, Inc.	Grandad Reservoir	AGRE-24-46	4,636.58	205,300.00	-
11	Benesch	ADA Transition Plan Agreement	AGRE-22-19	2,495.90	203,863.76	150,000.00
12	Short Elliott Hendrickson, Inc.	Brine Tank Design	AGRE-23-45	3,172.51	353,862.00	-
13	Mead & Hunt, Inc.	6th Street Reconstruction (STP-URBAN)	AGRE-22-35	1,672.52	224,445.77	-
14	Mead & Hunt, Inc.	Losey Boulevard (HISP)	AGRE-24-30	18,162.87	319,998.81	-
15	Fowler & Hammer, Inc.	2025 Annual Miscellaneous Alley Pavement Replacement	CURB-25-11	30,437.94	41,265.50	6,189.82
16	Chippewa Concrete Services, Inc	Causeway Boulevard Reconstruction	MISC-23-48	538,297.28	3,675,564.14	77,935.86
17	Interstate Roofing & Waterproofing, Inc.	La Crosse Center South Hall Roof Re-bid	BLDG-24-36	88,802.03	820,750.00	54,250.00
18	Short Elliott Hendrickson, Inc.	Causeway Boulevard Construction Agreement	AGRE-24-08	24,024.74	284,000.00	-
				1,204,243.84	8,582,950.32	515,261.20



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0607

Agenda Date: 6/12/2025

Version: 1

Status: Agenda Ready

In Control: Common Council

File Type: Appointment

Office of City Clerk



May 28, 2025

Re: Common Council Member Emergency Interim Successors

The following are the emergency interim successors for the Mayor and Council Members elected April 1, 2025, ranked in order, and designated by each elected official, pursuant to Article II – Continuity of Government in the La Crosse Municipal Code, Sec. 14-27(a) and (b), respectively.

Said emergency interim successor designations are on file in the office of the City Clerk.

Mayor – Shaundel Washington-Spivey

1. Nicholas Padesky, 323 State St Apt 513, La Crosse
2. Stephen Matty, 5260 Grandwood Pl E, La Crosse

District 5 – Olivia Stine

1. Emily Anderson, 1515 Pine St Rm 230A, La Crosse
2. Cisco Garcia, 1500 La Crosse St Rm 213A, La Crosse

District 7 – Gary Padesky

1. Jim Bagniewski, 2820 Floral Ln, La Crosse
2. Kris Padesky, 825 20th St S, La Crosse

District 8 – Mackenzie Mindel

1. Jessica Thill, 1415 Mississippi St, La Crosse
2. David Mindel, 1523 Winnebago St, La Crosse

District 9 – Aron Newberry

1. Phil Ostrem, 1104 6th St S, La Crosse
2. Jerry Wacek, 1206 7th St S, La Crosse

District 10 – Jennifer Trost

1. James Longhurst, 1503 Park Ave, La Crosse
2. Rebecca Schwarz, 1507 Weston St, La Crosse

District 11 – Crystal Bedford

1. Anthony Bedford - Address 2923 22nd Street S
2. Dona Endris, 2929 22nd Street S

District 12 – Lisa Weston

1. Adam Hatfield, 3320 E Fairchild St, La Crosse
2. Lisa Kruse, 2849 Brook Ct, La Crosse

District 13 – Rosanne Northwood

1. Joe Northwood, 3314 Scarlett Dr, La Crosse
2. Tina Tryggestad, 4414 El Camino Real Dr, La Crosse

City of La Crosse, 400 La Crosse Street La Crosse, WI 54601

cityclerk@cityoflacrosse.org | 608-789-7510

www.cityoflacrosse.org



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0638

Agenda Date: 6/12/2025

Version: 2

Status: Agenda Ready

In Control: Common Council

File Type: Appointment



OFFICE OF THE MAYOR
LA CROSSE

June 12, 2025

FILE ID #25-0638

Dear Members of the Common Council:

This will serve to notify you that I am making the following appointments. Please be advised that the City Attorney, Mayor and City Clerk review all of the terms of each appointed office. These appointments are based on the best available information at this time and are subject to continued review. Any updates or corrections may be made at a future time based on their findings.

Bicycle and Pedestrian Advisory Committee

Reappoint Randi Pueschner for a two (2) year term ending June 12, 2027.

Board of Park Commissioners

Reappoint Eileen Kirsch for a five (5) year term ending June 12, 2030.

Reappoint Todd Olson for a five (5) year term ending June 12, 2030.

Ethics Board

Appoint Michaela Olson for a three (3) year term ending June 12, 2028.

Heritage Preservation Commission

Appoint Bruce Banes for a two (2) year term ending June 12, 2027.

Human Rights Commission

Appoint Marissa Sutherland for a three (3) year term ending June 12, 2028.

International Committee

Reappoint Alyson Glenz for a three (3) year term ending June 12, 2028.


Reappoint Lynn West for a three (3) year term ending June 12, 2028.

La Crosse Center Board

Appoint Nicholas Padesky for a three (3) year term ending June 12, 2028.

Confirmation of the above appointments is needed and will be appreciated.

Sincerely,

A handwritten signature in cursive script, appearing to read "Shaundel", followed by a horizontal flourish.

Mayor Shaundel
SWS:as

CC: Sondra Craig, Deputy Clerk
Brenda Buddenhagen, Paralegal



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0570

Agenda Date: 6/12/2025

Version: 1

Status: Agenda Ready

In Control: Common Council

File Type: Report of Bids

Agenda Number:

Report of Bids and Resolution awarding contract to Pember Companies, Inc. in the amount of \$112,470.00 for the 2025 Miscellaneous Sidewalk Infill project.

RESOLUTION

BE IT RESOLVED BY THE Common Council of the City of La Crosse that the bid in the amount of \$112,470.00 of Pember Companies, Inc. on the 5th day of June, 2025 for the performance of the following public work, to-wit:

2025 Miscellaneous Sidewalk Infill

being the lowest responsible bid based upon the project specifications as finally accepted by the Common Council, be and the same is hereby accepted.

BE IT RESOLVED that a contract in the amount of \$112,470.00, the cost thereof, is and the same is hereby appropriated and ordered paid out of the following:

CIP 762 (NDI)	\$112,470.00
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BE IT FURTHER RESOLVED that the sum of \$2,530.00, the cost thereof, is and the same is hereby appropriated and ordered paid out of the following:

CIP 762 (NDI)	\$2,530.00
---------------	------------

as and for a Contingency Fund for such public work with the Board of Public Works authorized to make the necessary changes in said contract that the circumstances may warrant and to pay for such changes from such Contingency Fund, all in accordance with the terms in the City of La Crosse Contract Volume.

BE IT FURTHER RESOLVED that the Board of Public Works is authorized to direct purchase any material and/or equipment it deems to be in the best interest of the City.

BE IT FURTHER RESOLVED that the contract is made, executed and delivered in the name of the City of La Crosse, Wisconsin.



City of La Crosse Engineering

400 La Crosse Street

La Crosse, WI 54601

Phone (608) 789-7505

Fax (608) 789-8184

06/05/25

PROJECT: 2025 Miscellaneous Sidewalk Infill

To the Honorable Mayor and Common Council of the City of La Crosse, Wisconsin

Dear Mayor and Council Members:

The following bids were received for the **2025 Miscellaneous Sidewalk Infill** project:

Pember Companies, Inc.
Menomonie, WI

\$112,470.00

Fowler & Hammer, Inc.
La Crosse, WI

\$124,367.50

The Director of Engineering & Public Works recommends awarding the bid for the **2025 Miscellaneous Sidewalk Infill** project to **Pember Companies, Inc.** in the amount of **\$112,470.00,**

Sincerely,

Matthew Gallagher
Director of Engineering & Public Works

MG:mh



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0560

Agenda Date: 6/12/2025

Version: 1

Status: Agenda Ready

In Control: Common Council

File Type: Report of Bids

Agenda Number:



City of La Crosse Engineering

400 La Crosse Street

La Crosse, WI 54601

Phone (608) 789-7505

Fax (608) 789-8184

06/05/2025

PROJECT: La Crosse Public Library Furniture Contract 01 – General Furnishings

To the Honorable Mayor and Common Council of the City of La Crosse, Wisconsin

Dear Mayor and Council Members:

The following bids were received for the **La Crosse Public Library Furniture Contract 01 – General Furnishings** project:

**Henricksen
Itasca, IL**

\$245,477.86

The Director of Engineering & Public Works recommends rejecting the bid due to insufficient amount of bidders.

Sincerely,

Matthew Gallagher
Director of Engineering & Public Works

MG:mh



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0562

Agenda Date: 6/12/2025

Version: 1

Status: Agenda Ready

In Control: Common Council

File Type: Report of Bids

Agenda Number:



City of La Crosse Engineering

400 La Crosse Street

La Crosse, WI 54601

Phone (608) 789-7505

Fax (608) 789-8184

06/05/2025

PROJECT: La Crosse Public Library Furniture Contract 03 – Systems Furnishings

To the Honorable Mayor and Common Council of the City of La Crosse, Wisconsin

Dear Mayor and Council Members:

The following bids were received for the **La Crosse Public Library Furniture Contract 03 – Systems Furnishings** project:

**Henricksen
Itasca, IL**

\$200,386.63

The Director of Engineering & Public Works recommends rejecting the bid due to Insufficient amount of bidders.

Sincerely,

Matthew Gallagher
Director of Engineering & Public Works

MG:mh



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0563

Agenda Date: 6/12/2025

Version: 1

Status: Agenda Ready

In Control: Common Council

File Type: Report of Bids

Agenda Number:



City of La Crosse Engineering

400 La Crosse Street
La Crosse, WI 54601
Phone (608) 789-7505
Fax (608) 789-8184

06/05/2025

PROJECT: La Crosse Public Library Furniture Contract 04 – Library Custom Furniture

To the Honorable Mayor and Common Council of the City of La Crosse, Wisconsin

Dear Mayor and Council Members:

The following bids were received for the **La Crosse Public Library Furniture Contract 04 – Library Custom Furniture** project:

Library Furniture International, LLC	\$77,584.00
Wheeling, IL	

The Director of Engineering & Public Works recommends rejecting the bid due to insufficient amount of bidders.

Sincerely,

Matthew Gallagher
Director of Engineering & Public Works

MG:mh



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0564

Agenda Date: 6/12/2025

Version: 1

Status: Agenda Ready

In Control: Common Council

File Type: Report of Bids

Agenda Number:



City of La Crosse Engineering

400 La Crosse Street

La Crosse, WI 54601

Phone (608) 789-7505

Fax (608) 789-8184

06/05/2025

PROJECT: La Crosse Public Library Furniture Contract 05 – Bookstacks

To the Honorable Mayor and Common Council of the City of La Crosse, Wisconsin

Dear Mayor and Council Members:

The following bids were received for the **La Crosse Public Library Furniture Contract 05 – Bookstacks** project:

**Henricksen
Itasca, IL**

\$98,093.80

The Director of Engineering & Public Works recommends rejecting the bid due to insufficient amount of bidders.

Sincerely,

Matthew Gallagher
Director of Engineering & Public Works

MG:mh



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0599

Agenda Date: 6/12/2025

Version: 1

Status: No Recommendation

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution approving Stormwater Utility rates effective July 1, 2025.

RESOLUTION

WHEREAS, the Common Council of the City of La Crosse established a Stormwater Utility (Utility) on July 14, 2011, via resolution 2011-07-030. Functions of the Utility include funding costs related to compliance requirements of the Wisconsin Pollutant Discharge Elimination system (WPDES) MS4 General Permit #WI-5050075-1. Activities included in the City's stormwater management plan developed to comply with the MS4 permit include constructing water quality and quantity controls, pollution prevention, erosion control, street sweeping, stormwater system televising, public education, inspection, maintenance and replacement of storm sewer lines, lift stations, and catch basins, and other activities required to comply with the MS4 permit.

WHEREAS, the established method of funding the Utility, used by over 120 municipalities in Wisconsin, was determined to be the most fair and equitable way to support the critical need for stormwater management services. All properties (taxable and non-taxable) contribute to the utility fund based on the amount of runoff generated by the property, with the intent to keep stormwater-related revenues and expenditures separate from the City of La Crosse general tax levy.

WHEREAS, each property in the City is assigned a number of equivalent runoff units (ERUs), based on the amount of impervious surface area, with one ERU equal to 2,841 Square Feet (SF) of impervious surface. All residential properties (single family, duplex, and triplex) are assigned one ERU. Non-residential properties, including condominiums, multi-family units (over 4 dwelling units), parking lots, and properties used for commercial, industrial, or governmental purposes, are assigned ERUs based upon the total square footage of impervious surface divided by 2,841 SF, with a minimum charge of 0.4 ERUs.

WHEREAS, the establishment of the Utility adopted a rate of \$13.48 per quarter (\$53.92 annually) per ERU, effective July 1, 2012. The original ordinance included the City general fund covering 50% of all capital outlay expenses. In 2018, the Common Council amended the ordinance to allow up to the full 100% of all capital outlay to be covered by the Utility. Since the inception of the Utility, the user rates have neither increased nor been adjusted.

WHEREAS, since 2011, the expenses and capital outlay have increased significantly, resulting in the Utility having depleted cash reserves to only 47 days of operating expenses at year-end 2023, far less than the target level of 250 days of operating expenses. The Utility has never carried debt; its long-term plan is to fund O&M and capital expenses with cash on hand, never incurring borrowed debt.

WHEREAS, the Utility hired Trilogy Consulting to perform a Rate Study to consider financial status and obligations, and determine needed revenue to fund the actual costs of the Utility. The previous rates, established prior to the 2025 study, were not set to cover the full cost of the stormwater utility operating and capital outlay expenses.

WHEREAS, the Rate Study, completed May 2025, recommends and justifies an annual ERU fee of \$118.64 annually—or approximately \$9.89 per month—effective July 1, 2025. The proposed rate is to cover current program costs and the costs of eligible Utility activities currently paid through property taxes. Eligible activities include the recent addition of street sweeping to the Utility budget.

WHEREAS, the Rate Study further recommends a 22% increase on January 1, 2026, followed by an annual increase of 3% from 2027 to 2029, to ensure adequate revenues to cover estimated operating expenses, inflationary increases, and capital projects.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of La Crosse that it hereby accepts and approves the recommended Utility rate increases as outlined in the "Stormwater Utility Rate Study" prepared by Trilogy Consulting in May 2025.

BE IT FURTHER RESOLVED that annual evaluation of operating and financial data of the Utility shall be conducted. Said evaluations shall be used to present to the Common Council any requested rate changes other than those adopted herein for the period of 2026 to 2029.

BE IT FURTHER RESOLVED that the Board of Public Works and City and Utility staff are authorized to effectuate this Resolution.

STORMWATER UTILITY RATE STUDY

May 2025

Background

The Stormwater Utility was first implemented in July of 2011 to fund the costs of the new requirements of the Wisconsin Pollutant Discharge Elimination system (WPDES) MS4 General Permit #WI-S050075-1. Along with other Wisconsin communities with a population of 10,000 or more, this permit requires La Crosse to implement programs and improvements designed to reduce stormwater pollution from any runoff leaving the City's storm sewers, roads, or other conveyances to improve water quality. As part of the permit requirements, the City developed a stormwater management plan and identified maintenance needs for the stormwater system to address improvements needed to comply with the MS4 permit. With these new requirements, the City created a Stormwater Utility to provide a more equitable and sustainable way to fund stormwater treatment. The Utility funds the stormwater program by charging user fees based on how much runoff the user generates instead of the value and tax status of the property. Revenues from user charges are managed in a Stormwater Utility fund that is separate from the City's general tax levy and is dedicated to funding stormwater management.

Stormwater management activities include:

- Construction of regional water quality and quantity control structures
- Inspection of construction sites for erosion and sediment control
- Storm Water Pollution Prevention Plan for municipal operations
- Detection and elimination of illegal discharges to the storm sewer system
- Routine pond and outfall inspection and maintenance
- Stormwater management planning
- Street sweeping
- Stormwater system mapping
- Stormwater system televising
- Public education and public involvement activities
- Inspection, maintenance, and replacement of storm sewer lines, lift stations, and catch basins
- Record keeping and annual report preparation as required for the MS4 permit

Each property in the City is assigned a number of equivalent runoff units (ERUs), based on the amount of impervious area that contributes to storm water runoff. One ERU equals 2,841 square feet of impervious surface area. Every single-family home, duplex, and tri-plex is assigned one ERU. Non-residential properties, including condominiums, multi-family apartment buildings with four or more dwelling units, parking lots, and properties used for commercial, industrial, or governmental purposes, are assigned ERUs based on the amount impervious areas divided by 2,841 square feet. The minimum charge for all parcels having impervious area is 0.40 ERUs.

Stormwater rates were established at \$13.48 per ERU per quarter in 2011. This amount was much less than was recommended by the original stormwater rate study and the rates have not increased since then. In recent years, the Utility has undertaken more capital projects to rehabilitate and replace stormwater infrastructure. In addition, in 2022, the City began reviewing expenses more closely to identify all expenses for management of stormwater quantity or quality or support the Utility that should be covered by the Stormwater Utility rather than the Sanitary Sewer Utility or other City departments.

The City hired Trilogy Consulting to prepare a review of the Utility's rates and their adequacy to ensure that the Utility is financially self-sufficient and able to cover all stormwater management costs in the future. This review included an analysis of trends in ERUs, revenues, and expenses for the past several years, as well as projections of the Utility's financial needs for the next five years.

Current Financial Status

User fees make up most of the Utility's revenues. Other revenues include late fees, interest earnings, and other miscellaneous revenues.

Over the last several years, the Utility has experienced modest growth in the number of ERUs and revenues. Between 2021 and 2024, the number of ERUs increased by about 1,400 ERUs, or about 3.0 percent. Revenues have increased slightly with the increase in ERUs, generating a little over \$2.3 million per year from user charges. It should be noted that the revenues shown in Table 1 are the billed revenues based on the number of ERUs each year, not the actual revenues received by the Utility during each calendar year as reported in the City's financial statements.

For purposes of financial planning, it was conservatively assumed that the number of ERUs and revenues from user charges would remain at the current level.

Table 1 - ERUs and Revenues, 2021-2024

	2021	2022	2023	Estimated 2024
	(ERUs)	(ERUs)	(ERUs)	(ERUs)
Residential	13,061	12,851	12,859	12,870
Nonresidential	34,357	37,140	35,926	35,960
Total	47,418	49,991	48,785	48,830
Quarterly Charge per ERU	\$13.48	\$13.48	\$13.48	\$13.48
Calculated Annual Revenues	\$2,556,777	\$2,695,516	\$2,630,467	\$2,632,914
Credits	(\$283,075)	(\$313,212)	(\$301,038)	(\$315,000)
Net Revenues	\$2,273,702	\$2,382,304	\$2,329,429	\$2,317,914

As shown in Table 2, the Utility's operation and maintenance expenses increased between 2021 and 2024 and are budgeted to increase by another 44 percent in 2025. Prior to 2022, about \$1.0 million per year of stormwater management expenses and related City administration and support services were covered by the Stormwater Utility and the remaining stormwater expenses were covered by the Sanitary Sewer Utility and other City departments. Beginning in 2022, expenses were examined more closely to appropriately charge the Utility for the full cost of stormwater management costs. For 2025, the Utility will pay for the cost of street sweeping for the first time, which accounts for more than half of the increase in budgeted O&M expenses for 2025. With the addition of street sweeping to the stormwater utility budget, the utility will be paying the full cost of stormwater management expenses in 2025 and future years.

The largest increases were in general administrative expenses and storm sewer operation and maintenance. Within these categories of expenses, specific categories with the largest increases were as follows:

General Administrative Expenses:

- Consulting services
- General management salaries and wages
- Health insurance for all utility employees
- Fleet lease and associated administrative fees
- Diggers hotline and miscellaneous expenses
- Tools and equipment
- Payment for City services

- Social security and Medicare
- Retirement benefits

Storm Sewer Operation and Maintenance:

- Repairs of storm sewers
- Repairs of manholes
- Increased feet of storm sewers televised per year to determine condition

Lift Station Operation and Maintenance:

- Labor for maintenance of storm sewer lift stations
- Electricity for lift stations

Table 2 – Operation and Maintenance Expenses, 2021 - 2025

	2021 ACTUAL	2022 ACTUAL	2023 ACTUAL	2024 UNAUDITED	2025 BUDGET
EXPENSES - OPERATING					
GENERAL ADMINISTRATIVE (DIVISION 6510)	\$ 404,907	\$ 472,740	\$ 561,060	\$ 1,071,756	\$ 1,075,699
QUALITY MANAGEMENT (DIVISION 6512)	84,462	121,369	169,449	136,370	203,344
STORM SEWER COLLECTION (DIVISION 6524)	456,173	591,673	567,262	727,466	1,032,270
STORM LIFT STATIONS (DIVISION 6526)	70,571	76,973	68,755	68,708	122,425
CUSTOMER COLLECTION (DIVISION 6528)	25,450	28,577	35,171	47,731	46,100
LABORATORY (DIVISION 6530)	-	-	13,672	11,812	18,000
SOLIDS DISPOSAL (DIVISION 6532)	2,051	4,855	4,279	3,138	7,500
STREET SWEEPING (DIVISION 6534)					479,200
TOTAL OPERATING EXPENSES	\$ 1,043,613	\$ 1,296,187	\$ 1,419,648	\$ 2,066,981	\$ 2,984,538

As operation and maintenance expenses have increased over the last few years, the amount of net cash flow available for capital outlay has decreased each year, as shown in Table 3.

Table 3 - Net Cash Flow Available for Capital Outlay, 2021 - 2024

	2021 ACTUAL	2022 ACTUAL	2023 ACTUAL	2024 UNAUDITED
<u>TOTAL REVENUES / TRANSFERS IN</u>				
REVENUES	\$ 2,601,739	\$ 2,369,844	\$ 2,407,131	\$ 2,393,270
<u>EXPENSES / TRANSFERS OUT</u>				
OPERATION AND MAINTENANCE EXPENSES	\$ 1,043,613	\$ 1,296,187	\$ 1,419,648	\$ 2,066,981
DEBT INTEREST EXPENSE	-	-	-	-
DEBT PRINCIPAL RETIREMENT	-	-	-	-
DEBT ISSUANCE COSTS	-	-	-	-
TOTAL EXPENSES / TRANSFERS OUT	1,043,613	1,296,187	1,419,648	2,066,981
NET AVAILABLE FOR CAPITAL OUTLAY	\$ 1,558,126	\$ 1,073,657	\$ 987,483	\$ 326,289

Capital expenses fluctuate from year to year depending on what projects the Utility completes and purchases of new vehicles or equipment. Table 4 shows expenditures for capital projects in 2021 through 2024. On average, the Utility spent \$3.2 million per year on capital projects for 2021 through 2024. Most of the recent and ongoing capital expenditures are for replacement of storm sewer. However, projects also include equipment and vehicle purchases, improvements to lift stations, replacement of catch basins, and best management practices to reduce pollutants in stormwater runoff.

Through 2024, the Utility funded capital improvements with a combination of operating income, cash reserves from prior year's income, federal grants, Tax Incremental Finance funds, and other contributions. In 2022 through 2024, the Utility drew down cash reserves by \$4.7 million to fund the portion of capital projects not covered by current year's revenues, grants, TIF or other contributions.

Table 4 - Capital Expenditures and Funding, 2021-2024

	2021 ACTUAL	2022 ACTUAL	2023 ACTUAL	2024 UNAUDITED
CAPITAL OUTLAY EXPENSES				
DEBT RETIREMENT	\$ -	\$ -	\$ -	\$ -
DEBT ISSUANCE COSTS	-	-	-	-
LOAN TO DEVELOPER	-	-	-	-
CAPITAL IMPROVEMENT PROJECTS	2,300,093	6,566,972	1,746,026	1,423,683
CAPITAL EQUIPMENT	-	-	-	779,359
TOTAL CAPITAL OUTLAY EXPENSES	\$ 2,300,093	\$ 6,566,972	\$ 1,746,026	\$ 2,203,042
CAPITAL OUTLAY FUNDING PLAN:				
CASH FROM YEARLY NET CASH FLOW	\$ 1,558,126	\$ 1,073,657	\$ 987,483	\$ 326,289
USE OF / (CONTRIBUTION TO) CASH RESERVES	(499,593)	2,231,350	730,227	1,876,753
UTILITY NEW BORROWED FUNDS	-	-	-	-
OTHER (TIF/ASSESSMENTS/MISC)	1,016,853	-	28,316	-
FEDERAL GRANTS	224,707	3,261,965	-	-
TOTAL FUNDS FOR CAPITAL OUTLAY EXPENSES	\$ 2,300,093	\$ 6,566,972	\$ 1,746,026	\$ 2,203,042

Table 5 summarizes the Utility's revenues, expenses, cash flow, and year end cash reserves for 2021 through 2024. As shown, the use of cash reserves to fund much of the capital improvements has resulted in the Utility having cash reserves equal to only 47 days of operating expenses, much lower than the target level of 250 days of operating expenses. The target level is the amount needed to earn the highest rating from Moody's Investor Series on this criterion.¹ Other resources recommend that utilities maintain at least 45-90 days of cash to manage cash flow, plus other reserves as required or recommended if needed to ensure payment of debt service or fund emergency repairs or replacements.² The Utility doesn't have any debt service payments at this time but may need funding for emergency repairs or replacements. Based on experience with emergency repairs and replacements, City staff identified potential emergency capital reserve needs of \$500,000. As part of making the Stormwater Utility financially self-sufficient and sustainable, a formal reserve policy should be developed based on the specific needs and risks experienced by the Utility.

¹ "Rating Methodology, US Municipal Utility Revenue Debt", Moody's Investors Service, October 19, 2017.

² "Cash Reserve Policy Guidelines", American Water Works Association, 2018.

Table 5 - Cash Flow and Reserves, 2021-2024

QUARTERLY RATE PER ERU	\$13.48 2021 ACTUAL	\$13.48 2022 ACTUAL	\$13.48 2023 ACTUAL	\$13.48 2024 UNAUDITED
TOTAL REVENUES / TRANSFERS IN				
REVENUES	\$ 2,601,739	\$ 2,369,844	\$ 2,407,131	\$ 2,393,270
EXPENSES / TRANSFERS OUT				
OPERATION AND MAINTENANCE EXPENSES	\$ 1,043,613	\$ 1,296,187	\$ 1,419,648	\$ 2,066,981
DEBT INTEREST EXPENSE	-	-	-	-
DEBT PRINCIPAL RETIREMENT	-	-	-	-
DEBT ISSUANCE COSTS	-	-	-	-
TOTAL EXPENSES / TRANSFERS OUT	1,043,613	1,296,187	1,419,648	2,066,981
NET AVAILABLE FOR CAPITAL OUTLAY	\$ 1,558,126	\$ 1,073,657	\$ 987,483	\$ 326,289
CAPITAL OUTLAY EXPENSES				
DEBT RETIREMENT	\$ -	\$ -	\$ -	\$ -
DEBT ISSUANCE COSTS	-	-	-	-
LOAN TO DEVELOPER	-	-	-	-
CAPITAL IMPROVEMENT PROJECTS	2,300,093	6,566,972	1,746,026	1,423,683
CAPITAL EQUIPMENT	-	-	-	779,359
TOTAL CAPITAL OUTLAY EXPENSES	\$ 2,300,093	\$ 6,566,972	\$ 1,746,026	\$ 2,203,042
CAPITAL OUTLAY FUNDING PLAN:				
CASH FROM YEARLY NET CASH FLOW	\$ 1,558,126	\$ 1,073,657	\$ 987,483	\$ 326,289
USE OF / (CONTRIBUTION TO) CASH RESERVES	(499,593)	2,231,350	730,227	1,876,753
UTILITY NEW BORROWED FUNDS	-	-	-	-
OTHER (TIF/ASSESSMENTS/MISC)	1,016,853	-	28,316	-
FEDERAL GRANTS	224,707	3,261,965	-	-
TOTAL FUNDS FOR CAPITAL OUTLAY EXPENSES	\$ 2,300,093	\$ 6,566,972	\$ 1,746,026	\$ 2,203,042
UNRESTRICTED CASH ON HAND YEAR END	\$ 4,993,792	\$ 2,610,046	\$ 2,336,700	\$ 267,229
DAYS CASH ON HAND (TARGET 250)	1,747	735	601	47

Summary of Current Financial Status

The primary source of utility revenues, user fees, were set lower than the original recommended amount and have not been increased since the Utility's inception in 2011, while the growth in the number of ERUs has been modest. Since 2011, expenses and capital outlay have increased

significantly. The Utility has significantly increased its program of storm sewer and lift station maintenance and replacement and has experienced inflation in construction costs. In addition, the City has been reviewing operating costs in recent years to identify all stormwater management costs and administrative support costs that should be covered by the Utility instead of other City utilities or departments. Over the last three years, the Utility has drained most of its cash reserves to fund capital projects. Current rates are not sufficient to fully cover the City's stormwater management program operation, maintenance, and replacement costs.

Financial Projections

Projected operation and maintenance, debt service, and capital outlay expenses were developed for 2025 through 2030 using the following assumptions:

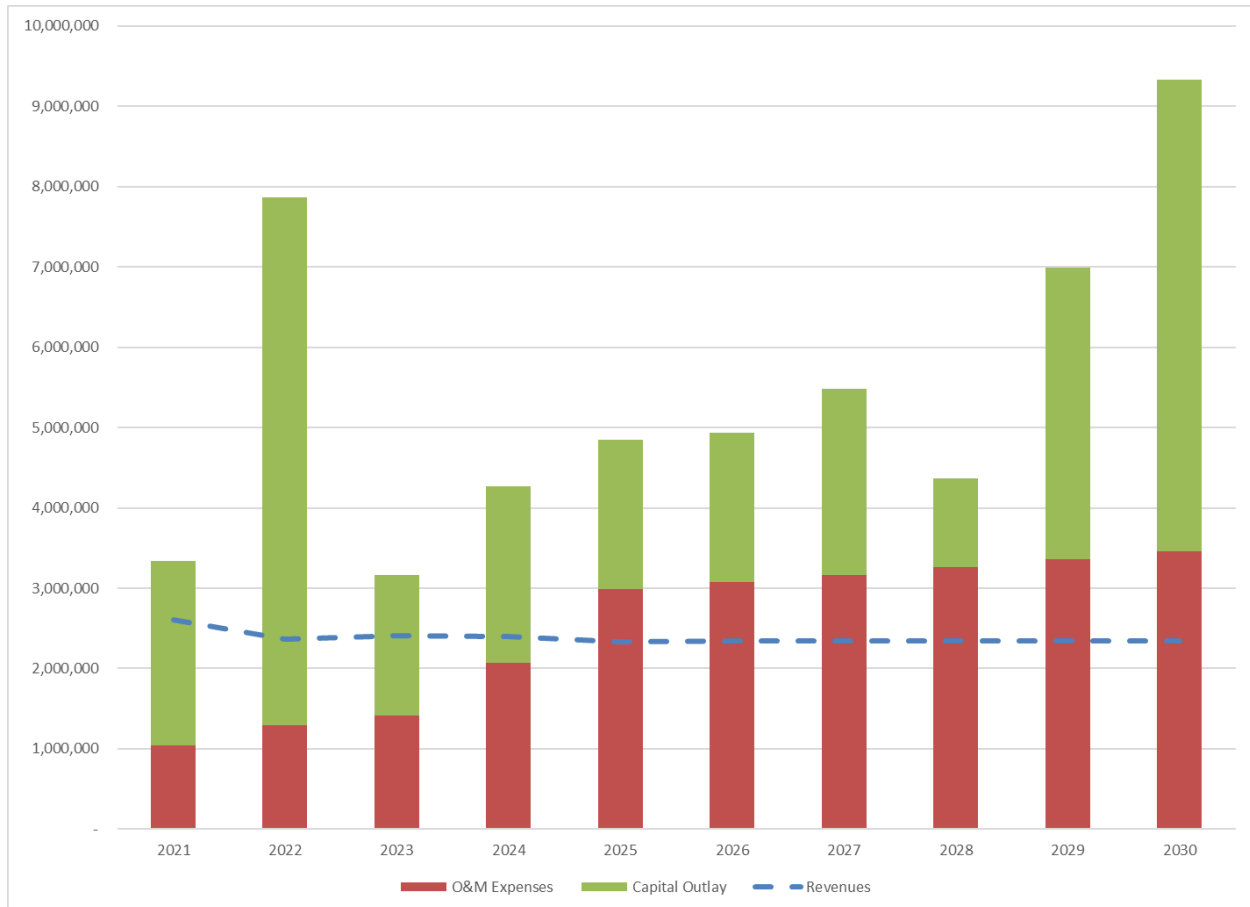
- Operation and maintenance expenses were projected using the 2025 budget as the starting basis and assuming average inflation of 3.0 percent per year for future years.
- Capital outlay expenses were based on the remaining unspent funds for projects bid in 2025 and prior years and the City's Capital Improvement Program for stormwater management infrastructure for 2026-2030.
- The Utility does not have any existing outstanding debt. It was assumed for planning purposes that the City will not issue General Obligation debt on behalf of the Utility. It was also assumed that the Utility would not be able to issue revenue bonds until it has a demonstrated history of setting rates that are sufficient to fully cover utility expenses and any required debt coverage and maintain adequate cash reserves. With the ongoing annual nature of the Utility's capital improvement program, it is also recommended that the Utility cash fund most or all of its capital improvements to save on interest expense. For purposes of the five-year projections, it was assumed that debt would not be issued.

Table 6 shows the projected revenues at current rates and operation and maintenance, debt service, and capital outlay expenses for 2024 through 2030. As shown, the projected expenses are significantly higher than the revenues from user charges at current rates for 2025 through 2030. Negative cash flows from operations would increase from a deficit of \$647,000 in 2025 to a deficit of \$1.1 million per year by 2030 with no rate increase. The Utility would not have any funds for the budgeted \$16.6 million of capital improvement projects. In total, there is a projected deficit of \$21.7 million between revenues at current rates and total operating and capital needs for 2025-2030. Figure 1 shows the revenues at current rates relative to past and projected expenses and capital outlay in graphical format.

Table 6 - Projected Cash Flow and Reserves at Current Rates

RATE INCREASE/PROJECTED RATE INCREASE QUARTERLY RATE PER ERU	0.00% \$13.48 2024	0.00% \$13.48 2025	0.00% \$13.48 2026	0.00% \$13.48 2027	0.00% \$13.48 2028	0.00% \$13.48 2029	0.00% \$13.48 2030
	UNAUDITED	BUDGET	FORECAST	FORECAST	FORECAST	FORECAST	FORECAST
TOTAL REVENUES / TRANSFERS IN							
REVENUES	\$ 2,393,270	\$ 2,337,793	\$ 2,338,793	\$ 2,338,793	\$ 2,338,793	\$ 2,338,793	2,338,793
EXPENSES / TRANSFERS OUT							
OPERATION AND MAINTENANCE EXPENSES	\$ 2,066,981	\$ 2,984,538	\$ 3,074,074	\$ 3,166,296	\$ 3,261,285	\$ 3,359,124	\$ 3,459,898
DEBT INTEREST EXPENSE	-	-	-	-	-	-	-
DEBT PRINCIPAL RETIREMENT	-	-	-	-	-	-	-
DEBT ISSUANCE COSTS	-	-	-	-	-	-	-
TOTAL EXPENSES / TRANSFERS OUT	2,066,981	2,984,538	3,074,074	3,166,296	3,261,285	3,359,124	3,459,898
NET AVAILABLE FOR CAPITAL OUTLAY	\$ 326,289	\$ (646,745)	\$ (735,281)	\$ (827,503)	\$ (922,492)	\$ (1,020,331)	\$ (1,121,105)
CAPITAL OUTLAY EXPENSES							
DEBT RETIREMENT	\$ -	\$ -	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0
DEBT ISSUANCE COSTS	-	-	-	-	-	-	-
LOAN TO DEVELOPER	-	-	-	-	-	-	-
CAPITAL IMPROVEMENT PROJECTS	1,423,683	1,710,500	1,710,500	1,874,000	1,109,250	3,132,500	5,820,750
CAPITAL EQUIPMENT	779,359	150,000	150,000	443,500	-	500,000	50,000
TOTAL CAPITAL OUTLAY EXPENSES	\$ 2,203,042	\$ 1,860,500	\$ 1,860,500	\$ 2,317,500	\$ 1,109,250	\$ 3,632,500	\$ 5,870,750
CAPITAL OUTLAY FUNDING PLAN:							
CASH FROM YEARLY NET CASH FLOW	\$ 326,289	\$ (646,745)	\$ (735,281)	\$ (827,503)	\$ (922,492)	\$ (1,020,331)	\$ (1,121,105)
USE OF / (CONTRIBUTION TO) CASH RESERVES	1,876,753	2,507,245	2,595,781	3,145,003	2,031,742	4,652,831	6,991,855
UTILITY NEW BORROWED FUNDS	-	-	-	-	-	-	-
OTHER (TIF/ASSESSMENTS/MISC)	-	-	-	-	-	-	-
FEDERAL GRANTS	-	-	-	-	-	-	-
TAL FUNDS FOR CAPITAL OUTLAY EXPENSES	\$ 2,203,042	\$ 1,860,500	\$ 1,860,500	\$ 2,317,500	\$ 1,109,250	\$ 3,632,500	\$ 5,870,750
UNRESTRICTED CASH ON HAND YEAR END	\$ 267,229	\$ (2,240,016)	\$ (4,835,797)	\$ (7,980,801)	\$ (10,012,543)	\$ (14,665,374)	\$ (21,657,228)
DAYS CASH ON HAND (TARGET 250)	47	(274)	(574)	(920)	(1,121)	(1,594)	(2,285)

Figure 1 - Past and Projected Expenses and Revenues at Current Rates



Trilogy Consulting evaluated multiple scenarios for increasing rates over the next several years to develop sufficient, sustainable annual revenues that meet the following objectives:

1. Fully fund the Utility's operation and maintenance expenses
2. Allow the Utility to cash fund its capital improvement program
3. Develop and maintain reserves of at least 45 days operating expenses plus \$500,000 for emergency capital (equal to approximately 100 days operating expenses) with a target level of 250 days operating expenses.

Based on this analysis, a rate increase of 120.0 percent is recommended for 2025, another rate increase of 22.0 percent is recommended for 2026, and inflationary annual increases of 3.0 percent per year recommended for 2027 through 2029. Increases of this level are projected to

allow the Utility to fully fund O&M expenses in 2025, begin fully funding capital improvements in 2026, and begin maintaining the minimum recommended reserve levels in 2027. The proposed rates for 2026 are projected to generate \$3.2 million per year to cash fund capital improvements. The Utility should continue to evaluate its annual funding needs for capital improvements.

With \$5.9 million of capital projects budgeted for 2030, it is projected that the Utility would draw down reserves to fund a portion of this project. Depending on the level of capital projects planned for subsequent years, the Utility may need to consider a higher rate increase for 2030.

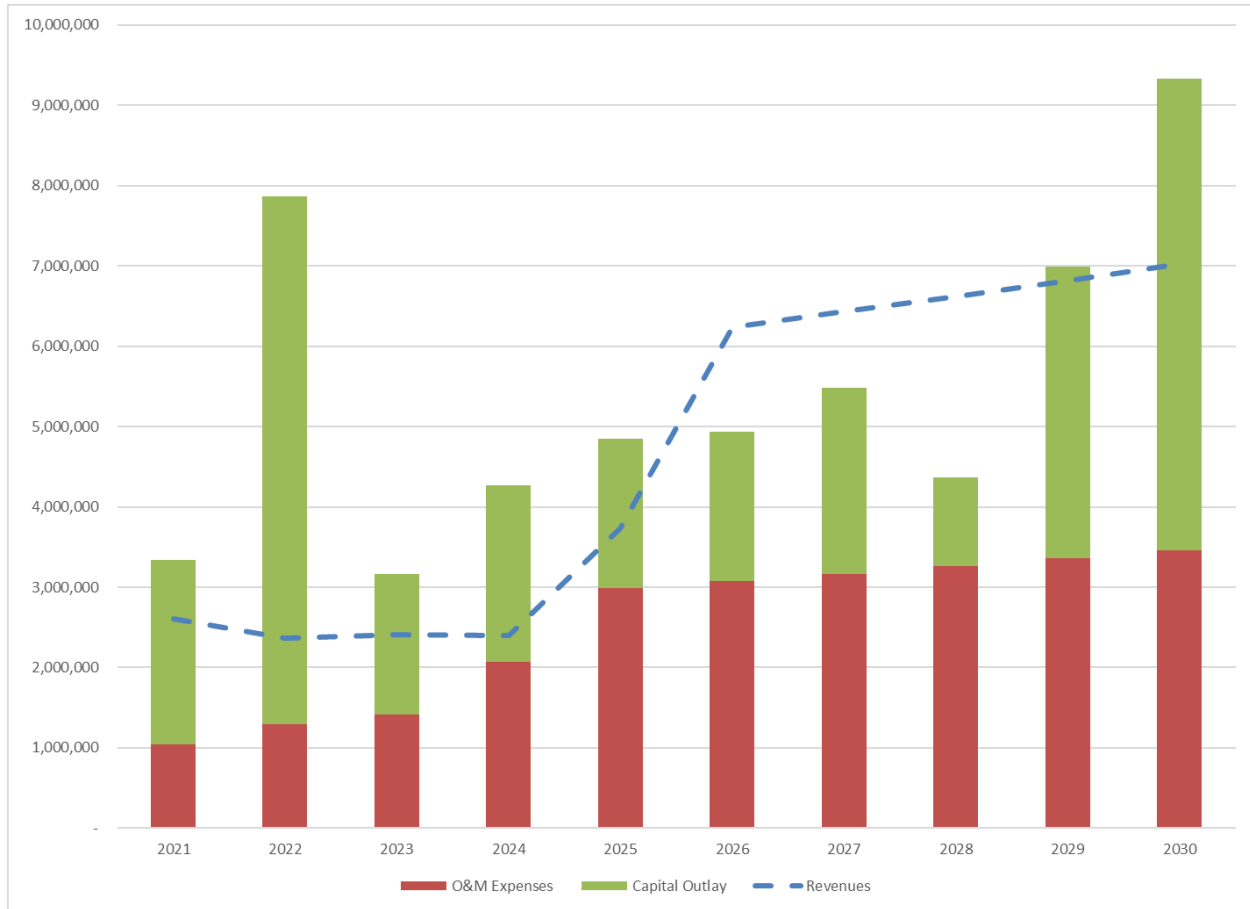
The projected annual revenues and expenses with this recommended series of rate increases are shown in Table 7 and Figure 2. These recommended rate increases should be reviewed on an annual basis and adjusted as needed to reflect changes in the Utility's capital improvement program and operating expenses.

It should be noted that these future projections are for planning purposes only. The City and the Utility should continue to assess the financial, physical, and operational conditions of the Utility on an annual basis to respond to changing conditions and make decisions regarding which capital improvement projects to undertake, how those projects should be financed, and the appropriate rate increase that may be needed to meet the revenue requirements of the Utility.

Table 7 - Projected Cash Flow and Reserves with Recommended and Projected Rate Increases

RATE INCREASE/PROJECTED RATE INCREASE QUARTERLY RATE PER ERU	0.00% \$13.48 2024 UNAUDITED	120.00% \$29.66 2025 BUDGET	22.00% \$36.18 2026 FORECAST	3.00% \$37.27 2027 FORECAST	3.00% \$38.38 2028 FORECAST	3.00% \$39.54 2029 FORECAST	3.00% \$40.72 2030 FORECAST
TOTAL REVENUES / TRANSFERS IN							
REVENUES	\$ 2,393,270	\$ 3,728,439	\$ 6,241,872	\$ 6,428,497	\$ 6,620,720	\$ 6,818,710	7,022,640
EXPENSES / TRANSFERS OUT							
OPERATION AND MAINTENANCE EXPENSES	\$ 2,066,981	\$ 2,984,538	\$ 3,074,074	\$ 3,166,296	\$ 3,261,285	\$ 3,359,124	\$ 3,459,898
DEBT INTEREST EXPENSE	-	-	-	-	-	-	-
DEBT PRINCIPAL RETIREMENT	-	-	-	-	-	-	-
DEBT ISSUANCE COSTS	-	-	-	-	-	-	-
TOTAL EXPENSES / TRANSFERS OUT	2,066,981	2,984,538	3,074,074	3,166,296	3,261,285	3,359,124	3,459,898
NET AVAILABLE FOR CAPITAL OUTLAY	\$ 326,289	\$ 743,901	\$ 3,167,798	\$ 3,262,201	\$ 3,359,435	\$ 3,459,586	\$ 3,562,742
CAPITAL OUTLAY EXPENSES							
DEBT RETIREMENT	\$ -	\$ -	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0
DEBT ISSUANCE COSTS	-	-	-	-	-	-	-
LOAN TO DEVELOPER	-	-	-	-	-	-	-
CAPITAL IMPROVEMENT PROJECTS	1,423,683	1,710,500	1,710,500	1,874,000	1,109,250	3,132,500	5,820,750
CAPITAL EQUIPMENT	779,359	150,000	150,000	443,500	-	500,000	50,000
TOTAL CAPITAL OUTLAY EXPENSES	\$ 2,203,042	\$ 1,860,500	\$ 1,860,500	\$ 2,317,500	\$ 1,109,250	\$ 3,632,500	\$ 5,870,750
CAPITAL OUTLAY FUNDING PLAN:							
CASH FROM YEARLY NET CASH FLOW	\$ 326,289	\$ 743,901	\$ 3,167,798	\$ 3,262,201	\$ 3,359,435	\$ 3,459,586	\$ 3,562,742
USE OF / (CONTRIBUTION TO) CASH RESERVES	1,876,753	1,116,599	(1,307,298)	(944,701)	(2,250,185)	172,914	2,308,008
UTILITY NEW BORROWED FUNDS	-	-	-	-	-	-	-
OTHER (TIF/ASSESSMENTS/MISC)	-	-	-	-	-	-	-
FEDERAL GRANTS	-	-	-	-	-	-	-
OTAL FUNDS FOR CAPITAL OUTLAY EXPENSES	\$ 2,203,042	\$ 1,860,500	\$ 1,860,500	\$ 2,317,500	\$ 1,109,250	\$ 3,632,500	\$ 5,870,750
UNRESTRICTED CASH ON HAND YEAR END	\$ 267,229	\$ (849,370)	\$ 457,928	\$ 1,402,628	\$ 3,652,813	\$ 3,479,899	\$ 1,171,892
DAYS CASH ON HAND (TARGET 250)	47	(104)	54	162	409	378	124

Figure 2 - Projected Revenues and Expenses with Recommended and Projected Rate Increases



Bill Impacts and Community Rate Comparison

The proposed series of rate increases would increase the total annual bill for a single family residential unit from \$53.92 per year currently to \$118.62 per year in 2025, \$144.72 for 2026, and \$158.14 per year by 2029. This would be an increase of \$64.70 per year in 2025, or \$5.39 per month, and an increase of \$104.22 per year by 2029, or \$8.69 per month.

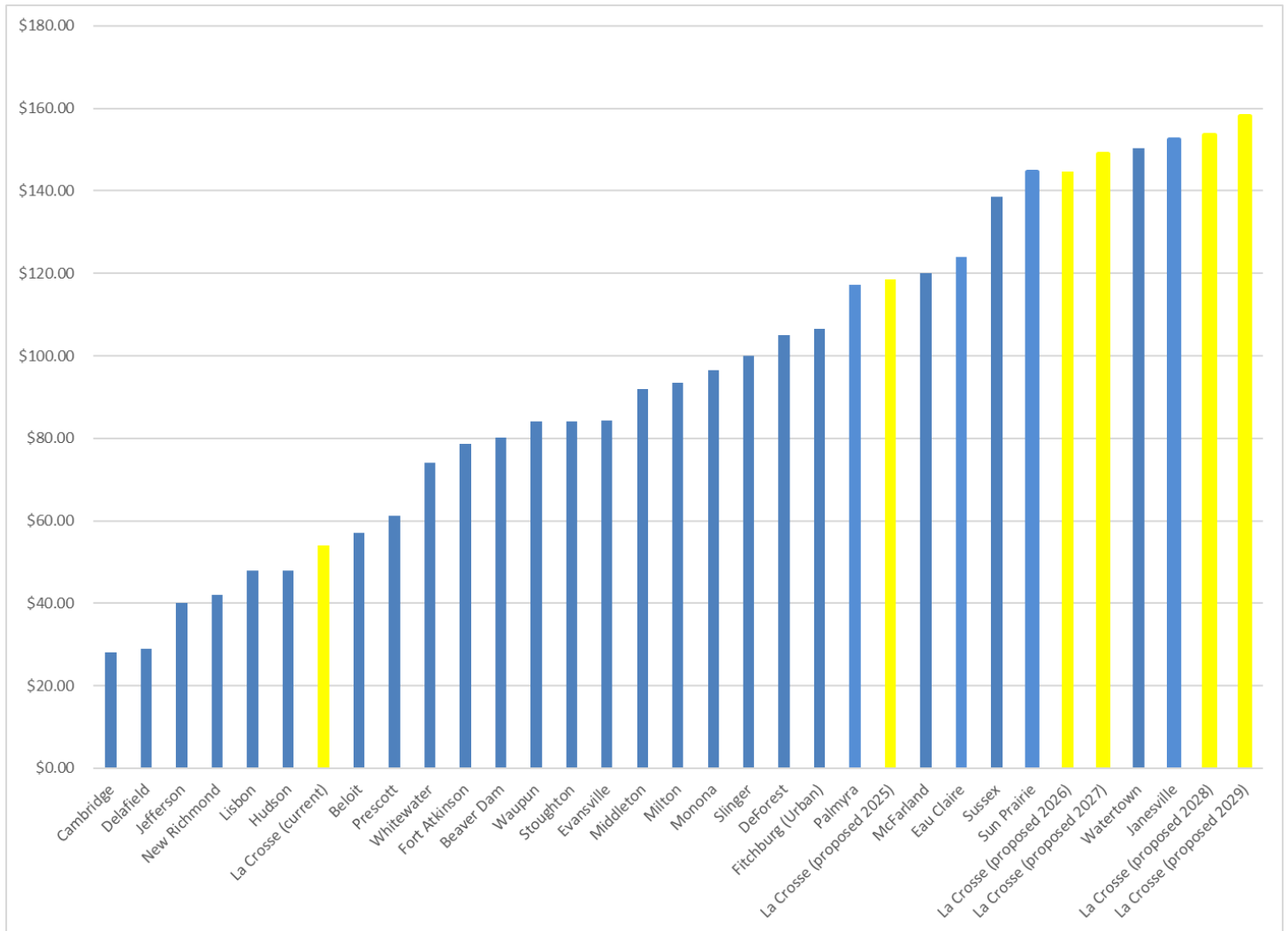
To put this into context, the stormwater utility rates for other Wisconsin communities were compiled. This does not represent a comprehensive list of all stormwater rates in Wisconsin; rather it is a list of communities for whom this information was readily available. As shown, the

City's current stormwater rates are relatively low compared to other communities with stormwater utilities.

Table 8 - Annual Stormwater Utility Charges per Single-Family Residential Unit

Community	Charge per		Annual Bill
	REU	Bills per Year	
Cambridge	\$28.00	1	\$28.00
Delafield	\$29.00	1	\$29.00
Jefferson	\$40.00	1	\$40.00
New Richmond	\$3.51	12	\$42.12
Lisbon	\$48.00	1	\$48.00
Hudson	\$12.00	4	\$48.00
La Crosse (current)	\$13.48	4	\$53.92
Beloit	\$4.75	12	\$57.00
Prescott	\$15.30	4	\$61.20
Whitewater	\$6.17	12	\$74.04
Fort Atkinson	\$13.10	6	\$78.60
Beaver Dam	\$80.08	1	\$80.08
Waupun	\$84.00	1	\$84.00
Stoughton	\$7.01	12	\$84.12
Evansville	\$7.03	12	\$84.36
Middleton	\$23.00	4	\$92.00
Milton	\$15.56	6	\$93.36
Monona	\$96.60	1	\$96.60
Slinger	\$100.00	1	\$100.00
DeForest	\$8.75	12	\$105.00
Fitchburg (Urban)	\$26.64	4	\$106.56
Palmyra	\$29.31	4	\$117.24
La Crosse (proposed 2025)	\$29.66	4	\$118.62
McFarland	\$20.00	6	\$120.00
Eau Claire	\$31.00	4	\$124.00
Sussex	\$11.55	12	\$138.60
Sun Prairie	\$12.05	12	\$144.60
La Crosse (proposed 2026)	\$36.18	4	\$144.72
La Crosse (proposed 2027)	\$37.27	4	\$149.06
Watertown	\$12.52	12	\$150.24
Janesville	\$38.15	4	\$152.60
La Crosse (proposed 2028)	\$38.38	4	\$153.53
La Crosse (proposed 2029)	\$39.54	4	\$158.14
Average w/o La Crosse			\$88.53
Median w/o La Crosse			\$88.18

Figure 3 - Annual Stormwater Utility Charges per Single-Family Residential Unit





CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation

Dear City Council,

My name is Bernard Lenz and I live at 1624 Mississippi Street. I was the City of La Crosse Assistant City Engineer from 2008 to 2018 and Utility Manager until 2022. I ran the citizen committee that worked for months to develop the original SWU ordinance. I object to resolution 25-0599 because it is in conflict with the original intent of the Storm Water Utility (SWU) when it was created; specifically, that group went to great lengths to prevent the City using the SWU as a new revenue source to balance city budgets.

The SWU was never meant to be a fully funded enterprise fund for stormwater as is now being proposed. Prior to the passing of the original SWU ordinance, stormwater was 100% funded by taxes and general obligation borrowing. The need for a SWU was triggered by an unfunded mandate from the State of Wisconsin requiring the city to remove 40% of the sediments from our stormwater system. At a time when stormwater projects were already being pushed out of the capital budget for other council priorities, finding new funding for these new water quality mandates was very difficult and the city was in trouble for non-compliance. Several attempts to create a SWU prior to this failed because citizens and Council saw these as attempts to create a new revenue stream, not fund a new mandate.

Thus, the new SWU was set up to fund a specific set of projects needed to bring the City into compliance with the WDNR mandate to clean up run-off, and also to incentivize council to address the backlog of deferred street flooding related projects. The original fee of \$53.92 was based on funding capital projects related to the new Water Quality mandates at 100% and select projects related to water quantity problems (ie-flooding) at 50%. The mandate that the city fund 50% of the water quantity (flooding) projects was intentional, as the citizen action committee did not want the City to increase capital spending by the amount of this new revenue stream; rather, they wanted to incentivize the Council to prioritize stormwater when allocating existing tax dollars by providing this match. Setting the fee required certain projections like the impact of credits on future revenue as well as inflation factors on capital projects.

The original SWU included only a small amount for administrative costs (ie- salaries), with most of those costs remaining tax funded. It included no money for the road resurfacing parts of these projects; those were to remain tax funded. The fee was also set based on accomplishing these specific projects and council priorities in a designated time frame, thus the SWU had a sunset clause to end once these projects were accomplished.

The intent of the original SWU was that it would end when the specific goals were met and that stormwater costs would remain tax funded. Over the years, this intent has been incrementally eroded with a series of administrative policy changes, hidden budget requests, and council resolutions. For example, the 50% rule started to include more and more of the project costs (like pavement too), versus just the cost of the stormwater pipes, until it was ultimately removed by resolution all together and the SWU was paying 100% of things previously funded by general obligation borrowing. Another example is as annual City operating budgets got tight, more and more salaries and operational expenses were shifted onto the SWU budget each year. Then

ultimately the sunset clause was removed by resolution without council being provided much historical context.

These changes were not called out and presented as policy changes that should be debated and decided upon by this governing body. They were either administrative level decisions made by department heads, at the direction of past mayors, or slipped through and passed off as inconsequential council actions, as in “we have to change the 50% rule because council isn’t funding enough of their 50%” or “we have to drop the sunset clause because we won’t get all the projects listed done” as if Council didn’t have a choice.

What I object to about this pending resolution is not the idea of switching to a fully funded Stormwater Enterprise Fund. (The Utility staff did an excellent job and if the council goes that direction their work is top notch to use to do so). What I object to is how this is presented to the city residents, businesses, and to the Council. When I hear “we have to do this because costs have gone up and we have not raised rates”, I am concerned that the full history and context of this decision has not been made clear.

Please keep sight of the fact that this is a policy change. This shift will have significant implications which need to be carefully and deliberately considered. You are voting to shift 100% of the burden of stormwater from taxes to an enterprise fund. You are voting to reorganize the duties of the various departments impacted (such as moving street sweeping from the street department to the Stormwater Utility). You are voting to add \$4.6 million of additional new fees to be borne by city residents and businesses when this is fully funded. You are voting to make La Crosse have the highest SWU rate in the State of Wisconsin. And you are voting to shift the full burden of this critical government service from tax payers to users, meaning non-profits, commercial properties, businesses, and large residential properties will shoulder a much higher burden with this change. You are voting to ensure we have long term funding to support critical infrastructure. You are voting to ensure safe and clean run-off.

I am not saying that any of this is good or bad, but I am saying you need to be fully informed, think this through, debate this, take citizen input, and study it. This is a policy decision you get to make and from which there are real and lasting consequences that will impact our city for years to come. This is not a rubber stamp to staff suggestions, there are real and significant consequences to your vote.

One of the reasons I resigned from the City was because I felt decisions were being made without the City Council being fully informed. This slow progression of diverting more and more SWU funds to help off-set budget short falls is an example. You need to ask more questions and you need to be informed so you can make the best decision for the city.

Sincerely,
Bernard Lenz

From: Ron Strasser <nitrousplus@hotmail.com>
Sent: Monday, June 2, 2025 8:41 AM
To: ZZ Council Members
Subject: La Crosse Stormwater Utility

Some people who received this message don't often get email from nitrousplus@hotmail.com. [Learn why this is important](#)

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I wish I could tell my employer or Social Security to over double my wages because of significant increases in expensives and project costs and then next year want another 22% increase. I think we need to have D.O.G.E.come to town and see what's going on !!!

The La Crosse Stormwater Utility has conducted a Rate Study which is proposing a rate increase effective July 1, 2025. This increase will be reflected on the quarterly billing statements beginning in October 2025 . The rate increase is needed due to significant increases in operating expenses and capital project costs over the past decade, and to ensure the financial health of the Stormwater Utility.

There are many things I would like to do and to upgrade my property but there is this thing called a budget that dictates what I can and cannot do. I must prioritize things into I have to have things, I must have, things I want, and things that would be nice to have or do, and these priorities are dictated by a budget! A taxpayer cannot adjust their budget to meet their spending like the government seems to think they can, we must adjust our spending according to our budget!

The proposed rate increase will be going to the F & P Committee meeting on June 5, 2025 and the Common Council on June 12, 2025.

The proposed fixed rate would increase from \$53.92 per year per ERU, to \$118.64 per year per ERU that = a 120.03% increase , or approximately \$9.89 per month. There is a proposal for an additional 22% increase on January 1, 2026 plus 3% for the next 3 years that comes out to an affective 184.79% increase over the next 4 years.

To put in perspective Social Security of \$2000.00 would increase to \$5695.80 at the same rate and time line of the storm water fee increase!

According to a May 2023 analysis by The Senior Citizens League (TSCL), the purchasing power of a Social Security dollar decreased by 36% between January 2000 and February 2023. A more recent TSCL analysis indicates a 20% loss in purchasing power for Social Security income between 2010 and July 2024.

Taxes and government fees should not be able to increase more than COLA, if government tells us we only need a 2.5% increase to survive, that should be all government needs and be allowed to raise taxes and or fees!!!

La Crosse Is not only driving people out of La Crosse because of ridiculously high property taxes and fees, but forcing senior citizens into poverty trying to keep their homes they have worked a lifetime to acquire. Today my property taxes alone cost more than my property tax, insurance, and payments did including interest, which at the time was over 10% in 1975 when I purchased my home!

From: Gallagher, Matthew
Sent: Monday, June 2, 2025 9:48 AM
To: ZZ Council Members
Cc: ZZ Mayor; Matty, Stephen; Erickson, Tina; Hawkins, Chadwick
Subject: Stormwater Utility letter

Hello, Council Members-

It has come to light that a former employee has written a lengthy letter regarding the proposed Stormwater Utility rates. In attempt to be proactive with you all directly, I am sending this email.

The majority of what is in the letter sent to you by Mr. Lenz is inaccurate. The Utility staff has done extensive work over the last one to two years, with an independent outside consultant and a utility expert lawyer. We have even had continual discussions over the past few years about overall fundings and obligations of all three Utilities, and how they fit into the overall budget and projects of the City of La Crosse, with Finance Director Chad Hawkins.

There will be a thorough presentation by Trilogy Consulting (Christie DeMaster) at the F&P Committee meeting regarding the history, status, and recommendation of the Stormwater Utility. There is an extensive report attached to the Legislation already.

While Mr. Lenz is entitled to his opinion, it is not factual, and I would encourage any of you with any concerns to consult with Tina Erickson, the Utilities Finance and Compliance Manager, with Christine DeMaster of Trilogy, or with our City Attorney, Stephen Matty. You can feel free to contact me at any time as well.

To not violate open meeting law, I would encourage you not to Reply All to this message. A one-on-one follow-up would be appropriate.

Thanks,
~Matt

Matthew A. Gallagher, P.E.

Director of Engineering & Public Works

City of La Crosse

400 La Crosse Street

608.789.7392 (direct)

608.790.0304 (cell)

608.789.8184 (fax)

www.cityoflacrosse.org

From: Spencer, Adam A. <Spencer.Robert@mayo.edu>
Sent: Wednesday, June 4, 2025 9:22 AM
To: ZZ Council Members
Subject: Public Comment on Resolution 25-0599

Some people who received this message don't often get email from spencer.robert@mayo.edu. [Learn why this is important](#)

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Public Comment on Resolution 25-0599 – Proposed Stormwater Utility Rate Increase
City of La Crosse Common Council | June 5, 2025

Good Morning, Council Members,

My name is Robert Spencer, and I am a resident of La Crosse. I'm here today to strongly urge you to **vote NO on Resolution 25-0599**, which proposes a 120% increase in stormwater utility rates, with additional increases through 2029. While I fully support responsible stormwater management and environmental protection, this proposal is simply **unreasonable, inequitable, and fiscally short-sighted**.

Let's be clear: this is not just a technical adjustment—it's a major financial decision that affects every household, every business, and every nonprofit in our city. Under this plan, the annual fee for a typical homeowner would increase from \$53 to nearly \$119 starting July 1st—more than doubling in a single year, with additional hikes likely to follow.

Many residents are already struggling with inflation, rising utility bills, and housing costs. A sudden, steep increase like this, without sufficient community engagement or a clear phased approach, **hits hardest those who can afford it the least**.

What's most frustrating is that this situation was avoidable. The city failed to adjust rates gradually over the last 14 years. Cash reserves were drained to fund capital projects, dropping from \$5 million to under \$300,000, without turning to more sustainable funding mechanisms, like municipal bonds, which are standard tools for infrastructure investment. This proposal is a reaction to years of **poor financial planning**, not a proactive or community-centered solution. And now residents are being asked to pay for that mismanagement in a way that's regressive and abrupt.

I ask the Council to pause this rate increase and return to the table with a plan that:

- Spreads costs more gradually,
- Seeks input from residents and small businesses,
- Considers a fairer rate structure, and
- Uses responsible financing tools to avoid overburdening ratepayers.

This is not about denying the need for stormwater improvements. It's about making sure we **fund them wisely, fairly, and transparently**.

Please do the right thing for La Crosse residents and vote **NO on Resolution 25-0599**.

Thank you.

Adam Spencer | Telecommunication Specialist | 608-392-8000 | Spencer.Robert@mayo.edu
Mayo Clinic Health System | 700 West Avenue South | La Crosse, WI 54601 | mayoclinichealthsystem.org

25-0599

If you wish to register for an agenda item, please register online no later than 4:00pm the day of the meeting. You can also register in person at least 10 minutes prior to the start of the meeting.

*** Meeting**

F&P, Thursday, June 5, 2025 at 6:00pm, City Hall

*** Agenda Item Number**

25-0599

*** Do you support or oppose the agenda item?**

Oppose

*** Do you want to speak?**

Yes, I want to speak.

*** Are you representing an organization or person other than yourself at this meeting?**

No

*** Full Name**

Ron Strasser

*** Email**

nitrousplus@hotmail.com

*** Municipality of Residence:**

City of La Crosse

*** How will you be attending the meeting?**

Attending In Person

*** Rules, Guidelines, and Decorum for Public Hearings**

I have read and reviewed the rules and guidelines above.



HOW MIGHT A STORMWATER RATE INCREASE IMPACT YOUR BILL?

A note from the Stormwater Utility to Our Customers:

The Stormwater Utility had significant cash reserves until 2022. That cash balance was depleted quickly due to an increase in the number of capital projects that were completed and the associated costs. Projects like these are needed for flood mitigation, aging asset replacements and regulatory requirements overseen by the Department of Natural Resources.

A comparison of costs between current and proposed Utilities rates on a typical City of La Crosse Utilities residential property using 20 Ccf or 14,960 gallons per quarter.

Bills will be lower or higher depending on actual consumption

ACTUAL 2024 COSTS	CHARGE TYPE	QUARTERLY CHARGE
	WATER CHARGES	\$59.80
	SANITARY SEWER CHARGES	\$78.20
	STORMWATER CHARGES	\$13.48
	TOTAL QUARTERLY BILL	\$151.48
	COST PER GALLON	\$0.010

2024 SAMPLE QUARTERLY BILL

- ◆ \$151.48 per quarter
- ◆ \$50.49 per month

To help the Stormwater Utility reduce stormwater runoff and help lower YOUR stormwater charge, consider utilizing stormwater "Best Management Practices" and apply for a credit.

2025 SAMPLE QUARTERLY BILL

- ◆ \$170.00 per quarter
- ◆ \$56.67 per month
- ◆ Sewer increase starting 1/1/25 due to a 3% cost of living increase
- ◆ Proposed \$5.40 per month Stormwater increase starting 7/1/25

PROPOSED 2025 COSTS	CHARGE TYPE	QUARTERLY CHARGE
	WATER CHARGES	\$59.80
	SANITARY SEWER CHARGES	\$80.54
	STORMWATER CHARGES	\$29.66
	TOTAL QUARTERLY BILL	\$170.00
	COST PER GALLON	\$0.011

PROPOSED 2026 COSTS	CHARGE TYPE	QUARTERLY CHARGE
	WATER CHARGES	\$59.80
	SANITARY SEWER CHARGES	\$82.96
	STORMWATER CHARGES	\$36.18
	TOTAL QUARTERLY BILL	\$178.94
	COST PER GALLON	\$0.012

2026 SAMPLE QUARTERLY BILL

- ◆ \$178.94 per quarter
- ◆ \$59.65 per month
- ◆ Sewer increase starting 1/1/26 due to a 3% cost of living increase approved by Council in 2024
- ◆ Proposed \$2.17 per month Stormwater increase starting 1/1/26

For more information on Water, Sewer, or Stormwater, please visit us at www.cityoflacrosse.org/utilities

From: Cory Lynch <cslynch911@gmail.com>
Sent: Thursday, June 12, 2025 10:33 AM
To: ZZ Council Members; ZZ City Clerk External
Subject: City Council Agenda Item 25-0599

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City Council Members,

I am writing in regards to the proposed Stormwater Utility rate increase that will be before you this evening. The proposed increase in this fee is substantial and being mid-year creates budgetary issues for those residents on fixed or limited incomes. This rate increase is being touted as a pseudo emergency as the balance in the account isn't enough to sustain the utility for the remainder of the year. However, the revenue from the utility has been outpaced by expenditures since 2022. A gradual increase in the utility fee could have been implemented 3 years ago and would have avoided this steep increase that, if passed, would take effect in 19 days.

I respectfully request that the council not adopt the fee increase as proposed and instead direct Public Works to come up with a plan that is less of a sudden financial impact on the citizens of La Crosse.

Thank you,

Cory Lynch
2608 State St



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0601

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Ordinance

Agenda Number:

ORDINANCE NO.:

AN ORDINANCE to amend Sec. 30-2 (c) and create Sec. 30-2 (d) of the Code of Ordinances of the City of La Crosse regarding storage of personalty.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Section 30-2 (c) is hereby amended and Section 30-2 (d) is hereby created to read as follows:

Sec. 30-2. Storage of personalty.

- (c) ~~Penalty. A violation of this section is a class B offense as provided in section 1-7.~~
Appeal. Any person subject to an abatement or corrective order under this section may appeal such order in accordance with Section 103-36. The appeal must be filed within ten days from the time the abatement or corrective order was issued.
- (d) Penalty. A violation of this section is a class B offense as provided in section 1-7.

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0600

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Ordinance

Agenda Number:

ORDINANCE NO.:

AN ORDINANCE to create Sec. 103-36 (g) and (h) of the Code of Ordinances of the City of La Crosse regarding the Board of Building and Housing Appeals.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Sections 103-36 (g) and (h) are hereby created to read as follows:

Sec. 103-36. Board of Building and Housing Appeals; variances and appeals.

- (g) *Additional Applicability.* The provisions of this section shall also apply to appeals of abatement or corrective orders issued pursuant to Section 30-2.
- (h) *Final Decision.* The decision of the Building and Housing Appeals Board shall constitute a final decision. The City elects not to be bound by Wis. Stat. Ch. 68. Pursuant to Wis. Stat. § 68.16, the City elects the procedure set forth in this section as the exclusive review procedure.

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:



CITY OF LA CROSSE

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LEGISLATION STAFF REPORT FOR COUNCIL

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Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0571

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution creating and appropriating funds for Capital Improvement design for the Green Bay Street, from 9th Street to 14th Street STP-Urban project.

RESOLUTION

WHEREAS, the City of La Crosse (City) and State of Wisconsin Department of Transportation (WisDOT) enter into State/Municipal Financial Agreements (SFMA) for the scoping, design, and construction of Non-Connecting Highways within the limits of the City of La Crosse; and

WHEREAS, Section 2-360(c) of the Code of Ordinances states Unanticipated projects/equipment. Any Capital Project and Capital Equipment item not previously listed in the adopted Capital Budget requiring immediate funding from the Capital Budget will require a two-thirds vote of the Common Council members present at the meeting, and

WHEREAS, the City has applied for, and been awarded, one Surface Transportation Program – Urban (STP-U) grant, with an 80/20 split for funding, for one project along Green Bay Street, from 9th Street to 14th Street, with design in 2025-2026 and construction in 2028 (CIP 2028 #601), and

WHEREAS, the Common Council has approved an SMFA with WisDOT for Green Bay, from 9th to 14th, with Res. 24-1124; and

WHEREAS, staff from the City and WisDOT have been in coordination of the scoping and the development of plans, specifications, and estimates of said project, and

WHEREAS, creation of such projects requires funding, as approved by the Common Council, with unused funds from completed projects that were previously approved by past CIP Budgets; and

WHEREAS, it is the best interest of public health, safety, and welfare that such projects and funding be approved for expeditious implementation.

NOW, THEREFORE, BE IT RESOLVED, by the Common Council of the City of La Crosse that it hereby authorizes creation of the public works project(s) as noted above, as necessary.

BE IT FURTHER RESOLVED that said projects are approved with funding source and amount as provided herein:

Unappropriated Street Funds (4910210 588000)	\$260,000
--	-----------

BE IT FURTHER RESOLVED that City staff are hereby authorized to take required steps to effectuate and implement this resolution.

BE IT FURTHER RESOLVED that the construction be referred to future Capital Improvement Program budgets for funding of construction.



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0572

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution appropriating additional, unused funding for the 2025 phases of the Citywide Traffic Implementation: Interconnect & Synchronization program (CIP #268).

RESOLUTION

WHEREAS, City of La Crosse CIP Projects Budgets approve Public Works projects, including CIP #268, a program to continue building out infrastructure for traffic signals and fiber optic networking; and

WHEREAS, construction in 2024 of the annual improvements for traffic signal and fiber optic interconnect had unexpected roadway and utility patching, and additional funds were required to be used from the 2025 cycle of funding; and

WHEREAS, the proposed work for 2025 has been committed through State/Municipal Financial Agreements (SMFAs), including Res. 25-0225 (SMFA 3700-11-60 Signal & ITS Standalone Program (SISP)), Res. 24-1125 (SMFA 3700-10-64 SISP), and Res. 23-1414 (SMFA 3700-10-60 SISP); and

WHEREAS, additional funding is required to deliver the work in 2025 with funds committed to authorize contracts and payments to the Wisconsin Department of Transportation; and

WHEREAS, Section 2-360(c) of the Code of Ordinances states *Unanticipated projects/equipment*. Any Capital Project and Capital Equipment item not previously listed in the adopted Capital Budget requiring immediate funding from the Capital Budget will require a two-thirds vote of the Common Council members present at the meeting.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of La Crosse that it hereby authorizes the reallocation of additional funding as detailed herein.

BE IT FURTHER RESOLVED that Common Council hereby authorizes allocation of additional funding *from*:

Unappropriated Street Funds	\$90,000
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And allocating those funds *to*:

CIP #268 (Citywide Traffic Implementation)	\$90,000
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BE IT FURTHER RESOLVED that City departments and staff are hereby authorized to take required steps to effectuate and implement this resolution.



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0639

Agenda Date: 6/5/2025

Version: 1

Status: New Business

In Control: Finance & Personnel Committee

File Type: Status Update

Agenda Number:



OFFICE OF THE MAYOR
LA CROSSE

25-0639

May , 2025

I hereby approve the submitting of the attached Legislation "Status review and possible action on Pettibone Park Resort, Inc. Lease" to be considered at the Finance and Personnel Committee meeting. This approval is given due to the time element necessitating consideration of the attached Legislation at the earliest possible date.

Mayor Shaundel



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0453

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Ordinance

Agenda Number:

ORDINANCE NO.: _____

AN ORDINANCE to repeal and recreate Chapter 115, Article V, Division 2 Floodplain Zoning, Sections 115-207 through 115-312 of the Code of Ordinances of the City of La Crosse.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Chapter 115, Article V, Division 2 is hereby repealed and recreated as follows:

DIVISION 2. – FLOODPLAIN ZONING.

Subdivision I. In General

Sec. 115-207. Title.

This division shall be known as the Floodplain Zoning Ordinance for the City of La Crosse, Wisconsin.

Sec. 115-208. Definitions.

Unless specifically defined, words and phrases in this division shall have their common law meaning and shall be applied in accordance with their common usage. Words used in the present tense include the future, the singular number includes the plural and the plural number includes the singular. The term "may" is permissive; "shall" is mandatory and is not discretionary.

A-Zones means those areas shown on the Official Floodplain Zoning Map which would be inundated by the regional flood. These areas may be numbered or unnumbered A-Zones. The A-Zones may or may not be reflective flood profiles, depending on the availability of data for a given area.

AH Zone. See "Area of Shallow Flooding".

AO Zone. See "Area of Shallow Flooding".

Accessory structure or use means a facility, structure, building or use which is accessory or incidental to the principal use of the property, structure or building. An accessory structure shall not be used for human habitation.

Alteration means an enhancement, upgrading or substantial change or modifications other than an addition or repair to a dwelling or to electrical, plumbing, heating, ventilating, air conditioning and other systems within a structure.

Area of shallow flooding means a designated AO, AH, AR/AO, AR/AH, or VO zone on a community's Flood Insurance Rate Map (FIRM) with a one percent or greater annual chance of flooding to an average depth of one to three feet where a clearly defined channel does not exist, where the path of flooding is unpredictable, and where velocity flood may be evident. Such flooding is characterized by ponding or sheet flow.

Base flood means the flood having a one percent chance of being equaled or exceeded in any given year, as published by FEMA as a part of FIS and depicted on a FIRM.

Base flood elevation means an elevation equal to that which reflects the height of the base flood as defined in this section.

Basement means any enclosed area of a building having its floor sub-grade, i.e., below ground level, on all sides.

Building. See *Structure*.

Bulkhead line means a geographic line along a reach of navigable water that has been adopted by a municipal ordinance and approved by the DNR pursuant to Wis. Stat. § 30.11 and which allows limited filling between this bulkhead line and the original ordinary high-water mark, except where such filling is prohibited by the floodway provisions of this division.

Campground means any parcel of land which is designed, maintained, intended or used for the purpose of providing sites for nonpermanent overnight use by four or more camping units, or which is advertised or represented as a camping area.

Camping unit means any portable device, no more than 400 square feet in area, used as a temporary shelter, including but not limited to a camping trailer, motor home, bus, van, pick-up truck, or tent that is fully licensed, if required, and ready for highway use.

Certificate of compliance means a certification that the construction and the use of land or a building, the elevation of fill or the lowest floor of a structure is in compliance with all of the provisions of this division.

Channel means a natural or artificial watercourse with definite bed and banks to confine and conduct normal flow of water.

City means the City of La Crosse, a municipal body authorized to enact, administer and enforce this chapter. See also *Municipality*.

Crawlways or *crawl space* means an enclosed area below the first usable floor of a building, generally less than five feet in height, used for access to plumbing and electrical utilities.

Deck means an unenclosed exterior structure that has no roof or sides, but has a permeable floor which allows the infiltration of precipitation.

Development means any artificial change to improved or unimproved real estate, including, but not limited to, the construction of buildings, structures or accessory structures; the construction of additions or alterations to buildings, structures or accessory structures; the repair of any damaged structure or the improvement or renovation of any structure, regardless of the percentage of damage or improvement; the placement of buildings or structures; subdivision layout and site preparation; mining, dredging, filling, grading, paving, excavation or drilling operations; the storage, deposition or extraction of materials or equipment; and the installation, repair or removal of public or private sewage disposal systems or water supply facilities.

DNR means the Wisconsin Department of Natural Resources.

Dryland access means a vehicular access route which is above the regional flood elevation and which connects land located in the floodplain to land outside the floodplain, such as a road with its surface above regional flood elevation and wide enough for wheeled rescue and relief vehicles.

Encroachment means any fill, structure, equipment, building, use or development in the floodway.

Federal Emergency Management Agency (FEMA) means the Federal agency that administers the National Flood Insurance Program.

Flood or flooding means a general and temporary condition of partial or complete inundation of normally dry land areas caused by one of the following conditions:

- (a) The overflow or rise of inland waters;
- (b) The rapid accumulation or runoff of surface waters from any source;
- (c) The inundation caused by waves or currents of water exceeding anticipated cyclical levels along the shore of the Mississippi River; or
- (d) The sudden increase caused by an unusually high-water level in a natural body of water, accompanied by a severe storm, or by an unanticipated force of nature, such as a seiche, or by some similarly unusual event.

Flood frequency means the probability of a flood occurrence which is determined from statistical analyses. The frequency of a particular flood event is usually expressed as occurring, on the average, once in a specified number of years or as a percent chance of occurring in any given year.

Flood Hazard Boundary Map means a map designating approximate flood hazard areas. Flood hazard areas are designated as unnumbered A-Zones and do not contain floodway lines or regional flood elevations. This map forms the basis for both the regulatory and insurance aspects of the National Flood Insurance Program (NFIP) until superseded by a Flood Insurance Study and a Flood Insurance Rate Map.

Flood Insurance Rate Map (FIRM) means a map of a community on which the Federal Insurance Administration has delineated both the floodplain and the risk premium zones applicable to the community. This map can only be amended by the Federal Emergency Management Agency.

Flood Insurance Study means a technical engineering examination, evaluation, and determination of the local flood hazard areas. It provides maps designating those areas affected by the regional flood and provides both flood insurance rate zones and base flood elevations and may provide floodway lines. The flood hazard areas are designated as numbered and unnumbered A-Zones. Flood Insurance Rate Maps, that accompany the Flood Insurance Study, form the basis for both the regulatory and the insurance aspects of the National Flood Insurance Program.

Flood profile means a graph or a longitudinal profile line showing the relationship of the water surface elevation of a flood event to locations of land surface elevations along a stream or river.

Flood protection elevation means an elevation two feet of freeboard above the the Regional Floodplain Elevation. See also *Freeboard*.

Flood storage means those floodplain areas where storage of floodwaters has been taken into account during analysis in reducing the regional flood discharge.

Floodfringe means that portion of the floodplain outside of the floodway which is covered by floodwaters during the regional flood and associated with standing water rather than flowing water.

Floodplain means land which has been or may be covered by floodwater during the regional flood. It includes the floodway and the floodfringe and may include other designated floodplain areas for regulatory purposes.

Floodplain island means a natural geologic land formation within the floodplain that is surrounded, but not covered, by floodwater during the regional flood.

Floodplain management means policy and procedures to ensure wise use of floodplains, including mapping and engineering, mitigation, education, and administration and enforcement of floodplain regulations.

Floodproofing means any combination of structural provisions, changes or adjustments to properties and structures, water and sanitary facilities and contents of buildings subject to flooding, for the purpose of reducing or eliminating flood damage.

Floodway means the channel of a river or stream and those portions of the floodplain adjoining the channel required to carry the regional flood discharge.

Freeboard means a safety factor expressed in terms of a specified number of feet above a calculated flood level. Freeboard compensates for any factors that cause flood heights greater than those calculated, including ice jams, debris accumulation, wave action, obstruction of bridge openings and floodways, the effects of watershed urbanization, loss of flood storage areas due to development and aggregation of the river or stream bed.

Habitable structure means any structure or portion thereof used or designated for human habitation.

Hearing notice means publication or posting meeting the requirements of Wis. Stat. ch. 985. For appeals, a Class 1 notice, published at least one week (seven days) before the hearing, is required. For all zoning ordinances and amendments, a Class 2 notice, published twice, one each week consecutively, the last at least a week (seven days) before the hearing.

High flood damage potential means damage that could result from flooding that includes any danger to life or health or any significant economic loss to a structure or building and its contents.

Highest adjacent grade means the highest natural elevation of the ground surface prior to construction next to the proposed walls of a structure.

Historic structure means any structure that is either:

- (a) Listed individually in the National Register of Historic Places or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;
- (b) Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered Historic District or a district preliminarily determined by the Secretary to qualify as a registered Historic District;
- (c) Individually listed on a State inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or
- (d) Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either by an approved State program, as determined by the Secretary of the Interior, or by the Secretary of the Interior in states without approved programs.

Increase in regional flood height means a calculated upward rise in the regional flood elevation, greater than 0.00 feet, based on a comparison of existing conditions and proposed conditions which are directly attributable to development in the floodplain but not attributable to manipulation of mathematical variables such as roughness factors, expansion and contraction coefficients and discharge.

Land use means any nonstructural use made of unimproved or improved real estate. (See also: *Development*.)

Lowest adjacent grade means the elevation of the lowest ground surface that touches any of the exterior walls of a building.

Lowest floor means the lowest floor of the lowest enclosed area (including basement).

Maintenance means the act or process of restoring to original soundness, including redecorating, refinishing, non-structural repairs, or the replacement of existing fixtures, systems or equipment with equivalent fixtures, systems or structures.

Manufactured home means a structure transportable in one or more sections, which is built on a permanent chassis and is designed to be used with or without a permanent foundation when connected to required utilities. The term "manufactured home" includes a mobile home but does not include a "mobile recreational vehicle."

Mobile/manufactured home park or subdivision means a parcel (or contiguous parcels) of land, divided into two or more manufactured home lots for rent or sale.

Mobile/manufactured home park or subdivision, existing means a parcel of land, divided into two or more manufactured home lots for rent or sale, on which the construction of facilities for servicing the lots is completed before the effective date of the ordinance from which this section is derived. At a minimum, this would include the installation of utilities, the construction of streets and either final site grading or the pouring of concrete pads.

Mobile/manufactured home park, expansion to existing means the preparation of additional sites by the construction of facilities for servicing the lots on which the manufactured homes are to be affixed. This includes installation of utilities, construction of streets and either final site grading, or the pouring of concrete pads.

Mobile recreational vehicle means a vehicle which is built on a single chassis, 400 square feet or less when measured at the largest horizontal projection, designed to be self-propelled, carried or permanently towable by a licensed, light-duty vehicle, is licensed for highway use if registration is required and is designed primarily not for use as a permanent dwelling, but as temporary living quarters for recreational, camping, travel or seasonal use. Manufactured homes that are towed or carried onto a parcel of land, but do not remain capable of being towed or carried, including park model homes, do not fall within the definition of "mobile recreational vehicles."

Model, corrected effective means a hydraulic engineering model that corrects any errors that occur in the Duplicate Effective Model, adds any additional cross sections to the Duplicate Effective Model, or incorporates more detailed topographic information than that used in the current effective model.

Model, duplicate effective means a copy of the hydraulic analysis used in the effective FIS and referred to as the effective model.

Model, effective means the hydraulic engineering model that was used to produce the current effective Flood Insurance Study.

Model, existing (pre-project) means a modification of the Duplicate Effective Model or Corrected Effective Model to reflect any manmade modifications that have occurred within the floodplain since the date of the effective model but prior to the construction of the project for which the revision is being requested. If no modification has occurred since the date of the effective model, then this model would be identical to the Corrected Effective Model or Duplicate Effective Model.

Model, revised (post-project) means a modification of the Existing or Pre-Project Conditions Model, Duplicate Effective Model or Corrected Effective Model to reflect revised or post-project conditions.

Municipality or *municipal* means the City governmental units enacting, administering and enforcing this division.

NAVD or *North American Vertical Datum* means elevations referenced to mean sea level datum, 1988 adjustment.

NGVD or *National Geodetic Vertical Datum* means elevations referenced to mean sea level datum, 1929 adjustment.

New construction means structures for which the start of construction commenced on or after the effective date of a floodplain zoning regulation adopted by the City and includes any subsequent improvements to such structures.

Nonconforming structure means an existing lawful structure or building which is not in conformity with the dimensional or structural requirements of this division for the area of the floodplain which it occupies. (For example, an existing residential structure in the floodfringe district is a conforming use; however, if the lowest floor is lower than the flood protection elevation, the structure is nonconforming.)

Nonconforming use means an existing lawful use or accessory use of a structure or building which is not in conformity with the provisions of this division for the area of the floodplain which it occupies (such as a residence in the floodway).

Non-flood disaster means a fire, ice storm, tornado, wind storm, mudslide, or other destructive act of nature, excluding a flood.

Obstruction to flow means any development which blocks the conveyance of floodwaters such that this development alone or together with any future development will cause an increase in regional flood height.

Official Floodplain Zoning Map means that map, adopted and made part of this division, as described in section 115-253, which has been approved by the DNR and FEMA.

Open space use means those uses having a relatively low flood damage potential and not involving structures.

Ordinary high-water mark means the point on the bank or shore up to which the presence and action of surface water is so continuous as to leave a distinctive mark such as by erosion, destruction or prevention of terrestrial vegetation, predominance of aquatic vegetation, or other easily recognized characteristic.

Person means an individual, or group of individuals, corporation, partnership, association, municipality or State agency.

Private sewage system means a sewage treatment and disposal system serving one structure with a septic tank and soil absorption field located on the same parcel as the structure. It also means an alternative sewage system approved by the Department of Safety and Professional Services, including a substitute for the septic tank or soil absorption field, a holding tank, a system serving more than one structure or a system located on a different parcel than the structure.

Public utilities means those utilities using underground or overhead transmission lines such as electric, telephone and telegraph, and distribution and collection systems such as water, sanitary sewer and storm sewer.

Reasonably safe from flooding means base flood waters will not inundate the land or damage structures to be removed from the floodplain that any subsurface waters related to the base flood will not damage existing or proposed buildings.

Regional flood means a flood determined to be representative of large floods known to have occurred in Wisconsin. A regional flood is a flood with a one percent chance of being equaled or exceeded in any given year, and if depicted on the FIRM, the Regional Flood Elevation (RFE) is equivalent to the BFE.

Start of construction means the date the building permit was issued, provided the actual start of construction, repair, reconstruction, rehabilitation, addition, placement, or other improvement was within 180 days of the permit date. The actual start means either the first placement of permanent construction on a site, such as the pouring of slab or footings, the installation of piles, the construction of columns, or any work beyond initial excavation, or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading and filling, nor does it include the installation of streets and/or walkways, nor does it include excavation for a basement, footings, piers or foundations or the erection of temporary forms, nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For an alteration, the actual start of construction means the first alteration of any wall, ceiling, floor or other structural part of a building, whether or not that alteration affects the external dimensions of the building.

Structure means any manmade object with form, shape and utility, either permanently or temporarily attached to, placed upon or set into the ground, stream bed or lake bed, including, but not limited to, roofed and walled buildings, gas or liquid storage tanks, bridges, dams and culverts.

Subdivision means has the meaning given in Wis. Stat. § 236.02(12).

Substantial damage means damage of any origin sustained by a structure, whereby the cost of restoring the structure to its pre-damaged condition would equal or exceed 50 percent of the equalized assessed value of the structure before the damage occurred.

Substantial improvement means any repair, reconstruction, rehabilitation, addition or improvement of a building or structure, the cost of which equals or exceeds 50 percent of the equalized assessed value of the structure before the improvement or repair is started. If the structure has sustained substantial damage, any repairs are considered substantial improvement regardless of the work performed. The term does not, however, include either any project for the improvement of a building required to correct existing health, sanitary or safety code violations identified by the building official and that are the minimum necessary to assure safe living conditions; or any alteration of a historic structure provided that the alteration will not preclude the structure's continued designation as a historic structure.

Unnecessary hardship means where special conditions affecting a particular property, which were not self-created, have made strict conformity with restrictions governing areas, setbacks, frontage, height or density unnecessarily burdensome or unreasonable in light of the purposes of this division.

Utilities means any public or private water supply or waste collection and/or disposal system, including but not limited to: septic systems, private and public wells, and their attendant facilities, and public sewage collection systems.

Variance means an authorization by the Board of Appeals for the construction or maintenance of a building or structure in a manner which is inconsistent with dimensional standards (not uses) contained in this division.

Violation means the failure of a structure or other development to be fully compliant with the floodplain zoning ordinance. A structure or other development without required permits, lowest floor elevation documentation, floodproofing certificates or required floodway encroachment calculations is presumed to be in violation until such time as that documentation is provided.

Water surface profile means a graphical representation showing the elevation of the water surface of a watercourse for each position along a reach of river or stream at a certain flood flow. A water surface profile of the regional flood is used in regulating floodplain areas.

Watershed means the entire region contributing runoff or surface water to a watercourse or body of water.

Well means an excavation opening in the ground made by digging, boring, drilling, driving or other methods, to obtain groundwater regardless of its intended use.

Sec. 115-209. Statutory authorization.

This division is adopted pursuant to the authorization in Wis. Stats. §§ 61.35 and 62.23.

Sec. 115-210. Findings of fact.

Uncontrolled development and use of the floodplains and rivers of the City would impair the public health, safety, convenience, general welfare and tax base.

Sec. 115-211. Statement of purpose.

This division is intended to regulate floodplain development to:

- (a) Protect life, health and property;
- (b) Minimize expenditures of public funds for flood control projects;
- (c) Minimize rescue and relief efforts undertaken at the expense of the taxpayers;
- (d) Minimize business interruptions and other economic disruptions;
- (e) Minimize damage to public facilities in the floodplain;
- (f) Minimize the occurrence of future flood blight areas in the floodplain;
- (g) Discourage the victimization of unwary land and homebuyers;
- (h) Prevent increases in flood heights that could increase flood damage and result in conflicts between property owners; and
- (i) Discourage development in a floodplain if there is any practicable alternative to locate the activity, use or structure outside of the floodplain.

Sec. 115-212. Enforcement and penalties.

Any violation of the provisions of this division by any person shall be unlawful and shall be referred to the City Attorney who shall expeditiously prosecute all such violators. A violator shall, upon conviction, forfeit to the City a penalty of not less than \$20.00 nor more than \$50.00,

together with a taxable cost of such action. Each day of continued violation shall constitute a separate offense. Every violation of this chapter is a public nuisance and the creation may be enjoined and the maintenance may be abated by action at suit of the City, the State, or any citizen thereof pursuant to Wis. Stat. § 87.30.

Sec. 115-213. Areas to be regulated.

This division regulates all areas of special flood hazard identified as zones A, AO, AH, A1-30, AE, on the Flood Insurance Rate Map. Additional areas identified on maps approved by the DNR and the City may also be regulated under the provisions of this division, where applicable.

Sec. 115-214. Compliance.

- (a) No structure or use within areas regulated by this division shall hereafter be located, erected, constructed, reconstructed, repaired, extended, converted, enlarged, or altered without full compliance with the terms of these regulations and all other applicable regulations that apply to uses within the jurisdiction of these regulations.
- (b) Failure to obtain a floodplain development permit shall be a violation of these regulations and shall be punishable in accordance with section 115-212.
- (c) Floodplain development permits issued on the basis of plans and applications approved by the Fire Department - Division of Fire Prevention and Building Safety authorize only the use, and arrangement, set forth in such approved plans and applications, or amendments thereto if approved by the Fire Department - Division of Fire Prevention and Building Safety. Use, arrangement, or construction contrary to that authorized shall be deemed a violation of these regulations and punishable in accordance with section 115-212.

Sec. 115- 215. Municipalities and state agencies regulated.

Unless specifically exempted by law, all cities, villages, towns, and counties are required to comply with this division and obtain all necessary permits. State agencies are required to comply if Wis. Stat. § 13.48(13) applies. The construction, reconstruction, maintenance and repair of State highways and bridges by the Wisconsin Department of Transportation is exempt when Wis. Stat. § 30.2022 applies. Although exempt from a local zoning permit and permit fees, DOT must provide sufficient project documentation and analysis to ensure that the community is in compliance with Federal, State, and local floodplain standards. If a local transportation project is located within a Zone A floodplain and is not a WisDOT project under Wis. Stat. § 30.2022, then the road project design documents (including appropriate detailed plans and profiles) may be sufficient to meet the requirements for issuance of a local floodplain permit if the following apply: The applicant provides documentation to the Floodplain Administrator that the proposed project is a culvert replacement or bridge replacement under 20' span at the same location, the project is exempt from a DNR permit under Wis. Stat. § 30.123(6)(d), the capacity is not decreased, the top road grade is not raised, and no floodway data is available from a federal, state, or other source. If floodway data is available in the impacted area from a federal, state, or other source that existing data must be utilized by the applicant in the analysis of the project site

Sec. 115- 216. Abrogation and greater restrictions.

- (a) This division supersedes all the provisions of any municipal zoning ordinance enacted under Wis. Stat. § 62.23 or 87.30, which relate to floodplains. A more

restrictive ordinance shall continue in full force and effect to the extent of the greater restrictions, but not otherwise.

- (b) This division is not intended to repeal, abrogate or impair any existing deed restrictions, covenants or easements. If this division imposes greater restrictions, the provisions of this division shall prevail.

Sec. 115- 217. Interpretation.

In their interpretation and application, the provisions of this division are the minimum requirements liberally construed in favor of the governing body and are not a limitation on or repeal of any other powers granted by the Wisconsin Statutes. If a provision of this division required by Wis. Admin. Code ch. NR 116 is unclear, the provision shall be interpreted in light of the standards in effect on the date of the adoption of the ordinance from which this division is derived or in effect on the date of the most recent text amendment of this division.

Sec. 115- 218. Warning and disclaimer of liability.

The flood protection standards in this division are based on engineering experience and research. Larger floods may occur or the flood height may be increased by manmade or natural causes. This division does not imply or guarantee that non-floodplain areas or permitted floodplain uses will be free from flooding and flood damages. Nor does this division create liability on the part of, or a cause of action against, the City or any officer or employee thereof for any flood damage that may result from reliance on this chapter.

Sec. 115- 219. Severability.

Should any portion of this division be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

Sec. 115- 220. Annexed areas for cities and villages.

The La Crosse County floodplain zoning provisions in effect on the date of annexation shall remain in effect and shall be enforced by the City for all annexed areas until the City adopts and enforces an ordinance which meets the requirements of Wis. Admin. Code ch. NR 116 and 44 CFR 59-72, the National Flood Insurance Program (NFIP). These annexed lands are described on the City's official zoning map. County floodplain zoning provisions are incorporated by reference for the purpose of administering this section and are on file in the office of the Fire Department - Division of Fire Prevention and Building Safety. All plats or maps of annexation shall show the regional flood elevation and the floodway location. Definite district boundaries and regulations for such annexed territory shall be adopted by the Common Council within 90 days from the date of annexation to the City. No building permits shall be issued during the period of time when temporary zoning is provided with the annexation in accordance with Wis. Stat. § 66.0217(8), unless such temporary zoning is the same as that provided at the time of filing the petition.

Secs. 115-221—115-252. Reserved.

Subdivision II. Floodplain Districts and Map

Sec. 115-253. Official maps and revisions.

- (a) *Areas to be regulated.* This division regulates all areas of special flood hazard identified as zones A, AO, AH, A1-30, or AE on the Flood Insurance Rate Map. Additional areas identified on maps approved by the DNR and local community may also be regulated under the provisions of this division, where applicable.
- (b) *Official Maps and Revisions.* Special Flood Hazard Areas (SFHA) are designated as zones A, A1-30, AE, AH, or AO on the Flood Insurance Rate Maps (FIRMs) based on flood hazard analyses summarized in the Flood Insurance Study (FIS) listed in subd. (a) below. Additional flood hazard areas subject to regulation under this division are identified on maps based on studies approved by the DNR and listed in subd. (b) below. These maps and revisions are on file in the office of the Fire Department - Division of Fire Prevention and Building Safety, City Engineer's Office, at the La Crosse Public Library, at <http://www.cityoflacrosse.org> and at <http://www.fema.gov>. If more than one map or revision is referenced, the most restrictive information shall apply.

(1) *Official Maps.* Based on the Flood Insurance Study (FIS):

- a. Flood Insurance Rate Map (FIRM) panel numbers 55063C0253D, 55063C0254D, 55063C0256D, 55063C0258D, 55063C0261D, 55063C0262D, 55063C0263D, 55063C264D, 55063C0268D, 55063C0352D, and 55063C0356D dated January 6, 2012.
- b. Flood Insurance Study (FIS) for the City of La Crosse, La Crosse County, 55063CV001B and 55063CV002B, dated January 6, 2012.
- c. Letter of Map Revision:
 - 1. Case Number 21-05-4567X-555562, effective 03/02/2022.

Approved by: The DNR and FEMA

(2) *Official Maps.* Based on other studies. Any maps referenced in this section must be approved by the DNR and be more restrictive than those based on the FIS at the site of the proposed development.

- a. "Ebner Coulee Flood Storage Districts" Map, panel number 55063C0262D, dated October 22, 2020, approved by the DNR.
- b. Flood Storage Maps "Ebner Coulee 1 of 2" and "Ebner Coulee 2 of 2," dated February 2001, approved by the DNR.

Sec. 115-254. Establishment of floodplain zoning districts.

- (a) The flood hazard areas regulated by this division are divided into districts as follows:
 - (1) The Floodway District (FW) is the channel of a river or stream and those portions of the floodplain adjoining the channel required to carry the regional floodwaters, within AE Zones as shown on the FIRM, or within A Zones shown on the FIRM when determined according to Section 115-282(d).

-
- (2) The Floodfringe District (FF) is that portion of a riverine special flood hazard area outside the floodway within AE Zones on the FIRM, or, when floodway limits have been determined according to Section 115-282(d), within A Zones shown on the FIRM.
 - (3) The General Floodplain District (GFP) is those riverine areas that may be covered by floodwater during the regional flood in which a floodway boundary has not been delineated on the FIRM and also includes shallow flooding areas identified as AH and AO zones on the FIRM.
 - (4) The Flood Storage District (FSD) is that area of the floodplain where storage of floodwaters is calculated to reduce the regional flood discharge.
 - (5) The Shallow Depth Flood Plain Overlay District (SDFP) shall mean those areas where the maximum depth of flooding does not exceed one foot in depth nor six hours in duration during the regional flood.
 - (6) The Pammel Creek Flood Fringe Zoning Overlay District (PCFP) consists of an area adjacent to the Pammel Creek Flood Control Project.

Sec. 115-255. Locating floodplain boundaries.

- (a) Discrepancies between the exterior boundaries of zones A1-30, AE, AH, or A on the official floodplain zoning map and actual field conditions may be resolved using the criteria in subsections (1) or (2) of this section. If a significant difference exists, the map shall be amended according to section 115-285. The Fire Department - Division of Fire Prevention and Building Safety may rely on a boundary derived from a profile elevation to grant or deny a land use permit, whether or not a map amendment is required. The Fire Department - Division of Fire Prevention and Building Safety shall be responsible for documenting actual pre-development field conditions and the basis upon which the district boundary was determined. Disputes between the Fire Department - Division of Fire Prevention and Building Safety and an applicant over the district boundary line shall be settled according to section 115-284(c)(4) and the criteria in (1) and (2) below. Where flood profiles are based on established base flood elevations from a FIRM, FEMA must approve any map amendment or revision pursuant to section 115-285.
 - (1) If flood profiles exist, the map scale and the profile elevations shall determine the district boundary. The regional or base flood elevations shall govern if there are any discrepancies.
 - (2) Where flood profiles do not exist for projects, including any boundary of zone A or AO, the location of the boundary shall be determined by the map scale.

Sec. 115-256. Removal of lands from floodplain.

- (a) Compliance with the provisions of this division shall not be grounds for removing land from the floodplain unless it is filled at least two feet above the regional or base flood elevation, the fill is contiguous to land outside the floodplain, and the map is amended pursuant to section 115-285.
- (b) The delineation of any of the Floodplain Districts may be revised by the community where natural or man-made changes have occurred and/or where more detailed

studies have been conducted. However, prior to any such change, approval must be obtained from the DNR and FEMA. A completed Letter of Map Revision is a record of this approval. The floodplain administrator shall not sign a community acknowledgement form unless all the following criteria are met:

- (1) The land and/or land around the structure must be filled at least two feet above the regional or base flood elevation;
 - (2) The fill must be contiguous to land outside the floodplain;
 - (3) Applicant shall obtain floodplain development permit before applying for a LOMR or LOMR-F.
- (c) Removal of lands from the floodplain may also occur by operation of Wis. Stat. § 87.30(1)(e) if a property owner has obtained a letter of map amendment from FEMA under 44 CFR 70.

Secs. 115-257—115- 274. Reserved.

Subdivision III. Floodplain District Regulations

Sec. 115-275. General standards applicable to all floodplain districts.

- (a) The community shall review all permit applications to determine whether proposed building sites will be reasonably safe from flooding and assure that all necessary permits have been received from those governmental agencies whose approval is required by federal or state law.
 - (1) If a proposed building site is in a flood-prone area, all new construction and substantial improvements shall:
 - a. be designed and anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy;
 - b. be constructed with flood resistant materials;
 - c. be constructed to minimize flood damages; and
 - d. mechanical and utility equipment must be elevated to or above the flood protection elevation.
 - (2) If a subdivision or other proposed new development is in a flood-prone area, the community shall assure that:
 - a. such proposed subdivision or other proposed new development is consistent with the need to minimize flood damage within the flood-prone area;
 - b. public utilities and facilities such as sewer, gas, electrical, and water systems are located and constructed to minimize or eliminate flood damage; and
 - c. adequate drainage is provided to reduce exposure to flood hazards.

All subdivision proposals (including manufactured home parks) shall include regional flood elevation and floodway data for any development that meets the subdivision definition of this division and all other requirements in section 115-284(a).

Sec. 115-276. Hydraulic and hydrologic analyses.

- (a) No floodplain development shall:
 - (1) Obstruct flow, defined as development which blocks the conveyance of floodwaters by itself or with other development, causing any increase in the regional flood height; or
 - (2) Cause any increase in the regional flood height due to floodplain storage area lost.
- (b) The Fire Department - Division of Fire Prevention and Building Safety shall deny permits if it is determined that the proposed development will obstruct flow or cause any increase in the regional flood heights, based on the officially adopted FIRM, or other adopted map, unless the provisions of section 115-285 are met.

Sec. 115-277. Watercourse alterations.

No land use permit to alter or relocate a watercourse in a mapped floodplain shall be issued until the local official has notified in writing all adjacent municipalities, the DNR and FEMA regional offices, and required the applicant to secure all necessary State and Federal permits. The standards of section 115-276 must be met and the flood carrying capacity of any altered or relocated watercourse shall be maintained.

As soon as is practicable, but not later than six months after the date of the watercourse alteration or relocation, and pursuant to section 115-285, the community shall apply for a Letter of Map Revision (LOMR) from FEMA. Any such alterations must be reviewed and approved by FEMA and the DNR through the LOMC process.

Sec. 115-278. Wis. Stat. chs. 30 and 31 development.

Development which requires a permit from the DNR, under Wis. Stat. chs. 30 and 31, such as docks, piers, wharves, bridges, culverts, dams and navigational aids, may be allowed if the necessary permits are obtained and amendments to the floodplain zoning ordinance are made according to section 115- 285.

Sec. 115-279. Public or private campgrounds.

- (a) Public or private campgrounds shall have a low flood damage potential and shall meet the following provisions:
 - (1) The campground is approved by the Department of Health Services;
 - (2) A land use permit for the campground is issued by the Fire Department - Division of Fire Prevention and Building Safety;
 - (3) The character of the river system and the campground elevation are such that a 72-hour warning of an impending flood can be given to all campground occupants;
 - (4) There is an adequate flood warning procedure for the campground that offers the minimum notice required under this section to all persons in the

campground. This procedure shall include a written agreement between the campground owner, the Fire Department - Division of Fire Prevention and Building Safety, the City emergency government coordinator and the chief law enforcement official which specifies the flood elevation at which evacuation shall occur, personnel responsible for monitoring flood elevations, types of warning systems to be used, the procedures for notifying at-risk parties, and the methods and personnel responsible for conducting the evacuation;

- (5) This agreement shall be for no more than one calendar year, at which time the agreement shall be reviewed and updated by the officials identified in subsection (4) of this section to remain in compliance with all applicable regulations, including those of the State Department of Health Services and all other applicable regulations;
- (6) All mobile recreational vehicles placed on site must meet one of the following:
 - a. Be fully licensed, if required, and ready for highway use; or
 - b. Not occupy any site in the campground for more than 180 consecutive days, at which time the recreational vehicle must be removed from the floodplain for a minimum of 24 hours; or
 - c. Meet the requirements in either sections 115-280, 115-281, or 115-282(a) for the floodplain district in which the campground is located.

A mobile recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick-disconnect utilities and security devices and has no permanently attached additions.

- (7) All camping units that remain on site for more than 30 days shall be issued a limited authorization by the campground operator, a written copy of which is kept on file at the campground. Such authorization shall allow placement of a camping unit consistent with subsection (6) and shall ensure compliance with all the provisions of this section;
- (8) The City shall monitor the limited authorizations issued by the campground operator to assure compliance with the terms of this section;
- (9) The campground shall have signs clearly posted at all entrances warning of the flood hazard and the procedures for evacuation when a flood warning is issued.
- (10) All service facilities, including but not limited to refuse collection, electrical service, gas lines, propane tanks, sewage systems and wells shall be properly anchored and placed at or floodproofed to the flood protection elevation.
- (11) Standards for structures in a campground:
 - a. All structures must comply with the applicable requirements in sections 115-280, 115-281, or 115-282(a) for the floodplain district in which the structure is located.
 - b. Deck/landing-a portable landing may be allowed for a camping unit for each entry provided that the landing is not permanently attached to the ground or camping unit, is no more than 200 square feet in size, shall be portable, contain no walls or roof, and can be removed from

the campground by a truck and/or trailer. Sections of such portable landings may be placed together to form a single deck not greater than 200 square feet at one entry point. Provisions for the removal of these temporary landings during flood events must be addressed within the written agreement with the municipality compliant with subsection (4). Any such deck/landing structure may be constructed at elevations lower than the flood protection elevation but must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood.

- c. Decks/patios that are constructed completely at grade may be allowed but must also comply with applicable shoreland zoning standards.
 - d. Camping equipment and appurtenant equipment in the campground may be allowed provided that the equipment is not permanently attached to the ground or camping unit, is not used as a habitable structure, and must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood. Provisions for the removal of this equipment during flooding events shall be addressed within the written agreement with the municipality compliant with subsection (4).
 - e. Once a flood warning in the written agreement has been issued for the campground, the campground owner or the designated operator shall ensure that all persons, camping units, decks, camping equipment and appurtenant equipment in the campground shall be evacuated within the timelines specified within the written agreement with the municipality compliant with subsection (4).
- (12) A land use permit shall be obtained as provided under section 115-284(a)(2) before any development; repair, modification, or additional to an existing structure; or change in the use of a building or structure, including sewer and water facilities, may be initiated.

Sec. 115-280. Floodway district (FW).

- (a) *Applicability.* This section applies to all floodway areas on the floodplain zoning maps identified pursuant to section 115-282(a)(4)
- (b) *Permitted uses.* The following open space uses are allowed in the Floodway District and the floodway areas of the General Floodplain District, if they are not prohibited by any other ordinance; they meet the standards in subsections (3) and (4) of this section; and all permits or certificates have been issued according to section 115-284(a):
 - (1) Agricultural uses, such as: farming, outdoor plant nurseries, horticulture, viticulture and wild crop harvesting.
 - (2) Nonstructural industrial and commercial uses, such as loading areas, parking areas and airport landing strips.
 - (3) Nonstructural recreational uses, such as golf courses, tennis courts, archery ranges, picnic grounds, boat ramps, swimming areas, parks, wildlife and nature preserves, game farms, fish hatcheries, shooting, trap and skeet

activities, hunting and fishing areas and hiking and horseback riding trails, subject to the fill limitations of subsection (c)(4).

- (4) Uses or structures accessory to open space uses, or classified as historic structures that comply with subsections (c) and (d) of this section.
- (5) Extraction of sand, gravel or other materials that comply with subsection (c)(4).
- (6) Functionally water-dependent uses, such as docks, piers or wharves, dams, flowage areas, culverts, navigational aids and river crossings of transmission lines, and pipelines that comply with Wis. Stat. chs. 30 and 31.
- (7) Public utilities, streets and bridges that comply with subsection (c)(3).
- (8) Portable latrines that are removed prior to flooding and systems associated with recreational areas and DNR-approved campgrounds that meet the applicable provisions of local ordinances and Wis. Admin. Code ch. SPS 383.
- (9) Public or private wells used to obtain potable water for recreational areas that meet the requirements of local ordinances and Wis. Admin. Code chs. NR 811 and NR 812.
- (10) Wastewater treatment ponds or facilities permitted under Wis. Adm. Code. § NR 110.15(3)(b).
- (11) Sanitary sewer or water supply lines to service existing or proposed development located outside the floodway that complies with the regulations for the floodplain area occupied.

(c) *Standards for developments in the floodway.*

(1) *General.*

- a. Any development in the floodway shall comply with section 115-275 and have a low flood damage potential.
- b. Applicants shall provide an analysis calculating the effects of this proposal on regional flood height to determine the effects of the proposal according to sections 115-276 and 115-284(a)(2)c. The analysis must be completed by an engineer registered in the State of Wisconsin.
- c. Any encroachment in the regulatory floodway is prohibited unless the data submitted for subsection b. above demonstrates that the encroachment will cause no increase in flood elevations in flood events up to the base flood at any location or removes the encroached area from the regulatory floodway as provided in section 115-256.

(2) *Structures.* Structures accessory to permanent open space uses, including utility and sanitary facilities, or functionally dependent on a waterfront location may be allowed by permit if the structures comply with the following criteria:

- a. Not designed for human habitation, does not have a high flood damage potential, and is constructed to minimize flood damage;
- b. Shall either have the lowest floor elevated to or above the flood protection elevation or shall meet all the following standards:

1. Have the lowest floor elevated to or above the regional flood elevation and be dry floodproofed so that the structure is watertight with walls substantially impermeable to the passage of water and completely dry to the flood protection elevation without human intervention during flooding;
 2. Have structural components capable of meeting all provisions of subsection (c)(2)g of this section and;
 3. Be certified by a registered professional engineer or architect, through the use of a FEMA Floodproofing Certificate, that the design and methods of construction are in accordance with subsection (c)(2)g of this section.
- c. Must be anchored to resist flotation, collapse and lateral movement;
 - d. Mechanical and utility equipment must be elevated to or above the flood protection elevation; and
 - e. Must not obstruct the flow of floodwaters or cause any increase in flood levels during the occurrence of the regional flood.
 - f. For a structure designed to allow the automatic entry of floodwaters below the Regional Flood Elevation, the applicant must submit a plan that meets subsections (c)(2)a through (c)(2)e of this section and meets or exceeds the following standards:
 1. The lowest floor must be elevated to or above the regional flood elevation;
 2. A minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 3. The bottom of all openings shall be no higher than one foot above the lowest adjacent grade; openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters, otherwise must remain open; and
 4. The use must be limited to parking, building access or limited storage.
 - g. Certification: Whenever floodproofing measures are required, a registered professional engineer or architect shall certify that the following floodproofing measures will be utilized, where appropriate, and are adequate to withstand the flood depths, pressures, velocities, impact and uplift forces and other factors associated with the regional flood:
 1. Reinforcement of floors and walls to resist rupture, collapse, or lateral movement caused by water pressures or debris buildup;
 2. Construction of wells, water supply systems and waste treatment systems so as to prevent the entrance of flood waters in such systems and must be in accordance with provisions in subsections (c)(4) and (c)(5) of this section;

3. Subsurface drainage systems to relieve external pressures on foundation walls and basement floors;
 4. Cutoff valves on sewer lines or the elimination of gravity flow basement drains; and
 5. Placement of utilities to or above the flood protection elevation.
- (3) *Public utilities, streets and bridges.* Public utilities, streets and bridges may be allowed by permit, if:
- a. Adequate floodproofing measures are provided to the flood protection elevation; and
 - b. Construction meets the development standards of section 115-276.
- (4) *Fills or deposition of materials.* Fills or deposition of materials may be allowed by permit, if:
- a. The requirements of section 115-276 are met;
 - b. No material is deposited in navigable waters unless a permit is issued by the DNR pursuant to Wis. Stat. ch. 30 and a permit pursuant to section 404 of the Federal Water Pollution Control Act, Amendments of 1972, 33 USC 1344 has been issued, if applicable, and the other requirements of this section are met;
 - c. The fill or other materials will be protected against erosion by riprap, vegetative cover, sheet piling or bulk heading; and
 - d. The fill is not classified as a solid or hazardous material.
- (d) *Prohibited uses.* All uses not listed as permitted uses in subsection (b) of this section are prohibited, including the following uses:
- (1) Habitable structures, structures with high flood damage potential, or those not associated with permanent open-space uses;
 - (2) Storing materials that are buoyant, flammable, explosive, injurious to property, water quality, or human, animal, plant, fish or other aquatic life;
 - (3) Uses not in harmony with or detrimental to uses permitted in the adjoining districts;
 - (4) Any private or public sewage systems, except portable latrines that are removed prior to flooding and systems associated with recreational areas and DNR-approved campgrounds that meet the applicable provisions of local ordinances and Wis. Admin. Code ch. SPS 383;
 - (5) Any public or private wells which are used to obtain potable water, except those for recreational areas that meet the requirements of local ordinances and Wis. Admin. Code chs. NR 811 and 812;
 - (6) Any solid or hazardous waste disposal sites;
 - (7) Any wastewater treatment ponds or facilities, except those permitted under Wis. Admin. Code § NR 110.15(3)(b); and
 - (8) Any sanitary sewer or water supply lines, except those to service existing or proposed development located outside the floodway which complies with the regulations for the floodplain area occupied.

Sec. 115-281. Floodfringe district (FF).

- (a) *Applicability.* This section applies to all floodfringe areas shown on the floodplain zoning maps and those identified pursuant to section 115-282(a)(5)
- (b) *Permitted uses.* Any structure, land use, or development is allowed in the Floodfringe District if the standards in subsection (c) of this section are met, the use is not prohibited by this or any other ordinance or regulation and all permits or certificates specified in section 115-284(a) have been issued.
- (c) *Standards for development in the Floodfringe.* Section 115-275 shall apply in addition to the following requirements according to the use requested. Any existing structure in the floodfringe must meet the requirements of section 115-283
Nonconforming Uses;
 - (1) *Residential uses.* Any structure, including a manufactured home, which is to be newly constructed, or moved into the floodfringe shall meet or exceed the following standards.
 - a. All new construction, including placement of manufactured homes, and substantial improvement of residential structures, shall have the lowest floor elevated to or above the flood protection elevation on fill. The fill around the structure shall be one foot or more above the regional flood elevation extending at least 15 feet beyond the limits of the structure. No area may be removed from the floodfringe district unless it can be shown to meet section 115-256.
 - b. Notwithstanding subsection (c)(1)a of this section, a basement or crawlway floor may be placed at the regional flood elevation if the basement or crawlspace is designed to make all portions of the structure below the flood protection elevation watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.. No floor of any kind is allowed below the regional flood elevation;
 - c. Contiguous dry land access shall be provided from a structure to land outside of the floodplain, except as provided in subsection (c)(1)d of this section.
 - d. In developments where existing street or sewer line elevations make compliance with subsection (c)(1)c of this section impractical, the City may permit new development and substantial improvements where roads are below the regional flood elevation, if:
 - 1. The City has written assurance from police, fire, and emergency services that rescue and relief will be provided to the structure(s) by wheeled vehicles during a regional flood event; or
 - 2. The City has a DNR approved emergency evacuation plan that follows acceptable hazard mitigation planning guidelines.
 - (2) *Accessory structures or uses.* In addition to section 115-275, new construction and substantial improvements of accessory structures shall be

constructed on fill with the lowest floor at or above the regional flood elevation.

- (3) *Commercial uses.* In addition to section 115-275, any commercial structure which is erected, altered or moved into the floodfringe area shall meet the requirements of subsection (c)(1) of this section. Subject to the requirements of subsection (c)(5) of this section, storage yards, surface parking lots and other such uses may be placed at lower elevations if an adequate warning system exists to protect life and property.
- (4) *Manufacturing and industrial uses.* In addition to section 115-275, any manufacturing or industrial structure which is erected, altered or moved into the floodfringe shall have the lowest floor elevated to or above the flood protection elevation or meet the floodproofing standards in section 115-284(e). Subject to the requirements of subsection (c)(5) of this section, storage yards, surface parking lots and other such uses may be placed at lower elevations if an adequate warning system exists to protect life and property.
- (5) *Storage of materials.* Materials that are buoyant, flammable, explosive, or injurious to property, water quality or human, animal, plant, fish or aquatic life shall be stored at or floodproofed in compliance with section 115-284(e). Adequate measures shall be taken to ensure that such materials will not enter the water body during flooding.
- (6) *Public utilities, streets and bridges.* All utilities, streets and bridges shall be designed to be compatible with comprehensive floodplain development plans and:
 - a. When failure of public utilities, streets and bridges would endanger public health or safety, or where such facilities are deemed essential, construction or repair of such facilities shall only be permitted if they are designed to comply with section 115-284(e);
 - b. Minor roads or nonessential utilities may be constructed at lower elevations if they are designed to withstand flood forces to the regional flood elevation.
- (7) *Sewage systems.* All sewage disposal systems shall be designed to minimize or eliminate infiltration of flood water into the system pursuant to section 115-284(e)(3), to the flood protection elevation and meet the provisions of all local ordinances and Wis. Admin. Code ch. SPS 383.
- (8) *Wells.* All wells shall be designed to minimize or eliminate infiltration of flood water into the system pursuant to section 115-284(e)(3) to the flood protection elevation and shall meet the provisions of Wis. Admin. Code NR chs. 811 and 812.
- (9) *Solid waste disposal sites.* Disposal of solid or hazardous waste is prohibited in floodfringe areas.
- (10) *Deposition of materials.* Any deposited material must meet all the provisions of this division.
- (11) *Manufactured homes.*

- a. Owners or operators of all manufactured home parks and subdivisions shall provide adequate surface drainage to minimize flood damage, and prepare, secure approval, and file an evacuation plan, indicating vehicular access and escape routes, with local emergency management authorities.
 - b. In existing manufactured home parks, all new homes, replacement homes on existing pads, and substantially improved homes shall:
 - 1. Have the lowest floor elevated to the flood protection elevation; and
 - 2. Be anchored so they do not float, collapse or move laterally during a flood.
 - c. Outside of existing manufactured home parks, including new manufactured home parks and all single units outside of existing parks, all new, replacement and substantially improved manufactured homes shall meet the residential development standards for the floodfringe in subsection (c)(1) of this section.
- (12) *Mobile recreational vehicles.* All mobile recreational vehicles must be on site for less than 180 consecutive days and be either:
- a. fully licensed and ready for highway use; or
 - b. shall meet the elevation and anchoring requirements in subsections (c)(11)b and c of this section

A mobile recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick-disconnect utilities and security devices and has no permanently attached additions.

Sec. 115-282. Other floodplain districts.

(a) *General Floodplain District (GFP):*

- (1) *Applicability.* The provisions for this district shall apply to development in all floodplains mapped as A, AO, AH, and in AE zones within which a floodway is not delimited on the Flood Insurance Rate Maps identified in section 115-253(a).
- (2) *Floodway Boundaries.* For proposed development in zone A, or in zone AE within which a floodway is not delineated on the Flood Insurance Rate Map identified in section 115-253(a), the boundaries of the regulatory floodway shall be determined pursuant to subsection (5) of this section . If the development is proposed to encroach upon the regulatory floodway, the development is subject to the standards of section 115-280. If the development is located entirely within the floodfringe, the development is subject to the standards of section 115-281.
- (3) *Permitted uses.* Pursuant to subsection (5) of this section, it shall be determined whether the proposed use is located within the floodway or floodfringe. Those uses permitted in the Floodway (section 115-280(b)) and Floodfringe (section (115-281(b)) Districts are allowed within the General Floodplain District, according to the standards of subsection (4) of this

section, provided that all permits or certificates under section 115-284(a) have been issued.

- (4) *Standards for development in the GFP.* Section 115-280 applies to floodway areas, determined pursuant subsection (5) of this section, section 115-281 applies to floodfringe areas, determined pursuant to section (5) of this section

- a. New construction and substantial improvement of structures in zone AO shall have the lowest floor, including basement, elevated:
 1. To or above the depth, in feet, as shown on the FIRM above the highest adjacent natural grade; or
 2. If the depth is not specified on the FIRM, two (2) feet above the highest adjacent natural grade or higher.
- b. New construction and substantial improvement of structures in zone AH shall have the lowest floor, including basement, elevated to or above the flood protection elevation.
- c. In AO/AH zones, provide adequate drainage paths to guide flood waters around structures.
- d. All development in zones AO and zone AH shall meet the requirements of section 115-281 applicable to floodfringe areas.

- (5) *Determining floodway and floodfringe limits.* Upon receiving an application for development within zone A, or within zone AE where a floodway has not been delimitedated on the Flood Insurance Rate Maps, the Fire Department - Division of Fire Prevention and Building shall:

- a. Require the applicant to submit two copies of an aerial photograph or a plan which shows the proposed development with respect to the general floodplain district limits, stream channel, and existing floodplain developments, along with a legal description of the property, fill limits and elevations, building floor elevations and floodproofing measures; and the flood zone as shown on the FIRM.
- b. Require the applicant to furnish any of the following information deemed necessary by the DNR to evaluate the effects of the proposal upon flood height and flood flows, regional flood elevation and to determine floodway boundaries:
 1. A Hydrologic and Hydraulic Study as specified in section 115-284(a)(2)(c).
 2. Plan (surface view) showing elevations or contours of the ground; pertinent structure, fill or storage elevations; size, location and layout of all proposed and existing structures on the site; location and elevations of streets, water supply, and sanitary facilities; soil types and other pertinent information.
 3. Specifications for building construction and materials, floodproofing, filling, dredging, channel improvement, storage, water supply and sanitary facilities.

- (b) *Flood Storage District.* The Flood Storage District delineates that portion of the floodplain where storage of floodwaters has been taken into account and is relied

upon to reduce the regional flood discharge. The district protects the flood storage areas and assures that any development in the storage areas will not decrease the effective flood storage capacity which would cause higher flood elevations.

- (1) *Applicability.* The provisions of this section apply to all areas within the Flood Storage District (FSD), as shown on the Official Floodplain Zoning Maps.
- (2) *Permitted uses.* Any use or development which occurs in a flood storage district must meet the applicable requirements in section 115-281(c).
- (3) Standards for development in Flood Storage Districts.
 - a. Development in a flood storage district shall not cause an increase equal to or greater than 0.00 of a foot in the height of the regional flood.
 - b. No development shall be allowed which removes flood storage volume unless an equal volume of storage as defined by the pre-development ground surface and the regional flood elevation shall be provided in the immediate area of the proposed development to compensate for the volume of storage which is lost (compensatory storage). Excavation below the groundwater table is not considered to provide an equal volume of storage.
 - c. If compensatory storage cannot be provided, the area may not be developed unless the entire area zoned as Flood Storage District on this waterway is rezoned to the floodfringe district. This must include a revision to the floodplain study and map done for the waterway to revert to the higher regional flood discharge calculated without floodplain storage, as per section 115-285.
 - d. No area may be removed from the Flood Storage District unless it can be shown that the area has been filled to the flood protection elevation and is contiguous to other lands lying outside of the floodplain.
- (c) *Shallow Depth Flood Plain Zoning Overlay District (SDFP).* The SDFP shall mean those areas where the maximum depth of flooding does not exceed one foot in depth nor six hours in duration during the regional flood. Therefore, the applicable provisions of sections 115-281(c)(1) and (c)(2) shall apply.
- (d) *The Pammel Creek Flood Fringe Zoning Overlay District (PCFP).* The PCFP is subject to provisions of AE zoning under section 115-284 and Wis. Admin. Code § NR 116.17(2), and any amendments thereto including the following:
 - (1) An approved emergency action plan shall be in effect for the area behind the levee or floodwall.
 - (2) The City shall provide notification to all persons receiving construction permits in the district levee or floodwall that they are in an area protected by the levee or floodwall which is subject to flooding if the levee or floodwall is overtopped.

Sec. 115-283. Nonconforming uses.

(a) General.

(1) Applicability.

- a. The standards in this section shall apply to all uses and buildings that do not conform to the provisions contained within a floodplain zoning ordinance or with Wis. Stat. § 87.30, and Wis. Adm. Code. §§ NR 116.12-14, and 44 CFR 59-72., these standards shall apply to all modifications or additions to any nonconforming use or structure and to the use of any structure or premises which was lawful before the passage of this ordinance or any amendment thereto. A party asserting existence of a lawfully established nonconforming use or structure has the burden of proving that the use or structure was compliant with the floodplain zoning ordinance in effect at the time the use or structure was created.
- b. As permit applications are received for additions, modifications, or substantial improvements to nonconforming buildings in the floodplain, municipalities shall develop a list of those nonconforming buildings, their present equalized assessed value, and a list of the costs of those activities associated with changes to those buildings.

(2) The existing lawful use of a structure or its accessory use which is not in conformity with the provisions of this division may continue subject to the following conditions:

- a. No modifications or additions to a nonconforming use or structure shall be permitted unless they comply with this division. The terms "modification" and "addition" include, but are not limited to, any alteration, addition, modification, structural repair, rebuilding or replacement of any such existing use, structure or accessory structure or use. Maintenance is not considered a modification; this includes painting, decorating, paneling and other nonstructural components and the maintenance, repair or replacement of existing private sewage or water supply systems or connections to public utilities. Any costs associated with the repair of a damaged structure are not considered maintenance.

The construction of a deck that does not exceed 200 square feet and that is adjacent to the exterior wall of a principal structure is not an extension, modification or addition. The roof of the structure may extend over a portion of the deck in order to provide safe ingress and egress to the principal structure.

- b. If a nonconforming use or the use of a nonconforming structure is discontinued for 12 consecutive months, it is no longer permitted and any future use of the property, and any structure or building thereon, shall conform to the applicable requirements of this division.
- c. The City shall keep a record which lists all nonconforming uses and nonconforming structures, their present equalized assessed value, the cost of all modifications or additions which have been permitted, and

the percentage of the structure's total current value those modifications represent.

- d. No modification or addition to any nonconforming structure or any structure with a nonconforming use, which over the life of the structure would equal or exceeds 50 percent of its present equalized assessed value, shall be allowed unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this division. Contiguous dry land access must be provided for residential and commercial uses in compliance with section 115-281(c)(1). The costs of elevating the lowest floor of a nonconforming building or a building with a nonconforming use to the flood protection elevation are excluded from the 50 percent provisions of this paragraph.
- e. No maintenance on a per event basis to any nonconforming structure or any structure with a nonconforming use, the cost of which would equal or exceed 50 percent of its present equalized assessed value, shall be allowed unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this division. Contiguous dry land access must be provided for residential and commercial uses in compliance with section 115-281(c)(1). Maintenance to any nonconforming structure, which does not exceed 50% of its present equalized assessed value on a per event basis, does not count against the cumulative calculations over the life of the structure for substantial improvement calculations.
- f. If on a per event basis the total value of the work being done under (d) and (e) equals or exceeds 50 percent of the present equalized assessed value, the work shall not be permitted unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this section. Contiguous dry land access must be provided for residential and commercial uses in compliance with section 115-281(c)(1).
- g. Except as provided in subsection h of this section, if any nonconforming structure or any structure with a nonconforming use is destroyed or is substantially damaged, it cannot be replaced, reconstructed or rebuilt unless the use and the structure meet the current division requirements. A structure is considered substantially damaged if the total cost to restore the structure to its pre-damaged condition equal or exceeds 50 percent of the structure's present equalized assessed value.
- h. For nonconforming buildings that are substantially damaged or destroyed by a non-flood disaster, the repair or reconstruction of any such nonconforming building shall be permitted in order to restore it to the size and use in effect prior to the damage event, provided that the following minimum code requirements below are met and all required permits have been granted prior to the start of construction.

1. *Residential structures.*

- i. Shall have the lowest floor, including basement, elevated to or above the base flood elevation using fill, pilings, columns, posts or perimeter walls. Perimeter walls must meet the requirements of section 115-284(e)(2).
- ii. Shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy and shall be constructed with methods and materials resistant to flood damage.
- iii. Shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or elevated so as to prevent water from entering or accumulating within the components during conditions of flooding.
- iv. In A Zones, obtain, review and utilize any flood data available from a federal, state or other source.
- v. In AO Zones with no elevations specified, shall have the lowest floor, including basement, meet the standards in section 115-282(a)(4).
- vi. In AO Zones, shall have adequate drainage paths around structures on slopes to guide floodwaters around and away from the structure.

2. *Nonresidential structures.*

- i. Shall meet the requirements of subsection (i) of this section.
- ii. Shall either have the lowest floor, including basement, elevated to or above the regional flood elevation; or, together with attendant utility and sanitary facilities, shall meet the standards in section 115-284(e)(1) or (2).
- iii. In AO Zones with no elevations specified, shall have the lowest floor, including basement, meet the standards in section 115-282(a)(4).

(3) A nonconforming historic structure may be altered if the alteration will not preclude the structure's continued designation as an historic structure, the alteration will comply with section 115-280(a)(1), flood resistant materials are used, and construction practices and floodproofing methods that comply with section 115-284 are used. Repair or rehabilitation of historic structures shall be exempt from the development standards of subsection (2)h(i) of this section. If it is determined that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and is the minimum necessary to preserve the historic character and design of the structure.

(b) *Floodway district.*

- (1) No modification or addition shall be allowed to any nonconforming structure or any structure with a nonconforming use in a floodway district, unless such modification or addition:
 - a. Has been granted a permit or variance which meets all division requirements;
 - b. Meets the requirements of subsection (a);
 - c. Shall not increase the obstruction to flood flows or regional flood height;
 - d. Any addition to the existing structure shall be floodproofed, pursuant to section 115-284(e), by means other than the use of fill, to the flood protection elevation; and
 - e. If any part of the foundation below the flood protection elevation is enclosed, the following standards shall apply:
 1. The enclosed area shall be designed by a registered architect or engineer to allow for the efficient entry and exit of flood waters without human intervention. A minimum of two openings must be provided with a minimum net area of at least one square inch for every one square foot of the enclosed area. The lowest part of the opening can be no more than 12 inches above the adjacent grade;
 2. The parts of the foundation located below the flood protection elevation must be constructed of flood-resistant materials;
 3. Mechanical and utility equipment must be elevated or floodproofed to or above the flood protection elevation; and
 4. The use must be limited to parking, building access or limited storage.
- (2) No new on-site sewage disposal system, or addition to an existing on-site sewage disposal system, except where an addition has been ordered by a government agency to correct a hazard to public health, shall be allowed in the Floodway District. Any replacement, repair or maintenance of an existing on-site sewage disposal system in a floodway area shall meet the applicable requirements of all City ordinances and Wis. Admin. Code ch. SPS 383.
- (3) No new well or modification to an existing well used to obtain potable water shall be allowed in the Floodway District. Any replacement, repair or maintenance of an existing well in the Floodway District shall meet the applicable requirements of all City ordinances and Wis. Admin. Code chs. NR 811 and 812.

(c) *Floodfringe district.*

- (1) No modification or addition shall be allowed to any nonconforming structure or any structure with a nonconforming use unless such modification or addition has been granted a permit or variance by the City, and meets the requirements of section 115-281(c) and 115-284(e) except where subsection (c)(2) of this section is applicable.

- (2) Where compliance with the provisions of subsection (a) of this section would result in unnecessary hardship and only where the structure will not be used for human habitation or be associated with a high flood damage potential, the Board of Appeals, using the procedures established in section 115-284(c) may grant a variance from those provisions of subsection (c)(1) of this section for modifications or additions, using the criteria listed below. Modifications or additions which are protected to elevations lower than the flood protection elevation may be permitted if:
 - a. No floor is allowed below the regional flood elevation for residential or commercial structures;
 - b. Human lives are not endangered;
 - c. Public facilities, such as water or sewer, shall not be installed;
 - d. Flood depths shall not exceed two feet;
 - e. Flood velocities shall not exceed two feet per second; and
 - f. The structure shall not be used for storage of materials as described in section 115-281(c)(5).
- (3) All new private sewage disposal systems, or additions to, replacement, repair or maintenance of a private sewage disposal system shall meet all the applicable provisions of all local ordinances and Wis. Admin. Code ch. SPS 383.
- (4) All new wells, or additions to, replacement, repair or maintenance of a well shall meet the applicable provisions of this division and Wis. Admin. Code chs. NR 811 and 812.
- (d) *Flood storage district.* No modifications or additions shall be allowed to any nonconforming structure in a flood storage area unless the standards outlined in section 115-282(a)3 are met.
- (e) *Shallow depth floodplain areas.* The applicable provisions of subsection (c) of this section shall apply.

Sec. 115-284 Administration.

(a) *Zoning administrator.*

- (1) The Fire Department - Division of Fire Prevention and Building Safety is authorized to administer this division and shall have the following duties and powers:
 - a. Advise applicants of the division provisions, assist in preparing permit applications and appeals, and assure that the regional flood elevation for the proposed development is shown on all permit applications.
 - b. Issue permits and inspect properties for compliance with provisions of this division, and issue certificates of compliance where appropriate.
 - c. Inspect and assess all damaged floodplain structures to determine if substantial damage to the structures has occurred.
 - d. Keep records of all official actions such as:
 - 1. All permits issued, inspections made, and work approved;

2. Documentation of certified lowest floor and regional flood elevations for floodplain development;
 3. Floodproofing Certificates;
 4. Water surface profiles, floodplain zoning maps and ordinances, nonconforming uses and structures including changes, appeals, variances, and amendments;
 5. All substantial damage assessment reports for floodplain structures; and
 6. List of nonconforming structures and uses.
- e. Submit copies of the following items to the DNR regional office:
 1. Within ten days of the decision, a copy of any decisions on variances, appeals for map or text interpretations, and map or text amendments;
 2. Copies of case-by-case analyses, and other required; and
 3. Copies of substantial damage assessments performed and all related correspondence concerning the assessments.
 - f. Investigate, prepare reports, and report violations of this division to the Fire Department - Division of Fire Prevention and Building Safety and City Attorney's office for prosecution. Copies of the reports shall also be sent to the DNR regional office.
 - g. Submit copies of text and map amendments and biennial reports to the FEMA regional office.
- (2) *Land use permit.* A land use permit shall be obtained before any new development, repair, modification or addition to an existing structure, or change in the use of a building or structure, including sewer and water facilities, may be initiated. Application to the Fire Department - Division of Fire Prevention and Building Safety shall include:
- a. *General information.*
 1. Name and address of the applicant, property owner and contractor;
 2. Legal description, proposed use, and whether it is new construction or a modification.
 - b. *Site development plan.* A site plan drawn to scale shall be submitted with the permit application form and shall contain:
 1. Location, dimensions, area and elevation of the lot;
 2. Location of the ordinary high-water mark of any abutting navigable waterways;
 3. Location of any structures with distances measured from the lot lines and street center lines;
 4. Location of any existing or proposed on-site sewage systems or private water supply systems;

5. Location and elevation of existing or future access roads;
 6. Location of floodplain and floodway limits as determined from the official floodplain zoning maps;
 7. The elevation of the lowest floor of proposed buildings and any fill using vertical datum from the adopted study-either National Geodetic Vertical Datum (NGVD) or North American Vertical Datum (NAVD);
 8. Data sufficient to determine the regional elevation in NGVD or NAVD at the location of the development and to determine whether or not the requirements of sections 115-280 or 281 are met; and
 9. Data to determine if the proposed development will cause an obstruction to flow or an increase in regional flood height or discharge according to section 115-276. This may include any of the information noted in section 115-280(c)(1).
- c. *Hydraulic and Hydrologic studies to analyze development.* All hydraulic and hydrologic studies shall be completed under the direct supervision of a professional engineer registered in the State. The study contractor shall be responsible for the technical adequacy of the study. All studies shall be reviewed and approved by the DNR.
1. *Zone A floodplains and in AE zones within which a floodway is not delineated:*
 - i. *Hydrology.*
 - (a) The appropriate method shall be based on the standards in Wis. Admin. Code ch. NR 116.07(3), *Hydrologic Analysis: Determination of Regional Flood Discharge.*
 - ii. *Hydraulic modeling.* The regional flood elevation shall be based on the standards in Wis. Admin. Code. ch. NR 116.07(4), *Hydraulic Analysis: Determination of Regional Flood Elevation* and the following:
 - (a) Determination of the required limits of the hydraulic model shall be based on detailed study information for downstream structures (dam, bridge, culvert) to determine adequate starting WSEL for the study.
 - (b) Channel sections must be surveyed.
 - (c) Minimum four-foot contour data in the overbanks shall be used for the development of cross section overbank and floodplain mapping.
 - (d) A maximum distance of 500 feet between cross sections is allowed in developed areas with additional intermediate cross sections required at transitions in channel bottom slope including a survey of the channel at each location.

- (e) The most current version of HEC-RAS shall be used.
 - (f) A survey of bridge and culvert openings and the top of road is required at each structure.
 - (g) Additional cross sections are required at the downstream and upstream limits of the proposed development and any necessary intermediate locations based on the length of the reach if greater than 500 feet.
 - (h) Standard accepted engineering practices shall be used when assigning parameters for the base model such as flow, Manning's N values, expansion and contraction coefficients or effective flow limits. The base model shall be calibrated to past flooding data such as high water marks to determine the reasonableness of the model results. If no historical data is available, adequate justification shall be provided for any parameters outside standard accepted engineering practices.
 - (i) The model must extend past the upstream limit of the difference in the existing and proposed flood profiles in order to provide a tie-in to existing studies. The height difference between the proposed flood profile and the existing study profiles shall be no more than 0.00 feet.
- iii. *Mapping.* A work map of the reach studied shall be provided, showing all cross-section locations, floodway/floodplain limits based on best available topographic data, geographic limits of the proposed development and whether the proposed development is located in the floodway.
- (a) If the proposed development is located outside of the floodway, then it is determined to have no impact on the regional flood elevation.
 - (b) If any part of the proposed development is in the floodway, it must be added to the base model to show the difference between existing and proposed conditions. The study must ensure that all coefficients remain the same as in the existing model, unless adequate justification based on standard accepted engineering practices is provided.

2. *Zone AE Floodplains.*

- i. *Hydrology.* If the proposed hydrology will change the existing study, the appropriate method to be used shall

be based on Wis. Admin. Code ch. NR 116.07(3), *Hydrologic Analysis: Determination of Regional Flood Discharge*.

- ii. *Hydraulic model*. The regional flood elevation shall be based on the standards in Wis. Admin. Code ch. NR 116.07(4), *Hydraulic Analysis: Determination of Regional Flood Elevation* and the following:
 - (a) *Duplicate Effective Model*. The effective model shall be reproduced to ensure correct transference of the model data and to allow integration of the revised data to provide a continuous FIS model upstream and downstream of the revised reach. If data from the effective model is available, models shall be generated that duplicate the FIS profiles and the elevations shown in the Floodway Data Table in the FIS report to within 0.1 foot.
 - (b) *Corrected Effective Model*. The Corrected Effective Model shall not include any man-made physical changes since the effective model date, but shall import the model into the most current version of HEC-RAS for DNR review.
 - (c) *Existing (Pre-Project Conditions) Model*. The Existing Model shall be required to support conclusions about the actual impacts of the project associated with the Revised (Post-Project) Model or to establish more up-to-date models on which to base the Revised (Post-Project) Model.
 - (d) *Revised (Post-Project Conditions) Model*. The Revised (Post-Project Conditions) Model shall incorporate the Existing Model and any proposed changes to the topography caused by the proposed development. This model shall reflect proposed conditions.
 - (e) All changes to the Duplicate Effective Model and subsequent models must be supported by certified topographic information, bridge plans, construction plans and survey notes.
 - (f) Changes to the hydraulic models shall be limited to the stream reach for which the revision is being requested. Cross sections upstream and downstream of the revised reach shall be identical to those in the effective model and result in water surface elevations and top widths computed by the revised models matching those in the effective models

upstream and downstream of the revised reach as required. The Effective Model shall not be truncated.

- iii. *Mapping.* Maps and associated engineering data shall be submitted to the DNR for review which meet the following conditions:
 - (a) Consistency between the revised hydraulic models, the revised floodplain and floodway delineations, the revised flood profiles, topographic work map, annotated FIRMs and/or Flood Boundary Floodway Maps (FBFMs), construction plans, bridge plans.
 - (b) Certified topographic map of suitable scale, contour interval, and a planimetric map showing the applicable items. If a digital version of the map is available, it may be submitted in order that the FIRM may be more easily revised.
 - (c) Annotated FIRM panel showing the revised one percent and two tenths percent annual chance floodplains and floodway boundaries.
 - (d) If an annotated FIRM and/or FBFM and digital mapping data (GIS or CADD) are used then all supporting documentation or metadata must be included with the data submission along with the Universal Transverse Mercator (UTM) projection and State Plane Coordinate System in accordance with FEMA mapping specifications.
 - (e) The revised floodplain boundaries shall tie into the effective floodplain boundaries.
 - (f) All cross sections from the effective model shall be labeled in accordance with the effective map and a cross section lookup table shall be included to relate to the model input numbering scheme.
 - (g) Both the current and proposed floodways shall be shown on the map.
 - (h) The stream centerline, or profile baseline used to measure stream distances in the model shall be visible on the map.
- iv. *Expiration.* All permits issued under the authority of this division shall expire no more than 180 days after issuance. The permit may be extended for a maximum of 180 days for good and sufficient cause. If the permitted work has not started within 180 days of the permit date, the development must comply with any

regulation, including any revision to the FIRM or FIS, that took effect after the permit date.

- (3) *Certificate of compliance.* No land shall be occupied or used, and no building which is hereafter constructed, altered, added to, modified, repaired, rebuilt or replaced shall be occupied until a certificate of compliance is issued by the Fire Department - Division of Fire Prevention and Building Safety, except where no permit is required, subject to the following provisions:
- a. The certificate of compliance shall show that the building or premises, or part thereof, and the proposed use, conform to the provisions of this division;
 - b. Application for such certificate shall be concurrent with the application for a permit;
 - c. If all division provisions are met, the certificate of compliance shall be issued within ten days after written notification that the permitted work is completed;
 - d. The applicant shall submit a certification signed by a registered professional engineer, architect, or land surveyor that the fill, lowest floor and floodproofing elevations are in compliance with the permit issued. Floodproofing measures also require certification by a registered professional engineer or architect that the requirements of subsection (e) of this section are met.
 - e. Where applicable pursuant to section 115-282(a)(4), the applicant must submit a certification by a registered professional engineer or surveyor of the elevation of the bottom of the lowest horizontal structural member supporting the lowest floor (excluding pilings or columns), and an indication of whether the structure contains a basement.
 - f. Where applicable pursuant to section 115-282(a)(4), the applicant must submit certifications by a registered professional engineer or architect that the structural design and methods of construction meet accepted standards of practice as required by section 115-282(a)(4).
- (4) *Other permits.* Prior to obtaining a floodplain development permit the applicant must secure all necessary permits from federal, state, and local agencies, including but not limited to those required by the U.S. Army Corps of Engineers under section 404 of the Federal Water Pollution Control Act, Amendments of 1972, and 33 USC 1344.

(b) *Zoning agency.*

- (1) The Fire Department - Division of Fire Prevention and Building Safety and City Floodplain Manager shall:
 - a. Oversee the functions of the office of the Zoning Administrator; and
 - b. Review and advise the City on all proposed amendments to this division, maps and text.
- (2) The Fire Department - Division of Fire Prevention and Building Safety and City Floodplain Manager shall not:

- a. Grant variances to the terms of this division in place of action taken by the Board of Appeals; or
 - b. Amend the text or zoning maps in place of official action taken by the City.
- (c) *Board of Appeals.* A Board of Appeals is hereby established in accordance with article II, division 2 of this chapter.

(1) *Organization.*

- a. The Board shall organize and adopt rules of procedure for its own government in accordance with this chapter and Wis. Stat. § 62.23(7)(e).
- b. Meetings shall be held at the call of the Chair and at such other times as the Board may determine and shall be open to the public.
- c. The Chair, or in his/her absence, the acting Chair, may administer oaths to and compel the attendance of witnesses.
- d. Minutes of the proceedings and a record of all actions shall be kept by the Secretary, showing the vote of each member upon each question, the reasons for the Board's determination, and its findings of facts.
 - 1. The records shall be immediately filed in the office of the Secretary and shall be a public record.
 - 2. A copy of any decision granting a variance from floodplain regulations within any floodplain area shall be mailed to the DNR.
- e. A concurring vote of four members of the Board shall be necessary to:
 - 1. Correct any error;
 - 2. Grant a variance;
 - 3. Make an interpretation; and
 - 4. Permit a utility, temporary, classified, or substitute use.
- f. A representative from the Fire Department - Division of Fire Prevention and Building Safety shall attend all meetings for the purpose of providing technical assistance to the Board.

(2) *Powers and duties.* The Board of Appeals shall hear:

- a. *Appeals.* Hear and decide appeals where it is alleged there is an error in any order, requirement, decision or determination made by an administrative official in the enforcement or administration of this division.
- b. *Boundary disputes.* Hear and decide disputes concerning the district boundaries shown on the official floodplain zoning map.
- c. *Variances.* Hear and decide, upon appeal, variances from the standards in this division.

(3) *Appeals to the Board.*

- a. Appeals to the Board may be taken by any person aggrieved, or by any officer or department of the City affected by any decision of the Fire Department - Division of Fire Prevention and Building Safety or other administrative officer. Such appeal shall be taken within 30 days unless otherwise within the time provided by the rules of the Board, by filing with the official whose decision is in question, and with the Board a notice of appeal specifying the reasons for the appeal. The official whose decision is in question shall transmit to the board all records regarding the matter appealed.
- b. Notice and hearing for appeals including variances.
 - 1. *Notice.* The Board shall:
 - i. Fix a reasonable time for the hearing;
 - ii. Publish adequate notice pursuant to Wisconsin Statutes, specifying the date, time, place and subject of the hearing;
 - iii. Ensure that the notice shall be mailed to the parties in interest and the DNR regional office at least ten days in advance of the hearing.
 - 2. *Hearing.* Any party may appear in person or by agent. The Board shall:
 - i. Resolve boundary disputes according to subsection (c)(4) of this section.
 - ii. Decide variance applications according to subsection (c)(5) of this section.
 - iii. Decide appeals of permit denials according to subsection (d) of this section.
- c. *Decision.* The final decision regarding the appeal or variance application shall:
 - 1. Be made within a reasonable time;
 - 2. Be sent to the DNR regional office within ten days of the decision;
 - 3. Be a written determination signed by the chair and/or secretary of the Board;
 - 4. State the specific facts which are the basis for the Board's decision;
 - 5. Either affirm, reverse, vary or modify the order, requirement, decision or determination appealed, in whole or in part, dismiss the appeal for lack of jurisdiction or grant or deny the variance application;
 - 6. Include the reasons for granting an appeal, describing the hardship demonstrated by the applicant in the case of a variance, clearly stated in the recorded minutes of the Board proceedings.

- i. The Board may request assistance from other City officers, departments, commissions, and boards.

(4) *Boundary disputes.* The following procedure shall be used by the Board in hearing disputes concerning floodplain district boundaries:

- a. If a floodplain district boundary is established by approximate or detailed floodplain studies, the flood elevations or profiles shall prevail in locating the boundary. If none exist, other evidence may be examined.
- b. The person contesting the boundary location shall be given a reasonable opportunity to present arguments and technical evidence to the Board.
- c. If the boundary is incorrectly mapped, the Board shall inform the Fire Department - Division of Fire Prevention and Building Safety or the person contesting the boundary location to petition the City for a map amendment according to section 115-285.

(5) *Variance.*

- a. The Board may, upon appeal, grant a variance from the standards of this division if an applicant convincingly demonstrates that:
 - 1. Literal enforcement of this division will cause unnecessary hardship;
 - 2. The hardship is due to adoption of this division and unique property conditions, not common to adjacent lots or premises. In such cases, the division or map must be amended;
 - 3. The variance is not contrary to the public interest; and
 - 4. The variance is consistent with the purpose of this division in section 115-211.
- b. In addition to the criteria in subsection (a), to qualify for a variance under FEMA regulations, the following criteria must be met:
 - 1. The variance shall not cause any increase in the regional flood elevation;
 - 2. The applicant has shown good and sufficient cause for issuance of the variance;
 - 3. Failure to grant the variance would result in exceptional hardship;
 - 4. Granting the variance will not result in additional threats to public safety, extraordinary expense, create a nuisance, cause fraud on or victimization of the public; or conflict with existing local laws or ordinances;
 - 5. The variance granted is the minimum relief necessary, considering the flood hazard, to afford relief.

- c. A variance shall not:
 - 1. Grant, extend or increase any use prohibited in the zoning district.
 - 2. Be granted for a hardship based solely on an economic gain or loss.
 - 3. Be granted for a hardship which is self-created.
 - 4. Damage the rights or property values of other persons in the area.
 - 5. Allow actions without the amendments to this division or map(s) required in section 115-285.
 - 6. Allow any alteration of an historic structure, including its use, which would preclude its continued designation as an historic structure.
- d. When a floodplain variance is granted, the Board shall notify the applicant in writing that it may increase risks to life and property and flood insurance premiums could increase up to \$25.00 per \$100.00 of coverage. A copy shall be maintained with the variance record.

(d) *To review appeals of permit denials.*

- (1) The Fire Department - Division of Fire Prevention and Building Safety or Board shall review all data related to the appeal. This may include:
 - a. Permit application data listed in subsection (a)(2) of this section;
 - b. Floodway/floodfringe determination in section 115-282(a)(5);
 - c. Data listed in section 115-280(c)(1)b where the applicant has not submitted this information to the Fire Department - Division of Fire Prevention and Building Safety; and
 - d. Other data submitted with the application, or submitted to the Board with the appeal.
 - e. Fee receipt from the Director of Finance/Treasurer in the amount of established by resolution.
- (2) For appeals of all denied permits, the Board shall:
 - a. Follow the procedures set forth in subsection (c) of this section;
 - b. Consider the Fire Department - Division of Fire Prevention and Building Safety recommendations; and
 - c. Either uphold the denial or grant the appeal.
- (3) For appeals concerning increases in regional flood elevation, the Board shall:
 - a. Uphold the denial where the Board agrees with the data showing an increase in flood elevation. Increases equal to or greater than 0.01 foot may only be allowed after amending the flood profile and map and all appropriate legal arrangements are made with all adversely affected property owners as per the requirements of section 115-285; and

- b. Grant the appeal where the Board agrees that the data properly demonstrates that the project does not cause an increase provided no other reasons for denial exist.

(e) *Floodproofing standards.*

- (1) No permit or variance shall be issued for a nonresidential structure designed to be watertight below the regional flood elevation until the applicant submits a plan certified by a registered professional engineer or architect that the floodproofing measures will protect the structure or development to the flood protection elevation and submits a FEMA Floodproofing Certificate. Floodproofing is not an alternative to the development standards in sections 115-275, 280, 281, or 282(a).
- (2) For a structure designed to allow the entry of floodwaters, no permit or variance shall be issued until the applicant submits a plan either:
 - a. Certified by a registered professional engineer or architect; or
 - b. Meets or exceeds the following standards:
 - 1. A minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 - 2. The bottom of all openings shall be no higher than one foot above grade; and
 - 3. Openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters.
- (3) Floodproofing measures shall be designed, as appropriate, to:
 - a. Withstand flood pressures, depths, velocities, uplift and impact forces and other regional flood factors;
 - b. Protect structures to the flood protection elevation;
 - c. Anchor structures to foundations to resist flotation and lateral movement;
 - d. Minimize or eliminate infiltration of floodwaters;
 - e. Minimize or eliminate discharge into flood waters;
 - f. Placement of essential utilities to or above the flood protection elevation; and
 - g. If any part of the foundation below the flood protection elevation is enclosed, the following standards shall apply:
 - 1. The enclosed area shall be designed by a registered architect or engineer to allow for the efficient entry and exit of flood waters without human intervention. A minimum of two openings must be provided with a minimum net area of at least one square inch for every one square foot of the enclosed area. The lowest part of the opening can be no more than 12 inches above the adjacent grade;

2. The parts of the foundation located below the flood protection elevation must be constructed of flood-resistant materials;
3. Mechanical and utility equipment must be elevated or floodproofed to or above the flood protection elevation; and
4. The use must be limited to parking, building access or limited storage.

(f) *Public information.*

- (1) Place marks on structures to show the depth of inundation during the regional flood.
- (2) All maps, engineering data and regulations shall be available and widely distributed.
- (3) Real estate transfers should show what floodplain zoning district any real property is in.

Sec. 115-285. Amendments.

Obstructions or increases may only be permitted if amendments are made to this section, the official floodplain zoning maps, floodway lines and water surface profiles, in accordance with section 115-285(a).

- 1) In AE Zones with a mapped floodway, no obstructions or increases shall be permitted unless the applicant receives a Conditional Letter of Map Revision from FEMA and amendments are made to this section, the official floodplain zoning maps, floodway lines and water surface profiles, in accordance with subsection (a) of this section. Any such alterations must be reviewed and approved by FEMA and the DNR.
 - 2) In A Zones increases equal to or greater than 1.0 foot may only be permitted if the applicant receives a Conditional Letter of Map Revision from FEMA and amendments are made to this section, the official floodplain maps, floodway lines, and water surface profiles, in accordance with subsection (a) of this section.
- (a) *General.* The Common Council may change or supplement the floodplain zoning district boundaries and this division in the manner outlined in subsection (b) of this section. Actions which require an amendment to the ordinance and/or submittal of a Letter of Map Change (LOMC) include, but are not limited to, the following:
- (1) Any fill or floodway encroachment that obstructs flow causing any increase in the regional flood height;
 - (2) Any change to the floodplain boundaries and/or watercourse alterations on the FIRM;
 - (3) Any changes to any other officially adopted floodplain maps listed in section 115-253(b);
 - (4) Any floodplain fill which raises the elevation of the filled area to a height at or above the flood protection elevation and is contiguous to land lying outside the floodplain.
 - (5) Correction of discrepancies between the water surface profiles and floodplain maps;

- (6) Any upgrade to a floodplain zoning ordinance text required by Wis. Admin. Code § NR 116.05, or otherwise required by law, or for changes by the City.
 - (7) All channel relocations and changes to the maps to alter the floodway lines or to remove an area from the floodway or the floodfringe that is based on a base flood elevation from a FIRM requires prior approval by FEMA.
- (b) *Procedures.* Ordinance amendments may be made upon petition of any party according to the provisions of Wis. Stat. § 62.23. The petitions shall include all data required by sections 115-282(a)(5) and 115-284(a)(2). The Land Use Permit shall not be issued until a Letter of Map Revision is issued by FEMA for the proposed changes.
- (1) The proposed amendment shall be referred to the City Clerk for a public hearing and recommendation to the Common Council. The amendment and notice of public hearing shall be submitted to the DNR Regional Office for review prior to the hearing. The amendment procedure shall comply with the provisions of Wis. Stat. § 62.23.
 - (2) No amendments shall become effective until reviewed and approved by the DNR.
 - (3) All persons petitioning for a map amendment that obstructs flow, causing any increase in the regional flood height shall obtain flooding easements or other appropriate legal arrangements from all adversely affected property owners and notify all local units of government before the amendment can be approved by the Common Council.

Secs. 115-286—115-312. Reserved.

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation

NOTICE OF HEARING ON
AMENDMENT TO ZONING RESTRICTION

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to repeal and recreate Chapter 115, Article V, Division 2
Floodplain Zoning, Sections 115-207 through 115-312 of the Code of Ordinances
of the City of La Crosse.

The City Plan Commission will meet to consider such application on Monday, June 2, 2025 at 4:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

A public hearing before the Judiciary & Administration Committee will be held on Tuesday, June 3, 2025 at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the Common Council on Thursday, June 12, 2025 at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The materials relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 25-0453).

Dated this 28th day of April, 2025

Nikki M. Elsen, City Clerk
City of La Crosse

Publish: May 20 and 27, 2025
One (1) Affidavit

Agenda Item 25-0453: (Tim Acklin)

AN ORDINANCE to repeal and recreate Chapter 115, Article V, Division 2 Floodplain Zoning, Sections 115-207 through 115-312 of the Code of Ordinances of the City of La Crosse.

General Location

City-Wide

Background Information

The Wisconsin Department of Natural Resources (WisDNR) is requiring the City to adopt the proposed model ordinance regulating floodplain activities. The WisDNR wants Federal Emergency Management Agency's (FEMA) approval of all municipal floodplain ordinances. The City's current ordinance is missing updated language and criteria regarding floodplain management in flood-prone areas, thereby prohibiting FEMA from approving it. This new model ordinance has been pre-approved by FEMA.

This proposed Ordinance does not conflict with the current moratorium on making amendments to Chapter 115 as it is considered a legally mandated amendment by the Legal Department.

Recommendation of Other Boards and Commissions

N/A

Consistency with Adopted Comprehensive Plan

Any effort to be in compliance with federal agencies and provide updated regulations and municipal code for staff to administer to the public is consistent with the comprehensive plan.

Staff Recommendation

The proposed ordinance does not offer additional relief, nor regulations, to property owners. It merely brings our ordinance into compliance with federal agencies. **This item is recommended for approval.**

Routing J&A 6.3.2025

AFFIDAVIT OF PUBLICATION

Lacrosse Tribune
1407 St. Andrew St., La Crosse, WI 54603
(866) 735-5631

Retain this portion for your records. Please do not remit payment until you receive your advertising invoice.

State of Florida, County of Orange, ss:

Ankit Sachdeva, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of Lee Enterprises, publishers of Lacrosse Tribune, a newspaper at, La Crosse, for county of La Crosse, in the state of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published, therein on the dates listed below.

PUBLICATION DATES:

May. 20 2025, May. 27 2025

NOTICE ID: EUTxN7YpuSdNETY1X4Bn

PUBLISHER ID: COL-WI-101179

NOTICE NAME: Zoning Text Change - Floodplain Zoning

Publication Fee: \$115.77

Section: Legals

Category: 0001 Wisconsin Legals

Ankit Sachdeva

(Signed) _____

VERIFICATION

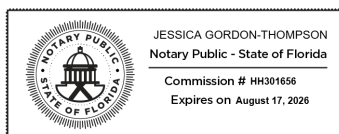
State of Florida
County of Orange

Subscribed in my presence and sworn to before me on this: 05/29/2025

J. Thompson

Notary Public

Notarized remotely online using communication technology via Proof.



NOTICE OF HEARING ON AMENDMENT TO ZONING RESTRICTION

TO WHOM IT MAY CONCERN:
NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to repeal and recreate Chapter 115, Article V, Division 2 Floodplain Zoning, Sections 115-207 through 115-312 of the Code of Ordinances of the City of La Crosse.

The City Plan Commission will meet to consider such application on Monday, June 2, 2025 at 4:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

A public hearing before the Judiciary & Administration Committee will be held on Tuesday, June 3, 2025 at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

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The materials relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 25-0453).

Dated this 28th day of April, 2025
Nikki M. Elsen, City Clerk
City of La Crosse
5/20, 5/27 LAC
COL-WI-101179 WNAXLP



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0506

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Ordinance

Agenda Number:

ORDINANCE NO.: _____

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Local Business District, allowing for an addition to be built onto the tavern at 1017 & 1019 10th St. S.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Subsection 115-110 of the Code of Ordinances of the City of La Crosse is hereby amended by transferring certain property from the Single Family Residence District to the Local Business District on the Master Zoning Map, to-wit:

Tax Parcel 17-50252-70; 1017 & 1019 10th St. S

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:

PETITION FOR CHANGE TO ZONING
CITY OF LA CROSSE

AMENDMENT OF ZONING DISTRICT BOUNDARIES

Petitioner (name and address):

STEVE SCHLICHT - OWNER S&S FRAMING 729 LA CROSSE ST.

Owner of site (name and address):

MATTHEW VAN RIPER Bonnie Van Riper

Address of subject premises:

1017 - 1019 SOUTH 10th STREET, LA CROSSE

Tax Parcel No.:

17-50252-070

Legal Description (must be a recordable legal description; see Requirements):

SEE ATTACHED PAGE LABELED
LEGAL DESCRIPTION ADDENDUM

Zoning District Classification:

R-1 Single Family

Proposed Zoning Classification:

C-1 LOCAL BUSINESS

Is the property located in a floodway/floodplain zoning district?

☐ Yes ☒ No

Is the property/structure listed on the local register of historic places?

☐ Yes ☒ No

Is the Rezoning consistent with Future Land Use Map of the Comprehensive Plan?

☒ Yes ☐ No

Is the Rezoning consistent with the policies of the Comprehensive Plan?

☒ Yes ☐ No

Property is Presently Used For:

TAILGATORS TAVERN WITH APARTMENT ABOVE

Property is Proposed to be Used For:

TAILGATORS TAVERN WITH APARTMENT ABOVE

Proposed Rezoning is Necessary Because (Detailed Answer):

THIS PROPERTY IS ALREADY A LOCAL BUSINESS
AND HAS BEEN FOR MANY YEARS

Proposed Rezoning will not be Detrimental to the Neighborhood or Public Welfare Because (Detailed Answer):

THIS PROPERTY HAS BEEN HERE FOR MANY YEARS
AND WILL CONTINUE TO OPERATE THE SAME

Proposed Rezoning will not be Detrimental to the City's Long Range Comprehensive Plan Goals, Objectives, Actions and Policies Because (Detailed Answer):

THE PLANS ARE TO ADD ON AN ADDITION FOR
MORE SEATING AND 1 HANDICAP BATHROOM AND

THE ZONING SHOULD ALREADY BE C-1 LOCAL BUSINESS

The undersigned depose and state that I/we am/are the owner of the property involved in this petition and that said property was purchased by me/us on the 22nd day of MAY, 2015.

I hereby certify that I am the owner or authorized agent of the owner (include affidavit signed by owner) and that I have read and understand the content of this petition and that the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



(signature)

608-385-2188

(telephone)

4-15-25

(date)

MattVanRiper@gmail.com

(email)

PETITIONER SHALL, BEFORE FILING, HAVE PETITION REVIEWED AND INFORMATION VERIFIED BY THE DIRECTOR OF PLANNING & DEVELOPMENT.

Review was made on the 15th day of May, 2025.

Signed: 
Director of Planning & Development

AFFIDAVIT

STATE OF)
COUNTY OF) ss
)

The undersigned, MATTHEW VAN RIPER, being duly sworn states:

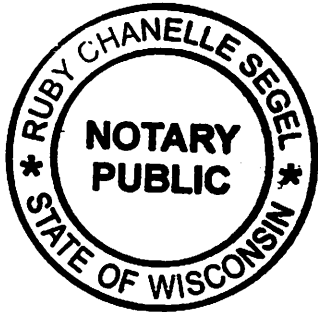
1. That the undersigned is an adult resident of the City of LA CROSSE, State of WISCONSIN.
2. That the undersigned is (one of the) legal owner(s) of the property located at 1017-1019 S. 10th ST
3. By signing this affidavit, the undersigned authorizes the application for a conditional use permit/district change or amendment (circle one) for said property.

REZONING

[Signature]
Property Owner

Subscribed and sworn to before me this 15th day of April, 2025

[Signature]
Notary Public
My Commission expires 06/17/2028



[Faint, illegible handwritten text]





State Bar of Wisconsin Form 1-2003
WARRANTY DEED

Document Number

Document Name

THIS DEED, made between Tailgators Properties LLP, a Wisconsin limited liability partnership

____ ("Grantor," whether one or more),
and Bonnie Van Riper

____ ("Grantee," whether one or more).
Grantor, for a valuable consideration, conveys to Grantee the following described real estate, together with the rents, profits, fixtures and other appurtenant interests, in La Crosse County, State of Wisconsin ("Property") (if more space is needed, please attach addendum):

****SEE ATTACHED LEGAL DESCRIPTION ADDENDUM**

1657045

LACROSSE COUNTY
REGISTER OF DEEDS
CHERYL A. MCBRIDE

RECORDED ON
06/01/2015 02:27PM
REC FEE: 30.00
TRANSFER FEE: 282.00
EXEMPT #:
PAGES: 2

#198
Recording Area

Name and Return Address

New Castle Title
750 N 3rd Street, Suite B
La Crosse, WI 54601

80743

17-50252-070

Parcel Identification Number (PIN)

This is not homestead property.
(is) (is not)

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except: easements, restrictions & highway deeds of record, municipal & zoning ordinances & agreements entered into under them, recorded plat, building & use restrictions & covenants & except lands sold, taken or used for road or highway purposes.

Dated May 22, 2015

TAILGATORS PROPERTIES, LLP

By: Joseph S. Olson (SEAL)

By: Matthew Van Riper (SEAL)

By: Karen L. Olson (SEAL)

AUTHENTICATION

Signature(s) _____

authenticated on _____

TITLE: MEMBER STATE BAR OF WISCONSIN
(If not, _____
authorized by Wis. Stat. § 706.06)

THIS INSTRUMENT DRAFTED BY:

Attorney Darla A. Krzoska
Bosshard Parke Ltd.

ACKNOWLEDGMENT

STATE OF WISCONSIN

La Crosse COUNTY

Dawn Faherty
Notary Public
State of Wisconsin

Personally came before me on May 22, 2015
the above-named Joseph S. Olson & Karen L. Olson & Matthew Van Riper
to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

My Commission (is permanent) (expires: 3-10-18)

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.
WARRANTY DEED © 2003 STATE BAR OF WISCONSIN FORM NO. 1-2003
* Type name below signatures.

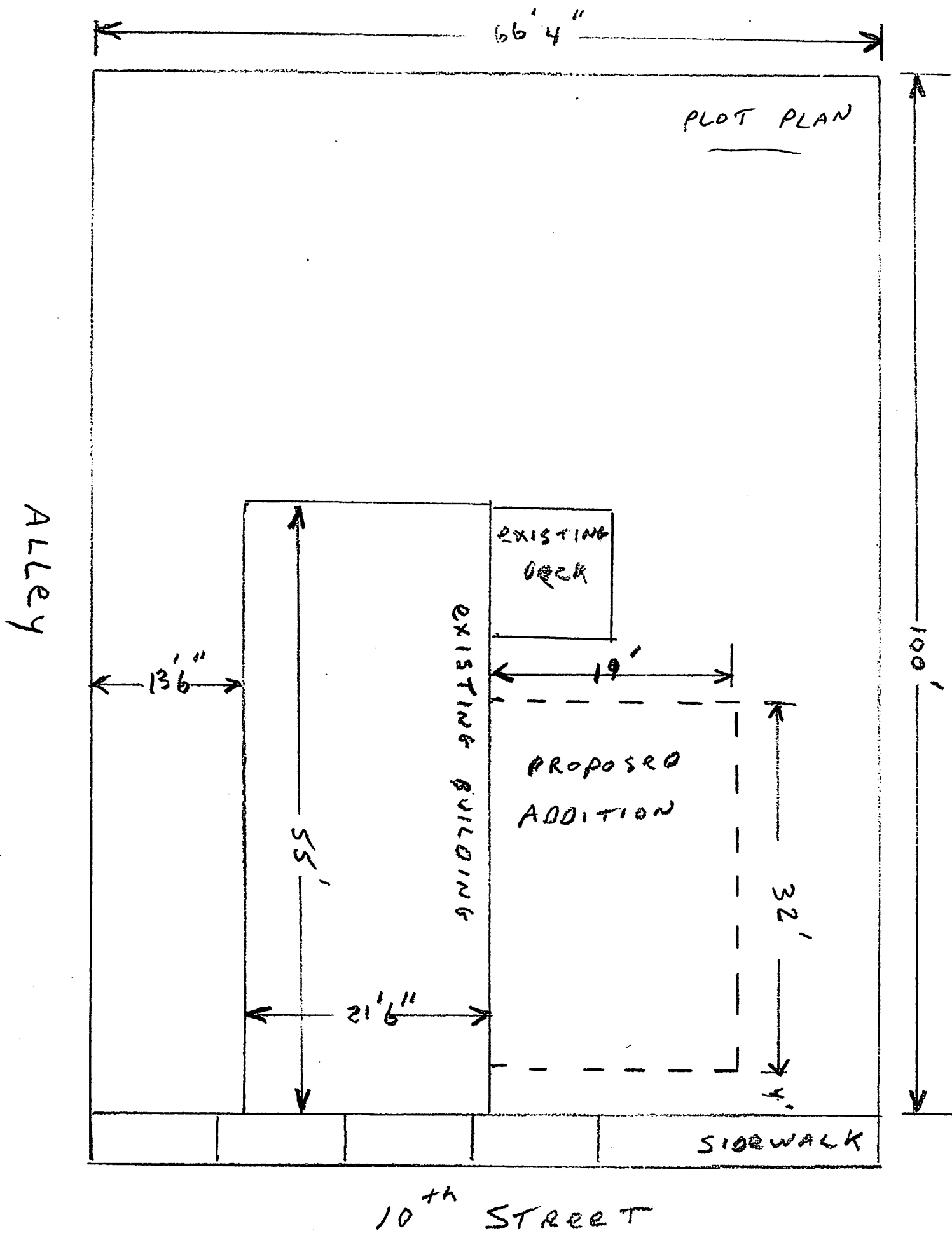
Legal Description Addendum

Primary Grantor:
TAILGATORS PROPERTIES, LLP

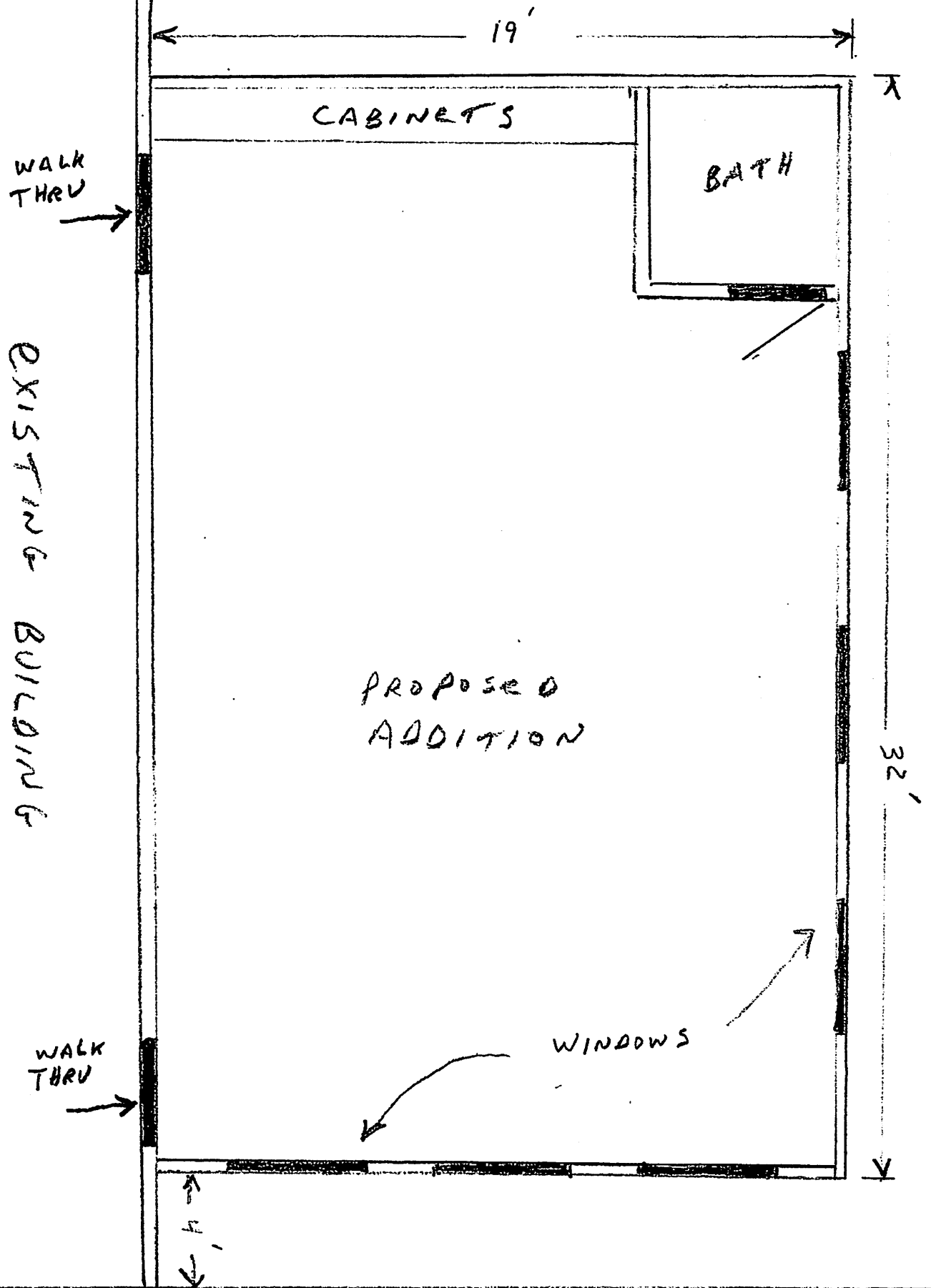
Primary Grantee:
VAN RIPER, Bonnie

Property Address:
1017 & 1019 10th Street South, La Crosse, Wisconsin

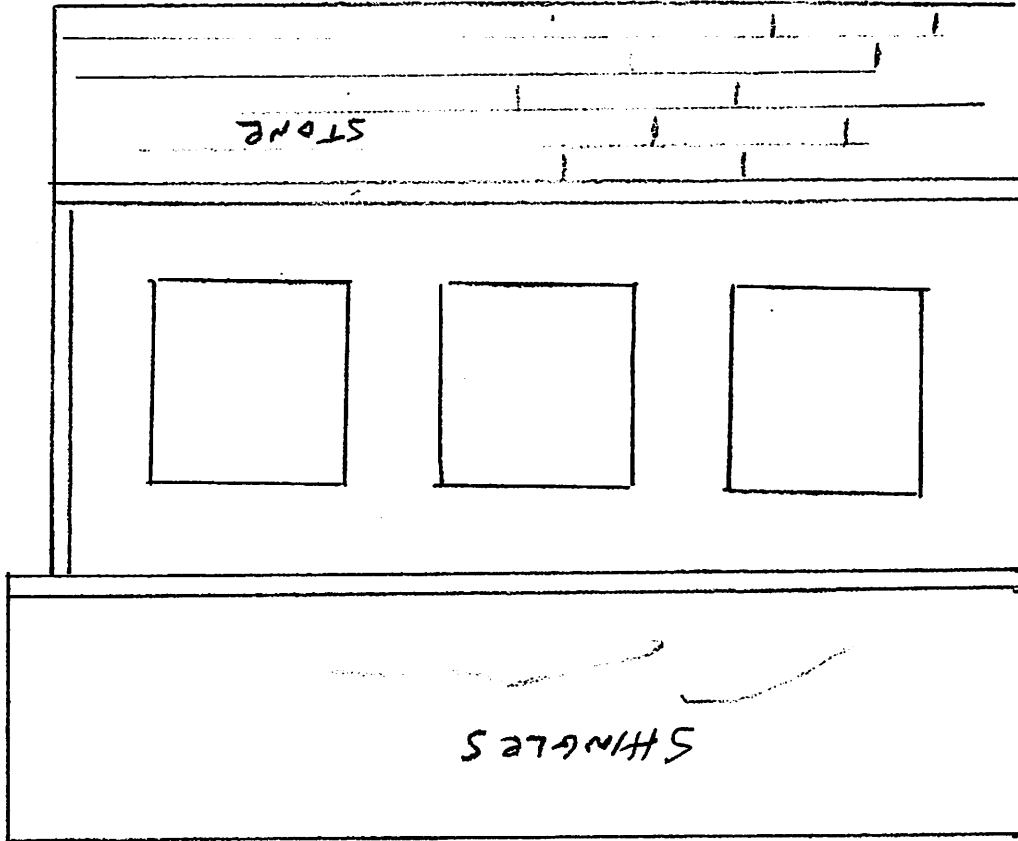
That part of the East 2 acres of the West 5 acres of the North 8 acres of the SE 1/4 of the SW 1/4 of Section 5, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin, described as follows: Commencing at the Northwest corner of Lot 6 in Block 1 of Simonton's Addition to La Crosse, on the East line of 10th Street and the point of beginning of this description: Thence East along the North line of said Lot 6 and Lot 5 in said Block 1 of Simonton's Addition, 100 feet, more or less, to the Northeast corner of said Lot 5; thence North parallel with the East line of said 10th Street, 66 1/3 feet, more or less, to the South line of an alley (the South line of said alley being 167 feet South of the South line of Jackson Street); thence West, along the South line of said alley, parallel with the North line of said Lots 5 and 6 of said Simonton's Addition, 100 feet, more or less, to the East line of 10th Street; thence South, along said East line 66 1/3 feet to the point of beginning.



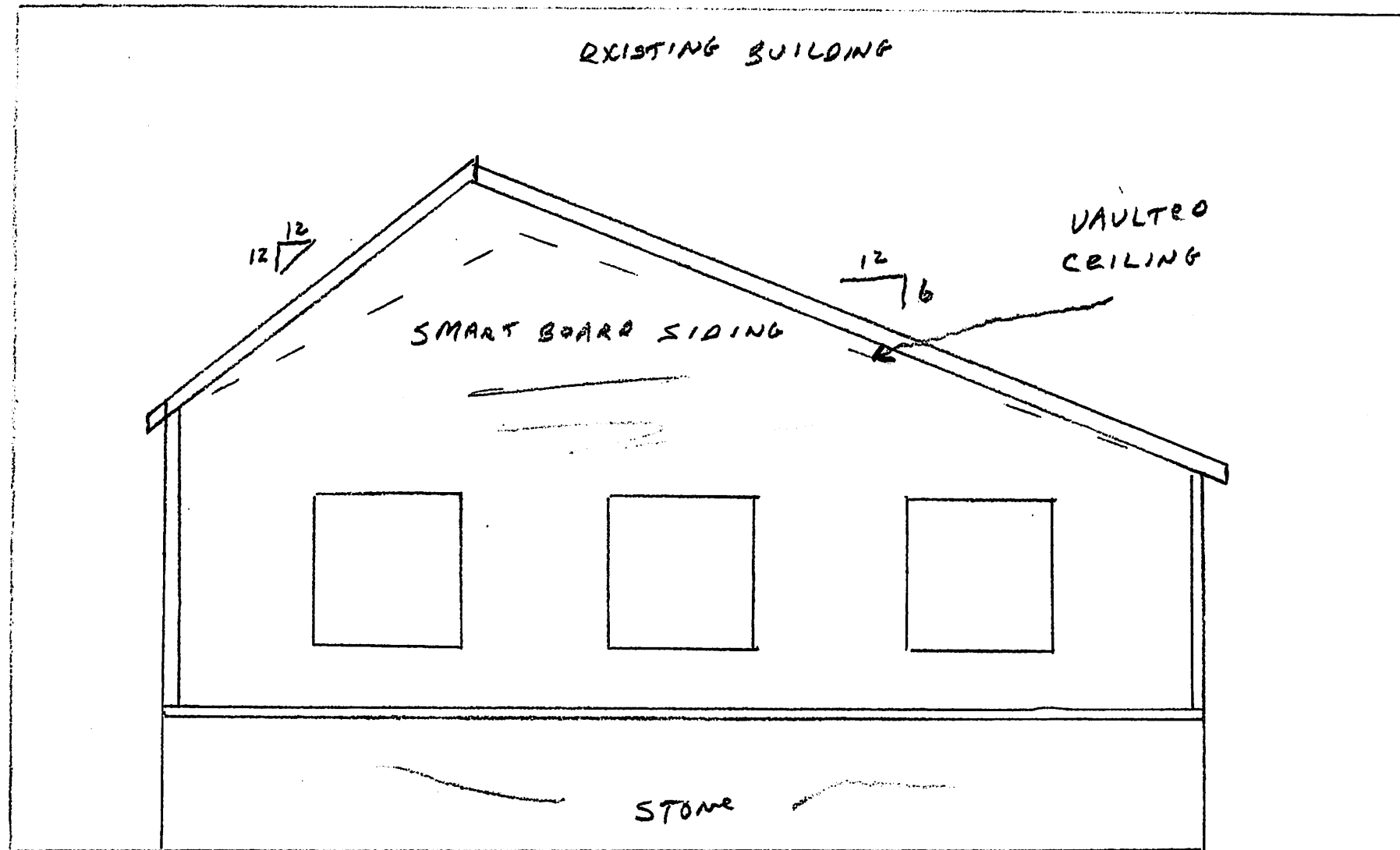
FLOOR PLAN
 $\frac{1}{4}'' = 1'$



EXISTING
BUILDING



FRONT ELEVATION

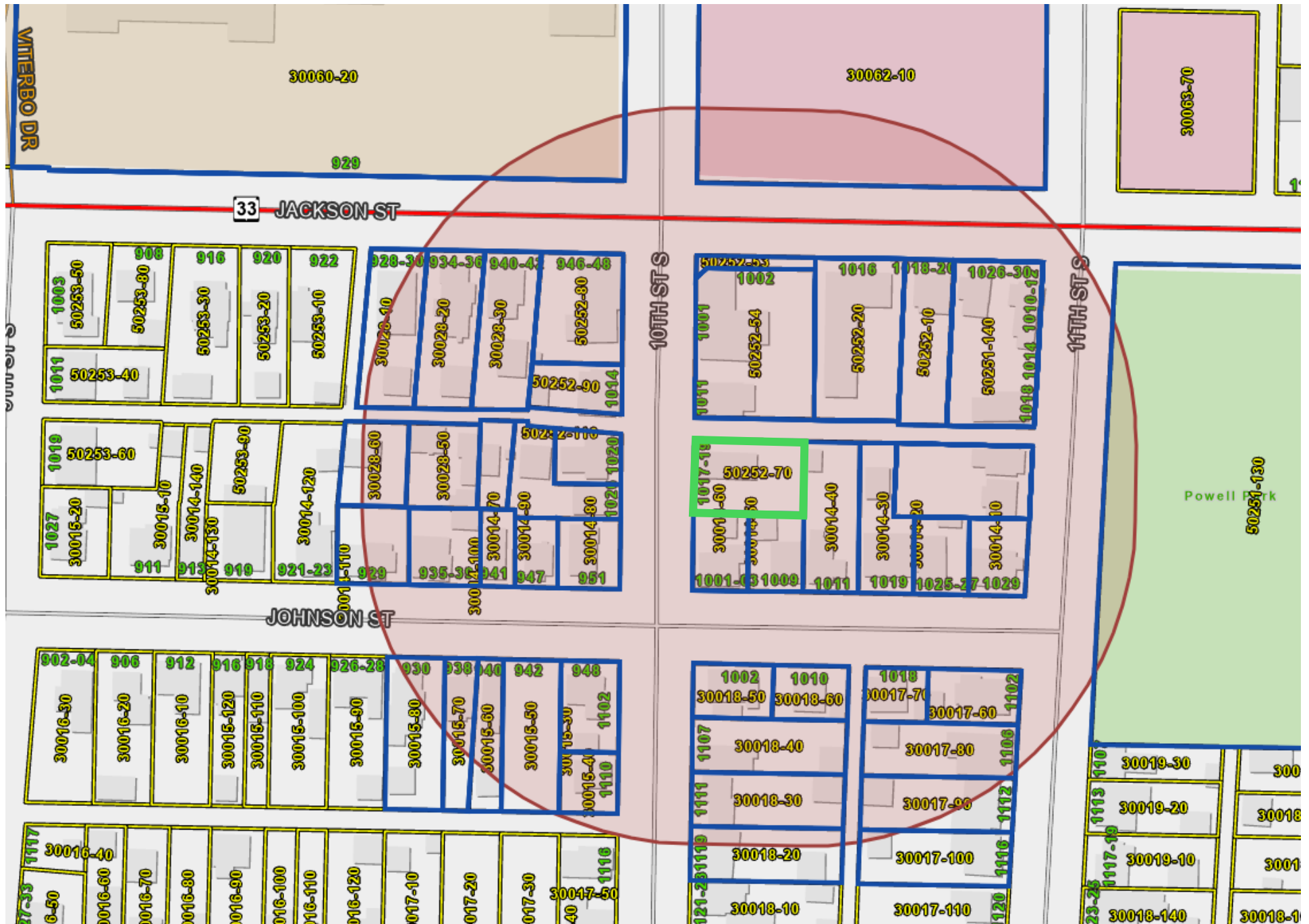


Tax Parcel	OwnerName	Property Address	Mailing Address	Mail City State Zip
17-30018-30	BART J BRULEY	1111 10TH ST S	1111 10TH ST S	LA CROSSE WI 54601
17-30014-50	BEN LEPKE	1009 JOHNSON ST	1009 JOHNSON ST	LA CROSSE WI 54601-5558
17-50252-54	CARSON REAL ESTATE LLC	1001 & 1011 10TH ST S		
17-50252-110	CHASE R BRAUN	1002 JACKSON ST	W2880 SHOREWOOD CT	WEST SALEM WI 54669
17-50251-130	CITY OF LACROSSE	1020 10TH ST S	1020 10TH ST S	LA CROSSE WI 54601-5503
17-50252-53	CITY OF LACROSSE	1002 WEST AVE S	400 LA CROSSE ST	LA CROSSE WI 54601
17-30018-20	DANIEL J LENZ	JACKSON ST	400 LA CROSSE ST	LA CROSSE WI 54601
17-30014-90	DAVID R JOHNSON, WENDY L C JOHNSON	1119 10TH ST S	1119 10TH ST S	LA CROSSE WI 54601-5578
17-50252-100	DAVID R JOHNSON, WENDY L C JOHNSON	947 JOHNSON ST	947 JOHNSON ST	LA CROSSE WI 54601-5559
17-50252-20	DOUBLE TAP VENTURES LLC	1026 10TH ST S	947 JOHNSON ST	LA CROSSE WI 54601-5559
17-50251-140	DRIFTLESS REAL ESTATE LLC	1016 JACKSON ST	310 23RD ST N	LA CROSSE WI 54601
17-30062-10	FRANCISCAN SKEMP MEDICAL CENTER INC	1010, 1012, 1014, 1018 11TH ST S		
17-30015-60	GREGORY KOCH	1026, 1028, 1030 JACKSON ST	1016 25TH ST S	LA CROSSE WI 54601
17-30015-30	GREGORY C IMGRUND	930 11TH ST S	700 WEST AVE S	LA CROSSE WI 54601
17-30017-70	HEIDI L JOHNSON	940 JOHNSON ST	940 JOHNSON ST	LA CROSSE WI 54601-5506
17-50252-80	JACOB BEAL	1102 10TH ST S		
17-50252-10	JACQUELINE M BECKER, HENRY A BECKER JR	948 JOHNSON ST	1102 10TH ST S	LA CROSSE WI 54601
17-30014-30	JANICE I GAUSTAD, CRYSTAL L HOERITZ	1018 JOHNSON ST	1018 JOHNSON ST	LA CROSSE WI 54601-5523
17-30014-10	JENIFER A BAHR, ERIC J BAHR	946 & 948 JACKSON ST	1212 MARKET ST	LA CROSSE WI 54601-4810
17-30017-100	JERRY M SCHULZE TRUST, MICHELLE M SCHULZE TRUST	1018 & 1020 JACKSON ST	PO BOX 674	RUSHFORD MN 55971-0674
17-30014-100	JLG PROPERTIES RENTALS LLC	1019 JOHNSON ST	1019 JOHNSON ST	LA CROSSE WI 54601-5558
17-30028-50	JLG PROPERTIES RENTALS LLC	1029 JOHNSON ST	1029 JOHNSON ST	LA CROSSE WI 54601-5558
17-30028-10	JOHN SHEPPARD PROPERTIES LLC	1116 11TH ST S	N9423 STATE ROAD 108	MELROSE WI 54642-8259
17-30015-80	JOSEPH M HEIMAN, ELIZABETH A HICKEY	937 & 939 JOHNSON ST	PO BOX 3695	LA CROSSE WI 54602
17-30015-70	LACROSSE PROPERTY MANAGEMENT LLC	JLG PROPERTIES RENTALS LLC		
17-30014-110	MARIE ELLEN METZ	935 JOHNSON ST	PO BOX 3695	LA CROSSE WI 54602
17-30028-60	MARIE ELLEN METZ	928 & 930 JACKSON ST	3210 STATE RD	LA CROSSE WI 54601
17-30014-60	MARIE L SCHROEDER	930 JOHNSON ST	413 R STEPHAN PL	ONALASKA WI 54650
17-30018-60	MATTHEW M SCHMIDT, AMY JO SCHMIDT	938 JOHNSON ST	W4233 TOWER LN	LA CROSSE WI 54601
17-30018-40	MCKENNA A TIMM	929 JOHNSON ST	929 JOHNSON ST	LA CROSSE WI 54601-5559
17-30015-50	MEGAN L TREU, SPENCER P TREU	929 JOHNSON ST	929 JOHNSON ST	LA CROSSE WI 54601-5559
17-30018-50	MICHAEL A SEVALLIUS, KATHLEEN M SEVALLIUS	1001 & 1003 JOHNSON ST	1001 JOHNSON ST	LA CROSSE WI 54601-5558
17-30014-70	MIKE MICHAELS HOLDINGS LLC	1010 JOHNSON ST	3177 28TH ST S	LA CROSSE WI 54601-7667
17-30028-40	MIKE MICHAELS HOLDINGS LLC	1107 10TH ST S	1107 10TH ST S	LA CROSSE WI 54601-5578
17-30017-90	RWR PROPERTIES LLC	942 JOHNSON ST	942 JOHNSON ST	LA CROSSE WI 54601-5506
17-30014-20	SAMANTHA FINK	1002 JOHNSON ST	1002 JOHNSON ST	LA CROSSE WI 54601-5523
17-30014-40	STEVEN J SCHROEDER, CHRISTINE M SCHROEDER	941 JOHNSON ST	943 FARNAM ST	LA CROSSE WI 54601
17-30028-20	STEVEN M SCHLICHT	1112 11TH ST S	1400 PINE ST	ONALASKA WI 54650
17-30028-30	STEVEN M SCHLICHT	1025 & 1027 JOHNSON ST	204 PINE ST N	CALEDONIA MN 55921-1255
17-50252-90	THOMAS HASS, VICKI L HASS	1011 JOHNSON ST	1011 JOHNSON ST	LA CROSSE WI 54601-5558
17-30017-60	TROY D PELLOWSKI, MELISSA A PELLOWSKI	934 & 936 JACKSON ST	1910 31ST ST S	LA CROSSE WI 54601-6917
17-30015-40	TYLER J GINDT	940 & 942 JACKSON ST	1910 31ST ST S	LA CROSSE WI 54601-6917
17-30014-80	VERCRUISSE VENTURES LLC	1014 10TH ST S	1014 10TH ST S	LA CROSSE WI 54601-5503
17-30060-20	VITERBO UNIVERSITY INC	1102 11TH ST S	W5813 KOSS RD	ONALASKA WI 54650
17-30017-80	XUE YANG	1110 10TH ST S	1110 10TH ST S	LA CROSSE WI 54601-5504
		951 JOHNSON ST	W6918 WOLFE RD	HOLMEN WI 54636
		815 VITERBO CT, 816 10TH ST S, 929 JACKSON ST,		
		936 & 940 FRANCISCAN WAY	900 VITERBO DR	LA CROSSE WI 54601
		1106 11TH ST S	1106 11TH ST S	LA CROSSE WI 54601-5537

Properties within 300 feet of 1017-1019 10th St S.

Applicant:	S & S FRAMING	729 LA CROSSE ST	LA CROSSE WI 54601
Property Owners:	MATTHEW & BONNIE VANRIPER	632 GAIL AVE	ONALASKA WI 54650

1017-1019 10th ST S



**NOTICE OF HEARING ON
AMENDMENT TO ZONING RESTRICTION**

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Local Business District, allowing for an addition to be built onto the tavern at 1017 & 1019 10th St. S.

Property is presently: a tavern with apartment on the second floor

Property is proposed to be: a tavern with apartment on second floor

Rezoning is necessary: to continue to use the property as a tavern with apartment on the second floor

Tax Parcel 17-50252-70; 1017 & 1019 10th St. S

The City Plan Commission will meet to consider such application on **Monday, June 2, 2025, at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

A public hearing before the Judiciary & Administration Committee will be held on **Tuesday, June 3, 2025, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the **Common Council** on **Thursday, June 12, 2025, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The petition and/or maps relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 25-0506).

Dated this 2nd day of May, 2025.

Nikki M. Elsen, City Clerk
City of La Crosse

Published: May 20 & 27, 2025
One (1) Affidavit

CITY CLERK

400 LA CROSSE ST
LA CROSSE WI 54601

RETURN SERVICE REQUESTED



JLG PROPERTIES RENTALS LLC
DBA JLG PROPERTIES
PO BOX 3695
LA CROSSE WI 54602

Presort
First Class Mail
ComBasPrice



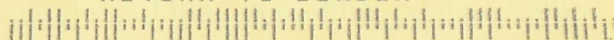
US POSTAGE PAID PITNEY BOWES



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553 NFE 1537C23I0005/09/25
FORWARD TIME EXP RTN TO SEND
JLG PROPERTIES
1325 N 3RD AVE
STURGEON BAY WI 54235-2391

RETURN TO SENDER



INT
68 DRCIN 546054694

CITY CLERK

400 LA CROSSE ST
LA CROSSE WI 54601

RETURN SERVICE REQUESTED

Presort
First Class Mail
ComBasPrice



US POSTAGE and PITNEY BOWES



ZIP 54601 \$ 000.62²
02 1W
0001399329 MAY 06 2025

RWR PROPERTIES LLC
1400 PINE ST
ONALASKA WI 54650

NTXTE 552 DE 1537 0005/12/25

RETURN TO SENDER
NO SUCH NUMBER
UNABLE TO FORWARD

BC: 54601337400 *2878-00349-12-24



68 DRCIN 18 64550
NSN
546013374

212

CITY CLERK

400 LA CROSSE ST
LA CROSSE WI 54601

RETURN SERVICE REQUESTED



GREGORY KOCH
940 JOHNSON ST
LA CROSSE WI 54601

Presort
First Class Mail
ComBasPrice



US POSTAGE PAID PITNEY BOWES

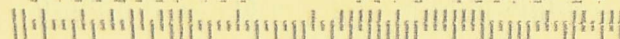


ZIP 54601 \$ 000.62²
02 1W
0001399329MAY 06 2025

NIXIE 553 DE 1537 0005/14/25

RETURN TO SENDER
NO MAIL RECEPTACLE
UNABLE TO FORWARD

BC: 54601337400 *0378-08378-14-19



74 DRCIN 118 54601
NWR
546013374

213

Agenda Item 25-0506: (Lewis Kuhlman)

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single-Family Residence District to the Local Business District, allowing for an addition to be built onto the tavern at 1017 & 1019 10th St. S.

General Location

District 8, Powell Pougé Hamilton Neighborhood, half a block south of Jackson St on 10th St S as depicted in Map 25-0506. Adjacent land uses include a pub, and single- and multi-unit residences.

Background Information

The applicant intends to add to the building to increase the tavern's capacity from 40 to up to 80 people. The tavern is a legal nonconforming use, meaning the use was in place before it was zoned residential. However, the owner would not be allowed to expand the use under the current zoning, so it must be rezoned. Rezoning has the potential to increase the property's value and create jobs. The upper-floor apartment would remain. The tavern is mostly neighborhood-oriented and is served by several on-street angled parking spots. It primarily serves alcohol but does sell some snacks and pizza.

Recommendation of Other Boards and Commissions

The addition will require design review.

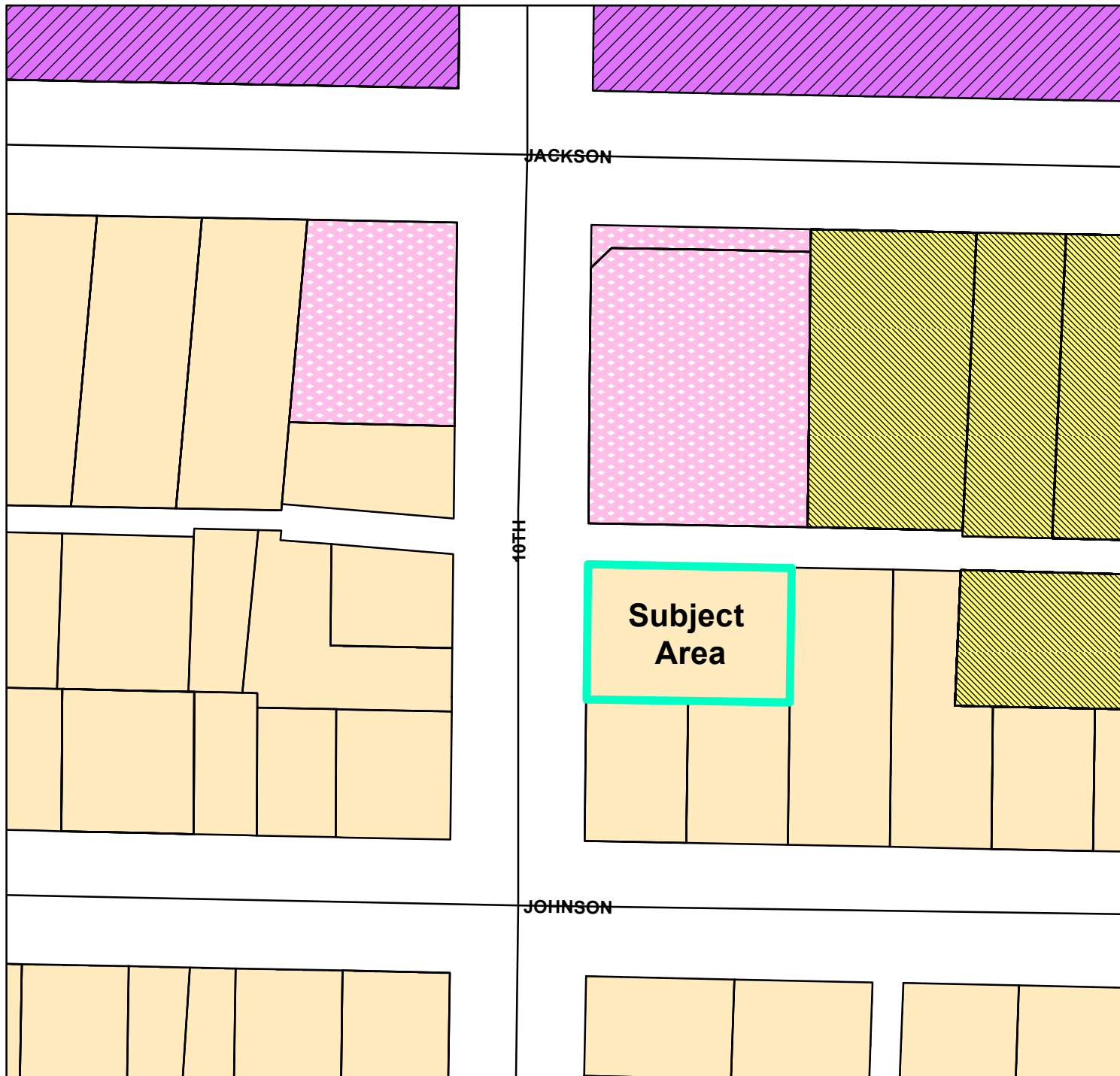
Consistency with Adopted Comprehensive Plan

Neighborhood commercial and low-intensity mixed use is a desirable use in this neighborhood.

Staff Recommendation

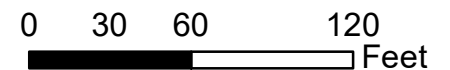
Approval – This use is consistent with the comprehensive plan. The addition would allow the tavern to serve more group gatherings and improve restroom accessibility.

Routing J&A 6.3.25



BASIC ZONING DISTRICTS

- R1 - SINGLE FAMILY
- R2 - RESIDENCE
- WR - WASHBURN RES
- R3 - SPECIAL RESIDENCE
- R4 - LOW DENSITY MULTI
- R5 - MULTIPLE DWELLING
- R6 - SPECIAL MULTIPLE
- PD- PLANNED DEVELOP
- TND - TRAD NEIGH DEV.
- C1 - LOCAL BUSINESS
- C2 - COMMERCIAL
- C3 - COMMUNITY BUSINESS
- M1 - LIGHT INDUSTRIAL
- M2 - HEAVY INDUSTRIAL
- PS - PUBLIC & SEMI-PUBLIC
- PL - PARKING LOT
- UT - PUBLIC UTILITY
- CON - CONSERVANCY
- FW - FLOODWAY
- A1 - AGRICULTURAL
- EA - EXCLUSIVE AG
- City Limits
- SUBJECT PROPERTY



AFFIDAVIT OF PUBLICATION

Lacrosse Tribune
1407 St. Andrew St., La Crosse, WI 54603
(866) 735-5631

Retain this portion for your records. Please do not remit payment until you receive your advertising invoice.

State of Florida, County of Orange, ss:

Ankit Sachdeva, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of Lee Enterprises, publishers of Lacrosse Tribune, a newspaper at, La Crosse, for county of La Crosse, in the state of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published, therein on the dates listed below.

PUBLICATION DATES:

May. 20 2025, May. 27 2025

NOTICE ID: 8JM0YBqRHPYbgsdu1kJP

PUBLISHER ID: COL-WI-101192

NOTICE NAME: Rezoning - 1017 & 1019 10th St S

Publication Fee: \$149.63

Section: Legals

Category: 0001 Wisconsin Legals

Ankit Sachdeva

(Signed) _____

VERIFICATION

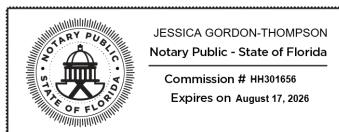
State of Florida
County of Orange

Subscribed in my presence and sworn to before me on this: 05/29/2025

J. Tra

Notary Public

Notarized remotely online using communication technology via Proof.



NOTICE OF HEARING ON AMENDMENT TO ZONING RESTRICTION

TO WHOM IT MAY CONCERN:
NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Local Business District, allowing for an addition to be built onto the tavern at 1017 & 1019 10th St. S.

Property is presently: a tavern with apartment on the second floor

Property is proposed to be: a tavern with apartment on second floor

Rezoning is necessary: to continue to use the property as a tavern with apartment on the second floor

Tax Parcel 17-50252-70; 1017 & 1019 10th St. S

The City Plan Commission will meet to consider such application on Monday, June 2, 2025, at 4:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

A public hearing before the Judiciary & Administration Committee will be held on Tuesday, June 3, 2025, at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the Common Council on Thursday, June 12, 2025, at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The petition and/or maps relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 25-0506).

Dated this 2nd day of May, 2025.
Nikki M. Elsen, City Clerk
City of La Crosse
5/20, 5/27 LAC
COL-WI-101192 WNAXLP



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0526

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Ordinance

Agenda Number:

ORDINANCE NO.: _____

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Residence District to the Public & Semi-Public District, allowing for the construction of a new elementary school at 803 & 807 East Ave. S. and 1739 Winnebago St.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Subsection 115-110 of the Code of Ordinances of the City of La Crosse is hereby amended by transferring certain property from the Residence District to the Public & Semi-Public District on the Master Zoning Map, to-wit:

Tax Parcel 17-50250-60; 803 East Ave. S.

Tax Parcel 17-30206-10; 807 East Ave. S.

Tax Parcel 17-30230-120; 807 East Ave. S.

Tax Parcel 17-50250-61; 807 East Ave. S.

Tax Parcel 17-50241-70; 1739 Winnebago St.

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:

PETITION FOR CHANGE TO ZONING
CITY OF LA CROSSE

AMENDMENT OF ZONING DISTRICT BOUNDARIES

Petitioner (name and address):

School District of La Crosse - Joe Ledvina, Director of Facilities

Owner of site (name and address):

School District of La Crosse

Address of subject premises:

807 East Avenue South -1739 Winnabago, 803 East Ave

Tax Parcel No.: 17-50241-70, 17-50250-60, 17-30230-120, 17-50250-61, 17-30206-010

Legal Description (must be a recordable legal description; see Requirements):

SEE ATTACHED

Zoning District Classification: R2 - Residence Zone

Proposed Zoning Classification: Public & Semi Public Zone -PS

Is the property located in a floodway/floodplain zoning district? ☐ Yes ☒ No

Is the property/structure listed on the local register of historic places? ☐ Yes ☒ No

Is the Rezoning consistent with Future Land Use Map of the Comprehensive Plan? ☒ Yes ☐ No

Is the Rezoning consistent with the policies of the Comprehensive Plan? ☒ Yes ☐ No

Property is Presently Used For:

School District of La Crosse - Hogan Administration Center Building

Property is Proposed to be Used For:

School District of La Crosse - New Elementary School Building

Proposed Rezoning is Necessary Because (Detailed Answer):

The existing zoning regulations for the parcel limit the usable space that is needed for the new proposed elementary school building and hinder the developmental needs.

Proposed Rezoning will not be Detrimental to the Neighborhood or Public Welfare Because (Detailed Answer):

Proposed rezoning will allow for a new elementary school building to be constructed and better serve the surrounding community.

Proposed Rezoning will not be Detrimental to the City's Long Range Comprehensive Plan Goals, Objectives, Actions and Policies Because (Detailed Answer):

Proposed rezoning will better align with current and future use of the parcel in conjunction with the Long Range Comprehensive Plan goals and objectives in diversifying land uses within the City, particularly the Public and Semi-Public Zone to better serve surrounding neighborhoods.

The undersigned depose and state that I/we am/are the owner of the property involved in this petition and that said property was purchased by me/us on the _____ day of _____, _____.

I hereby certify that I am the owner or authorized agent of the owner (include affidavit signed by owner) and that I have read and understand the content of this petition and that the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



(signature)

608-789-7627

(telephone)

4-28-25

(date)

jledvina@taacrossed.org

(email)

PETITIONER SHALL, BEFORE FILING, HAVE PETITION REVIEWED AND INFORMATION VERIFIED BY THE DIRECTOR OF PLANNING & DEVELOPMENT.

Review was made on the 1st day of May, 2025.

Signed: 

Director of Planning & Development

LEGAL DESCRIPTION FOR PROPOSED NEW ELEMENTARY SCHOOL SITE:

Being all of Block 8 of Salzer Terrace, a part of the vacated right-of-way of Winnebago Street, a part of the abandoned right-of-way of the former Green Bay and Western Railroad, and a part of the Hogan School Subdivision, located in part of the Northwest 1/4 of the Southwest 1/4 of Section 4, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin.

Commencing at the West 1/4 corner of Section 4, Township 15 North, Range 7 West; thence S 03°02'11" W along the West line of the Southwest 1/4 of said Section 4, 196.31 feet; thence S 88°58'36" E, 25.77 feet to the intersection of the East right-of-way line of East Avenue South and the South right-of-way line of Market Street, said point also being the point of beginning (POB) of the parcel to be described. Thence continuing N 88°58'36" E along said South right-of-way line of Market Street and the North line of Block 8 of Salzer Terrace, 250.19 feet to the Northeast corner of said Block 8 and the intersection of said South right-of-way line and the West right-of-way line of 19th Street South; thence S 00°32'59" W along the East line of said Block 8, the East line of the vacated right-of-way of Winnebago Street, the East line of the vacated alley within Block 8, the East line of the Hogan School Subdivision and said West right-of-way line of 19th Street South, 670.76 feet to the Southeast corner of said Hogan School Subdivision and the intersection of said West right-of-way line and the North right-of-way line of Mississippi Street; thence S 88°57'30" W along the South line of said Hogan School Subdivision and said North right-of-way line, 279.07 feet to the intersection of said North right-of-way line and the East right-of-way line of East Avenue South; thence N 03°00'40" E along said East right-of-way line, 672.26 feet to the point of beginning.



SCHOOL DISTRICT OF LA CROSSE

807 East Avenue South • La Crosse, WI 54601 • 608.789.7628 • Fax: 608.789.7604

April 28, 2025

Dear City Council,

Thank you for considering our petition to rezone the Hogan Administrative site. This project is supported by our community and will dramatically improve our school district and the City.

The School District of La Crosse evaluated the future of our elementary schools starting in February 2023 with the development of a Facility Advisory Committee (FAC). The FAC was a citizen-based group that served in an advisory capacity to the administration and School Board. The FAC made a recommendation to the school board in November of 2023 after eight months of deliberation on how to address the various challenges the school district was facing.

The school board took up the FAC recommendation in January of 2024 and examined a number of ways to accomplish the committee's intent. Ultimately, the school board voted to go to referendum to consolidate three elementary school buildings (Emerson, Spence, and Hintgen) while putting on an addition to State Road Elementary and building a new elementary school at the Hogan Administration site. The goal of this strategy was to minimize the negative impact of closing school buildings by keeping students and staff together as much as possible and choosing sites that maintained the neighborhood accessibility of our elementary schools.

After seven months of outreach to include over 20 community meetings, two district-wide mailings, and extensive media coverage, the community voted 60% in favor of the referendum, a clear mandate from our community to move forward.









This project addresses the long-standing challenges our school faces including declining enrollment, aging buildings, and deficit budgets. This project will take four aging buildings offline and consolidate into two newer buildings. Our average building capacity will rise significantly, resulting in a higher utilization rate and more efficient operations. We will be able to maintain the culture and connectedness of our school community through this plan and keep schools in neighborhoods ensuring our schools are accessible, community assets.

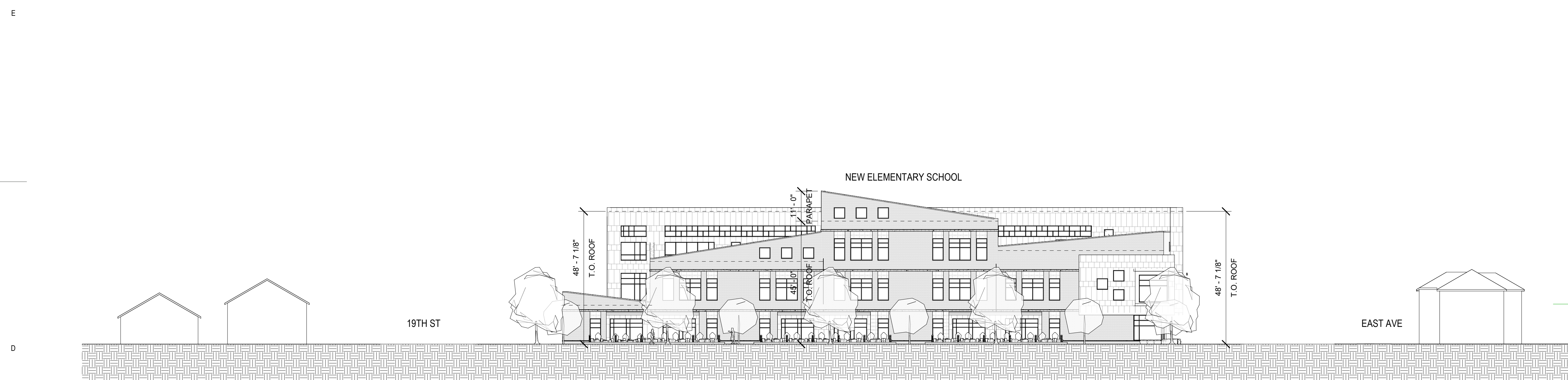
This project will greatly enhance the School District and City of La Crosse. Thank you in advance for your support.

Sincerely,

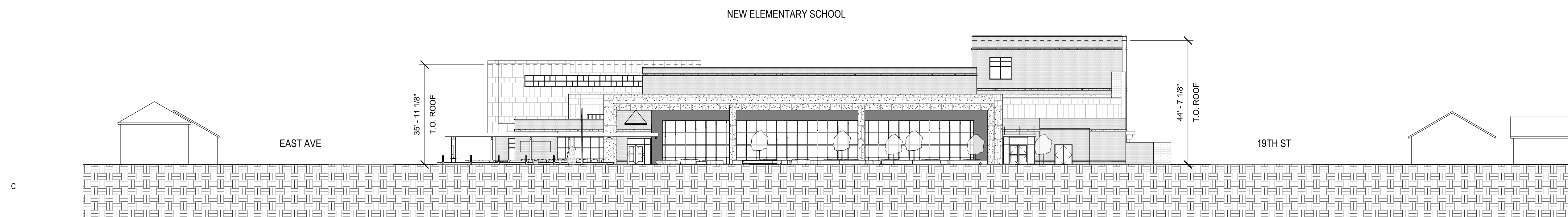
Aaron J. J. Engel, Ph.D.
Superintendent

EXTERIOR MATERIAL LEGEND

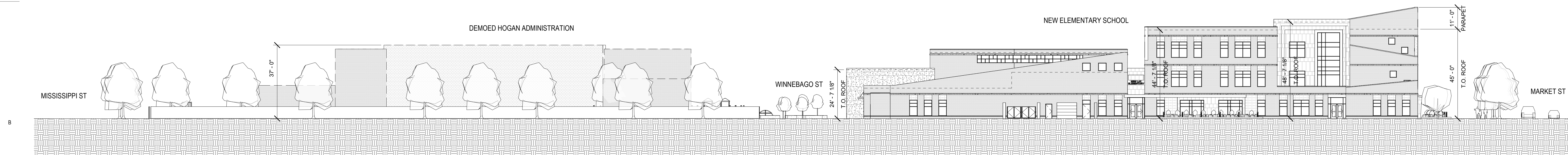
	MWP-1 - METAL WALL PANEL		FB-1 - FACE BRICK
	MWP-2 - METAL WALL PANEL		BMU-1 - BURNISHED MASONRY UNITS
	MWP-3 - METAL WALL PANEL		FCS-1 - FIBER CEMENT REVEAL PANEL SIDING
	MWP-4 - METAL WALL PANEL		STMV-1 - ANCHORED STONE VENEER



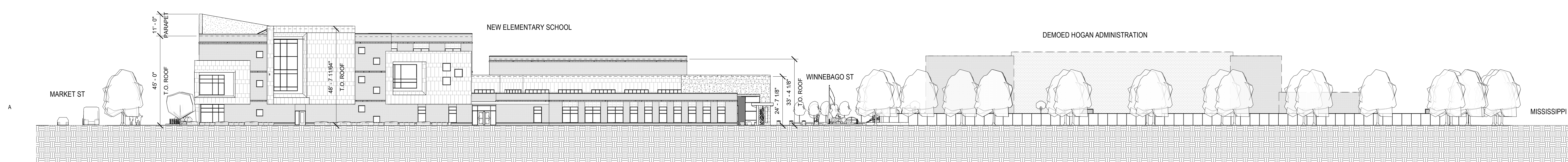
6D OVERALL ELEVATION - MARKET ST
SD0.3 Scale: 3/64" = 1'-0"



6C OVERALL ELEVATION - WINNEBAGO ST
SD0.3 Scale: 3/64" = 1'-0"



6B OVERALL ELEVATION - 9TH ST
SD0.3 Scale: 3/64" = 1'-0"



6A OVERALL ELEVATION - EAST AVE
SD0.3 Scale: 3/64" = 1'-0"



WINNEBAGO ST - EAST AVE



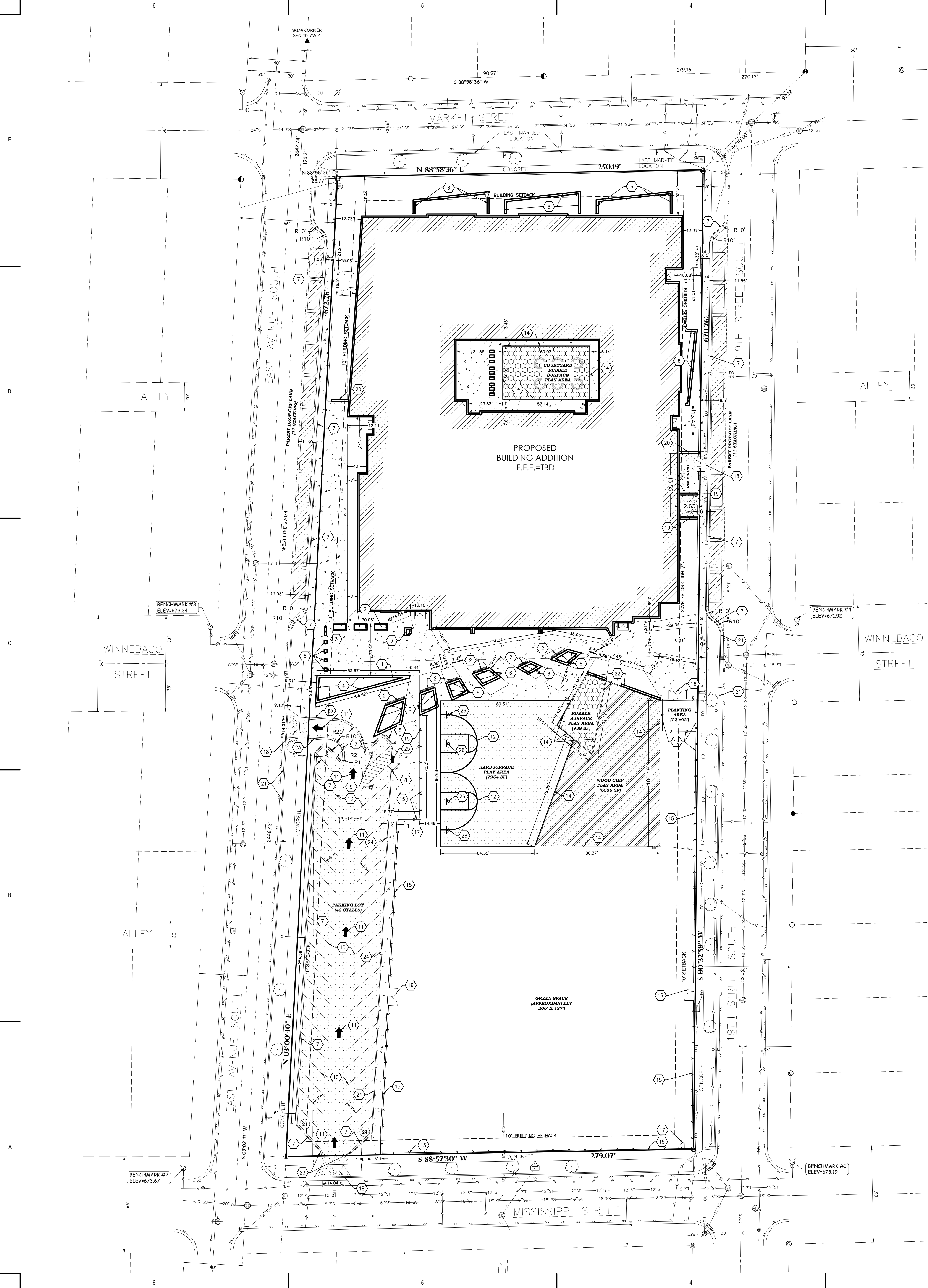
WINNEBAGO ST - 19TH ST



MARKET ST - EAST AVE



MARKET ST - 19TH ST



GENERAL NOTES:

1. CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
7. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
8. PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
9. COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
10. PROVIDE PROPER BARRICADES, SIGNS, AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
11. SIDEWALK JOINTS SHALL BE INSTALLED AS INDICATED OR AS APPROVED BY THE CONSTRUCTION MANAGER.
12. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

- | | |
|---|---|
| 1. FLAG POLE | 15. 6' TALL CHAIN LINK FENCING |
| 2. BENCH | 16. 12' SERVICE GATE |
| 3. CANOPY PILLAR- SEE ARCHITECTURAL PLANS | 17. 4' PEDESTRIAN GATE |
| 4. 8" CONCRETE CURB | 18. DRIVE APRON |
| 5. BOLLARD- SEE ARCHITECTURAL PLANS | 19. DUMPSTER ENCLOSURE- SEE ARCHITECTURAL PLANS |
| 6. 18" PLANTER | 20. ARCHITECTURAL WALL- SEE ARCHITECTURAL PLANS |
| 7. 18" CONCRETE CURB & GUTTER | 21. 6" CONCRETE CURB HEAD |
| 8. ADA PARKING SIGN | 22. 18" SEAT WALL |
| 9. ADA PARKING STALL | 23. 6" CURB HEAD TAPER SECTION |
| 10. PARKING LOT STRIPING | 24. THICKENED EDGE WALK |
| 11. DIRECTIONAL ARROW | 25. ADA CURB RAMP |
| 12. BASKETBALL HOOP | |
| 13. PLAYGROUND STRIPING | |
| 14. PLAY AREA CURBING | |

PAVEMENT HATCH PATTERNS:

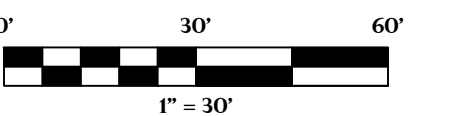
- | | |
|---------------------------------------|--|
| PROPOSED STANDARD ASPHALT PAVEMENT | |
| PROPOSED STANDARD CONCRETE PAVEMENT | |
| PROPOSED REINFORCED CONCRETE PAVEMENT | |
| PROPOSED RUBBER SURFACE PLAY AREA | |
| PROPOSED WOOD CHIP PLAY AREA | |
| PROPOSED PERVIOUS PAVEMENT | |

BENCHMARK:

- ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
- BENCHMARK #1**
NORTHWEST FLANGE BOLT ON HYDRANT, LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF MISSISSIPPI STREET AND 19TH STREET SOUTH. ELEVATION = 673.19.
- BENCHMARK #2**
NORTHEAST FLANGE BOLT ON HYDRANT, LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF MISSISSIPPI STREET AND EAST AVENUE SOUTH. ELEVATION = 673.67.
- BENCHMARK #3**
BURY BOLT ON HYDRANT, LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF 19TH STREET SOUTH AND WINNEBAGO STREET. ELEVATION = 671.92.

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON IN GENERAL. UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS; AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.



SURVEY LEGEND

These standard symbols will be found in the drawing.

- SANITARY SEWER LINE
- APPROXIMATE SANITARY SEWER LINE PER MAPS FROM OTHERS
- STORM SEWER LINE
- OVERHEAD UTILITIES LINE
- BURIED ELECTRIC LINE
- BURIED GAS LINE
- BURIED TELEPHONE LINE
- BURIED WATER LINE
- APPROXIMATE BURIED WATER LINE PER MAPS FROM OTHERS
- BURIED FIBER OPTICS LINE
- CHAIN LINK FENCE LINE (UNLESS NOTED OTHERWISE)
- EDGE OF BITUMINOUS CONTOUR LINE
- RIGHT-OF-WAY LINE
- RIGHT-OF-WAY CENTER LINE
- SECTION LINE
- INTERIOR LOT LINE
- BEARING/DISTANCE TIE LINE

- RECTANGULAR CATCH BASIN
- CIRCULAR CATCH BASIN
- SQUARE CATCH BASIN
- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- UTILITY MANHOLE
- WATER VALVE
- HYDRANT
- WATER FOUNTAIN
- ELECTRIC TRANSFORMER
- LIGHT POLE
- POWER POLE
- GUY WIRE
- GAS METER
- TELEPHONE MANHOLE
- TELEPHONE VAULT
- TELEPHONE PEDESTAL
- FIBER OPTIC VAULT
- FIBER OPTIC MANHOLE
- GUARD POST/BOLLARD
- VENT PIPE
- CLEAN OUT
- CONTROL BOX
- AIR CONDITIONING UNIT
- SIGN
- FLAGPOLE
- BASKETBALL HOOP
- LITTLE FREE LIBRARY
- BUSH/SHRUB
- TREE

- GRAVEL AREA
- LANDSCAPE AREA
- BRICK PAVERS
- WOOD CHIP AREA
- METAL GRATE
- 3/4" x 18" IRON BAR SET
- WEIGHING 1.50 LBS/LIN. FT.
- 1" O.D. IRON PIPE FOUND
- 1-1/4" O.D. IRON PIPE FOUND
- 2" O.D. IRON PIPE FOUND
- 3/4" IRON BAR FOUND
- BERNTSEN NAIL FOUND
- COPPER NAIL FOUND
- HIGHWAY SPIKE FOUND
- SECTION CORNER PER TIES

CLIENT

SCHOOL DISTRICT OF LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WI 54601

BENCH MARK

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
NORTHWEST FLANGE BOLT ON HYDRANT,
LOCATED AT THE NORTHEAST QUADRANT OF THE
INTERSECTION OF MISSISSIPPI STREET AND
19TH STREET SOUTH.
ELEVATION = 673.19

BENCHMARK #2
NORTHEAST FLANGE BOLT ON HYDRANT,
LOCATED AT THE NORTHWEST QUADRANT OF THE
INTERSECTION OF MISSISSIPPI STREET AND
EAST AVENUE SOUTH.
ELEVATION = 673.67

BENCHMARK #3
NORTHWEST FLANGE BOLT ON HYDRANT,
LOCATED AT THE NORTHWEST CORNER OF THE
INTERSECTION OF EAST AVENUE SOUTH AND
WINNEBAGO STREET.
ELEVATION = 673.34

BENCHMARK #4
BOLT ON HYDRANT,
LOCATED AT THE NORTHEAST CORNER OF THE
INTERSECTION OF 19TH STREET SOUTH AND
WINNEBAGO STREET.
ELEVATION = 671.92

Preliminary
Pending P.L.S. Review

BASIS OF BEARINGS

THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 4,
TOWNSHIP 15 NORTH, RANGE 7 WEST, BEARS
S 03°02'11" W AS REFERENCED TO THE
LA CROSSE COUNTY COORDINATE SYSTEM, NAD83 (2011).

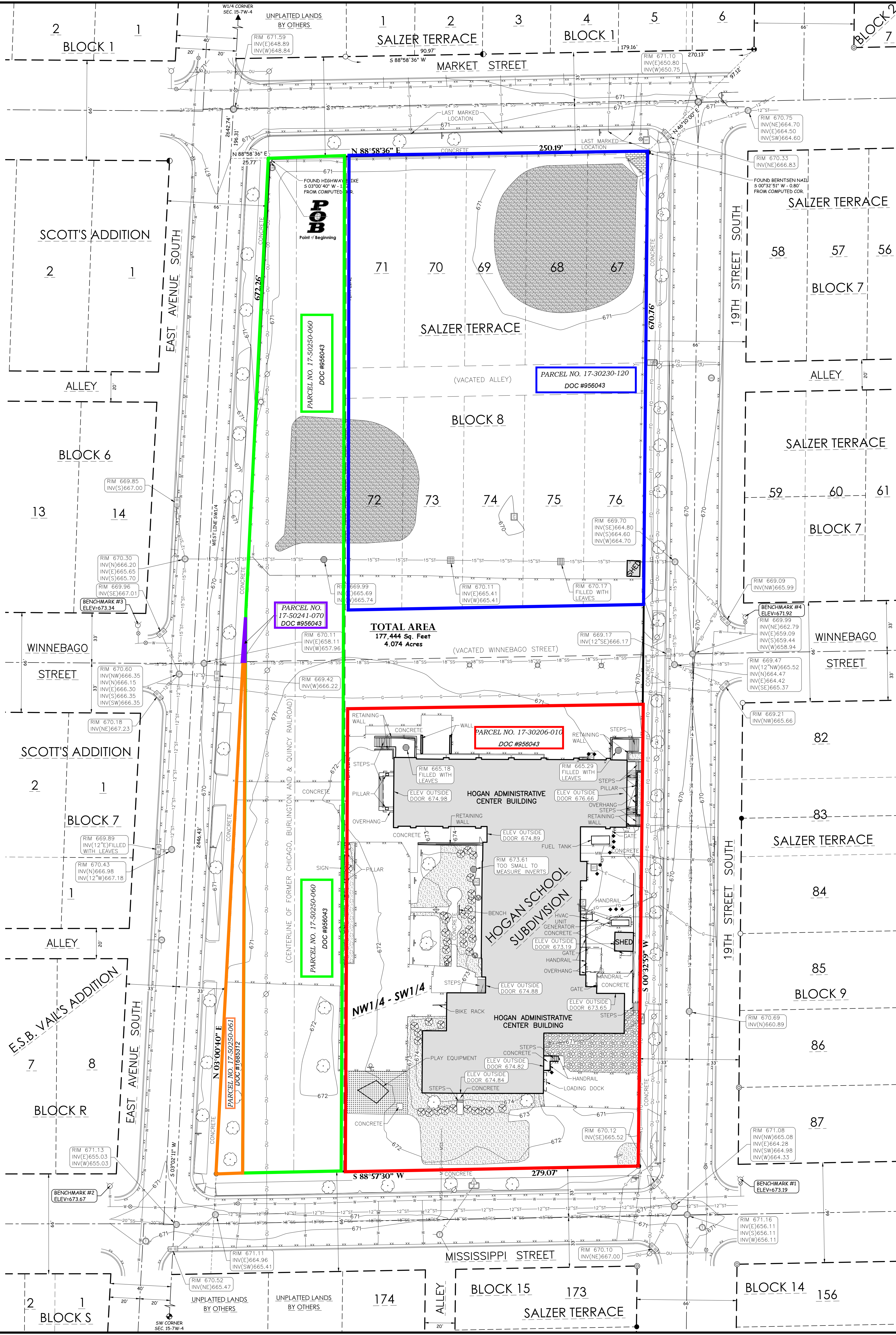
UTILITY DISCLAIMER

The locations of all above ground utilities and appurtenances (i.e. manhole rim, valve box covers, hydrants, transformers, etc.) of which can be visually inspected, are shown herein based on actual surveyed locations. Rim elevations of sanitary sewer and storm sewer manholes, of which can be visually inspected, are shown herein based on actual surveyed elevations. Depths, sizes, and material types of pipes, which can be visually inspected, are shown herein based on actual surveyed elevations. Any construction using the information shown herein will be completed at the surveyor's expense. If depths, sizes, and material types of pipes are shown herein, based on an actual mapping only, they are not to be considered as shown. Visual inspection means what can be seen from the ground surface. Point of Beginning did not enter into manholes to complete visual inspection underground.

The locations of all underground utilities and appurtenances, unable to visually inspect and/or field measure, shown herein are only approximate. These utilities and appurtenances will be shown based on plans obtained from utility companies or provided by the Owner/Client, and markings by utility companies and municipalities (Diggers Banners) and other appropriate sources (with reference as to the source of information). Additional utility lines not discovered, marked, or shown on as-built plans available to us, during the search of records and the field survey, may exist. Any construction using the information shown herein will be completed at the surveyor's expense. Upon this site may result in the discovery of additional underground utilities not shown herein. With respect to the discovery of additional underground utilities, with respect to the existing underground utilities and appurtenances, of which are unable to visually inspect and/or field measure, whether shown herein, or not. Prior to construction, it is the contractor's responsibility to field verify locations, depths, sizes and types of underground public and private utilities or subsurfaces within all construction limits and shall bring forward, in writing to the Engineer and/or Surveyor of Record, all discrepancies that do not align with the existing conditions as shown. Permitted ground. Digging Hotline Ticket # 2024090412 for public utility was ordered for this survey. A private utility locate was performed on this project by Private Lines Inc. Please contact Private Lines Inc. at 715-445-5383 with any private utility questions.

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SURVEYOR'S NOTES

1. A 60 YEAR TITLE SEARCH FOR RECORD EASEMENTS WAS ORDERED FOR THIS PROJECT AND WAS PERFORMED BY DEPENDABLE TITLE OF WISCONSIN, LLC, FILE NO. 47285, DATED NOVEMBER 19, 2024 AT 8:55 AM. NO FLOTTABLE EASEMENTS WERE FOUND IN THIS REPORT.

2. THIS TOPOGRAPHIC SURVEY MAP CONTAINS ONE SHEET WHICH IS LABELED AS "TS 1.1".

LEGAL DESCRIPTION

BEING ALL OF BLOCK 8 OF SALZER TERRACE, A PART OF THE VACATED RIGHT-OF-WAY OF WINNEBAGO STREET, A PART OF THE VACATED RIGHT-OF-WAY OF THE FORMER CHICAGO, BURLINGTON AND & QUINCY RAILROAD, AND A PART OF THE HOGAN SCHOOL SUBDIVISION, LOCATED IN PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 15 NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

COMMENCING AT THE WEST 1/4 CORNER OF SECTION 4, TOWNSHIP 15 NORTH, RANGE 7 WEST; THENCE S 03°02'11" W ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 4, 198.31 FEET; THENCE N 88°58'36" E, 25.77 FEET TO THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF EAST AVENUE SOUTH AND THE SOUTH RIGHT-OF-WAY LINE OF MARKET STREET; SAID POINT ALSO BEING THE POINT OF BEGINNING (POB) OF THE PARCEL TO BE DESCRIBED;

THENCE CONTINUING N 88°58'36" E ALONG SAID SOUTH RIGHT-OF-WAY LINE AND THE NORTH LINE OF BLOCK 8 OF SALZER TERRACE, 250.19 FEET TO THE NORTHEAST CORNER OF SAID BLOCK 8 AND THE INTERSECTION OF SAID SOUTH RIGHT-OF-WAY LINE AND THE WEST RIGHT-OF-WAY LINE OF 19TH STREET SOUTH; THENCE S 07°32'59" W ALONG THE EAST LINE OF SAID BLOCK 8, THE EAST LINE OF THE VACATED RIGHT-OF-WAY OF WINNEBAGO STREET, THE EAST LINE OF THE HOGAN SCHOOL SUBDIVISION AND SAID WEST RIGHT-OF-WAY LINE, 670.78 FEET TO THE SOUTHEAST CORNER OF SAID HOGAN SCHOOL SUBDIVISION AND THE INTERSECTION OF SAID WEST RIGHT-OF-WAY LINE AND THE SOUTH RIGHT-OF-WAY LINE OF MISSISSIPPI STREET; THENCE S 88°07'30" W ALONG THE SOUTH LINE OF SAID HOGAN SCHOOL SUBDIVISION AND SAID SOUTH RIGHT-OF-WAY LINE, 670.77 FEET TO THE INTERSECTION OF SAID SOUTH RIGHT-OF-WAY LINE AND THE EAST RIGHT-OF-WAY LINE OF EAST AVENUE SOUTH; THENCE N 03°00'40" E ALONG THE WEST LINE OF THE VACATED RIGHT-OF-WAY OF WINNEBAGO STREET AND THE NORTH AND SOUTH EXTENSIONS THEREOF AND SAID EAST RIGHT-OF-WAY LINE, 672.26 FEET TO THE POINT OF BEGINNING.

CONTAINING: 177,444 SQUARE FEET = 4.074 ACRES

SUBJECT TO (IF ANY) COVENANTS, CONDITIONS, RESTRICTIONS, RIGHT-OF-WAYS AND EASEMENTS OF RECORD.

SURVEYOR'S CERTIFICATE

THAT I HAVE MADE SUCH SURVEY BY THE DIRECTION OF THE SCHOOL DISTRICT OF LA CROSSE AND DO FURTHER CERTIFY THAT THE PROPERTY SHOWN AND DESCRIBED HEREON WAS SURVEYED AND MAPPED UNDER MY DIRECTION ACCORDING TO CHAPTER A-ET OF WISCONSIN ADMINISTRATIVE CODE, MINIMUM STANDARDS FOR PROPERTY SURVEYS, THAT SUCH SURVEY IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF A TOPOGRAPHICAL SURVEY AS DONE UNDER MY DIRECTION ON DECEMBER 9-11, 2024.

DATED THIS ____ DAY OF ____.

JORDAN G. BROST
PROFESSIONAL LAND SURVEYOR NO. 3009

REVISIONS

CHECKED: JORDAN G. BROST
DRAWN: CHAD A. GORETSKI
DATE: 1-28-25
PROJECT NO.: 24.4050

TOPOGRAPHIC SURVEY

SCHOOL DISTRICT OF LA CROSSE
HOGAN ADMINISTRATIVE CENTER BUILDING
CITY OF LA CROSSE
LA CROSSE COUNTY, WISCONSIN

Civil Engineering
Land Surveying
Landscape Architecture
4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

Point of Beginning

TS 1.1

Properties within 300 feet of 803 807 East Ave S and 1739 Winnebago St.

Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-30237-90	ADAM J HESS	818 19TH ST S	818 19TH ST S	LA CROSSE WI 54601-5003
17-30166-20	ALEC T BROWN	1725 & 1727 MARKET ST	1601 ADAMS ST	LA CROSSE WI 54601
17-30231-60	AMY M GABAY	719 19TH ST S	719 19TH ST S	LA CROSSE WI 54601
17-30229-140	DELANE SWANSON, AHRIAL BOAK	1914 MARKET ST	1914 MARKET ST	LA CROSSE WI 54601-5055
17-30236-110	ANDREW R ASHBY, MELINDA L ASHBY	1914 MISSISSIPPI ST	1914 MISSISSIPPI ST	LA CROSSE WI 54601-5011
17-30224-100	ANGELA K WINKERS	1708 MISSISSIPPI ST	1708 MISSISSIPPI ST	LA CROSSE WI 54601-4916
17-30230-70	ANN L ENDRES	1915 WINNEBAGO ST	1915 WINNEBAGO ST	LA CROSSE WI 54601-5073
17-30237-30	ANTHONY YANG	825 19TH ST S	825 19TH ST S	LA CROSSE WI 54601
17-30226-40	ANTHONY Q DIX, BETH L DIX	1817 MARKET ST	1817 MARKET ST	LA CROSSE WI 54601
17-30169-60	APRIL R POLUS	1714 MARKET ST	1714 MARKET ST	LA CROSSE WI 54601-4912
17-30231-50	ARTHUR A MARSON, JOANN MARSON	717 19TH ST S	717 19TH ST S	LA CROSSE WI 54601-5002
	ATTN: JENNIFER A WILLIAMS			
17-30230-20	JENNIFER A TERPSTRA	1906 MARKET ST	1906 MARKET ST	LA CROSSE WI 54601
17-30237-10	BARBARA A DEML	815 19TH ST S	N96 PINE PL	MERRILLAN WI 54754-7937
17-30200-110	BARBARA A MICHAELS	1722 FERRY ST	1722 FERRY ST	LA CROSSE WI 54601-4938
17-50241-100	BENJAMIN M JOHNSON, JAMIE C NORDSTROM	921 EAST AVE S	921 EAST AVE S	LA CROSSE WI 54601-4981
17-30170-20	BRADLEY A WALKER, ERICA K WALKER	1721 WINNEBAGO ST	1721 WINNEBAGO ST	LA CROSSE WI 54601-4965
17-30231-110	BRAYDEN H MILLER, NAOMI R MILLER	1919 MISSISSIPPI ST	1919 MISSISSIPPI ST	LA CROSSE WI 54601-5076
17-30251-80	BRIAN L FISHER, NATALIE HENEGHAN	1810 FERRY ST	1810 FERRY ST	LA CROSSE WI 54601-4939
17-30231-120	BRIAN L HOPKINS, IRENE M TENEYCK	1923 MISSISSIPPI ST	1923 MISSISSIPPI ST	LA CROSSE WI 54601-5076
17-30238-30	CADE W ROTH	816 19TH PL S	816 19TH PL S	LA CROSSE WI 54601
17-30169-140	COULEE PROPERTIES LLC	1715 WINNEBAGO ST	251 KEVIN CT	ONALASKA WI 54650
17-30169-30	COULEE REGION DEVELOPERS LLC	1728 MARKET ST	3815 MORMON COULEE RD STE 100	LA CROSSE WI 54601
17-30170-90	COULEE REGION DEVELOPERS LLC	1714 & 1716 WINNEBAGO ST	3815 MORMON COULEE RD STE 100	LA CROSSE WI 54601
17-30223-140	CULLAN BAYNES LUCAS, LEISHA LUCAS	1715 MISSISSIPPI ST	1715 MISSISSIPPI ST	LA CROSSE WI 54601-4968
	DANA ERICKSON JOINT REVOCABLE TRUST			
17-50250-40	TINA ERICKSON JOINT REVOCABLE TRUST	1800 FERRY ST	1800 FERRY ST	LA CROSSE WI 54601-4939
17-30224-50	DANIEL H DORN, NANCY L DORN	908 EAST AVE S	908 EAST AVE S	LA CROSSE WI 54601
17-30236-130	DAVID A JOHNSON, LISA K JOHNSON	807 19TH ST S	807 19TH ST S	LA CROSSE WI 54601
17-30237-100	DEREK A PETERSON	814 19TH ST S	814 19TH ST S	LA CROSSE WI 54601
	DONALD L WALTERS (LE), JUDY K WALTERS (LE),			
17-30237-20	MARCIA K WALTERS, NANCY WALTERS, RICHARD WALTERS	821 19TH ST S	821 19TH ST S	LA CROSSE WI 54601-5066
17-30231-80	DUANE SCHMITZ	1901 MISSISSIPPI ST	1901 MISSISSIPPI ST	LA CROSSE WI 54601-5076
17-30224-30	ELAINE R MARCOU	1731 MISSISSIPPI ST	1731 MISSISSIPPI ST	LA CROSSE WI 54601-4968
17-50241-80	ELIZABETH A ARIHOOD	907 EAST AVE S	N3684 SCENIC DR	LA CROSSE WI 54601-2919
17-30225-50	ELIZABETH A RIDDLE	1725 JACKSON ST	1725 JACKSON ST	LA CROSSE WI 54601-5752
17-30230-80	ELIZABETH A TABORDA TRUST	1919 WINNEBAGO ST	1919 WINNEBAGO ST	LA CROSSE WI 54601
17-30225-60	EMILY A HOLLDOF	926 EAST AVE S	926 EAST AVE S	LA CROSSE WI 54601
17-30230-40	FRANZ T SCHUTTENHELM, ANGELA J SCHUTTENHELM	619 19TH ST S	619 19TH ST S	LA CROSSE WI 54601-5001
17-30230-50	FRANZ T SCHUTTENHELM, ANGELA J SCHUTTENHELM	625 19TH ST S	619 19TH ST S	LA CROSSE WI 54601-5001
17-30224-10	GABRIEL PATROS	1719 & 1721 MISSISSIPPI ST	2152 23RD ST S	LA CROSSE WI 54601
17-30249-130	GREGORY J GRIFFITHS, SARAH R GRIFFITHS	506 19TH ST S	506 19TH ST S	LA CROSSE WI 54601
17-30224-80	H & H REAL ESTATE LLC	1720 MISSISSIPPI ST	PO BOX 417	HOLMEN WI 54636-0417
17-30236-120	HANNAH B MICK	803 19TH ST S	803 19TH ST S	LA CROSSE WI 54601-5066
17-30169-40	HAWKEYE LLC	1722 & 1724 MARKET ST	N7068 MOONLIGHT AVE	HOLMEN WI 54636
17-30170-60	J & S OF LACROSSE LLC	1724 & 1726 WINNEBAGO ST	3334 BAYSIDE CT	LA CROSSE WI 54601-7281
17-30226-80	JAMES E KREMENSKI	1915 MARKET ST	1915 MARKET ST	LA CROSSE WI 54601-5019
17-30231-90	JAMIEE OTTUM	1915 MISSISSIPPI ST	1915 MISSISSIPPI ST	LA CROSSE WI 54601-5076
17-30169-80	JEFFREY D AUGUSTINE	1710 & 1712 MARKET ST	3165 LOSEY BLVD S	LA CROSSE WI 54601-7336
17-30231-30	JENNIFER ERBE, MATTHEW PORTELL	1917 WINNEBAGO CT	1917 WINNEBAGO CT	LA CROSSE WI 54601
17-30226-60	JENNIFER E FREDRICKSON	528 19TH ST S	528 19TH ST S	LA CROSSE WI 54601-5024
17-30166-10	JEREMY GROVE, STEPHANIE D BAKA	1729 MARKET ST	1729 MARKET ST	LA CROSSE WI 54601-4971
17-30224-60	JESSICA BALLWAHN	914 EAST AVE S	914 EAST AVE S	LA CROSSE WI 54601
17-30230-10	JOHATHAN T PARKHURST, SAMANTHA E PARKHURST	1910 MARKET ST	1910 MARKET ST	LA CROSSE WI 54601-5055
17-30249-100	JORDAN H M KEMPPAINEN, LAURA K KEMPPAINEN	455 19TH ST S	455 19TH ST S	LA CROSSE WI 54601-5068
17-30249-120	JORG VIANDEN, BECKY J VIANDEN	512 19TH ST S	512 19TH ST S	LA CROSSE WI 54601-5024
17-50241-90	JOSEPH A MATHISON, JAMI R MATHISON	917 EAST AVE S	701 GRANUM CIR	HOLMEN WI 54636
17-30200-100	JOSEPH P SAMPSON, SARA E SAMPSON	1726 FERRY ST	2811 QUARRY PL	LA CROSSE WI 54601
17-30200-90	JP RENTAL PROPERTIES LLC	1730 FERRY ST	W5059 KEIL COULEE RD	LA CROSSE WI 54601
17-30226-90	KA HANG, MAI YANG	1919 MARKET ST	1919 MARKET ST	LA CROSSE WI 54601-5019
17-30170-10	KATHRYN WALKER	1717 WINNEBAGO ST	1717 WINNEBAGO ST	LA CROSSE WI 54601
17-30170-40	KENNETH R KIRCHNER	1731 WINNEBAGO ST	1731 WINNEBAGO ST	LA CROSSE WI 54601
17-30230-30	KEVIN J HERMAN, RENEE E HERMAN	1900, 1902, 1904 MARKET ST	7992 IDLEDALE AVE	SPARTA WI 54656
17-30226-10	KRISTA L SHULKA	1803 MARKET ST	1803 MARKET ST	LA CROSSE WI 54601

Properties within 300 feet of 803 807 East Ave S and 1739 Winnebago St.

Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-30238-20	KRISTA M HANSON	1812 MISSISSIPPI ST	1812 MISSISSIPPI ST	LA CROSSE WI 54601-4917
17-30237-120	KYLE J KOELBL, MADALYN R BRUEGGEMAN	808 19TH ST S	808 19TH ST S	LA CROSSE WI 54601-5003
17-30230-90	MACKENZIE BORIS	1923 WINNEBAGO ST	1923 WINNEBAGO ST	LA CROSSE WI 54601
17-30230-60	MALLORY L HAYE	1909 WINNEBAGO ST	1909 WINNEBAGO ST	LA CROSSE WI 54601-5073
17-30226-20	MARIE STEVENSON	1807 MARKET ST	1807 MARKET ST	LA CROSSE WI 54601-4913
17-30170-50	MARK P CLASSEN, BONNIE R CLASSEN	1730 WINNEBAGO ST	1730 WINNEBAGO ST	LA CROSSE WI 54601-4920
17-30223-50	MARK P CLASSEN, BONNIE R CLASSEN	1730 WINNEBAGO ST	1730 WINNEBAGO ST	LA CROSSE WI 54601-4920
17-30226-50	MARY A HURLEY, BRANT A MAYER	1819 MARKET ST	1819 MARKET ST	LA CROSSE WI 54601-4913
		1732 MARKET ST		
17-30169-20	MARY D PRINDLE	702 EAST AVE S	2636 VAN LOON RD	LA CROSSE WI 54601
17-30229-120	MATT WENTHE, JILL WENTHE	1922 MARKET ST	1922 MARKET ST	LA CROSSE WI 54601
17-30231-70	MATTHEW FUGATE, KENNETH FUGATE	721 19TH ST S	721 19TH ST S	LA CROSSE WI 54601-5002
17-30231-10	MATTHEW SMITH, ELISE SMITH	1924 WINNEBAGO ST	1924 WINNEBAGO ST	LA CROSSE WI 54601-5014
17-30231-40	MATTHEW L BAUER, MEGAN E BAUER	1904 WINNEBAGO ST	1904 WINNEBAGO ST	LA CROSSE WI 54601-5014
17-30249-110	MATTHEW P SAMPSON, JENNA M SAMPSON	457 19TH ST S	457 19TH ST S	LA CROSSE WI 54601
17-30236-140	MATTHEW T BERSAGEL BRALEY, KARI J BERSAGEL BRALEY	809 19TH ST S	809 19TH ST S	LA CROSSE WI 54601
17-30200-120	MICHAEL O OJELABI, REGINA OJELABI	1716 FERRY ST	1431 KING ST	LA CROSSE WI 54601
17-30170-100	MISTY RAE MARTIN	1708 WINNEBAGO ST	1708 WINNEBAGO ST	LA CROSSE WI 54601-4920
17-30223-80	MISTY RAE MARTIN	1708 WINNEBAGO ST	1708 WINNEBAGO ST	LA CROSSE WI 54601-4920
17-30238-10	NANCY VISSER	804 19TH ST S	804 19TH ST S	LA CROSSE WI 54601-5003
17-50250-50	NANCY K HAMMEL	625 EAST AVE S	625 EAST AVE S	LA CROSSE WI 54601
17-30237-80	NATASHA E I REINSVOLD, CODY S REINSVOLD	822 19TH ST S	822 19TH ST S	LA CROSSE WI 54601-5003
17-30223-121	NATHAN D HUNDT	827 17TH ST S	827 17TH ST S	LA CROSSE WI 54601
17-30251-90	OLYMPIC PROPERTIES LLC	609 & 611 EAST AVE S	PO BOX 2896	LA CROSSE WI 54602-2896
17-30229-130	OMAR GRANADOS	1918 MARKET ST	1918 MARKET ST	LA CROSSE WI 54601-5055
	PAMELA M CHENIER			
17-30226-30	C/O PAMELA M KOPSKI	1811 MARKET ST	1811 MARKET ST	LA CROSSE WI 54601-4913
17-30224-70	PATRICIA M SPARS	1724 MISSISSIPPI ST	1724 MISSISSIPPI ST	LA CROSSE WI 54601
17-30224-90	PATRICK B RUBEL, MARY D RUBEL	1712 MISSISSIPPI ST	1712 MISSISSIPPI ST	LA CROSSE WI 54601
17-50250-70	PATRICK J DAYTON, ANNE M COATY	1808 MISSISSIPPI ST	1808 MISSISSIPPI ST	LA CROSSE WI 54601-4917
17-30200-70	PROPERTY LOGIC LLC	1736 FERRY ST	PO BOX 2132	LA CROSSE WI 54602-2132
17-30166-50	RICHARD G KRAMER, DEBRA J HUTZENBUEHLER	1713 MARKET ST	1713 MARKET ST	LA CROSSE WI 54601-4971
17-30166-40	RICHARD J HOBELSBERGER, BETTY J HOBELSBERGER	1719 MARKET ST	1719 MARKET ST	LA CROSSE WI 54601-4971
17-50241-50	ROBBIE D MIKKELSON, LORA M MIKKELSON	1802 MISSISSIPPI ST	1802 MISSISSIPPI ST	LA CROSSE WI 54601-4917
17-30237-110	ROY SACHLEBEN, DEBRA SACHLEBEN	810 19TH ST S	810 19TH ST S	LA CROSSE WI 54601-5003
17-30236-100	SAMUEL F SERVAIS, KATIE M BERKEDAL	802 20TH ST S	802 20TH ST S	LA CROSSE WI 54601
17-30231-20	SARAH C MEYER	1916 WINNEBAGO ST	1916 WINNEBAGO ST	LA CROSSE WI 54601-5014
17-30170-80	SARAH J MOE	1720 WINNEBAGO ST	1720 WINNEBAGO ST	LA CROSSE WI 54601-4920
17-30223-90	SARAH J MOE	1720 WINNEBAGO ST	1720 WINNEBAGO ST	LA CROSSE WI 54601-4920
17-30231-100	SOARING BLUFF PROPERTIES LLC	1914 & 1916 WINNEBAGO CT	1743 2ND AVE SE	ROCHESTER MN 55904
17-30226-70	STEPHANIE A BURNS	469 19TH ST S	469 19TH ST S	LA CROSSE WI 54601-5068
17-30169-130	STEVEN A LYGA, RACHEL L LYGA	1705 & 1707 WINNEBAGO ST	2922 PIERCE AVE	LA CROSSE WI 54603
17-30225-30	STEVEN G FOLLANSBEE, KRISTINA M FOLLANSBEE	1721 & 1723 JACKSON ST	N5034 GREEN COULEE RD	ONALASKA WI 54650-8201
17-30224-20	SWING ENTERPRISES LLC	1725 & 1727 MISSISSIPPI ST	PO BOX 304	GALESVILLE WI 54630-0304
17-30200-80	TED A WILSON, JILL M WILSON	612 EAST AVE S	612 EAST AVE S	LA CROSSE WI 54601-4935
17-30166-30	TERRENCE M COLLINS	1723 MARKET ST	1723 MARKET ST	LA CROSSE WI 54601-4971
17-30223-131	THE BEVERLY LLC	1709 MISSISSIPPI ST	827 17TH ST S	LA CROSSE WI 54601
17-30170-70	THOMAS IRWIN	1722 WINNEBAGO ST	1722 WINNEBAGO ST	LA CROSSE WI 54601-4920
17-30223-60	THOMAS IRWIN	1722 WINNEBAGO ST	1722 WINNEBAGO ST	LA CROSSE WI 54601-4920
17-30224-40	THOMAS FRANKLIN CARR	902 EAST AVE S	902 EAST AVE S	LA CROSSE WI 54601-4909
17-30170-30	TIMOTHY J COUGHLIN, KATHLEEN A COUGHLIN	1727 WINNEBAGO ST	1727 WINNEBAGO ST	LA CROSSE WI 54601
17-30169-50	TOP PROPERTY LLC	1718 MARKET ST	325 PEARL ST	LA CROSSE WI 54601
17-30226-100	VAN W ZIMMERMAN TRUST, DAWN L ZIMMERMAN TRUST	1923 MARKET ST	1923 MARKET ST	LA CROSSE WI 54601
17-30251-70	VF MANAGEMENT SOLUTIONS LLC	1802 FERRY ST	1413 HIGHLAND DR	WINONA MN 55987

Applicant/Owner:

17-30230-120	SCHOOL DISTRICT OF LA CROSSE	807 EAST AVE S	807 EAST AVE S	LA CROSSE WI 54601-4982
17-30206-10	SCHOOL DISTRICT OF LA CROSSE	807 EAST AVE S	807 EAST AVE S	LA CROSSE WI 54601-4982
17-50241-70	SCHOOL DISTRICT OF LACROSSE	1739 WINNEBAGO ST	807 EAST AVE S	LA CROSSE WI 54601
17-50250-60	SCHOOL DISTRICT OF LACROSSE	803 EAST AVE S	807 EAST AVE S	LA CROSSE WI 54601
17-50250-61	SCHOOL DISTRICT OF LACROSSE	807 EAST AVE S	807 EAST AVE S	LA CROSSE WI 54601

Properties within 300 feet of 803 & 807 East Ave S & 1739 Winnebago St



**NOTICE OF HEARING ON
AMENDMENT TO ZONING RESTRICTION**

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Residence District to the Public & Semi-Public District, allowing for the construction of a new elementary school at 803 & 807 East Ave. S. and 1739 Winnebago St.

Property is presently: School District of La Crosse – Hogan Administration Center building

Property is proposed to be: new elementary school building

Rezoning is necessary: because the existing zoning regulations for the parcels limit the usable space that is needed for the new proposed elementary school building and hinder the developmental needs

*Tax Parcel 17-50250-60; 803 East Ave. S.
Tax Parcel 17-30206-10; 807 East Ave. S.
Tax Parcel 17-30230-120; 807 East Ave. S.
Tax Parcel 17-50250-61; 807 East Ave. S.
Tax Parcel 17-50241-70; 1739 Winnebago St.*

The City Plan Commission will meet to consider such application on **Monday, June 2, 2025, at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

A public hearing before the Judiciary & Administration Committee will be held on **Tuesday, June 3, 2025, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the **Common Council** on **Thursday, June 12, 2025, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The petition and/or maps relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 25-0526).

Dated this 2nd day of May, 2025.

Nikki M. Elsen, City Clerk
City of La Crosse

Published: May 20 & 27, 2025
One (1) Affidavit

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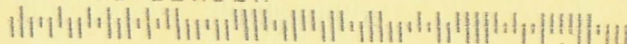
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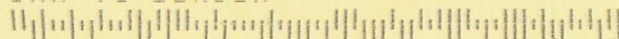
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Agenda Item 25-0526: (Jenna Dinkel)

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Residence District to the Public & Semi-Public District, allowing for the construction of a new elementary school at 803 & 807 East Ave. S. and 1739 Winnebago St.

General Location

Council District 7, Weigent Hogan Neighborhood Association. Located on the Market and Mississippi between East Ave and 19th St. The property is surrounded by R1 – Single Family and R2 – Residence District.

Background Information

The School District of La Crosse is submitting a rezoning petition to transfer the property on the 1800 block of Winnebago from the Residence District to the Public and Semi-Public District. The property is being rezoned to better align with the future use of the parcel and due to height restrictions in the Residence District. The applicant states the future building will be eight feet too tall for the thirty-five-foot height restriction in the Residence District.

The future use of the parcel is a new elementary school. Last year, the school board voted to go to referendum to consolidate Emerson, Spence, Hintgen, and State Road. This would be accomplished by an addition to State Road Elementary and a new elementary school at the Hogan Administration site. This referendum passed last fall, and the School District is moving forward with the project to build a new elementary school at this site.

The School District of La Crosse has held three community meetings leading up to this rezoning petition. On March 12, 2025, they held a community meeting at the Hogan Administration building and stated the feedback was overall positive. After this meeting, the building setback off Market Street was moved to address shadowing concerns from the neighbors. On April 14, 2025, the School District gave a presentation to the Weigent-Hogan Neighborhood Association and stated the feedback was positive. On May 7, 2025, another community meeting was held at the Hogan Administration building and the School District stated the feedback was positive and attendants stated the changes that were made were appreciated.

Recommendation of Other Boards and Commissions.

The new elementary school design will go through the design review process and is going to preliminary design review on May 30, 2025.

Consistency with Adopted Comprehensive Plan

This parcel falls within the Weigent Hogan Neighborhood which identifies institutional as an allowable land use. Institutional use includes schools, civic buildings, and not-for-profits. The Comprehensive Plan states that where schools are located can impact the degree of service they provide. The School District states that the Hogan site is centrally located and that 57% of students will live closer to their new school location. The use as an elementary school at this location is consistent with the Comprehensive Plan.

Staff Recommendation

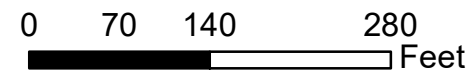
Approval – Staff recommends approval.

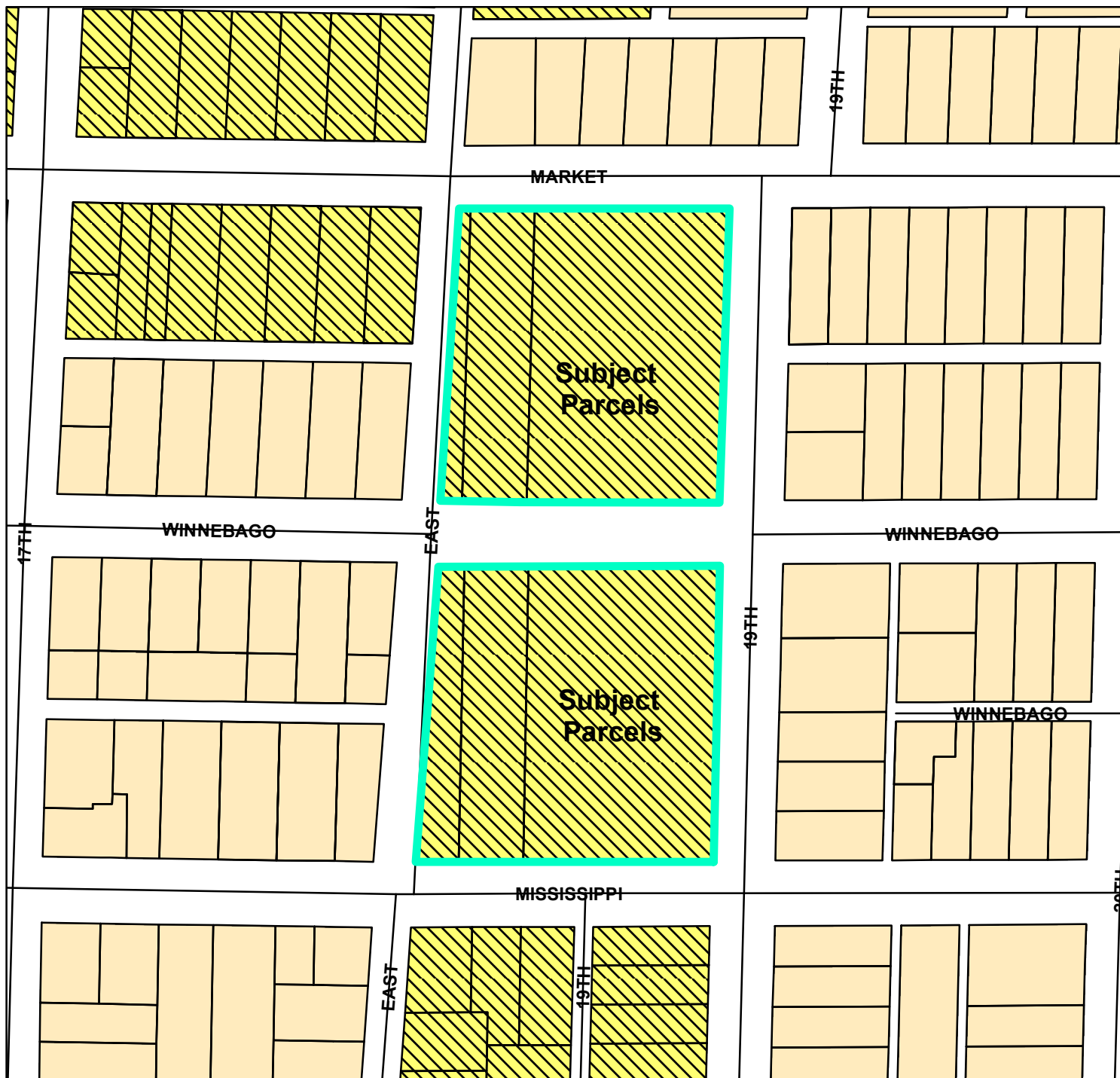
Routing J&A 6.3.25



BASIC ZONING DISTRICTS

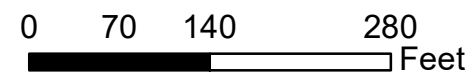
	R1 - SINGLE FAMILY
	R2 - RESIDENCE
	WR - WASHBURN RES
	R3 - SPECIAL RESIDENCE
	R4 - LOW DENSITY MULTI
	R5 - MULTIPLE DWELLING
	R6 - SPECIAL MULTIPLE
	PD- PLANNED DEVELOP
	TND - TRAD NEIGH DEV.
	C1 - LOCAL BUSINESS
	C2 - COMMERCIAL
	C3 - COMMUNITY BUSINESS
	M1 - LIGHT INDUSTRIAL
	M2 - HEAVY INDUSTRIAL
	PS - PUBLIC & SEMI-PUBLIC
	PL - PARKING LOT
	UT - PUBLIC UTILITY
	CON - CONSERVANCY
	FW - FLOODWAY
	A1 - AGRICULTURAL
	EA - EXCLUSIVE AG
	City Limits
	SUBJECT PROPERTY





BASIC ZONING DISTRICTS

-  R1 - SINGLE FAMILY
-  R2 - RESIDENCE
-  WR - WASHBURN RES
-  R3 - SPECIAL RESIDENCE
-  R4 - LOW DENSITY MULTI
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State of Florida, County of Orange, ss:

Ankit Sachdeva, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of Lee Enterprises, publishers of Lacrosse Tribune, a newspaper at, La Crosse, for county of La Crosse, in the state of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published, therein on the dates listed below.

PUBLICATION DATES:

May. 20 2025, May. 27 2025

NOTICE ID: RtsbBXTcz1cwlvRaQTT4

PUBLISHER ID: COL-WI-101193

NOTICE NAME: Rezoning - Hogan Admin Site

Publication Fee: \$170.33

Section: Legals

Category: 0001 Wisconsin Legals

Ankit Sachdeva

(Signed) _____

VERIFICATION

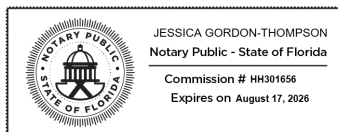
State of Florida
County of Orange

Subscribed in my presence and sworn to before me on this: 05/29/2025

J. Thompson

Notary Public

Notarized remotely online using communication technology via Proof.



NOTICE OF HEARING ON AMENDMENT TO ZONING RESTRICTION

TO WHOM IT MAY CONCERN:
NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Residence District to the Public & Semi-Public District, allowing for the construction of a new elementary school at 303 & 807 East Ave. S. and 1739 Winnebago St.

Property is presently: School District of La Crosse - Hogan Administration Center building

Property is proposed to be: new elementary school building

Rezoning is necessary, because the existing zoning regulations for the parcels limit the usable space that is needed for the new proposed elementary school building and hinder the developmental needs

Tax Parcel 17-50250-60; 803 East Ave. S.

Tax Parcel 17-30206-10; 807 East Ave. S.

Tax Parcel 17-30230-120; 807 East Ave. S.

Tax Parcel 17-50250-61; 807 East Ave. S.

Tax Parcel 17-50241-70; 1739 Winnebago St.

The City Plan Commission will meet to consider such application on Monday, June 2, 2025, at 4:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

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Final action will be determined by the Common Council on Thursday, June 12, 2025, at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

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Dated this 2nd day of May, 2025.
Nikki M. Elsen, City Clerk
City of La Crosse
5/20, 5/27 LAC
COL-WI-101193 WNAXLP

If you want to speak on an agenda item, please sign up at least 10 minutes before the start of the meeting.

Registration slips are not collected once the meeting begins but will be made part of the record.

MEETING REGISTRATION

Name: Joe Ledvina Date: 6/4/25
PLEASE PRINT

Municipality of Residence: LaCrosse

Representation: School District of LaCrosse
If you are representing an organization or person other than yourself at this meeting.

Agenda Item #: 25-0501, 25-0526
Please fill out a separate sheet for each piece of legislation in which you are registering.

Do you support or oppose the agenda item?

- ☒ Support
☐ Oppose
☐ Neither support nor oppose

Do you want to speak?

- ☐ Yes, I want to speak.
☐ No, I do not want to speak.
☒ I do not want to speak, but I am available to answer questions.

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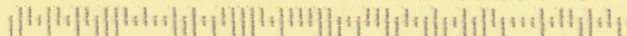


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25-0526



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0533

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Ordinance

Agenda Number:

ORDINANCE NO.: _____

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Traditional Neighborhood Development District - General to the Traditional Neighborhood Development District - Specific, allowing for the construction of a mixed-use development with main floor being parking and commercial and upper floors being residential apartments at 922 & 928 State St., 915 & 927 Main St., and 115 & 119 10th St. N.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Subsection 115-110 of the Code of Ordinances of the City of La Crosse is hereby amended by transferring certain property from the Traditional Neighborhood Development District - General to the Traditional Neighborhood Development District - Specific on the Master Zoning Map, to-wit:

Tax Parcel 17-20204-30; 922 State St.
Tax Parcel 17-20204-10; 928 State St.
Tax Parcel 17-20204-100; 915 Main St.
Tax Parcel 17-20204-120; 927 Main St.
Tax Parcel 17-20204-110; 115 10th St. N
Tax Parcel 17-20204-20; 119 10th St. N

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

 Shaundel Washington-Spivey, Mayor

 Nikki M. Elsen, City Clerk

Passed:
 Approved:
 Published:

**PETITION FOR CHANGE TO ZONING
CITY OF LA CROSSE**

**AMENDMENT OF ZONING DISTRICT BOUNDARIES
For a Planned Development District or
Traditional Neighborhood District**

Petitioner (name and address):

Gerrard Development, LLC

Owner of site (name and address):

100 N 6th Street, La Crosse, WI 54601

Address of subject premises:

927 MAIN ST (principally)

Tax Parcel No.:

20204-10; 20204-20; 20204-30; ; 20204-100; 20204-110; 20204-120

Legal Description (must be a recordable legal description; see Requirements):

See Attached HOM TND LEGAL DESCRIPTIONS: Exhibit A

PDD/TND: _____ General ☒ Specific _____ General & Specific

Zoning District Classification: TND GENERAL

Proposed Zoning Classification: TND SPECIFIC

Is the property located in a floodway/floodplain zoning district? _____ Yes ☒ No

Is the property/structure listed on the local register of historic places? _____ Yes ☒ No

Is the Rezoning consistent with Future Land Use Map of the Comprehensive Plan? ☒ Yes _____ No

Is the consistent with the policies of the Comprehensive Plan? ☒ Yes _____ No

Property is Presently Used For:

Vacant Land

Property is Proposed to be Used For:

Mixed with the main floor being Parking and Commercial and the upper floors being Residential Apartments.

Proposed Rezoning is Necessary Because (Detailed Answer):

The proposed mixed use requires it as well as the reductions in parking requirements, surface off-street parking closer to street than building, proposed color scheme on the facades will need an exception to the requirement, and TND zoning development density is needed add 10 units to the project.

Proposed Rezoning will not be Detrimental to the Neighborhood or Public Welfare Because (Detailed Answer):

The proposed zoning/uses fit well into the current neighborhood. This project includes a Community Services Facility that is greatly needed in the neighborhood and the community overall.

Proposed Rezoning will not be Detrimental to the City's Long Range Comprehensive Plan Goals, Objectives, Actions and Policies Because (Detailed Answer):

This fits well into the City's long term goals for greater density, urban mixed uses, and increased efficiency of resources.

The undersigned depose and state that I/we am/are the owner of the property involved in this petition and that said property was purchased by me/us on the 31 day of OCTOBER, 2024.

I hereby certify that I am the owner or authorized agent of the owner (include affidavit signed by owner) and that I have read and understand the content of this petition and that the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



(signature)

608-782-4376

(telephone)

5-2-25

(date)

Peter@Gerrardcompanies.com

(email)

At least 30 days prior to filing the petition for approval of the designation of a Planned Development District, the owner or his agent making such petition shall meet with the Planning Department, Engineering Department and Building Safety to discuss the scope and proposed nature of the contemplated development. (Pursuant sec. 115-156(3)(e)(1) of the Municipal Code of Ordinances of the City of La Crosse.)

PETITIONER SHALL, BEFORE FILING, HAVE PETITION REVIEWED AND INFORMATION VERIFIED BY THE DIRECTOR OF PLANNING & DEVELOPMENT.

Review was made on the 5th day of May, 2025.

Signed: 
Director of Planning & Development

AFFIDAVIT

STATE OF)
) ss
COUNTY OF)

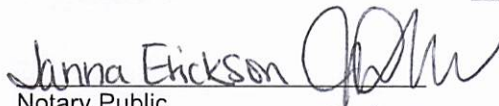
The undersigned, PETER T. GERRARD, being duly sworn states:

1. That the undersigned is an adult resident of the City of La CROSSE, State of WISCONSIN.
2. That the undersigned is (one of the) legal owner(s) of the property located at 927 MAIN ST.
3. By signing this affidavit, the undersigned authorizes the application for a conditional use permit/district change or amendment (circle one) for said property.



Property Owner

Subscribed and sworn to before me this 2nd day of May, 2025


Janna Erickson
Notary Public
My Commission expires 4/10/28

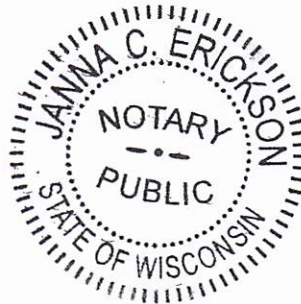


EXHIBIT A

Legal Description

All of Lot 1, Lot 2, Lot 9, Lot 10, Lot 11 & Lot 12 and Parts of Lot 3, Lot 8 & the East 117.88 Feet of the Alley of Metzger's Addition to the City Of La Crosse. Located in Part of the SE 1/4 of the SW 1/4 of Section 32, T16N, R7W, City Of La Crosse, More Particularly Described as Follows:

Commencing at the West 1/4 Corner of Said Section 32;

Thence S1°38'20"E, Along the West Line of Said SW 1/4, 2668.03 Feet to the Southwest Corner of Said Section;

Thence N87°53'57"E 1345.00 Feet to the Intersection of the East Right-Of-Way of 9th Street North with the North Right-Of-Way of Main Street, to the Southwest Corner of Lot 7 of said Metzger's Addition and to the Southwest Corner of That Parcel Described in Document Number 1554813;

Thence N89°36'41"E, Along Said North Right-Of-Way and the South Line of Said Parcel, 73.49 Feet to the Southeast Corner Thereof and to the Point of Beginning;

Thence N0°18'11"W, Along the East Line of Said Parcel, 94.71 Feet to the Northeast Corner Thereof and to the South Line of That Parcel Described in Document Number 1408323;

Thence N89°40'32"E, Along the South Line of Said Parcel, 27.30 Feet to the Southeast Corner Thereof;

Thence N0°18'11"W, Along the East Line of Said Parcel, 56.00 Feet to the Northeast Corner Thereof and to the South Line of the Alley;

Thence N89°40'37"E, Along South Line of Said Alley, 92.63 Feet to the Southwest Corner of the East 117.88 Feet of the East-West Alley.

Thence N0°19'54"W, Along the West Line of Said Alley, 20.00 Feet to the North Line of Said Alley;

Thence S89°40'37"W, Along Said North Line of the Alley, 20.00 Feet to the Southeast Corner of That Parcel Described in Document Number 1704834;

Thence N0°28'38"W, Along the East Line of Said Parcel, 150.35 Feet to the Northeast Corner Thereof and to the South Right-Of-Way of State Street;

Thence N89°34'49"E, Along Said South Right-Of-Way, 138.26 Feet to the Intersection of Said South Right-Of-Way of State Street with the West Right-Of-Way of 10th Street North and to the Northeast Corner of Lot 1 of Said Metzger's Addition;

Thence S0°19'54"E, Along Said West Right-Of-Way, 321.01 Feet to the Intersection of Said West Right-Of-Way of 10th Street North with Said North Right-Of-Way of Main Street and to the Southeast Corner of Lot 12 of Said Metzger's Addition;

Thence S89°36'41"W, Along Said North Right-Of-Way, 237.88 Feet to the Point of Beginning.

The Above-Described Lands Contain 57,415 Square Feet, or 1.32 Acres and are Subject to all Covenants, Restrictions and Easements, Implied or Recorded.

Excepting thereof the West 20 Feet of the East 34 Feet of Lot 3 of Metzger's Addition to the City of La Crosse.

The Haven on Main TND - Specific Application Narrative

In support of our application for petition of rezoning, we are filing with the Office of the City Clerk these documents and plans for an amendment to the City's Master Zoning Map. Our General Development plan was approved in January of 2024 in order to receive concept approval ahead of our submission of this Specific development plan. The project has been reviewed by the Design Review process at both the preliminary and final levels. The Final Design Review plan set is included as part of this application. We submit the following information as well as our plan set (printed separately):

a. Specific Development Plan.

1. Property Data

- i. The total area within the Traditional Neighborhood District (PDD) is 57,415 square feet or 1.32 Acres (see the CSM in Exhibit A).
- ii. Our project site plans indicates the use areas in good detail. There is proposed to be 45,410 sf (1.01 Ac) (83 % of the site) of impervious surface related to parking, driveways, and roof areas leaving 9,220 sf (0.21 Ac) (17 % of the site) of green space.
- iii. We have addressed how the development fits in with surrounding land uses by selecting building and site elements appropriately.
- iv. The proposed plan results in a proposed density of 53 units/Ac not counting the land dedication for the public alley.
- v. The development is proposing to provide a total of 70 dwelling units. The mix of apartment unit types is as follows: 34 One-Bedroom, 30 Two-Bedroom, and 6 Three-Bedroom.
- vi. There will be 12 One-bedroom units on each of the three housing floors for a total of 34 One-bedroom units. The second floor of the building is to have 10 Two-bedroom units with floors three and four having 10 Two-Bedroom units each for a total of 30 Two-bedroom units. There will also be 2 Three-bedroom units on each of the three housing floors for a total of 6 Three-bedroom units.
- vii. The population analysis for the development project is based on 74 units, of which 50% will be set aside for a population with special needs, primarily people with disabilities. The remaining units will be available for the local workforce and seniors. The vision of this project is to provide quality, inclusive housing that supports the workforce and a vibrant downtown for people with all abilities. The final plans show a slight reduction in total units from 74 in the General Plan to 70 in the Specific plan.

The development team has been working closely with a group representing adults with disabilities that will continue to support tenants in the building once the development is complete. Through data collection and surveys with parents and caregivers of adults with disabilities looking for housing in the La Crosse area, we know that 96% of

adolescents and adults with disabilities in households surveyed live with their parents but would have a desire for housing elsewhere. We also know that 865 students in La Crosse School District in 2021-22 received special education services and will become adults in need of housing. The Haven on Main will offer inclusive, community-integrated housing options for this population.

The Haven on Main is based on a proven model. The Prairie Haus in New Glarus was developed in a similar fashion – prompted by a group of parents of adults with disabilities, the housing development uses a mixed-rate and all ability, inclusive housing approach to create a caring community within the development. Our development has been consulted by the Prairie Haus team and will continue to utilize their experience to guide our development.

Additionally, we have assembled a market study that provides the income targeting mix and proposed expected rent pool for the general population of tenants expected in this development. This mix is identified in the qualified allocation plan available through the Wisconsin housing and economic development Authority. This project will be submitted for federal tax credits to help aid in the construction and development of this project.

- viii. A review of the existing City utility services and a call to the City of La Crosse Engineering Department indicates existing services for sewer and water will be adequate and that significant storm water controls will be needed although there are storm sewers that serve the project. Project storm water will be managed below ground. Additional public storm sewers will be needed as indicated in the Specific plan set.
- ix. Given the population mix the development will serve, special consideration is given to accessibility and transportation. For example, a drive-thru portico and additional van-accessible stalls have been added. At the same time, the development is demonstrating a reduced parking ratio based on data collected through surveys of households with adults with disabilities in the La Crosse area. In that survey, 10% of prospective tenant candidates with disabilities drive and would require parking on site. Other candidates utilize private transport service (pick up/drop off), public transportation, bicycles, or other non-auto transportation. There would be a need for caregivers but that would vary depending on the candidate's level of need, work schedule, and other factors. In the survey conducted, 35% of respondents would need parking on site for 8-24 hours for caregivers. Other caregivers would require parking for partial day shifts or occasionally throughout the week. Therefore, we will develop a rotating parking schedule where spaces are shared. 10% of caregivers from the survey would not require parking.

Half of the building tenants will be a general population of working adults, seniors, and other members of the community. Given the downtown location of the property, a key feature is the proximity to businesses, educational institutions, hospitals, shopping, and other amenities. The property is located on a bus line and will contain bike parking and storage on site. In comparison, another housing development project at 4th and Jackson

Street in La Crosse proposed a 50% parking ratio without the disabled set-aside units that our project is proposing.

Given this data, population served by the project, and property location, we are requesting a 60% parking ratio.

2. General estimated project summary of value: The Project will include 70 apartments with many additional amenities and an on-site community services facility. The estimated development cost is \$~~5,250,000~~ million. The site plan includes a generous landscaped outdoor recreational area that is fenced and appropriately sized. The development also includes landscaping around the perimeter of the entire building. The building includes a community services facility, a passenger drop-off that is sheltered and public service offices that will house Couleecap professionals. The first floor (indoor) includes many project amenities that are not commonly offered such as several communal spaces, community kitchens, fitness center, a gymnasium that include a basketball court, hair salon, storage lockers, bike storage, indoor parking, and exterior parking. This building will also feature green building design by including solar in the electrical systems. This project plans to include all utilities in rent, which includes sewer, water, hot water, air conditioning, heating, electricity, cable, and Internet. Each apartment will be furnished with a stove, refrigerator, washer/dryer, dishwasher, disposal, miniblinds, pantries, and bathrooms that have a double entry (as requested for units for people with disabilities).

3. General operations of the project:

- i. The proposed organization chart would be as follows:

- Haven on MainStreet LLC. 100%
- The managing member LLC would be the managing member. .01%
- Investment fund member LLC.99%
- Couleecap taxable.01%

This project would be owned and managed long-term by Couleecap. Couleecap would also relocate current La Crosse service staff to the first floor of the building and provide connectivity to services. The agency would be responsible for the management of the first floor (community spaces, kitchens, fitness facilities, etc.).

Paramark Real Estate are based in Rochester Minnesota and currently manages over 5000 units in four states, including Wisconsin and the City of La Crosse. Paramark will be hired for the day-to-day property management operations, including contacts with all asset managers financial institutions.

- ii. Given the population served by this development, memorandums of understanding have been, or will be, entered into that provide connectivity to services for persons with disabilities. The development will also include a specific plan for implementation of services for the population, as required by the tax credit application.

Couleecap will occupy and provide lease payments for office space on the first floor of the building and will become Couleecap's La Crosse office for public services. The agency

will locate approximately seven full time staff at the location to operate financial counseling, workforce development, homebuying and homeowner support, and other support services.

- iii. This project will enter into a land use restriction agreement that will be recorded against the title and will restrict the tenant base population living in this facility.
4. A review of the Zoning Code in light of combining the needs of the project with the R-5 and the C-2 zoning elements we are requesting the following regulations of the proposed district:
 - (a) Permitted use.
 - 1) Any use permitted in the R-5 District
 - 2) Any use permitted in the C-2 District
 - 3) Any reasonable combination of uses shall be allowed in a single structure. How uses are distributed within a structure must be approved by the Plan Commission.
 - (b) Height regulations.
 - 1) No building or structure shall be erected or altered to exceed 60 feet in height.
 - (c) Area regulations.
 - 1) Front Yards. There shall be a front yard of not less than 8 feet. Where a canopy for an entrance is provided, the canopy structure shall have no required setback but shall not extend into any right-of-way without an approved street privilege permit.
 - 2) Side Yards. Side yards shall be a minimum of 8 feet.
 - 3) Outer Courts. Outer Courts shall have a minimum depth of 20 feet
 - 4) Inner Courts. Inner Courts shall have a minimum depth of 20 feet.
 - 5) Lot area per dwelling unit. There shall be a lot area of not less than 740 square feet per dwelling unit.
 - (d) Vision Clearance. The vision clearance requirements shall be the same as required for the Local Business District.
5. The expected date of commencement of physical development is as follows (no phasing is planned):
 - i. Land sale closing: On or before September 30, 2024
 - ii. Demolition and site prep: January 2025
 - iii. Construction begins: April/May 2025 for 16 months
 - iv. Certification of occupancy on the commercial component: April 2026
 - v. Pre-marketing of units: May 2026
 - vi. Certification of occupancy: August 2026
6. The site plan of the proposed project is included in Exhibit D.
7. Legal descriptions of the properties are included in Exhibit A. The boundaries of the project property are depicted in Exhibit C.

8. Please see the attached Exhibit B which is a map of the surrounding properties indicating the current uses. This map provides an excellent depiction of the nature of the surrounding properties in relation to the proposed Planned Development.
9. The site plan included in Exhibit D and building plans included in Exhibit E depict the location of recreational, open space areas, and common areas both outside and inside the building.
10. The native soils within the development are anticipated to be sand as is typical in this area of the City. Project close to this site have had extensive soil investigations done and those results support this. Therefore, we do not anticipate any restrictive soil conditions to hinder the project.
11. The site, in general, has very little topography. A full topographic survey is included in Exhibit F.
12. The general character of the final site, building and landscape is included in Exhibit G. These color renderings are a reflection of the detailed planning and thoughtful design of the project to bring development to this point. It is clear that the thoughts expressed in this submittal and the intent of the requested zoning to bring about this important project for the community are well expressed.

The PDD requirements include a request for “additional material and information shall be provided for specific types of uses when petitioning for a change in zoning under a general development plan.” We believe this additional information was adequately covered in the body of this submittal so no additional materials have been provided under the “Additional Information” section of the requirements.

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↓ñ /ñ

Exhibit 2

• *CONSTRUCTION DOCUMENTS* •

HAVEN ON MAIN

70 UNIT APARTMENT BUILDING
LA CROSSE, WISCONSIN



ARCHITECT/ SUPERVISING PROFESSIONAL

JAMES WARNER PANKRATZ, AIA
DREAM ARCHITECTURE LLC.
272 INDIAN BEND ROAD
BURLINGTON, WISCONSIN 53105
CONTACT: JIM PANKRATZ, A.I.A.
PHONE NUMBER: (414) 588-5311
E-MAIL: jwpankratz@hotmail.com

STRUCTURAL ENGINEERING

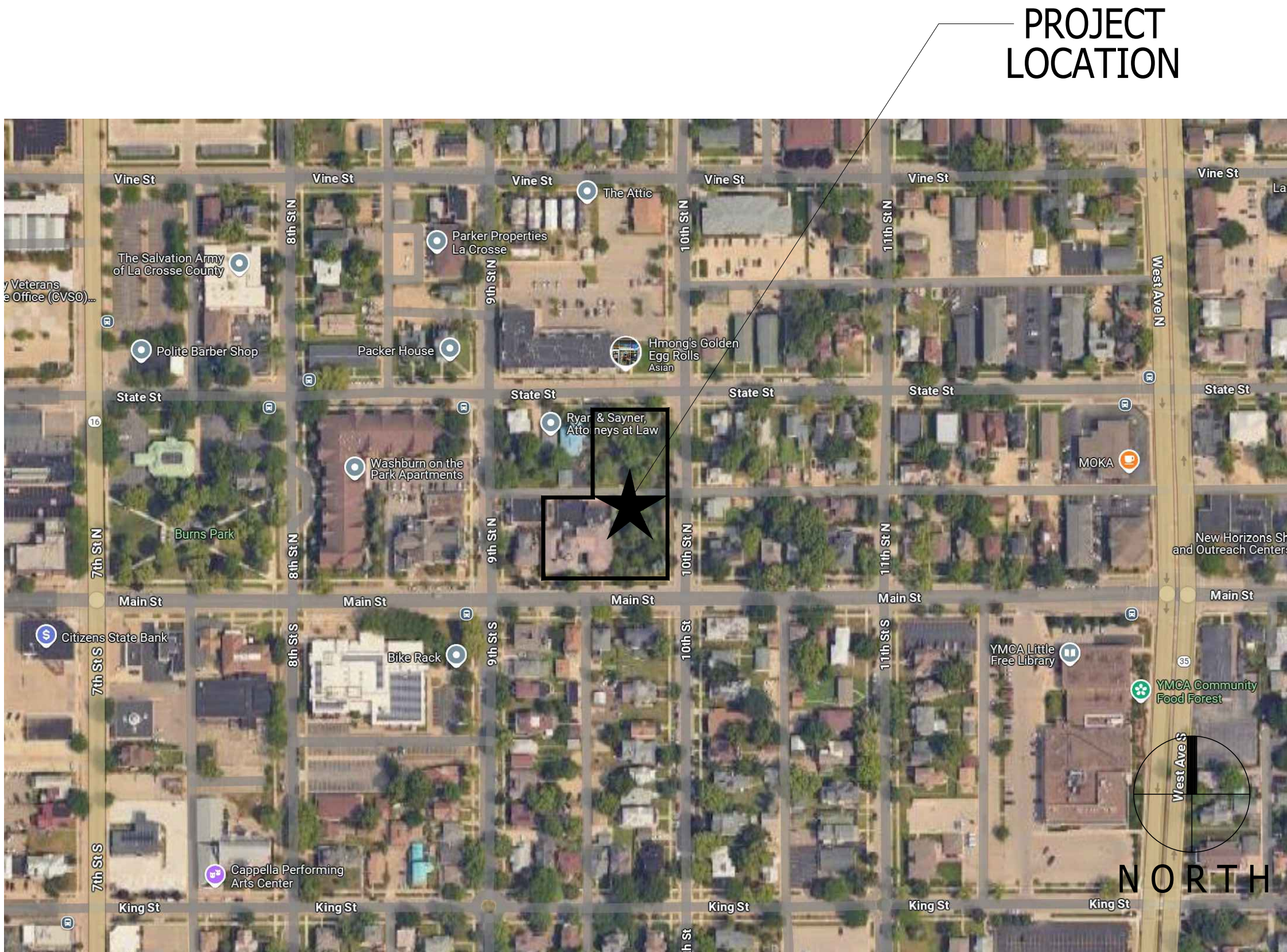
SHORT ELLIOTT HENDRICKSON, INC.
3428 LAKERIDGE PLACE NW
SUITE 100
ROCHESTER, MINNESOTA 55901
CONTACT: BEN WOLF, PE
PHONE NUMBER: (507) 316-6648
E-MAIL: bwolf@sehinc.com

CIVIL ENGINEERING / URBAN PLANNING

PARAGON ASSOCIATES, INC.
632 COPELAND AVE
LACROSSE, WISCONSIN 54603
CONTACT: JEFFREY S. MOORHOUSE
PHONE NUMBER: (608) 781-3110
E-MAIL: jeffm@paragon-assoc.biz



PROJECT IMAGE
(MAY VARY SLIGHTLY FROM ACTUAL CONSTRUCTION PLANS)



SITE LOCATION MAP OF LA CROSSE, WISCONSIN

PROJECT INFORMATION

27,200 S.F. 1ST FLOOR	DWELLING UNIT MIX:	SECOND FLOOR PLAN:	THIRD FLOOR PLAN:	FOURTH FLOOR PLAN:
27,700 S.F. 2ND FLOOR	34 - ONE BEDROOMS	12 - ONE BEDROOM UNITS	11 - ONE BEDROOM UNITS	11 - ONE BEDROOM UNITS
25,900 S.F. 3RD FLOOR	30 - TWO BEDROOMS	10 - TWO BEDROOM UNITS	10 - TWO BEDROOM UNITS	10 - TWO BEDROOM UNITS
25,900 S.F. 4TH FLOOR	6 - THREE BEDROOMS	2 - THREE BEDROOM UNITS	2 - THREE BEDROOM UNITS	2 - THREE BEDROOM UNITS
106,700 TOTAL S.F.	70 TOTAL UNITS			

DRAWING SHEET INDEX

GENERAL INFORMATION SHEETS:
A0.0 COVER SHEET, DRAWING INDEX & CODE SUMMARY

CIVIL SHEETS
C001 TOPOGRAPHIC SITE MAP
C050 DEMOLITION PLAN
C100 SITE PLAN
C200 GRADING PLAN
C300 EROSION CONTROL PLAN
C400 UTILITY PLAN
C401 STORM SEWER PLAN & PROFILE
C500 DETAILS
C501 DETAILS
C502A-C502E STORMWATER CHAMBER SYSTEM
C503 CITY STORM SEWER DETAILS
L100 LANDSCAPE PLANS
L101 LANDSCAPE PLANS
L102 LANDSCAPE PLANS

ARCHITECTURAL SHEETS

A1.1s MAIN LEVEL FLOOR PLAN - SOUTH
A1.2s SECOND LEVEL FLOOR PLAN - SOUTH
A1.3s THIRD LEVEL FLOOR PLAN - SOUTH
A1.4s FOURTH LEVEL FLOOR PLAN - SOUTH
A1.5s ROOF PLAN - SOUTH

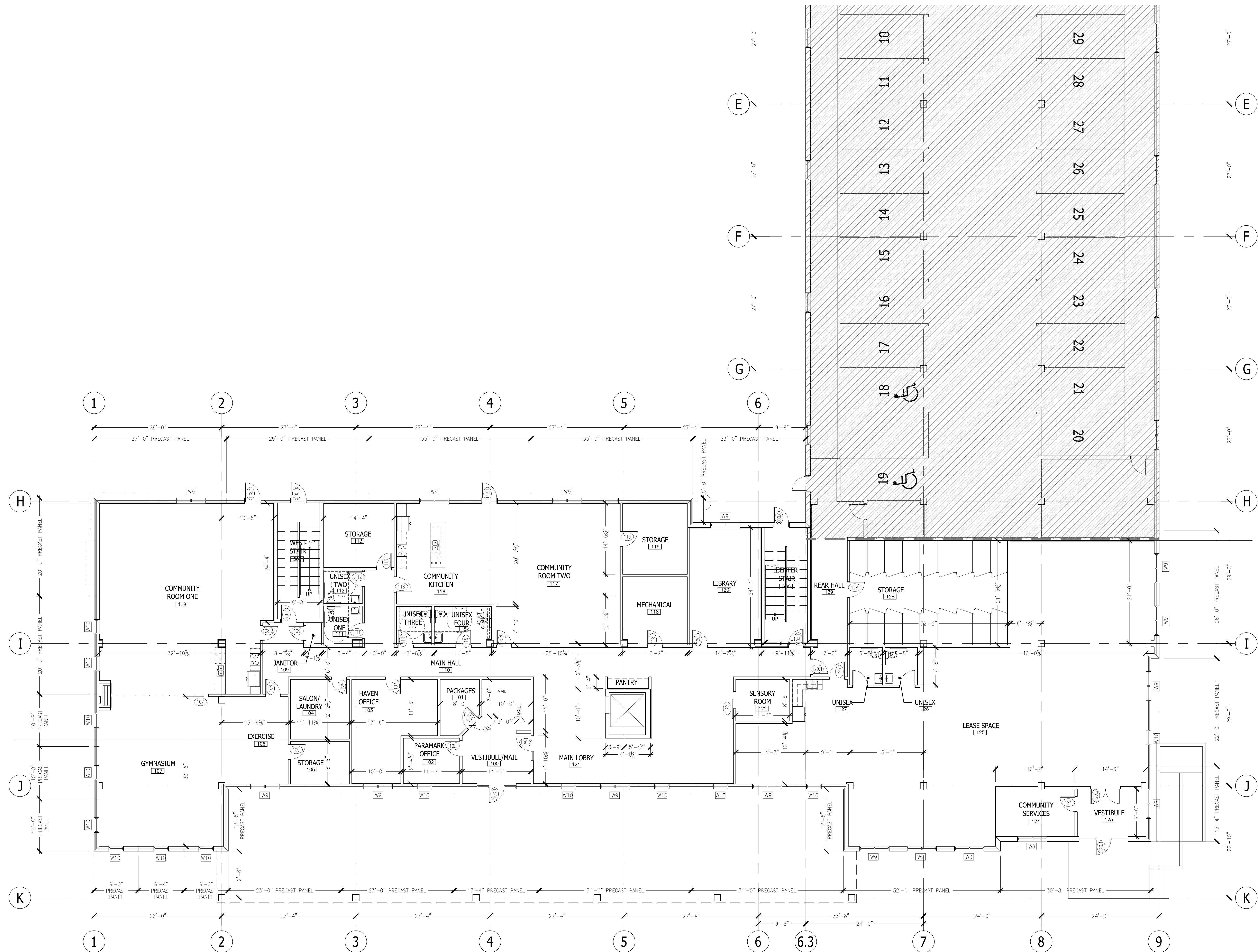
A1.1n MAIN LEVEL FLOOR PLAN - NORTH
A1.2n SECOND LEVEL FLOOR PLAN - NORTH
A1.3n THIRD LEVEL FLOOR PLAN - NORTH
A1.4n FOURTH LEVEL FLOOR PLAN - NORTH
A1.5n ROOF PLAN - NORTH

A2.1 to A2.13 UNIT TYPE FLOOR PLANS AND SCHEDULES (16 SHEETS)

A3.0 WEST AND SOUTH EXTERIOR ELEVATIONS
A3.1 NORTH AND EAST EXTERIOR ELEVATIONS
A3.2 INTERIOR FINISH SCHEDULES AND WALL TYPES
A3.3 DOOR AND WINDOW SCHEDULES

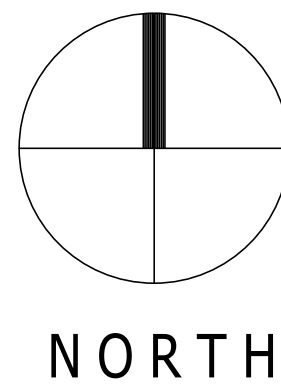
A7.1s MAIN LEVEL REFLECTED CEILING PLAN - SOUTH
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A7.3s THIRD LEVEL REFLECTED CEILING PLAN - SOUTH
A7.4s FOURTH LEVEL REFLECTED CEILING PLAN - SOUTH

A7.1n MAIN LEVEL REFLECTED CEILING PLAN - NORTH
A7.2n SECOND LEVEL REFLECTED CEILING PLAN - NORTH
A7.3n THIRD LEVEL REFLECTED CEILING PLAN - NORTH
A7.4n FOURTH LEVEL REFLECTED CEILING PLAN - NORTH



1 MAIN LEVEL FLOOR PLAN - SOUTH

27,200 TOTAL GROSS S.F.



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

SHEET NUMBER

A1.1s

MAIN LEVEL FLOOR PLAN
SOUTH

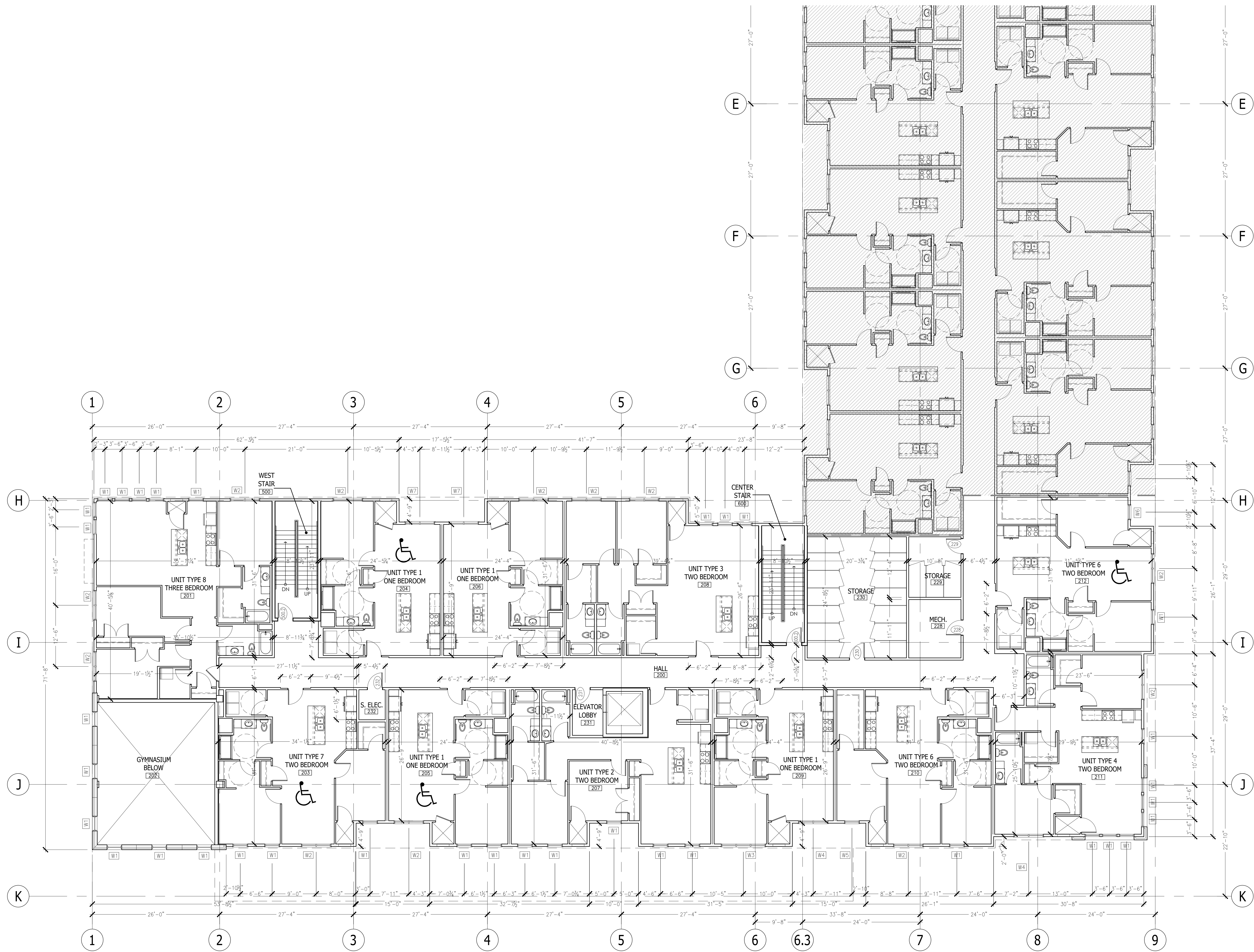
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PRINTED ON 30x42
DATE: APRIL 17, 2025
DRAWN BY:
JWP/JUC

HAVEN ON MAIN
APARTMENT HOUSING
LACROSSE, WISCONSIN

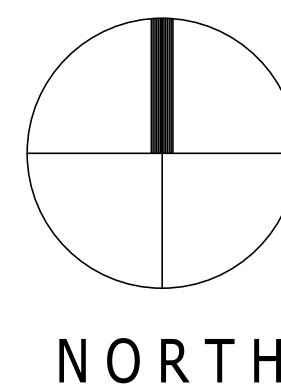
REVISIONS:



275 Indian Bend Road
Burlington, Wisconsin 53189
JOHN GERRARD, PRAJCT RIA
PHONE: 414-588-5311



1 SECOND LEVEL FLOOR PLAN - SOUTH 27,700 TOTAL GROSS S.F.



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256

GERRARD
ARCHITECTS
255 Indian Road Road
Burlington, Wisconsin 53109
JOHN GERRARD, PRINCIPAL, AIA
PHONE: 414-588-5311

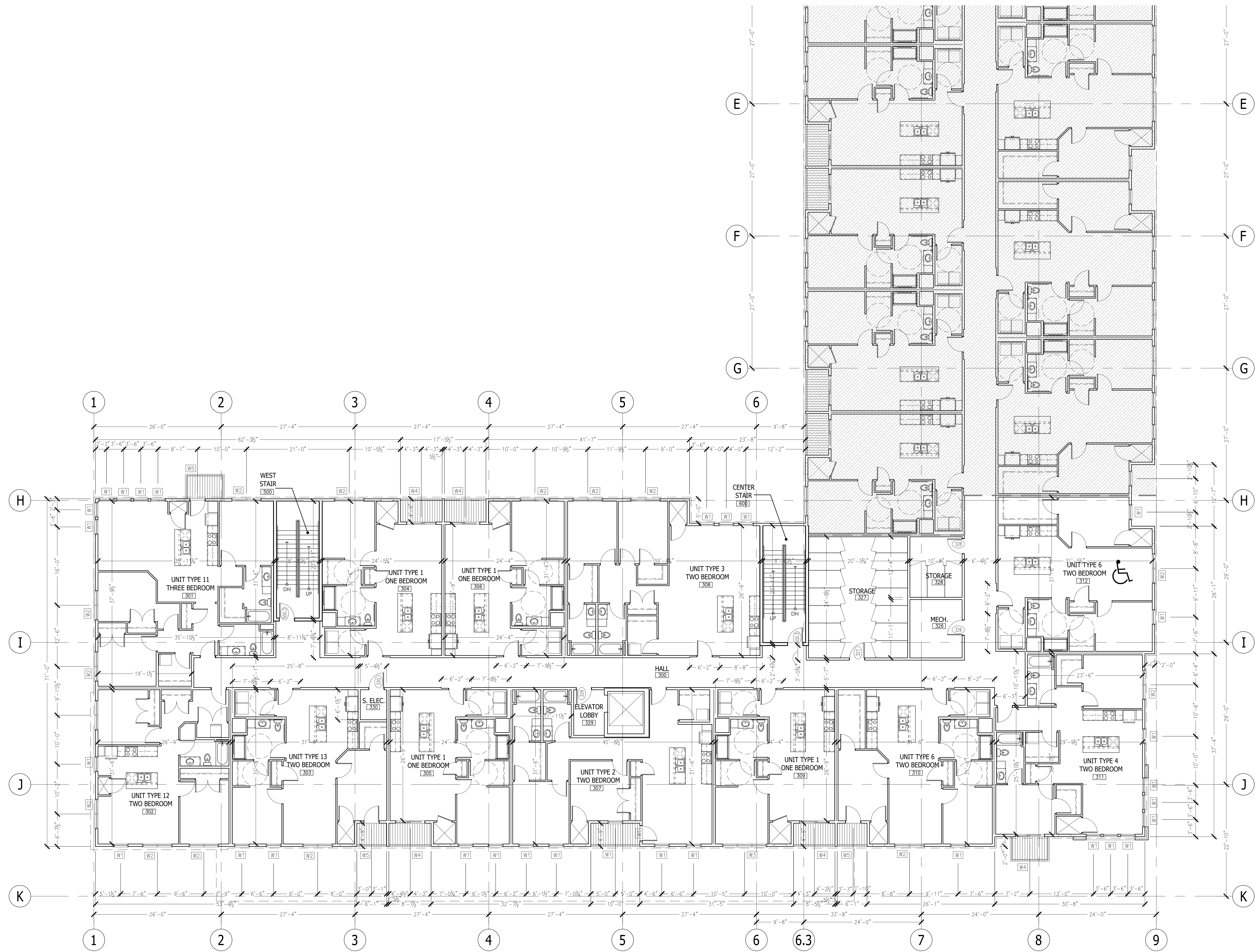
REVISIONS:

HAVEN ON MAIN
APARTMENT HOUSING
LACROSSE, WISCONSIN

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JWP/JUC

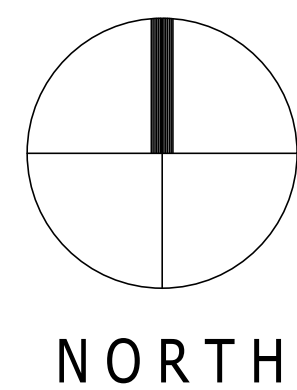
SHEET NUMBER

A1.2s



1 THIRD LEVEL FLOOR PLAN - SOUTH

27,700 TOTAL GROSS S.F.



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SHEET NUMBER

A1.3s

THIRD LEVEL FLOOR PLAN
SOUTH

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1/8" = 1'-0"

PRINTED ON 30x42

DATE:

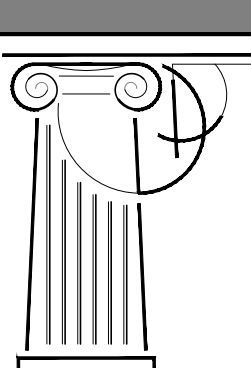
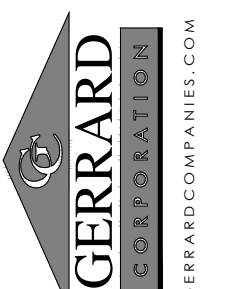
APRIL 17, 2025

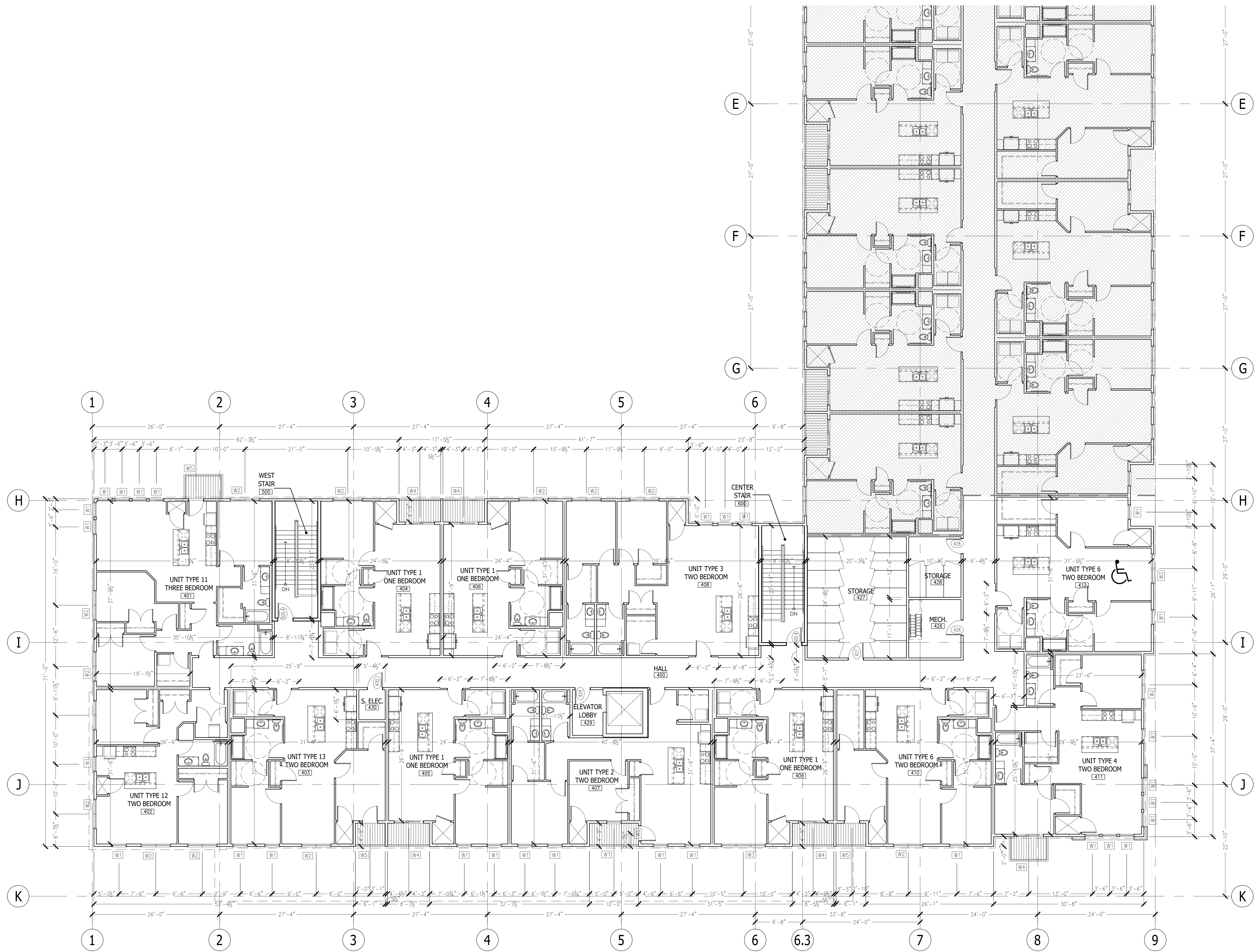
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LWP/JUC

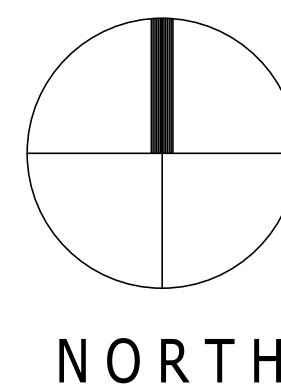
HAVEN ON MAIN
APARTMENT HOUSING
LACROSSE, WISCONSIN

REVISIONS:





1 FOURTH LEVEL FLOOR PLAN - SOUTH 27,700 TOTAL GROSS S.F.



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275 Indian Bend Road
Burlington, Wisconsin 53189
JOHN GERRARD, PRAJIT KHA
Phone: 414-588-5311

REVISIONS:

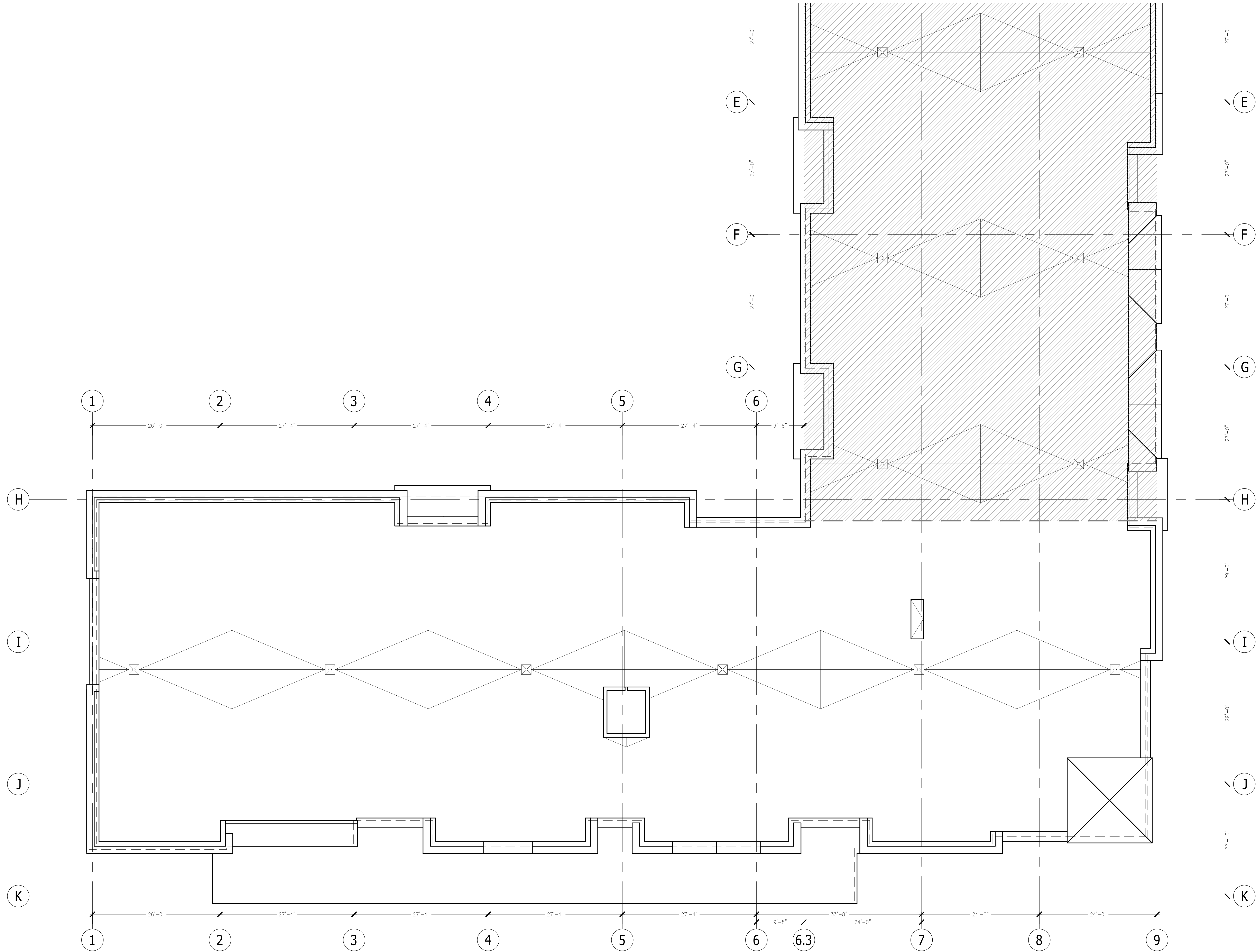
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APARTMENT HOUSING
LACROSSE, WISCONSIN

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PRINTED ON 30x42
DATE: APRIL 17, 2025
DRAWN BY: LWP/JUC

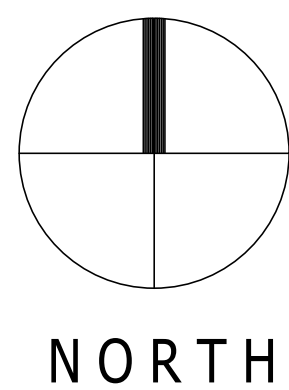
FOURTH LEVEL FLOOR PLAN
SOUTH

A1.4s

SHEET NUMBER



1 ROOF LEVEL PLAN - SOUTH



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

SHEET NUMBER

ROOF LEVEL PLAN
SOUTH

SCALE:
1/8" = 1'-0"

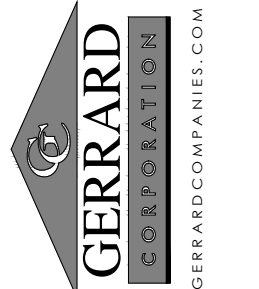
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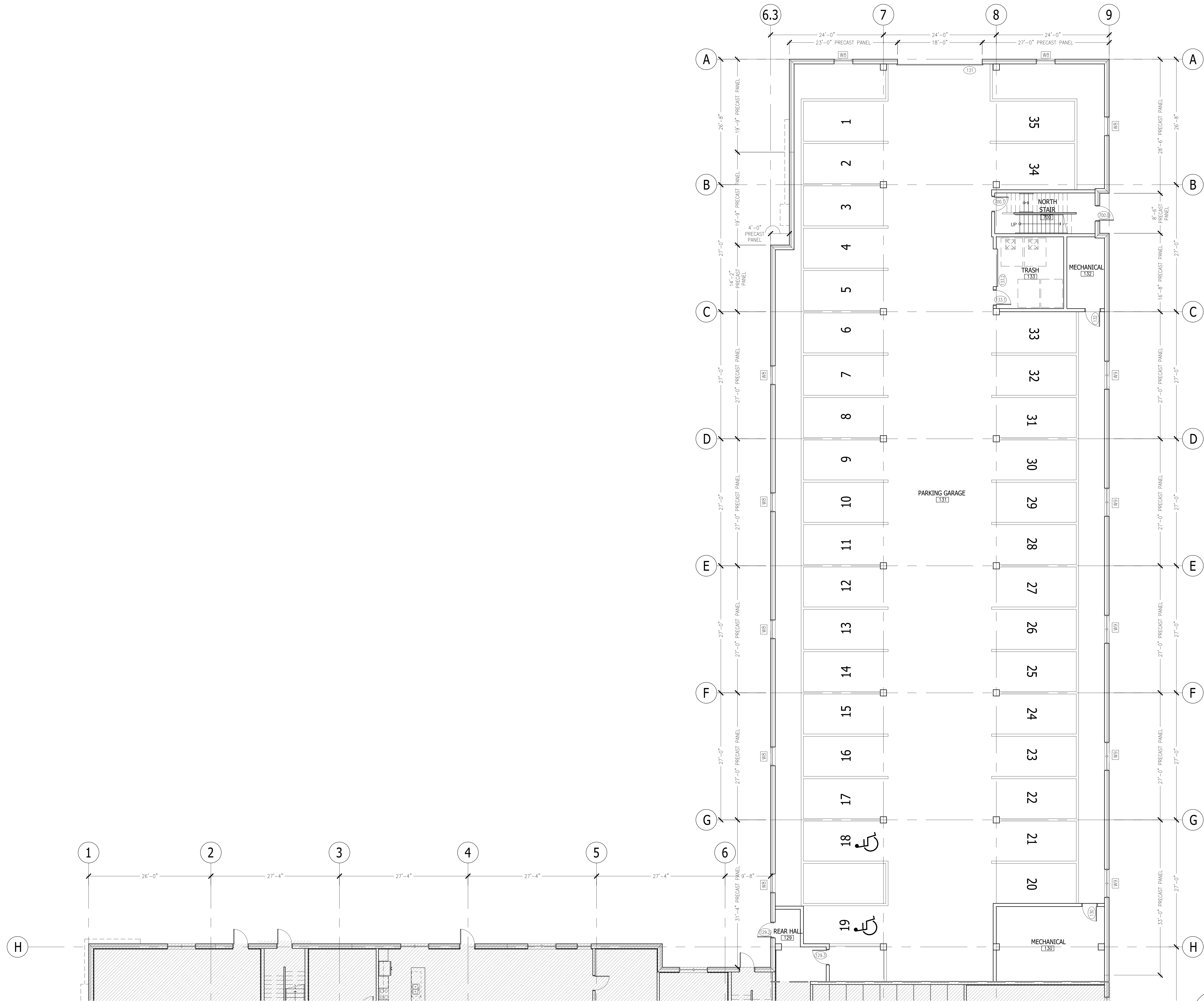
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HAVEN ON MAIN
APARTMENT HOUSING
LACROSSE, WISCONSIN

REVISIONS:

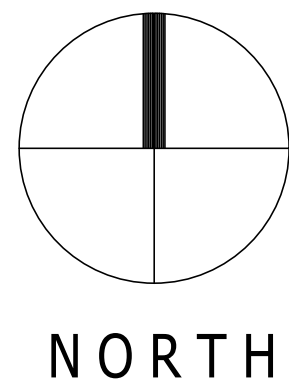


275 Indian Bend Road
Burlington, Wisconsin 53189
JOHN GERRARD, PRAJIT, AIA
PHONE: 414-588-5311



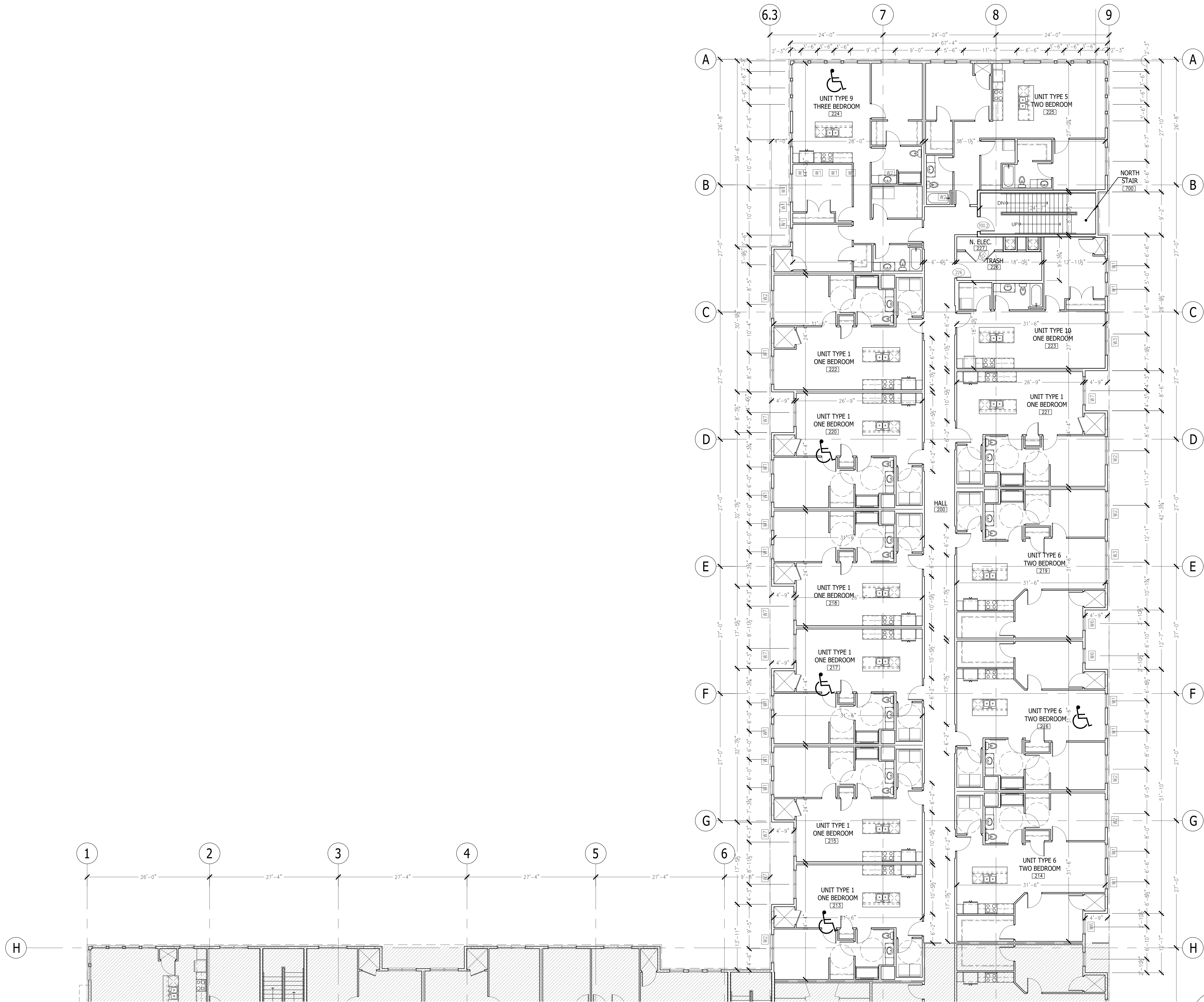
1 MAIN LEVEL FLOOR PLAN - NORTH

27,200 TOTAL GROSS S.F.

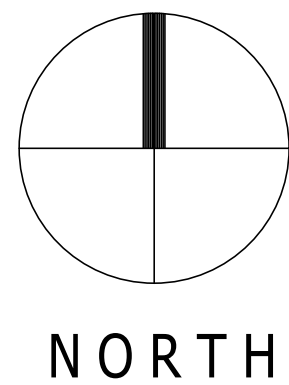


PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

SHEET NUMBER A1.1n	MAIN LEVEL FLOOR PLAN NORTH	SCALE: 1/8" = 1'-0" PRINTED ON 30x42	REVISIONS:	HAVEN ON MAIN APARTMENT HOUSING LACROSSE, WISCONSIN	GERRARD 253 E. 2ND ST. LACROSSE, WI 54601 PHONE: 608-785-5311 GERRARDCOMPANIES.COM	275 Indian Bend Road Burlington, Wisconsin 53189 JOHN WATSON, President, AIA PHONE: 608-588-5311
		DATE: APRIL 17, 2025	DRAWN BY: LWP/TUC			



1 SECOND LEVEL FLOOR PLAN - NORTH 27,700 TOTAL GROSS S.F.



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

SHEET NUMBER

SECOND LEVEL FLOOR PLAN
NORTH

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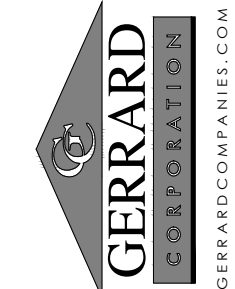
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DATE: APRIL 17, 2025

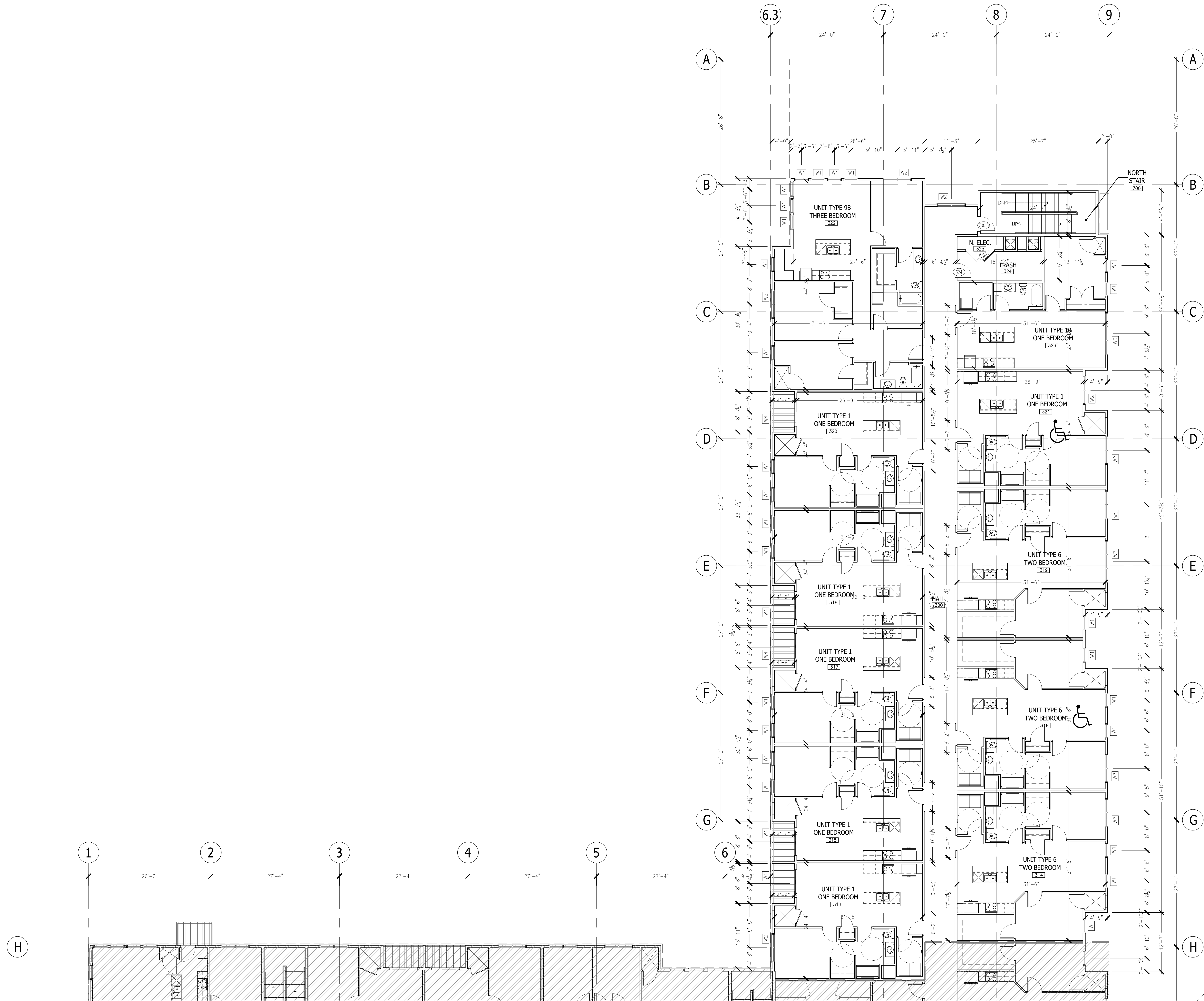
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APARTMENT HOUSING
LACROSSE, WISCONSIN

REVISIONS:

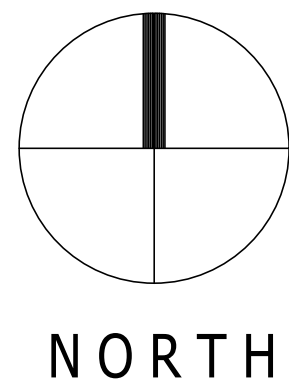


275 Indian Road Road
Burlington, Wisconsin 53183
JOHN GERRARD, PRAJIT KHA
Phone: 414-588-5311



1 THIRD LEVEL FLOOR PLAN - NORTH

27,700 TOTAL GROSS S.F.



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

SHEET NUMBER

THIRD LEVEL FLOOR PLAN
NORTH

SCALE:
1/8" = 1'-0"

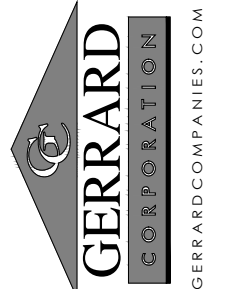
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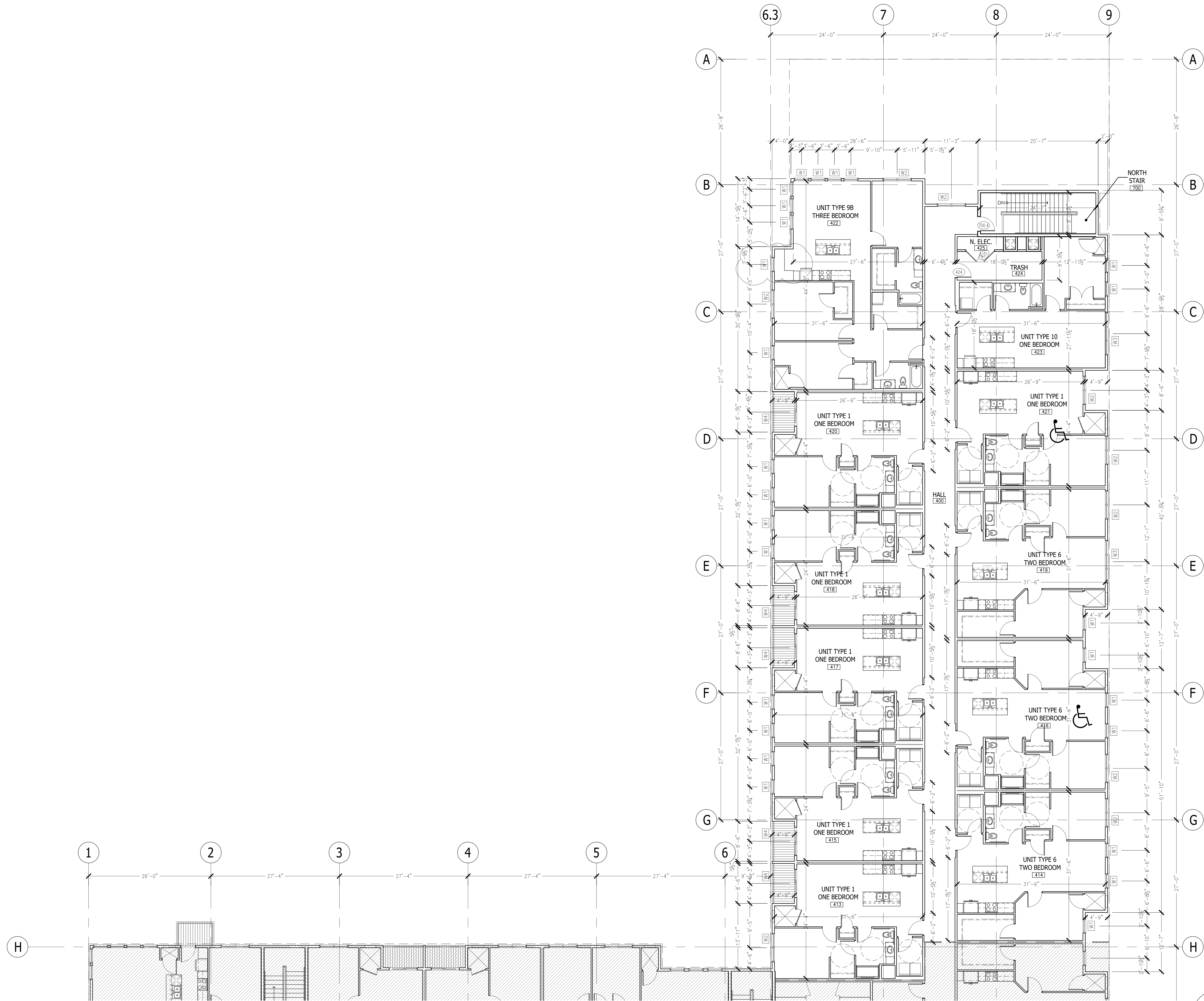
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HAVEN ON MAIN
APARTMENT HOUSING
LACROSSE, WISCONSIN

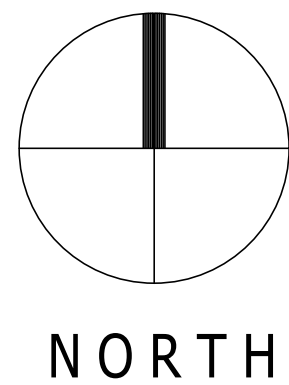
REVISIONS:



275 Indian Road
Burlington, Wisconsin 53189
JOHN GERRARD, PRAJIT KHA
PHONE: 414-588-5311



1 FOURTH LEVEL FLOOR PLAN - NORTH 27,700 TOTAL GROSS S.F.



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275 Indian Bend Road
Burlington, Wisconsin 53189
James W. Wray, President, AIA
Phone: 414-588-5311

GERRARD
ARCHITECTS
GERRARDCOMPANIES.COM

REVISIONS:

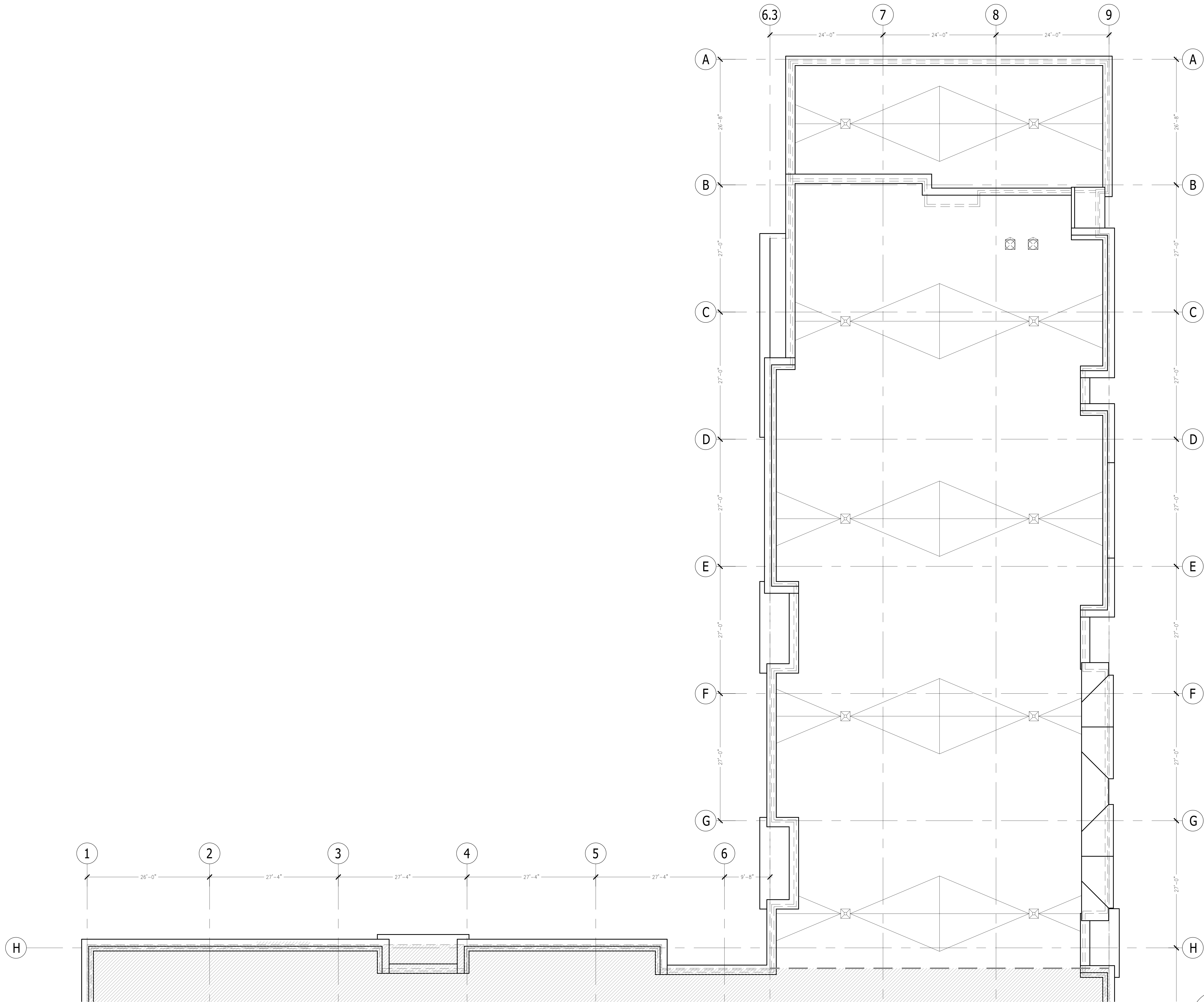
HAVEN ON MAIN
APARTMENT HOUSING
LACROSSE, WISCONSIN

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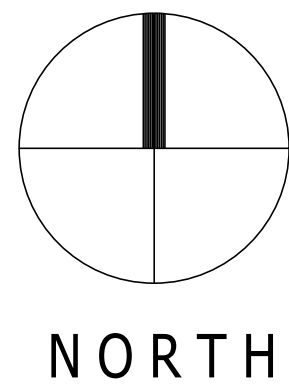
DATE: APRIL 17, 2025
DRAWN BY: LWP/JUC

SHEET NUMBER
FOURTH LEVEL FLOOR PLAN
NORTH
A1.4n

283



1 ROOF LEVEL PLAN - NORTH



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

SHEET NUMBER A1.5n	ROOF LEVEL PLAN NORTH	SCALE: 1/8" = 1'-0" PRINTED ON 30x42 DATE: APRIL 17, 2025 DRAWN BY: JWP/TUC	HAVEN ON MAIN APARTMENT HOUSING LACROSSE, WISCONSIN	REVISIONS:	 GERRARD 262.233.1770 GERRARDCOMPANIES.COM	 275 Indian Bend Road Burlington, Wisconsin 53189 JOHN WATSON, PRAJAY K. KHA PHONE: 414-588-5311
	264					

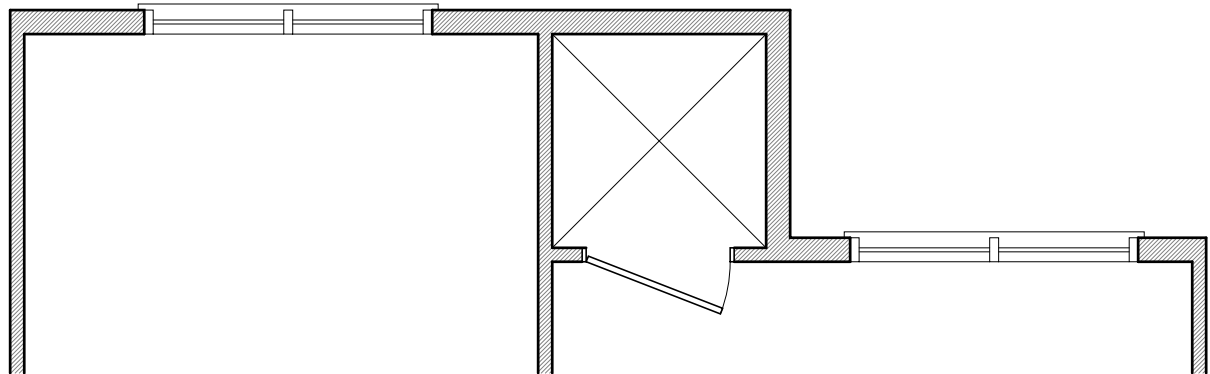
ACT-1	2X2 ACOUSTICAL CEILING TILE	GYP	GYPSUM WALLBOARD
ACT-2	2X2 ACOUSTICAL CEILING TILE-WASHABLE	AKNOCK DOOR FRAME	AKNOCK DOOR FRAME
ACT-3	2X4 ACOUSTICAL CEILING TILE-WASHABLE	LVT-1	VINYL PLANK FLOORING
CM-1	CULTURED MARBLE COUNTERTOP	P-1	PAINT - SHERWIN WILLIAMS - MAIN PAINT COLOR - EGG SHELL
CM-2	CULTURED MARBLE WINDOW SILL	P-2	PAINT - SHERWIN WILLIAMS - DOOR FRAME COLOR - EGG SHELL
CM-3	CONCRETE EXPOSED CONCRETE-UNFINISHED	P-3	PAINT - SHERWIN WILLIAMS - CEILING PAINT COLOR - FLAT
CP-1	CARPET TILE (UNIT)	P-4	PAINT - SHERWIN WILLIAMS - EXTERIOR DOOR PAINT COLOR - FLAT
CP-2	CARPET TILE (CORRIDOR)	PF-1	PRE-FINISHED CORK - DOOR COLOR
CP-3	ROLLED STAIR CARPET	PL-1	PLASTIC LAMINATE
CP-4	CARPET BASE (MATCH CP-2)	RB	RUBBER BASE
CT-1	CERAMIC TILE	WB-1	WOOD TRIM
CT-2	CERAMIC TILE BASE	UNF-1	UNFINISHED
CTB-1		VCT-1	VINYL COMPOSITION TILE



DOOR NUMBER	ROOM TITLE	DOOR					FRAME				DOOR & FRAME	MISC.	
		SIZE			MATERIAL	TYPE	GLASS	FINISH					
		WIDTH	HEIGHT	THICKNESS									
1.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD.	WD-C	-	-	M-1A	18	MINUTE	#2	
1.B	CLOSET	2'-6"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#7	
1.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#7	
1.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD.	WD-G	-	-	PF	-		#13	
1.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#9	
1.H	CLOSET/BATH	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#9	
1.J	BATH	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#9	

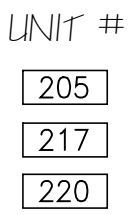
UNIT #

204	
213	
221	SI
321	SI
421	SI



TYPE-A ACCESSIBLE APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W x D x H)	COLOR	NOTES
WASHING MACHINE	-	-	WHITE	FRONT LOAD, ADA COMPLIANT
ELECTRIC DRYER	-	-	WHITE	FRONT LOAD, ADA COMPLIANT
REFRIGERATOR	-	-	STAINLESS	SIDE BY SIDE - ADA COMPLIANT
ELECTRIC RANGE	-	30" WIDE	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION FRONT CONTROLS, COORDINATE INSTALL. W/ COUNTERTOP MANUFACTURER ADA COMPLIANT
RANGE HOOD	-	-	STAINLESS	PROVIDE ACCESSIBLE SWITCHING
MICROWAVE	-	-	BLACK	COUNTERTOP MICROWAVE
DISHWASHER	-	-	STAINLESS	ADA COMPLIANT-28-1/2" HIGH
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1	-	-	1/3 HP

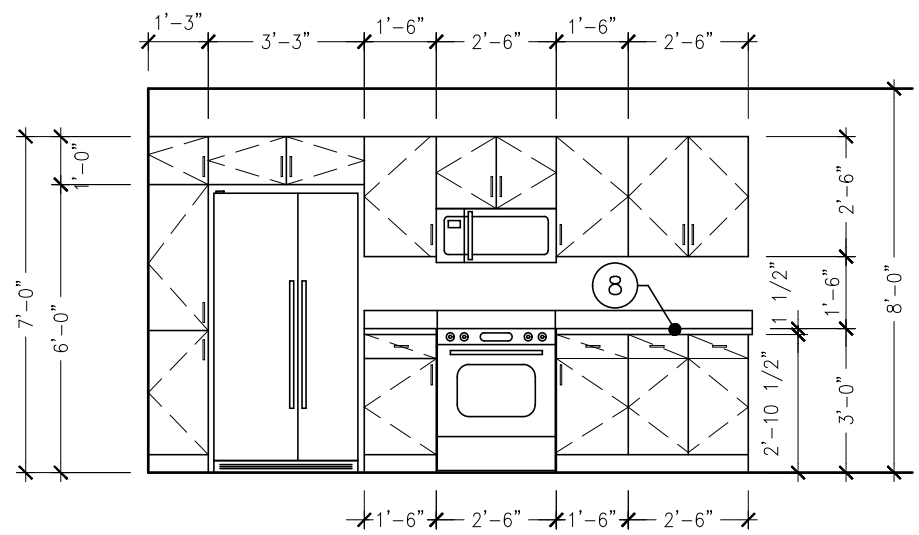
FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED



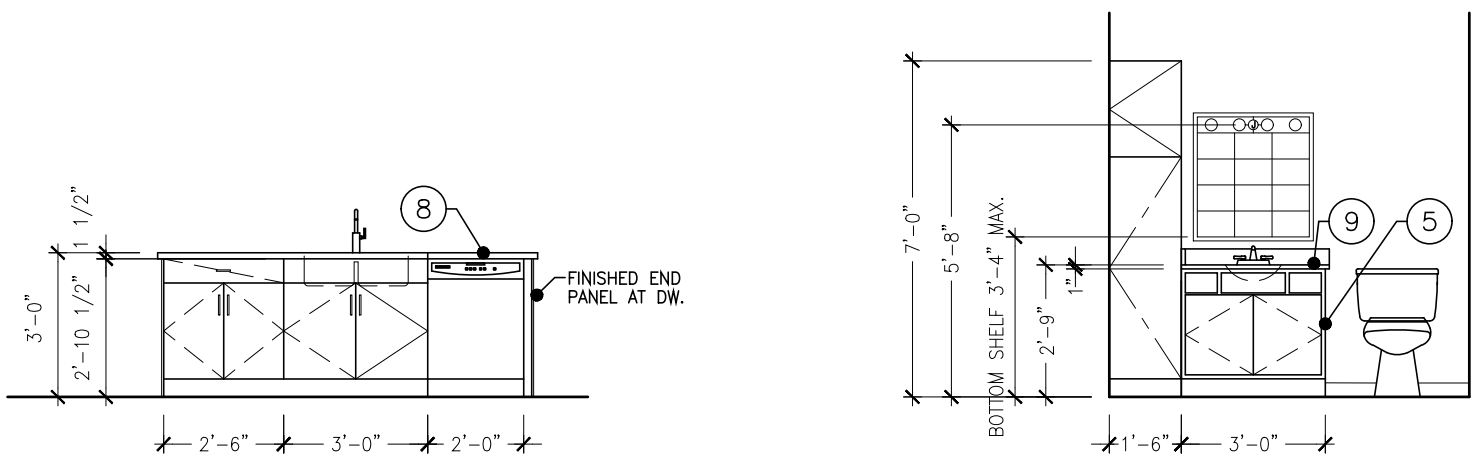
1 ONE BEDROOM UNIT PLAN - PLAN 1
1/4" = 1'-0" 725 S.F.

UNITS 206, 209, 215, 218, 222, 306, 309
315, 318, 406, 409, 415, 418

HAVEN FOR SPECIAL PEOPLE – APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W x D x H)	COLOR	NOTES
WASHING MACHINE	-	-	WHITE	FRONT LOAD, ADA COMPLIANT
ELECTRIC DRYER	-	-	WHITE	FRONT LOAD, ADA COMPLIANT
REFRIGERATOR	-	-	STAINLESS	SIDE BY SIDE – ADA COMPLIANT
ELECTRIC RANGE	-	30" WIDE	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION, FRONT CONTROLS, COORDINATE INSTALL. W/ COUNTERTOP MANUFACTURER, ADA COMPLIANT
MICROWAVE/RANGE HOOD	-	-	STAINLESS	-
DISHWASHER	-	-	STAINLESS	ADA COMPLIANT-28-1/2" HIGH
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1	-	-	1/3 HP
FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED				



KITCHEN ELEVATION
1/4" = 1'-0"



BATH ELEVATION
1/4" = 1'-0"

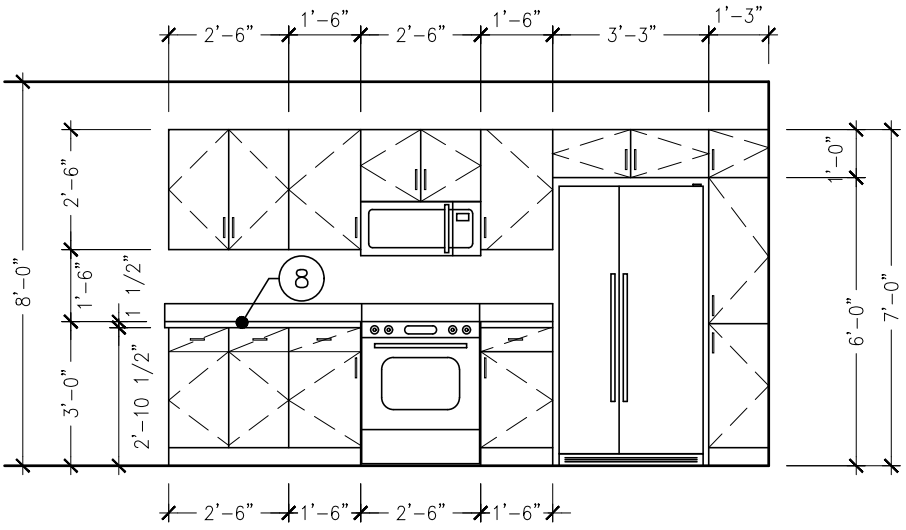
UNITS 206, 209, 215, 218, 222, 306, 309
315, 318, 406, 409, 415, 418

DOOR SCHEDULE (PLAN 1 –REVERSED)													
DOOR NUMBER	ROOM TITLE	DOOR					FRAME			FIRE LABEL DOOR & FRAME	SEE HARDWARE GROUP SHEET A3.1	MISC.	
		SIZE			MATERIAL	TYPE	GLASS	TYPE	FINISH				
		WIDTH	HEIGHT	THICKNESS									
1.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD.	WD-C	-	-	M-1A	KD	20 MINUTE	#2	
1.B	CLOSET	2'-6"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF		#7	
1.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF		#7	
1.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD.	WD-G	-	-	-	PF		#13	
1.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF		#9	
1.H	CLOSET/BATH	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF		#9	
1.J	BATH	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF		#9	

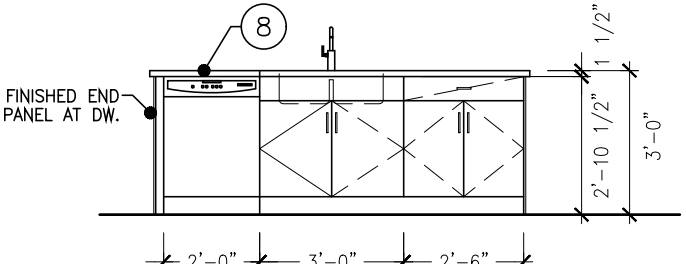
ONE BEDROOM UNIT PLAN - PLAN 1 - REVERSED
1/4" = 1'-0"

ROOM FINISH SCHEDULE										
ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WALLS	NORTH	SOUTH	EAST	WEST	CEILING	REMARKS (SEE NUMBERED LIST BELOW FOR MORE INFORMATION)
1.A	ENTRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3 8'-0" A.F.F. -
1.B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3 8'-0" A.F.F. -
1.C	LAUNDRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3 8'-0" A.F.F. -
1.D	KITCHEN	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3 8'-0" A.F.F. -
1.E	LIVING ROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3 8'-0" A.F.F. -
1.F	MECH.	-	-	P-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3 8'-0" A.F.F. -
1.G	BEDROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3 8'-0" A.F.F. -
1.H	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3 8'-0" A.F.F. -
1.J	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3 8'-0" A.F.F. -

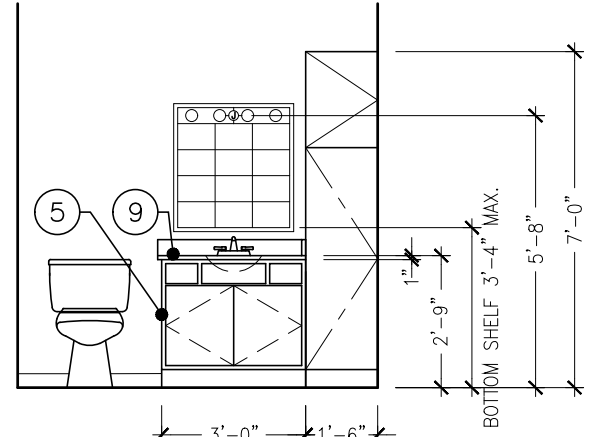
ACT-1	2X2 ACOUSTICAL CEILING TILE	GYP	GYPSON WALLBOARD
ACT-2	2X2 ACOUSTICAL CEILING TILE-WASHABLE	KD	KNOCK DOWN FRAME
ACT-3	2X4 ACOUSTICAL CEILING TILE-WASHABLE	LVT-1	VINYL PLANK FLOORING
CM-1	CULTURED MARBLE COUNTERTOP	P-1	PAINT - SHERWIN WILLIAMS - MAIN PAINT COLOR - EGG SHELL
CM-2	CULTURED MARBLE WINDOW SILL	P-2	PAINT - SHERWIN WILLIAMS - DOOR FRAME COLOR - EGG SHELL
CONC	EXPOSED CONCRETE-UNFINISHED	P-3	PAINT - SHERWIN WILLIAMS - CEILING PAINT COLOR - FLAT
CPT-1	CARPET TILE (UNIT)	P-4	PAINT - SHERWIN WILLIAMS - EXTERIOR DOOR PAINT COLOR - FLAT
CPT-2	CARPET TILE (CORRIDOR)	PF	PRE-FINISHED COLOR - DOOR COLOR
CPT-3	ROLLED STAIR CARPET	PLAM-1	PLASTIC LAMINATE
CPT-B	CARPET BASE (MATCH CPT-2)	RB	RUBBER BASE
CT-1	CERAMIC TILE	WB-1	WOOD TRIM
CTB-1	CERAMIC TILE BASE	UNF.	UNFINISHED
		VCT-1	VINYL COMPOSITION TILE



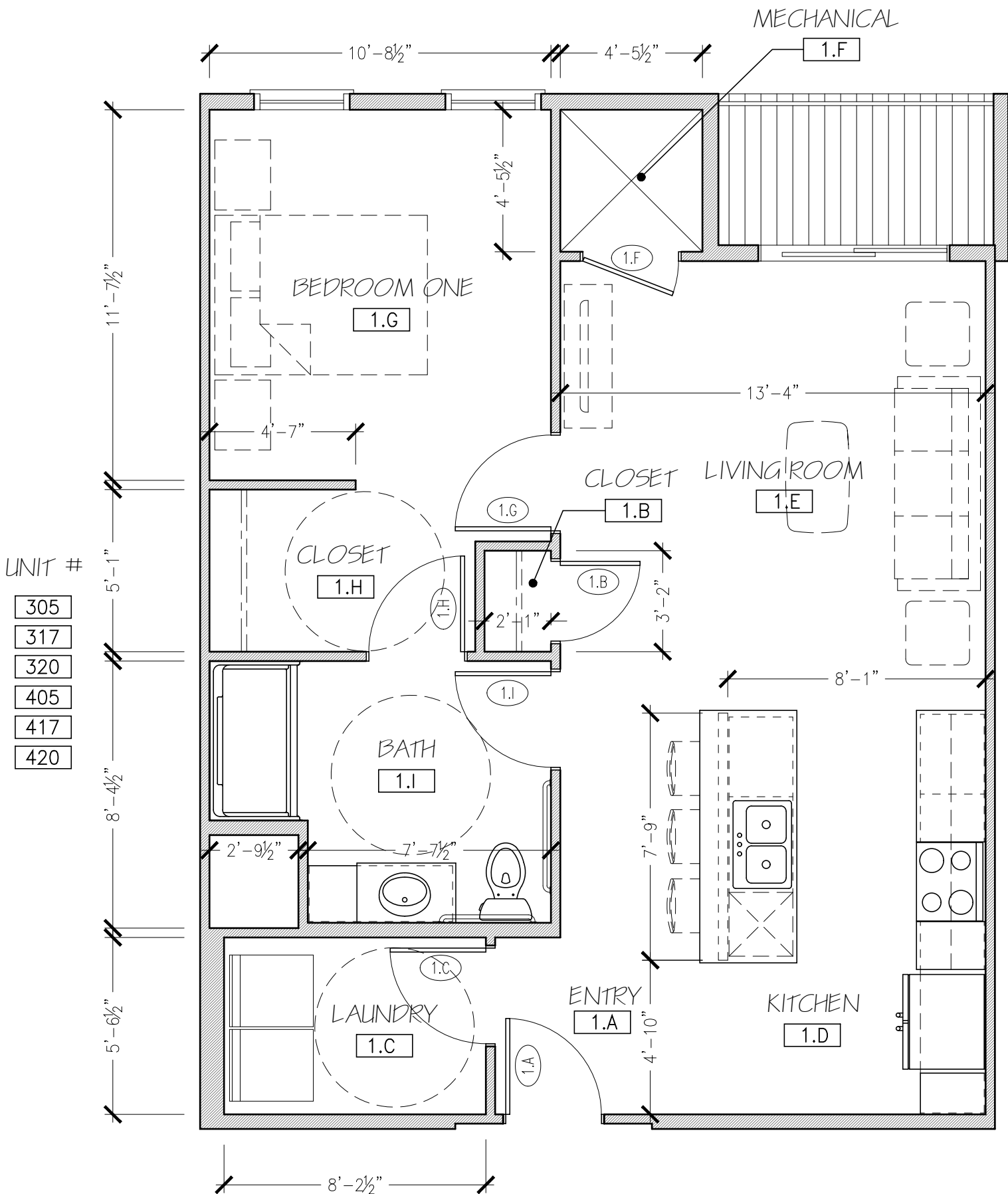
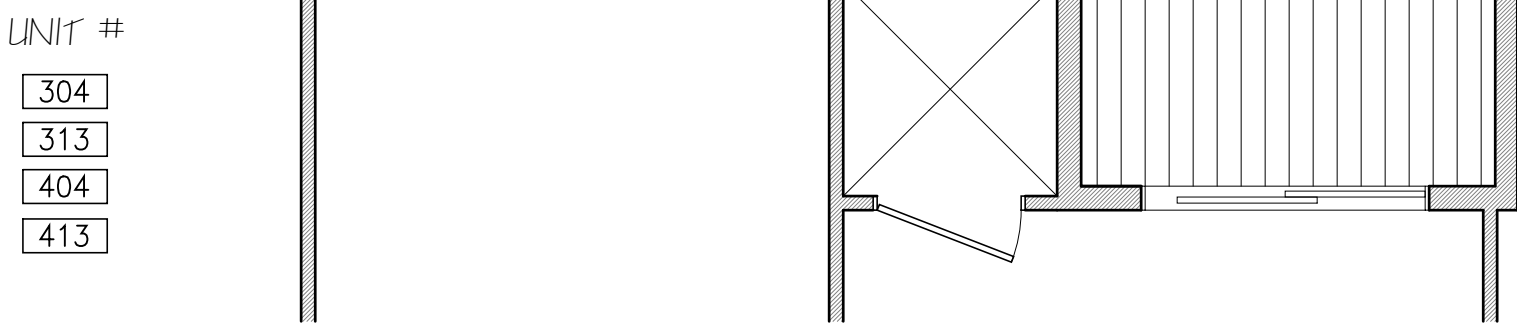
KITCHEN ELEVATION
1/4" = 1'-0"



KITCHEN ELEVATION
1/4" = 1'-0"



BATH ELEVATION
1/4" = 1'-0"



ONE BEDROOM UNIT PLAN - PLAN 1
1/4" = 1'-0"

UNITS 208, 308, 408

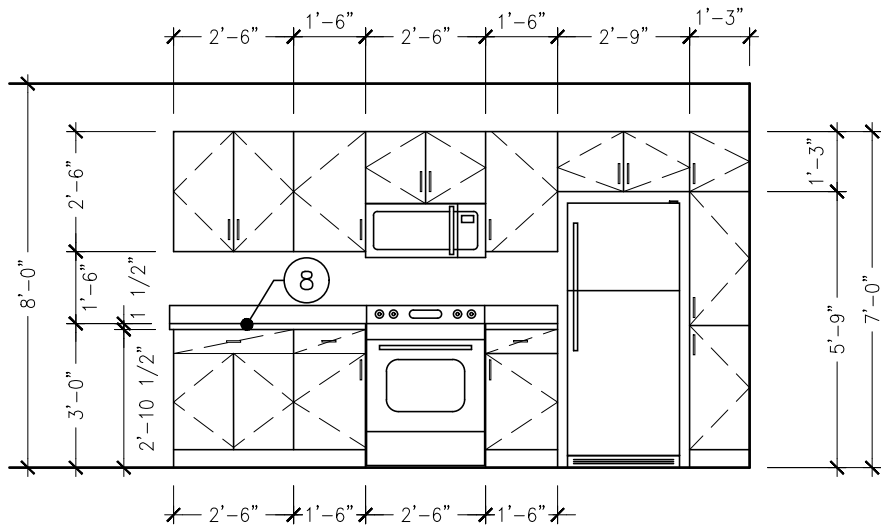
TYPE — B APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W X D X H)	COLOR	NOTES
WASHER/ELECTRIC DRYER	—	—	STAINLESS	STACKED
REFRIGERATOR	—	—	STAINLESS	—
ELECTRIC RANGE	—	—	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION
MICROWAVE/RANGE HOOD	—	—	STAINLESS	—
DISHWASHER	—	—	STAINLESS	—
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1	—	—	1/3 HP

FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED

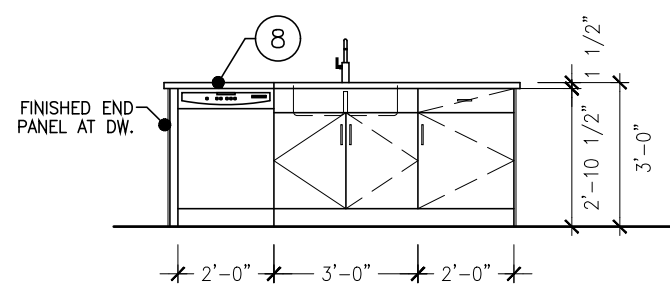
ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WALLS				CEILING			REMARKS (SEE NUMBERED LIST BELOW FOR MORE INFORMATION)
				NORTH	SOUTH	EAST	WEST	TYPE	FINISH	CLG. HT.	
3.A	ENTRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.C	LAUNDRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.D	KITCHEN	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.E	LIVING ROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.F	MECH.	—	—	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.G	BEDROOM ONE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.H	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.I	BATH ONE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.J	BEDROOM TWO	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.K	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—
3.L	BATH TWO	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	—

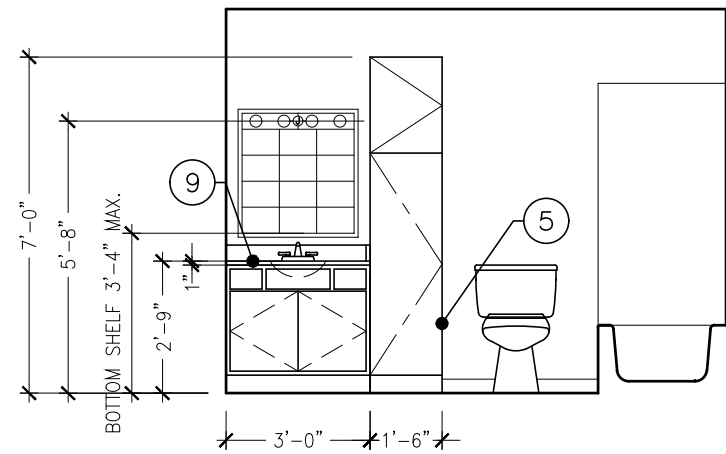
ACT-1	2X2 ACOUSTICAL CEILING TILE	GYP	GYP SUM WALLBOARD
ACT-2	2X2 ACOUSTICAL CEILING TILE—WASHABLE	KD	KNOCK DOWN FRAME
ACT-3	2X4 ACOUSTICAL CEILING TILE—WASHABLE	LVT-1	VINYL PLANK FLOORING
CM-1	CULTURED MARBLE COUNTERTOP	P-1	PAINT — SHERWIN WILLIAMS — MAIN PAINT COLOR — EGG SHELL
CM-2	CULTURED MARBLE WINDOW SILL	P-2	PAINT — SHERWIN WILLIAMS — DOOR FRAME COLOR — EGG SHELL
CONC	EXPOSED CONCRETE—UNFINISHED	P-3	PAINT — SHERWIN WILLIAMS — CEILING PAINT COLOR — FLAT
CPT-1	CARPET TILE (UNIT)	P-4	PAINT — SHERWIN WILLIAMS — EXTERIOR DOOR PAINT COLOR — FLAT
CPT-2	CARPET TILE (CORRIDOR)	PF	PRE-FINISHED COLOR — DOOR COLOR
CPT-3	ROLLED STAIR CARPET	PLAM-1	PLASTIC LAMINATE
CPT-B	CARPET BASE (MATCH CPT-2)	RB	RUBBER BASE
CT-1	CERAMIC TILE	WB-1	WOOD TRIM
CTB-1	CERAMIC TILE BASE	UNF.	UNFINISHED
		VCT-1	VINYL COMPOSITION TILE



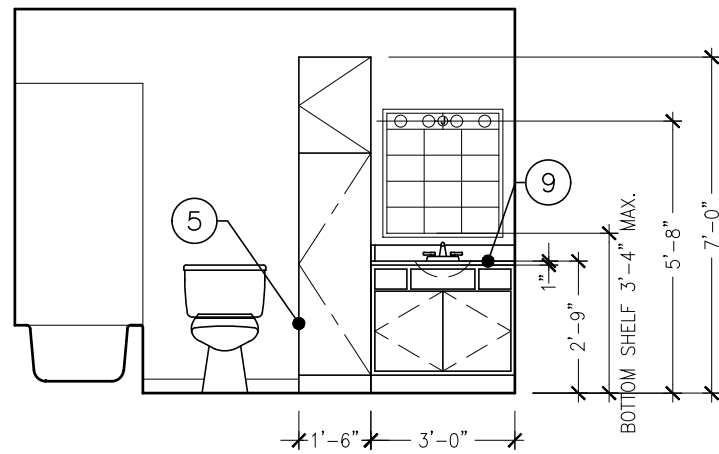
KITCHEN ELEVATION
1/4" = 1'-0"



KITCHEN ELEVATION
1/4" = 1'-0"



BATH ELEVATION
1/4" = 1'-0"



BATH ELEVATION
1/4" = 1'-0"

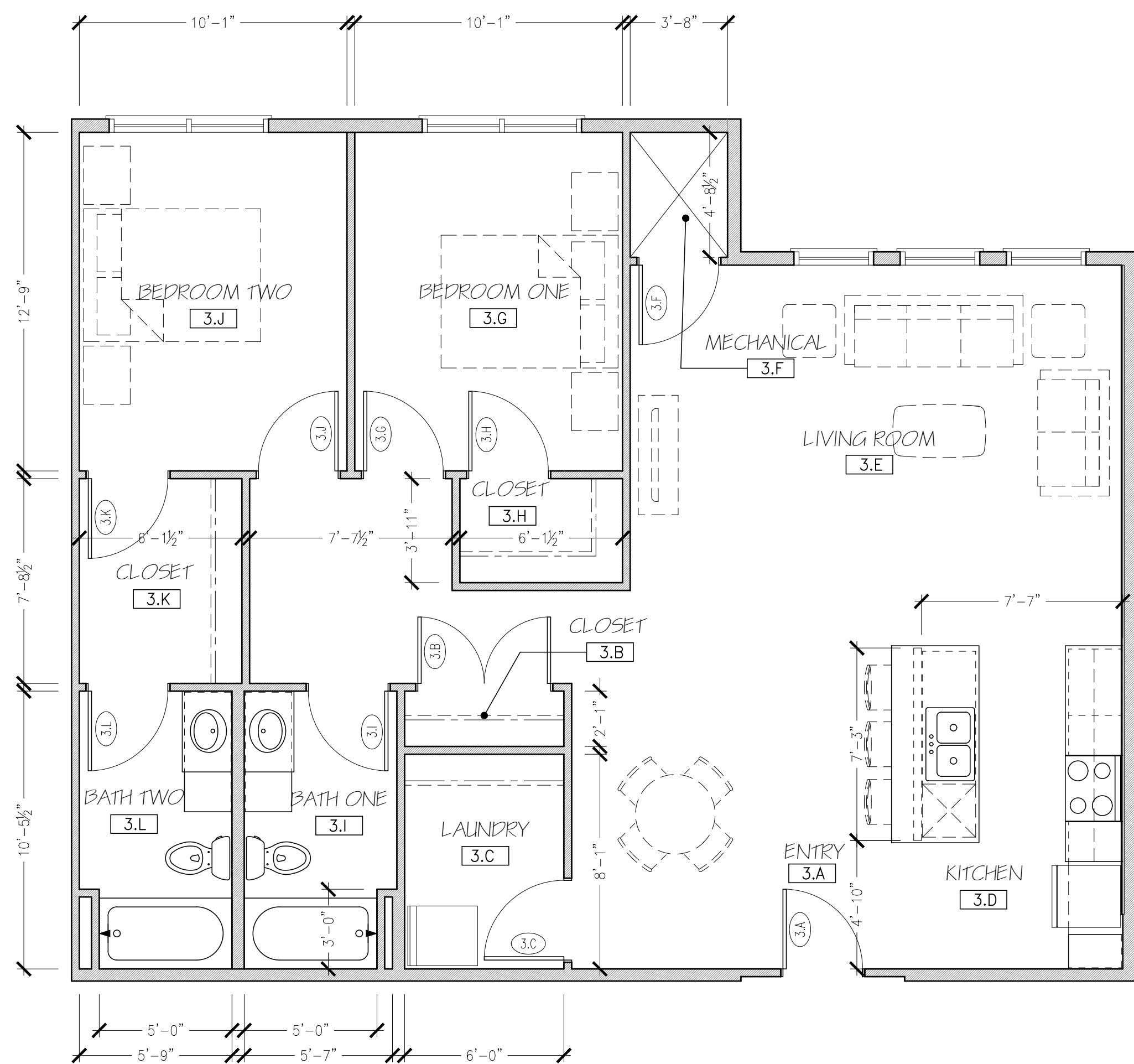
UNIT PLAN KEY NOTES

- NOTES REFERENCED ON THE DRAWING ARE INDICATED THUS: (#)
- ALL OTHER NOTES REFER TO GENERAL CONDITIONS AND MAY NOT BE SPECIFICALLY REFERENCED OR TAGGED ON PLAN.
- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING U.O.N.
 - 24" TOWEL BAR (TB-1) MOUNT 48" A.F.F.
 - 18" HAND TOWEL BAR (TB-2) MOUNT 52" A.F.F. AND CL OF TOILET (WHERE APPLICABLE)
 - TOILET PAPER HOLDER (TB-3) MOUNT 26" A.F.F.
 - VINYL COATED WIRE CLOSET SHELVING WITH FREE GLIDE HANGER ROD.
 - 1" DIA. CHROME SHOWER CURTAIN ROD AT ALL SHOWER UNITS.
 - COUNTERTOPS:
 - KITCHENS: 1 1/2" EDGE W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (PLAM-1)
 - BATHS: 1" SLAB W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (CM-1)
 - CULTURED MARBLE WINDOW SILL: 3/4" SLAB W/ 1/8" ROUNDOVER EDGE (CM-2)
 - PROVIDE REINFORCEMENT FOR INSTALLATION OF GRAB BARS IN SHOWER OR TUB UNIT. INSTALL GRAB BARS PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 1/A3.0 FOR MORE INFORMATION.
 - PROVIDE WOOD BLOCKING AS REINFORCEMENT FOR INSTALLATION OF GRAB BARS AT 33"-36" ABOVE FLOOR PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 2/A3.0 FOR MORE INFORMATION.

UNITS 208, 308, 408

DOOR SCHEDULE (PLAN 3)

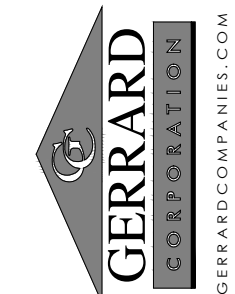
DOOR NUMBER	ROOM TITLE	DOOR			FRAME		FIRE LABEL DOOR & FRAME	GLASS	INSUL. DOOR	MISC.
		WIDTH	HEIGHT	THICKNESS	TYPE	FINISH				
3.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD-C	KD	20 MINUTE	#2		
3.B	CLOSET	5'-0"	6'-8"	1 3/8"	WD-A	PF		#8		
3.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD-A	PF		#7		
3.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD-G	PF		#13		
3.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD-A	PF		#9		
3.H	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	PF		#7		
3.I	BATH	3'-0"	6'-8"	1 3/8"	WD-A	PF		#9		
3.J	BEDROOM	3'-0"	6'-8"	1 3/8"	WD-A	PF		#9		
3.K	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	PF		#7		
3.L	BATH	3'-0"	6'-8"	1 3/8"	WD-A	PF		#9		



UNIT #

208
308
408

1 TWO BEDROOM UNIT PLAN - PLAN 3
1/4" = 1'-0" 1164 S.F.



UNIT 225

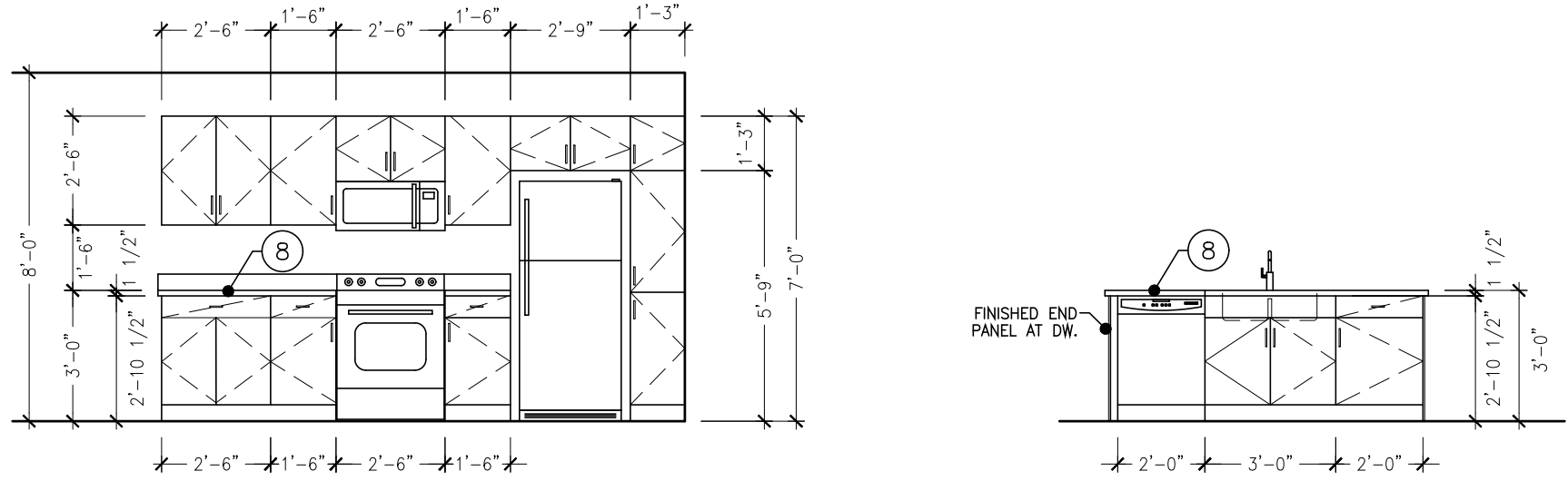
TYPE — B APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W X D X H)	COLOR	NOTES
WASHER/ELECTRIC DRYER	-	-	STAINLESS	STACKED
REFRIGERATOR	-	-	STAINLESS	-
ELECTRIC RANGE	-	-	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION
MICROWAVE/RANGE HOOD	-	-	STAINLESS	-
DISHWASHER	-	-	STAINLESS	-
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1	-	-	1/3 HP

FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED

ROOM FINISH SCHEDULE

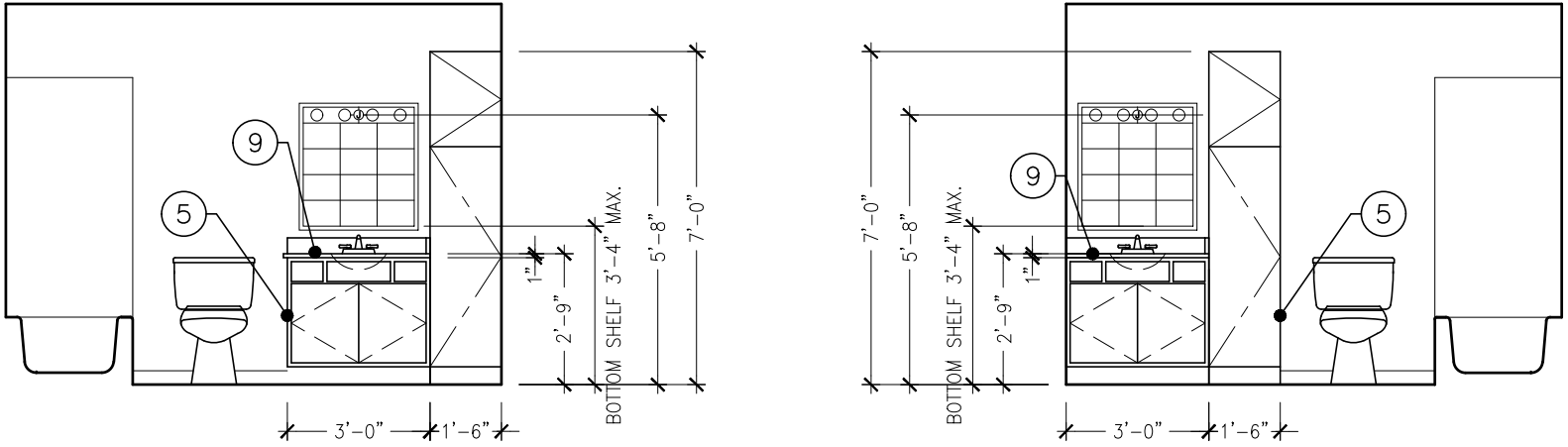
ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WALLS				CEILING			REMARKS (SEE NUMBERED LIST BELOW FOR MORE INFORMATION)
				NORTH	SOUTH	EAST	WEST	TYPE	FINISH	CLG. HT.	
5.A	ENTRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.C	LAUNDRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.D	KITCHEN	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.E	LIVING ROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.F	MECH.	-	-	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.G	BEDROOM ONE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.H	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.I	BATH ONE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.J	BEDROOM TWO	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.K	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-
5.L	BATH TWO	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-

ACT-1	2X2 ACOUSTICAL CEILING TILE	GYP	GYP SUM WALLBOARD
ACT-2	2X2 ACOUSTICAL CEILING TILE-WASHABLE	KD	KNOCK DOWN FRAME
ACT-3	2X4 ACOUSTICAL CEILING TILE-WASHABLE	LVT-1	VINYL PLANK FLOORING
CM-1	CULTURED MARBLE COUNTERTOP	P-1	PAINT - SHERWIN WILLIAMS - MAIN PAINT COLOR - EGG SHELL
CM-2	CULTURED MARBLE WINDOW SILL	P-2	PAINT - SHERWIN WILLIAMS - DOOR FRAME COLOR - EGG SHELL
CONC	EXPOSED CONCRETE-UNFINISHED	P-3	PAINT - SHERWIN WILLIAMS - CEILING PAINT COLOR - FLAT
CPT-1	CARPET TILE (UNIT)	P-4	PAINT - SHERWIN WILLIAMS - EXTERIOR DOOR PAINT COLOR - FLAT
CPT-2	CARPET TILE (CORRIDOR)	PF	PRE-FINISHED COLOR - DOOR COLOR
CPT-3	ROLLED STAIR CARPET	PLAM-1	PLASTIC LAMINATE
CPT-B	CARPET BASE (MATCH CPT-2)	WB	RUBBER BASE
CT-1	CERAMIC TILE	WB-1	WOOD TRIM
CTB-1	CERAMIC TILE BASE	UNF.	UNFINISHED
		VCT-1	VINYL COMPOSITION TILE



KITCHEN ELEVATION
1/4" = 1'-0"

KITCHEN ELEVATION
1/4" = 1'-0"



BATH ELEVATION
1/4" = 1'-0"

BATH ELEVATION
1/4" = 1'-0"

UNIT PLAN KEY NOTES

NOTES REFERENCED ON THE DRAWING ARE INDICATED THUS: (#)

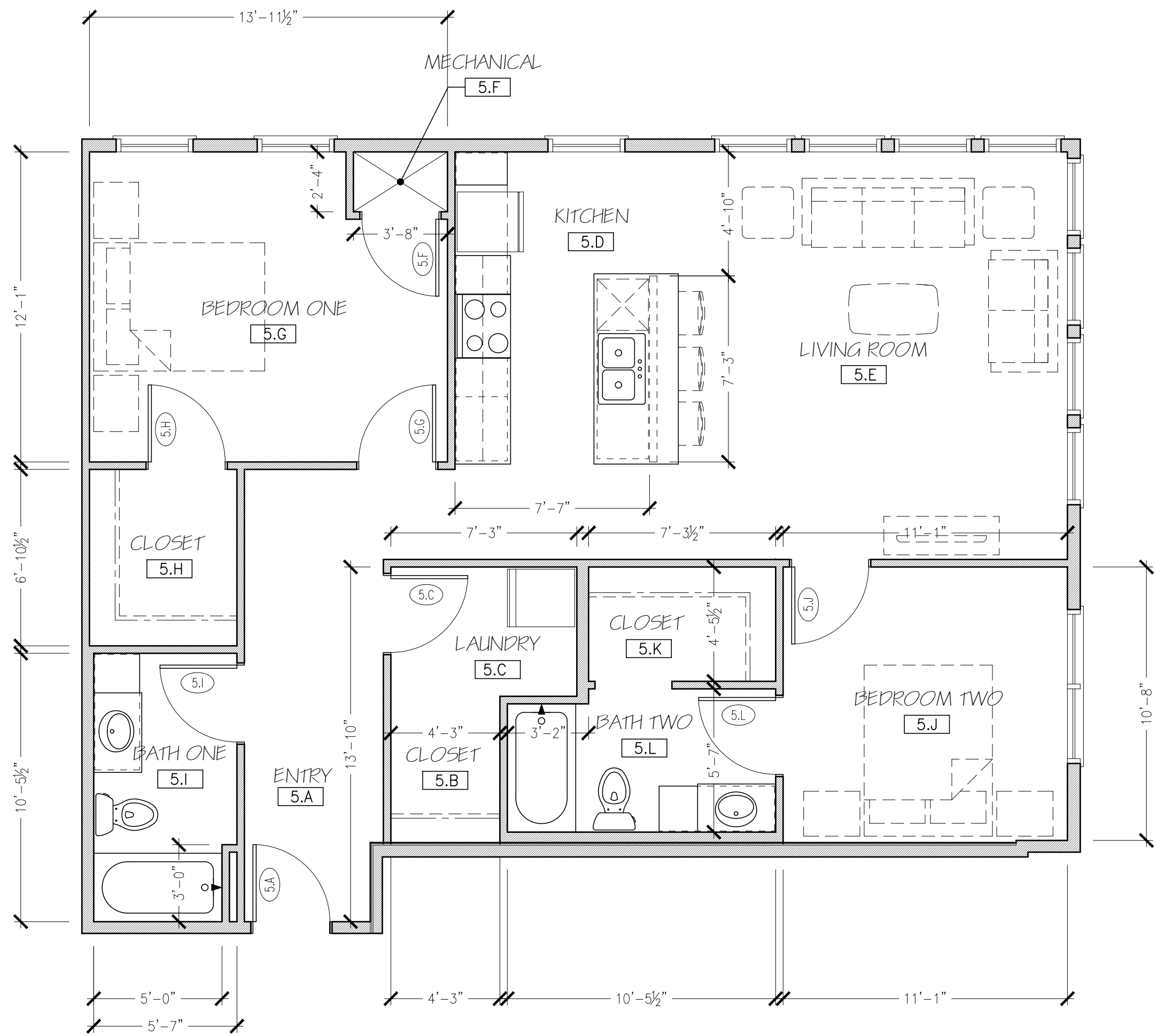
ALL OTHER NOTES REFER TO GENERAL CONDITIONS AND MAY NOT BE SPECIFICALLY REFERENCED OR TAGGED ON PLAN.

- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING U.O.N.
- 24" TOWEL BAR (TB-1) MOUNT 48" A.F.F.
- 18" HAND TOWEL BAR (TB-2) MOUNT 52" A.F.F. AND CL OF TOILET (WHERE APPLICABLE)
- TOILET PAPER HOLDER (TB-3) MOUNT 26" A.F.F.
- VINYL COATED WIRE CLOSET SHELVING WITH FREE GLIDE HANGER ROD.
- 1" DIA. CHROME SHOWER CURTAIN ROD AT ALL SHOWER UNITS.
- COUNTERTOPS:
A. KITCHENS: 1 1/2" EDGE W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (PLAM-1)
B. BATHS: 1" SLAB W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (CM-1)
- CULTURED MARBLE WINDOW SILL: 3/4" SLAB W/ 1/8" ROUNDOVER EDGE (CM-2)
- PROVIDE REINFORCEMENT FOR INSTALLATION OF GRAB BARS IN SHOWER OR TUB UNIT. INSTALL GRAB BARS PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 1/A3.0 FOR MORE INFORMATION.
- PROVIDE WOOD BLOCKING AS REINFORCEMENT FOR INSTALLATION OF GRAB BARS AT 33"-36" ABOVE FLOOR PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 2/A3.0 FOR MORE INFORMATION.

UNIT 225

DOOR SCHEDULE (PLAN 5)

DOOR NUMBER	ROOM TITLE	DOOR SIZE			FRAME	FIRE LABEL	DOOR & FRAME	SEE HARDWARE GROUP SHEET A3.1	INSUL. DOOR HCP. THRESHOLD	MISC.
		WIDTH	HEIGHT	THICKNESS						
5.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD-C	-	M-1A KD 20 MINUTE	#2		
5.B	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	-	PF	#7		
5.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD-A	-	PF	#7		
5.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD-G	-	PF	#13		
5.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD-A	-	PF	#9		
5.H	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	-	PF	#7		
5.I	BATH	3'-0"	6'-8"	1 3/8"	WD-A	-	PF	#9		
5.J	BEDROOM	3'-0"	6'-8"	1 3/8"	WD-A	-	PF	#9		
5.L	BATH	3'-0"	6'-8"	1 3/8"	WD-A	-	PF	#9		



UNIT #
225

1 TWO BEDROOM UNIT PLAN - PLAN 5
1/4" = 1'-0"

1062 S.F.

UNIT 210, 214, 219, 310, 314, 319, 410, 414, 419

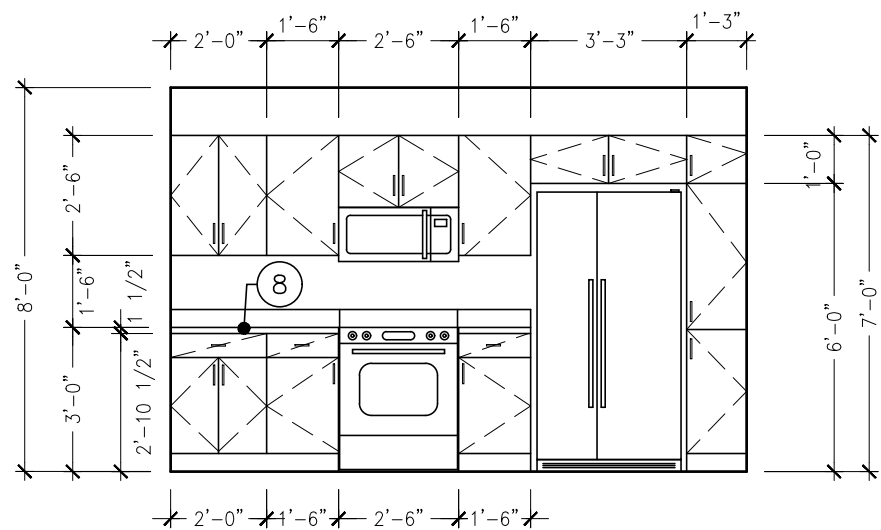
HAVEN FOR SPECIAL PEOPLE – APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W x D x H)	COLOR	NOTES
WASHING MACHINE	--	--	WHITE	FRONT LOAD, ADA COMPLIANT
ELECTRIC DRYER	--	--	WHITE	FRONT LOAD, ADA COMPLIANT
REFRIGERATOR	--	--	STAINLESS	SIDE BY SIDE – ADA COMPLIANT
ELECTRIC RANGE	--	30" WIDE	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION, FRONT CONTROLS, COORDINATE INSTALL W/ COUNTERTOP MANUFACTURER, ADA COMPLIANT
MICROWAVE/RANGE HOOD	--	--	STAINLESS	
DISHWASHER	--	--	STAINLESS	ADA COMPLIANT–28-1/2" HIGH
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1			1/3 HP

FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED

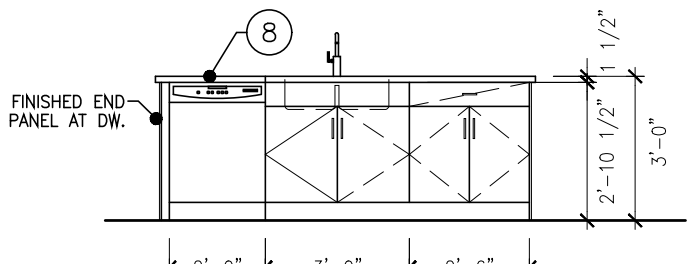
ROOM FINISH SCHEDULE											
ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WALLS	NORTH	SOUTH	EAST	WEST	CEILING	TYPE	FINISH
6.A	ENTRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	GYP	GYP	P-3
6.B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	KD	KD	P-3
6.C	LAUNDRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	VCT-1	VCT-1	P-3
6.D	KITCHEN	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	ACT-1	ACT-1	P-3
6.E	LIVING ROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	CM-1	CM-1	P-3
6.F	MECH.	--	--	P-1	P-1	P-1	P-1	P-1	CPT-1	CPT-1	P-3
6.G	BEDROOM ONE	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	CPT-2	CPT-2	P-3
6.H	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	CPT-3	CPT-3	P-3
6.I	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	CPT-B	CPT-B	P-3
6.J	BEDROOM TWO	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	CT-1	CT-1	P-3
6.K	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	P-1	CTB-1	CTB-1	P-3

ACT-1 2X2 ACOUSTICAL CEILING TILE
ACT-2 2X2 ACOUSTICAL CEILING TILE-WASHABLE
ACT-3 2X4 ACOUSTICAL CEILING TILE-WASHABLE
CM-1 CULTURED MARBLE COUNTERTOP
CM-2 CULTURED MARBLE WINDOW SILL
CONC EXPOSED CONCRETE-UNFINISHED
CPT-1 CARPET TILE (UNIT)
CPT-2 CARPET TILE (CORRIDOR)
CPT-3 ROLLED STAR CARPET
CPT-B CARPET BASE (MATCH CPT-2)
CT-1 CERAMIC TILE
CTB-1 CERAMIC TILE BASE

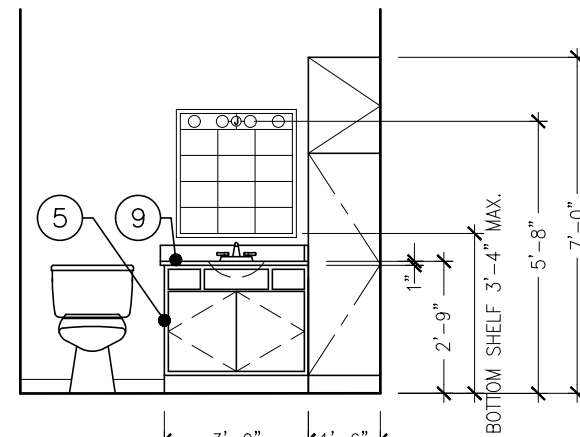
GYP GYPSUM WALLBOARD
KD KNOCK DOWN FRAME
LVT-1 VINYL PLANK FLOORING
P-1 PAINT – SHERWIN WILLIAMS – MAIN PAINT COLOR – EGG SHELL
P-2 PAINT – SHERWIN WILLIAMS – DOOR FRAME COLOR – EGG SHELL
P-3 PAINT – SHERWIN WILLIAMS – CEILING PAINT COLOR – FLAT
P-4 PAINT – SHERWIN WILLIAMS – EXTERIOR DOOR PAINT COLOR – FLAT
PF PRE-FINISHED COLOR – DOOR COLOR
PLAM-1 PLASTIC LAMINATE
RB RUBBER BASE
WB-1 WOOD TRIM
UNF UNFINISHED
VCT-1 VINYL COMPOSITION TILE



X KITCHEN ELEVATION
1/4" = 1'-0"



X KITCHEN ELEVATION
1/4" = 1'-0"



X BATH ELEVATION
1/4" = 1'-0"

UNIT PLAN KEY NOTES

NOTES REFERENCED ON THE DRAWING ARE INDICATED THUS: (#)

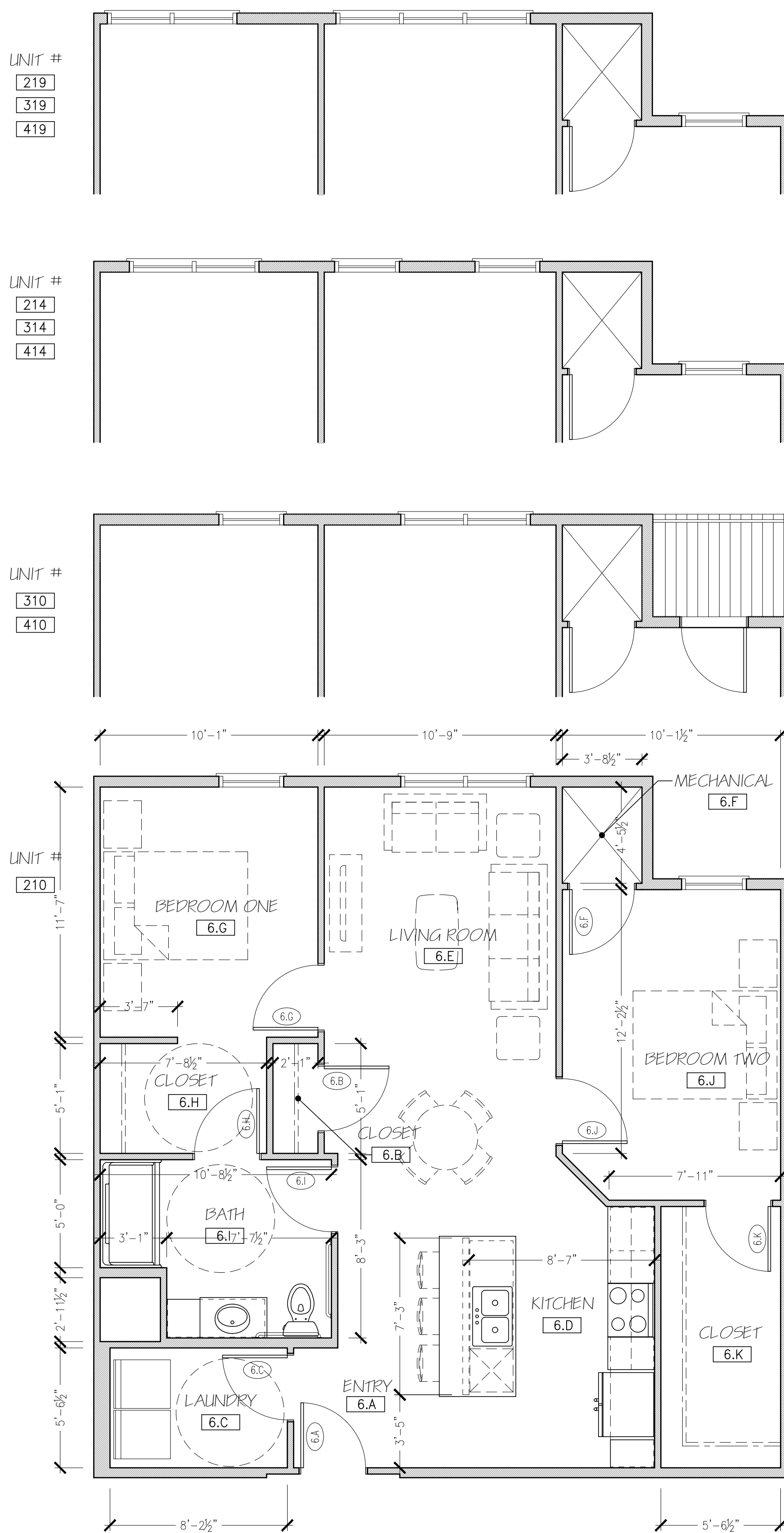
ALL OTHER NOTES REFER TO GENERAL CONDITIONS AND MAY NOT BE SPECIFICALLY REFERENCED OR TAGGED ON PLAN.

- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING U.O.N.
- 24" TOWEL BAR (TB-1) MOUNT 48" A.F.F.
- 18" HAND TOWEL BAR (TB-2) MOUNT 52" A.F.F. AND CL OF TOILET (WHERE APPLICABLE)
- TOILET PAPER HOLDER (TP-3) MOUNT 26" A.F.F.
- VINYL COATED WIRE CLOSET SHELVING WITH FREE GLIDE HANGER ROD.
- 1" DIA. CHROME SHOWER CURTAIN ROD AT ALL SHOWER UNITS.
- COUNTERTOPS:
A. KITCHENS: 1 1/2" EDGE W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (PLAM-1)
B. BATHS: 1" SLAB W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (CM-1)
- CULTURED MARBLE WINDOW SILL: 3/4" SLAB W/ 1/8" ROUNDOVER EDGE (CM-2)
- PROVIDE REINFORCEMENT FOR INSTALLATION OF GRAB BARS IN SHOWER OR TUB UNIT. INSTALL GRAB BARS PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 1/A3.0 FOR MORE INFORMATION.
- PROVIDE WOOD BLOCKING AS REINFORCEMENT FOR INSTALLATION OF GRAB BARS AT 33"-36" ABOVE FLOOR PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 2/A3.0 FOR MORE INFORMATION.

UNIT 210, 214, 219, 310, 314, 319, 410, 414, 419

DOOR SCHEDULE (PLAN 6)

DOOR NUMBER	ROOM TITLE	DOOR				FRAME		FIRE LABEL DOOR & FRAME	FIRE 20 MINUTE	SEE MARKING GROUP SHEET A3.1	INSUL. DOOR	HOP THRESHOLD	MISC.
		WIDTH	HEIGHT	THICKNESS	MATERIAL	GLASS TYPE	FINISH						
6.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD-C	-	M-1A	KD	#2				
6.B	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	#7				
6.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	#7				
6.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD-G	-	-	PF	#13				
6.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	#9				
6.H	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	#9				
6.I	BATH	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	#9				
6.J	BEDROOM	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	#9				
6.K	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	#7				



1 TWO BEDROOM UNIT PLAN - PLAN 6
1/4" = 1'-0"

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PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

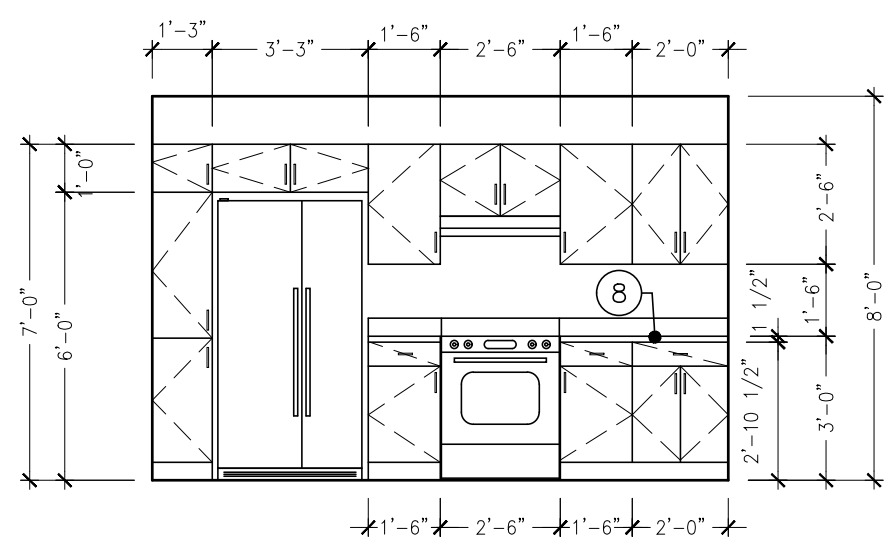
UNIT 212, 216, 312, 316, 412, 416

TYPE-A ACCESSIBLE APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W x D x H)	COLOR	NOTES
WASHING MACHINE	-	-	WHITE	FRONT LOAD, ADA COMPLIANT
ELECTRIC DRYER	-	-	WHITE	FRONT LOAD, ADA COMPLIANT
REFRIGERATOR	-	-	STAINLESS	SIDE BY SIDE - ADA COMPLIANT
ELECTRIC RANGE	-	30" WIDE	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION FRONT CONTROLS, COORDINATE INSTALL W/ COUNTERTOP MANUFACTURER ADA COMPLIANT
RANGE HOOD	-	-	STAINLESS	PROVIDE ACCESSIBLE SWITCHING
MICROWAVE	-	-	BLACK	COUNTERTOP MICROWAVE
DISHWASHER	-	-	STAINLESS	ADA COMPLIANT-28-1/2" HIGH
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1	-	-	1/3 HP
FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED				

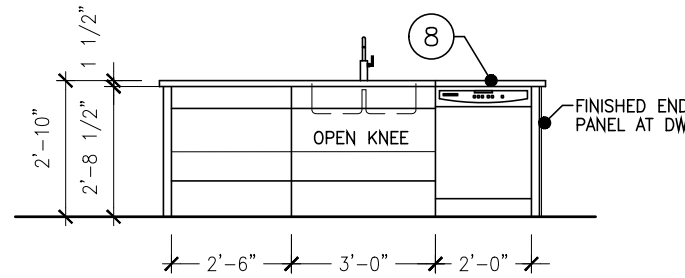
ROOM FINISH SCHEDULE											
ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WALLS				CEILING			REMARKS (SEE NUMBERED LIST BELOW FOR MORE INFORMATION)
				NORTH	SOUTH	EAST	WEST	TYPE	FINISH	CLG. HT.	
6.A	ENTRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.C	LAUNDRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.D	KITCHEN	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.E	LIVING ROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.F	MECH.	-	-	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.G	BEDROOM ONE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.H	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.I	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.J	BEDROOM TWO	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-
6.K	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP-SUM BOARD	P-3	8'-0" A.F.F.	-

ACT-1 2X2 ACOUSTICAL CEILING TILE
ACT-2 2X2 ACOUSTICAL CEILING TILE-WASHABLE
ACT-3 2X4 ACOUSTICAL CEILING TILE-WASHABLE
CM-1 CULTURED MARBLE COUNTERTOP
CM-2 CULTURED MARBLE WINDOW SILL
CONC EXPOSED CONCRETE-UNFINISHED
CPT-1 CARPET TILE (UNIT)
CPT-2 CARPET TILE (CORRIDOR)
CPT-3 ROLLED STAR CARPET
CPT-B CARPET BASE (MATCH CPT-2)
CT-1 CERAMIC TILE
CTB-1 CERAMIC TILE BASE

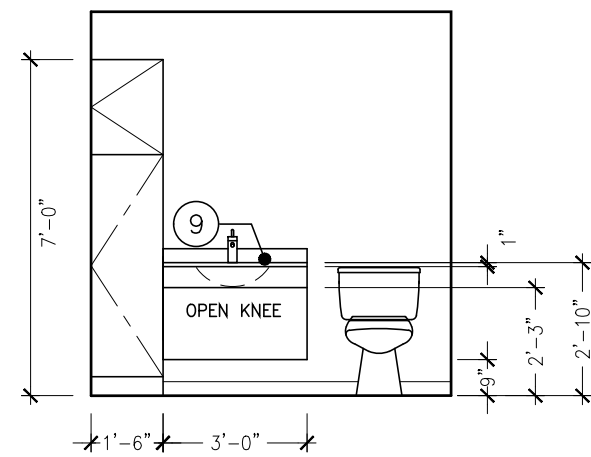
GYP GYPSUM WALLBOARD
KD KNOCK DOWN FRAME
LVT-1 VINYL PLANK FLOORING
P-1 PAINT - SHERWIN WILLIAMS - MAIN PAINT COLOR - EGG SHELL
P-2 PAINT - SHERWIN WILLIAMS - DOOR FRAME COLOR - EGG SHELL
P-3 PAINT - SHERWIN WILLIAMS - CEILING PAINT COLOR - FLAT
P-4 PAINT - SHERWIN WILLIAMS - EXTERIOR DOOR PAINT COLOR - FLAT
PF PRE-FINISHED COLOR - DOOR COLOR
PLAM-1 PLASTIC LAMINATE
RB RUBBER BASE
WB-1 WOOD TRIM
UNE UNFINISHED
VCT-1 VINYL COMPOSITION TILE



X KITCHEN ELEVATION
1/4" = 1'-0"



X KITCHEN ELEVATION
1/4" = 1'-0"



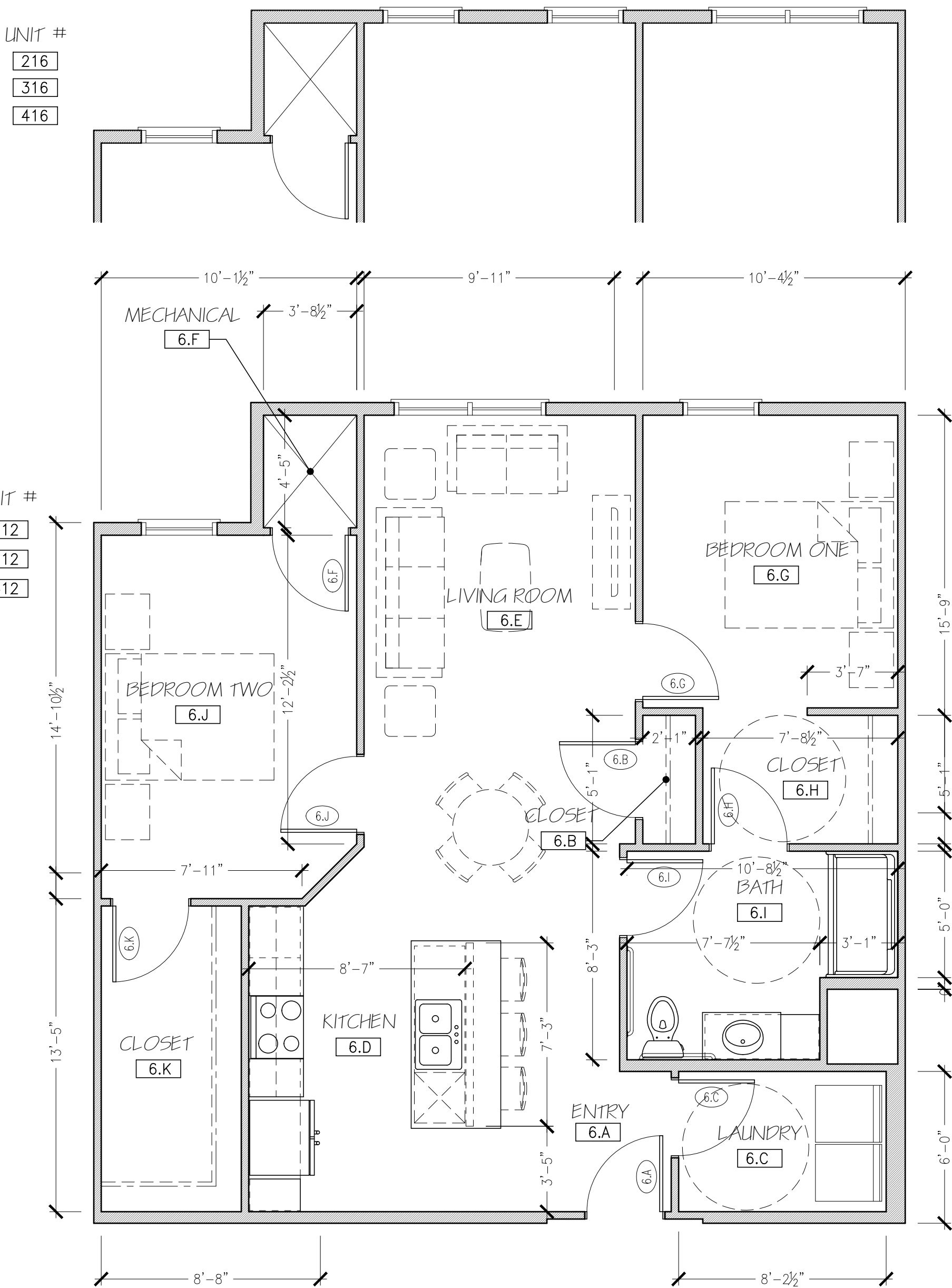
X BATH ELEVATION
1/4" = 1'-0"

UNIT PLAN KEY NOTES	
NOTES REFERENCED ON THE DRAWING ARE INDICATED THUS: (#)	
ALL OTHER NOTES REFER TO GENERAL CONDITIONS AND MAY NOT BE SPECIFICALLY REFERENCED OR TAGGED ON PLAN.	
(1) ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.	
(2) ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING U.O.N.	
(3) 24" TOWEL BAR (TB-1) MOUNT 48" A.F.F.	
(4) 18" HAND TOWEL BAR (TB-2) MOUNT 52" A.F.F. AND CL OF TOILET (WHERE APPLICABLE)	
(5) TOILET PAPER HOLDER (TB-3) MOUNT 26" A.F.F.	
(6) VINYL COATED WIRE CLOSET SHELVING WITH FREE GLIDE HANGER ROD.	
(7) 1" DIA. CHROME SHOWER CURTAIN ROD AT ALL SHOWER UNITS.	
COUNTERTOPS:	
A. KITCHENS: 1 1/2" EDGE W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (PLAM-1)	
B. BATHS: 1" SLAB W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (CM-1)	
(10) CULTURED MARBLE WINDOW SILL: 3/4" SLAB W/ 1/8" ROUNDOVER EDGE (CM-2)	
(11) PROVIDE REINFORCEMENT FOR INSTALLATION OF GRAB BARS IN SHOWER OR TUB UNIT. INSTALL GRAB BARS PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 1/A3.0 FOR MORE INFORMATION.	
(12) PROVIDE WOOD BLOCKING AS REINFORCEMENT FOR INSTALLATION OF GRAB BARS AT 33"-36" ABOVE FLOOR PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 2/A3.0 FOR MORE INFORMATION.	

UNIT 212, 216, 312, 316, 412, 416

DOOR SCHEDULE (PLAN 6)

DOOR NUMBER	ROOM TITLE	DOOR			FRAME		FIRE LABEL	DOOR & FRAME	SEE HARDWARE GROUP SHEET A3.1	MISC.
		WIDTH	HEIGHT	THICKNESS	GLASS TYPE	FINISH				
6.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD-C	-	M-1A	KD	20 MINUTE	#2
6.B	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	-	#7
6.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	-	#7
6.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD-G	-	-	PF	-	#13
6.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	-	#9
6.H	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	-	#9
6.I	BATH	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	-	#9
6.J	BEDROOM	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	-	#9
6.K	CLOSET	3'-0"	6'-8"	1 3/8"	WD-A	-	-	PF	-	#7



1 TWO BEDROOM UNIT PLAN - PLAN 6 - REVERSED
1/4" = 1'-0"

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UNIT 201

TYPE — B APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W X D X H)	COLOR	NOTES
WASHER/ELECTRIC DRYER	-	-	STAINLESS	STACKED
REFRIGERATOR	-	-	STAINLESS	-
ELECTRIC RANGE	-	-	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION
MICROWAVE/RANGE HOOD	-	-	STAINLESS	-
DISHWASHER	-	-	STAINLESS	-
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1	-	STAINLESS	1/3 HP

FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WALLS				CEILING		FINISH	CLG. HT.	REMARKS (SEE NUMBERED LIST BELOW FOR MORE INFORMATION)
				NORTH	SOUTH	EAST	WEST	TYPE				
8.A	ENTRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.C	LAUNDRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.D	KITCHEN	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.E	LIVING ROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.F	MECH.	-	-	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.G	BEDROOM ONE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.H	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.I	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.J	BEDROOM TWO	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.K	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.L	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.M	BEDROOM THREE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	
8.N	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F.	-	

ACT-1

ACT-2

ACT-3

CM-1

CM-2

CONC

CPT-1

CPT-2

CPT-3

CPT-B

CT-1

CTB-1

2X2 ACOUSTICAL CEILING TILE

2X4 ACOUSTICAL CEILING TILE-WASHABLE

CULTURED MARBLE COUNTERTOP

CULTURED MARBLE WINDOW SILL

EXPOSED CONCRETE-UNFINISHED

CARPET TILE (UNIT)

CARPET TILE (CORRIDOR)

ROLLED STAIR CARPET

CARPET BASE (MATCH CPT-2)

CERAMIC TILE

CERAMIC TILE BASE

GYP KD

LVT-1

P-1

P-2

P-3

P-4

PF

PLAM-1

RB

WB-1

UNF.

VCT-1

GYP SUM WALLBOARD

KNOCK DOWN FRAME

VINYL PLANK FLOORING

PAINT - SHERWIN WILLIAMS - MAIN PAINT COLOR - EGG SHELL

PAINT - SHERWIN WILLIAMS - DOOR FRAME COLOR - EGG SHELL

PAINT - SHERWIN WILLIAMS - CEILING PAINT COLOR - FLAT

PAINT - SHERWIN WILLIAMS - EXTERIOR DOOR PAINT COLOR - FLAT

PRE-FINISHED COLOR - DOOR COLOR

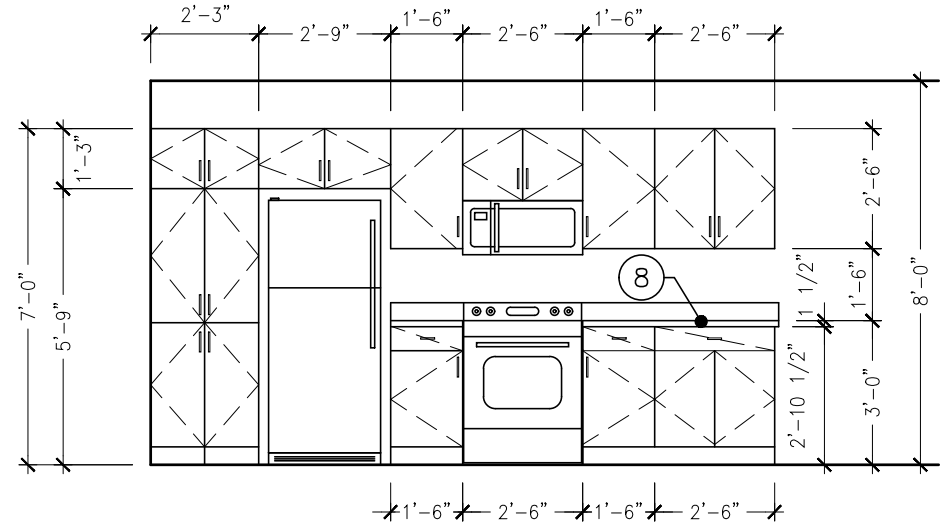
PLASTIC LAMINATE

RUBBER BASE

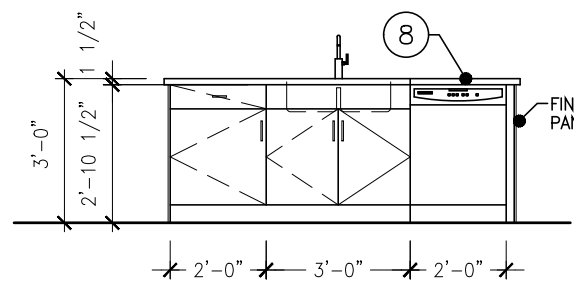
WOOD TRIM

UNFINISHED

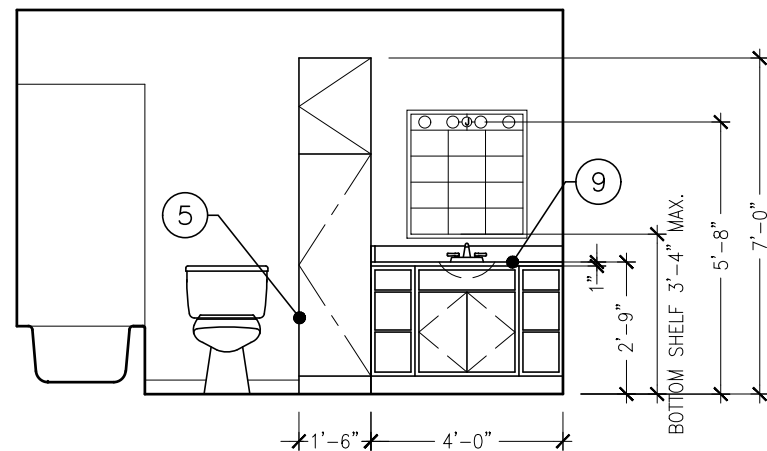
VINYL COMPOSITION TILE



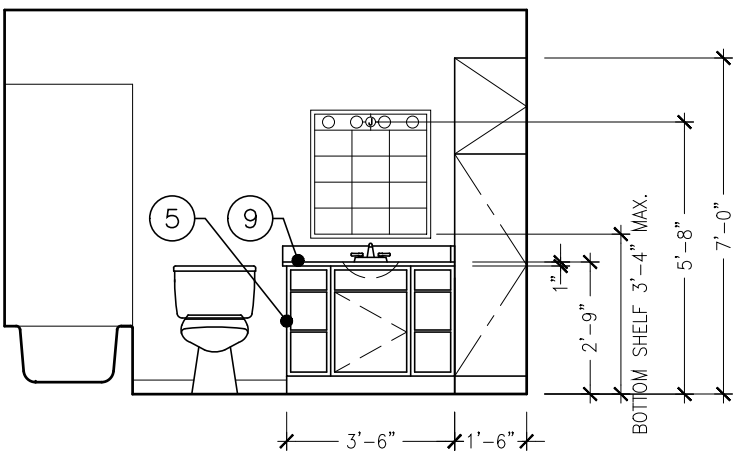
KITCHEN ELEVATION
1/4" = 1'-0"



KITCHEN ELEVATION
1/4" = 1'-0"



BATH ELEVATION
1/4" = 1'-0"



BATH ELEVATION
1/4" = 1'-0"

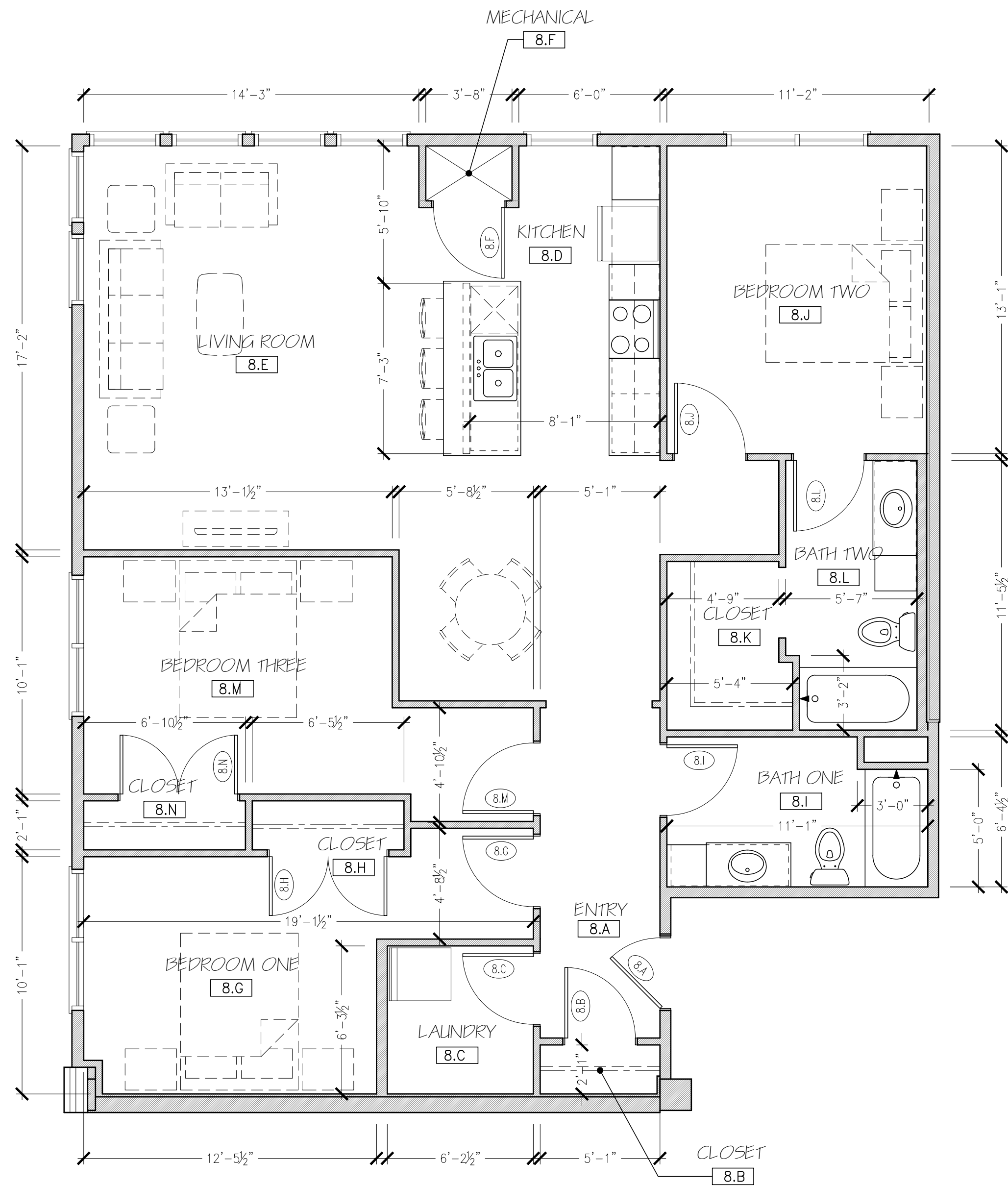
UNIT PLAN KEY NOTES

- NOTES REFERENCED ON THE DRAWING ARE INDICATED THUS: (#)
- ALL OTHER NOTES REFER TO GENERAL CONDITIONS AND MAY NOT BE SPECIFICALLY REFERENCED OR TAGGED ON PLAN.
- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING U.O.N.
 - 24" TOWEL BAR (TB-1) MOUNT 48" A.F.F.
 - 18" HAND TOWEL BAR (TB-2) MOUNT 52" A.F.F. AND CL OF TOILET (WHERE APPLICABLE)
 - TOILET PAPER HOLDER (TB-3) MOUNT 26" A.F.F.
 - VINYL COATED WIRE CLOSET SHELVING WITH FREE GLIDE HANGER ROD.
 - 1" DIA. CHROME SHOWER CURTAIN ROD AT ALL SHOWER UNITS.
 - COUNTERTOPS:
A. KITCHENS: 1 1/2" EDGE W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (PLAM-1)
B. BATHS: 1" SLAB W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (CM-1)
 - CULTURED MARBLE WINDOW SILL: 3/4" SLAB W/ 1/8" ROUNDOVER EDGE (CM-2)
 - PROVIDE REINFORCEMENT FOR INSTALLATION OF GRAB BARS IN SHOWER OR TUB UNIT. INSTALL GRAB BARS PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 1/A3.0 FOR MORE INFORMATION.
 - PROVIDE WOOD BLOCKING AS REINFORCEMENT FOR INSTALLATION OF GRAB BARS AT 33"-36" ABOVE FLOOR PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 2/A3.0 FOR MORE INFORMATION.

UNIT 201

DOOR SCHEDULE (PLAN 8)

DOOR NUMBER	ROOM TITLE	DOOR SIZE			MATERIAL	TYPE	GLASS	FRAME		FIRE LABEL	DOOR & FRAME	SEE HARDWARE GROUP SHEET A3.1	INSUL. DOOR	POPT. THRESHOLD	MISC.
		WIDTH	HEIGHT	THICKNESS				TYPE	FINISH						
8.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD	WD-C	-	M-1A	KD	20 MINUTE	#2				
8.B	CLOSET	3'-0"	6'-8"	1 3/8"	WD	WD-A	-	-	PF		#7				
8.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD	WD-A	-	-	PF		#7				
8.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD	WD-G	-	-	PF		#13				
8.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD	WD-A	-	-	PF		#9				
8.H	CLOSET	5'-0"	6'-8"	1 3/8"	WD	WD-A	-	-	PF		#8				
8.I	BATH	3'-0"	6'-8"	1 3/8"	WD	WD-A	-	-	PF		#9				
8.J	BEDROOM	3'-0"	6'-8"	1 3/8"	WD	WD-A	-	-	PF		#9				
8.L	BATH	3'-0"	6'-8"	1 3/8"	WD	WD-A	-	-	PF		#9				
8.M	BEDROOM	3'-0"	6'-8"	1 3/8"	WD	WD-A	-	-	PF		#9				
8.N	CLOSET	5'-0"	6'-8"	1 3/8"	WD	WD-A	-	-	PF		#8				



UNIT #
201

1 THREE BEDROOM UNIT PLAN - PLAN 8
1/4" = 1'-0"

1,345 S.F.

UNITS 224

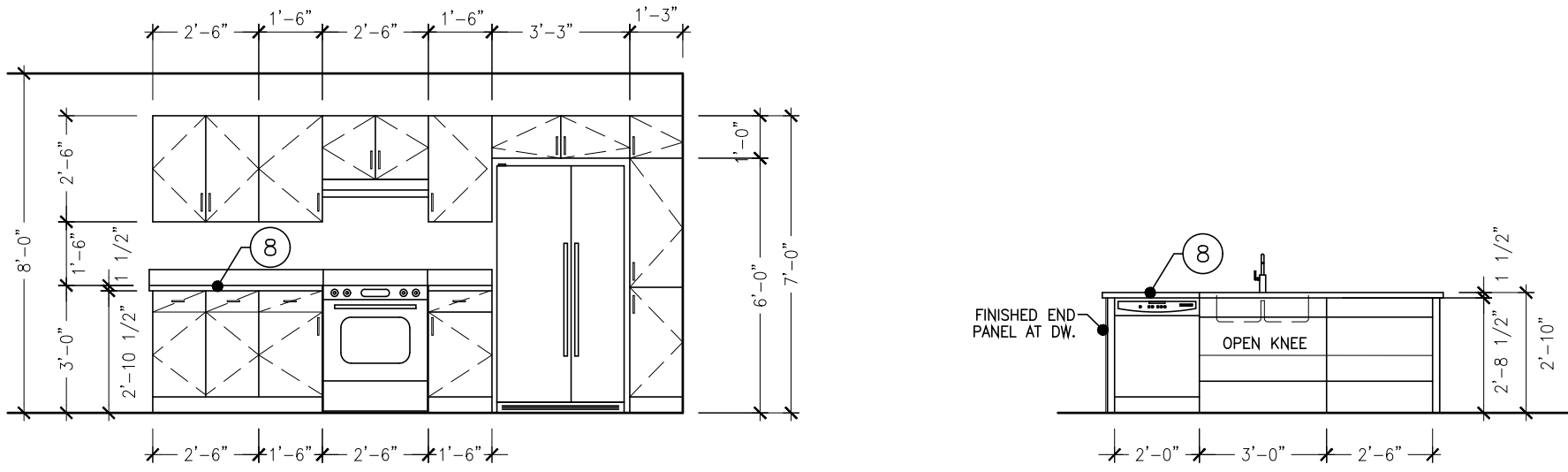
TYPE--A ACCESSIBLE APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W x D x H)	COLOR	NOTES
WASHING MACHINE	-	-	WHITE	FRONT LOAD, ADA COMPLIANT
ELECTRIC DRYER	-	-	WHITE	FRONT LOAD, ADA COMPLIANT
REFRIGERATOR	-	-	STAINLESS	SIDE BY SIDE - ADA COMPLIANT
ELECTRIC RANGE	-	30" WIDE	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION FRONT CONTROLS, COORDINATE INSTALL W/ COUNTERTOP MANUFACTURER ADA COMPLIANT
RANGE HOOD	-	-	STAINLESS	PROVIDE ACCESSIBLE SWITCHING
MICROWAVE	-	-	BLACK	COUNTERTOP MICROWAVE
DISHWASHER	-	-	STAINLESS	ADA COMPLIANT--28-1/2" HIGH
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1	-	-	1/3 HP

FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED

ROOM FINISH SCHEDULE											
ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WALLS				CEILINGS			REMARKS (SEE NUMBERED LIST BELOW FOR MORE INFORMATION)
				NORTH	SOUTH	EAST	WEST	TYPE	FINISH	CLG. HT.	
9.A	ENTRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.C	LAUNDRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.D	KITCHEN	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.E	LIVING ROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.F	MECH.	-	-	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.G	BEDROOM ONE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.H	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.I	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.J	BEDROOM TWO	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.K	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.L	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.M	BEDROOM THREE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-
9.N	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.	-

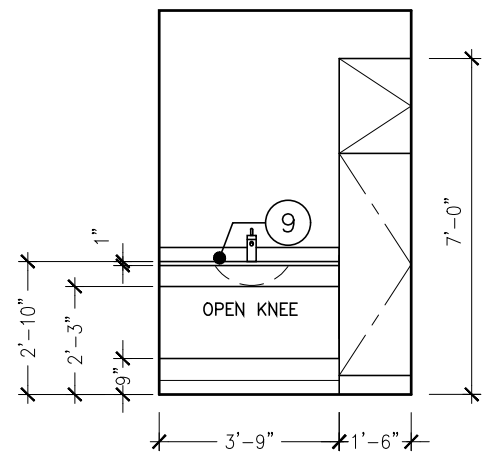
ACT-1 2X2 ACOUSTICAL CEILING TILE
ACT-2 2X2 ACOUSTICAL CEILING TILE--WASHABLE
ACT-3 2X4 ACOUSTICAL CEILING TILE--WASHABLE
CM-1 CULTURED MARBLE COUNTERTOP
CM-2 CULTURED MARBLE WINDOW SILL
CONC EXPOSED CONCRETE--UNFINISHED
CPT-1 CARPET TILE (UNIT)
CPT-2 CARPET TILE (CORRIDOR)
CPT-3 ROLLED STAIR CARPET
CPT-B CARPET BASE (MATCH CPT-2)
CT-1 CERAMIC TILE
CTB-1 CERAMIC TILE BASE

GYP GYPSON WALLBOARD
KD KNOCK DOWN FRAME
LVT-1 VINYL PLANK FLOORING
P-1 PAINT - SHERWIN WILLIAMS - MAIN PAINT COLOR - EGG SHELL
P-2 PAINT - SHERWIN WILLIAMS - DOOR FRAME COLOR - EGG SHELL
P-3 PAINT - SHERWIN WILLIAMS - CEILING PAINT COLOR - FLAT
P-4 PAINT - SHERWIN WILLIAMS - EXTERIOR DOOR PAINT COLOR - FLAT
PF PRE-FINISHED COLOR - DOOR COLOR
PLAM-1 PLASTIC LAMINATE
RB RUBBER BASE
WB-1 WOOD TRIM
UNF UNFINISHED
VCT-1 VINYL COMPOSITION TILE

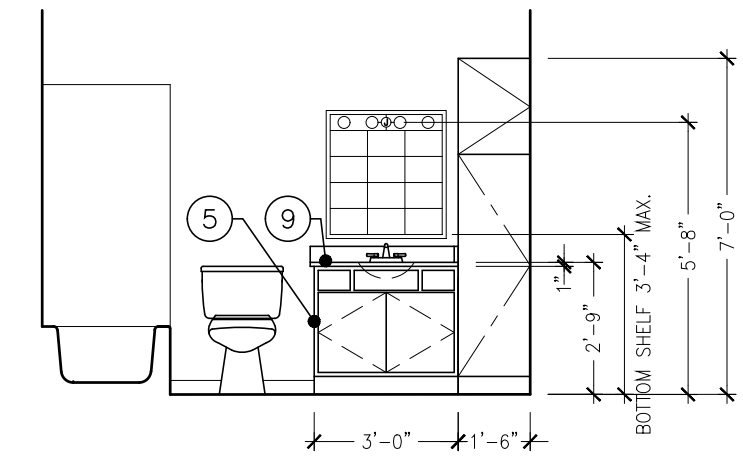


KITCHEN ELEVATION
1/4" = 1'-0"

KITCHEN ELEVATION
1/4" = 1'-0"



BATH ELEVATION
1/4" = 1'-0"

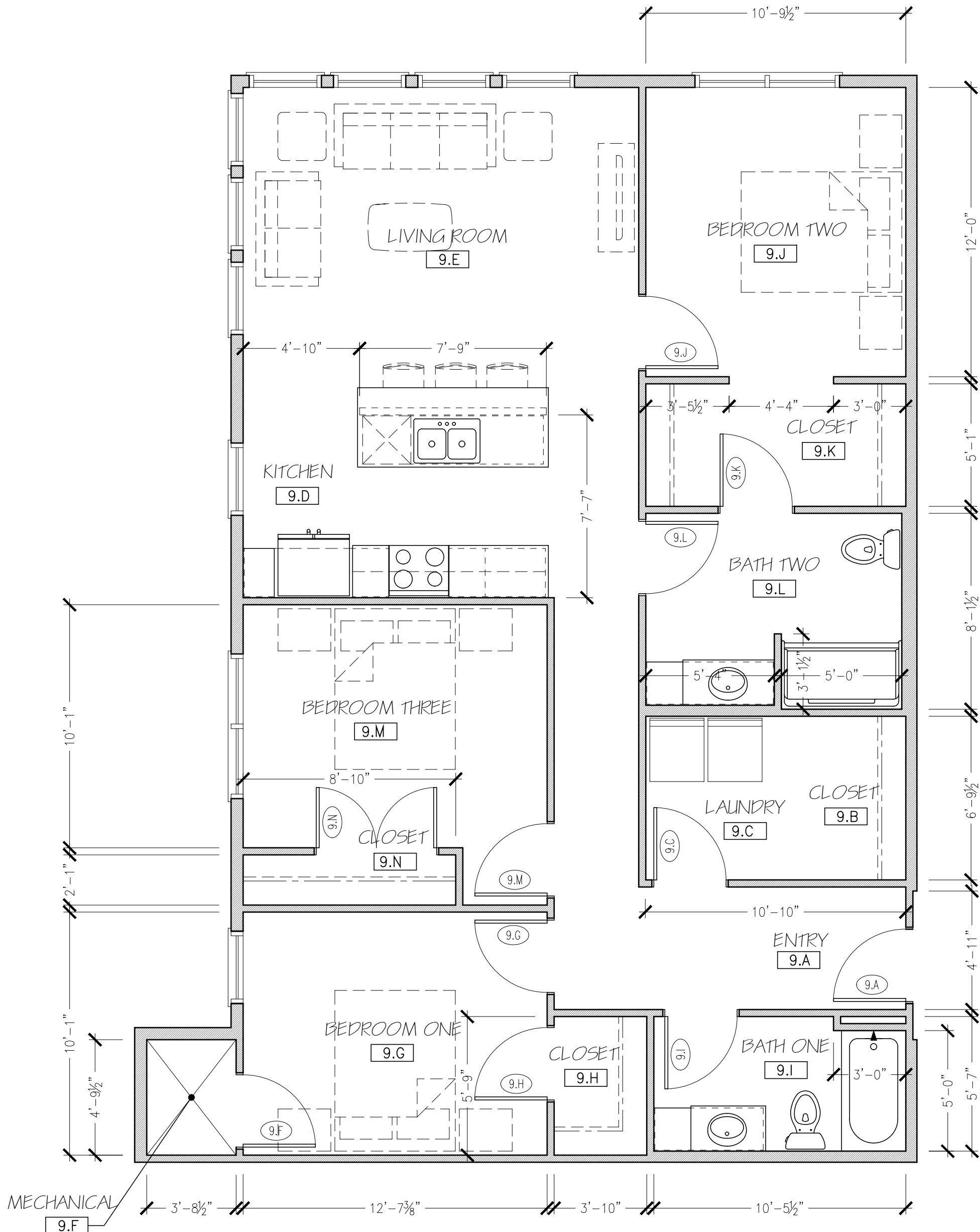


BATH ELEVATION
1/4" = 1'-0"

UNIT PLAN KEY NOTES	
NOTES REFERENCED ON THE DRAWING ARE INDICATED THUS: (1)	
ALL OTHER NOTES REFER TO GENERAL CONDITIONS AND MAY NOT BE SPECIFICALLY REFERENCED OR TAGGED ON PLAN.	
(1)	ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
(2)	ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING U.O.N.
(3)	24" TOWEL BAR (TB-1) MOUNT 48" A.F.F.
(4)	18" HAND TOWEL BAR (TB-2) MOUNT 52" A.F.F. AND CL OF TOILET (WHERE APPLICABLE)
(5)	TOILET PAPER HOLDER (TB-3) MOUNT 26" A.F.F.
(6)	VINYL COATED WIRE CLOSET SHELVING WITH FREE GLIDE HANGER ROD.
(7)	1" DIA. CHROME SHOWER CURTAIN ROD AT ALL SHOWER UNITS.
COUNTERTOPS:	
(8)	A. KITCHENS: 1 1/2" EDGE W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (PLAM-1)
(9)	B. BATHS: 1" SLAB W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (CM-1)
(10)	CULTURED MARBLE WINDOW SILL: 3/4" SLAB W/ 1/8" ROUNDOVER EDGE (CM-2)
(11)	PROVIDE REINFORCEMENT FOR INSTALLATION OF GRAB BARS IN SHOWER OR TUB UNIT. INSTALL GRAB BARS PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 1/A3.0 FOR MORE INFORMATION.
(12)	PROVIDE WOOD BLOCKING AS REINFORCEMENT FOR INSTALLATION OF GRAB BARS AT 33"-36" ABOVE FLOOR PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 2/A3.0 FOR MORE INFORMATION.

UNITS 224

DOOR SCHEDULE (PLAN 9A)													
DOOR NUMBER	ROOM TITLE	DOOR					FRAME			FIRE RATED DOOR & FRAME	SEE HARDWARE GROUP SHEET A3.1	MISC.	
		SIZE			MATERIAL	TYPE	GLASS	GLASS TYPE	FINISH				
		WIDTH	HEIGHT	THICKNESS									
9.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD.	WD-C	-	-	M-1A	KD	20 MINUTE	#2	
9.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF	-	#7	
9.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD.	WD-G	-	-	-	PF	-	#13	
9.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF	-	#9	
9.H	CLOSET	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF	-	#7	
9.I	BATH	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF	-	#9	
9.J	BEDROOM	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF	-	#9	
9.K	CLOSET/BATHROOM	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF	-	#9	
9.L	BATH	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF	-	#9	
9.M	BEDROOM	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF	-	#9	
9.N	CLOSET	5'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	-	PF	-	#8	



UNIT #
224

1 THREE BEDROOM UNIT PLAN - PLAN 9A
1/4" = 1'-0"

1,235 S.F.

UNITS 322, 422

TYPE – B APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W X D X H)	COLOR	NOTES
WASHER/ELECTRIC DRYER	-	-	STAINLESS	STACKED
REFRIGERATOR	-	-	STAINLESS	-
ELECTRIC RANGE	-	-	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION
MICROWAVE/RANGE HOOD	-	-	STAINLESS	-
DISHWASHER	-	-	STAINLESS	-
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1			1/3 HP

FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED

ROOM FINISH SCHEDULE										
ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WALLS				CEILING		
				NORTH	SOUTH	EAST	WEST	TYPE	FINISH	CLG. HT.
9.A	ENTRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.C	LAUNDRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.D	KITCHEN	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.E	LIVING ROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.F	MECH.	-	-	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.G	BEDROOM ONE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.H	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.I	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.J	BEDROOM TWO	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.K	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.L	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.M	BEDROOM THREE	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.
9.N	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYPSON BOARD	P-3	8'-0" A.F.F.

ACT-1 2X2 ACOUSTICAL CEILING TILE
ACT-2 2X2 ACOUSTICAL CEILING TILE-WASHABLE
ACT-3 2X4 ACOUSTICAL CEILING TILE-WASHABLE
CM-1 CULTURED MARBLE COUNTERTOP
CM-2 CULTURED MARBLE WINDOW SILL
CONC EXPOSED CONCRETE-UNFINISHED
CPT-1 CARPET TILE (UNIT)
CPT-2 CARPET TILE (CORRIDOR)
CPT-3 ROLLED STAIR CARPET
CPT-B CARPET BASE (MATCH CPT-2)
CT-1 CERAMIC TILE
CTB-1 CERAMIC TILE BASE

GYP GYPSON WALLBOARD
KD KNOCK DOWN FRAME
LVT-1 VINYL PLANK FLOORING
P-1 PAINT - SHERWIN WILLIAMS - MAIN PAINT COLOR - EGG SHELL
P-2 PAINT - SHERWIN WILLIAMS - DOOR FRAME COLOR - EGG SHELL
P-3 PAINT - SHERWIN WILLIAMS - CEILING PAINT COLOR - FLAT
P-4 PAINT - SHERWIN WILLIAMS - EXTERIOR DOOR PAINT COLOR - FLAT
PF PRE-FINISHED COLOR - DOOR COLOR
PLAM-1 PLASTIC LAMINATE
RB RUBBER BASE
WB-1 WOOD TRIM
UNF UNFINISHED
VCT-1 VINYL COMPOSITION TILE

UNIT PLAN KEY NOTES

NOTES REFERENCED ON THE DRAWING ARE INDICATED THUS: (1)

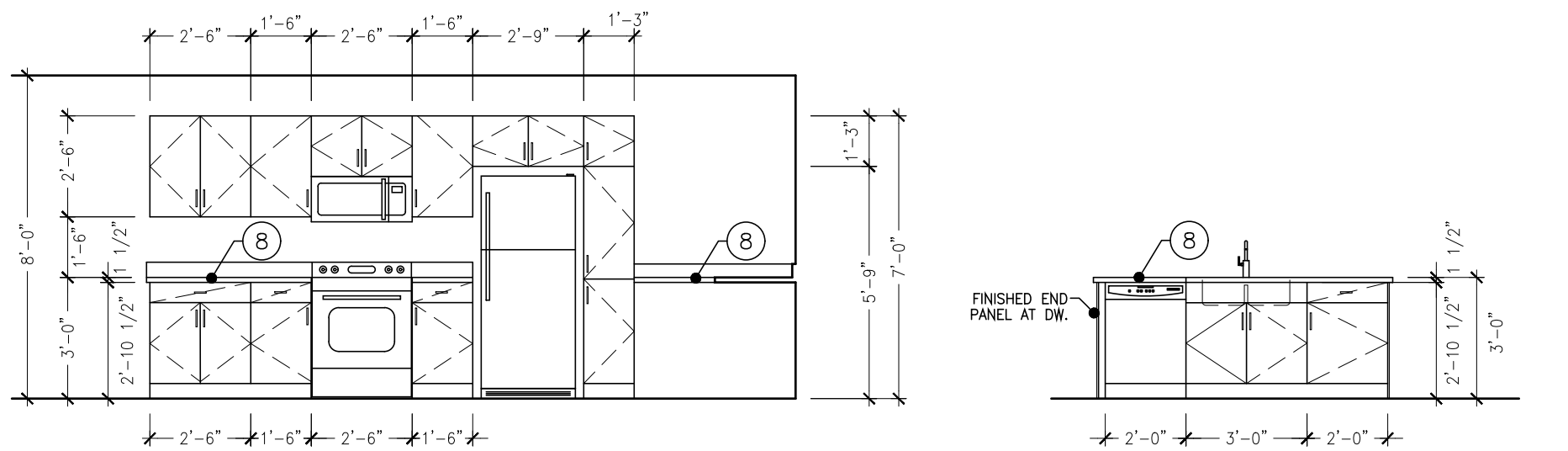
ALL OTHER NOTES REFER TO GENERAL CONDITIONS AND MAY NOT BE SPECIFICALLY REFERENCED OR TAGGED ON PLAN.

- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING U.O.N.
- 24" TOWEL BAR (TB-1) MOUNT 48" A.F.F.
- 18" HAND TOWEL BAR (TB-2) MOUNT 52" A.F.F. AND CL OF TOILET (WHERE APPLICABLE)
- TOILET PAPER HOLDER (TB-3) MOUNT 26" A.F.F.
- VINYL COATED WIRE CLOSET SHELVING WITH FREE GLIDE HANGER ROD.
- 1" DIA. CHROME SHOWER CURTAIN ROD AT ALL SHOWER UNITS.
- COUNTERTOPS:
A. KITCHENS: 1 1/2" EDGE W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (PLAM-1)
B. BATHS: 1" SLAB W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (CM-1)
- CULTURED MARBLE WINDOW SILL: 3/4" SLAB W/ 1/8" ROUNDOVER EDGE (CM-2)
- PROVIDE REINFORCEMENT FOR INSTALLATION OF GRAB BARS IN SHOWER OR TUB UNIT. INSTALL GRAB BARS PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 1/A3.0 FOR MORE INFORMATION.
- PROVIDE WOOD BLOCKING AS REINFORCEMENT FOR INSTALLATION OF GRAB BARS AT 33"-36" ABOVE FLOOR PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 2/A3.0 FOR MORE INFORMATION.

UNITS 322, 422

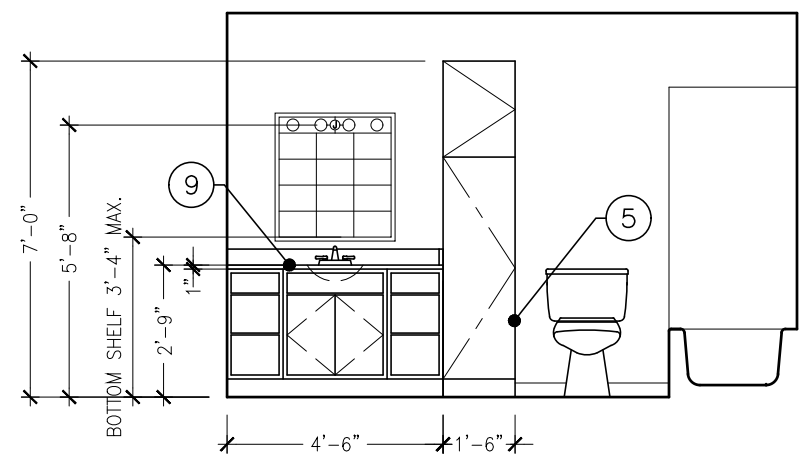
DOOR SCHEDULE (PLAN 9B)

DOOR NUMBER	ROOM TITLE	DOOR			FRAME		FIRE LABEL DOOR & FRAME	SEE HARDWARE GROUP SHEET A3.1	MISC.
		WIDTH	HEIGHT	THICKNESS	MATERIAL TYPE	GLASS TYPE FINISH			
9.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD. WD-C	- M-1A	KD 20 MINUTE	#2	
9.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD. WD-A	-	PF	-	#7
9.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD. WD-G	-	PF	-	#13
9.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD. WD-A	-	PF	-	#9
9.H	CLOSET	3'-0"	6'-8"	1 3/8"	WD. WD-A	-	PF	-	#7
9.I	BATH	3'-0"	6'-8"	1 3/8"	WD. WD-A	-	PF	-	#9
9.J	BEDROOM	3'-0"	6'-8"	1 3/8"	WD. WD-A	-	PF	-	#9
9.L	BATH	3'-0"	6'-8"	1 3/8"	WD. WD-A	-	PF	-	#9
9.M	BEDROOM	3'-0"	6'-8"	1 3/8"	WD. WD-A	-	PF	-	#9
9.N	CLOSET	3'-0"	6'-8"	1 3/8"	WD. WD-A	-	PF	-	#7



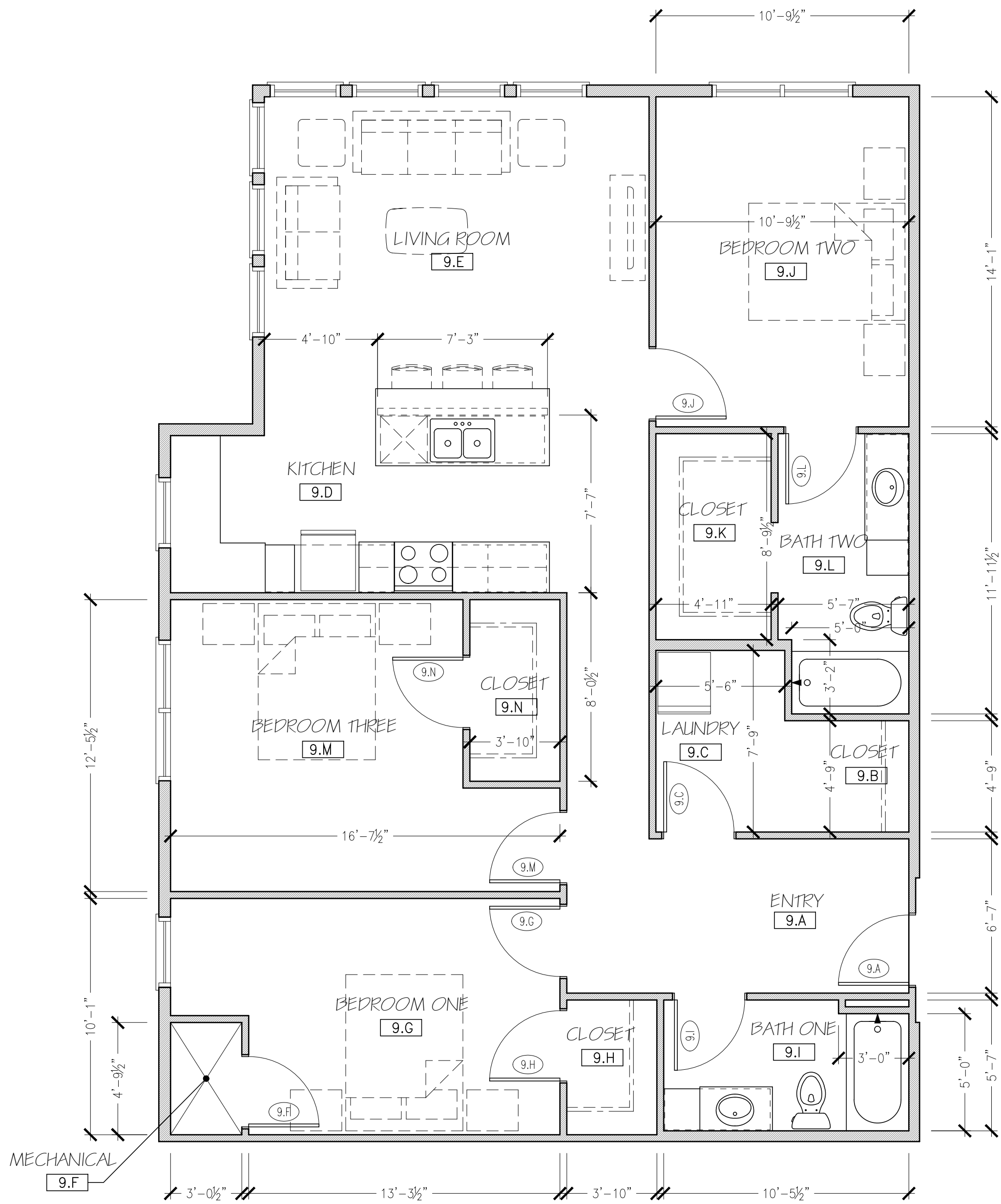
X KITCHEN ELEVATION
1/4" = 1'-0"

X KITCHEN ELEVATION
1/4" = 1'-0"



X BATH ELEVATION
1/4" = 1'-0"

X BATH ELEVATION
1/4" = 1'-0"



UNIT #
322
422
2 THREE BEDROOM UNIT PLAN - PLAN 9B
1/4" = 1'-0"
1,335 S.F.

REVISIONS:

HAVEN ON MAIN
APARTMENT HOUSING
LACROSSE, WISCONSIN

SCALE:
1/4" = 1'-0"
PRINTED ON 30x42
DATE: APRIL 17, 2025
DRAWN BY:
LWP/TJC

UNIT PLAN 9
B-ACCESSIBLE

A2.9b

UNITS 223, 323, 423

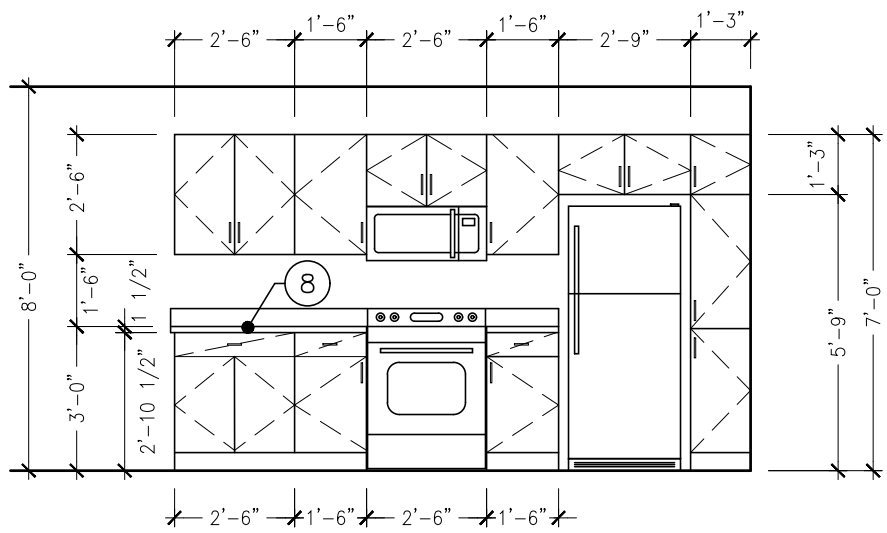
TYPE — B APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W X D X H)	COLOR	NOTES
WASHER/ELECTRIC DRYER	—	—	STAINLESS	STACKED
REFRIGERATOR	—	—	STAINLESS	—
ELECTRIC RANGE	—	—	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION
MICROWAVE/RANGE HOOD	—	—	STAINLESS	—
DISHWASHER	—	—	STAINLESS	—
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1	—	—	1/3 HP

FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED

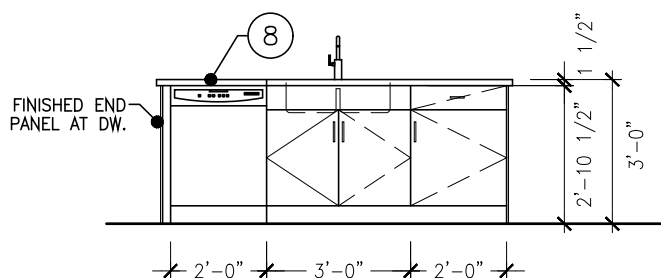
ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WALLS				CEILING		REMARKS (SEE NUMBERED LIST BELOW FOR MORE INFORMATION)
				NORTH	SOUTH	EAST	WEST	TYPE	FINISH	
10.A	ENTRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F. —
10.B	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F. —
10.C	LAUNDRY	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F. —
10.D	KITCHEN	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F. —
10.E	LIVING ROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F. —
10.F	MECH.	—	—	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F. —
10.G	BEDROOM	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F. —
10.H	CLOSET	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F. —
10.I	BATH	LVT-1	WB-1	P-1	P-1	P-1	P-1	GYP SUM BOARD	P-3	8'-0" A.F.F. —

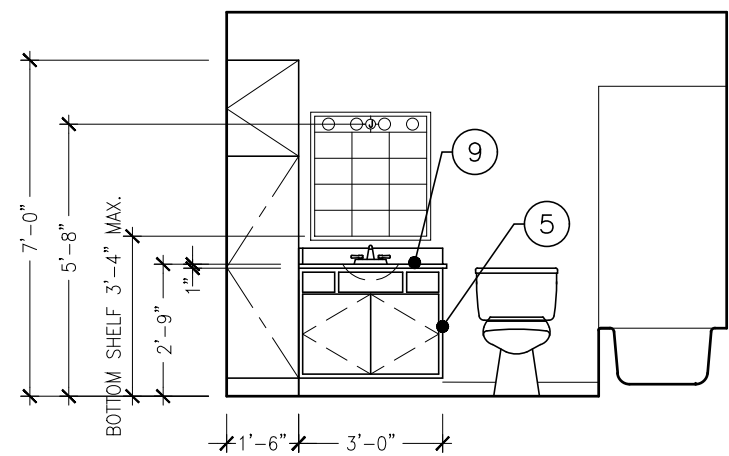
ACT-1	2X2 ACOUSTICAL CEILING TILE	GYP	GYP SUM WALLBOARD
ACT-2	2X2 ACOUSTICAL CEILING TILE—WASHABLE	KD	KNOCK DOWN FRAME
ACT-3	2X4 ACOUSTICAL CEILING TILE—WASHABLE	LVT-1	VINYL PLANK FLOORING
CM-1	CULTURED MARBLE COUNTERTOP	P-1	PAINT — SHERWIN WILLIAMS — DOOR FRAME COLOR — EGG SHELL
CM-2	CULTURED MARBLE WINDOW SILL	P-2	PAINT — SHERWIN WILLIAMS — DOOR FRAME COLOR — EGG SHELL
CONC	EXPOSED CONCRETE—UNFINISHED	P-3	PAINT — SHERWIN WILLIAMS — CEILING PAINT COLOR — FLAT
CPT-1	CARPET TILE (UNIT)	P-4	PAINT — SHERWIN WILLIAMS — EXTERIOR DOOR PAINT COLOR — FLAT
CPT-2	CARPET TILE (CORRIDOR)	PF	PRE-FINISHED COLOR — DOOR COLOR
CPT-3	ROLLED STAIR CARPET	PLAM-1	PLASTIC LAMINATE
CPT-B	CARPET BASE (MATCH CPT-2)	RB	RUBBER BASE
CT-1	CERAMIC TILE	WB-1	WOOD TRIM
CTB-1	CERAMIC TILE BASE	UNF.	UNFINISHED
		VCT-1	VINYL COMPOSITION TILE



X KITCHEN ELEVATION
1/4" = 1'-0"



X KITCHEN ELEVATION
1/4" = 1'-0"



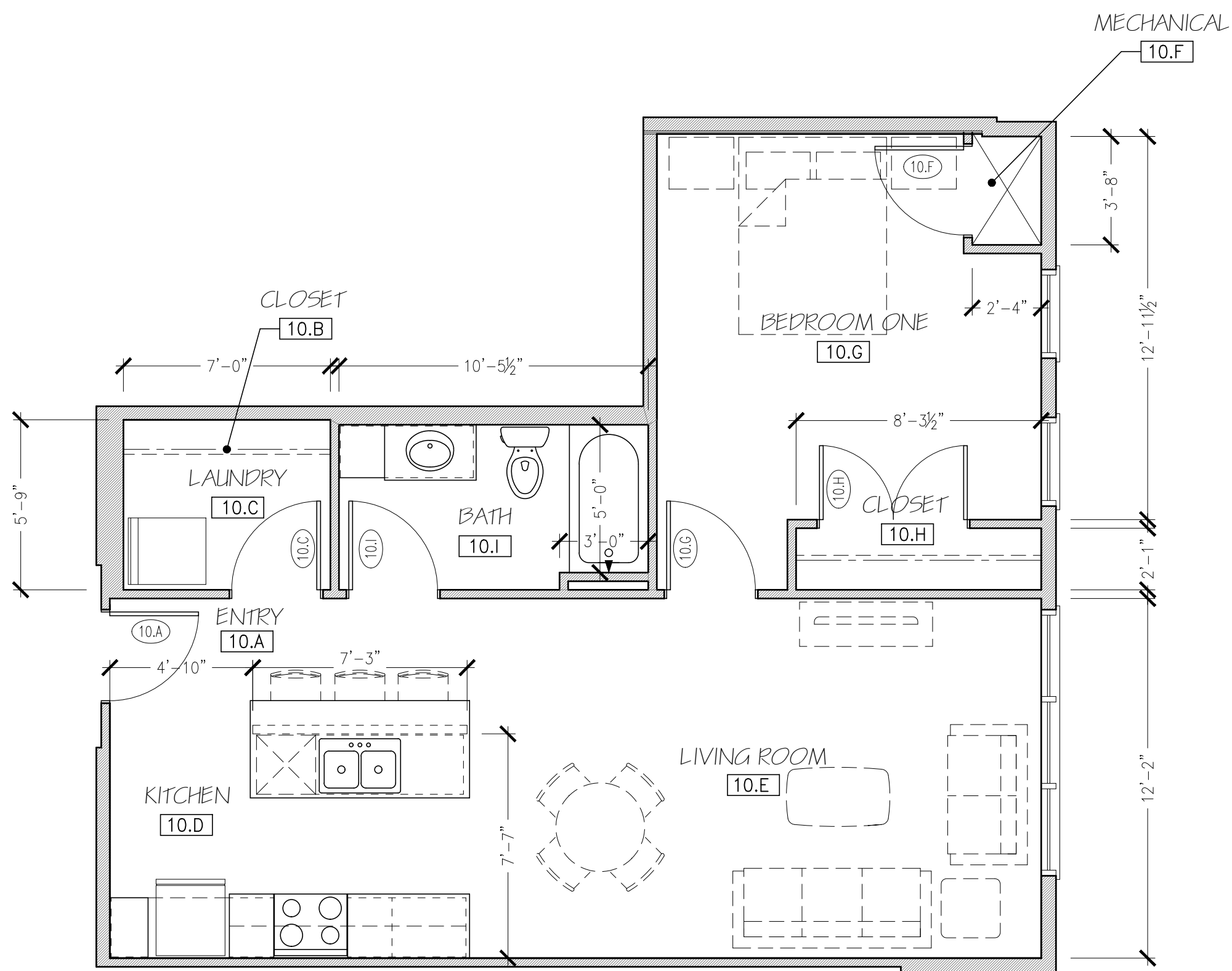
X BATH ELEVATION
1/4" = 1'-0"

UNIT PLAN KEY NOTES

- NOTES REFERENCED ON THE DRAWING ARE INDICATED THUS: (N)
- ALL OTHER NOTES REFER TO GENERAL CONDITIONS AND MAY NOT BE SPECIFICALLY REFERENCED OR TAGGED ON PLAN.
- ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING U.O.N.
 - 24" TOWEL BAR (TB-1) MOUNT 48" A.F.F.
 - 18" HAND TOWEL BAR (TB-2) MOUNT 52" A.F.F. AND CL OF TOILET (WHERE APPLICABLE)
 - TOILET PAPER HOLDER (TB-3) MOUNT 26" A.F.F.
 - VINYL COATED WIRE CLOSET SHELVING WITH FREE GLIDE HANGER ROD.
 - 1" DIA. CHROME SHOWER CURTAIN ROD AT ALL SHOWER UNITS.
 - COUNTERTOPS:
A. KITCHENS: 1 1/2" EDGE W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (PLAM-1)
B. BATHS: 1" SLAB W/ 1/8" ROUNDOVER EDGE PROFILE; 4" BACK AND SIDE SPLASH (CM-1)
 - CULTURED MARBLE WINDOW SILL: 3/4" SLAB W/ 1/8" ROUNDOVER EDGE (CM-2)
 - PROVIDE REINFORCEMENT FOR INSTALLATION OF GRAB BARS IN SHOWER OR TUB UNIT. INSTALL GRAB BARS PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 1/A3.0 FOR MORE INFORMATION.
 - PROVIDE WOOD BLOCKING AS REINFORCEMENT FOR INSTALLATION OF GRAB BARS AT 33"-36" ABOVE FLOOR PER WI ACCESSIBILITY CODE 1003.11.4 AND 1004.11.2. SEE 2/A3.0 FOR MORE INFORMATION.

UNITS 223, 323, 423

DOOR SCHEDULE (PLAN 10)												
DOOR NUMBER	ROOM TITLE	DOOR			FRAME			FIRE LABEL	DOOR & FRAME	SEE MARKING GROUP SHEET A3.1	MISC.	W/STRIPPING
		WIDTH	HEIGHT	THICKNESS	MATERIAL TYPE	GLASS TYPE	FINISH					
10.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD-C	—	M-1A	KD	20 MINUTE	#2		
10.C	LAUNDRY	3'-0"	6'-8"	1 3/8"	WD-A	—	—	PF	—	#7		
10.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD-G	—	—	PF	—	#13		
10.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD-A	—	—	PF	—	#9		
10.H	CLOSET	5'-0"	6'-8"	1 3/8"	WD-A	—	—	PF	—	#8		
10.I	BATH	3'-0"	6'-8"	1 3/8"	WD-A	—	—	PF	—	#9		



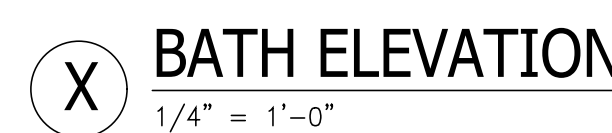
UNIT #

223
323
423

1 ONE BEDROOM UNIT PLAN - PLAN 10
1/4" = 1'-0"

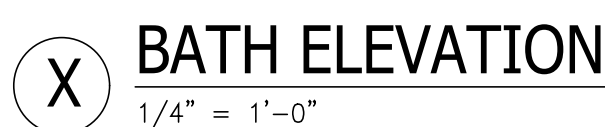
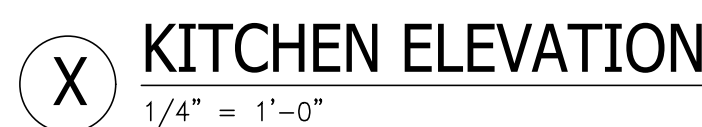
697 S.F.

FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED



ACT-1	2X2 ACOUSTICAL CEILING TILE	GYP	GYPSUM WALLBOARD
ACT-2	2X2 ACOUSTICAL CEILING TILE-WASHABLE	KD	KNOCK DOWN FRAME
ACT-3	2X4 ACOUSTICAL CEILING TILE-WASHABLE	LVF-1	VANITE FLOORING
CM-1	COLORADO MARBLE COUNTERTOP	P-1	PAIN-T SHERWIN WILLIAMS - MAIN PAINT COLOR - EGG SHELL
CM-2	COLORADO MARBLE WINDOW SILL	P-2	PAIN-T SHERWIN WILLIAMS - DOOR FRAME COLOR - EGG SHELL
CONC	CURED CONCRETE-UNFINISHED	P-3	PAIN-T SHERWIN WILLIAMS - CEILING PAINT COLOR - FLAT
CPT-1	CARPET TILE (UNIT)	P-4	PAIN-T SHERWIN WILLIAMS - EXTERIOR DOOR PAINT COLOR - FLAT
CPT-2	CARPET (HERRING)	PF	PRE-FINISHED COLOR - DOOR COLOR
CPT-3	ROLLED STAIR CARPET	PLAM-1	PLASTIC LAMINATE
CPT-B	CARPET BASE (MATCH CPT-2)	RB	RUBBER BASE
CT-1	CERAMIC TILE	WB-1	WOOD TRIM
CTB-1	CERAMIC TILE BASE	UNF	UNFINISHED
		VCT-1	VANITE COMPOSITION TILE

1252 S.F.



TYPE — B APPLIANCE SCHEDULE				
TYPE	MANUFACTURER/MODEL NO.	SIZE (W X D X H)	COLOR	NOTES
WASHER/ELECTRIC DRYER	—	—	STAINLESS	STACKED
REFRIGERATOR	—	—	STAINLESS	—
ELECTRIC RANGE	—	—	STAINLESS	SMOOTH TOP, SELF CLEAN FUNCTION
MICROWAVE/RANGE HOOD	—	—	STAINLESS	—
DISHWASHER	—	—	STAINLESS	—
GARBAGE DISPOSAL	INSINKERATOR/BADGER 1	—	—	1/3 HP

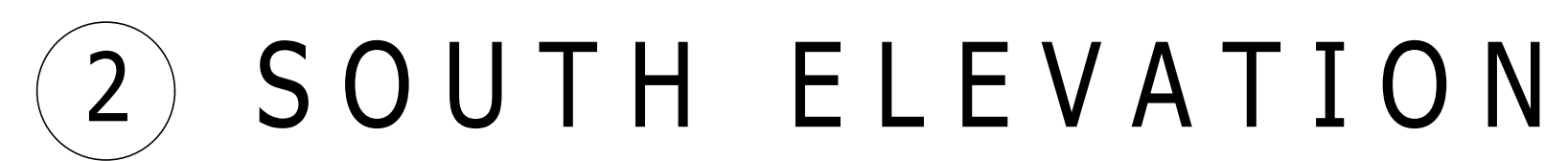
FOR ALL APPLIANCES: OR APPROVED ALTERNATE MANUFACTURER/MODEL NOTE: ALL APPLIANCES TO BE ENERGY STAR RATED

ACT-1	2X2 ACOUSTICAL CEILING TILE	KD	GYPSPU WALLBOARD
ACT-2	2X2 ACOUSTICAL CEILING TILE - WASHABLE	GY	KYNOL DOWN FRAME
ACT-3	2X4 ACOUSTICAL CEILING TILE - WASHABLE	UNF-1	VINYL PLANK FLOORING
CM-1	CULTURED MARBLE COUNTERTOP	P-1	PAINT - SHERWIN WILLIAMS - MAIN PAINT COLOR - EGG SHELL
CM-2	CULTURED MARBLE COUNTERTOP	P-2	PAINT - SHERWIN WILLIAMS - DOOR FRAME - EGG SHELL
CM-3	CULTURED MARBLE COUNTERTOP	P-3	PAINT - SHERWIN WILLIAMS - CEILING PAINT COLOR - FLAT
CM-4	CULTURED MARBLE COUNTERTOP	P-4	PAINT - SHERWIN WILLIAMS - EXTERIOR DOOR PAINT COLOR - FLAT
CM-5	CULTURED MARBLE COUNTERTOP	PRC	PRE-FINISHED COLOR - DOOR COLOR
CPT-1	CARPET TILE (UNIT)	PLM-1	PLASTIC LAMINATE
CPT-2	CARPET TILE (CORRIDOR)	RB	RUBBER BASE
CPT-3	ROLLED STAIR CARPET	WB-1	WOOD TRIM
CPT-B	CARPET (MATCH CPT-2)	UNF-	UNFINISHED
CTB-1	CERAMIC TILE	VCT-1	VINYL COMPOSITION TILE
CTB-2	CERAMIC TILE (BATCH)		

UNITS 302, 402

DOOR SCHEDULE (PLAN 12)													
DOOR NUMBER	ROOM TITLE	DOOR					FRAME			FIRE LABEL	DOOR & FRAME	SEE HARDWARE GROUP SHEET A3.1	MISC.
		SIZE			MATERIAL	GLASS	TYPE	FINISH					
		WIDTH	HEIGHT	THICKNESS									
									TYPE				
12.A	ENTRY	3'-0"	6'-8"	1 3/4"	WD.	WD-C	-	-	M-1A	KD	20 MINUTE	#2	
12.B	CLOSET	5'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#8	
12.C	LAUNDRY	6'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#8	
12.F	MECH. CLOSET	3'-0"	6'-8"	1 3/8"	WD.	WD-G	-	-	PF	-		#13	
12.G	BEDROOM	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#9	
12.H	CLOSET	5'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#8	
12.I	BATH	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#9	
12.J	BEDROOM	3'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#9	
12.K	CLOSET	5'-0"	6'-8"	1 3/8"	WD.	WD-A	-	-	PF	-		#8	







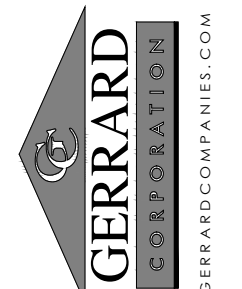
2 NORTH ELEVATION



1 WEST ELEVATION

PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

282


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275 Indian Bend Road
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James Hardie Partner AIA
Phone: 414-588-9311

REVISIONS:

HAVEN ON MAIN
APARTMENT HOUSING
LACROSSE, WISCONSIN

SCALE:
1/8" = 1'-0"
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DATE: APRIL 17, 2025
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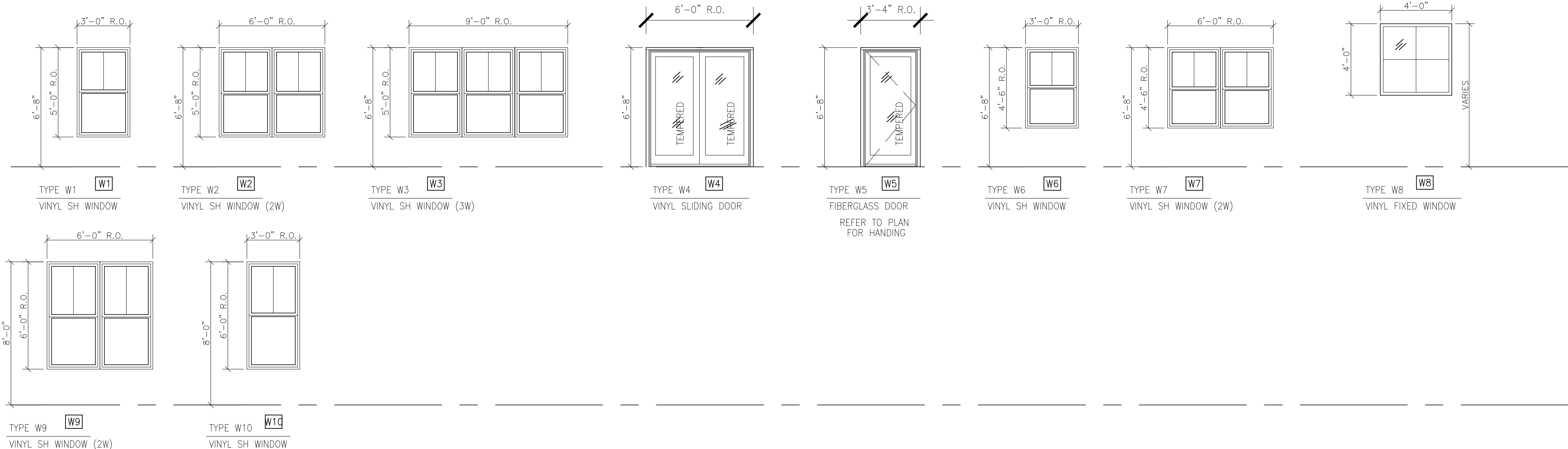
EXTERIOR ELEVATIONS

A3.1

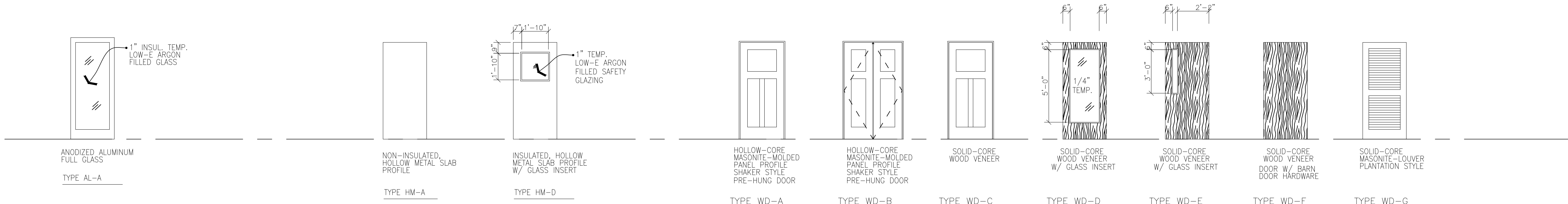
PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

DOOR SCHEDULE												
DOOR NUMBER	ROOM TITLE	DOOR				TYPE	FINISH	FRAME		DOOR LABEL HIRE RATING IN MULTIPLY DOOR & FRAME	HARDWARE GROUP	REMARKS
		SIZE		THICKNESS	TYPE			FINISH				
		WIDTH	HEIGHT									
MAIN FLOOR												
100.1	LOBBY (EXTERIOR)	3'-0"	7'-0"	1 3/4"	AL-A	-	AL1	-	-	-	#6	
100.2	LOBBY	3'-0"	7'-0"	1 3/4"	WD-D	-	HM-1C	P-2	-	-	#4	
101	PACKAGES	3'-0"	7'-0"	1 3/4"	WD-F	-	HM-1A	P-2	-	-	#4	
102	LEASE OFFICE	3'-0"	7'-0"	1 3/4"	WD-E	-	HM-1A	P-2	-	-	#5	
103	HAVEN OFFICE	3'-0"	7'-0"	1 3/4"	WD-E	-	HM-1A	P-2	-	-	#5	
104	SALON/LAUNDRY	3'-0"	7'-0"	1 3/4"	WD-E	-	HM-1A	P-2	-	-	#5	
105	STORAGE (EXERCISE ROOM)	3'-0"	7'-0"	1 3/4"	HM-A	P-2	HM-1A	P-2	-	-	#1	
106	EXERCISE	3'-0"	7'-0"	1 3/4"	WD-D	-	HM-1A	P-2	-	-	#3	
107	GYMNASIUM	20'-0"	9'-0"									
108.1	COMMUNITY ROOM ONE (EXTERIOR)	3'-0"	7'-0"	1 3/4"	AL-A	-	AL2	-	-	-	XXXXXX	
108.2	COMMUNITY ROOM ONE	3'-0"	7'-0"	1 3/4"	WD-D	-	HM-1A	P-2	-	-	#3	
109	JANITOR	3'-0"	7'-0"	1 3/4"	HM-A	P-2	HM-1A	P-2	-	-	#1	
111	UNISEX ONE	3'-0"	7'-0"	1 3/4"	WD-F	-	HM-1A	P-2	-	-	#9	
112	UNISEX TWO	3'-0"	7'-0"	1 3/4"	WD-F	-	HM-1A	P-2	-	-	#9	
113	STORAGE (HALL)	3'-0"	7'-0"	1 3/4"	WD-F	-	HM-1A	P-2	-	-	#1	
114	UNISEX THREE	3'-0"	7'-0"	1 3/4"	WD-F	-	HM-1A	P-2	-	-	#9	
115	UNISEX FOUR	3'-0"	7'-0"	1 3/4"	WD-F	-	HM-1A	P-2	-	-	#9	
116	COMMUNITY KITCHEN	3'-0"	7'-0"	1 3/4"	WD-D	-	HM-1A	P-2	-	-	#3	
117.1	COMMUNITY ROOM TWO (EXTERIOR)	3'-0"	7'-0"	1 3/4"	AL-A	-	AL2	-	-	-	XXXXXX	
117.2	COMMUNITY ROOM TWO	3'-0"	7'-0"	1 3/4"	WD-D	-	HM-1A	P-2	-	-	#3	
118	MECHANICAL	3'-0"	7'-0"	1 3/4"	HM-A	P-2	HM-1A	P-2	-	-	#1	
119	STORAGE (COMMUNITY ROOM TWO)	3'-0"	7'-0"	1 3/4"	HM-A	P-2	HM-1A	P-2	-	-	#1	
120	LIBRARY	3'-0"	7'-0"	1 3/4"	WD-D	-	HM-1A	P-2	-	-	#3	
122	SENSORY ROOM											
123.1	VESTIBULE (EXTERIOR)	3'-0"	7'-0"	1 3/4"	AL-A	-	AL3	-	-	-	#6	
123.2	VESTIBULE	3'-0"	7'-0"	1 3/4"	AL-A	-	AL2	-	-	-	#4	
124	COMMUNITY SERVICES	3'-0"	7'-0"	1 3/4"	WD-E	-	HM-1A	P-2	-	-	#5	
125	LEASE SPACE (REAR DOOR)	3'-0"	7'-0"	1 3/4"	WD-E	-	HM-1A	P-2	-	-	#5	
128	STORAGE (REAR HALL)	3'-0"	7'-0"	1 3/4"	HM-A	P-2	HM-1A	P-2	-	-	#1	
129.1	REAR HALL (TENANT ENTRANCE)	3'-0"	7'-0"	1 3/4"	WD-D	-	HM-1C	P-2	-	-	#4	
129.2	REAR HALL (EXTERIOR ENTRANCE)	3'-0"	7'-0"	1 3/4"	AL-A	-	AL2	-	-	-	#6	
129.3	REAR HALL (PARKING GARAGE)	3'-0"	7'-0"	1 3/4"	HM-D	P-2	HM-1B	P-2	-	-	#4	
130	MECHANICAL	3'-0"	7'-0"	1 3/4"	HM-A	P-2	HM-1B	P-2	-	-	#1	
131	GARAGE (OVERHEAD DOOR)	18'-0"	8'-6"		OH-1							
132	MECHANICAL	3'-0"	7'-0"	1 3/4"	HM-A	P-2	HM-1B	P-2	-	-	#1	
133.1	TRASH	3'-0"	7'-0"	1 3/4"	HM-A	P-2	HM-1B	P-2	-	-	#1	
133.2	TRASH (OVERHEAD DOOR)	8'-0"	8'-0"		OH-1							
SECOND FLOOR												
226	TRASH	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#3	
227	N. ELECTRICAL ROOM	6'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	-	#14	
228	MECHANICAL	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
229	STORAGE	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
230	STORAGE	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
231	ELEVATOR LOBBY--SECOND FLOOR	3'-0"	6'-8"	1 3/4"	WD-E	-	M-1A	KD	-	20	#12	
232	S. ELECTRICAL ROOM	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
THIRD FLOOR												
324	TRASH	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#3	
325	N. ELECTRICAL ROOM	6'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	-	#14	
326	MECHANICAL	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
327	STORAGE	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
328	STORAGE	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
329	ELEVATOR LOBBY--THIRD FLOOR	3'-0"	6'-8"	1 3/4"	WD-E	-	M-1A	KD	-	20	#12	
330	S. ELECTRICAL ROOM	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
FOURTH FLOOR												
424	TRASH	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#3	
425	N. ELECTRICAL ROOM	6'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	-	#14	
426	MECHANICAL	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
427	STORAGE	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
428	STORAGE	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	
429	ELEVATOR LOBBY--FOURTH FLOOR	3'-0"	6'-8"	1 3/4"	WD-E	-	M-1A	KD	-	20	#12	
430	S. ELECTRICAL ROOM	3'-0"	6'-8"	1 3/4"	HM-A	P-2	M-1A	KD	-	45	#1	

- #1: STOREROOM FUNCTION LOCKSET w/ LEVER HANDLES, 1/2 PAIR BUTTS, SILENCERS, CLOSER AND STOP.
- #2: PASSAGE LATCH w/ LEVER HANDLES, KEYED DEADBOLT w/ THUMB TURN LATCH, 1/2 PAIR BUTTS, PEEPHOLE, SILENCERS, CLOSER AND STOP.
- #3: PASSAGE LATCH w/ LEVER HANDLES, 1/2 PAIR BUTTS, CLOSER, SILENCERS AND WALL STOP.
- #4: ELECTRICALLY LOCKED (FAIL SAFE) LOCKSET, w/ LEVER HANDLES, ELECTRIC STRIKE, POWER ASSIST, 1/2 PAIR BUTTS, SILENCERS, CLOSER AND STOP.
- #5: KEYED OFFICE LOCKSET w/ LEVER HANDLES, 1/2 PAIR BUTTS, SILENCERS, CLOSER AND STOP.
- #6: CONTINUOUS HINGE, ELECTRICALLY LOCKED (FAIL SAFE) LOCKSET w/ LEVER HANDLES, ELECTRIC STRIKE, CONCEALED OHS, CLOSER, DROP PLATE, SWEEPS, POWER ASSIST, WEATHERSTRIP, THRESHOLD, SILENCERS, AND STOP.
- #7: PASSAGE LATCH w/ LEVER HANDLES, 1/2 PAIR BUTTS AND STOP.
- #8: DUMMY LEVER HANDLE, ROLLER CATCH, 1/2 PAIR BUTTS AND STOP.
- #9: PRIVACY LOCKSET w/ LEVER HANDLES, 1/2 PAIR BUTTS AND STOP.
- #10: PANIC HARDWARE, DOUBLE EGRESS FUNCTION, 3 PAIR BUTTS, SILENCERS, CLOSERS AND MAGNETIC HOLD-OPENS TIED TO FIRE ALARM SYSTEM.
- #11: CONTINUOUS HINGE, PUSH PULL COMBO, CONCEALED OHS, KEYED DEADBOLT, CLOSER, DROP PLATE, SWEEPS, WEATHERSTRIP, THRESHOLD, SILENCERS, AND STOP.
- #12: PASSAGE LATCH w/ LEVER HANDLES, 1/2 PAIR BUTTS, CLOSER, SILENCERS AND MAGNETIC HOLD-OPEN.
- #13: DEADBOLT, 1/2 PAIR BUTTS.
- #14: STOREROOM FUNCTION LOCKSET w/ LEVER HANDLES, 1/2 PAIR BUTTS, MANUAL FLUSH BOLTS, SILENCERS AND STOP.



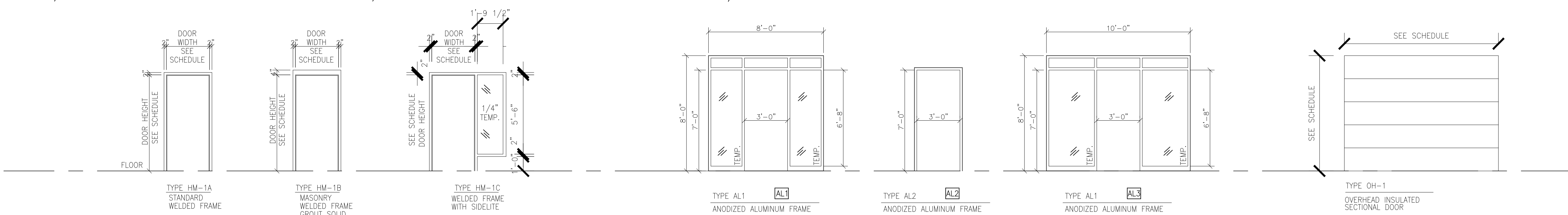
WINDOWS / DOORS / LOUVERS
1/4" = 1'-0"



ANODIZED ALUMINUM DOOR TYPES
1/4" = 1'-0"

HOLLOW METAL DOOR TYPES
1/4" = 1'-0"

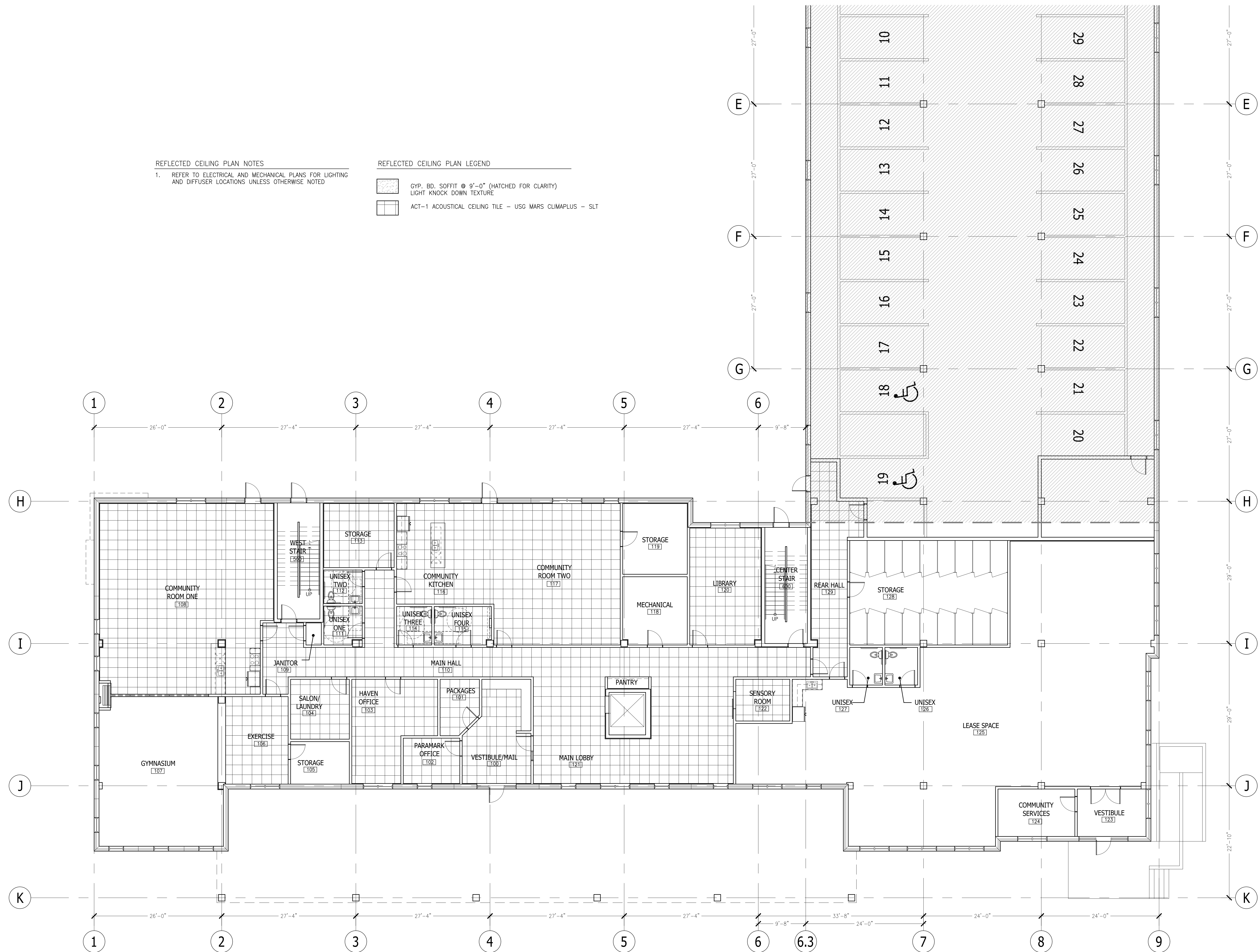
WOOD DOOR TYPES



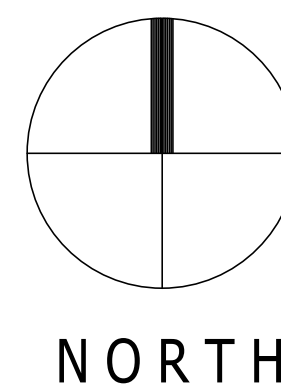
HOLLOW METAL FRAME TYPES
1/4" = 1'-0"

ANODIZED ALUMINUM FRAME TYPES
1/4" = 1'-0"

OVERHEAD DOOR
 $1/4" = 1'-0"$

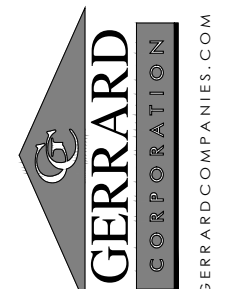


1 MAIN LEVEL REFLECTED CEILING PLAN - SOUTH



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285



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REVISIONS:

HAVEN ON MAIN
APARTMENT HOUSING
LACROSSE, WISCONSIN

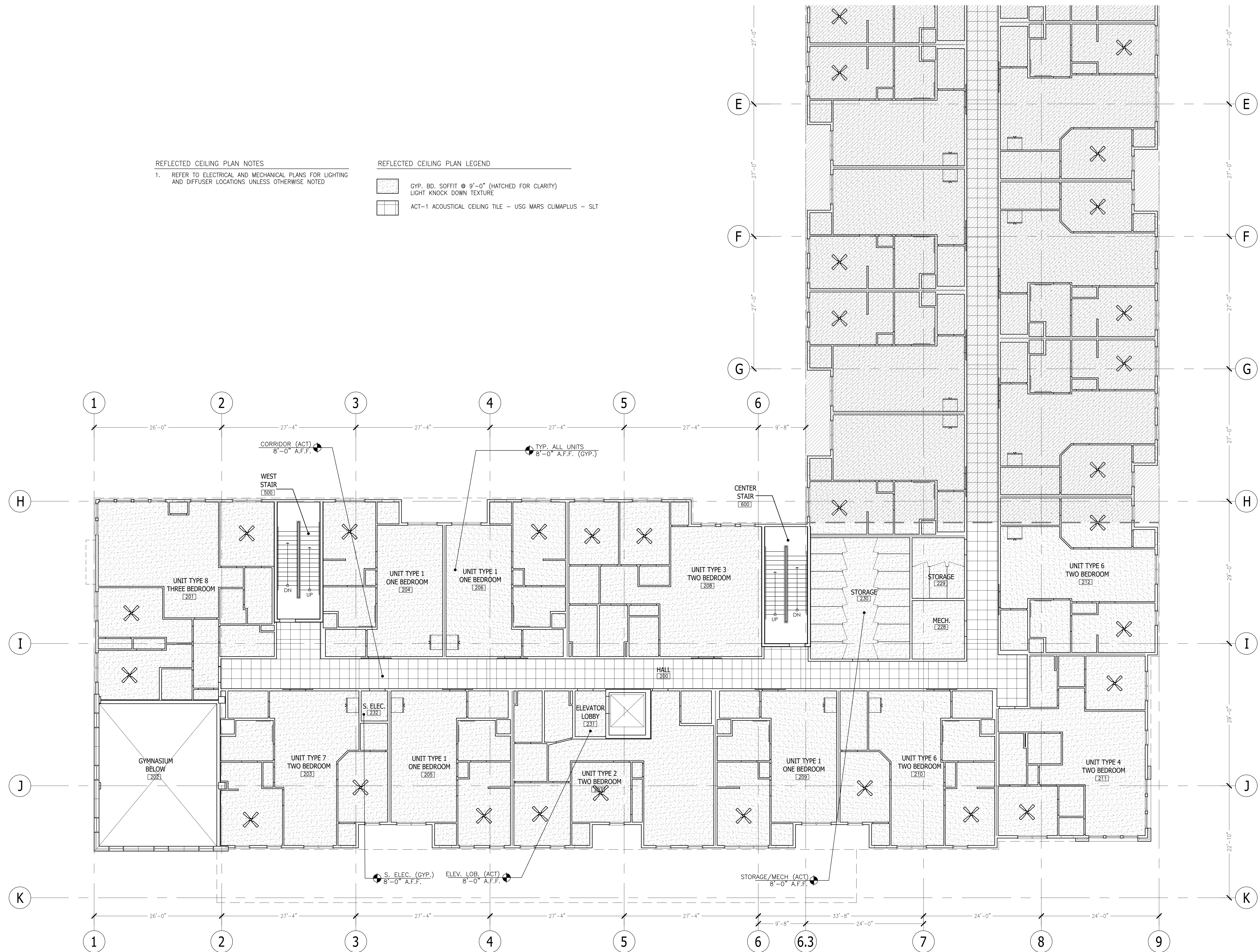
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PRINTED ON 30x42

DATE:
APRIL 17, 2025

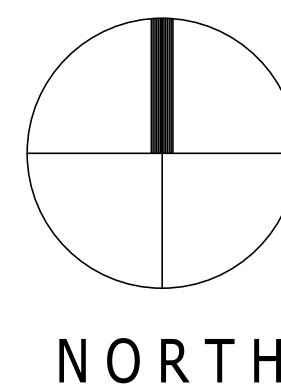
DRAWN BY:
LWP/TJC

SHEET NUMBER

A7.1s



1 SECOND LEVEL REFLECTED CEILING PLAN - SOUTH



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SHEET NUMBER

A7.2s

SECOND LEVEL FLOOR PLAN
SOUTH

SCALE:
1/8" = 1'-0"
PRINTED ON 30x42

DATE: APRIL 17, 2025

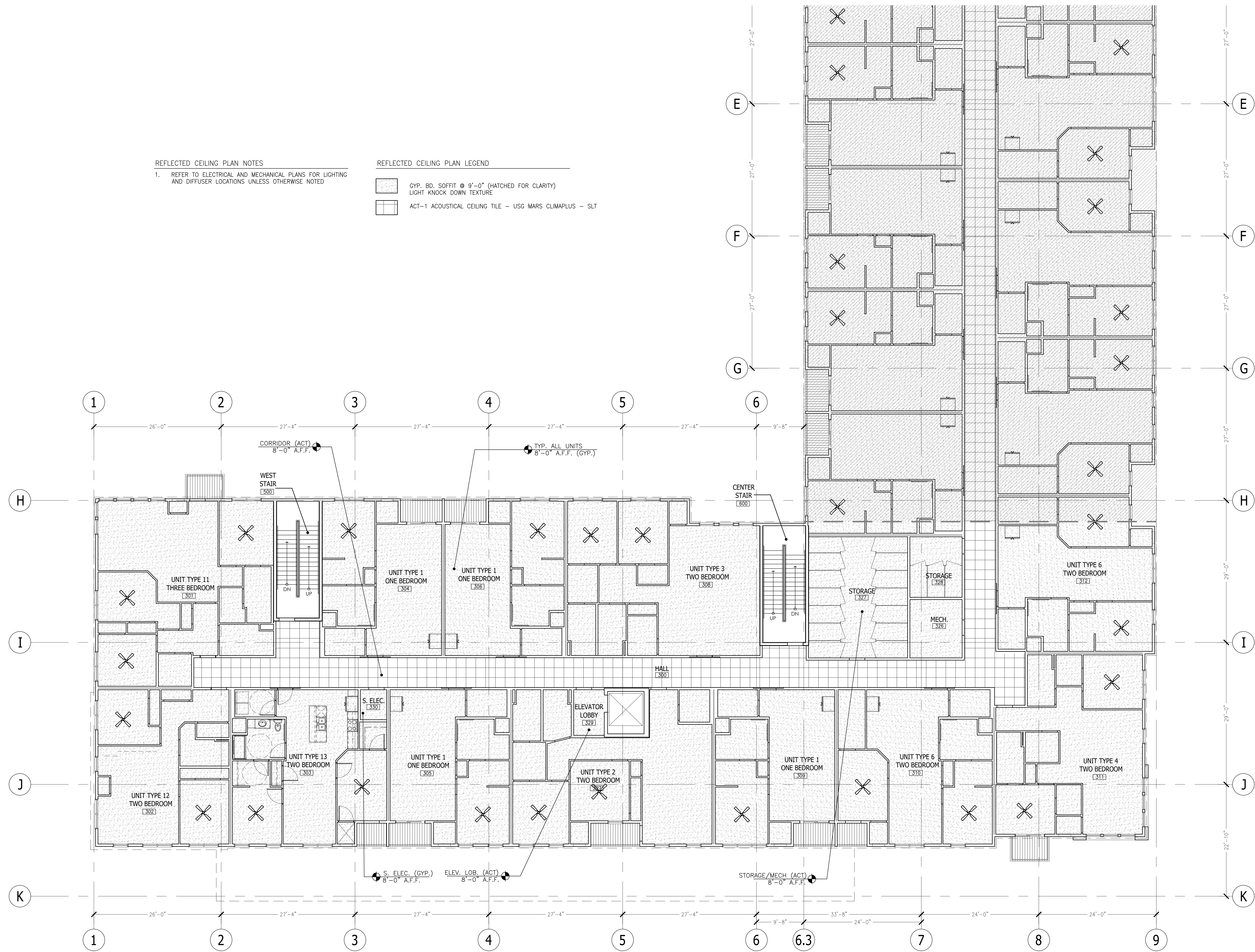
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LACROSSE, WISCONSIN

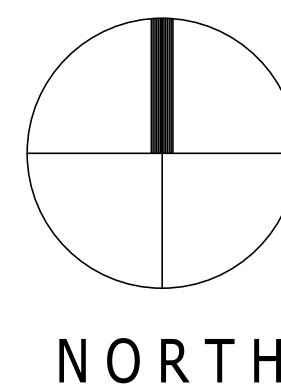
REVISIONS:



275 Indian Bend Road
Burlington, Wisconsin 53189
JOHN GERRARD, PRAJIT, AIA
PHONE: 414-588-5311



1 THIRD LEVEL REFLECTED CEILING PLAN - SOUTH



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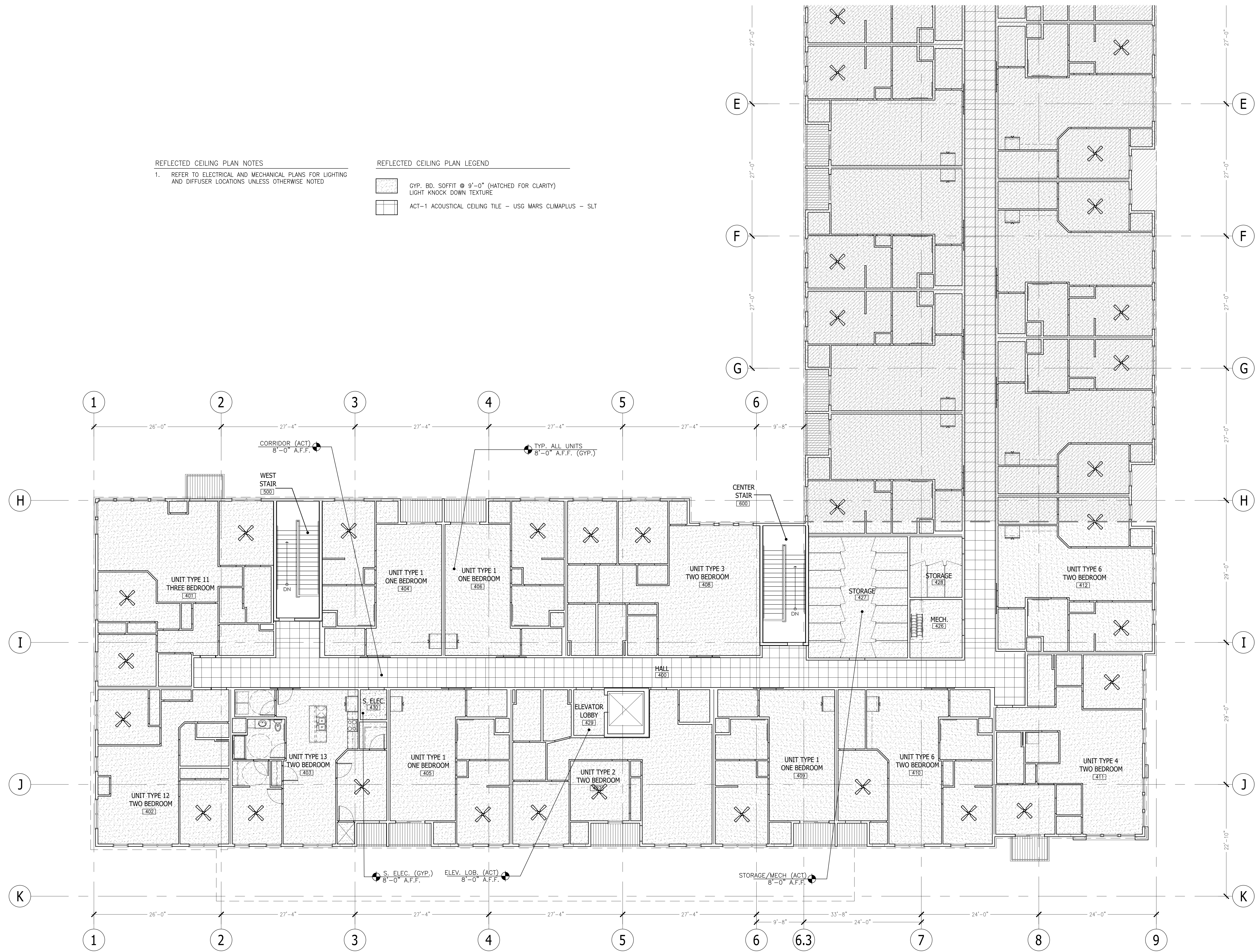
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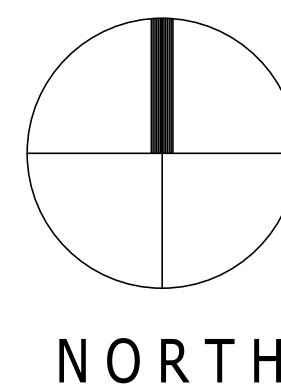
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THIRD LEVEL FLOOR PLAN
SOUTH

A7.3s



1 FOURTH LEVEL REFLECTED CEILING PLAN - SOUTH



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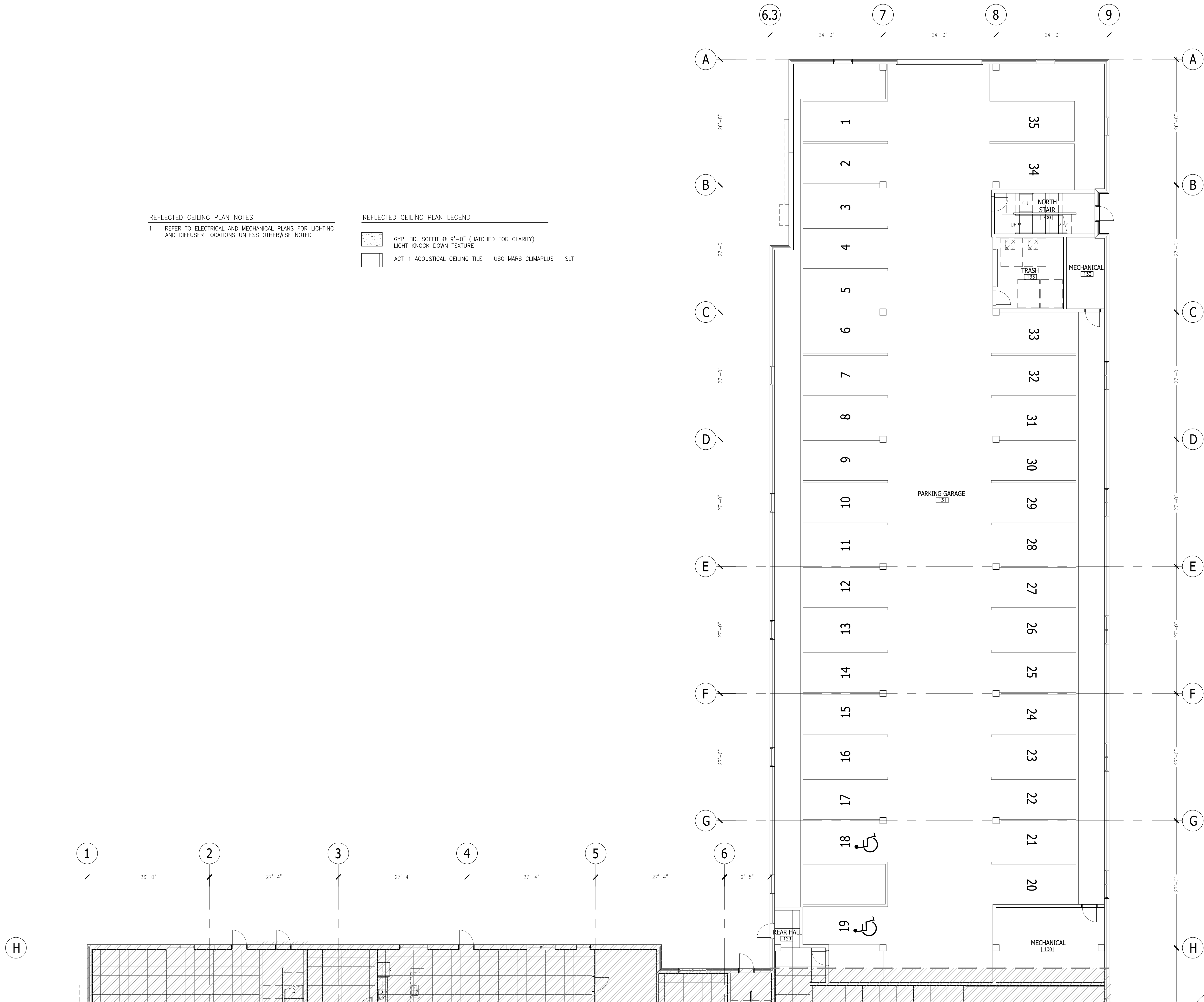
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FOURTH LEVEL FLOOR PLAN
SOUTH

A7.4s



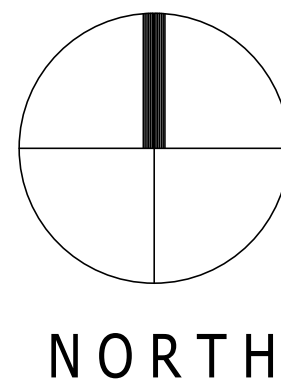
REFLECTED CEILING PLAN NOTES

1. REFER TO ELECTRICAL AND MECHANICAL PLANS FOR LIGHTING AND DIFFUSER LOCATIONS UNLESS OTHERWISE NOTED

REFLECTED CEILING PLAN LEGEND

- GYP. BD. SOFFIT @ 9'-0" (HATCHED FOR CLARITY)
LIGHT KNOCK DOWN TEXTURE
- ACT-1 ACOUSTICAL CEILING TILE - USG MARS CLIMAPLUS - SLT

1 MAIN LEVEL REFLECTED CEILING PLAN - NORTH



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SHEET NUMBER

A7.1n

MAIN LEVEL FLOOR PLAN
NORTH

SCALE:
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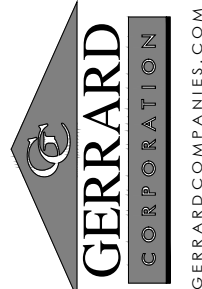
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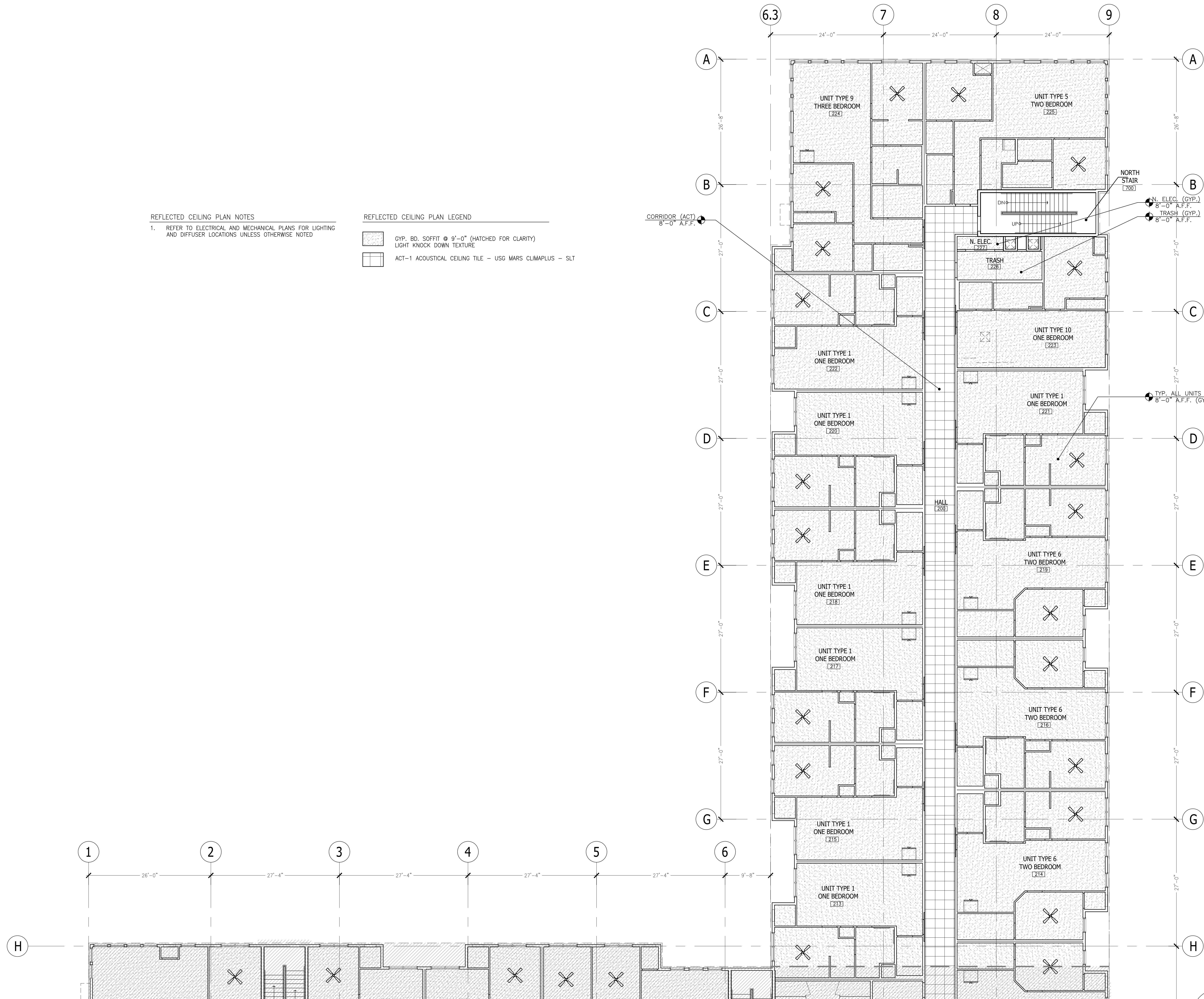
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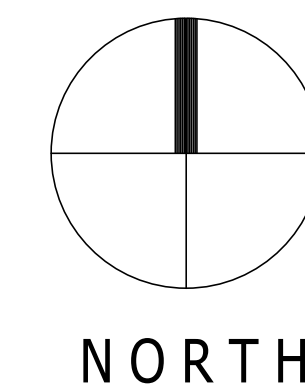
REFLECTED CEILING PLAN NOTES

1. REFER TO ELECTRICAL AND MECHANICAL PLANS FOR LIGHTING AND DIFFUSER LOCATIONS UNLESS OTHERWISE NOTED

REFLECTED CEILING PLAN LEGEND

- | | |
|--|---|
| | GYP. BD. SOFFIT @ 9'-0" (HATCHED FOR CLARITY)
LIGHT KNOCK DOWN TEXTURE |
| | ACT-1 ACOUSTICAL CEILING TILE - USG MARS CLIMAPLUS - SLT |

1 SECOND LEVEL REFLECTED CEILING PLAN - NORTH



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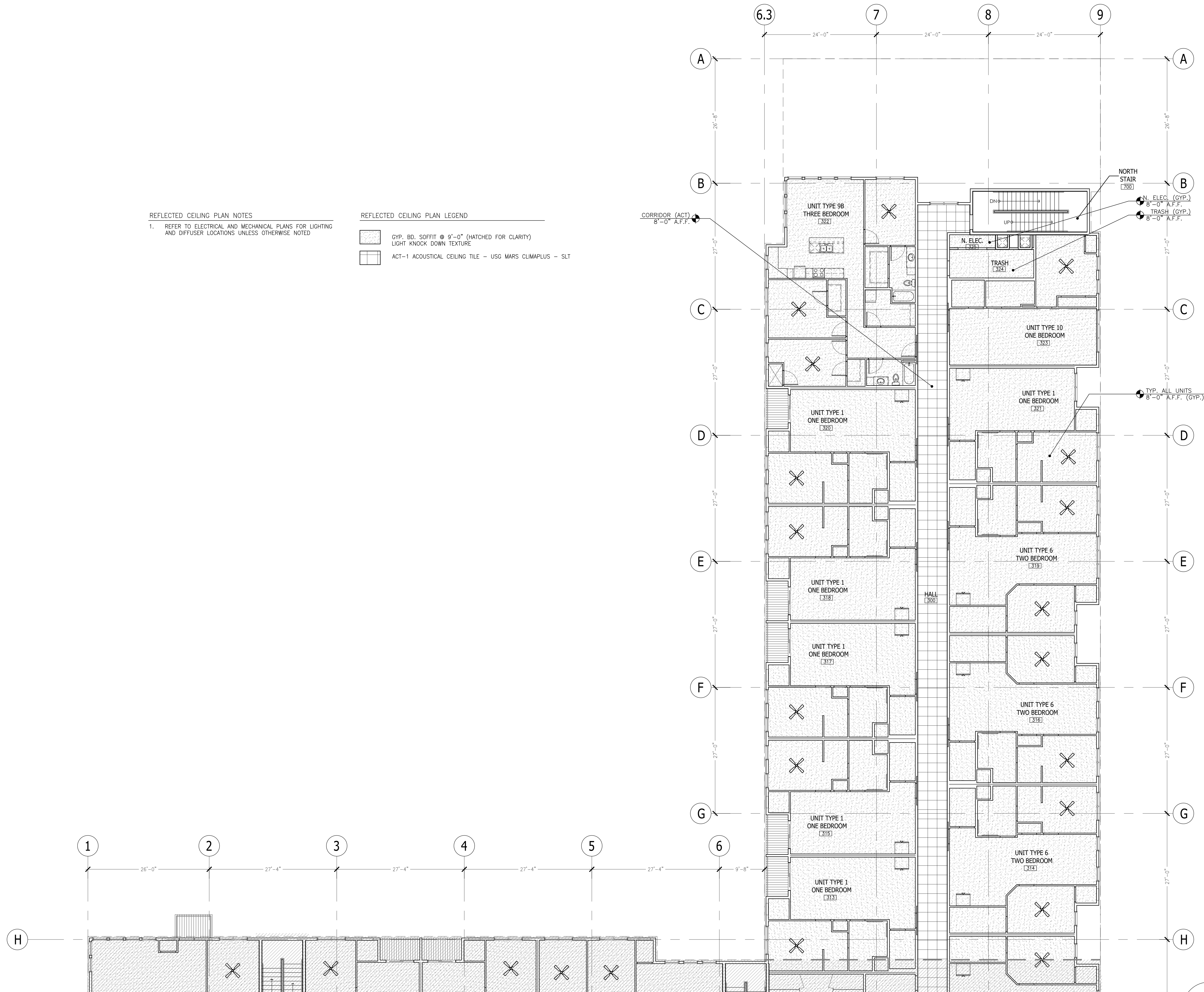
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SHEET NUMBER
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180



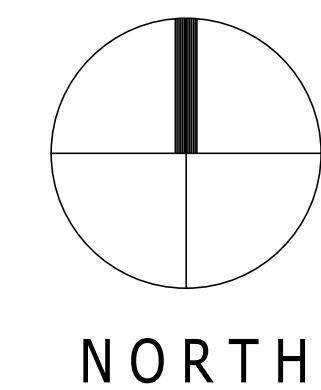
REFLECTED CEILING PLAN NOTES

1. REFER TO ELECTRICAL AND MECHANICAL PLANS FOR LIGHTING AND DIFFUSER LOCATIONS UNLESS OTHERWISE NOTED

REFLECTED CEILING PLAN LEGEND

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LIGHT KNOCK DOWN TEXTURE
- ACT-1 ACOUSTICAL CEILING TILE - USG MARS CLIMAPLUS - SLT

1 THIRD LEVEL REFLECTED CEILING PLAN - NORTH



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION - FOR DESIGN REVIEW AND COST ANALYSIS ONLY

281

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SHEET NUMBER

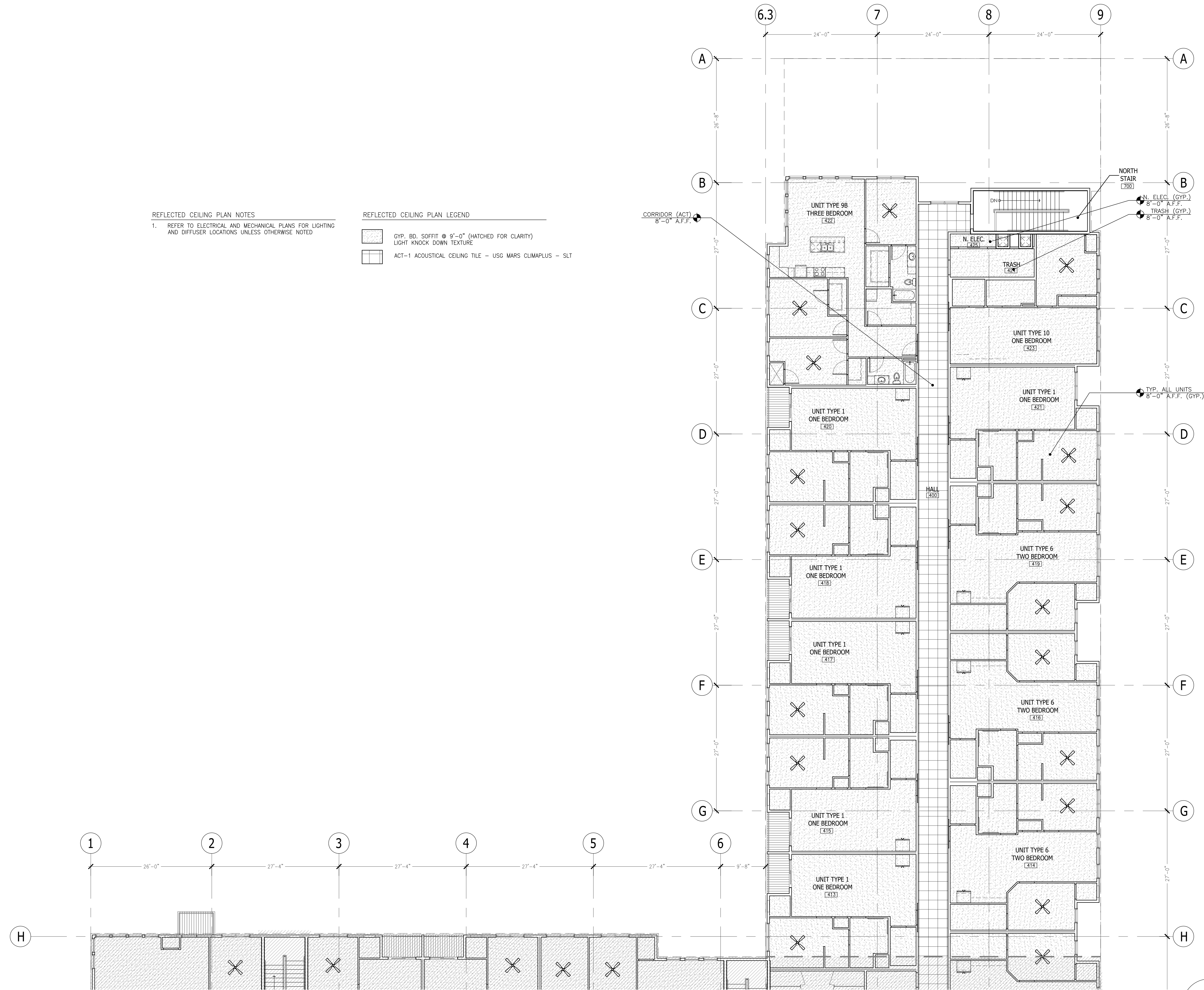
THIRD LEVEL FLOOR PLAN
NORTH

A7.3n

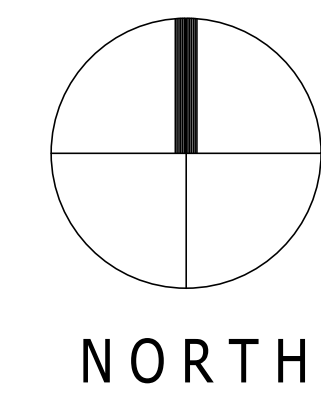
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1 FOURTH LEVEL REFLECTED CEILING PLAN - NORTH



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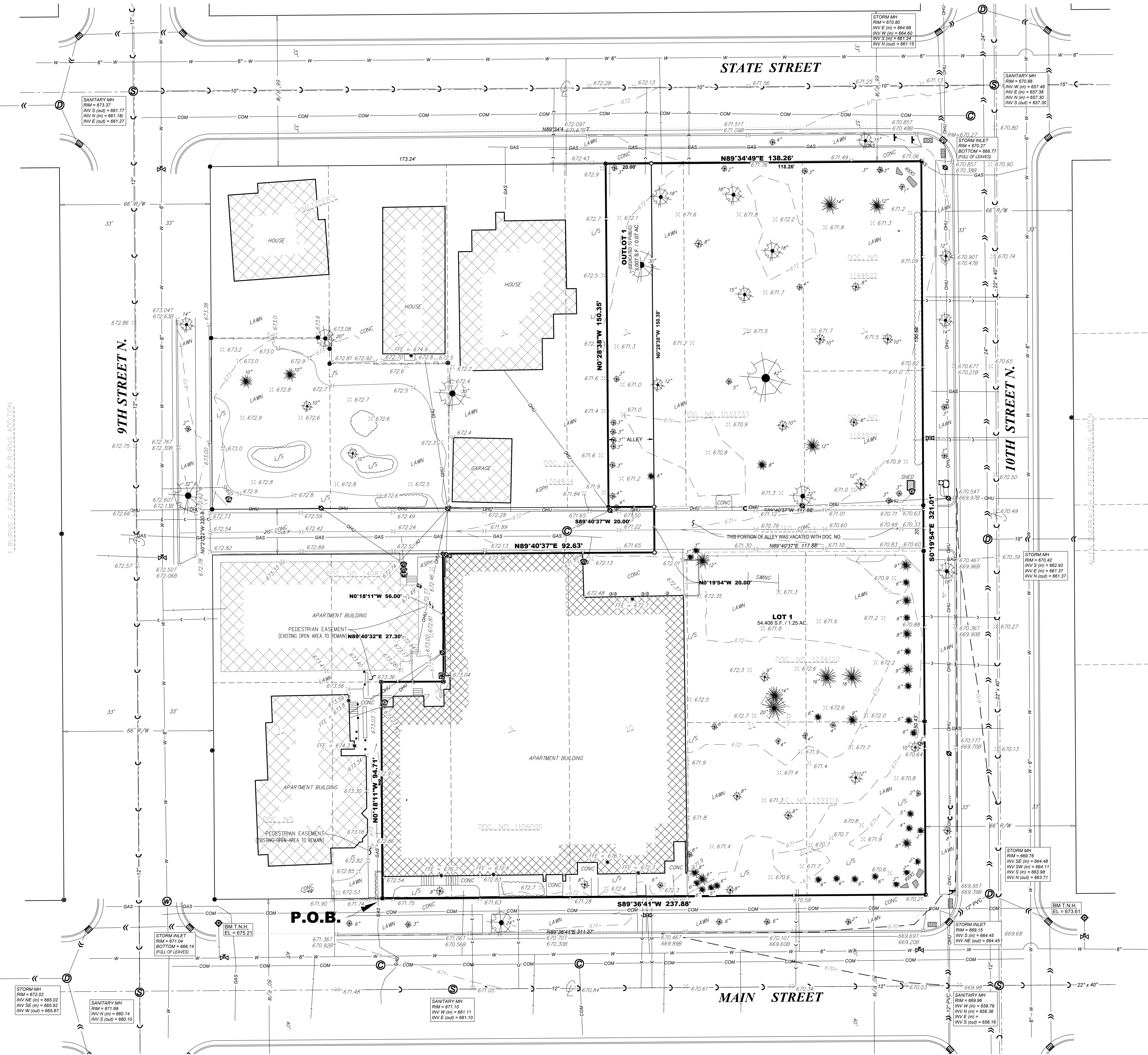
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SHEET NUMBER
A7.4n



C001 GENERAL NOTES

- THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. DIAL 811 OR (800) 242-8511.
- THE UNDERGROUND LOCATIONS OF THE PUBLIC UTILITIES WERE MARKED BY REPRESENTATIVES OF THOSE COMPANIES. THE LOCATIONS OF THE PRIVATELY OWNED UNDERGROUND UTILITIES WERE NOT MARKED.
- THERE MAY BE MORE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
- ANY AND ALL PARTIES UTILIZING VERTICAL DATUM SHALL ALWAYS CHECK INTO AT LEAST TWO (2) BENCHMARKS TO AVOID MISTAKES DUE TO HYDRANT ADJUSTMENTS OR TRANSPOSITIONAL ERRORS. FAILURE TO DO SO WILL BE CONSIDERED TANTAMOUNT TO GROSS NEGLIGENCE AND SUBJECT THE OFFENDING PARTY TO ANY DAMAGES RESULTING THEREFROM.
- THIS DOCUMENT HAS BEEN PREPARED FOR A SPECIFIC APPLICATION AND SOLELY FOR THE USE OF GERRARD DEVELOPMENT, LLC AND NOT FOR GENERAL USE. IT MAY NOT BE USED WITHOUT THE EXPRESSED WRITTEN CONSENT OF PARAGON ASSOCIATES, INC. UNAPPROVED USE IS THE SOLE RESPONSIBILITY OF THE UNAUTHORIZED USER.
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C001 LEGEND

EXISTING TOPOGRAPHY

- 710 CONTOUR MAJOR
- 709 CONTOUR MINOR
- 709.77 SPOT ELEVATION
- 709.567 SPOT ELEVATION
- 709.066 TOP / BOTTOM CURB OR WALL
- CONFERRUS TREE, SIZE NOTED
- DECIDUOUS TREE, SIZE NOTED
- BOLLARD
- SINGLE POST SIGN
- TACTILE MAT (ADA)
- FENCE

EXISTING UTILITIES

- FLOW DIRECTION - SANITARY SEWER
- FLOW DIRECTION - STORM SEWER
- WATERMAIN / SERVICE
- UG - UNDERGROUND ELECTRIC
- OHU - OVERHEAD UTILITIES
- GAS
- COM - UNSPECIFIED COMMUNICATION LINE

SYMBOLS

- SANITARY MANHOLE
- STORM MANHOLE
- CURB INLET
- DOWNSPOUT
- WATER MANHOLE
- HYDRANT
- WATER VALVE
- CURB STOP
- COMMUNICATIONS MANHOLE
- GAS METER
- ELECTRIC METER
- AIR CONDITIONER
- UTILITY POLE
- GUY ANCHOR
- UNKNOWN PEDESTAL
- UNKNOWN PULLBOX

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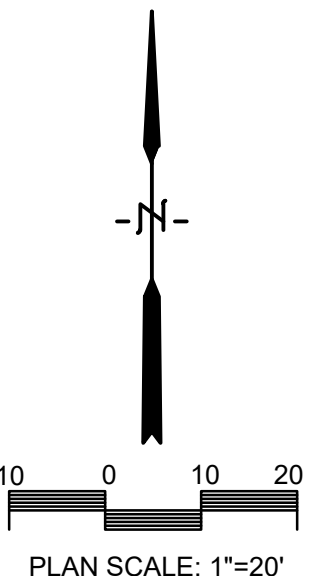
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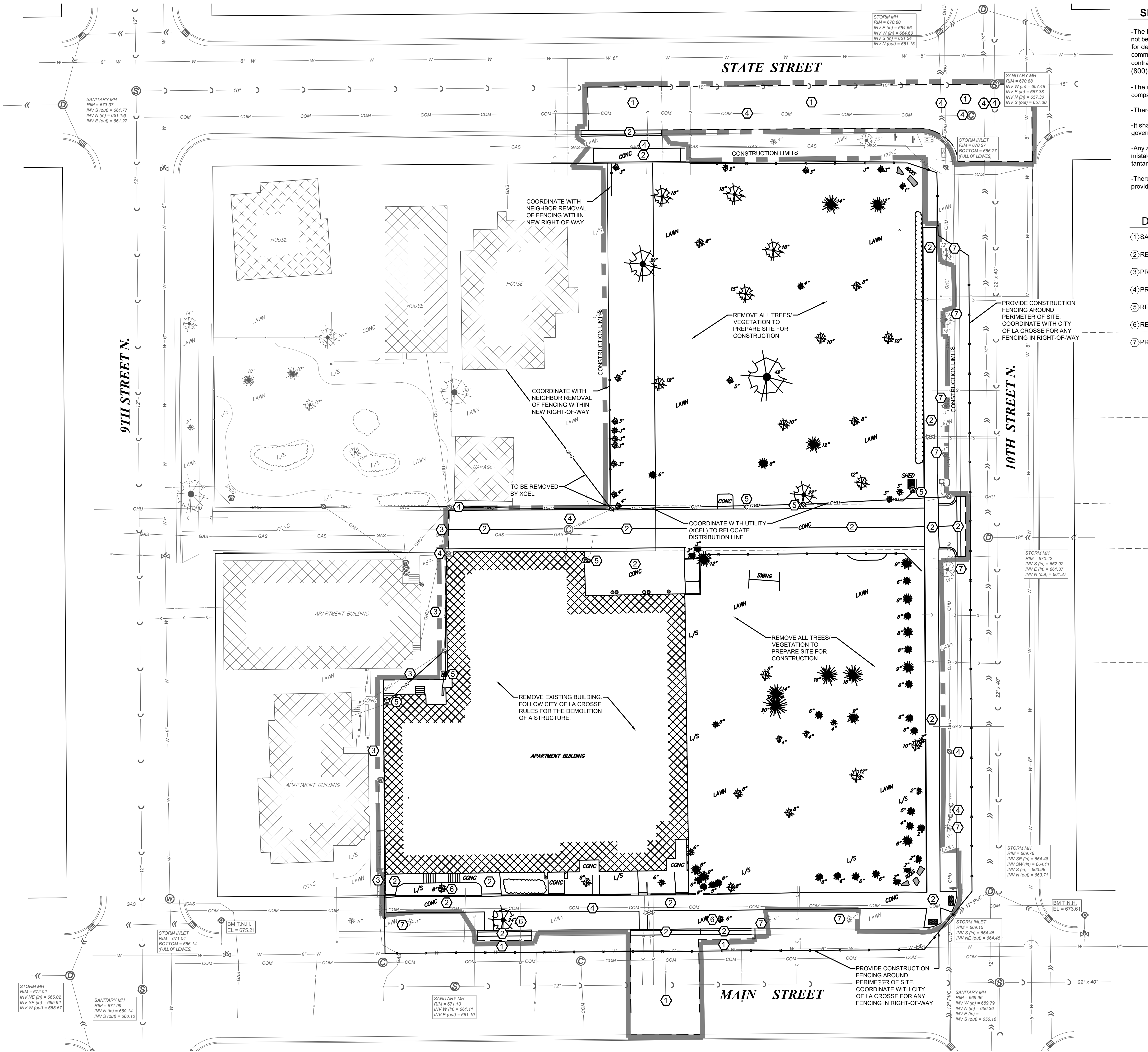
PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
TOPOGRAPHIC SITE MAP

DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2025
SCALE 1"=20'
CAD FILE 23-109 Gerrard HOM 18.DWG
SHEET

C001





SITE NOTES

- The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the owner or its representatives. The contractor shall be responsible for determining the exact location of all existing utilities, whether shown on these plans or not, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and preserve any and all utilities. CALL DIGGERS HOTLINE (800) 242-8511
- The underground locations of the Public Utilities were marked by representatives of those companies. The locations of the privately owned underground utilities were not marked.
- There may be more underground utility installations within the project area that are not shown.
- It shall be the contractors responsibility to arrange for any necessary inspections by local government that may be required.
- Any and all parties utilizing vertical datum shall always check into at least two (2) benchmarks to avoid mistakes due to hydrant adjustments or transpositional errors. failure to do so will be considered tantamount to gross negligence and subject the offending party to any damages resulting therefrom.
- There may be discrepancies between the building exterior as located on the survey and what was provided by the architect. Verify dimensions prior to construction.

DEMOLITION NOTES

- 1 SAW CUT AND REMOVE EXISTING PAVEMENT
- 2 REMOVE EXISTING CONCRETE CURB OR PAVEMENT TO NEAREST JOINT
- 3 PROTECT EXISTING IMPROVEMENT IN PLACE
- 4 PROTECT EXISTING UTILITY IN PLACE
- 5 REMOVE EXISTING UTILITY
- 6 REMOVE EXISTING TREE
- 7 PROTECT EXISTING TREE

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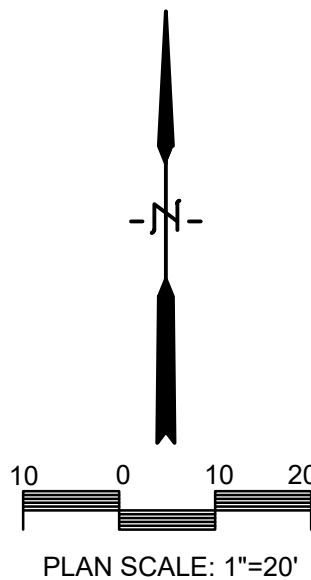
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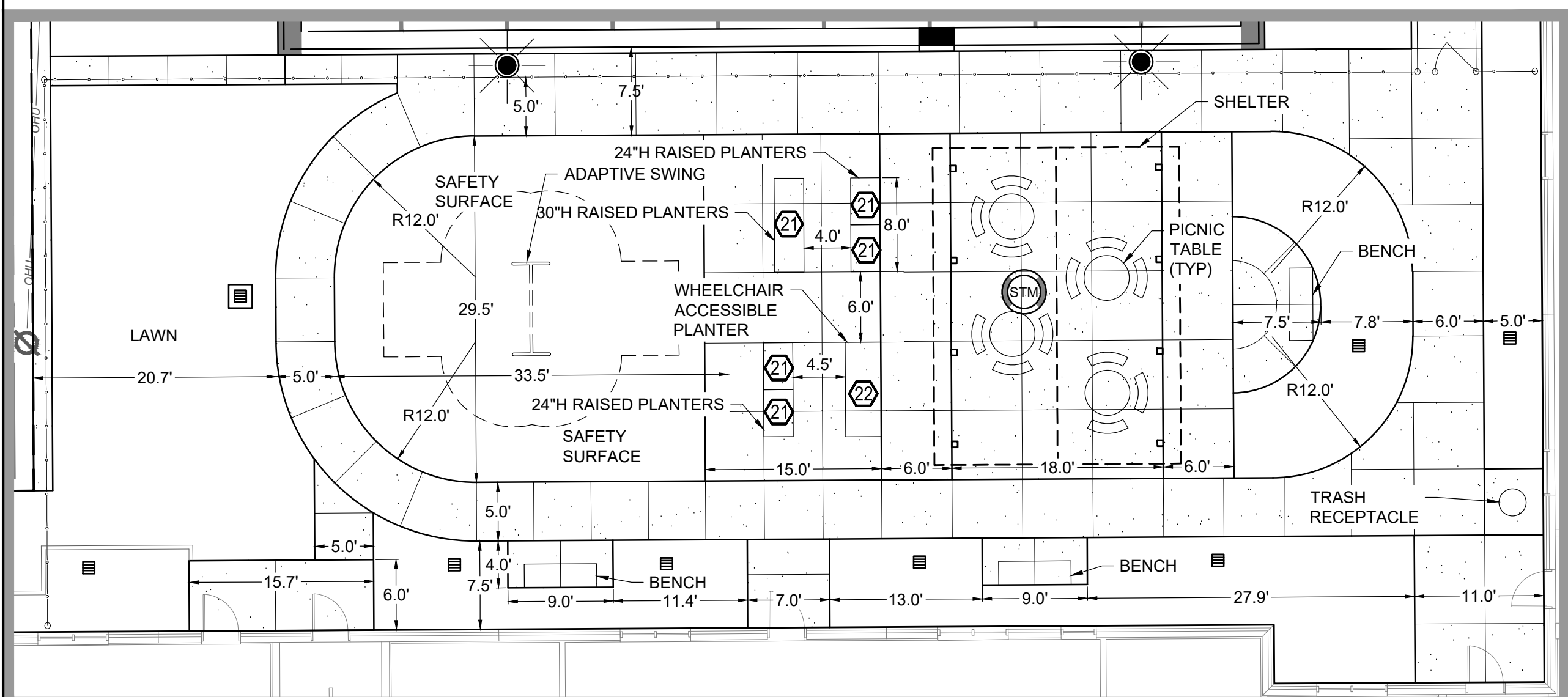
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LA CROSSE, WISCONSIN
DEMOLITION PLAN

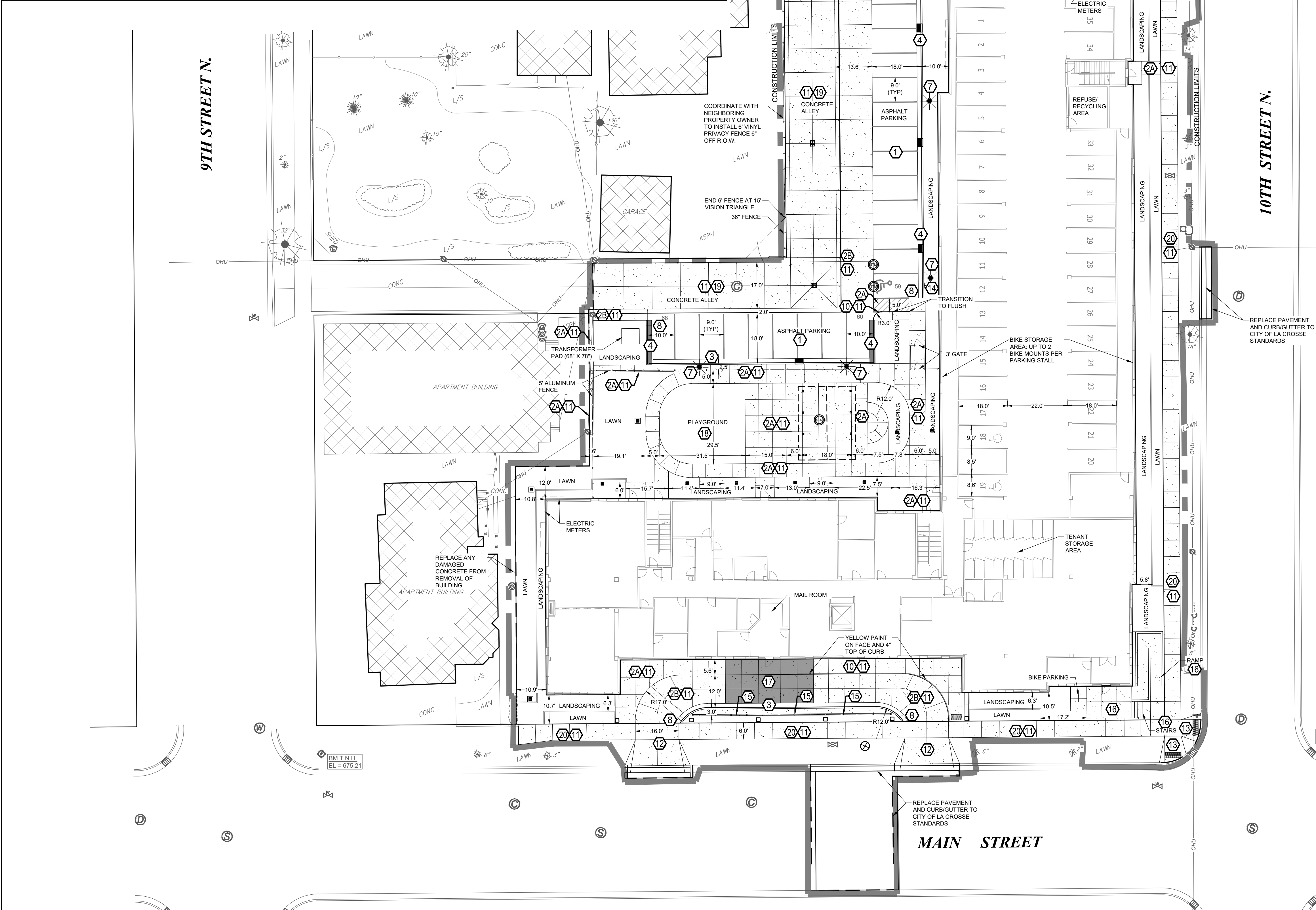
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COURTYARD DETAIL SCALE: 1" = 10'



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- There may be discrepancies between the building exterior as located on the survey and what was provided by the architect. Verify dimensions prior to construction.

SITE NOTES

- ① SEE DETAIL (A) FOR ASPHALT PAVEMENT
- ②A SEE DETAIL (B) FOR CONCRETE PAVEMENT - TYPE 1
- ②B SEE DETAIL (C) FOR CONCRETE PAVEMENT - TYPE 2
- ③ SEE DETAIL (D) FOR TYPICAL 24" CURB AND GUTTER SECTION
- ④ SEE DETAIL (E) FOR 24" CURB AND GUTTER SECTION - REVERSE SLOPE
- ⑤ SEE DETAIL (F) FOR TYPICAL 24" MOUNTABLE CURB & GUTTER
- ⑥ SEE DETAIL (G) FOR TYPICAL 24" MOUNTABLE CURB & GUTTER - REVERSE SLOPE
- ⑦ SEE DETAIL (H) FOR CONCRETE LIGHT BASE. MAXIMUM LIGHT POLE HEIGHT OF 18'
- ⑧ SEE DETAIL (I) FOR END SECTION CURB AND GUTTER
- ⑨ SEE DETAIL (J) FOR END SECTION CORNER MOUNTABLE CURB
- ⑩ SEE DETAIL (K) FOR INTEGRAL CURB/SIDEWALK
- ⑪ SEE DETAIL (L) FOR CONCRETE PAVING AND JOINTING
- ⑫ SEE DETAIL (M) FOR STANDARD CONCRETE APRON
- ⑬ SEE DETAIL (N) FOR SIDEWALK RAMP
- ⑭ SEE DETAIL (O) FOR DISABLED PARKING SIGN
- ⑮ SEE DETAIL (P) FOR CONCRETE WALL AND RAILING
- ⑯ SEE ARCHITECTURAL FOR STAIRS AND RAMP
- ⑰ COLORED CONCRETE
- ⑱ TURF AND SWING SUPPLIER/INSTALLER SELECTED BY OWNER
- ⑲ CONCRETE IN ALLEY TO BE CONSTRUCTED TO CITY OF LA CROSSE STANDARDS
- ⑳ CONCRETE SIDEWALKS TO BE CONSTRUCTED TO CITY OF LA CROSSE STANDARDS
- ㉑ RAISED PLANTERS TO BE WAUSAU TILE (4) 48"X30"X24" AND (1) 72"X30"X30" PLANTERS
- ㉒ PLANTER TO BE RUTHERFORD 4 SPACE PLANTER BY WISHBONE SITE FURNISHINGS

COMMERCIAL DESIGN STANDARDS REQUIREMENTS:
SNOW STORAGE: SNOW WILL BE REMOVED FROM SITE
REQUIRED PARKING SPACES (1 STALL/BEDROOM): 118 SPACES
PROPOSED PARKING SPACES: 68 SPACES
REQUIRED BIKE PARKING SPACES (1 SPACE PER 10 PARKING STALLS): 7 SPACES
REQUIRED BIKE PARKING SPACES (1 SPACE PER 20 EMPLOYEES): 1 SPACE
PROPOSED BIKE STORAGE MOUNTS: 7-70 (DEPENDENT ON TENANT NEEDS)
PROPOSED EXTERIOR BIKE SPACES: 2 SPACES

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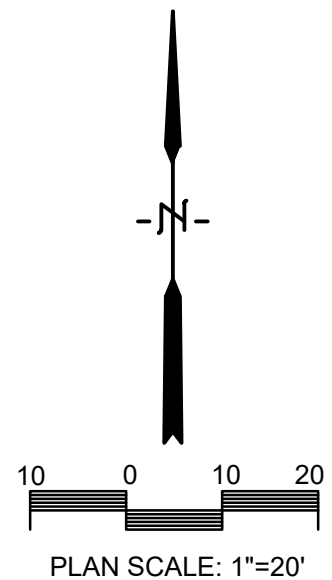
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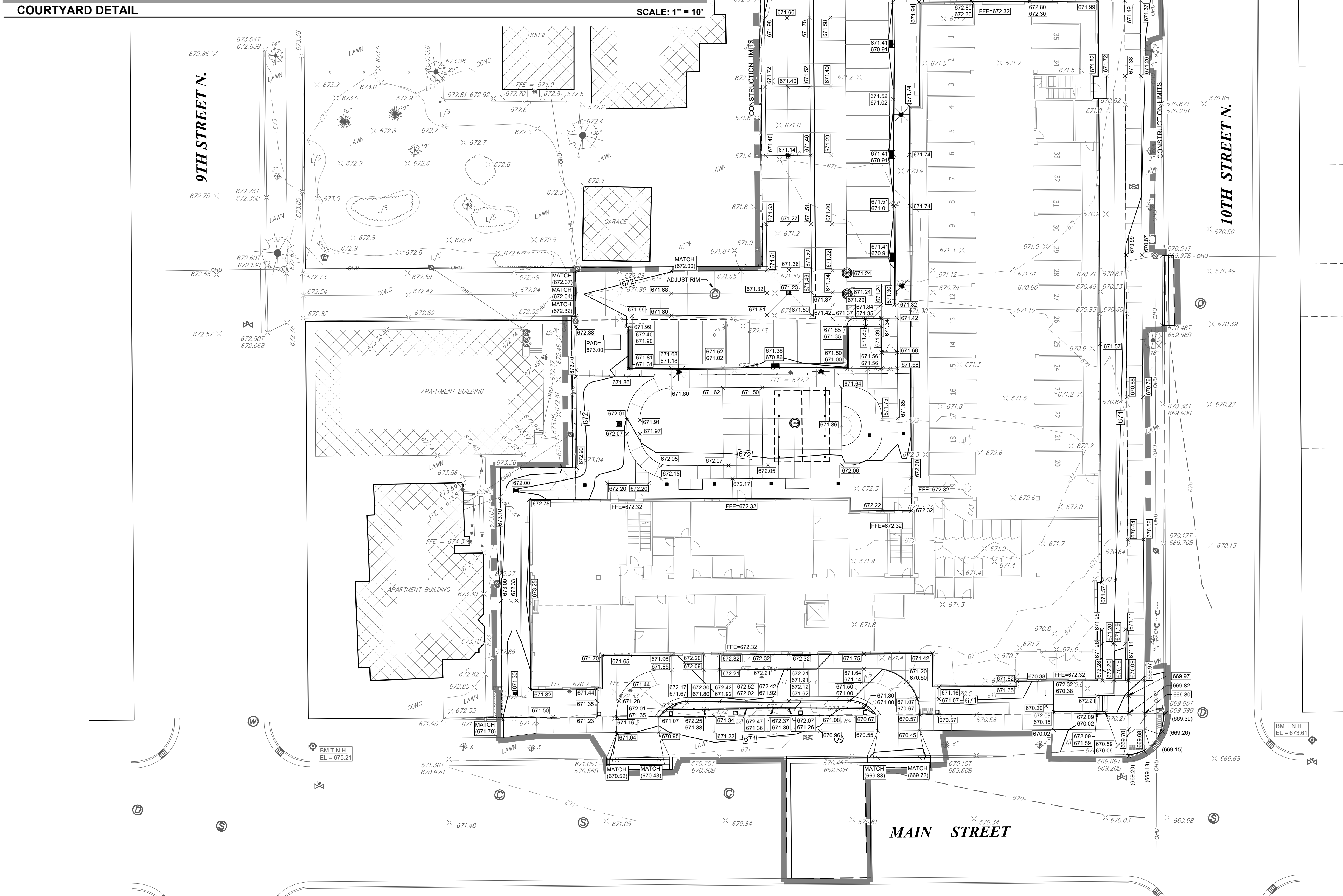
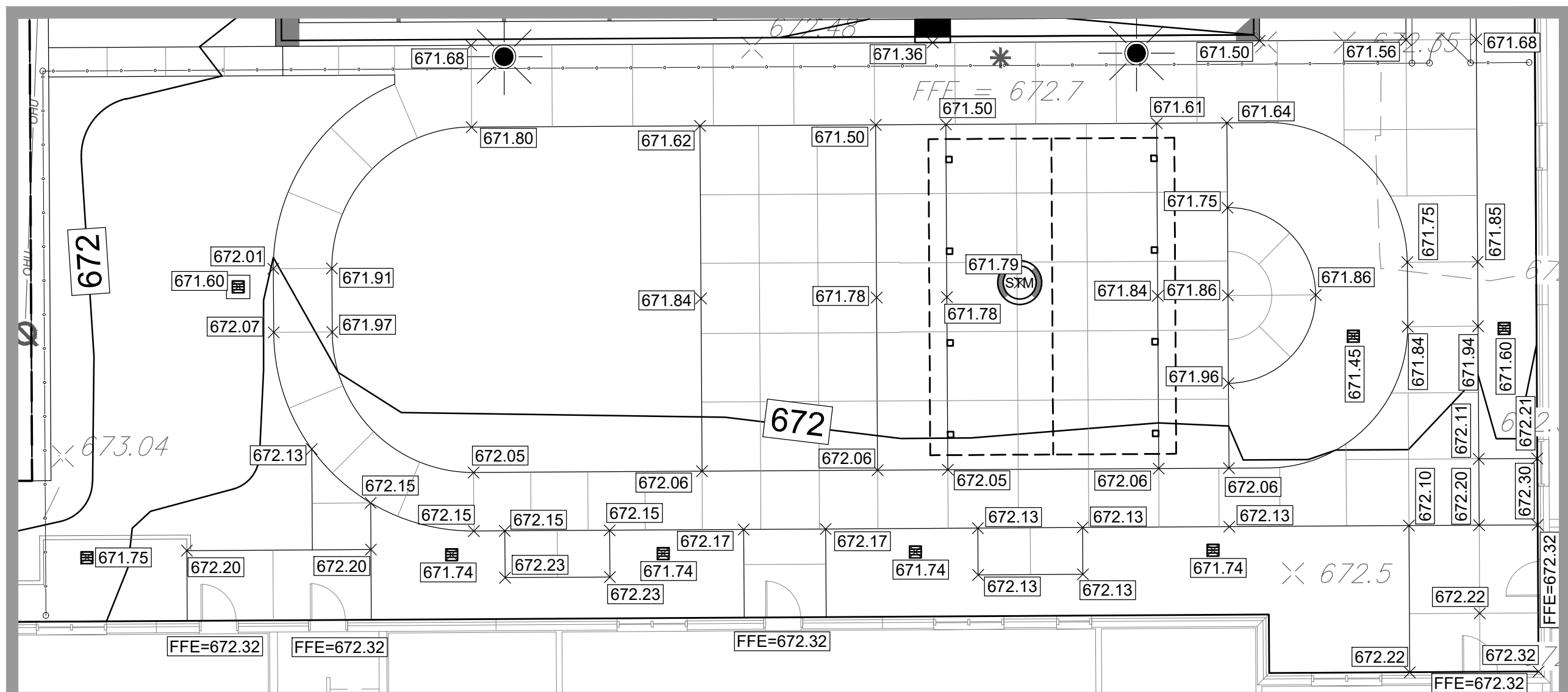
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HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
SITE PLAN

DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2025
SCALE 1"=20'
CAD FILE 23-109 Gerrard HOM 18.DWG
SHEET

C100





GRADING NOTES

- CONTOURS SHOWN ARE FOR FINISHED SURFACES, ANY ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS THAT ARE UNPAVED ARE TO BE LANDSCAPED OR HAVE LAWN ESTABLISHED AS INDICATED ON THE EROSION CONTROL AND LANDSCAPE PLANS.
- ALL LANDSCAPED OR LAWN AREAS SHALL HAVE A MINIMUM OF 6" OF TOPSOIL.
- SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. HOWEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF SPOT ELEVATIONS DO NOT APPEAR TO AGREE WITH THE CONTOURS AND SLOPES LABELED. SPOT ELEVATIONS AND SPECIFIC PROFILE INFORMATION SHALL BE USED FOR ESTABLISHING THE ELEVATION OF CURBS, DRIVEWAYS, AND OTHER UTILITIES.
- ALL FINISHED GRADING SHALL PROVIDE FOR A SMOOTH TRANSITION TO UNGRADED AREAS.
- ALL PVC STORM SEWER PIPING SHALL BE MINIMUM SDR 35

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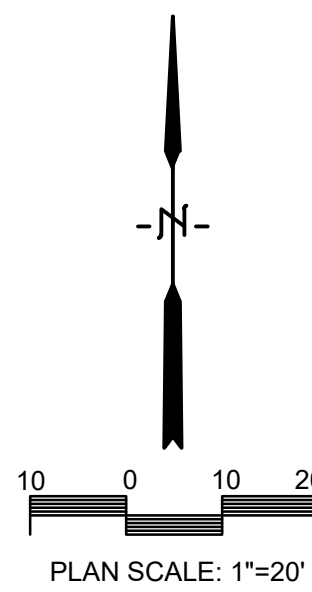
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HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
GRADING PLAN

DRAWN C.G.
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SHEET

C200



STORM WATER CONSTRUCTION
POLLUTION PREVENTION NOTES

SITE CLEARING SHALL APPLY TO ALL AREAS INSIDE LIMITS AS SHOWN ON THE PLANS. REMOVE ALL TREES COMPLETELY AS DIRECTED BY THE OWNER. ANY STRIPPED TOPSOIL SHALL BE STOCKPILED INSIDE THE LIMITS OR PLACED IMMEDIATELY ON SLOPES BEING RESTORED.

SEDIMENT CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION.

ALL DISTURBED AREAS SCHEDULED FOR PERMANENT COVER SHALL HAVE TOPSOIL APPLIED, AND BE SEEDED AND MULCHED AS SPECIFIED WITHIN 7 DAYS OF FINAL DISTURBANCE.

MAINTENANCE OF ALL INSTALLED EROSION AND SEDIMENT CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REMOVED WHEN NO LONGER NECESSARY.

MINIMUM MAINTENANCE SHALL CONSIST OF, BUT NOT LIMITED TO:

- INSPECTING ALL EROSION AND SEDIMENT CONTROL DEVICES AFTER EACH RAINFALL.
- FINISHED AREAS THAT HAVE BEEN DAMAGED OR ERODED SHALL BE RESTORED WITHIN THREE DAYS OF THE DAMAGE.
- UNFINISHED AREAS THAT HAVE BEEN DAMAGED OR ERODED SHALL HAVE THE PREVIOUS MEASURE REAPPLIED WITHIN SEVEN DAYS.
- VEHICLE TRACKING CONTROL APRON SHALL BE REMOVED AND REPLACED WHEN VOIDS BECOME FILLED WITH SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT THE APRON DOES NOT FUNCTION.
- SILT FENCES SHALL BE MAINTAINED IN A FUNCTIONING MANNER. FENCES SHALL NOT BE ALLOWED TO SAG, FALL DOWN, OR BECOME FILLED WITH SILT ON THE BACK SIDE. IF SILT BUILDS UP BEHIND A SILT FENCE, IT SHALL BE REMOVED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL SILT DEPOSITS BE ALLOWED TO REACH MORE THAN $\frac{1}{3}$ THE HEIGHT OF THE FENCE.

SILT FENCE SHALL BE PLACED DOWN SLOPE OF ALL SOIL STOCK PILES DURING CONSTRUCTION IF LEFT MORE THAN SEVEN DAYS. STOCK PILES SHALL BE SEEDED AND MULCHED IF LEFT FOR MORE THAN 14 DAYS.

ADDITIONAL EROSION CONTROL FACILITIES MAY BE REQUIRED DUE TO UNFORESEEN SITE CIRCUMSTANCES OR SITE OPERATIONS.

SEDIMENT CONTROL STRUCTURES BELOW LAWN AREAS MAY BE REMOVED ONCE LAWN AND FINAL LANDSCAPING IS IN PLACE. SEDIMENT CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. SEDIMENT CONTROL STRUCTURES IN PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE.

SEDIMENT DEPOSITED IN ROADS OR RIGHT OF WAY DITCHES ADJACENT TO THIS SITE AS A RESULT OF THIS WORK SHALL BE REMOVED. VEGETATION SHALL BE ESTABLISHED WHEN SEDIMENT REMOVAL DESTROYS THE EXISTING VEGETATION. THE ESTABLISHMENT OF VEGETATION SHALL BE IN THE SAME MANNER AS SPECIFIED FOR SEEDING SPECIFIED ELSEWHERE ON THIS PLAN.

NOTES

- PROVIDE VEHICLE TRACKING CONTROL APRON AT LOCATION WHERE ENTERING AND EXITING THE SITE. SEE DETAIL (A).
(A)
- SEE DETAIL (B) FOR SILT FENCE INSTALLATION
(B)
- SEE DETAIL (C) FOR INLET PROTECTION (WITH CURB BOX)
(C)
- SEE DETAIL (E) FOR INLET PROTECTION (WITHOUT CURB BOX)
(E)
- ALL DISTURBED LAWN AREAS SHALL BE SODDED. . . .
(D)
- PROVIDE CONCRETE WASHOUT AREA PER DETAIL (D). UNDER NO CIRCUMSTANCES SHALL CONCRETE WASHOUT BE ALLOWED IN ANY OTHER LOCATION ON THE SITE.
(D)

REVISIONS	BY

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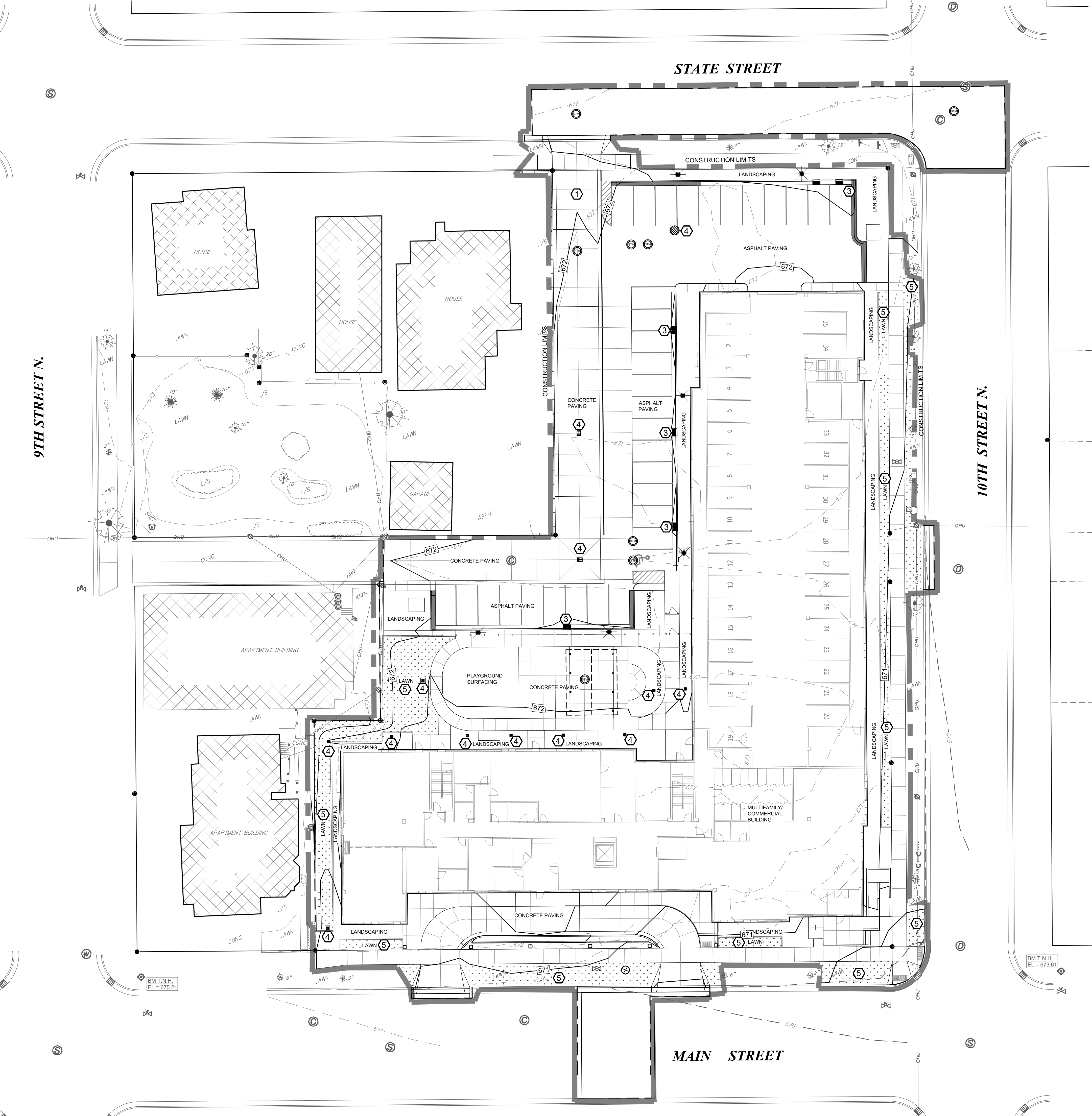
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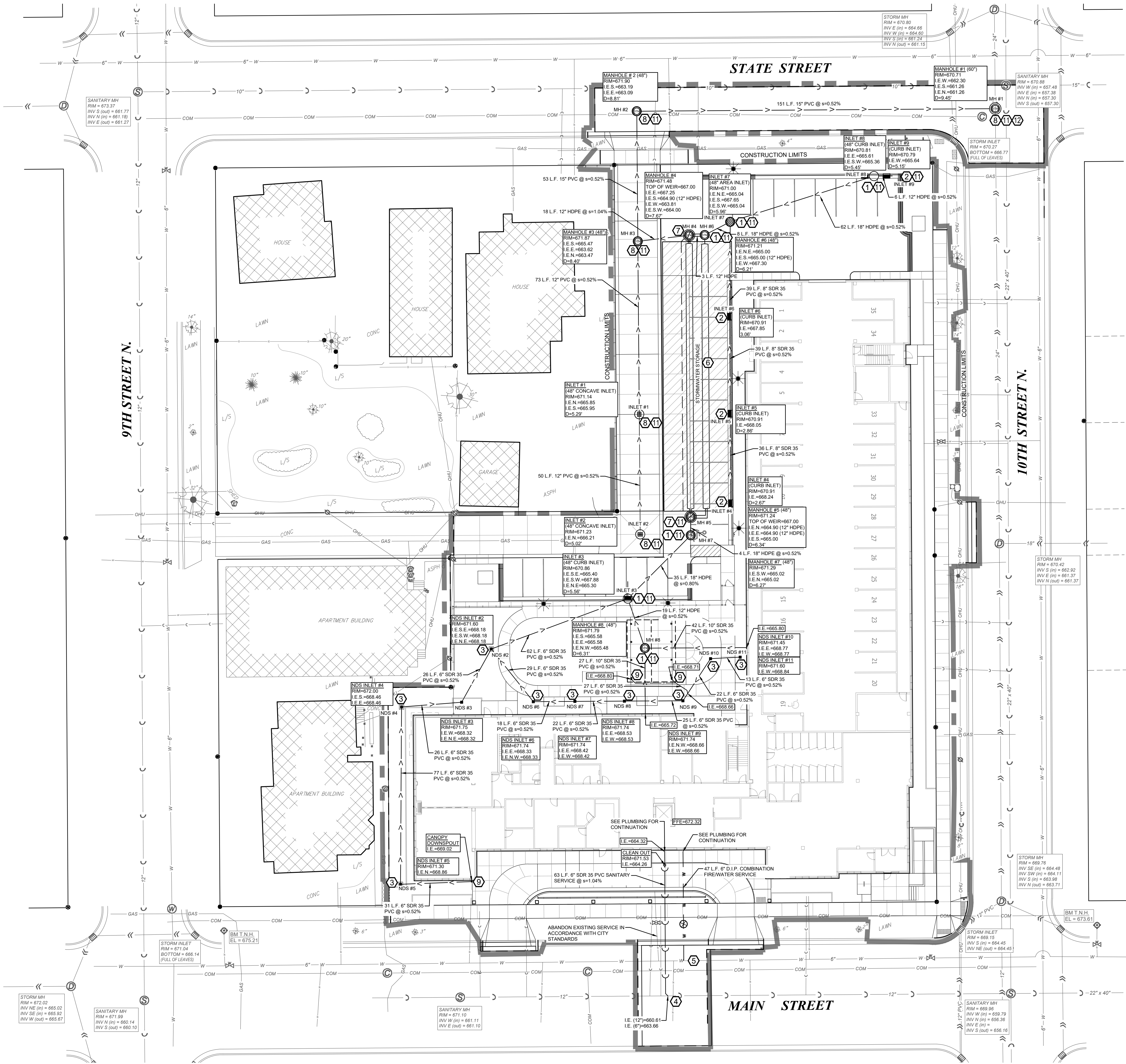
PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
EROSION CONTROL PLAN

DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2025
SCALE 1"=20'
CAD FILE 23-109 Gerrard HOM 18.DWG
SHEET

C300





UTILITY NOTES

ALL WATER & SEWER (STORM & SANITARY) CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR SEWER & WATER IN THE STATE OF WISCONSIN," ALONG WITH THE CITY OF LA CROSSE STANDARD SPECIFICATIONS, AS APPROPRIATE.

ALL WATER & SANITARY LATERALS SHALL HAVE A MINIMUM DEPTH 6' BELOW FINISHED FLOOR ELEVATIONS. THE CONTRACTOR IS TO COORDINATE ACTIVITIES & CONFIRM LOCATION & ELEVATION OF SERVICES WITH THE ENGINEER.

USE C.L.D.I.P. FOR ALL WATER MAIN.

ALL WATER MAINS SHALL HAVE A MINIMUM OF 7.5' OF COVER.

SUITABLE ON-SITE GRANULAR MATERIAL SHALL BE USED FOR TRENCH BACKFILL TO PROPOSED ELEVATIONS. BACKFILL SHALL BE COMPACTED AS SPECIFIED.

ALL EXISTING INVERTS & LOCATIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ALL DISCREPANCIES FROM INFORMATION SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

CONTRACTOR SHALL IDENTIFY & MARK THE EXACT LOCATIONS OF ALL UNDERGROUND CONNECTIONS TO WATER AND SEWER MAINS, BENDS, CURB BOXES, CLEAN OUTS, ETC. ON THE AS-BUILT PLANS. COPIES OF THESE DOCUMENTS SHALL BE DELIVERED TO THE ENGINEER FOR RECORD.

LOCATION REQUIREMENT: NON-METALLIC SEWER/MAINS AND SERVICES MUST BE PROVIDED WITH TRACE WIRE OR OTHER METHODS IN ORDER TO BE LOCATED.

SHOP DRAWINGS FOR UTILITIES ARE REQUIRED.

ALL MANHOLES SHALL BE BUILT WITH ECCENTRIC CONES.

NOTES

- 1) SEE DETAIL (G) FOR MANHOLE/INLET FOR STORM SEWER
- 2) SEE DETAIL (H) FOR STORM SEWER INLET 3' X 2'
- 3) SEE DETAIL (F) FOR NDS INLET
- 4) SEE DETAIL (K) FOR RISER FOR LATERAL CONNECTION TO MAIN. LATERAL CONNECTION TO LINER ITSELF, NOT THE HOST PIPE.
- 5) CUT IN SLEEVE AND TEE. CONFORM TO CITY OF LA CROSSE SPECIFICATIONS
- 6) SEE SHEETS C502A-C502E FOR ADS StormTech SYSTEM
- 7) SEE DETAIL (G) FOR ENTRANCE AND DISCHARGE WEIR MANHOLE
- 8) SEE CITY OF LA CROSSE STORM SEWER DETAILS ON SHEET C503
- 9) SEE DETAIL (G) FOR DOWNSPOUT CONNECTION
- 10) NOT IN USE
- 11) ALL CONNECTIONS TO MANHOLES OR INLETS SHALL INCLUDE RUBBER BOOTS. MORTAR CONNECTIONS ARE NOT ALLOWED.
- 12) EXISTING PIPE SHALL BE CUT AND REMOVED TO ALLOW FOR MANHOLE BOOTS ON ALL CONNECTIONS. ESSENTIALLY, A CITY OF LA CROSSE TYPE W MANHOLE.

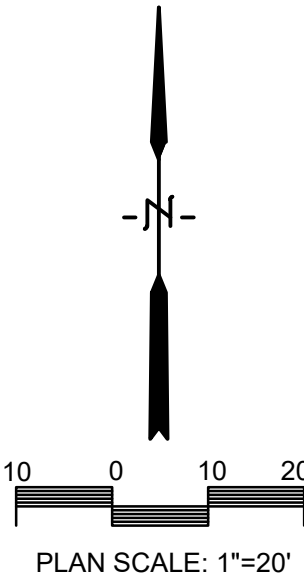
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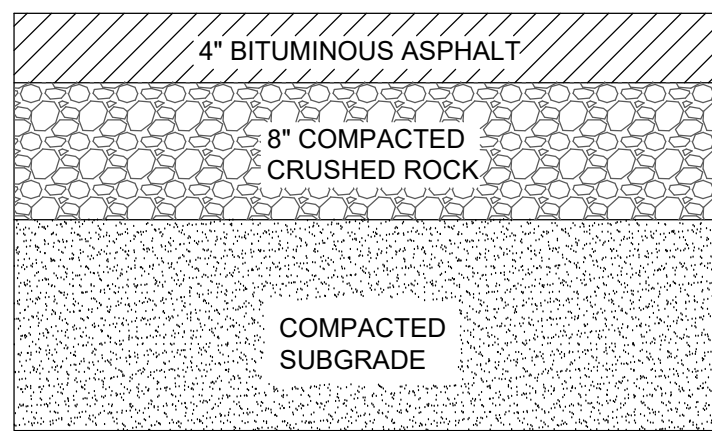
PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
UTILITY PLAN

DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2025
SCALE 1"=20'
CAD FILE 23-109 Gerrard HOM 18.DWG
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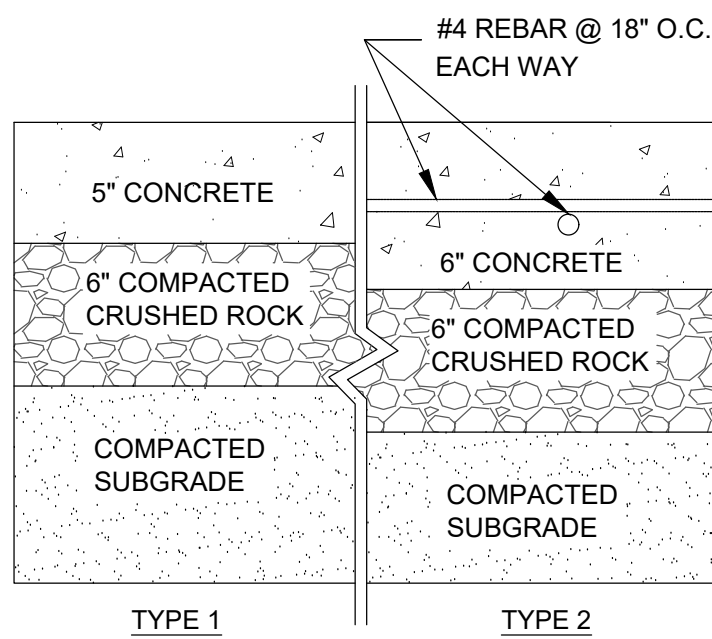
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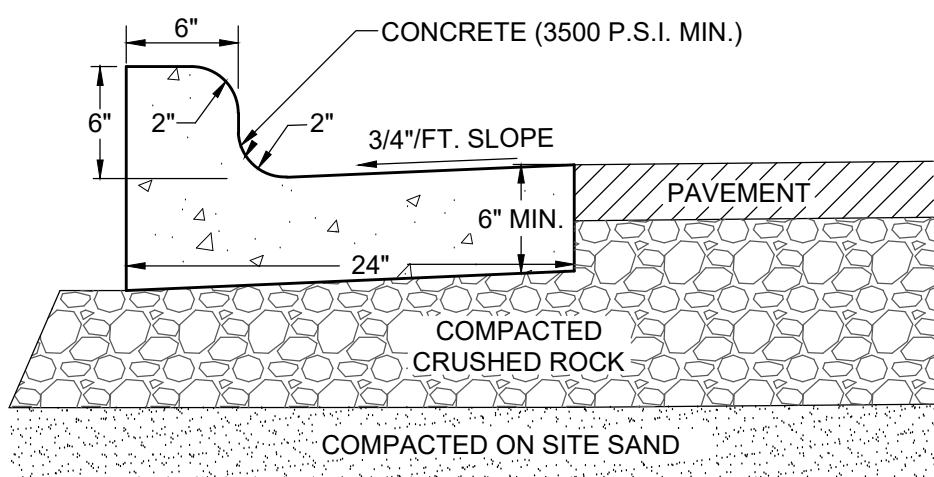


PLACE PAVEMENT
USING ONE 2" SURFACE
LIFT OVER ONE 2"
BINDER LIFT.

A ASPHALT PAVEMENT SECTION DETAIL
C100 NO SCALE

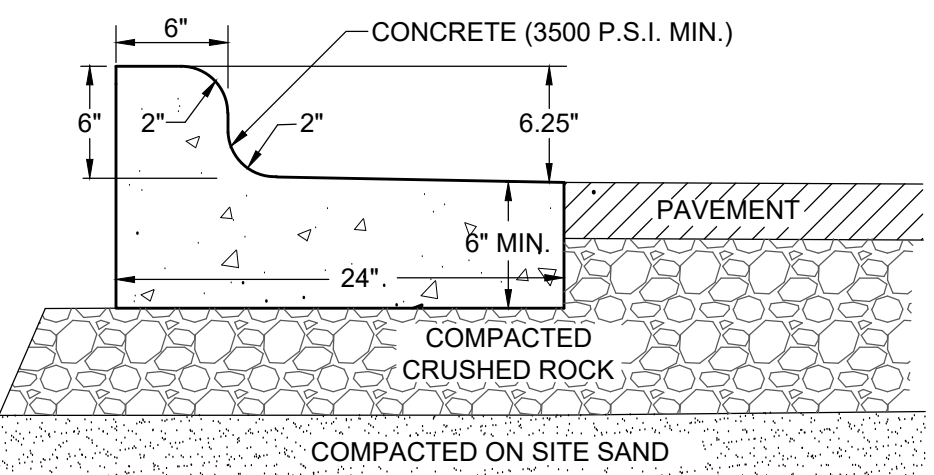


B CONCRETE PAVEMENT SECTION DETAIL
C100 NO SCALE



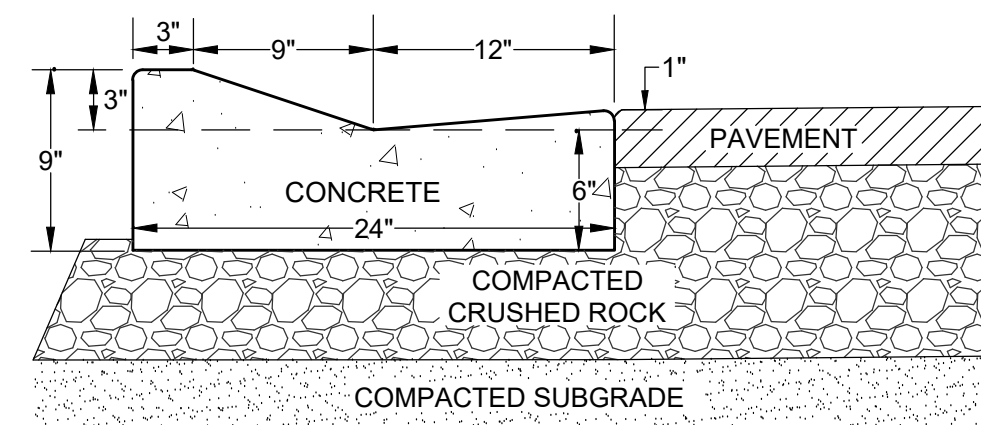
NOTE:
1. CONTROL JOINTS SHALL CONFORM WITH WISDOT 601.3.6
2. THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED FLAT OR PARALLEL TO THE SLOPE OF THE BASE COURSE PROVIDED A MINIMUM 6" GUTTER THICKNESS IS MAINTAINED

C TYPICAL 24" CURB AND GUTTER SECTION
C100 NO SCALE



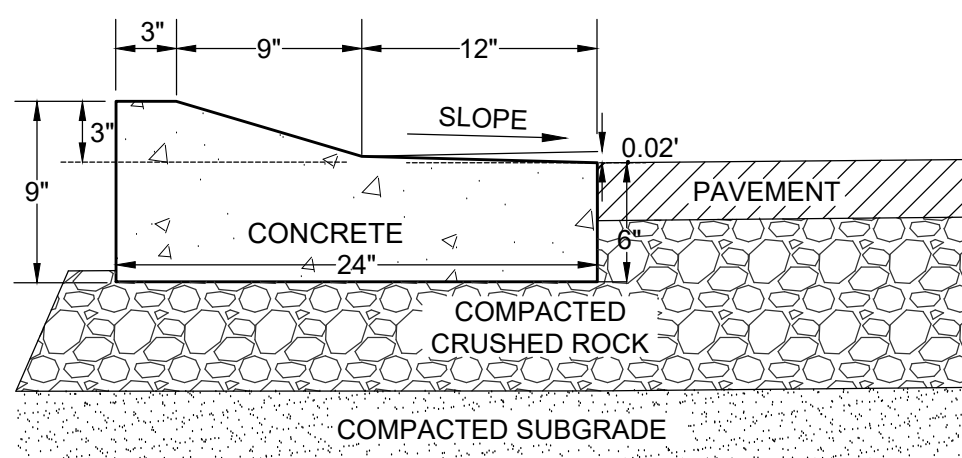
NOTE:
1. CONTROL JOINTS SHALL CONFORM WITH WISDOT 601.3.6
2. THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED FLAT OR PARALLEL TO THE SLOPE OF THE BASE COURSE PROVIDED A MINIMUM 6" GUTTER THICKNESS IS MAINTAINED

D 24" CURB AND GUTTER SECTION - REVERSE SLOPE
C100 NO SCALE



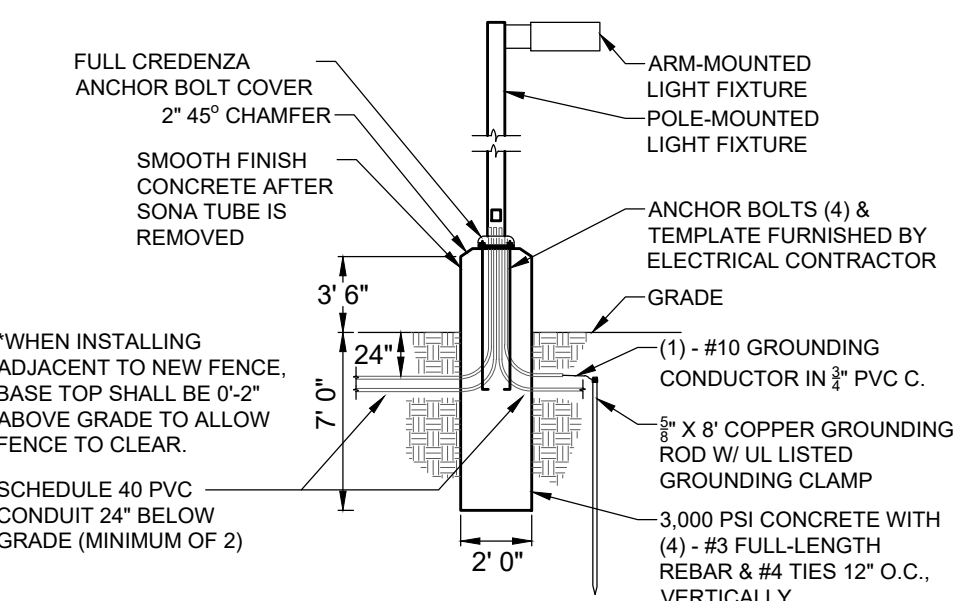
NOTE:
ROCK UNDER CURB TO BE SAME DEPTH TO SUBGRADE AS
ADJACENT PAVEMENT. HOWEVER, NOT LESS THAN 6".

E TYPICAL 24" MOUNTABLE CURB & GUTTER
C100 NO SCALE

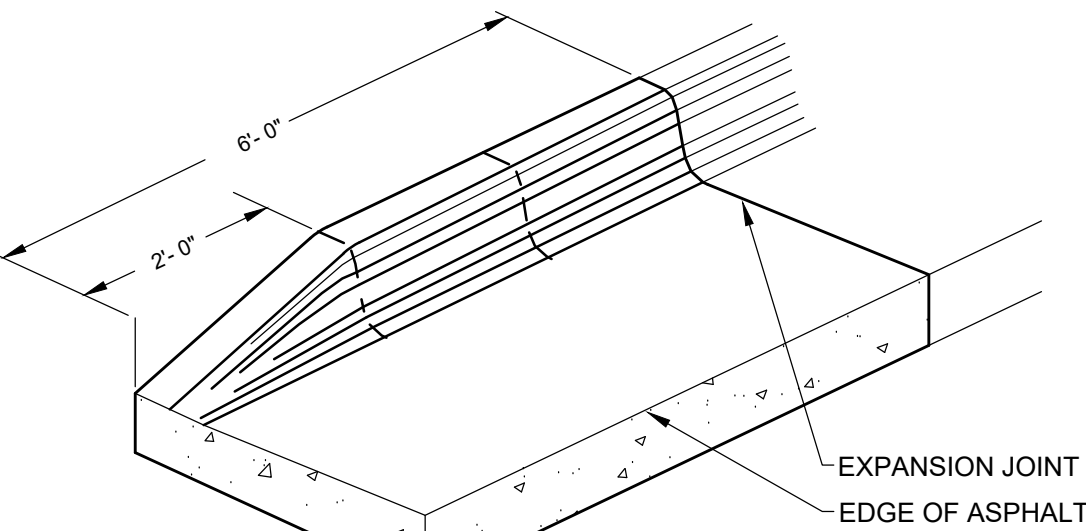


NOTE:
ROCK UNDER CURB TO BE SAME DEPTH TO SUBGRADE AS
ADJACENT PAVEMENT. HOWEVER, NOT LESS THAN 6".

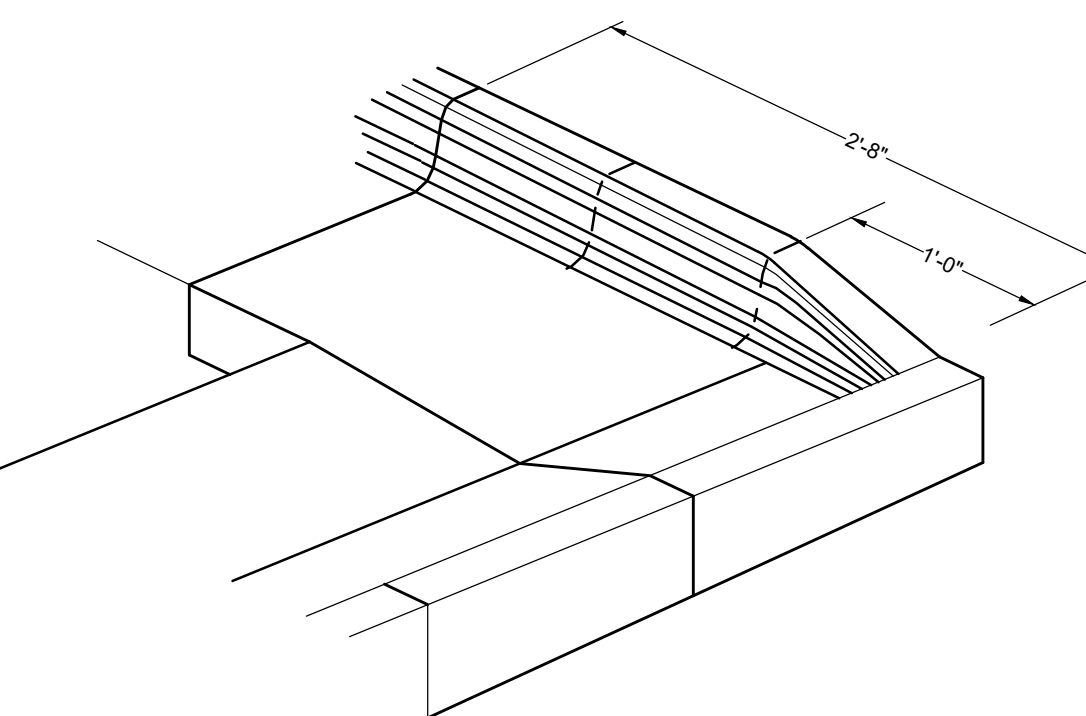
F TYPICAL 24" MOUNTABLE CURB & GUTTER - REVERSE SLOPE
C100 NO SCALE



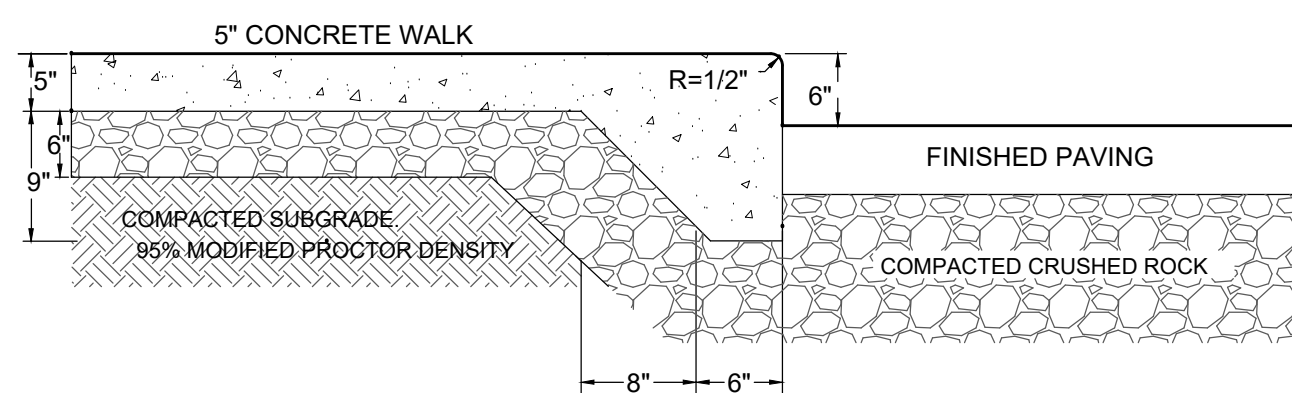
G CONCRETE LIGHT BASE
C100 NO SCALE



H END SECTION CURB & GUTTER
C100 NO SCALE

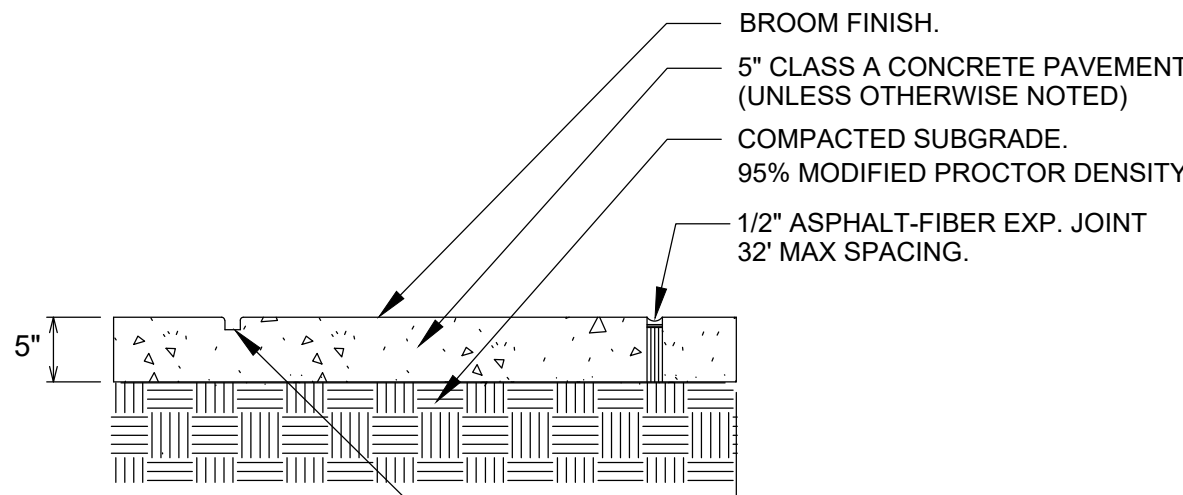


I END SECTION CORNER MOUNTABLE CURB
C100 NO SCALE



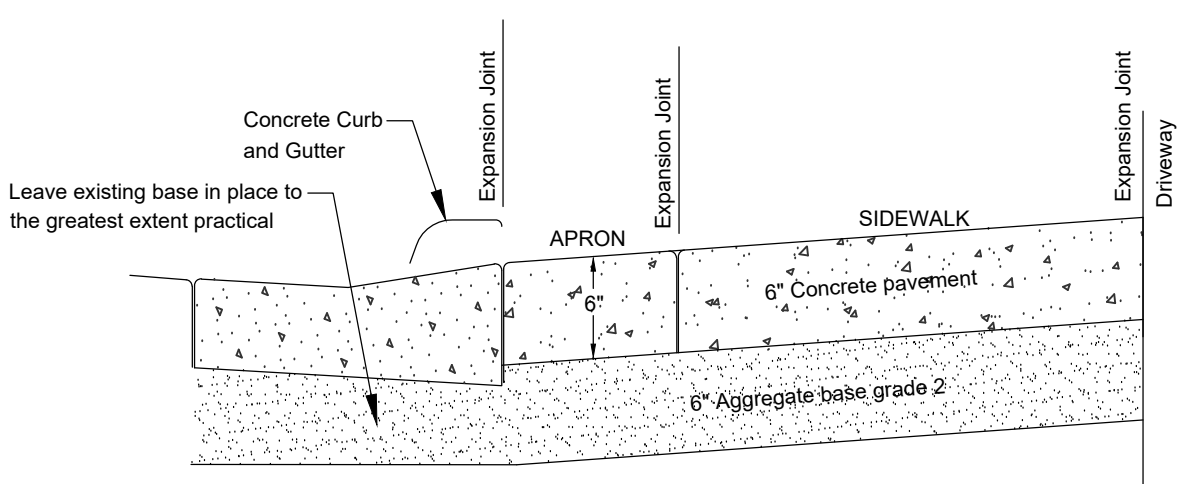
NOTE:
ROCK UNDER CURB TO BE SAME DEPTH TO SUBGRADE AS ADJACENT
PAVEMENT. HOWEVER, NOT LESS THAN 6".

J INTEGRAL CURB/SIDEWALK SECTION
C100 NO SCALE



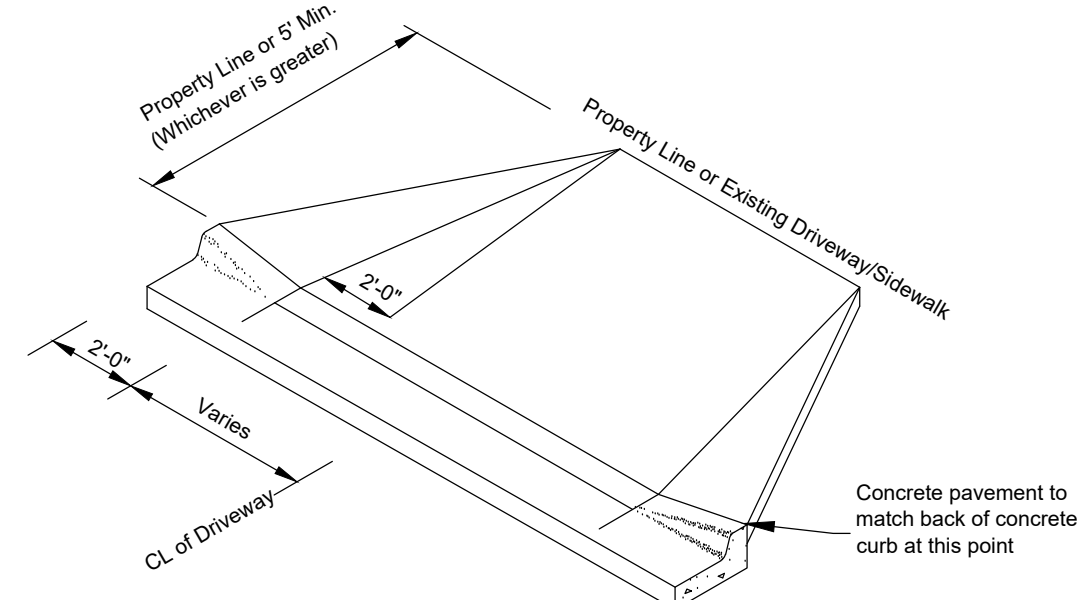
NOTE:
SIDEWALK IN DRIVEWAY
SECTIONS SHALL BE 6" THICK

K CONCRETE PAVING AND JOINTING
C100 NO SCALE



SECTION

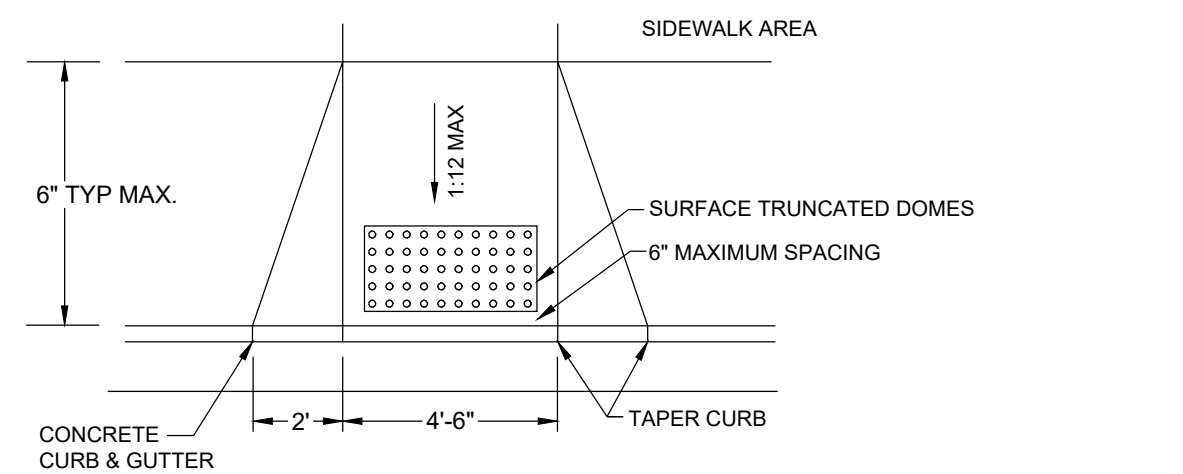
NOTE: SIDEWALK IN DRIVEWAY
SECTIONS SHALL BE 6" THICK



ISOMETRIC

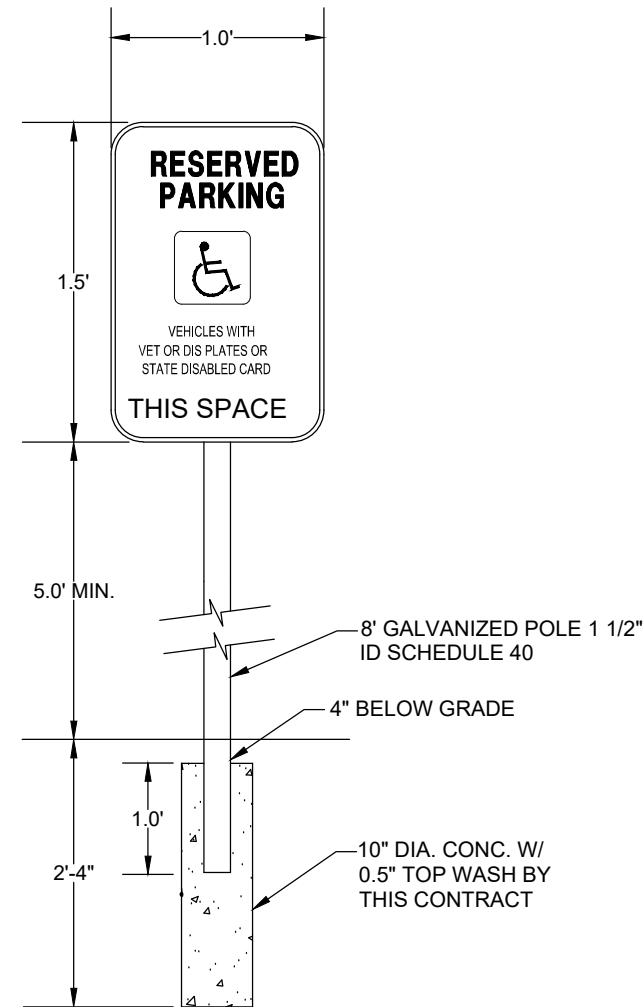
NOTE: Control joints in concrete curb
not to exceed 10' spacing through
driveway section.

L STANDARD CONCRETE APRON
C100 NO SCALE

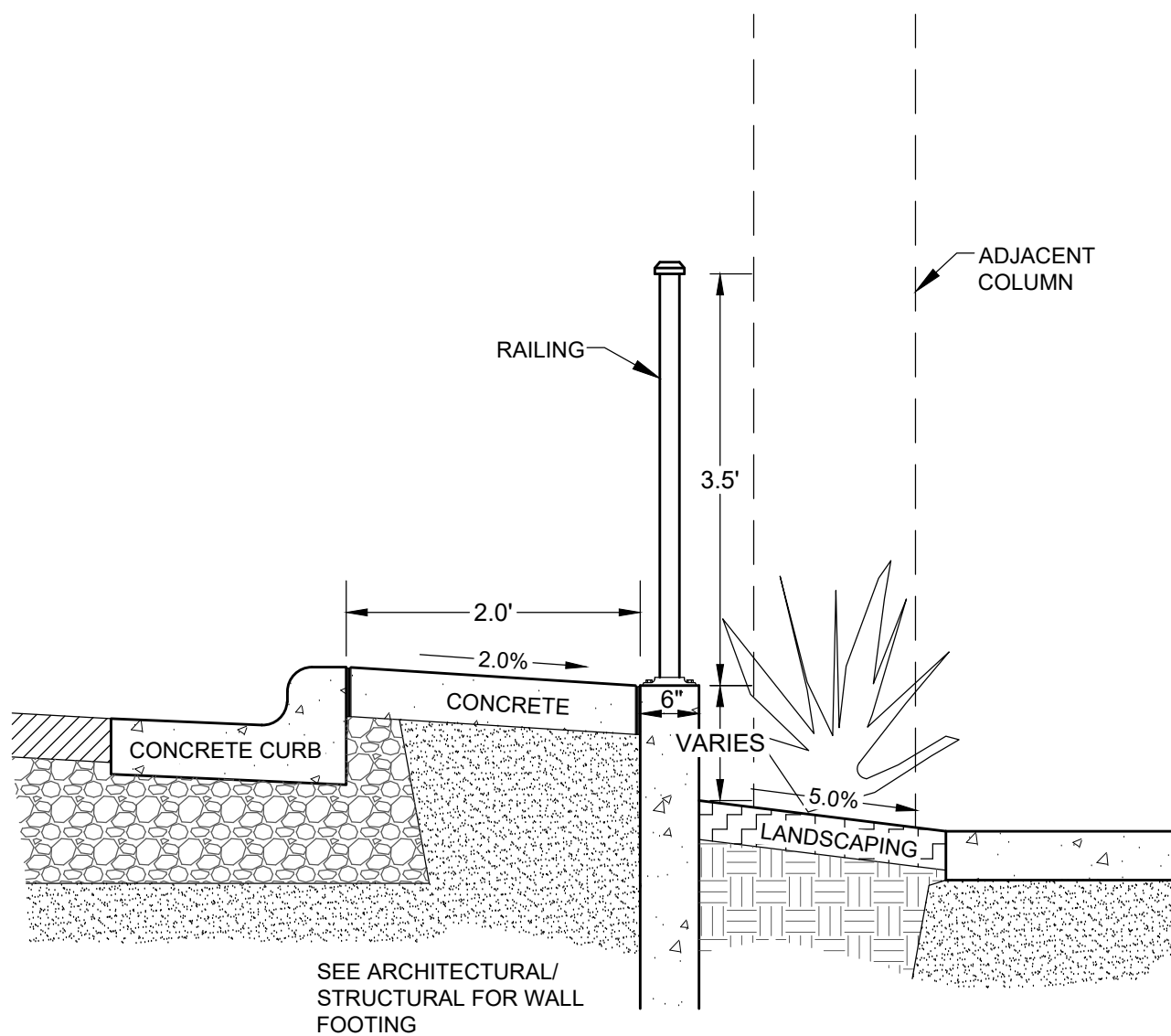


NOTES:
• 2'x4' TRUNCATED DOME PANELS SHALL BE CAST IRON
• THE SURFACE TEXTURE OF THE RAMP (EXCLUDING THE TRUNCATED DOME PANEL) SHALL BE A COARSE BROOMED FINISH, TRANSVERSE TO THE SLOPE OF THE RAMP.

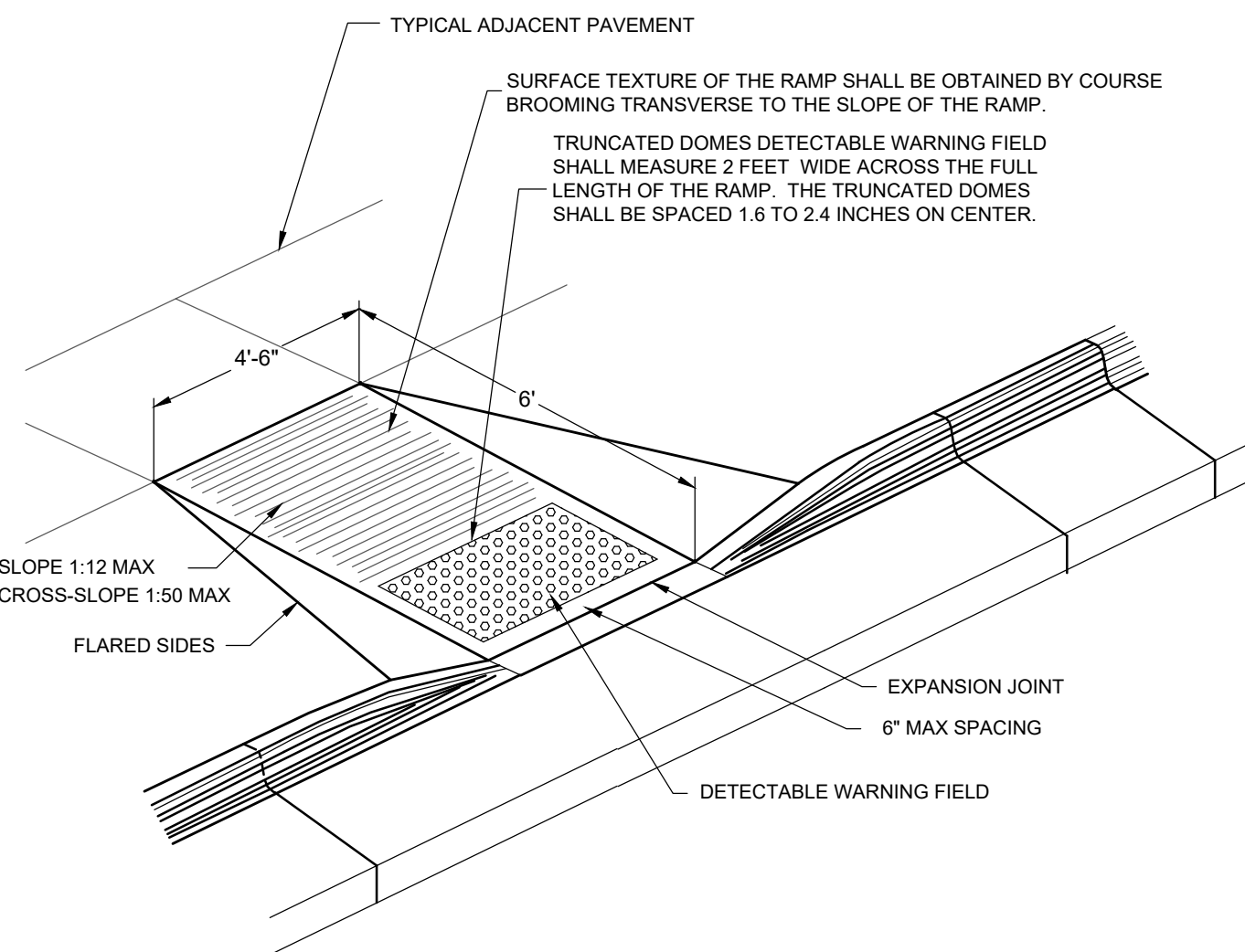
M SIDEWALK RAMP DETAIL
C100 NO SCALE



N DISABLED PARKING SIGN DETAIL
C100 NO SCALE



O CONCRETE WALL WITH RAILING
C100 NO SCALE



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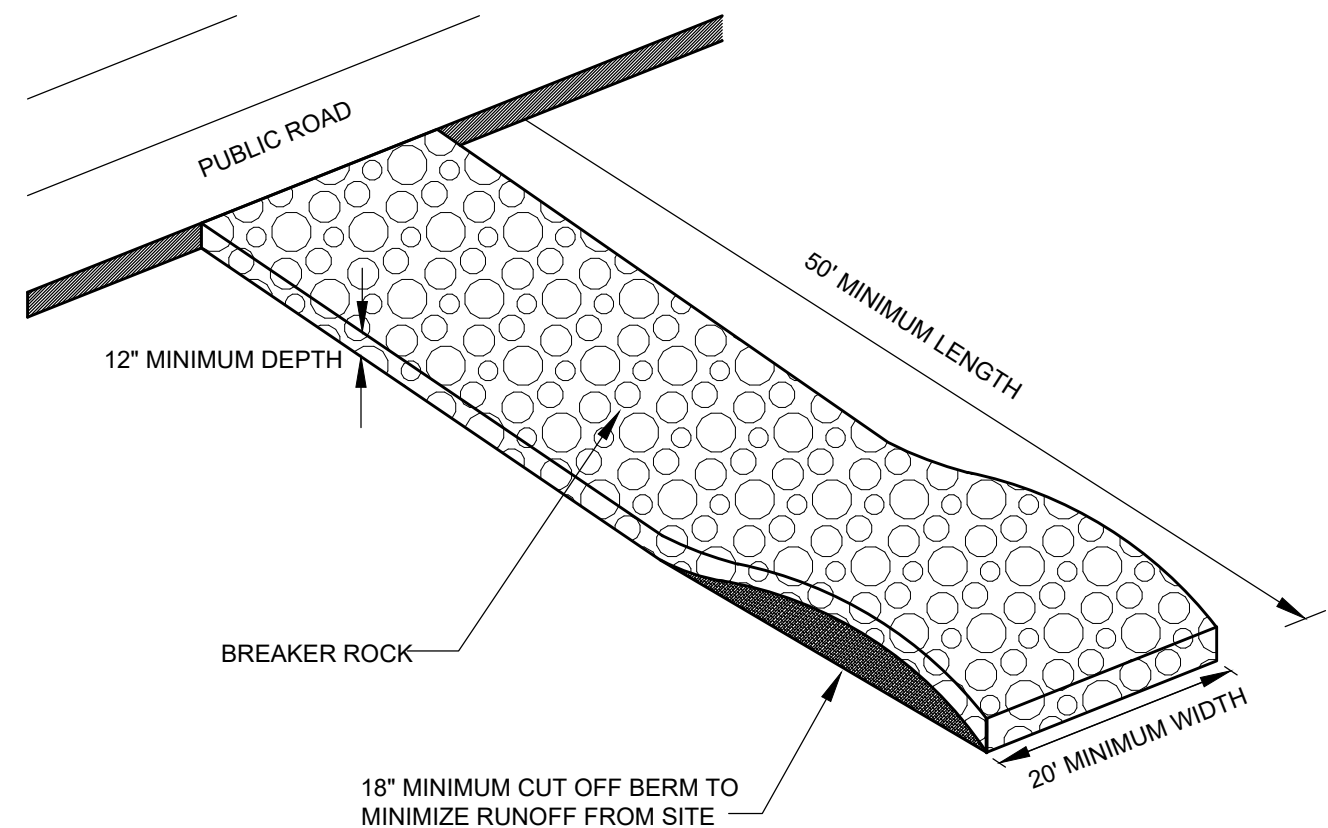
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HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
DETAILS

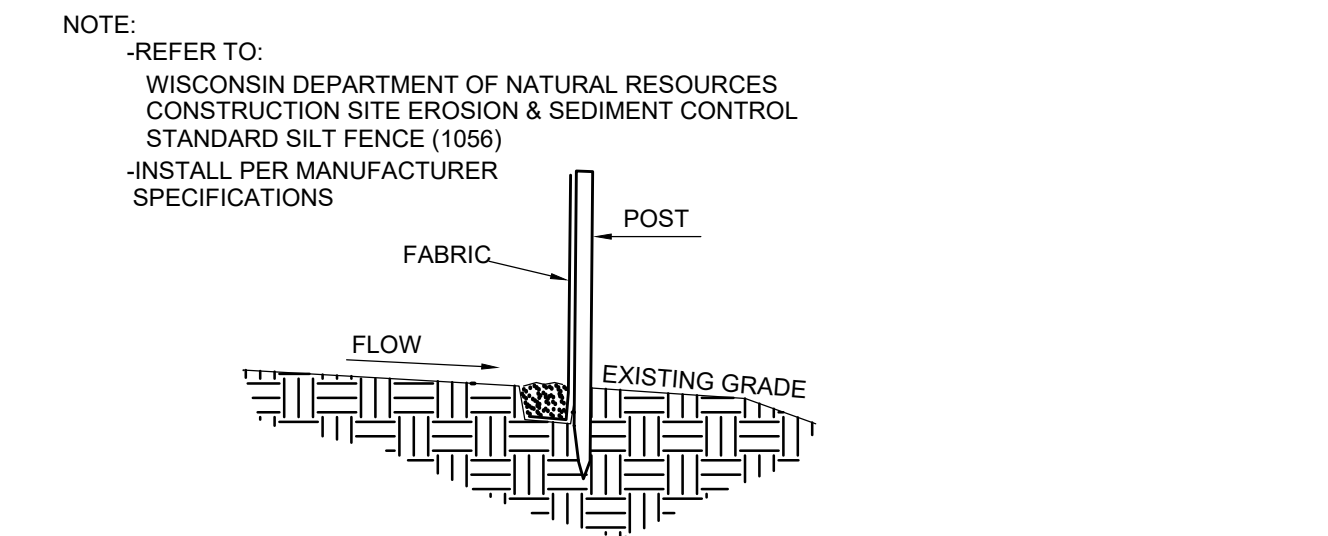
DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2024
SCALE VARIES
CAD FILE 23-109 Gerrard HOM 18.DWG
SHEET

C500

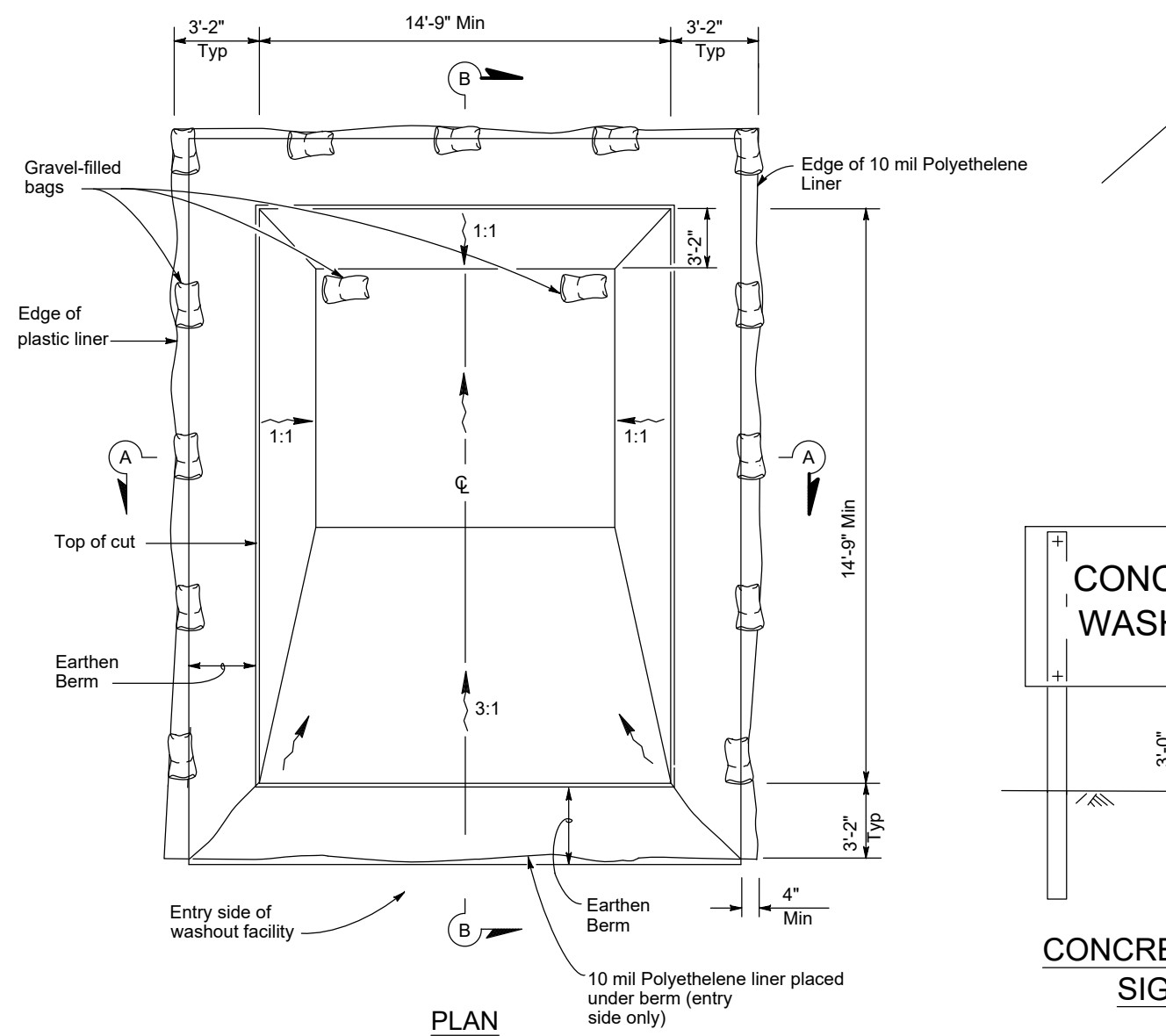
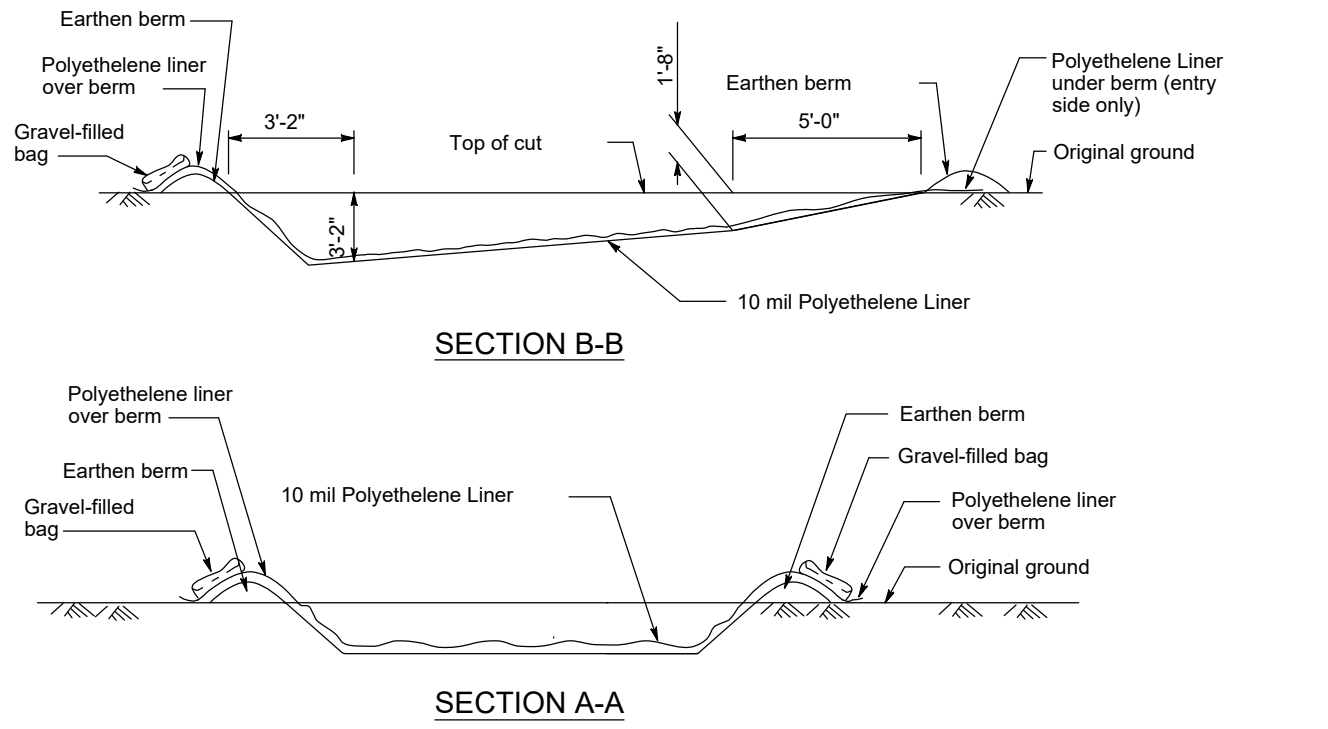


NOTES:
1. PLACE FILTER FABRIC (PROPEX 2002 OR EQUAL) UNDER BREAKER ROCK TO PREVENT MUD MIGRATION THROUGH ROCK.
2. ENTRANCE MUST BE MAINTAINED REGULARLY TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS. FUGITIVE ROCK WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.

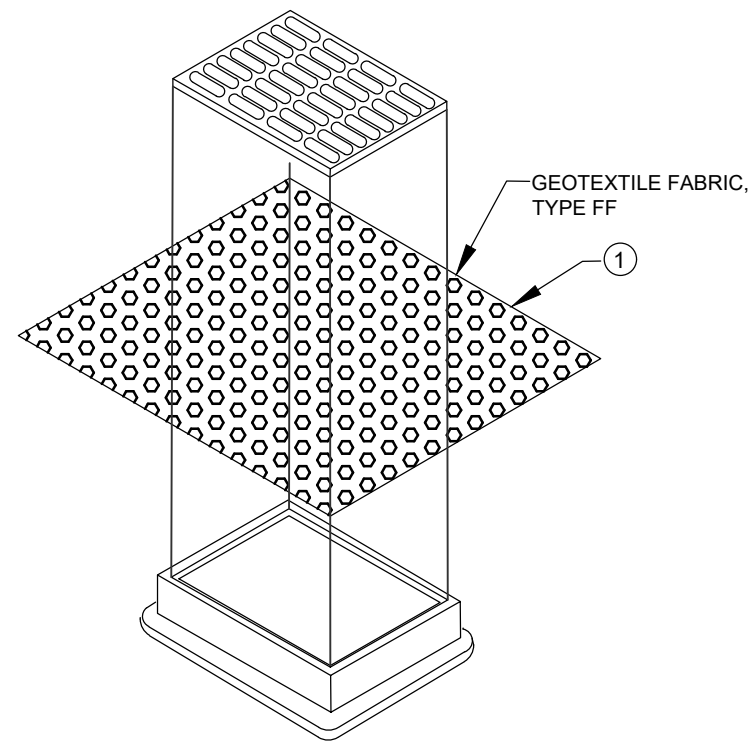
A VEHICLE TRACKING CONTROL
C300 NO SCALE



B TYPICAL SILT FENCE INSTALLATION
C300 NO SCALE

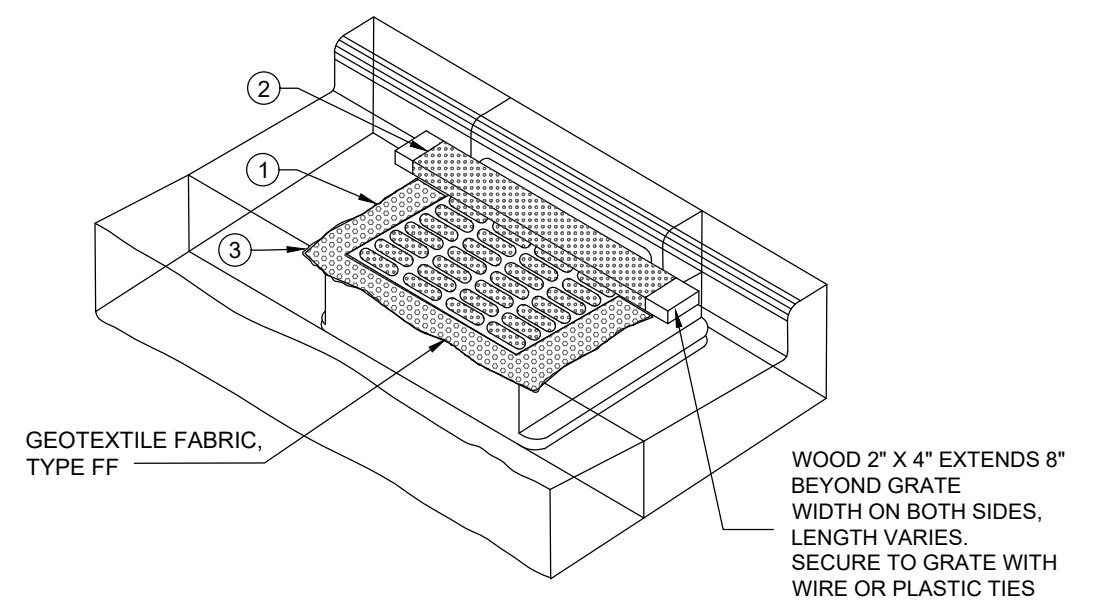


C TEMPORARY CONCRETE WASHOUT FACILITY
C300 NO SCALE



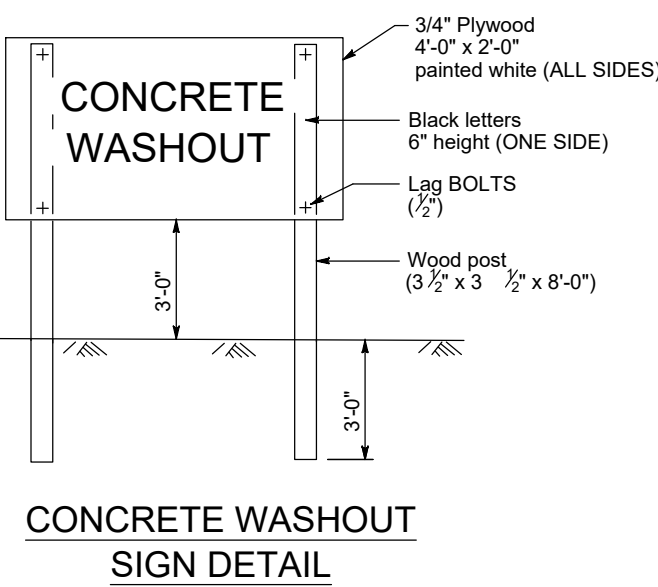
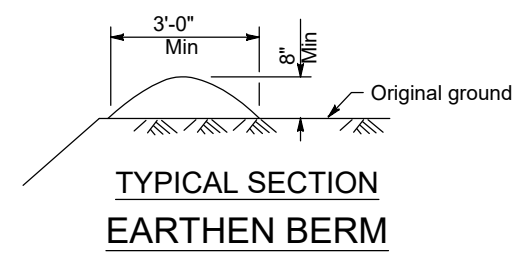
GENERAL NOTES
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WIS. D.O.T.'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

D INLET PROTECTION, TYPE B (WITHOUT CURB BOX)
C300 NO SCALE

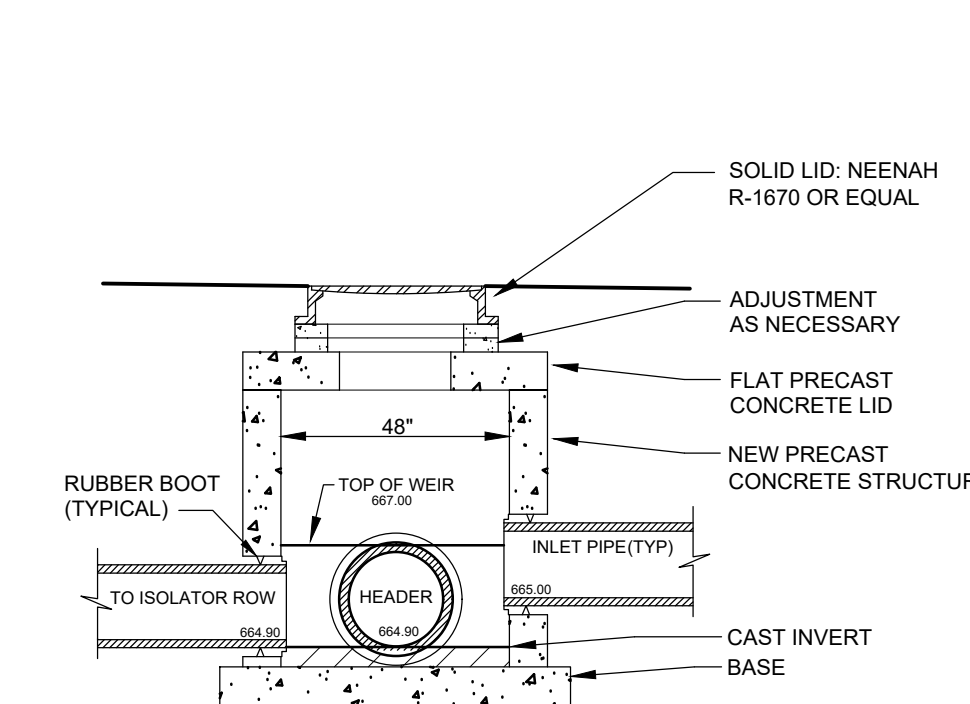


GENERAL NOTES
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WIS. D.O.T.'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX). AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

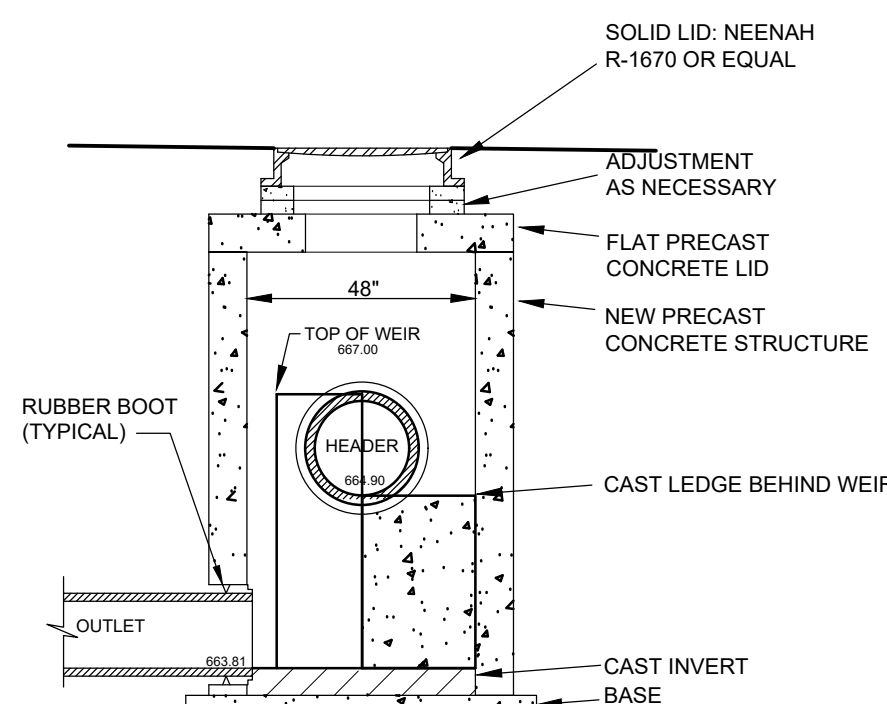
E INLET PROTECTION, TYPE C (WITH CURB BOX)
C300 NO SCALE



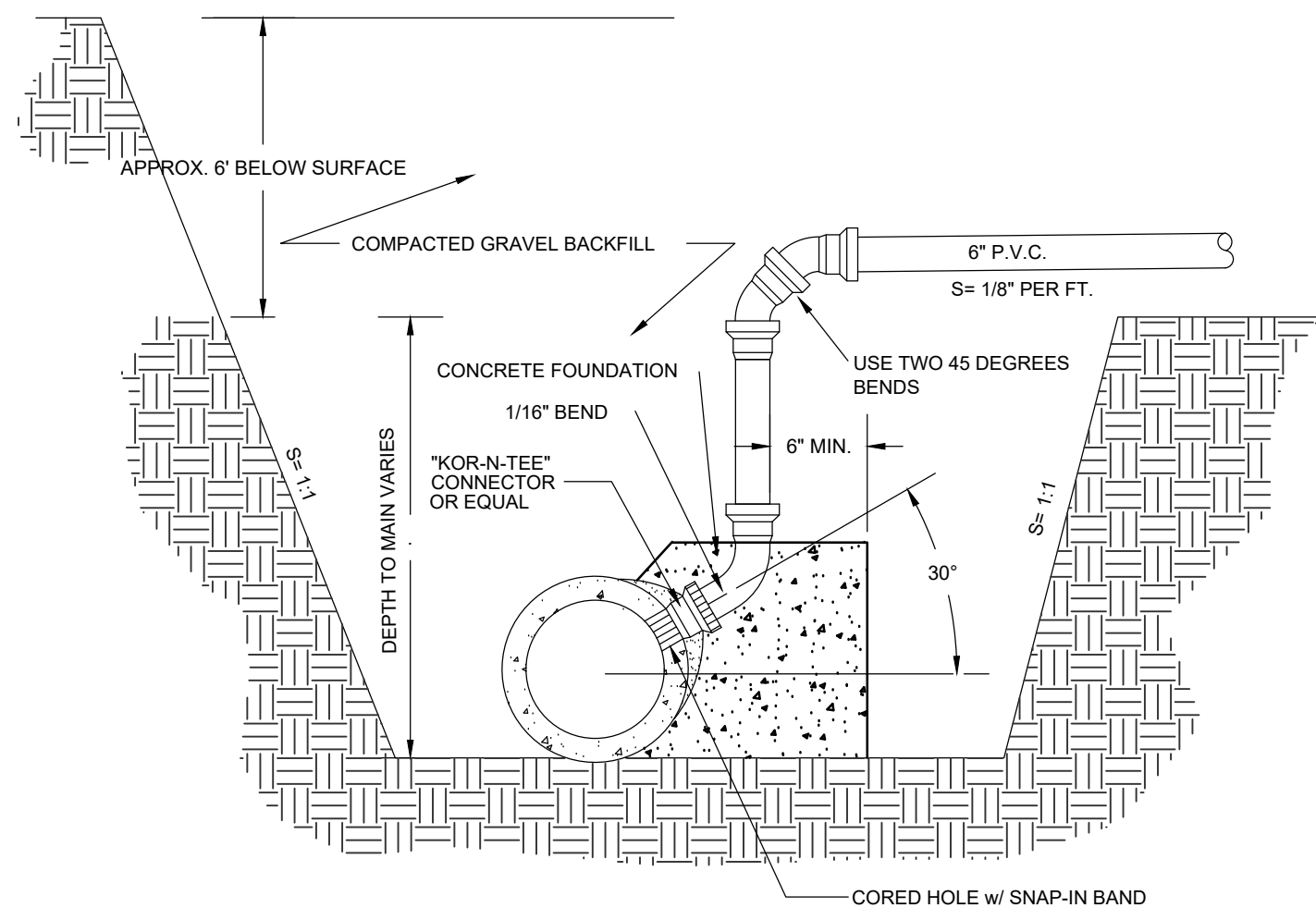
H STORM SEWER INLET 3' X 2'
C400 NO SCALE



I ENTRANCE WEIR MANHOLE (MH #7)
C400 NO SCALE



J DOWNSPOUT DETAIL
C400 No Scale



K RISER FOR SEWER LATERAL CONNECTION TO MAIN (12" OR LARGER)
C400 NO SCALE

I ENTRANCE WEIR MANHOLE (MH #7)
C400 NO SCALE

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PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
DETAILS

DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2025
SCALE VARIES
CAD FILE 23-109 Gerrard HOM 18.DWG
SHEET

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PREPARED FOR:
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HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
STORMWATER CHAMBER SYSTEM

DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2025
SCALE VARIES
CAD FILE 23-109 Gerrard HOM 18.DWG
SHEET

C502A

PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER:	PETE MOREAU 763-392-8275 PETER.MOREAU@ADSPIPE.COM
ADS SALES REP:	BRENT YEAGER 608-212-7742 BRENT.YEAGER@ADSPIPE.COM
PROJECT NO:	S443393



HAVEN ON MAIN

LA CROSSE, WI

SC-310 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-310.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE OR POLYETHYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT/%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2922 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECHNICAL NOTE 6.32 FOR MANIFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS. TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SYSTEM SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTEXTILE PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310 SYSTEM

- STORMTECH SC-310 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-310 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE; AASHTO M43 #3, 357, 4, 467, 5, 56, OR 57.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-310 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-800-821-6710 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

PROPOSED LAYOUT

32	STORMTECH SC-310 CHAMBERS
4	STORMTECH SC-310 END CAPS
12	STONE ABOVE (in)
9	STONE BELOW (in)
40	% STONE VOID
4,567	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED)
3473	SYSTEM AREA (ft²)
293	SYSTEM PERIMETER (ft)

PROPOSED ELEVATIONS

674.15	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)
668.15	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)
667.65	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)
667.65	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)
667.65	MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT)
667.15	TOP OF STONE
666.15	TOP OF SC-310 CHAMBER
664.90	12" ISOLATOR ROW PLUS CONNECTION INVERT
664.90	12" BOTTOM MANIFOLD/CONNECTION INVERT
664.82	BOTTOM OF SC-310 CHAMBER
664.07	UNDERDRAIN INVERT
664.07	BOTTOM OF STONE

NOTES

- THE SITE DESIGN ENGINEER MUST CONSIDER THE EFFECTS OF POSSIBLE SATURATED SOILS ON NEARBY SYSTEMS, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS, SLOPE CONSTRUCTION/STABILITY, OR BUILDINGS/STRUCTURES. NO FOUNDATION LOADS SHALL BE TRANSMITTED TO THE CHAMBERS.



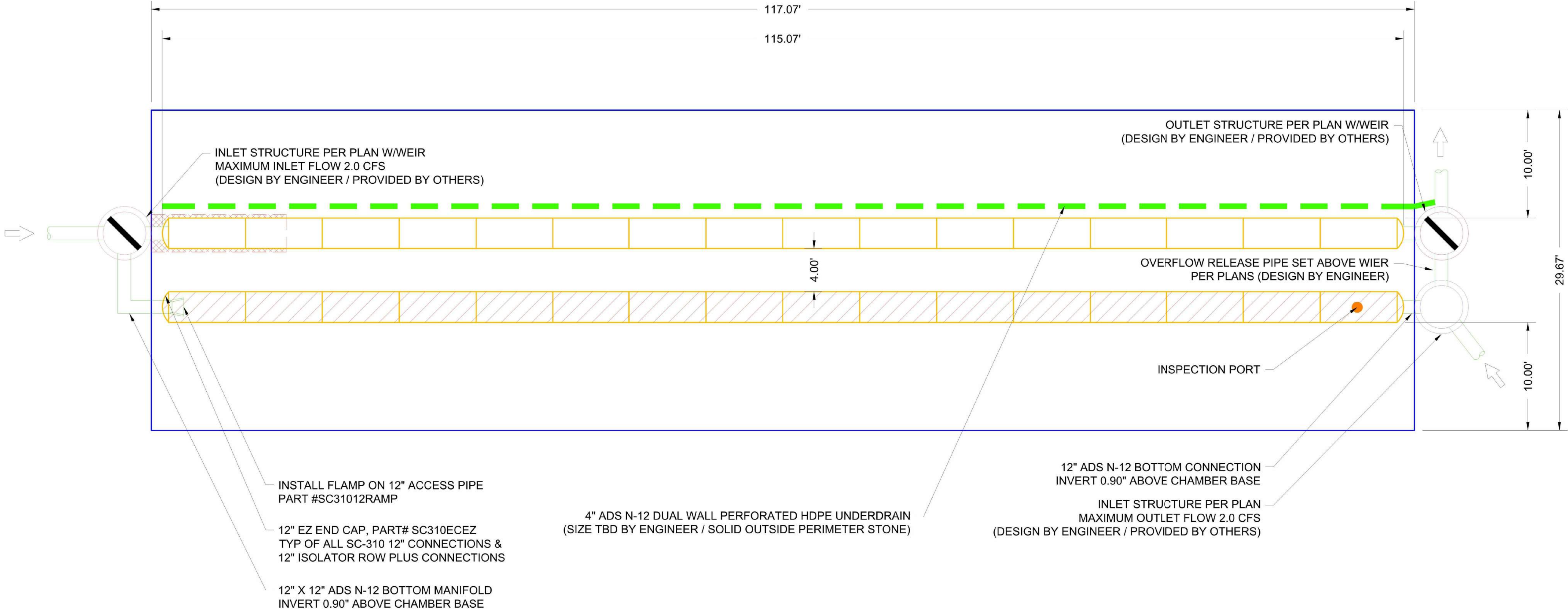
ISOLATOR ROW PLUS (SEE DETAIL)



PLACE MINIMUM 12.5' OF ADSPLUS625 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS



THERMOPLASTIC LINER (SEE TECHNICAL NOTE 6.50 / PROVIDED BY OTHERS / DESIGN BY OTHERS)



ADS 4640 TRUEMAN BLVD HILLIARD, OH 43026		StormTech® Chamber System		1-800-821-6710 WWW.STORMTECH.COM	
		HAVEN ON MAIN LA CROSSE, WI		DATE: 11/20/24	DRAWN: ZYV
2 OF 5		PROJECT #: S443393		CHECKED: XXX	

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PARAGON ASSOCIATES
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632 COPELAND AVENUE · LA CROSSE, WI 54603
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PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
STORMWATER CHAMBER SYSTEM

DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2025
SCALE VARIES
CAD FILE 23-109 Gerrard HOM 18.DWG
SHEET

C502B

REVISIONS	BY

MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	3.25	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT²%. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
6. WHERE THE PLAN REFERENCES "THERMOPLASTIC LINER" THE LINER SHALL BE WISCONSIN DNR STANDARD 1001.A, TABLE D, TYPE A.

LA CROSSE, WI

DATE:	11/20/24	DRAWN:	ZYV
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T ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.

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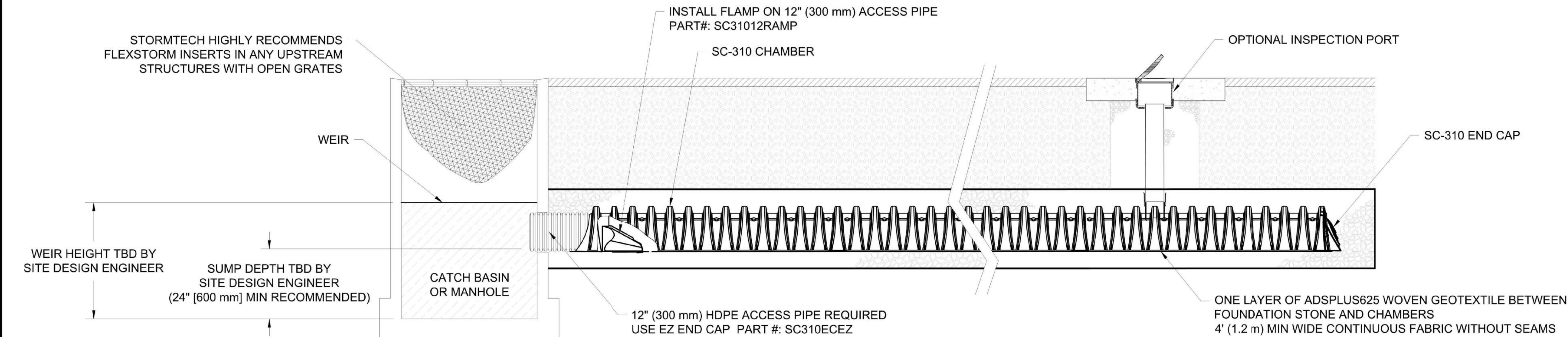
3 SHEET OF 5

PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
STORMWATER CHAMBER SYSTEM

DRAWN
C.G.
PROJECT N
23-109
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04/18/2025
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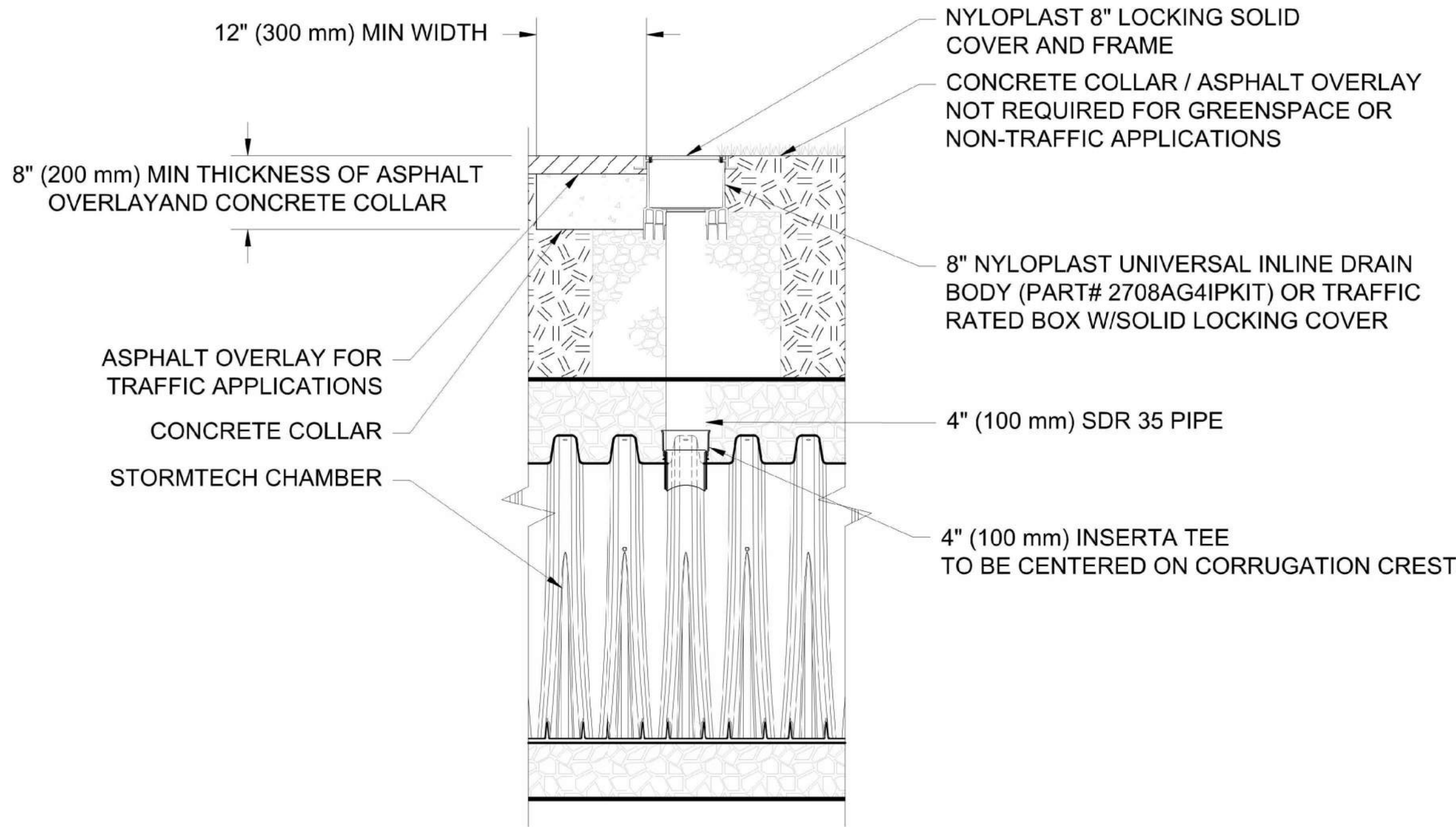
SC-310 ISOLATOR ROW PLUS DETAIL
NTS

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR PLUS ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.



NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



NOTE:
INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

4" PVC INSPECTION PORT DETAIL
(SC SERIES CHAMBER)
NTS

<div></div> <div>4640 TRUEMAN BLVD HILLIARD, OH 43026</div>	<div></div> <div>1-800-821-6710 WWW.STORMTECH.COM</div>	HAVEN ON MAIN				
		LA CROSSE, WI				
		DATE: 11/20/24		DRAWN: ZYV		
		PROJECT #: S443393		CHECKED: XXX		
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4	SHEET OF	5				

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PARAGON ASSOCIATES

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PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
STORMWATER CHAMBER SYSTEM

DRAWN C.G.
PROJECT No 23-109
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SCALE VARIES
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UNDERDRAIN DETAIL
NTS

STORMTECH CHAMBERS

STORMTECH END CAP

OUTLET MANIFOLD

FOUNDATION STONE BENEATH CHAMBERS

ADS GEOSYNTHETICS 601T NON-WOVEN GEOTEXTILE

STORMTECH CHAMBER

SECTION A-A

DUAL WALL PERFORATED HDPE UNDERDRAIN

STORMTECH END CAP

FOUNDATION STONE BENEATH CHAMBERS

ADS GEOSYNTHETICS 601T NON-WOVEN GEOTEXTILE

SECTION B-B

NUMBER AND SIZE OF UNDERDRAINS PER SITE DESIGN ENGINEER
4" (100 mm) TYP FOR SC-310 & SC-160LP SYSTEMS
6" (150 mm) TYP FOR SC-740, SC-800, DC-780, MC-3500, MC-4500 & MC-7200 SYSTEMS

SC-310 TECHNICAL SPECIFICATION
NTS

90.7" (2304 mm) ACTUAL LENGTH

85.4" (2169 mm) INSTALLED LENGTH

BUILD ROW IN THIS DIRECTION

START END

OVERLAP NEXT CHAMBER HERE (OVER SMALL CORRUGATION)

9.9" (251 mm)

15.6" (396 mm)

16.0" (406 mm)

34.0" (864 mm)

NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	34.0" X 16.0" X 85.4"	(864 mm X 406 mm X 2169 mm)
CHAMBER STORAGE	14.7 CUBIC FEET	(0.42 m³)
MINIMUM INSTALLED STORAGE*	31.0 CUBIC FEET	(0.88 m³)
WEIGHT	35.0 lbs.	(16.8 kg)

*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS

PART #	STUB	B	C
SC310EPE06TPC	6" (150 mm)	5.8" (147 mm)	---
SC310EPE06BPC		---	0.5" (13 mm)
SC310EPE08TPC	8" (200 mm)	3.5" (89 mm)	---
SC310EPE08BPC		---	0.6" (15 mm)
SC310EPE10TPC	10" (250 mm)	1.4" (36 mm)	---
SC310EPE10BPC		---	0.7" (18 mm)
SC310ECEZ*	12" (300 mm)	---	0.9" (23 mm)

B

C

ALL STUBS, EXCEPT FOR THE SC310ECEZ ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC310ECEZ THE 12" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" (6 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL; PRE-CORED END CAPS END WITH "PC"

HAVEN ON MAIN

LA CROSSE, WI

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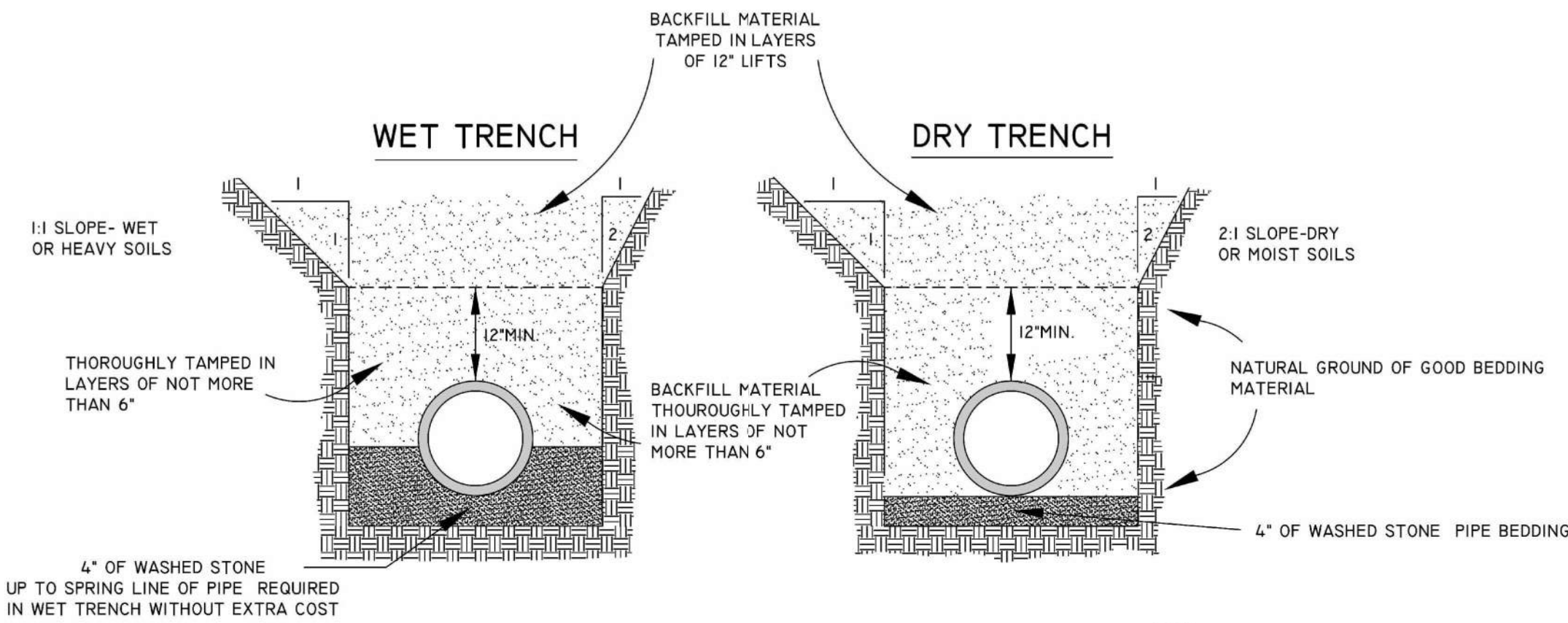
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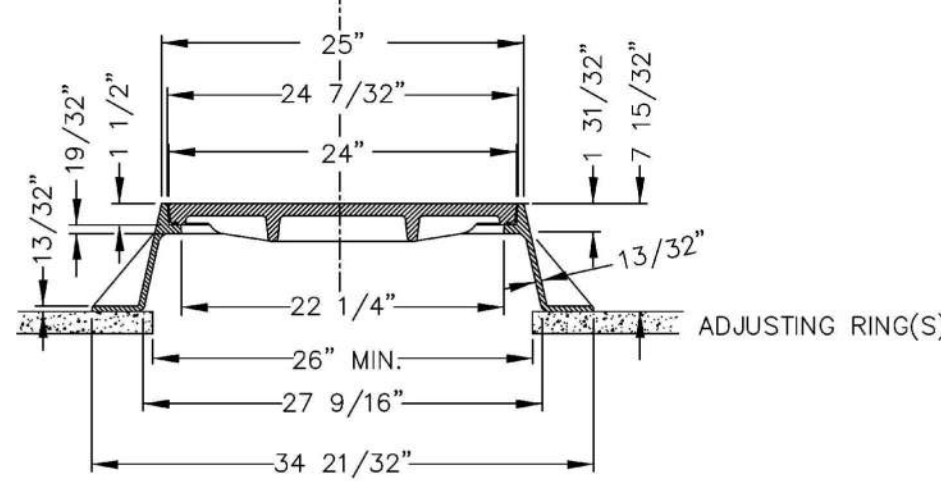
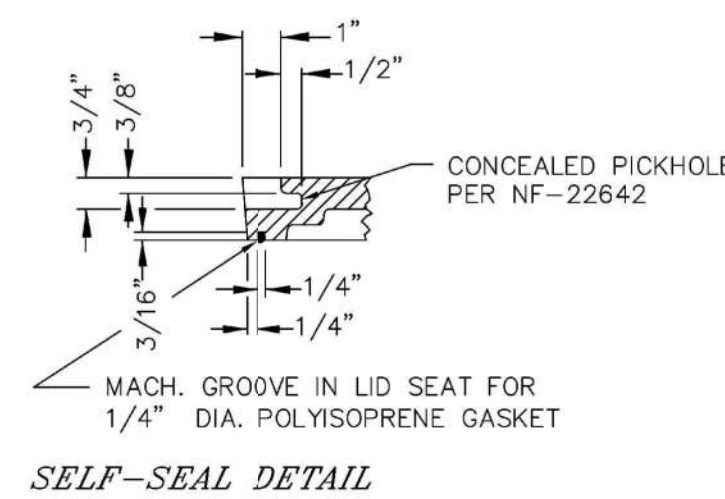
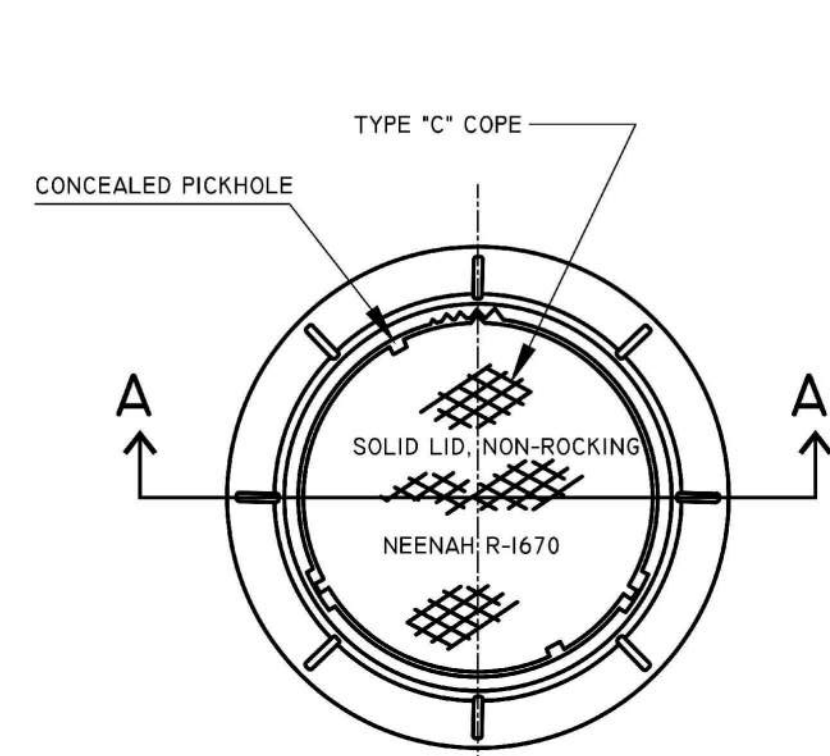
DRAWING
NOT TO SCALE

SEWER PIPE JOINT MATERIALS
CONCRETE PIPE-RUBBER GASKET (ASTM C-443)
PVC PIPE- ELASTOMETRIC GASKET (ASTM D-3212 & F-477)



DETAILS OF SEWER TRENCHES

A
D-2



A - A

DETAIL OF MANHOLE FRAME & COVER

(MINIMUM WEIGHT 324 LBS. TOTAL)
NEENAH R-1670 OR EQUAL

B
D-2

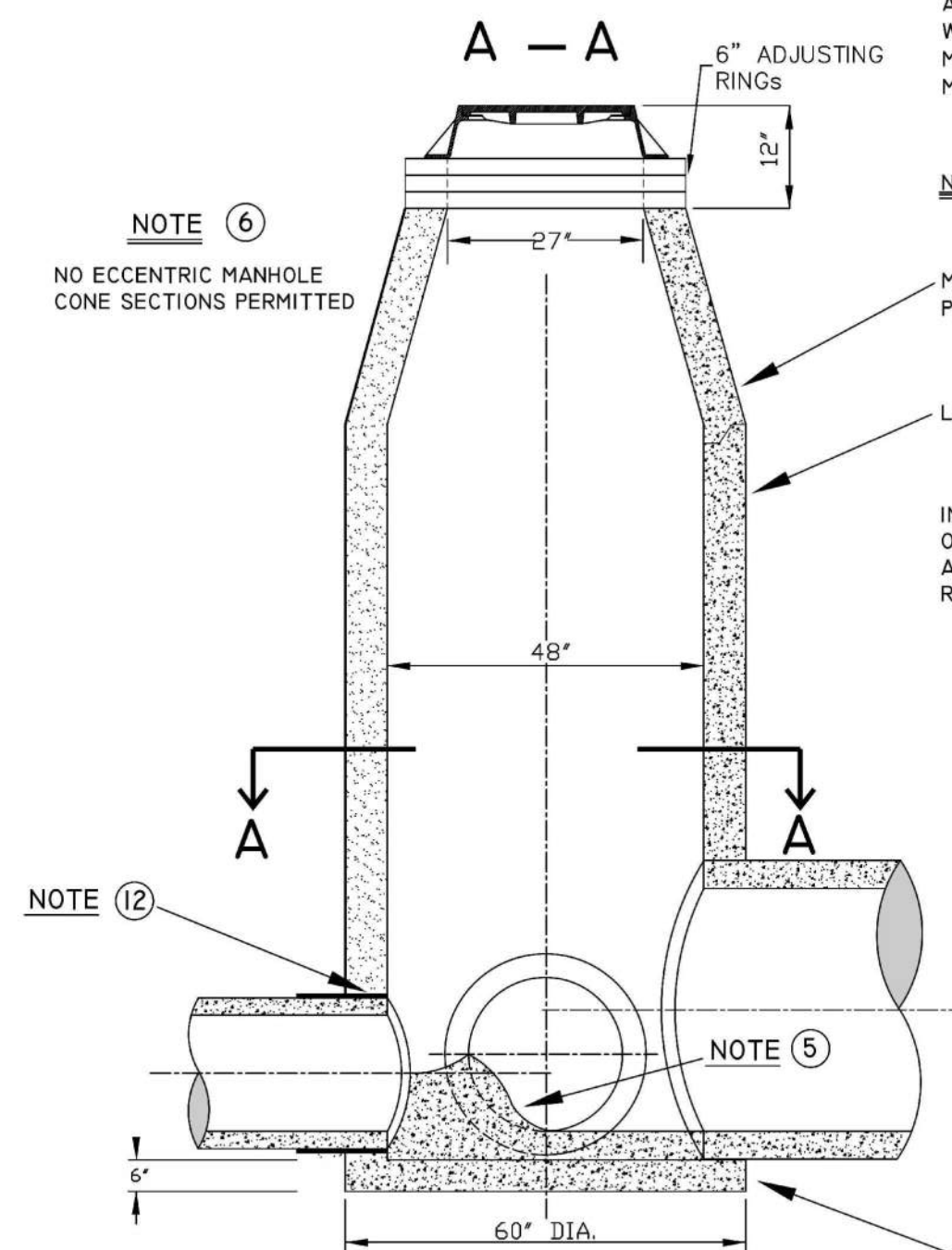
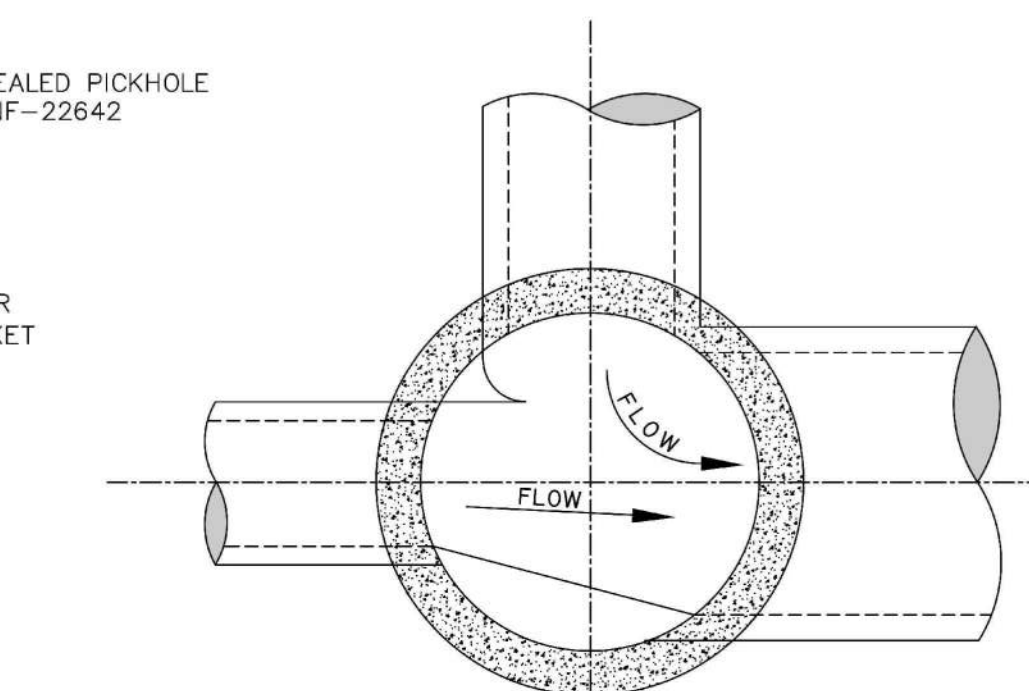
NOTE
OPENING FOR FRAME & COVER SHALL BE CENTERED ON MANHOLES WITH FLAT TOPS.

NOTE (12)

THE CONNECTION OF ALL PVC STORM WATER PIPE, SIZE 6" TO 30", TO PRECAST MANHOLES OR OTHER STRUCTURES SHALL EMPLOY A WATERTIGHT, FLEXIBLE PIPE-TO-MANHOLE CONNECTOR

THE CONNECTOR SHALL CONSIST OF A SINGLE RUBBER GASKET, SHALL BE CONSTRUCTED SOLELY OF SYNTHETIC OR NATURAL RUBBER, SHALL MEET/EXCEED THE REQUIREMENTS OF ASTM C 923, AND SHALL HAVE A MINIMUM TENSILE STRENGTH OF 1600 PSI

THE CONNECTOR SHALL BE THE SOLE ELEMENT RELIED ON TO ASSURE A FLEXIBLE, WATERTIGHT SEAL OF THE PIPE TO THE STRUCTURE



C
D-2

DETAILS OF STANDARD MANHOLE
FOR 30" PIPE OR SMALLER

NOTE (1)
TOP OF MANHOLE TO BE 12" BELOW FINISHED GRADE. ADJUSTMENT TO BE OF PRE-CAST CONCRETE RINGS WITH BUTYL GASKETS (ROPE) BETWEEN RINGS AND MORTAR BETWEEN CASTING & TOP RING ONLY. (3/4" MORTAR MAX.)

NOTE (2)
NO STEPS ARE TO BE INSTALLED IN MANHOLES

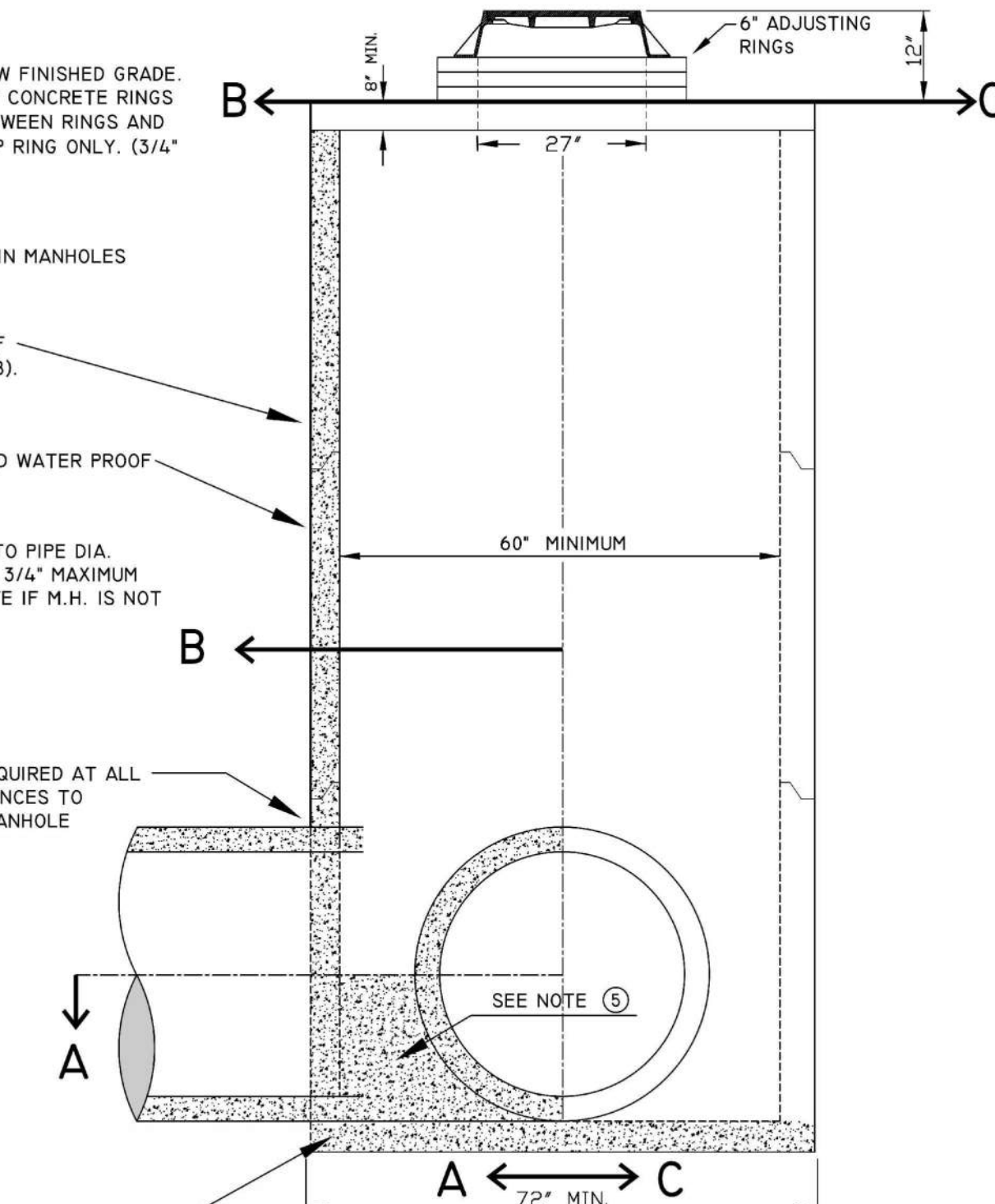
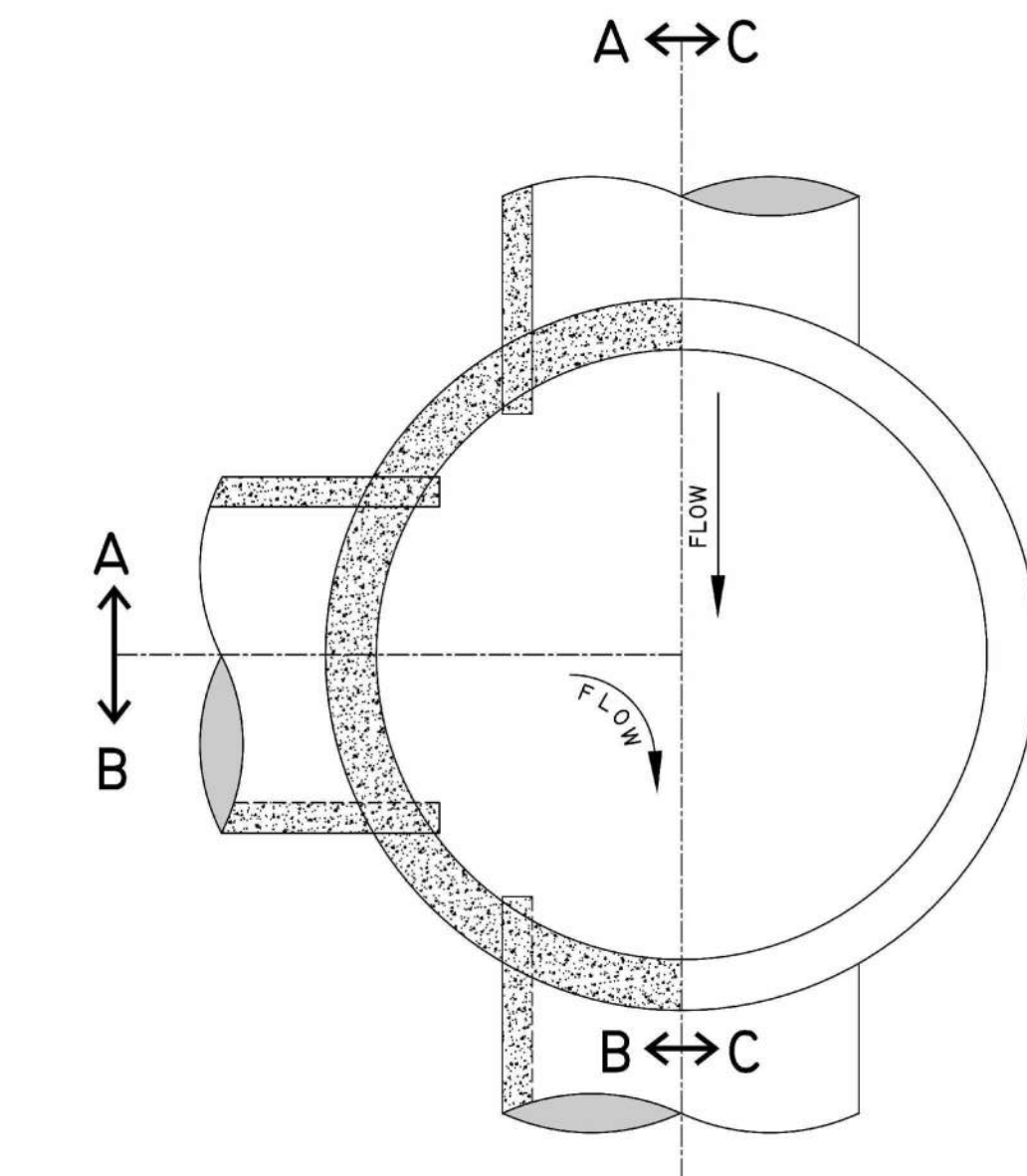
NOTE (3)
MANHOLE TO BE CONSTRUCTED OF PRE-CAST CONCRETE (ASTM C-478).

NOTE (4)
LIFT HOLES TO BE MANUFACTURED WATER PROOF

NOTE (5)
INVERT TO BE FACTORY MOLDED TO PIPE DIA. OR FILLED TO DIRECT FLOW WITH 3/4" MAXIMUM AGGREGATE, 3500 P.S.I. CONCRETE IF M.H. IS NOT REPLACED

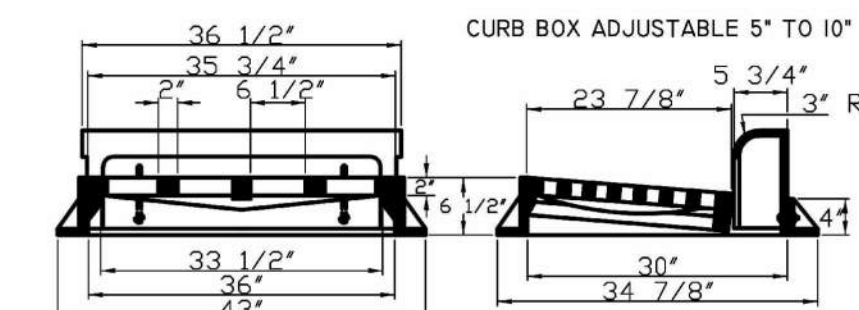
GASKET REQUIRED AT ALL PIPE ENTRANCES TO CLASS W MANHOLE

NOTE (7)
ALL STRUCTURES TO BE MADE WITH PRE-CAST INTEGRAL FOOTING BASE. MIN. 6"

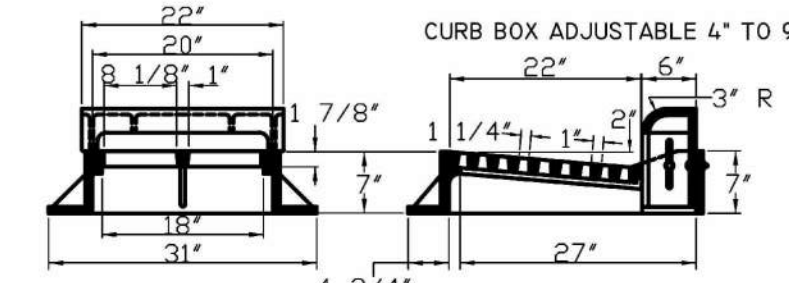


D
D-2

DETAILS OF STANDARD MANHOLE
FOR 36" PIPE OR LARGER



F
D-2

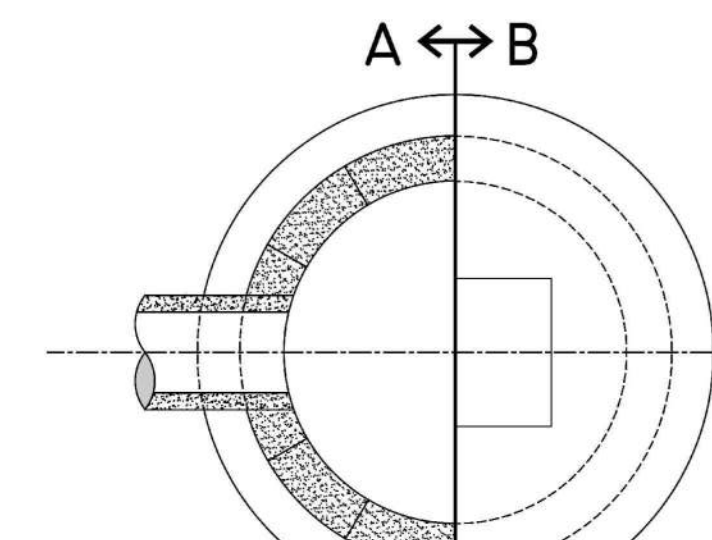


DETAILS OF TYPE "B" CATCH BASIN CASTING
NEENAH R-3246-B1 OR EQUAL
MINIMUM WEIGHT 400 LBS. TOTAL

NOTE:
" DUMP NO WASTE DRAINS TO RIVER"
SHALL BE MOLDED IN ALL CASTINGS FACE

NOTE (8)

RECTANGULAR OPENING IN TOP
"B" TYPE CASTING - 27" X 22"
"A" TYPE CASTING - 36" X 30"



NOTE (9)
TOP OF CATCH BASIN TO BE 12" BELOW CATCH BASIN FLOWLINE GRADE ADJUSTMENT TO BE MADE AS IN NOTE (1)

CONSTRUCTION OF CATCH BASIN TO BE THE SAME AS IN NOTE (3)

E
D-2

DETAIL OF TYPE "A" OR "B" CATCH BASIN

STORM
SEWER DETAILS
D-2

ENGINEERING DEPT.
City of LaCrosse, Wis.

FIELD BOOK	SURVEYOR	BY	DATE
NUMBER	DRAWN	DEVELOPMENT	
	CHECKED	FINAL	
	APPROVED		
PAGE	REVISIONS	M.D.F.	J.M.C.
		J.M.C.	2/2019
		M.D.F.	4/2019
		M.D.F.	12/2019
		J.M.C.	11/2024

SCALE: NONE

(D-2) storm sewer_detail

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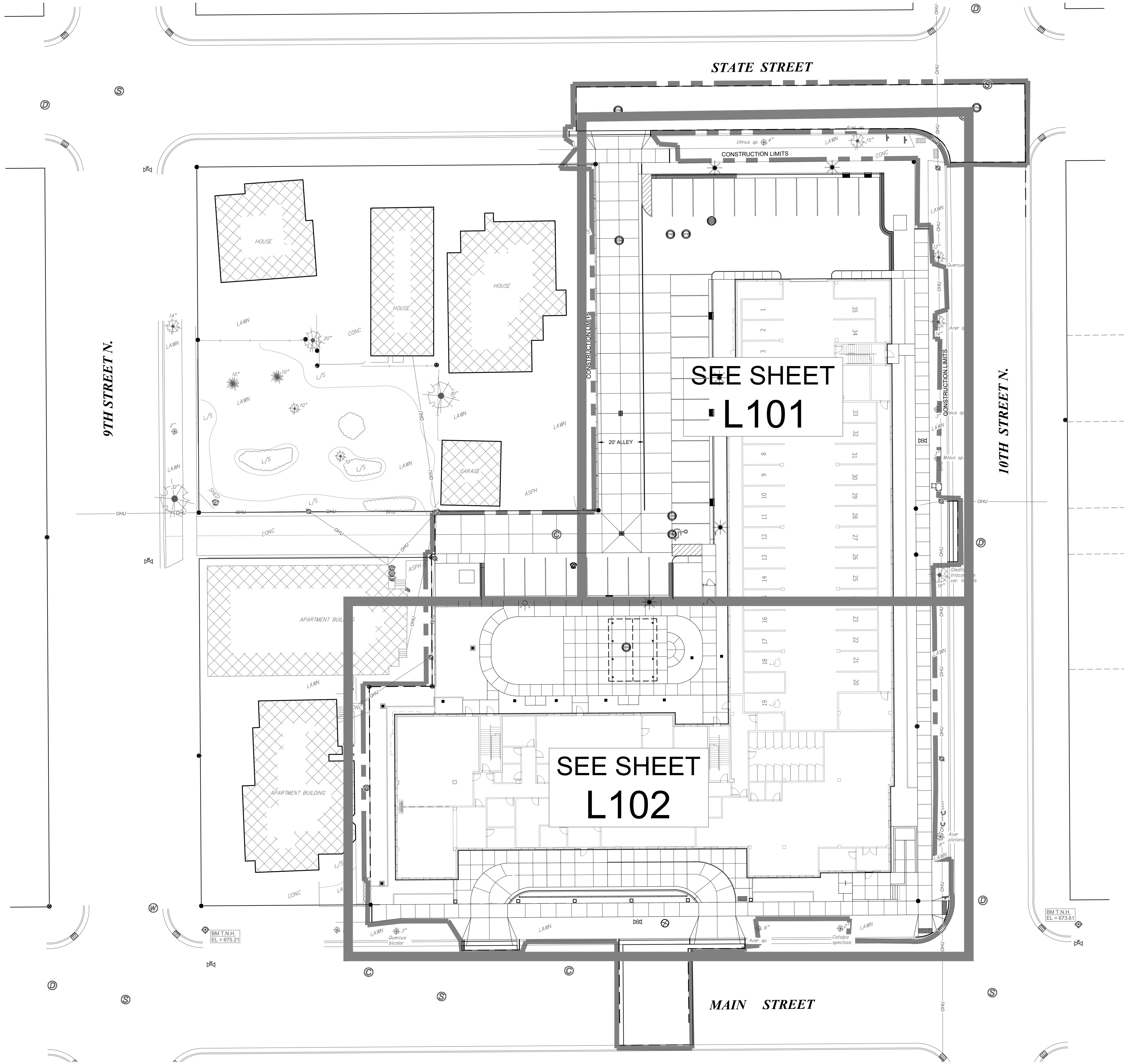
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CIVIL ENGINEERING · LANDSCAPE ARCHITECTURE · SURVEYING
632 COPELAND AVENUE · LA CROSSE, WI 54603
Tel: 608.781.3110 Fax: 608.781.3197 Paragon-Associates

PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
CITY STORM SEWER DETAILS

DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2025
SCALE VARIES
CAD FILE 23-109 Gerrard HOM 18.DWG
SHEET

C503



LANDSCAPE REQUIREMENTS:
 REQUIRED PARKING LOT ISLANDS: 816 SF
 PROPOSED PARKING LOT ISLANDS: 1,492 SF
 REQUIRED LANDSCAPING, GREEN SPACE AND PLANTING ISLANDS: 5,927 SF
 PROPOSED LANDSCAPING, GREEN SPACE AND PLANTING ISLANDS: 9,244 SF
 REQUIRED BOULEVARD TREES: 17
 PROPOSED BOULEVARD TREES: 17
 REQUIRED TREES/SHRUBS (1 TREE, 8 SHRUBS/600 SF LANDSCAPING):
 PROPOSED TREES/SHRUBS:

PARAGON ASSOCIATES
 Environmental Design & Consulting
 CIVIL ENGINEERING · LANDSCAPE ARCHITECTURE · SURVEYING
 632 COPELAND AVENUE · LA CROSSE, WI 54603
 Tel: 608.781.3110 Fax: 608.781.3197 Paragon-Associates.biz

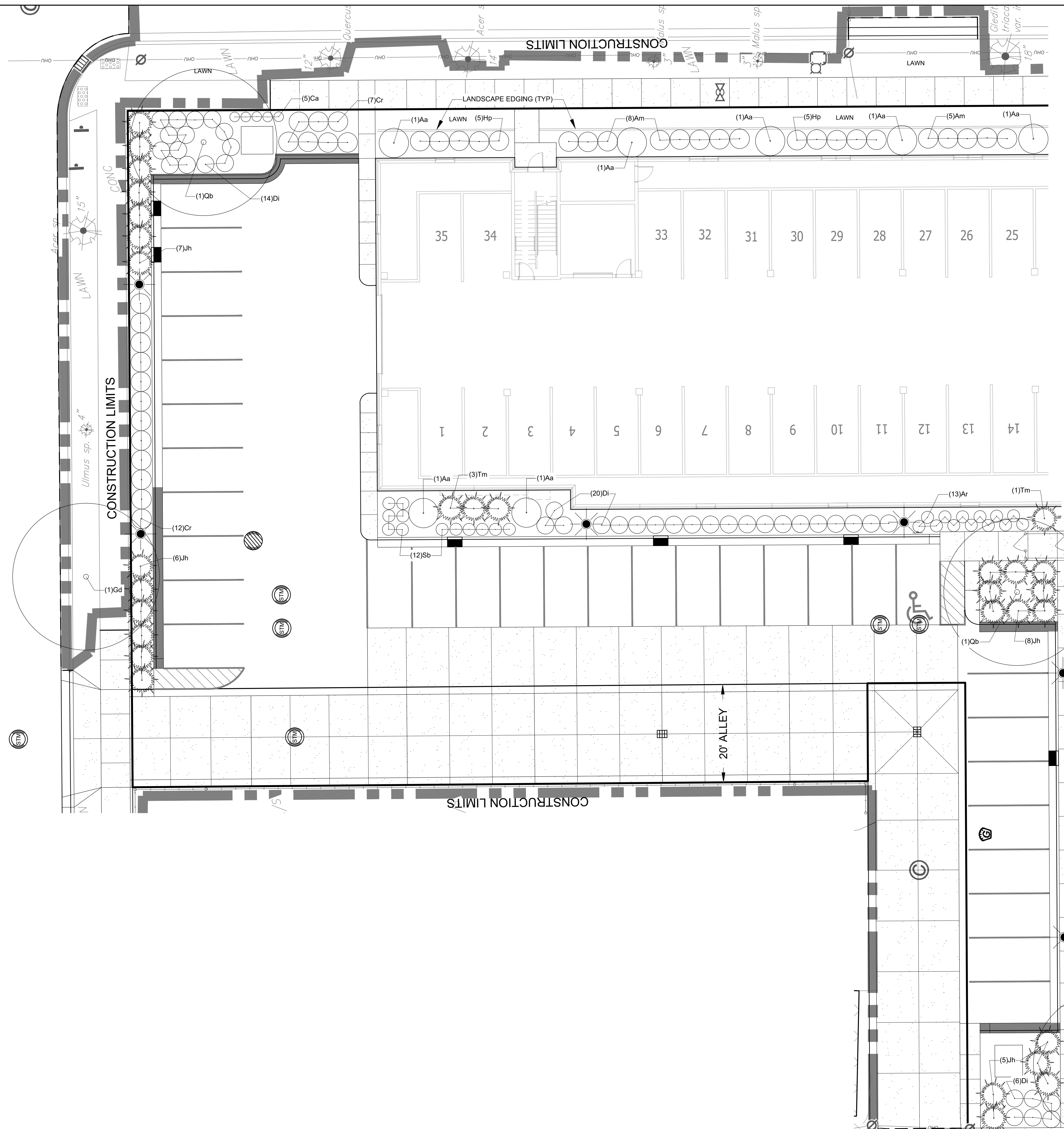
PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
 915 MAIN STREET
 LA CROSSE, WISCONSIN
 LANDSCAPE PLAN KEY

DRAWN
 Q.S.
 PROJECT No
 23-109
 DATE
 04/18/2025
 SCALE
 1"=20'
 CAD FILE
 23-109 Gerrard HOM 18.DWG
 SHEET

L100

REVISIONS	BY



PLAN NOTES:

1. VERIFY UTILITY LOCATION BEFORE BEGINNING ANY WORK.
2. PLANTING BEDS SHALL HAVE 6" TOPSOIL AND 4" OF SHREDDED HARDWOOD BARK MULCH. ALL TREES IN LAWN AREAS SHALL BE MULCHED WITH 4" SHREDDED HARDWOOD BARK MULCH PER PLAN. PROVIDE TUMBLED BELGIAN EDGING AROUND ALL LANDSCAPE BEDS AS PER PLANS.
3. NEW AND DISTURBED LAWN AREAS SHALL BE RESTORED WITH SOD. REFER TO PLAN.
4. MODIFICATIONS TO PLANT SPACING MAY BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY PROPOSED CHANGES TO PLANT MATERIALS OR DESIGN.
5. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK.
6. THE LANDSCAPE ARCHITECT'S ESTIMATED QUANTITIES ARE SHOWN IN THE MATERIAL LIST-SCHEDULE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON THE PLAN AND SHALL RELY ON THE SCHEDULED QUANTITIES AT THEIR OWN RISK. THE CONTRACTOR SHALL INCLUDE IN THE BID ALL PLANTINGS SHOWN ON THE DRAWINGS, WHETHER INCLUDED IN THE SCHEDULE OR NOT.
7. SEE L102 FOR LANDSCAPE DETAILS.

PLANT MATERIAL LIST-SCHEDULE

KEY	BOTANICAL NAME COMMON NAME	SIZE	QUANTITY
Ac	Achillea 'Moonshine' Moonshine Yarrow	2 quart	35
Al	Alchemilla mollis Lady's Mantle	2 quart	17
Aa	Amelanchier alnifolia 'Obelisk' Standing Ovation Serviceberry	5 gal	10
Ag	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Serviceberry	#5 container multi-stem	3
Am	Aronia melanocarpa 'Morton' Iroquois Beauty Black Chokeberry	3 gal	18
Ar	Aronia melanocarpa 'UCONNAM165' Low Scape Mound Black Chokeberry	3 gal	19
Bu	Buxus microphylla 'Wintergreen' Wintergreen Littleleaf Boxwood	3 gal	24
Ca	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	1 gal	32
Cr	Cornus racemosa 'Muszam' Muskungum Dogwood	3 gal	19
Di	Diervilla lonicera Dwarf Bush Honeysuckle	3 gal	40
Gb	Ginkgo biloba 'Autumn Gold' Autumn Gold Ginkgo	2 1/2" cal	2
Gd	Gymnocladus dioica Kentucky Coffeetree	2 1/2" cal	1
Gt	Gleditsia triacanthos var. inermis 'Harve' Northern Acclaim Honeylocust	2 1/2" cal	2
HS	Hemerocallis 'Stella d'Oro' Stella d'Oro Daylily	1 gal	16
Hm	Heuchera micrantha 'Palace Purple' Palace Purple Coral Bells	2 quart	68
Ho	Hosta 'August Moon' August Moon Hosta	1 gal	20
Hp	Hydrangea paniculata 'Bobo' Bobo Hydrangea	3 gal	23
Jh	Juniperus horizontalis 'Hughes' Hughes Juniper	5 gal	26
Ma	Malus 'Adirondack' Adirondack Crabapple	2" cal	2
Mp	Malus 'Prairifire' Prairifire Crabapple	2" cal	1
Na	Narcissus 'Yellow River' or 'Dutch Master' Yellow River or Dutch Master Daffodil	bulb	100
Nf	Nepata x faassenii 'Walkers Low' Walkers Low Catmint	1 gal	19
Pt	Pachysandra terminalis 'Green Carpet' Green Carpet Pachysandra	2 quart	33
Qb	Quercus bicolor Swamp White Oak	2 1/2" cal	2
Ra	Ribes alpinum 'Green Mound' Green Mound Alpine Currant	3 gal	15
Sb	Spirea betulifolia 'Tor' Tor Birchleaf Spirea	3 gal	12
Sh	Sporobolus heterolepis Prairie Dropseed	1 gal	21
Sr	Syringa reticulata 'Ivory Silk' Ivory Silk Japanese Tree Lilac	2" cal	2
Tm	Taxus x media 'Tauntoni' Taunton Spreading Yew	5 gal	23

[illegible]

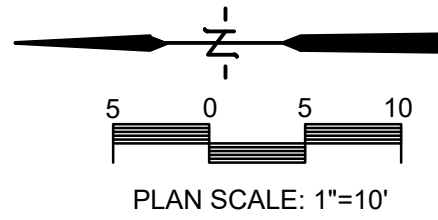
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PREPARED FOR:
GERRARD CORP.

HAVEN ON MAIN
915 MAIN STREET
LA CROSSE, WISCONSIN
LANDSCAPE PLAN

DRAWN C.G.
PROJECT No 23-109
DATE 04/18/2025
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SHEET

L101



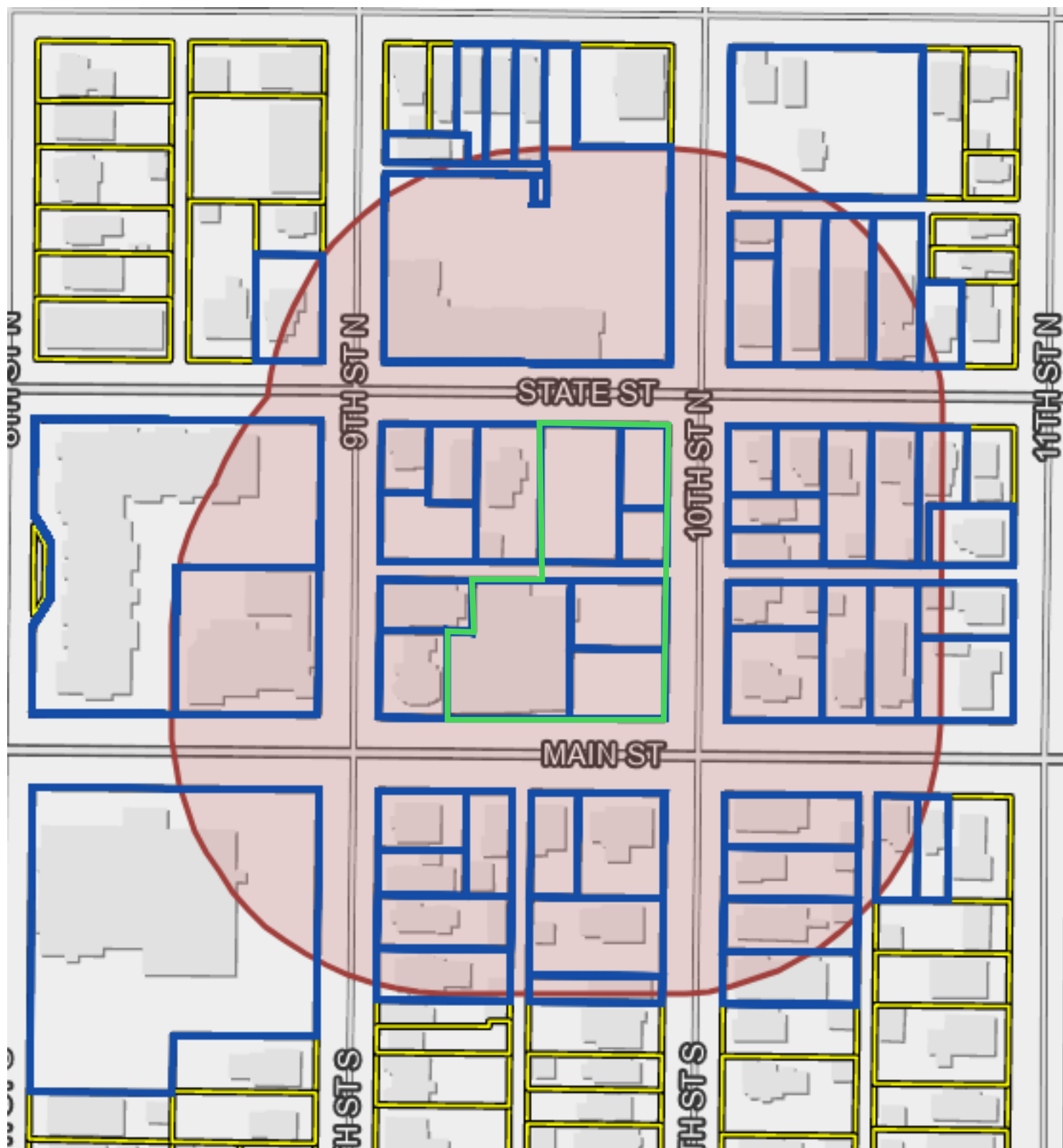
Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-20184-40	ANDREW J MILES, BETTY A CHRISTIANSEN	922 MAIN ST	922 MAIN ST	LA CROSSE WI 54601
17-20204-40	ANGELINE RHODES	914 STATE ST	1326 SCOTT DR	MT PLEASANT WI 53046
17-20187-30	BULLSEYE PROPERTY INVESTMENTS LLC	115 10TH ST S	N4517 MEADOW WOOD RD	ONALASKA WI 54650
		111 9TH ST N		
17-20166-70	CHRIST CHURCH	831 MAIN ST	831 MAIN ST	LA CROSSE WI 54601-4182
17-20182-80	CITY OF LACROSSE	800 MAIN ST	400 LA CROSSE ST	LA CROSSE WI 54601
17-20185-80	CMKJ PROPERTIES LLC	117, 119, 121 9TH ST S	S1411 BUELLS VALLEY RD	MONDOVI WI 54755
17-20191-100	CMKJ PROPERTIES LLC	1015 MAIN ST	S1411 BUELLS VALLEY RD	MONDOVI WI 54755
17-20204-70	COULEECAP INC	118 9TH ST N	201 MELBY ST	WESTBY WI 54667
		1005 MAIN ST		
17-20191-80	CURT A FOSSUM	102 10TH ST N	324 6TH AVE N	ONALASKA WI 54650
17-20192-10	CURT A FOSSUM	1022 STATE ST	324 6TH AVE N	ONALASKA WI 54650
		102 & 104 9TH ST N		
17-20204-80	EKIM INVESTMENTS LLC	901, 903, 905 MAIN ST	324 10TH ST S	LA CROSSE WI 54601-4733
17-20204-90	EKIM INVESTMENTS LLC	108, 110, 112, 114, 116 9TH ST N	324 10TH ST S	LA CROSSE WI 54601-4733
17-20204-50	FBRIS INVESTMENTS LLC	908 STATE ST	908 STATE ST	LA CROSSE WI 54601
17-20193-60	G AND W VINE STREET LLC	1004 & 1010 VINE ST	100 6TH ST N STE A	LA CROSSE WI 54601
	GLASER FINANCIAL GRP INC			
17-20166-50	C/O STUART CORP	801 MAIN ST	1000 W 80TH ST	BLOOMINGTON MN 55420
17-20203-50	GOLIATH COMPANIES LLC	908 & 910 VINE ST	PO BOX 417	HOLMEN WI 54636-0417
17-20166-140	GOLIATH MANAGEMENT LLC	827 & 829 STATE ST	PO BOX 417	HOLMEN WI 54636
17-20203-40	GOLIATH MANAGEMENT LLC	912 VINE ST	PO BOX 417	HOLMEN WI 54636
17-20203-80	GOLIATH MANAGEMENT LLC	220 9TH ST N	PO BOX 417	HOLMEN WI 54636
		1002 STATE ST		
17-20192-70	H & H HOUSING ENTERPRISES LLC	128 & 130 10TH ST N	PO BOX 417	HOLMEN WI 54636-0417
17-20204-60	H&H HOUSING ENTERPRISES LLC	128 9TH ST N	PO BOX 417	HOLMEN WI 54636-0417
17-20185-100	KARBIN PROPERTIES LLC	107 & 109 9TH ST S	N2186 BRIARWOOD AVE	LA CROSSE WI 54601
17-20192-80	KEVIN M BROWN	212 10TH ST N	2835 31ST ST S	LA CROSSE WI 54601-7732
17-20192-90	KEVIN M BROWN	200, 202, 204, 206 10TH ST N	2835 31ST ST S	LA CROSSE WI 54601-7732
17-20187-40	LACROSSE RENTALS LLC	107 10TH ST S	N2039 WEDGEWOOD DR E	LA CROSSE WI 54601
		1004 & 1006 MAIN ST		
17-20187-50	LP & ASSOCIATES LLC	101 & 103 10TH ST S	PO BOX 1402	LA CROSSE WI 54602-1402
17-20191-70	LUKE HAROLD PRETASKY	112 & 114 10TH ST N	N1025 LAUTERBACH RD	LA CROSSE WI 54601
17-20185-110	NEIGHBORHOOD RENTALS LLC	101 9TH ST S	440 BARRANCA AVE N #8508	COVINA CA 91723
17-20184-50	NRE PROPERTIES LLC	926 MAIN ST	1400 PINE ST	LA CROSSE WI 54601
17-20192-130	OFFCAMPUSLACROSSE LLC	1023 STATE ST	PO BOX 417	HOLMEN WI 54636-0417
17-20192-30	OFFCAMPUSLACROSSE LLC	1012 & 1014 STATE ST	PO BOX 417	HOLMEN WI 54636-0417
17-20192-40	OFFCAMPUSLACROSSE LLC	1006 & 1008 STATE ST	PO BOX 417	HOLMEN WI 54636-0417
		210 9TH ST N		
17-20202-121	POINTE WEST INVESTMENTS LLC	901 STATE ST	901 STATE ST	LA CROSSE WI 54601
17-20203-130	POINTE WEST INVESTMENTS LLC	908 VINE ST	901 STATE ST	LA CROSSE WI 54601
17-20191-140	PORT ROYAL PROPERTIES LLC	119 & 121 11TH ST N	PO BOX 2896	LA CROSSE WI 54602-2896
17-20192-20	PORT ROYAL PROPERTIES LLC	1018 & 1020 STATE ST	PO BOX 2896	LA CROSSE WI 54602-2896
17-20192-60	PORT ROYAL PROPERTIES LLC	120 & 122 10TH ST N	PO BOX 2896	LA CROSSE WI 54602-2896
17-20191-110	RANDY L VANROOYEN, KELLY M NOWICKI-VANROOYEN	1025 MAIN ST	1025 MAIN ST	LA CROSSE WI 54601
17-20187-20	RIVERLAND INVESTMENTS LLC	119 10TH ST S	1231 EAST AVE N	ONALASKA WI 54650
17-20186-10	SOUTH PROPERTIES LLC	1016 MAIN ST	3215 GEORGE ST #3	LA CROSSE WI 54603
17-20186-30	SOUTH PROPERTIES LLC	1020 MAIN ST	3215 GEORGE ST #3	LA CROSSE WI 54603
17-20192-50	STEVEN J Hysel	124 & 126 10TH ST N	N1320 LESKE RD	LA CROSSE WI 54601
17-20185-90	THE CAMPUS INN INC	111 9TH ST S	3815 MORMON COULEE RD STE 100	LA CROSSE WI 54601
17-20192-100	THREE RIVERS RENTALS LLC	1009 STATE ST	109 14TH ST S	LA CROSSE WI 54601
17-20192-110	THREE RIVERS RENTALS LLC	1013 STATE ST	109 14TH ST S	LA CROSSE WI 54601
17-20192-120	THREE RIVERS RENTALS LLC	1019 STATE ST	109 14TH ST S	LA CROSSE WI 54601
17-20191-90	TODD T MATHISON, THERESA L MATHISON	1011 MAIN ST	1011 MAIN ST	LA CROSSE WI 54601-4132
17-20184-70	VINE AND 10 LLC	118 & 120 10TH ST S	1205 LAUDERDALE PL	ONALASKA WI 54650
17-20203-30	VINE AND 10 LLC	916 & 918 VINE ST	1205 LAUDERDALE PL	ONALASKA WI 54650
17-20185-120	WESTERN RESOURCES LLC	908, 910, 912 MAIN ST	8297 GRAFTON AVE S	COTTAGE GROVE MN 55016
17-20191-120	WOLF FAMILY TRUST	115 11TH ST N	115 11TH ST N	LA CROSSE WI 54601
17-20184-60	ZAKERY SCHMIDT	106, 108, 110, 112 10TH ST S	110 10TH ST S	LA CROSSE WI 54601

Properties within 300 feet of the Haven on Main project (922 & 928 State St, 915 & 927 Main St, 115 & 119 10th St N).

Applicant:

17-20204-10	GERRARD DEVELOPMENT LLC	928 STATE ST	100 6TH ST N	LA CROSSE WI 54601
17-20204-100	GERRARD DEVELOPMENT LLC	915 MAIN ST	100 6TH ST N	LA CROSSE WI 54601
17-20204-110	GERRARD DEVELOPMENT LLC	115 10TH ST N	100 6TH ST N	LA CROSSE WI 54601
17-20204-120	GERRARD DEVELOPMENT LLC	927 MAIN ST	100 6TH ST N	LA CROSSE WI 54601
17-20204-20	GERRARD DEVELOPMENT LLC	119 10TH ST N	100 6TH ST N	LA CROSSE WI 54601
17-20204-30	GERRARD DEVELOPMENT LLC	922 STATE ST	100 6TH ST N	LA CROSSE WI 54601

Properties within 300 feet of project area (922 & 928 State St, 915 & 927 Main St, 115 & 119 10th St N).



**NOTICE OF HEARING ON
AMENDMENT TO ZONING RESTRICTION**

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Traditional Neighborhood Development District - General to the Traditional Neighborhood Development District - Specific, allowing for the construction of a mixed-use development with main floor being parking and commercial and upper floors being residential apartments at 922 & 928 State St., 915 & 927 Main St., and 115 & 119 10th St. N.

Property is presently: vacant land

Property is proposed to be: mixed-use development with main floor being parking and commercial and upper floors being residential apartments

Rezoning is necessary: because of the proposed mixed-use, density, and parking requirements

*Tax Parcel 17-20204-30; 922 State St.
Tax Parcel 17-20204-10; 928 State St.
Tax Parcel 17-20204-100; 915 Main St.
Tax Parcel 17-20204-120; 927 Main St.
Tax Parcel 17-20204-110; 115 10th St. N
Tax Parcel 17-20204-20; 119 10th St. N*

The City Plan Commission will meet to consider such application on **Monday, June 2, 2025, at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

A public hearing before the Judiciary & Administration Committee will be held on **Tuesday, June 3, 2025, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the **Common Council** on **Thursday, June 12, 2025, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The petition and/or maps relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 25-0533).

Dated this 6th day of May, 2025.

Nikki M. Elsen, City Clerk
City of La Crosse

Published: May 20 & 27, 2025
One (1) Affidavit

CITY CLERK

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LA CROSSE WI 54601

RETURN SERVICE REQUESTED



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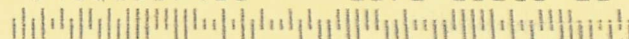
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313

Agenda Item 25-0533 (Andrea Trane)

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Traditional Neighborhood Development District - General to the Traditional Neighborhood Development District - Specific, allowing for the construction of a mixed-use development with main floor being parking and commercial and upper floors being residential apartments at 922 & 928 State St., 915 & 927 Main St., and 115 & 119 10th St. N.

General Location

Parcels on the 900 block of Main and State Streets, Council District 6, Downtown Neighborhood Association

Background Information

The proposed mixed-use development, the Haven on Main, would include parking and commercial on the first floor and residential apartments above on a 1.32-acre site. It would include 34 one-bedroom, 30 two-bedroom and 6 three-bedroom units for a total of 70 units and 94 bedrooms. There would be 68 parking stalls on site. Couleecap would relocate their office to the first floor of this building. Given the accessibility to public transit and bicycle and pedestrian facilities, the developer plans for being able to park approximately 50 bikes both inside and outside with provisions for tricycle style bikes as well. The development will offer inclusive, community-integrated housing options for adults with disabilities and the other half of the building tenants will be a general population of working adults, seniors, and other members of the community. The surrounding area includes a church, public library, single family and multi-family residential. Traditional Neighborhood Development remains the appropriate zoning for this development.

Since the TND-General approval occurred, there have been two legislation changes that impact this development. The first is the removal of the parking requirement. The second is the revision of the TND zoning which added density specifics to the ordinance. In this case, the density that was presented with TND-General is now not allowable under TND-Specific. Considering the current site plan and number of units proposed, 62 units would be allowed and they are requesting 70. It was determined that they would need to comply with the density requirements or request a variance to the Board of Zoning Appeals, which has been submitted.

In the Commercial Design Standards Handbook, section N(6) Colors and designs (a) states: Since the selection of building colors has a significant aesthetic and visual impact upon the public and neighboring properties, as well as an impact on the energy use and comfort of customers and tenants, designs and color shall be selected in general harmony with the overall existing neighborhood. The developers have stated they intentionally used the color scheme to honor similar buildings in downtown communities and used a color palette of existing buildings in this neighborhood. After additional review, staff do not feel a variance is needed as staff have determined that the color scheme does fit into the neighborhood considering similarly colored structures already exist.

They are also asking for an exception to the design review standards in C2. No surface off-street parking closer to street than building on the corner of State & 10th Streets with 11 parking spots on this development corner. The developer has ensured this part of the development will be properly

landscaped to help screen the parking from the street as is demonstrated in the landscaping plan. The property does meet this request on the other 2 streets.

Recommendation of Other Boards and Commissions.

The Common Council approved 23-1471, rezoning these parcels to Traditional Neighborhood Development – General on January 11, 2024. The Board of Zoning Appeals also reviewed a variance for the density requirement at their May 19, 2025, meeting, ultimately referring the request until after review of this legislative item by the Common Council.

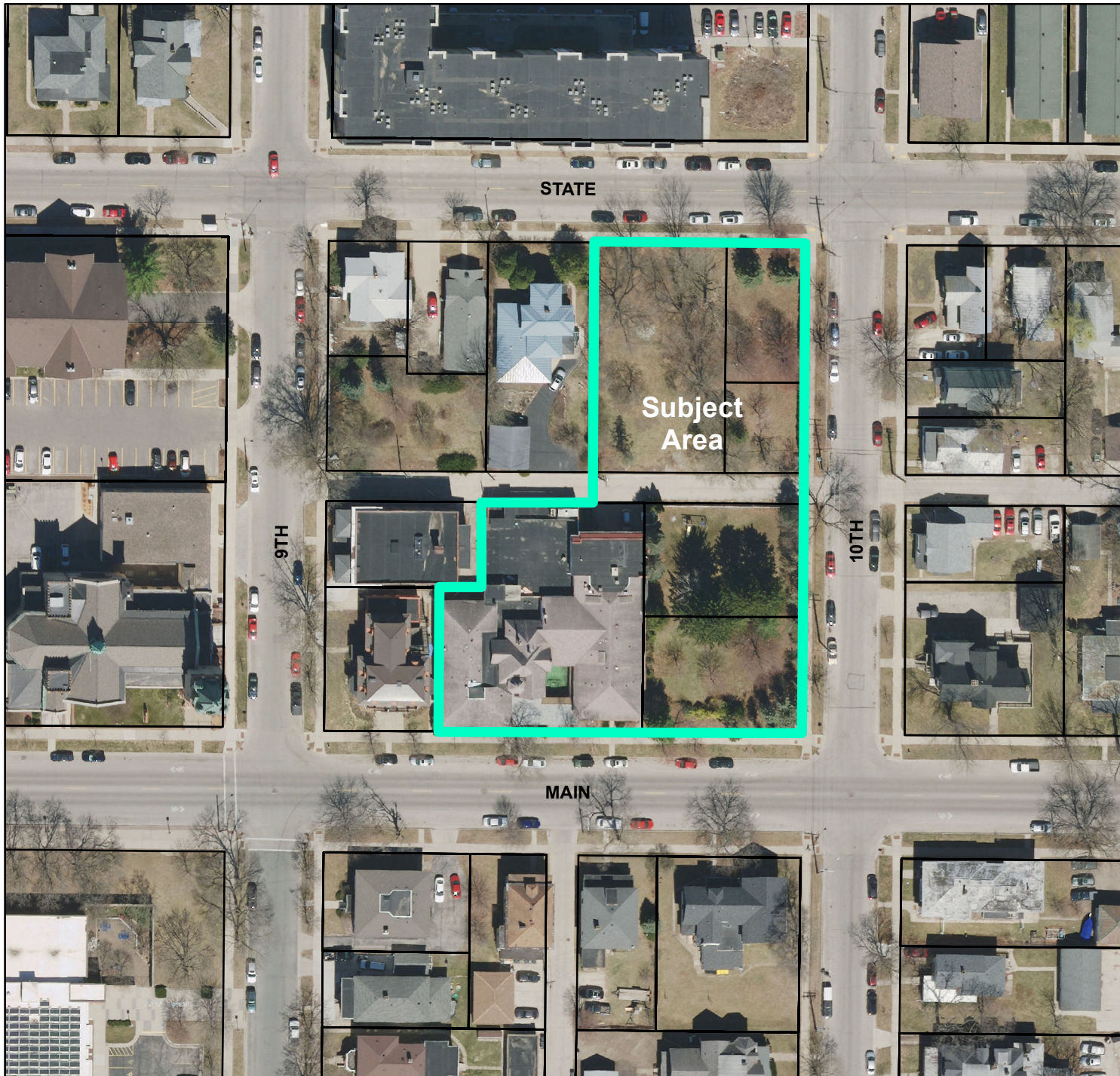
Consistency with Adopted Comprehensive Plan

This site is included in N-3, the Downtown Neighborhood and would be considered High-Intensity Mixed-Use. The definition of High-Intensity Mixed-Use specifically states it can be located within the core of Downtown La Crosse, as well as outside of the Downtown core in areas still appropriate for higher intensity mix of uses. This development is acceptable in this neighborhood.

Staff Recommendation

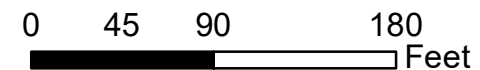
Approval with the request of parking on the corner of State and 10th.

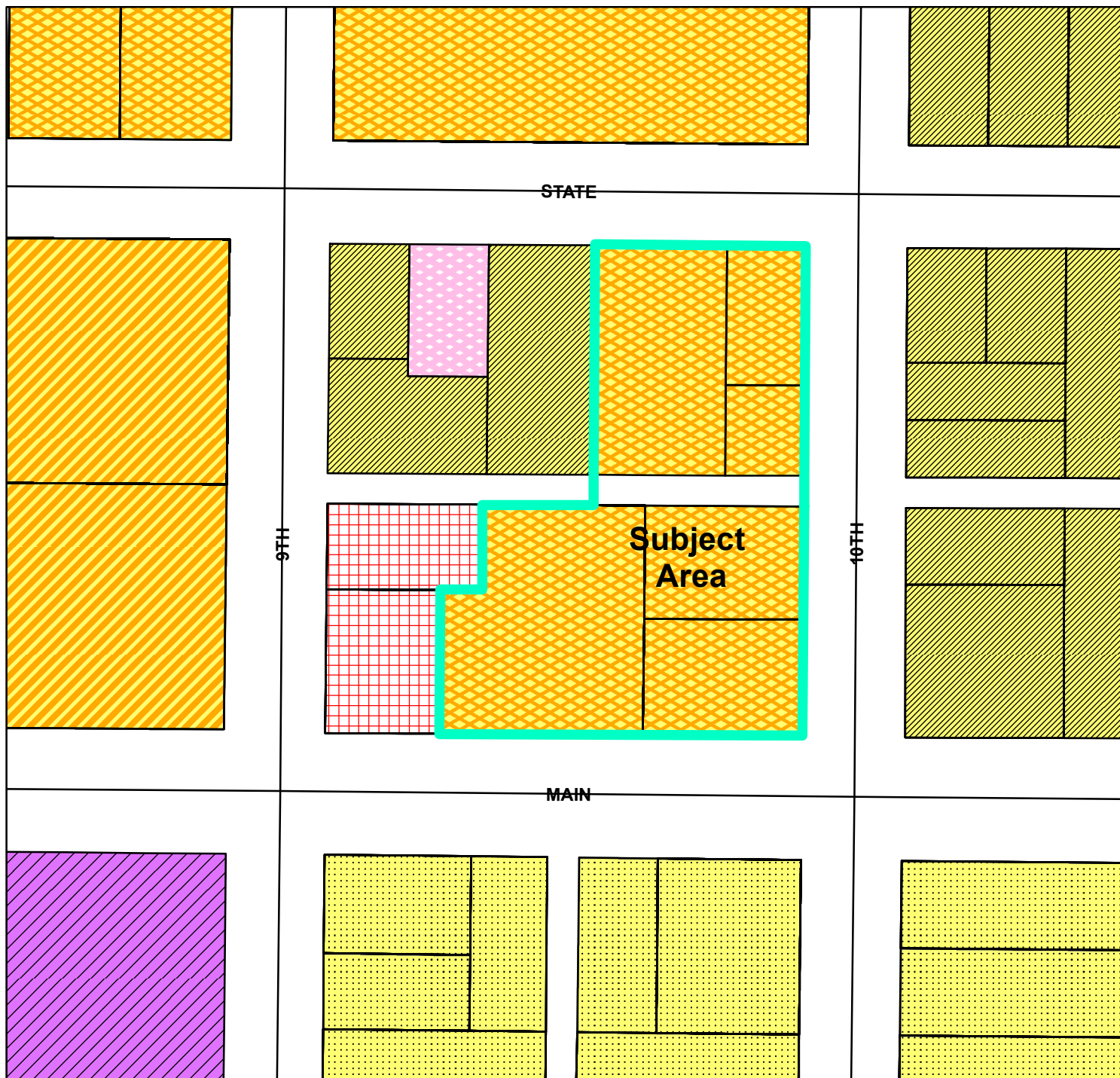
Routing J&A 6.3.25



BASIC ZONING DISTRICTS

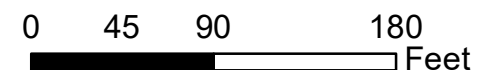
	R1 - SINGLE FAMILY
	R2 - RESIDENCE
	WR - WASHBURN RES
	R3 - SPECIAL RESIDENCE
	R4 - LOW DENSITY MULTI
	R5 - MULTIPLE DWELLING
	R6 - SPECIAL MULTIPLE
	PD- PLANNED DEVELOP
	TND - TRAD NEIGH DEV.
	C1 - LOCAL BUSINESS
	C2 - COMMERCIAL
	C3 - COMMUNITY BUSINESS
	M1 - LIGHT INDUSTRIAL
	M2 - HEAVY INDUSTRIAL
	PS - PUBLIC & SEMI-PUBLIC
	PL - PARKING LOT
	UT - PUBLIC UTILITY
	CON - CONSERVANCY
	FW - FLOODWAY
	A1 - AGRICULTURAL
	EA - EXCLUSIVE AG
	City Limits
	SUBJECT PROPERTY





BASIC ZONING DISTRICTS

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State of Florida, County of Orange, ss:

Ankit Sachdeva, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of Lee Enterprises, publishers of Lacrosse Tribune, a newspaper at, La Crosse, for county of La Crosse, in the state of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published, therein on the dates listed below.

PUBLICATION DATES:

May. 20 2025, May. 27 2025

NOTICE ID: CGqVR2hoXAkIV6YgiGkT

PUBLISHER ID: COL-WI-101199

NOTICE NAME: Rezoning - Haven on Main 2025

Publication Fee: \$174.09

Section: Legals

Category: 0001 Wisconsin Legals

Ankit Sachdeva

(Signed) _____

VERIFICATION

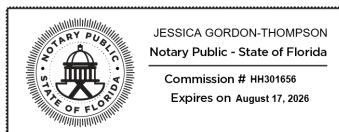
State of Florida
County of Orange

Subscribed in my presence and sworn to before me on this: 05/29/2025

J. Thompson

Notary Public

Notarized remotely online using communication technology via Proof.



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Rezoning is necessary, because of the proposed mixed-use, density, and parking requirements

Tax Parcel 17-20204-30; 922 State St., Tax Parcel 17-20204-10; 928 State St., Tax Parcel 17-20204-100; 915 Main St., Tax Parcel 17-20204-120; 927 Main St., Tax Parcel 17-20204-110; 115 10th St. N., Tax Parcel 17-20204-20; 119 10th St. N.

The City Plan Commission will meet to consider such application on Monday, June 2, 2025, at 4:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

A public hearing before the Judiciary & Administration Committee will be held on Tuesday, June 3, 2025, at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the Common Council on Thursday, June 12, 2025, at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The petition and/or maps relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 25-0533).

Dated this 6th day of May, 2025.
Nikki M. Elsen, City Clerk
City of La Crosse

If you want to speak on an agenda item, please sign up at least 10 minutes before the start of the meeting.

Registration slips are not collected once the meeting begins but will be made part of the record.

MEETING REGISTRATION

Name: Hetti Brown Date: 6-3-25
PLEASE PRINT

Municipality of Residence: Shelby

Representation: Caullecap
If you are representing an organization or person other than yourself at this meeting.

Agenda Item #: 25-0533
Please fill out a separate sheet for each piece of legislation in which you are registering.

Do you support or oppose the agenda item?

- ☒ Support
☐ Oppose
☐ Neither support nor oppose

Do you want to speak?

- ☐ Yes, I want to speak.
☐ No, I do not want to speak.
☒ I do not want to speak, but I am available to answer questions.

If you want to speak on an agenda item, please sign up at least 10 minutes before the start of the meeting.

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MEETING REGISTRATION

Name: Rick Diermeier Date: 6/4/2028
PLEASE PRINT

Municipality of Residence: Medary

Representation: Haven on Main
If you are representing an organization or person other than yourself at this meeting.

Agenda Item #: 25-0533
Please fill out a separate sheet for each piece of legislation in which you are registering.

Do you support or oppose the agenda item?

- ☒ Support
☐ Oppose
☐ Neither support nor oppose

Do you want to speak?

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☐ No, I do not want to speak.
☐ I do not want to speak, but I am available to answer questions.



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0483

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution approving the vacation of the 1800 block of Winnebago and associated land interests for redevelopment of the Hogan Administration site of the La Crosse School District.

RESOLUTION

WHEREAS, the public interest requires the partial or full vacation of certain public ways, the dedication of lands as public ways, and the establishment of easements for public utilizes within the corporate limits of the City of La Crosse, and

WHEREAS, such vacations, dedications, and establishments should be done as expeditiously as possible, and

WHEREAS, facilitating the redevelopment of the Hogan Administration site of the School District of the city of La Crosse involves such vacations, dedications, and establishments.

NOW, THEREFORE, BE IT RESOLVED, by the Common Council, City of La Crosse that it hereby declares that the public interest requires the vacation of the street and alley, dedication of conveyed land(s) as public Right-of-Way, and establishment of public utility easement(s) as described on attached Exhibit "VACATION EXHIBIT," subject to any conditions herein.

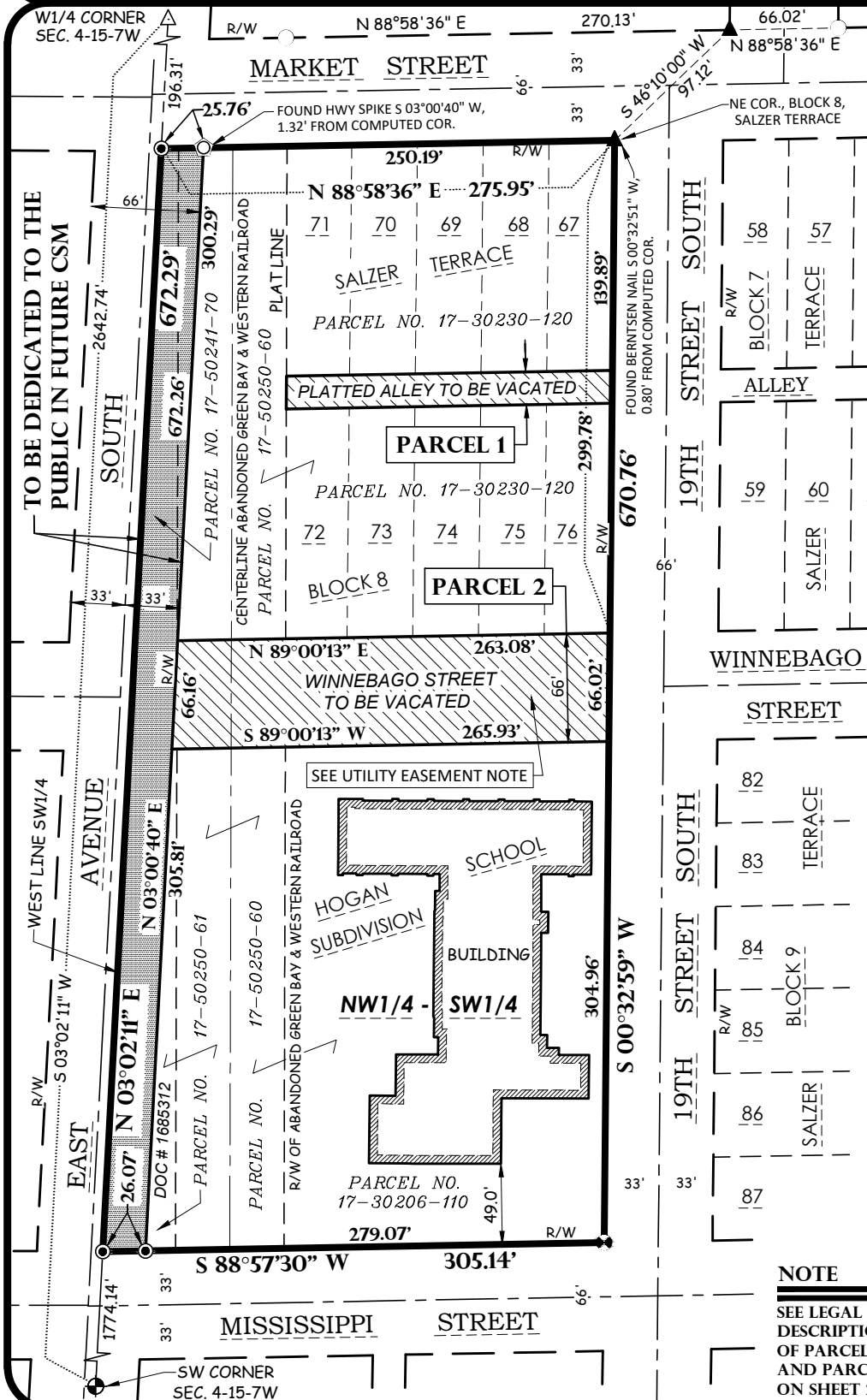
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17-50241-70	School District of La Crosse	1739 Winnebago St	807 East Ave S	La Crosse WI 54601

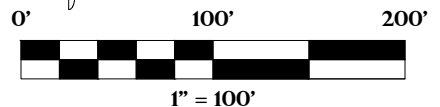
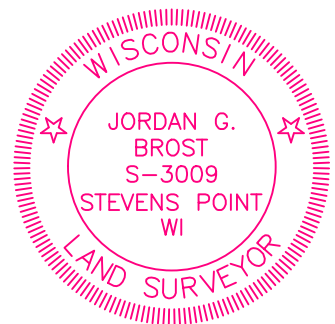
VACATION EXHIBIT



GENERAL DESCRIPTION
BEING ALL OF THE PLATTED ALLEY LYING WITHIN BLOCK 8 OF THE SALZER TERRACE PLAT AND ALL OF THE PLATTED WINNEBAGO STREET LYING BETWEEN SAID SALZER TERRACE PLAT AND HOGAN SCHOOL SUBDIVISION, BOUNDED ON THE EAST SIDE BY THE WEST RIGHT-OF-WAY OF 19TH STREET SOUTH AND BOUNDED ON THE WEST SIDE BY THE EAST RIGHT-OF-WAY EAST AVENUE SOUTH, LOCATED IN PART OF THE NW1/4 OF THE SW1/4 OF SECTION 4, TOWNSHIP 15 NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

UTILITY EASEMENT NOTE

AFTER VACATION OF STREET IS APPROVED, A UTILITY EASEMENT FOR ANY EXISTING UTILITIES BY THE CITY OF LA CROSSE WILL BE DESCRIBED AND RECORDED BY OTHER INSTRUMENT.



BASIS OF BEARINGS

THE WEST LINE OF THE SW1/4 OF SEC. 4, T.15N, R.7W, BEARS N 03°02'11"E AS REFERENCED TO THE LA CROSSE CO. CRD. SYSTEM, NAD83 (2011).

LEGEND

- 3/4" X 18" IRON REBAR SET WEIGHING 150 LBS/LIN. FT.
- 1-1/4" O.D. IRON PIPE FOUND
- ✱ BERNTSEN NAIL FOUND
- △ COPPER NAIL FOUND
- ▲ PK NAIL FOUND
- ⊙ HIGHWAY SPIKE FOUND
- ⊕ SECTION CORNER PER TIES
- () RECORDED AS
- ▨ AREA TO BE VACATED
- ▨ TO BE DEDICATED TO THE PUBLIC PER FUTURE CSM

NOTE

SEE LEGAL DESCRIPTIONS OF PARCEL 1 AND PARCEL 2 ON SHEET 2.



Point of Beginning

Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009

4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

FIELDWORK COMPLETED 12-11-24

DRAWN: JGB CHECKED: JGB

FIELD BOOK PAGE #

JOB NO: 24.4050

CLIENT / OWNER
SCHOOL DISTRICT OF
LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WI 54601

SHEET 1 OF 2

VACATION EXHIBIT

Surveyor's Notes:

1. Prior attempts of this vacation of Winnebago Street and the platted alleys as shown and described on this map were previously submitted per Lis Pendens recorded in Document No. 933445 (dated Jan. 10, 1983), Document No. 933441 (dated Jan. 10, 1983), Document No. 904860 (dated Feb. 14, 1980) and Document No. 904861 (dated Feb. 14, 1980). No formal Resolution of record was recorded to formally vacate these platted public right-of-ways. The purpose of this submittal is to vacate what was originally intended, for the use of the current school grounds and future development.

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A 20 foot alley located and platted in Block 8 of Salzer Terrace Addition, as platted and lying South of the South line of Lots 67, 68, 69, 70 and 71 of said Block 8, lying North of the North line of Lots 72, 73, 74, 75 and 76, bounded on the West side by the East right-of-way line of the abandoned Green Bay and Western Railroad and bounded on the East side by the West right-of-way line of 19th Street South and the northerly and southerly extensions thereof.

Parcel "2" - platted Winnebago Street (to be vacated).

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Commencing at the West $\frac{1}{4}$ corner of Section 4, Township 15 North, Range 7 West;

Thence S $03^{\circ}02'11''$ W along the West line of the Southwest $\frac{1}{4}$ of said Section 4, 196.31 feet to the intersection of said West line and the westerly extension of the South right-of-way line of Market Street;

Thence N $88^{\circ}58'36''$ E along said westerly extension line, the South right-of-way line of Market Street and the North line of Block 8 of Salzer Terrace Addition, 275.95 feet to the Northeast corner of said Block 8 and the intersection of said South right-of-way line and the West right-of-way line of 19th Street South;

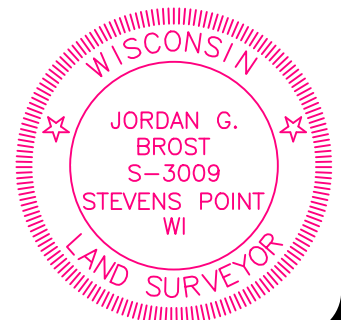
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Thence S $89^{\circ}00'13''$ W along the South right-of-way line of Winnebago Street, 265.93 feet to the intersection of said South right-of-way line and the East right-of-way line of East Avenue South;

Thence N $03^{\circ}00'40''$ E along said East right-of-way line of East Avenue South, 66.16 feet to the intersection of said East right-of-way line and the North right-of-way line of Winnebago Street;

Thence N $89^{\circ}00'13''$ E along said North right-of-way line, 263.08 feet to the point of beginning.



Point of Beginning

Land Surveying
Civil Engineering
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4941 Kirschling Court
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715.344.9999 (PH) 715.344.9922 (FX)

FIELDWORK COMPLETED 12-11-24

DRAWN: JGB CHECKED: JGB

FIELD BOOK _____ PAGE _____ # _____

JOB NO: 24.4050

CLIENT / OWNER
SCHOOL DISTRICT OF
LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WI 54601

SHEET 2 OF 2



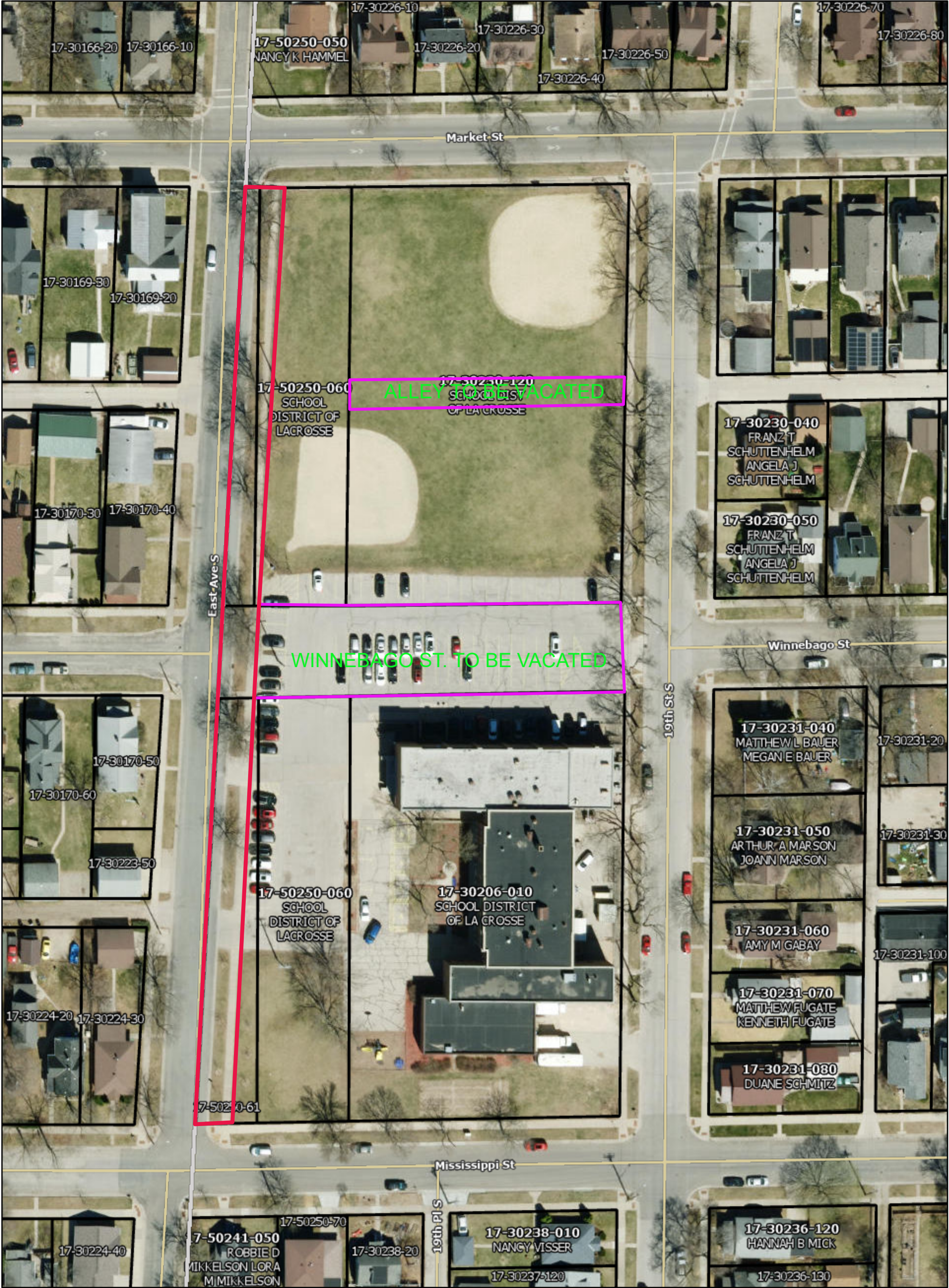
DISCONTINUANCE/VACATION OF PUBLIC RIGHT-OF-WAY

City of La Crosse - Engineering Department

Phone: 608-789-7505 Email: engineering@cityoflacrosse.org

Property Owner Name: SCHOOL DISTRICT OF LA CROSSE		Date: 4/14/25
Mailing Address: 867 EAST AVE S LA CROSSE WI 54601		
Phone:	Email:	
Description of street/alley sought to vacate: E800 BLOCK OF WINNEBAGO ST, BETWEEN EAST AVE & 19TH ST, PLATTED ALLEY FROM 19TH ST TO WEST, BETWEEN WINNEBAGO ST & MARKET ST.		
Reason for Request: NEW SCHOOL		
PREVIOUS ATTEMPT TO VACATE WAS NOT PROPERLY RECORDED, 1983.		
<p>A vacation of a public way is the process of discontinuing public use and returning dedicated public right-of-way to private property. Upon discontinuance, the right-of-way reverts to the owners of the adjoining land where the discontinued land originated or is equally divided between the owners on either side of the centerline of the discontinued public way. See statutory requirements (§66.1003, Wis. Stats) and the City's process.</p> <p>Required Items to submit:</p> <ul style="list-style-type: none">• Application fee (nonrefundable) of \$750 (partial) or \$1,500 (full) payable to the "City of La Crosse" <p>I certify that I have reviewed the Municipal Code and understand all that is related to this permit request. I further certify that I have the full authority to make the foregoing application; the information in the application and the required submittals are complete and correct.</p> <p>SUBMITTED BY ENGINEERING DEPT. (KJL)</p>		
Signature of Owner:	Print Name of Owner:	Date:

Street / Alley Vacation



4/11/2025, 8:26:45 AM

Municipality Limits Labels

Municipality Limits

Sections

Section Labels

Road Centerlines

Local Road

Property Owners with Assessments

1:1,128

0 0.01 0.01 0.03 mi

0 0.01 0.03 0.05 km

La Crosse County, WI

La Crosse County WI Zoning Planning and Land Information

Department

212 6th St N, Suite 1300

La Crosse, WI 54601



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation

Joe Ledvina
Director of Facilities
JLedvina@lacrossesd.org
Hogan Administrative Center
807 East Avenue South, La Crosse, WI 54601
Ph: (608) 789-7627



February 28, 2025

Mathew Gallagher
Director of Engineering and Public Works
City Hall
400 La Crosse St.

Mr. Gallagher,

This letter is a follow up to our meeting on Thursday, February 20th. Thank you once again to the Engineering and Planning Department staff for meeting with us. I know our Architects found the meeting extremely helpful.

In our research it appears the alley and Winnebago Street vacation at 807 East Avenue South was approved many years ago but never recorded. As we prepare for a new elementary school at this site, we would like to get this taken care of, so it does not delay future construction. Also, at this time we would like to clean up several district parcels at this site that go into what is traditionally a city right away.

Jim Lundberg at Point of Beginning, Inc. is the person of contact and currently working on a CSM. His contact information is as follows: jiml@pobinc.com, 715-310-3271. Please feel free to contact him at your convenience.

Thank you for your help with this great project. If you have any questions, please do not hesitate to call me. Thank you and have a great day!

Sincerely,

A handwritten signature in blue ink, appearing to read 'Joe Ledvina', with a long, sweeping horizontal line extending to the right.

Joe Ledvina



DocId:8514474

Tx:4192990

1832593LACROSSE COUNTY
REGISTER OF DEEDS
ROBIN L. KADRMASRECORDED ON
04/25/2025 08:53 AM
PAGE COUNT: 4
EXEMPT #:

RECORDING FEE 30.00

In the Matter of the vacation of the 1800
block of Winnebago and associated land
interests for redevelopment of the Hogan
Administration site of the La Crosse School
District.

LIS PENDENS

NOTICE IS HERBY GIVEN that a resolution
has been introduced to the Common Council to be
acted upon by such Common Council, which said
action has been taken at the initiative of the Common
Council of the City of La Crosse, wherein the
following property, to-wit:

LEGAL DESCRIPTION ATTACHED
and shown on the map attached hereto as Exhibit ^{* vacation,} ~~A~~
^{sic}
showing the location thereof, is sought to be vacated.

Dated this 22nd day of April, 2025.

CITY OF LA CROSSE

By: Krista A. Gallagher
Krista A. Gallagher
Deputy City Attorney

Drafted by:

City Attorney's Office
400 La Crosse Street
La Crosse WI 54601
(608) 789-7511

This space is reserved for recording data

Return to

City Clerk
400 La Crosse St
La Crosse WI 54601

Parcel Identification Number/Tax Key Number

Resolution approving the vacation of the 1800 block of Winnebago and associated land interests for redevelopment of the Hogan Administration site of the La Crosse School District.

RESOLUTION

WHEREAS, the public interest requires the partial or full vacation of certain public ways, the dedication of lands as public ways, and the establishment of easements for public utilizes within the corporate limits of the City of La Crosse, and

WHEREAS, such vacations, dedications, and establishments should be done as expeditiously as possible, and

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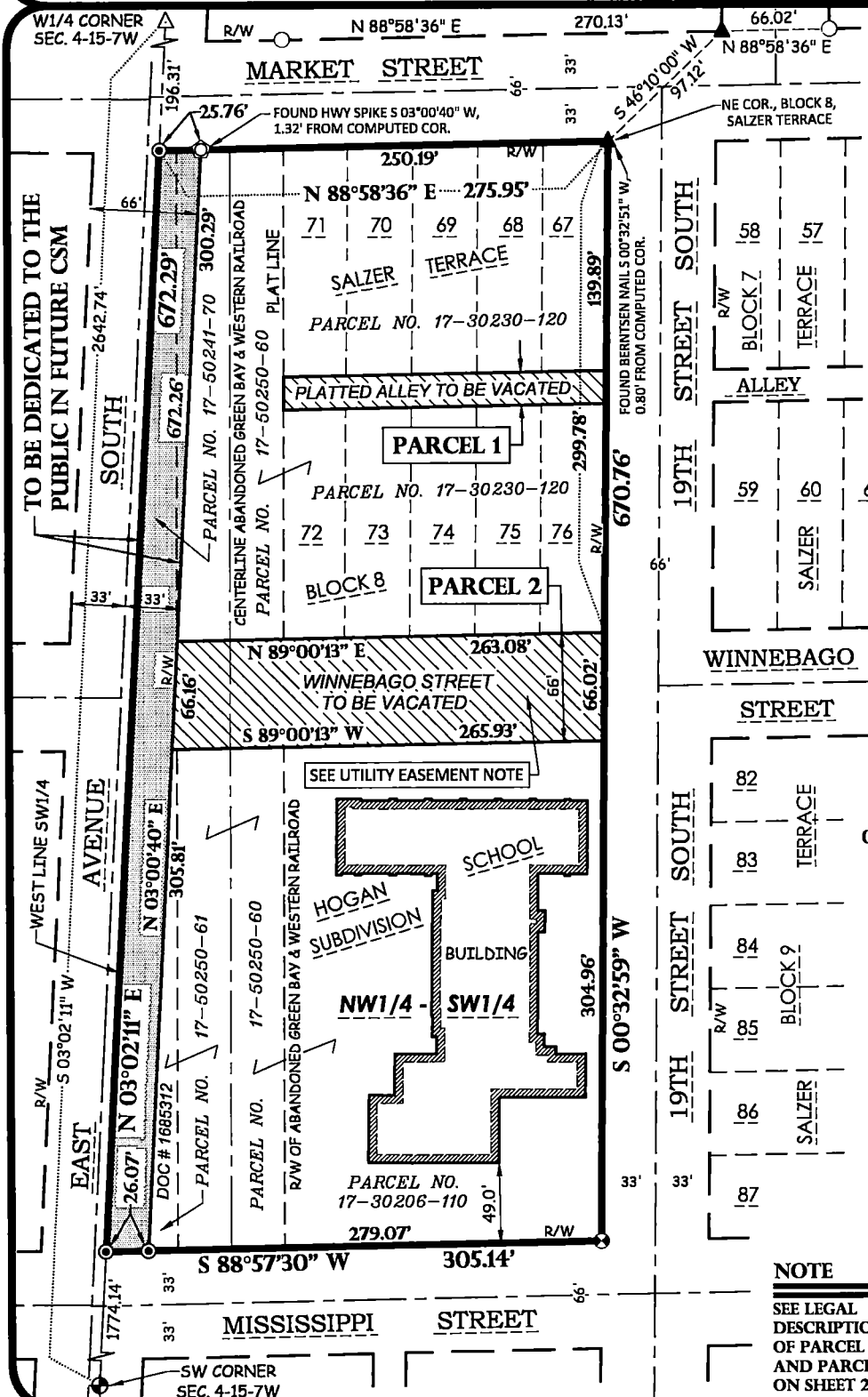
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VACATION EXHIBIT



GENERAL DESCRIPTION
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SALZER TERRACE PLAT AND ALL OF
THE PLATTED WINNEBAGO STREET
LYING BETWEEN SAID SALZER
TERRACE PLAT AND HOGAN SCHOOL
SUBDIVISION, BOUNDED ON THE
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RIGHT-OF-WAY OF 19TH STREET
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EAST AVENUE SOUTH, LOCATED IN
PART OF THE NW1/4 OF THE SW1/4 OF
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0' 100' 200'

1" = 100'

BASIS OF BEARINGS

**THE WEST LINE OF THE SW1/4 OF
SEC. 4, T.15N, R.7W, BEARS N 03°02'11"E
AS REFERENCED TO THE LA CROSSE
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 ⊕ SECTION CORNER PER TIES
 () RECORDED AS
 ▨ AREA TO BE VACATED
 ▩ TO BE DEDICATED TO THE
 PUBLIC PER FUTURE CSM

NOTE

**SEE LEGAL
DESCRIPTIONS
OF PARCEL 1
AND PARCEL 2
ON SHEET 2.**



Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009
4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

FIELDWORK COMPLETED 12-11-24
DRAWN: JGB CHECKED: JGB
FIELD BOOK _____ PAGE # _____
JOB NO: 24.4050

CLIENT / OWNER
SCHOOL DISTRICT OF
LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WI 54601

SHEET 1 OF 2

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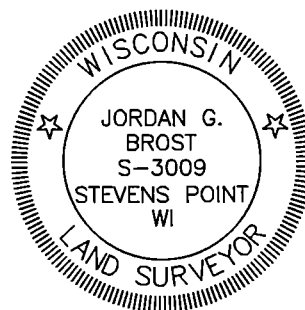
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FIELDWORK COMPLETED 12-11-24
DRAWN: JGB CHECKED: JGB

FIELD BOOK _____ PAGE # _____
JOB NO: 24.4050

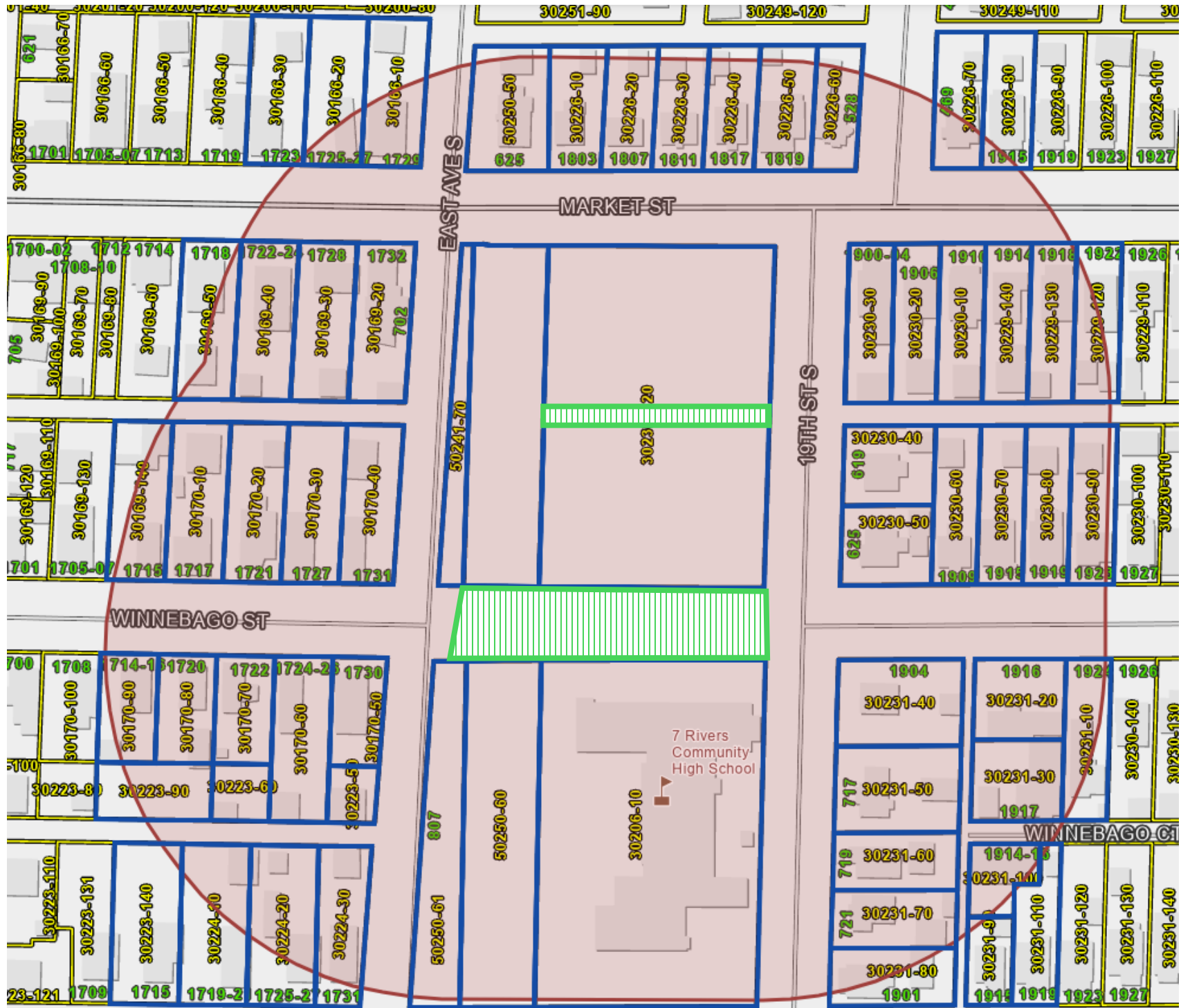
CLIENT / OWNER
SCHOOL DISTRICT OF
LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WI 54601
SHEET 2 OF 2

Tax Parcel	OwnerName	PROPADDCOMP	CompleteAddress	MailCityStateZip	Abutting Property	Requires Personal Service
17-30166-20	ALEC T BROWN	1725 & 1727 MARKET ST	1601 ADAMS ST	LA CROSSE WI 54601		NO
17-30231-60	AMY M GABAY	719 19TH ST S	719 19TH ST S	LA CROSSE WI 54601		NO
17-30229-140	DELANE SWANSON, AHRIEL BOAK	1914 MARKET ST	1914 MARKET ST	LA CROSSE WI 54601-5055		NO
17-30230-70	ANN L ENDRES	1915 WINNEBAGO ST	1915 WINNEBAGO ST	LA CROSSE WI 54601-5073		NO
17-30226-40	ANTHONY Q DIX, BETH L DIX	1817 MARKET ST	1817 MARKET ST	LA CROSSE WI 54601		NO
17-30231-50	ARTHUR A MARSON, JOANN MARSON	717 19TH ST S	717 19TH ST S	LA CROSSE WI 54601-5002		NO
17-30170-20	BRADLEY A WALKER, ERICA K WALKER	1721 WINNEBAGO ST	1721 WINNEBAGO ST	LA CROSSE WI 54601-4965		NO
17-30169-140	COULEE PROPERTIES LLC	1715 WINNEBAGO ST	251 KEVIN CT	ONALASKA WI 54650		NO
17-30169-30	COULEE REGION DEVELOPERS LLC	1728 MARKET ST	3815 MORMON COULEE RD	LA CROSSE WI 54601		NO
17-30170-90	COULEE REGION DEVELOPERS LLC	1714 & 1716 WINNEBAGO S	3815 MORMON COULEE RD	LA CROSSE WI 54601		NO
17-30223-140	CULLAN BAYNES LUCAS, LEISHA LUCAS	1715 MISSISSIPPI ST	1715 MISSISSIPPI ST	LA CROSSE WI 54601-4968		NO
17-30231-80	DUANE SCHMITZ	1901 MISSISSIPPI ST	1901 MISSISSIPPI ST	LA CROSSE WI 54601-5076		NO
17-30224-30	ELAINE R MARCOU	1731 MISSISSIPPI ST	1731 MISSISSIPPI ST	LA CROSSE WI 54601-4968		NO
17-30230-80	ELIZABETH A TABORDA TRUST	1919 WINNEBAGO ST	1919 WINNEBAGO ST	LA CROSSE WI 54601		NO
17-30230-40	FRANZ T SCHUTTENHELM, ANGELA J SCHUTTENHELM	619 19TH ST S	619 19TH ST S	LA CROSSE WI 54601-5001		NO
17-30230-50	FRANZ T SCHUTTENHELM, ANGELA J SCHUTTENHELM	625 19TH ST S	619 19TH ST S	LA CROSSE WI 54601-5001		NO
17-30224-10	GABRIEL PATROS	1719 & 1721 MISSISSIPPI ST	2152 23RD ST S	LA CROSSE WI 54601		NO
17-30169-40	HAWKEYE LLC	1722 & 1724 MARKET ST	N7068 MOONLIGHT AVE	HOLMEN WI 54636		NO
17-30170-60	J & S OF LACROSSE LLC	1724 & 1726 WINNEBAGO S	3334 BAYSIDE CT	LA CROSSE WI 54601-7281		NO
17-30226-80	JAMES E KREMENSKI	1915 MARKET ST	1915 MARKET ST	LA CROSSE WI 54601-5019		NO
17-30231-90	JAMIEE OTTUM	1915 MISSISSIPPI ST	1915 MISSISSIPPI ST	LA CROSSE WI 54601-5076		NO
17-30231-30	JENNIFER ERBE, MATTHEW PORTELL	1917 WINNEBAGO CT	1917 WINNEBAGO CT	LA CROSSE WI 54601		NO
17-30230-20	JENNIFER A TERPSTRA	1906 MARKET ST	1906 MARKET ST	LA CROSSE WI 54601		NO
17-30226-60	JENNIFER E FREDRICKSON	528 19TH ST S	528 19TH ST S	LA CROSSE WI 54601-5024		NO
17-30166-10	JEREMY GROVE, STEPHANIE D BAKA	1729 MARKET ST	1729 MARKET ST	LA CROSSE WI 54601-4971		NO
17-30230-10	JOHATHAN T PARKHURST, SAMANTHA E PARKHURST	1910 MARKET ST	1910 MARKET ST	LA CROSSE WI 54601-5055		NO
17-30230-90	MACKENZIE BORIS	1923 WINNEBAGO ST	1923 WINNEBAGO ST	LA CROSSE WI 54601		NO
17-30170-10	KATHRYN WALKER	1717 WINNEBAGO ST	1717 WINNEBAGO ST	LA CROSSE WI 54601		NO
17-30231-110	BRADEN MILLER, NAOMI MILLER	1919 MISSISSIPPI ST	1919 MISSISSIPPI ST	LA CROSSE WI 54601-5076		NO
17-30170-40	KENNETH R KIRCHNER	1731 WINNEBAGO ST	1731 WINNEBAGO ST	LA CROSSE WI 54601		NO
17-30230-30	KEVIN J HERMAN, RENEE E HERMAN	1900, 1902, 1904 MARKET S	7992 IDLEDALE AVE	SPARTA WI 54656		NO
17-30226-10	KRISTA L SHULKA	1803 MARKET ST	1803 MARKET ST	LA CROSSE WI 54601		NO
17-30230-60	MALLORY L HAYE	1909 WINNEBAGO ST	1909 WINNEBAGO ST	LA CROSSE WI 54601-5073		NO
17-30226-20	MARIE STEVENSON	1807 MARKET ST	1807 MARKET ST	LA CROSSE WI 54601-4913		NO
17-30170-50	MARK P CLASSEN, BONNIE R CLASSEN	1730 WINNEBAGO ST	1730 WINNEBAGO ST	LA CROSSE WI 54601-4920		NO
17-30223-50	MARK P CLASSEN, BONNIE R CLASSEN	1730 WINNEBAGO ST	1730 WINNEBAGO ST	LA CROSSE WI 54601-4920		NO
17-30226-50	MARY A HURLEY, BRANT A MAYER	1819 MARKET ST	1819 MARKET ST	LA CROSSE WI 54601-4913		NO
		1732 MARKET ST				
17-30169-20	MARY D PRINDLE	702 EAST AVE S	2636 VAN LOON RD	LA CROSSE WI 54601		NO
17-30229-120	MATT WENTHE, JILL WENTHE	1922 MARKET ST	1922 MARKET ST	LA CROSSE WI 54601		NO
17-30231-70	MATTHEW FUGATE, KENNETH FUGATE	721 19TH ST S	721 19TH ST S	LA CROSSE WI 54601-5002		NO
17-30231-10	MATTHEW SMITH, ELISE SMITH	1924 WINNEBAGO ST	1924 WINNEBAGO ST	LA CROSSE WI 54601-5014		NO
17-30231-40	MATTHEW L BAUER, MEGAN E BAUER	1904 WINNEBAGO ST	1904 WINNEBAGO ST	LA CROSSE WI 54601-5014		NO
17-50250-50	NANCY K HAMMEL	625 EAST AVE S	625 EAST AVE S	LA CROSSE WI 54601		NO
17-30229-130	OMAR GRANADOS	1918 MARKET ST	1918 MARKET ST	LA CROSSE WI 54601-5055		NO
17-30226-30	PAMELA M CHENIER	1811 MARKET ST	1811 MARKET ST	LA CROSSE WI 54601-4913		NO
17-30231-20	SARAH C MEYER	1916 WINNEBAGO ST	1916 WINNEBAGO ST	LA CROSSE WI 54601-5014		NO
17-30170-80	SARAH J MOE	1720 WINNEBAGO ST	1720 WINNEBAGO ST	LA CROSSE WI 54601-4920		NO
17-30223-90	SARAH J MOE	1720 WINNEBAGO ST	1720 WINNEBAGO ST	LA CROSSE WI 54601-4920		NO
17-30230-120	SCHOOL DIST OF LA CROSSE	807 EAST AVE S	807 EAST AVE S	LA CROSSE WI 54601-4982	X	YES
17-30206-10	SCHOOL DISTRICT OF LA CROSSE	807 EAST AVE S	807 EAST AVE S	LA CROSSE WI 54601-4982	X	YES
17-50241-70	SCHOOL DISTRICT OF LACROSSE	1739 WINNEBAGO ST	807 EAST AVE S	LA CROSSE WI 54601	X	YES
17-50250-60	SCHOOL DISTRICT OF LACROSSE	803 EAST AVE S	807 EAST AVE S	LA CROSSE WI 54601	X	YES
17-50250-61	SCHOOL DISTRICT OF LACROSSE	807 EAST AVE S	807 EAST AVE S	LA CROSSE WI 54601	X	YES
17-30231-100	SOARING BLUFF PROPERTIES LLC	1914 & 1916 WINNEBAGO C	1743 2ND AVE SE	ROCHESTER MN 55904		NO
17-30226-70	STEPHANIE A BURNS	469 19TH ST S	469 19TH ST S	LA CROSSE WI 54601-5068		NO
17-30224-20	SWING ENTERPRISES LLC	1725 & 1727 MISSISSIPPI ST	20416 MCKINLEY AVE	GALESVILLE WI 54630		NO
17-30166-30	TERRENCE M COLLINS	1723 MARKET ST	1723 MARKET ST	LA CROSSE WI 54601-4971		NO
17-30170-70	THOMAS IRWIN	1722 WINNEBAGO ST	1722 WINNEBAGO ST	LA CROSSE WI 54601-4920		NO
17-30223-60	THOMAS IRWIN	1722 WINNEBAGO ST	1722 WINNEBAGO ST	LA CROSSE WI 54601-4920		NO
17-30170-30	TIMOTHY J COUGHLIN, KATHLEEN A COUGHLIN	1727 WINNEBAGO ST	1727 WINNEBAGO ST	LA CROSSE WI 54601		NO
17-30169-50	TOP PROPERTY LLC	1718 MARKET ST	325 PEARL ST	LA CROSSE WI 54601		NO

Properties within 300 feet of proposed areas to be vacated.

Notice also mailed to WI Dept of Transportation due to the vacation being within .25 mile of HWY 33 (a State Connecting HWY).

Properties within 300 feet of areas requested to be vacated.



NOTICE OF HEARING TO VACATE A PORTION OF ALLEY AND STREET

YOU ARE HEREBY NOTIFIED that a Resolution is pending before the Common Council of the City of La Crosse, for the vacation of the following described portion of alley, to-wit:

Being all of the East-West alley as platted and located in Block 8 of Salzer Terrace Addition, located in part of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 4, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin, said alley being more particularly described as follows: A 20 foot alley located and platted in Block 8 of Salzer Terrace Addition, as platted and lying South of the South line of Lots 67, 68, 69, 70 and 71 of said Block 8, lying North of the North line of Lots 72, 73, 74, 75 and 76, bounded on the West side by the East right-of-way line of the abandoned Green Bay and Western Railroad and bounded on the East side by the West right-of-way line of 19th Street South and the northerly and southerly extensions thereof.

And the vacation of the following described portion of street, to-wit:

Being a part of platted Winnebago Street lying between Block 8 of Salzer Terrace Addition and Hogan School Subdivision, bounded on the West side by the East right-of-way line of East Avenue South and bounded on the East side by the West right-of-way line of 19th Street South and the northerly and southerly extensions thereof, located in part of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 4, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin, being more particularly described as follows: Commencing at the West $\frac{1}{4}$ corner of Section 4, Township 15 North, Range 7 West; Thence S $03^{\circ}02'11''$ W along the West line of the Southwest $\frac{1}{4}$ of said Section 4, 196.31 feet to the intersection of said West line and the westerly extension of the South right-of-way line of Market Street; Thence N $88^{\circ}58'36''$ E along said westerly extension line, the South right-of-way line of Market Street and the North line of Block 8 of Salzer Terrace Addition, 275.95 feet to the Northeast corner of said Block 8 and the intersection of said South right-of-way line and the West right-of-way line of 19th Street South; Thence S $00^{\circ}32'59''$ W along the East line of said Block 8 and the West right-of-way line of 19th Street South, 299.78 feet to the intersection of said West right-of-way line of 19th Street South and the North right-of-way line of Winnebago Street, said point also being the Point of Beginning of the vacated area to be described: Thence continuing S $00^{\circ}32'59''$ W along said southerly extension of the West right-of-way line of 19th Street South, 66.02 feet to the intersection of said West right-of-way line and the South right-of-way line of Winnebago Street; Thence S $89^{\circ}00'13''$ W along the South right-of-way line of Winnebago Street, 265.93 feet to the intersection of said South right-of-way line and the East right-of-way line of East Avenue South; Thence N $03^{\circ}00'40''$ E along said East right-of-way line of East Avenue South, 66.16 feet to the intersection of said East right-of-way line and the North right-of-way line of Winnebago Street; Thence N $89^{\circ}00'13''$ E along said North right-of-way line, 263.08 feet to the point of beginning.

YOU ARE FURTHER NOTIFIED THAT a public hearing thereon will be held before the Finance and Personnel Committee of the Common Council on June 5, 2025 at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St. La Crosse St., at which time any and all may be heard for or against the vacation of said alley and street.

Such matter will also be acted upon by the City Plan Commission at 4:00 p.m. on June 2, 2025 (public speaking is allowed), and by the Common Council on June 12, 2025 at 6:00 p.m., both meetings will take place in the Council Chambers at City Hall, 400 La Crosse St.

If you wish to attend any of the above meetings through video conferencing, please contact the City Clerk's Office at 608-789-7510 or email cityclerk@cityoflacrosse.org for more information.

The above referenced Resolution and relevant attachments may be examined in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for file 25-0483).

Dated this 29th day of April, 2025.

Per Order of the Common Council
Nikki Elsen
City Clerk of the City of
La Crosse, Wisconsin

Published in the La Crosse Tribune on May 15, 22, 29, 2025

AFFIDAVIT OF PERSONAL SERVICE

STATE OF WISCONSIN)
) ss.
COUNTY OF LA CROSSE)

C. Helling, being first duly sworn on oath, deposes and states as follows:

1. That I am an adult employed by the Police Department of the City of La Crosse.

2. That on the 4/20 day of April, 2025, at 10:15 a.m., La Crosse, Wisconsin, I personally served a copy of the following documents:

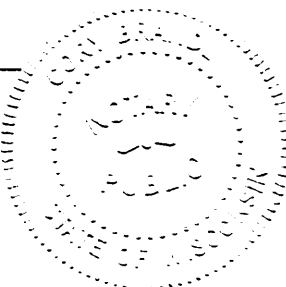
Notice of Hearing to Vacate a Portion of Street or Alley

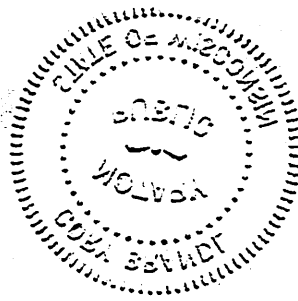
upon Herli A. Johnston
(name of person served)

[Signature]
(Officer Serving Notice — must sign here in front of notary)

Subscribed and sworn to before me
this 30 day of April, 2025

Cay Broehl, Notary Public
La Crosse County, State of Wisconsin
My Commission expires: 12-28-25





1948

[Handwritten signature]

you

[Large handwritten signature]

[Handwritten signature]

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[Faint handwritten text]

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[Faint handwritten text]

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Agenda Item 25-0483: (Jenna Dinkel)

Resolution approving the vacation of the 1800 block of Winnebago and associated land interests for redevelopment of the Hogan Administration site of the La Crosse School District.

General Location

Council District 7, Weigent Hogan Neighborhood Association. Located on the Market and Mississippi between East Ave and 19th St. The property is surrounded by R1 – Single Family and R2 – Residence District.

Background Information

The School District of La Crosse has requested to vacate the alley parallel to Winnebago Street between East Ave and 19th St. The School District is planning to redevelop the Hogan Administration site for a new elementary school. The City of La Crosse has an interest to retain sanitary and storm sewer facilities on the 1800 block of Winnebago but otherwise supports the street vacation. Retaining sanitary and storm sewer facilities will be done through a utility easement as noted on the vacation exhibit. The Resolution notes three conditions the applicant must meet before this vacation can be recorded with La Crosse County.

This area currently serves the Hogan Administration Building for parking. The surveyor noted that there was a previous attempt to vacate in 1983 and no formal resolution was recorded.

Recommendation of Other Boards and Commissions.

The application for vacation went to the Board of Public Works on April 21, 2025, for initial approval. It will go to Board of Public Works on June 2, 2025, for final approval.

Consistency with Adopted Comprehensive Plan

Although the Comprehensive Plan does not specifically address road vacations, this resolution will vacate this space for the development of a community school. This vacation will add more land for development while still allowing necessary and standard space for public amenities which is consistent with the Comprehensive Plan.

Staff Recommendation

Approval – Staff recommends approval of the vacation.

Routing F&P 6.5.25



BASIC ZONING DISTRICTS

	R1 - SINGLE FAMILY
	R2 - RESIDENCE
	WR - WASHBURN RES
	R3 - SPECIAL RESIDENCE
	R4 - LOW DENSITY MULTI
	R5 - MULTIPLE DWELLING
	R6 - SPECIAL MULTIPLE
	PD- PLANNED DEVELOP
	TND - TRAD NEIGH DEV.
	C1 - LOCAL BUSINESS
	C2 - COMMERCIAL
	C3 - COMMUNITY BUSINESS
	M1 - LIGHT INDUSTRIAL
	M2 - HEAVY INDUSTRIAL
	PS - PUBLIC & SEMI-PUBLIC
	PL - PARKING LOT
	UT - PUBLIC UTILITY
	CON - CONSERVANCY
	FW - FLOODWAY
	A1 - AGRICULTURAL
	EA - EXCLUSIVE AG
	City Limits
	SUBJECT PROPERTY



0 70 140 280 Feet

AFFIDAVIT OF PUBLICATION

Lacrosse Tribune
1407 St. Andrew St., La Crosse, WI 54603
(866) 735-5631

Retain this portion for your records. Please do not remit payment until you receive your advertising invoice.

State of Florida, County of Orange, ss:

Ankit Sachdeva, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of Lee Enterprises, publishers of Lacrosse Tribune, a newspaper at, La Crosse, for county of La Crosse, in the state of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published, therein on the dates listed below.

PUBLICATION DATES:

May. 15 2025, May. 22 2025, May. 29 2025

NOTICE ID: fTqwHMHX2zHPT7YXWXIA

PUBLISHER ID: COL-WI-101190

NOTICE NAME: Vacation - Alley & Street - School Dist.

Publication Fee: \$383.35

Section: Legals

Category: 0001 Wisconsin Legals

Ankit Sachdeva

(Signed) _____

VERIFICATION

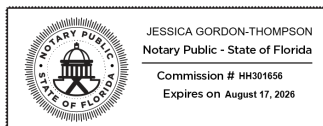
State of Florida
County of Orange

Subscribed in my presence and sworn to before me on this: 06/02/2025

J. Thompson

Notary Public

Notarized remotely online using communication technology via Proof.



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Thence N 03°00'40" E along said East right-of-way line of East Avenue South, 66.16 feet to the intersection of said East right-of-way line and the North right-of-way line of Winnebago Street; Thence N 89°00'13" E along said North right-of-way line, 263.08 feet to the point of beginning.

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The above referenced Resolution and relevant attachments may be examined in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for file 25-0483).

Dated this 29th day of April, 2025.

Per Order of the Common Council

Nikki Elsen

City Clerk of the City of

La Crosse, Wisconsin

5/15, 5/22, 5/29 LAC

COL-WI-101190 WNAXLP

If you want to speak on an agenda item, please sign up at least 10 minutes before the start of the meeting.

Registration slips are not collected once the meeting begins but will be made part of the record.

MEETING REGISTRATION

Name: Joe Ledvina Date: 6/5/25
PLEASE PRINT

Municipality of Residence: La Crosse

Representation: School District of La Crosse
If you are representing an organization or person other than yourself at this meeting.

Agenda Item #: 25-0483
Please fill out a separate sheet for each piece of legislation in which you are registering.

Do you support or oppose the agenda item?

- ☒ Support
☐ Oppose
☐ Neither support nor oppose

Do you want to speak?

- ☐ Yes, I want to speak.
☐ No, I do not want to speak.
☒ I do not want to speak, but I am available to answer questions.



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0501

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Resolution approving Certified Survey Map - Being all of block 8 of Salzer Terrace, a part of the vacated right-of-way of Winnebago Street, a part of the abandoned right-of-way of the former Green Bay and Western Railroad, and a part of the Hogan School Subdivision, located in part of the northwest 1/4 of the southwest 1/4 of Section 4, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way.

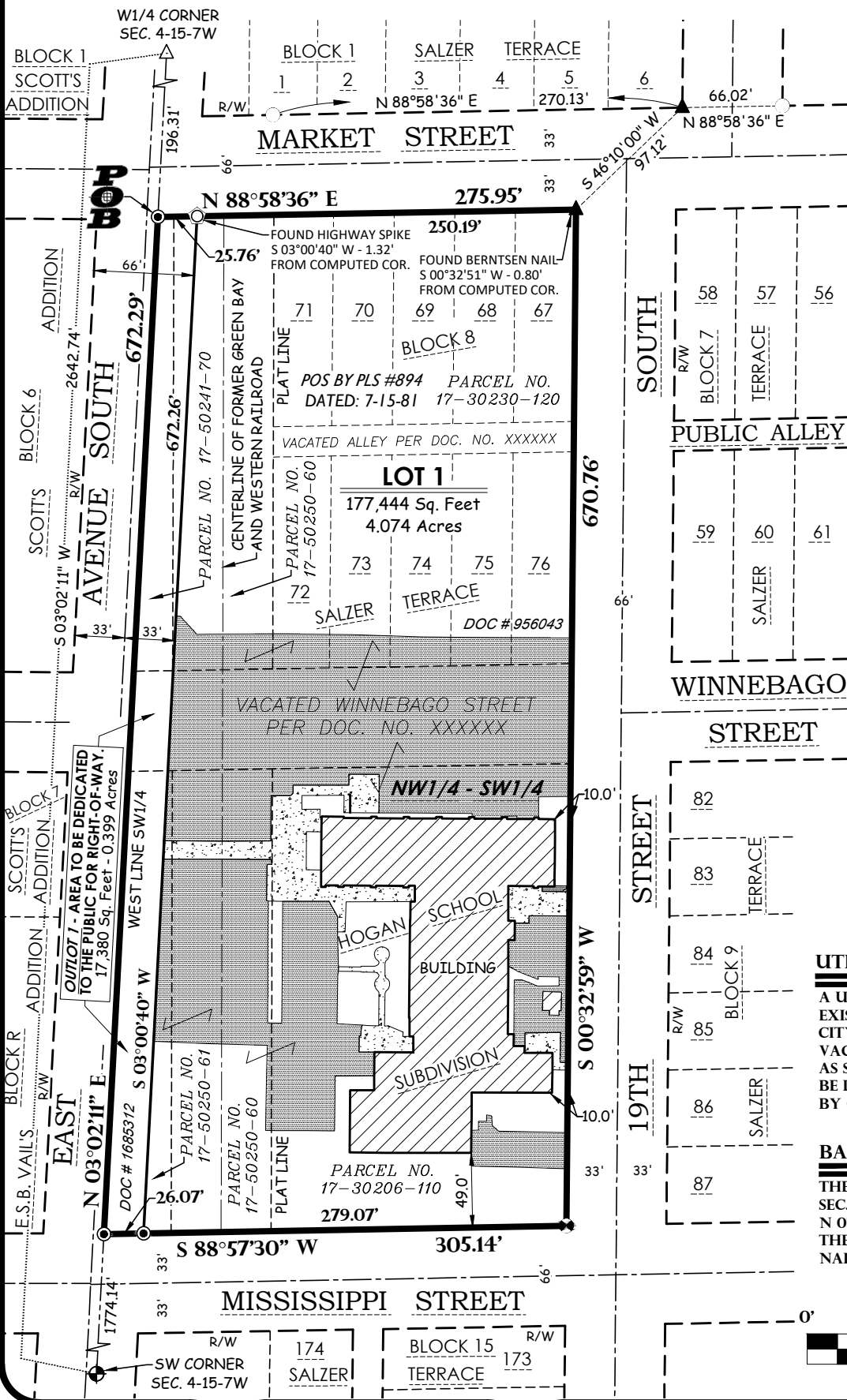
RESOLUTION

BE IT RESOLVED by the Common Council of the City of La Crosse that it hereby approves the Certified Survey Map - Being all of block 8 of Salzer Terrace, a part of the vacated right-of-way of Winnebago Street, a part of the abandoned right-of-way of the former Green Bay and Western Railroad, and a part of the Hogan School Subdivision, located in part of the northwest 1/4 of the southwest 1/4 of Section 4, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way.

BE IT FURTHER RESOLVED that the City Clerk and other required City staff or officers are authorized to sign said map after reports of full compliance have been received from the departments at the City and County of La Crosse who review said map as required by Municipal Code.

CERTIFIED SURVEY MAP

BEING ALL OF LOTS 67, 68, 69, 70, 71, 72, 73, 74, 75, AND 76 OF BLOCK 8 OF SALZER TERRACE, ALL OF THE VACATED ALLEY LYING WITHIN SAID BLOCK 8 OF SALZER TERRACE, A PART OF THE VACATED RIGHT-OF-WAY OF WINNEBAGO STREET, A PART OF THE ABANDONED RIGHT-OF-WAY OF THE FORMER GREEN BAY AND WESTERN RAILROAD, AND A PART OF THE HOGAN SCHOOL SUBDIVISION, ALL BEING LOCATED IN PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 15 NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.



LEGEND

- 3/4" X 18" IRON REBAR SET WEIGHING 150 LBS/LIN. FT.
- 1-1/4" O.D. IRON PIPE FOUND
- BERNTSEN NAIL FOUND
- COPPER NAIL FOUND
- PK NAIL FOUND
- HIGHWAY SPIKE FOUND
- SECTION CORNER PER TIES
- RECORDED AS
- ASPHALT AREA
- CONCRETE AREA



NOTE

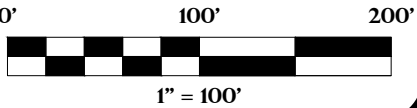
THIS MAP DOES NOT TRANSFER PROPERTY OWNERSHIP. SALE OR TRANSFER OF PROPERTY REQUIRES A RECORDED DEED, EXCEPTING PUBLIC DEDICATIONS.

UTILITY EASEMENT NOTE

A UTILITY EASEMENT FOR ANY EXISTING UTILITIES BY THE CITY OF LA CROSSE, OVER THE VACATED WINNEBAGO STREET AS SHOWN ON THIS MAP, WILL BE DESCRIBED AND RECORDED BY OTHER INSTRUMENT.

BASIS OF BEARINGS

THE WEST LINE OF THE SW1/4 OF SEC. 4, T.15N, R.7W, BEARS N 03°02'11"E AS REFERENCED TO THE LA CROSSE CO. CRD. SYSTEM, NAD83 (2011).



Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009
4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

FIELDWORK COMPLETED: 12/11/24
DRAWN: TDP CHECKED: JGB
FIELD BOOK: PAGE:
JOB NO: 24.4050

CLIENT / OWNER
SCHOOL DISTRICT OF
LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WI 54601
SHEET 1 OF 3

CERTIFIED SURVEY MAP

BEING ALL OF LOTS 67, 68, 69, 70, 71, 72, 73, 74, 75, AND 76 OF BLOCK 8 OF SALZER TERRACE, ALL OF THE VACATED ALLEY LYING WITHIN SAID BLOCK 8 OF SALZER TERRACE, A PART OF THE VACATED RIGHT-OF-WAY OF WINNEBAGO STREET, A PART OF THE ABANDONED RIGHT-OF-WAY OF THE FORMER GREEN BAY AND WESTERN RAILROAD, AND A PART OF THE HOGAN SCHOOL SUBDIVISION, ALL BEING LOCATED IN PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 15 NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

Surveyor's Certificate:

I, Jordan G. Brost, Professional Land Surveyor, hereby certify:

That I have surveyed, divided, dedicated and mapped all of Lots 67, 68, 69, 70, 71, 72, 73, 74, 75 and 76 of Block 8 of Salzer Terrace, all of the vacated alley lying within said Block 8 of Salzer Terrace, a part of the vacated right-of-way of Winnebago Street, a part of the abandoned right-of-way of the former Green Bay and Western Railroad, and a part of the Hogan School Subdivision, all being located in part of the Northwest 1/4 of the Southwest 1/4 of Section 4, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin.

Commencing at the West 1/4 corner of Section 4, Township 15 North, Range 7 West;

Thence S 03°02'11" W along the West line of the Southwest 1/4 of said Section 4, 196.31 feet to the intersection of said West line and the westerly extension of the South right-of-way line of Market Street, said point also being the Point of Beginning (POB) of the parcel to be described;

Thence N 88°58'36" E along said westerly extension line, the South right-of-way line of Market Street and the North line of Block 8 of Salzer Terrace, 275.95 feet to the Northeast corner of said Block 8 and the intersection of said South right-of-way line and the West right-of-way line of 19th Street South;

Thence S 00°32'59" W along the East line of said Block 8, the East line of the vacated right-of-way of Winnebago Street, the East line of the vacated alley within Block 8, the East line of the Hogan School Subdivision and said West right-of-way line of 19th Street South, 670.76 feet to the Southeast corner of said Hogan School Subdivision and the intersection of said West right-of-way line and the North right-of-way line of Mississippi Street;

thence S 88°57'30" W along the South line of said Hogan School Subdivision and said North right-of-way line, 305.14 feet to the intersection of said north right-of-way line and the West line of the Southwest 1/4 of said Section 4;

Thence N 03°02'11" E along said West line, 672.29 feet to the Point of Beginning.

Containing 194,824 Square Feet - 4.473 acres.

Subject to (if any) covenants, conditions, restrictions, right-of-ways and easements of record.

That I have made such survey, land division, and plat by the direction of the School District of La Crosse.
That such plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made.
That I have fully complied with Chapter A-E 7 of Wisconsin Administrative Code, minimum standards for property surveys, the provisions of Chapter 236.34 of the Wisconsin State Statutes and the Subdivision Ordinance of the City of La Crosse in surveying, dividing and mapping the same.

Dated this _____ day of _____, 2025.

Jordan G. Brost
PLS No. S-3009



Point of Beginning

Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009
4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

FIELDWORK COMPLETED: 12/11/24
DRAWN: TDP CHECKED: JGB
FIELD BOOK: _____ PAGE: _____
JOB NO: 24.4050

CLIENT / OWNER
SCHOOL DISTRICT OF
LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WI 54601
SHEET 2 OF 3

CERTIFIED SURVEY MAP

BEING ALL OF LOTS 67, 68, 69, 70, 71, 72, 73, 74, 75, AND 76 OF BLOCK 8 OF SALZER TERRACE, ALL OF THE VACATED ALLEY LYING WITHIN SAID BLOCK 8 OF SALZER TERRACE, A PART OF THE VACATED RIGHT-OF-WAY OF WINNEBAGO STREET, A PART OF THE ABANDONED RIGHT-OF-WAY OF THE FORMER GREEN BAY AND WESTERN RAILROAD, AND A PART OF THE HOGAN SCHOOL SUBDIVISION, ALL BEING LOCATED IN PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 15 NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

Owner's Certificate of Dedication

As owner, I hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the map. I also certify that this Certified Survey Map is required by s236.34 to be submitted to the following for approval or objections:

- 1) City of La Crosse, La Crosse County

Witness the hand and seal of said owner this day of , 2025.

Joe Ledvina - Director of Facilities, School District of La Crosse

STATE OF)

COUNTY OF)

Personally came before me this day of , 2025, the above named Joe Ledvina, Director of Facilities for the School District of La Crosse, to me known to be the person who executed the foregoing instrument and hereby acknowledge the same.

, Notary Public, (County) , (State). (Notary Seal)

My commission expires .

City of La Crosse Approval Certificate

Resolved, that this Certified Survey Map for the School District of La Crosse in the City of La Crosse, is hereby approved by the City of La Crosse.

Approved this day of , 2025.

City Clerk (Signature) Printed Name Date





CITY OF LA CROSSE, WISCONSIN
CERTIFIED SURVEY MAP SUBMITTAL & REVIEW CHECK LIST

Rev. 3/2024

_____ CSMs for lot splits into 3 parcels or more – CPC, J&A, Council Review & Approval
*Platting requirements must be waived. Chapter 113.

_____ CSMs for lot splits (2 parcels) or alterations Department Review Only. Sec. 101-3

Extra-Territorial Review: BEFORE FILING WITH THE CITY, you must have both Town and County approvals. The Plan Commission may not consider any land division which did not have prior approval by the approving authorities for both the Town(s) and La Crosse County.

Town Board Approved: _____ (date) La Crosse County Approved: _____ (date)

To be completed by property owner/surveyor with submittal (*incomplete checklist may cause a delay in the review):

Current Tax Parcel Number(s): 17-30230-120, 17-50250, 17-50241-70, 17-30206-110, 17-50250-60, 17-50250-61

Map ID / Location: School District of La Crosse Hogan Administrative Site at 807 East Avenue, La Crosse, WI.

Surveyor: Jordan Brost - Point of Beginning Phone No. 715-344-9999

Email: jordanb@pobinc.com

Property Owner: Joe Ledvina, Director of Facilities - School District of La Crosse Phone No. 608-789-7600

Email: jledvina@lacrossesd.org

****Circle who should be called when CSM is ready for pick up – Surveyor or Property Owner.**

I am the property owner of record, and I approve of this CSM: see attached email
(property owner signature)

***In lieu of owner's signature on this submittal checklist, you may provide written communication from property owner.**

Purpose of CSM and intended outcome (or attach a letter explaining): To combine the parcels listed above into one parcel and to dedicate a strip of land to the public.

Have you worked with any other Department/staff person with regard to this CSM? If so, who?

Yes, we have been in discussions with the city engineering and planning departments.

Have you received any other decision with regard to this CSM from any City board, commission or committee?

If so, which one and when? No

To be completed by City Clerk at time of filing:

4/22/2025 Original Document for Signature. (Clerk will make a photocopy which is distributed for review.)

4/22/2025 Review Fee (cash, check payable to City of La Crosse or credit card with convenience fee)
\$300.00 – First Application
\$150.00 – Reapplication of the same CSM

4/23/2025 Internal Review Routing & Email to County Surveyor. (Initiated by Clerk with complete filing.)

_____ Original CSM Issued. (Upon approval, the original will be signed and available for pick up.)

Craig, Sondra

From: Joe Ledvina <jledvina@lacrossesd.org>
Sent: Wednesday, April 23, 2025 1:09 PM
To: Craig, Sondra
Cc: melissak@pobinc.com
Subject: CSM New Elementary School

*** **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. ***

Sondra,

Please know the School District of La Crosse approve of the submittal of the CSM for the new School Site.
Please confirm receipt of this email. Thank you and have a great day.

--

Joe Ledvina
School District of La Crosse
Director of Facilities
807 East Avenue South
La Crosse, Wisconsin 54601
Phone (608) 789-7627
Fax (608) 789-8479

To be completed by each Reviewing Department before the City Clerk will sign.

FIRE DEPARTMENT – COMMUNITY RISK MANAGEMENT

This Certified Survey Map is hereby approved by the Chief Inspector.

Dated this _____ day of _____, 20__.

Chief Inspector

Comments: _____

CITY UTILITIES (WATER – STORM – SEWER)

This Certified Survey Map is hereby approved by the City Utilities Office.

Dated this _____ day of _____, 20__.

Water ☐ Storm ☐ Sewer ☐

Utilities Office

Comments: _____

ASSESSOR APPROVAL

This Certified Survey Map is hereby approved by the Assessor.

Dated this _____ day of _____, 20__.

Assessor

Comments: _____

ENGINEERING DEPARTMENT APPROVAL

This Certified Survey Map is hereby approved by the City Surveyor.

Dated this _____ day of _____, 20__.

Engineering/Surveyor

Comments: _____

PLANNING DEPARTMENT APPROVAL

This Certified Survey Map is hereby approved by the Planning Department.

Dated this _____ day of _____, 20__.

Planner

Comments: _____

COMMON COUNCIL APPROVAL

Resolved that this Certified Survey Map is hereby approved by the Common Council of the City of La Crosse.

Dated this _____ day of _____, 20__.

Mayor (required only if signing off prior to expiration of veto period)

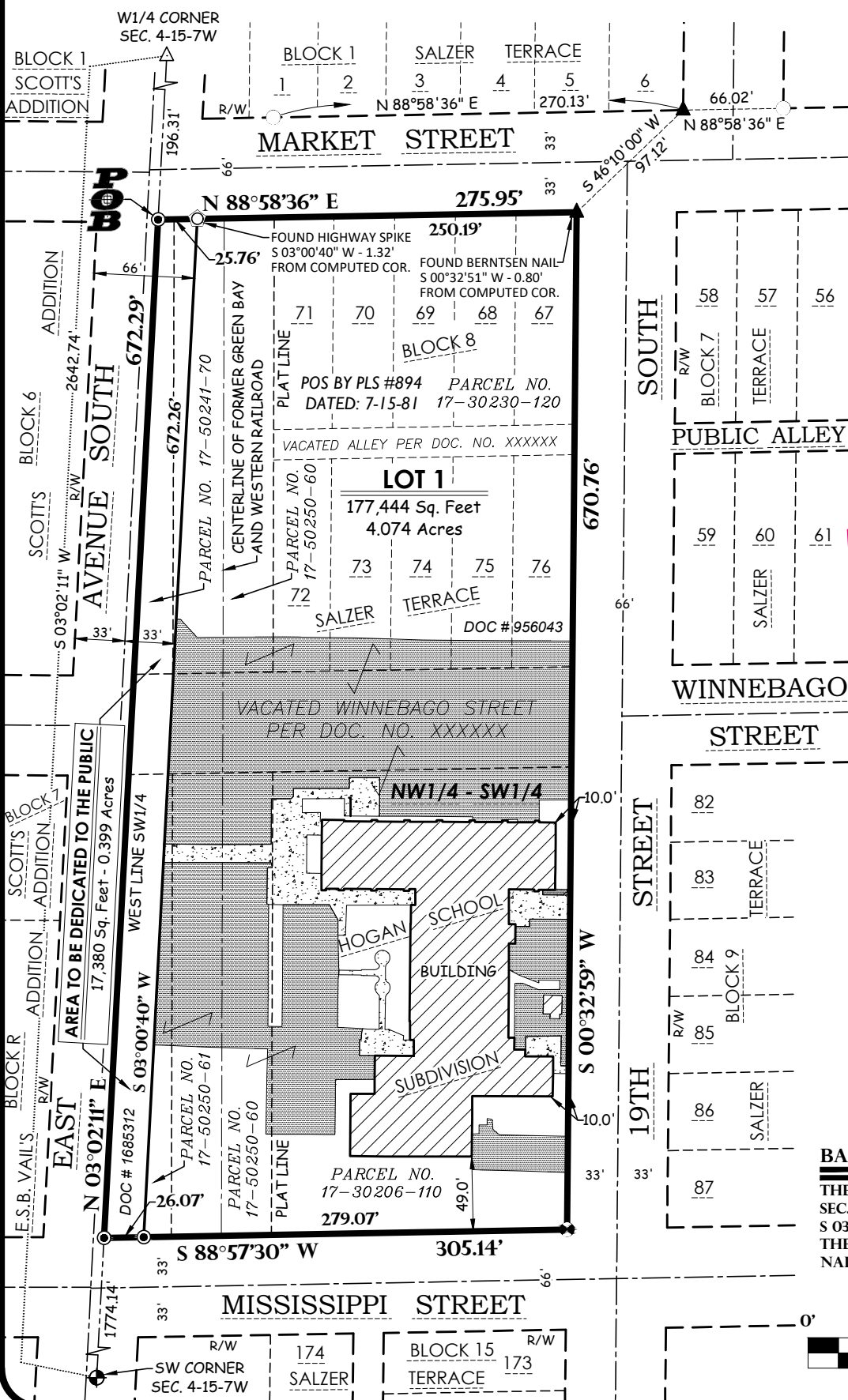
I hereby certify that the foregoing is a copy of a resolution adopted by the Common Council of the City of La Crosse.

Dated this _____ day of _____, 20__.

City Clerk

CERTIFIED SURVEY MAP

BEING ALL OF BLOCK 8 OF SALZER TERRACE, A PART OF THE VACATED RIGHT-OF-WAY OF WINNEBAGO STREET, A PART OF THE ABANDONED RIGHT-OF-WAY OF THE FORMER GREEN BAY AND WESTERN RAILROAD, AND A PART OF THE HOGAN SCHOOL SUBDIVISION, LOCATED IN PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 15 NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.



LEGEND

- 3/4" X 18" IRON REBAR SET WEIGHING 150 LBS/LIN. FT.
- 1-1/4" O.D. IRON PIPE FOUND
- BERNTSEN NAIL FOUND
- COPPER NAIL FOUND
- PK NAIL FOUND
- HIGHWAY SPIKE FOUND
- SECTION CORNER PER TIES
- RECORDED AS
- ASPHALT AREA
- CONCRETE AREA

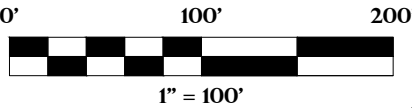


NOTE

THIS MAP DOES NOT TRANSFER PROPERTY OWNERSHIP. SALE OR TRANSFER OF PROPERTY REQUIRES A RECORDED DEED, EXCEPTING PUBLIC DEDICATIONS.

BASIS OF BEARINGS

THE WEST LINE OF THE SW1/4 OF SEC. 4, T.15N, R.7W, BEARS S 03°02'11"E AS REFERENCED TO THE LA CROSSE CO. CRD. SYSTEM, NAD83 (2011).



Point of Beginning

Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009
4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

FIELDWORK COMPLETED: 12/11/24
DRAWN: TDP CHECKED: JGB
FIELD BOOK: PAGE:
JOB NO: 24.4050

CLIENT / OWNER
SCHOOL DISTRICT OF
LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WI 54601
SHEET 1 OF 3

CERTIFIED SURVEY MAP

BEING ALL OF BLOCK 8 OF SALZER TERRACE, A PART OF THE VACATED RIGHT-OF-WAY OF WINNEBAGO STREET, A PART OF THE ABANDONED RIGHT-OF-WAY OF THE FORMER GREEN BAY AND WESTERN RAILROAD, AND A PART OF THE HOGAN SCHOOL SUBDIVISION, LOCATED IN PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 15 NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

Surveyor's Certificate:

I, Jordan G. Brost, Professional Land Surveyor, hereby certify:

That I have surveyed, divided, dedicated and mapped all of Block 8 of Salzer Terrace, a part of the vacated right-of-way of Winnebago Street, a part of the abandoned right-of-way of the former Green Bay and Western Railroad, and a part of the Hogan School Subdivision, located in part of the Northwest 1/4 of the Southwest 1/4 of Section 4, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin.

Commencing at the West 1/4 corner of Section 4, Township 15 North, range 7 West;

Thence S 03°02'11" W along the West line of the Southwest 1/4 of said Section 4, 196.31 feet to the intersection of said West line and the westerly extension of the South right-of-way line of Market Street, said point also being the Point of Beginning (POB) of the parcel to be described;

Thence N 88°58'36" E along said westerly extension line, the South right-of-way line of Market Street and the North line of Block 8 of Salzer Terrace, 275.95 feet to the Northeast corner of said Block 8 and the intersection of said South right-of-way line and the West right-of-way line of 19th Street South;

Thence S 00°32'59" W along the East line of said Block 8, the East line of the vacated right-of-way of Winnebago Street, the East line of the vacated alley within Block 8, the East line of the Hogan School Subdivision and said West right-of-way line of 19th Street South, 670.76 feet to the Southeast corner of said Hogan School Subdivision and the intersection of said West right-of-way line and the North right-of-way line of Mississippi Street;

thence S 88°57'30" W along the South line of said Hogan School Subdivision and said North right-of-way line, 305.14 feet to the intersection of said north right-of-way line and the West line of the Southwest 1/4 of said Section 4;

Thence N 03°02'11" E along said West line, 672.26 feet to the Point of Beginning.

Containing 179,182 Square Feet - 4.473 acres.

Subject to (if any) covenants, conditions, restrictions, right-of-ways and easements of record.

That I have made such survey, land division, dedication and plat by the direction of the School District of La Crosse. That such plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made. That I have fully complied with Chapter A-E 7 of Wisconsin Administrative Code, minimum standards for property surveys, the provisions of Chapter 236.34 of the Wisconsin State Statutes and the Subdivision Ordinance of the City of La Crosse in surveying, dividing and mapping the same.

Dated this _____ day of _____, 2025.

Jordan G. Brost
PLS No. S-3009



Point of Beginning

Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009
4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

FIELDWORK COMPLETED: 12/11/24
DRAWN: TDP CHECKED: JGB
FIELD BOOK: _____ PAGE: _____
JOB NO: 24.4050

CLIENT / OWNER
SCHOOL DISTRICT OF
LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WI 54601
SHEET 2 OF 3

CERTIFIED SURVEY MAP

BEING ALL OF BLOCK 8 OF SALZER TERRACE, A PART OF THE VACATED RIGHT-OF-WAY OF WINNEBAGO STREET, A PART OF THE ABANDONED RIGHT-OF-WAY OF THE FORMER GREEN BAY AND WESTERN RAILROAD, AND A PART OF THE HOGAN SCHOOL SUBDIVISION, LOCATED IN PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 15 NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

Owner's Certificate of Dedication

As owner, I hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the map. I also certify that this Certified Survey Map is required by s236.34 to be submitted to the following for approval or objections:

- 1) City of La Crosse, La Crosse County

Witness the hand and seal of said owner this day of , 2025.

Joe Ledvina - Director of Facilities, School District of La Crosse

STATE OF)

COUNTY OF)

Personally came before me this day of , 2025, the above named Joe Ledvina, Director of Facilities for the School District of La Crosse, to me known to be the person who executed the foregoing instrument and hereby acknowledge the same.

, Notary Public, (County) , (State). (Notary Seal)

My commission expires .

City of La Crosse Approval Certificate

Resolved, that this Certified Survey Map for the School District of La Crosse in the City of La Crosse, is hereby approved by the City of La Crosse.

Approved this day of , 2025.

City Clerk (Signature) Printed Name Date



Craig, Sondra

From: Dale Hewitt <DHewitt@lacrossecounty.org>
Sent: Friday, April 25, 2025 1:16 PM
To: Craig, Sondra; Coman, Kyle; Bryan Meyer
Subject: La Crosse County Assistant County Surveyor - Proposed CSM 2025-18 La Crosse School District
Attachments: 2025-18 School District of La Crosse-Inverse With Area - Corrected.txt

*** **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. ***

Good afternoon Sondra,

See comments below regarding the proposed La Crosse School District CSM.

1. Please list all lots located in Block 8 in the CSM caption and the Surveyor's Certificate.
2. Please include the document number for that portion of vacated Winnebago Stret and alley.
3. Please verify the overall distance of the line bearing N 03°02'11" E 672.29' The legal calls for 672.26' while the map depicts 672.29'. Attached is a closure sheet based on the dimension being 672.29'
4. Please verify the square footage of the overall CSM and Lot 1.
5. Please label the area to be dedicated to the public as Outlot 1. This designation will assist the Real Property Lister when assigning a description to the parcel.

Feel free to contact me with any additional questions you may have.

Thank you,

Dale

Dale E. Hewitt - PLS 4062

La Crosse County Assistant County Surveyor
212 6th Street North, Room 1200
La Crosse, Wisconsin 54601
Phone 608-785-9626

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Wednesday, April 23, 2025 2:14 PM
To: Acklin, Tim <Acklint@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Crandall, Jay <CrandallJ@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Gallagher, Matthew <gallagerm@cityoflacrosse.org>; Holland, Michelle <hollandm@cityoflacrosse.org>; Neumann, Shannon <Neumanns@cityoflacrosse.org>; Reinhart, David <Reinhartd@cityoflacrosse.org>; Trane, Andrea <tranea@cityoflacrosse.org>; Dale Hewitt <DHewitt@lacrossecounty.org>; Bryan Meyer <bmeyer@lacrossecounty.org>
Subject: For Review: CSM - Hogan Administrative Site

Good afternoon,

Attached for your review is a Certified Survey Map for the Hogan Administrative Site, parcels 17-30230-120, 17-30206-10, 17-50250-60, 17-50250-61, and 17-50241-70. This CSM will be going before Council for approval as it dedicates right-of-way and related is a street and alley vacation; both the CSM and the vacation will be routed through Council and committees in a couple months.

Please let me know if you approve of the CSM or if you have any comments for me to pass on to the applicant & surveyor.

Thank you,

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office

City of La Crosse

400 La Crosse Street

La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

Visit the City Clerk webpage: <https://www.cityoflacrosse.org/your-government/departments/city-clerk>

City Clerk's Office hours: 8:00 a.m. to 4:30 p.m., Monday through Friday

Public Service hours 8:00 a.m. to 4:00 p.m. Monday through Thursday in the City Hall Lobby

Elected Officials and Members of Official Committees:

In order to comply with open meeting requirements, please limit any reply to only the sender of this electronic communication.

PRIVATE AND CONFIDENTIAL

This e-mail and attachments are intended for the addressed recipient only. If you are not the correct recipient please notify the sender of the delivery error and delete this message. Improper disclosure, copying, distribution, retransmission, or use of information from this e-mail is Prohibited, and may result in liability and damages for misuse of this information.

Craig, Sondra

From: Neumann, Shannon
Sent: Thursday, April 24, 2025 9:37 AM
To: Craig, Sondra
Subject: RE: For Review: CSM - Hogan Administrative Site
Attachments: CSM & Submittal Checklist - 4.22.2025 - Hogan Admin Site.pdf

Sondra, I approve.

Shannon L. Neumann

Chief City Assessor

City of La Crosse Assessor's Office
400 La Crosse St. 54601
608-789-7525 Main | 608-789-7544 Office
neumanns@cityoflacrosse.org
www.cityoflacrosse.org

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Thursday, April 24, 2025 9:10 AM
To: Neumann, Shannon <Neumanns@cityoflacrosse.org>
Subject: RE: For Review: CSM - Hogan Administrative Site

Yes, I have that tax parcel listed in my email. They had it incorrectly noted on their application.

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office
City of La Crosse
400 La Crosse Street
La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

From: Neumann, Shannon <Neumanns@cityoflacrosse.org>
Sent: Thursday, April 24, 2025 9:08 AM
To: Craig, Sondra <craigs@cityoflacrosse.org>
Subject: RE: For Review: CSM - Hogan Administrative Site

Sondra, I believe tax key 17-30206-110 should be 807 East Ave S 17-30206-010 where the buildings are located.

Shannon L. Neumann

Chief City Assessor

City of La Crosse Assessor's Office
400 La Crosse St. 54601
608-789-7525 Main | 608-789-7544 Office
neumanns@cityoflacrosse.org

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Thursday, April 24, 2025 8:51 AM
To: Neumann, Shannon <Neumanns@cityoflacrosse.org>
Subject: RE: For Review: CSM - Hogan Administrative Site

They wrote that number twice (without the last couple digits). Only the parcels I listed are part of the CSM that they submitted.

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office
City of La Crosse
400 La Crosse Street
La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

From: Neumann, Shannon <Neumanns@cityoflacrosse.org>
Sent: Thursday, April 24, 2025 8:49 AM
To: Craig, Sondra <craigs@cityoflacrosse.org>
Subject: RE: For Review: CSM - Hogan Administrative Site

Sondra, if you were not aware the highlighted tax key is incomplete.

leted by property owner/surveyor with submittal (*incomplete checklist may cause a dela

Parcel Number(s): 17-30230-120, 17-50250, 17-50241-70, 17-30206-110, 17-50250-60, 17-

cation: School District of La Crosse Hogan Administrative Site at 807 East Avenue, I

ordan Brost - Point of Beginning Phone No. 715-344

Email: jordanb@pobinc.com

wner: Joe Ledvina, Director of Facilities - School District of La Crosse Phone No. 608-789

Email: jledvina@lacrossesd.org

Shannon L. Neumann
Chief City Assessor
City of La Crosse Assessor's Office

400 La Crosse St. 54601
608-789-7525 Main | 608-789-7544 Office
neumanns@cityoflacrosse.org
www.cityoflacrosse.org

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Wednesday, April 23, 2025 2:14 PM
To: Acklin, Tim <Acklint@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Crandall, Jay <CrandallJ@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Gallagher, Matthew <gallagerm@cityoflacrosse.org>; Holland, Michelle <hollandm@cityoflacrosse.org>; Neumann, Shannon <Neumanns@cityoflacrosse.org>; Reinhart, David <Reinhartd@cityoflacrosse.org>; Trane, Andrea <tranea@cityoflacrosse.org>; Hewitt, Dale <DHewitt@lacrossecounty.org>; Meyer, Bryan <bmeyer@lacrossecounty.org>
Subject: For Review: CSM - Hogan Administrative Site

Good afternoon,

Attached for your review is a Certified Survey Map for the Hogan Administrative Site, parcels 17-30230-120, 17-30206-10, 17-50250-60, 17-50250-61, and 17-50241-70. This CSM will be going before Council for approval as it dedicates right-of-way and related is a street and alley vacation; both the CSM and the vacation will be routed through Council and committees in a couple months.

Please let me know if you approve of the CSM or if you have any comments for me to pass on to the applicant & surveyor.

Thank you,

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office

City of La Crosse

400 La Crosse Street

La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

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Elected Officials and Members of Official Committees:

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Craig, Sondra

From: Reinhart, David
Sent: Thursday, April 24, 2025 8:40 AM
To: Craig, Sondra
Subject: RE: For Review: CSM - Hogan Administrative Site

Conditionally approved based on the vacation being approved.

Thanks,

David Reinhart

Chief Building Inspector

Building & Inspections

400 La Crosse St., La Crosse, WI 54601

Office: 608-789-7564

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Wednesday, April 23, 2025 2:14 PM
To: Acklin, Tim <Acklint@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Crandall, Jay <CrandallJ@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Gallagher, Matthew <gallagerm@cityoflacrosse.org>; Holland, Michelle <hollandm@cityoflacrosse.org>; Neumann, Shannon <Neumanns@cityoflacrosse.org>; Reinhart, David <Reinhartd@cityoflacrosse.org>; Trane, Andrea <tranea@cityoflacrosse.org>; Hewitt, Dale <DHewitt@lacrossecounty.org>; Meyer, Bryan <bmeyer@lacrossecounty.org>
Subject: For Review: CSM - Hogan Administrative Site

Good afternoon,

Attached for your review is a Certified Survey Map for the Hogan Administrative Site, parcels 17-30230-120, 17-30206-10, 17-50250-60, 17-50250-61, and 17-50241-70. This CSM will be going before Council for approval as it dedicates right-of-way and related is a street and alley vacation; both the CSM and the vacation will be routed through Council and committees in a couple months.

Please let me know if you approve of the CSM or if you have any comments for me to pass on to the applicant & surveyor.

Thank you,

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office

City of La Crosse

400 La Crosse Street

La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

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Craig, Sondra

From: Coman, Kyle
Sent: Friday, April 25, 2025 3:00 PM
To: Jordan G. Brost
Cc: Craig, Sondra
Subject: FW: Proposed CSM-La Crosse School District
Attachments: 2025-18 School District of La Crosse-Inverse With Area - Corrected.txt

Hi Jordan,

In addition to addressing the County Surveyor's comments (below), please address the following as well.

1. Please add "for right-of-way" to the dedication note.
2. Correct the basis of bearing to read "**N** 03°02'11" E.
3. Capitalize "range" in "Commencing at the..." on sheet 2.
4. Consider removing the word "dedicated" from the Surveyor's Certificate. I am split on this, but my thought is the owner is technically dedicating the land. The surveyor prepared the map expressing the owner's intent to dedicate. Thoughts?

Regarding County comment #2; once conditions have been met to allow recording of the vacation, the document number can be added. Also, I am not sure how the City wants to proceed in being granted the utility easement (via this CSM or another instrument). I will continue to be in communication. Feel free to let me know of any questions.

Have a good weekend.

Kyle Coman, PLS

City Surveyor & Construction Manager
Engineering Department
City of La Crosse
400 La Crosse Street
La Crosse, WI 54601

comank@cityoflacrosse.org

Office: 608.789.7366

Cell: 608.790.0309

From: Dale Hewitt <DHewitt@lacrossecounty.org>
Sent: Friday, April 25, 2025 1:16 PM
To: Craig, Sondra <craigs@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Bryan Meyer <bmeyer@lacrossecounty.org>
Subject: La Crosse County Assistant County Surveyor - Proposed CSM 2025-18 La Crosse School District

*** **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. ***

Good afternoon Sondra,

See comments below regarding the proposed La Crosse School District CSM.

1. Please list all lots located in Block 8 in the CSM caption and the Surveyor's Certificate.
2. Please include the document number for that portion of vacated Winnebago Street and alley.
3. Please verify the overall distance of the line bearing N 03°02'11" E 672.29' The legal calls for 672.26' while the map depicts 672.29'. Attached is a closure sheet based on the dimension being 672.29'
4. Please verify the square footage of the overall CSM and Lot 1.
5. Please label the area to be dedicated to the public as Outlot 1. This designation will assist the Real Property Lister when assigning a description to the parcel.

Feel free to contact me with any additional questions you may have.

Thank you,

Dale

Dale E. Hewitt - PLS 4062

La Crosse County Assistant County Surveyor
212 6th Street North, Room 1200
La Crosse, Wisconsin 54601
Phone 608-785-9626

From: Craig, Sondra <craigs@cityoflacrosse.org>

Sent: Wednesday, April 23, 2025 2:14 PM

To: Acklin, Tim <Acklint@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Crandall, Jay <CrandallJ@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Gallagher, Matthew <gallagerm@cityoflacrosse.org>; Holland, Michelle <hollandm@cityoflacrosse.org>; Neumann, Shannon <Neumanns@cityoflacrosse.org>; Reinhart, David <Reinhartd@cityoflacrosse.org>; Trane, Andrea <tranea@cityoflacrosse.org>; Dale Hewitt <DHewitt@lacrossecounty.org>; Bryan Meyer <bmeyer@lacrossecounty.org>

Subject: For Review: CSM - Hogan Administrative Site

Good afternoon,

Attached for your review is a Certified Survey Map for the Hogan Administrative Site, parcels 17-30230-120, 17-30206-10, 17-50250-60, 17-50250-61, and 17-50241-70. This CSM will be going before Council for approval as it dedicates right-of-way and related is a street and alley vacation; both the CSM and the vacation will be routed through Council and committees in a couple months.

Please let me know if you approve of the CSM or if you have any comments for me to pass on to the applicant & surveyor.

Thank you,

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office

City of La Crosse

400 La Crosse Street
La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

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Craig, Sondra

From: Coman, Kyle
Sent: Tuesday, May 13, 2025 10:34 AM
To: Craig, Sondra
Subject: Hogan Admin Site CSM
Attachments: Prelim CSM Hogan Admin Center dated 5-12-25.pdf

Hi Sondra,

I have been working directly with the surveyor regarding some minor revisions. Attached is the latest CSM. This version is approved for Engineering.

Thank you!

Kyle Coman, PLS

City Surveyor & Construction Manager
Engineering Department
City of La Crosse
400 La Crosse Street
La Crosse, WI 54601

comank@cityoflacrosse.org

Office: 608.789.7366

Cell: 608.790.0309

Craig, Sondra

From: Dale Hewitt <DHewitt@lacrossecounty.org>
Sent: Tuesday, May 13, 2025 1:25 PM
To: Craig, Sondra; Bryan Meyer
Subject: La Crosse County Assistant County Surveyor - Proposed CSM 2025-18 La Crosse School District

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Good afternoon Sondra,

We have no concerns regarding the proposed La Crosse School District CSM.

Thank you,

Dale

Dale E. Hewitt - PLS 4062

La Crosse County Assistant County Surveyor
212 6th Street North, Room 1200
La Crosse, Wisconsin 54601
Phone 608-785-9626

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Tuesday, May 13, 2025 10:41 AM
To: Dale Hewitt <DHewitt@lacrossecounty.org>; Bryan Meyer <bmeyer@lacrossecounty.org>
Subject: RE: La Crosse County Assistant County Surveyor - Proposed CSM 2025-18 La Crosse School District

Good morning,

Attached is a revised CSM that we received today. Please let me know if you approve or have any additional comments.

Thank you,

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office
City of La Crosse
400 La Crosse Street
La Crosse WI 54601

craigs@cityoflacrosse.org

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8:00 a.m. to 2:00 p.m., Friday

Public Service (walk in) hours 8:00 a.m. to 4:00 p.m. Monday through Thursday in the City Hall Lobby

From: Dale Hewitt <DHewitt@lacrossecounty.org>

Sent: Friday, April 25, 2025 1:16 PM

To: Craig, Sondra <craigs@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Bryan Meyer <bmeyer@lacrossecounty.org>

Subject: La Crosse County Assistant County Surveyor - Proposed CSM 2025-18 La Crosse School District

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Dale

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212 6th Street North, Room 1200
La Crosse, Wisconsin 54601
Phone 608-785-9626

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Sent: Wednesday, April 23, 2025 2:14 PM

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Subject: For Review: CSM - Hogan Administrative Site

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Please let me know if you approve of the CSM or if you have any comments for me to pass on to the applicant & surveyor.

Thank you,

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office

City of La Crosse

400 La Crosse Street

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Craig, Sondra

From: Erickson, Tina
Sent: Monday, May 19, 2025 3:43 PM
To: Craig, Sondra; Asp, Brian
Subject: RE: For Review: CSM - Hogan Administrative Site

Utilities approve.

Sincerely,

Tina Erickson

Utilities Finance & Compliance Manager

La Crosse Utilities (Water – Sewer - Storm)
City of La Crosse
400 La Crosse Street
La Crosse, WI 54601

Office: 608.789.7520

Cell: 608.860.0981

Alternate Email: utilities@cityoflacrosse.org

Webpage: www.cityoflacrosse.org/utilities

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Wednesday, May 14, 2025 11:23 AM
To: Asp, Brian <aspb@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>
Subject: RE: For Review: CSM - Hogan Administrative Site

Good morning,

Attached is a revised CSM for the Hogan Admin Site. Please let me know if you approve or have any comments. The CSM is dedicating some right-of-way and is scheduled for the June cycle of meetings (CPC on 6/2, J&A on 6/3, and then Council on 6/12 for final approval).

Thank you,

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office
City of La Crosse
400 La Crosse Street
La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

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Sent: Wednesday, April 23, 2025 2:14 PM

To: Acklin, Tim <Acklint@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Crandall, Jay <CrandallJ@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Gallager, Matthew <gallagerm@cityoflacrosse.org>; Holland, Michelle <hollandm@cityoflacrosse.org>; Neumann, Shannon <Neumanns@cityoflacrosse.org>; Reinhart, David <Reinhartd@cityoflacrosse.org>; Trane, Andrea <tranea@cityoflacrosse.org>; Hewitt, Dale <DHewitt@lacrossecounty.org>; Meyer, Bryan <bmeyer@lacrossecounty.org>

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Agenda Item 25-0501: (Jenna Dinkel)

Certified Survey Map - Being all of block 8 of Salzer Terrace, a part of the vacated right-of-way of Winnebago Street, a part of the abandoned right-of-way of the former Green Bay and Western Railroad, and a part of the Hogan School Subdivision, located in part of the northwest 1/4 of the southwest 1/4 of Section 4, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way.

General Location

Council District 7, Weigent Hogan Neighborhood Association. Located on the Market and Mississippi between East Ave and 19th St. The property is surrounded by R1 – Single Family and R2 – Residence District.

Background Information

The School District of La Crosse has submitted a Certified Survey Map to combine parcels on the 1800 block of Winnebago into one parcel and to dedicate the sidewalk and boulevard area as public right-of-way. The School District is combining parcels at the Hogan Administration site in order to construct a new elementary school.

Recommendation of Other Boards and Commissions.

This Certified Survey Map (CSM) was approved internally by Building and Inspections, Assessors, Engineering and Utilities provided the alley vacation (25-0483) is also approved.

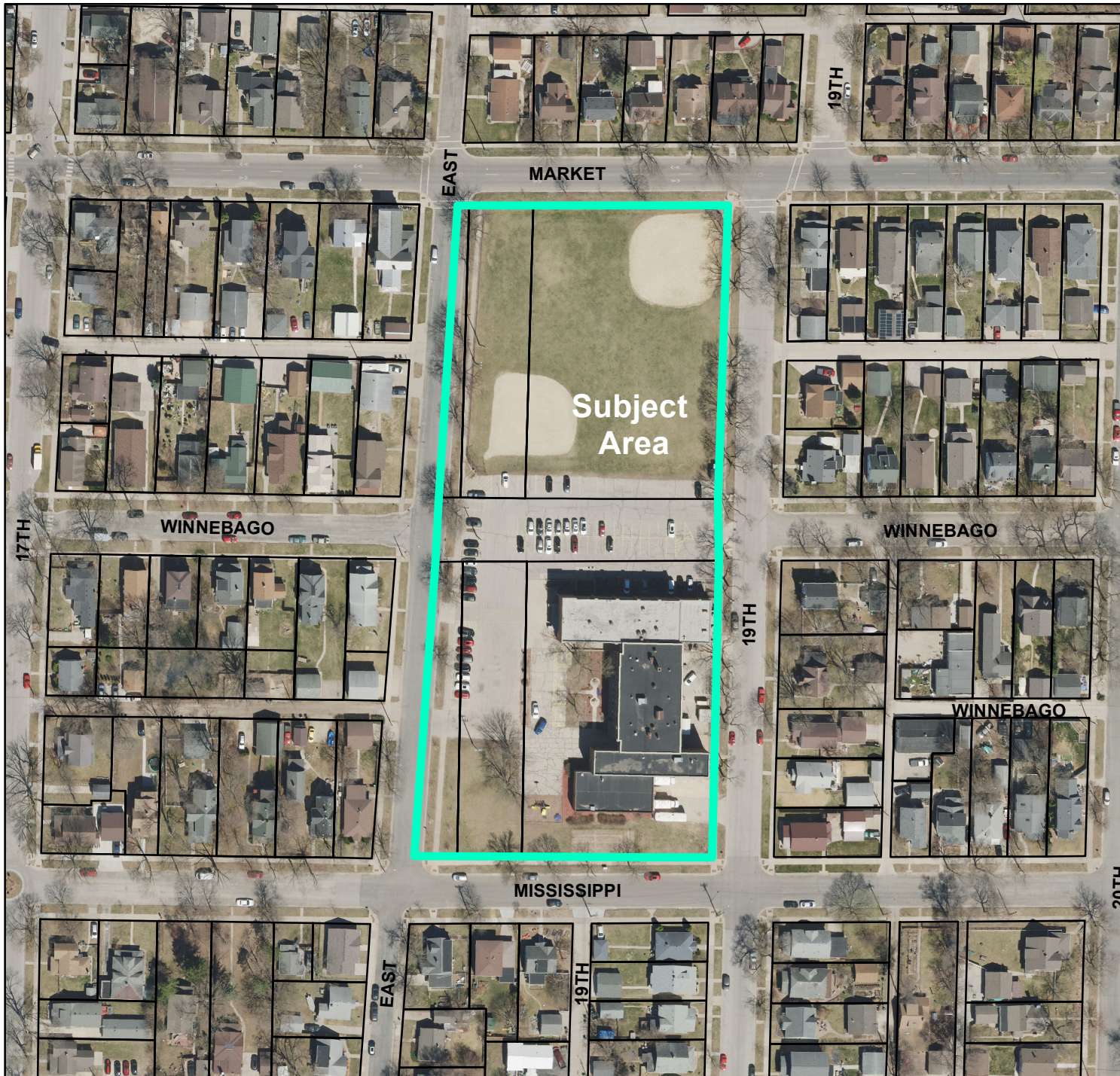
Consistency with Adopted Comprehensive Plan

This parcel falls within the Weigent Hogan Neighborhood which identifies institutional as an allowable land use. Institutional use includes schools, civic buildings, and not-for-profits. The use as an elementary school at this location is consistent with the Comprehensive Plan.

Staff Recommendation

Approval – Staff recommends approval.

Routing J&A 6.3.25

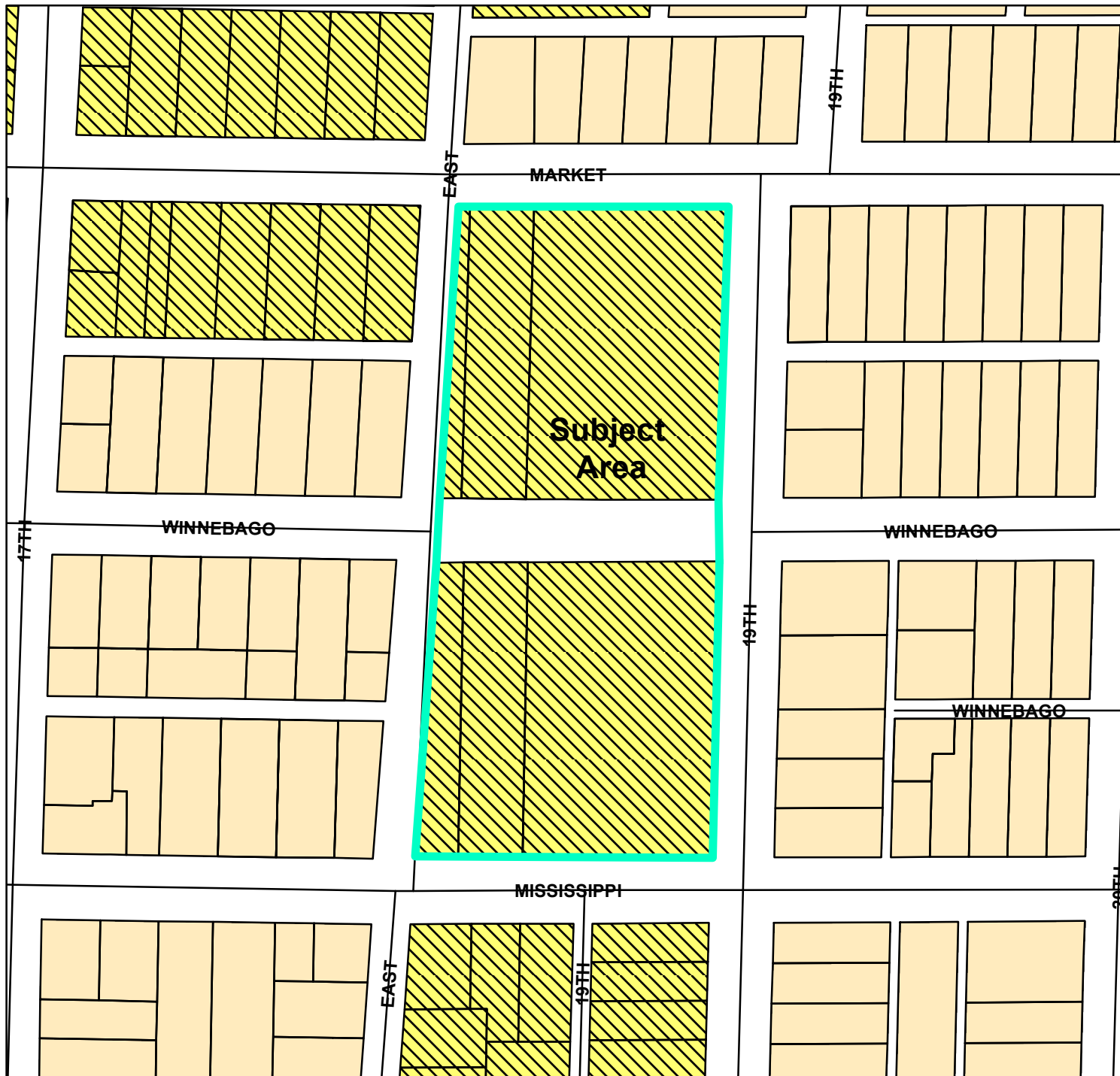


BASIC ZONING DISTRICTS

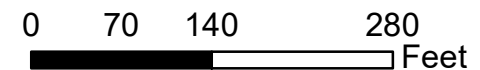
	R1 - SINGLE FAMILY
	R2 - RESIDENCE
	WR - WASHBURN RES
	R3 - SPECIAL RESIDENCE
	R4 - LOW DENSITY MULTI
	R5 - MULTIPLE DWELLING
	R6 - SPECIAL MULTIPLE
	PD- PLANNED DEVELOP
	TND - TRAD NEIGH DEV.
	C1 - LOCAL BUSINESS
	C2 - COMMERCIAL
	C3 - COMMUNITY BUSINESS
	M1 - LIGHT INDUSTRIAL
	M2 - HEAVY INDUSTRIAL
	PS - PUBLIC & SEMI-PUBLIC
	PL - PARKING LOT
	UT - PUBLIC UTILITY
	CON - CONSERVANCY
	FW - FLOODWAY
	A1 - AGRICULTURAL
	EA - EXCLUSIVE AG
	City Limits
	SUBJECT PROPERTY



0 70 140 280 Feet



BASIC ZONING DISTRICTS



If you want to speak on an agenda item, please sign up at least 10 minutes before the start of the meeting.

Registration slips are not collected once the meeting begins but will be made part of the record.

MEETING REGISTRATION

Name: Joe Ledvina Date: 6/4/25
PLEASE PRINT

Municipality of Residence: LaCrosse

Representation: School District of LaCrosse
If you are representing an organization or person other than yourself at this meeting.

Agenda Item #: 25-0501, 25-0526
Please fill out a separate sheet for each piece of legislation in which you are registering.

Do you support or oppose the agenda item?

- ☒ Support
☐ Oppose
☐ Neither support nor oppose

Do you want to speak?

- ☐ Yes, I want to speak.
☐ No, I do not want to speak.
☒ I do not want to speak, but I am available to answer questions.



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0518

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Resolution approving Application of Householder Taverns LLC dba Bennett O'Riley's South La Crosse for Expansion of Alcohol Beverage License for a special event at 4329 Mormon Coulee Road on June 28, 2025.

RESOLUTION

BE IT RESOLVED by the Common Council of the City of La Crosse that Householder Taverns LLC dba Bennett O'Riley's South La Crosse, the holder of a Combination "Class B" Beer and Liquor License, located at 4329 Mormon Coulee Road, is hereby authorized to expand its premises in, accordance with the application on file with the City Clerk, for a special event on June 28, 2025.

BE IT FURTHER RESOLVED that such permission to expand the premises shall be in compliance with any and all state and local regulations including those of La Crosse County Health Department, Fire Department, Building & Inspections Department, and Police Department.

June

4/2022



City of La Crosse, Wisconsin

APPLICATION FOR EXPANSION OF ALCOHOL BEVERAGE LICENSE

*Must be filed in conjunction with a Special Event Application.

Fee: \$ 150

The undersigned licensee requests permission to expand the following license(s) onto private property for the purpose set forth below. Check all license that apply.

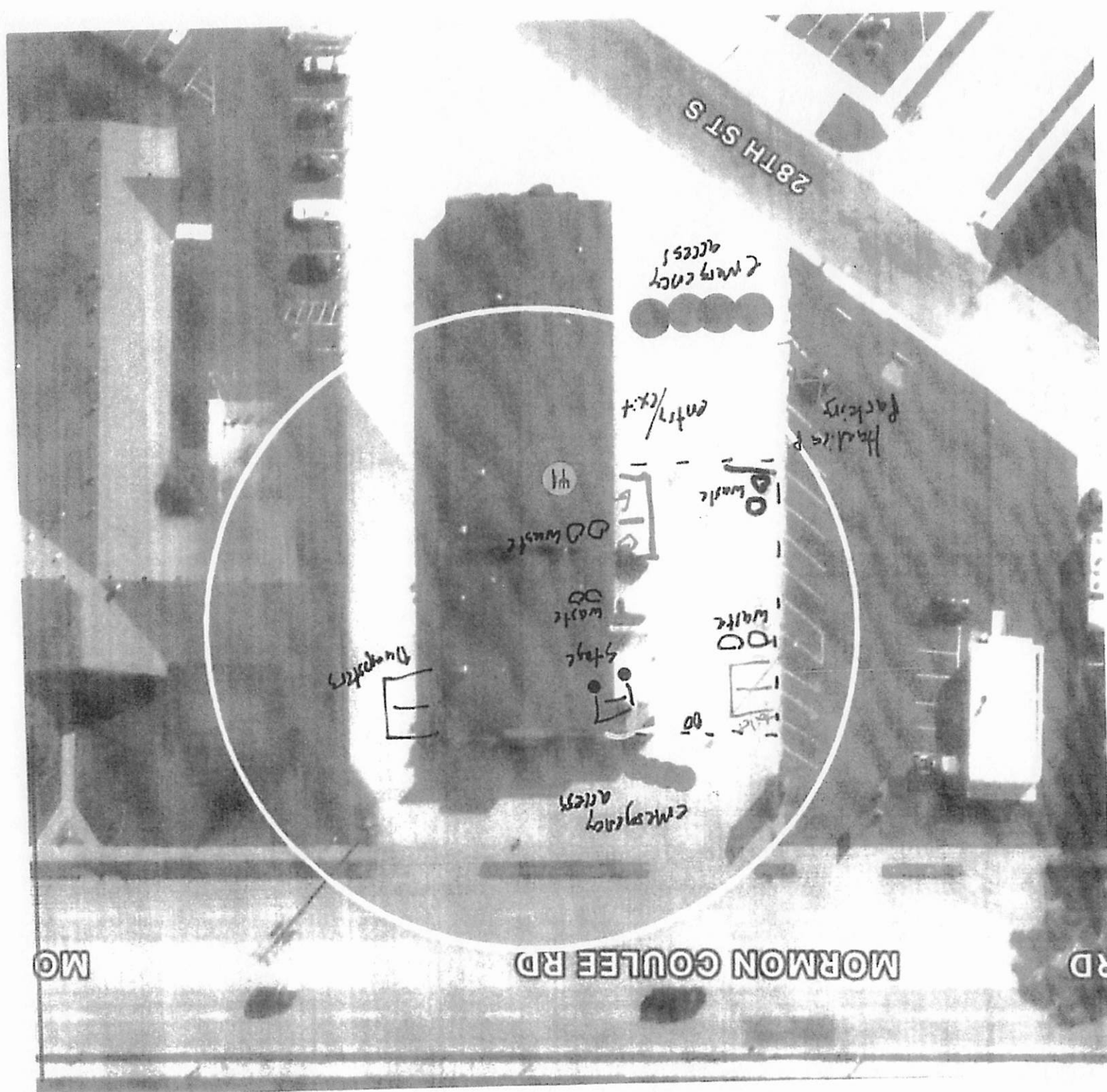
- ☒ Combination "Class B" Beer & Liquor
☐ Class "B" Beer
☐ "Class C" Wine

BUSINESS INFORMATION			
Legal/Real Name:		Trade Name:	
Householder Taverns LLC		Bennett O'Riley's South La Crosse	
Business Address:			
4329 Marmar Cawlee Rd			
Business Phone Number:		Name of Agent (If Corporation/LLC):	
608 502 7501		Daron Householder	
EXPANSION INFORMATION			
Date of Expansion:			
June 28 2025			
Time of Expansion - when alcohol will be sold, possessed or consumed in the public way:			
Start 11am		End 10pm	
Describe Area of Expansion - Where Alcohol Will be Present:			
Into the parking lot where we will have barricades fenced event area in adjacent private parking lot			
Reason for Expansion Request:			
Outdoor Event Concert			
PERSON IN CHARGE			
Name:	First	Middle	Last
	Daron	T	Householder
Address:	Street	City	State Zip Code
	1814 Pinecrest Ave	Holman	Wi 54636
Phone Number:			
608 484 0246			

The above hereby makes application to expand its alcohol beverage license onto private property as described. I agree to abide by all applicable state and local regulations including, but not limited, to the sale and service of alcoholic beverages, fencing and adherence to noise levels.

Daron Householder
 Signature of Applicant

4-23-25
 Date



Office of City Clerk



May 1, 2025

HOUSEHOLDER TAVERNS LLC
ATTN: DARON HOUSEHOLDER
4329 MORMON COULEE RD
LA CROSSE WI 54601

Dear Daron,

Our office is in receipt of the application for Expansion of Alcohol Beverage license for Householder Taverns LLC for a special event on June 28, 2025, at 4329 Mormon Coulee Rd. The Special Event application that was also submitted does not require Council approval; it is routed internally for approval by the affected departments as well as for delinquency and background checks.

Said application will be considered at the following meetings:

Judiciary & Administration Committee

Tuesday, June 3, 2025, 6:00 p.m.
Council Chambers, City Hall – 400 La Crosse St.

Common Council

Thursday, June 12, 2025, 6:00 p.m.
Council Chambers, City Hall – 400 La Crosse St.

We recommend someone attend the J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is not allowed at the Council meeting, though you are welcome to attend. The item will appear on the agendas as File # 25-0518.

Attendance is allowed either in person or virtually. If you wish to attend virtually, please email me for the link to participate. If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig, Deputy Clerk
craigs@cityoflacrosse.org
608-789-7549

Craig, Sondra

From: Daron Householder <bennettoriley@gmail.com>
Sent: Friday, June 6, 2025 12:38 PM
To: ZZ Council Members
Subject: Bennett O'Riley's South La Crosse

Some people who received this message don't often get email from bennettoriley@gmail.com. [Learn why this is important](#)

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Hello Council,

I want to first apologize for not being able to make the June 3rd meeting and answer any questions that you had. I am going on vacation next week and will not be able to attend the June 12 meeting either, so I am hoping to address some of your concerns here.

I met with officer Olson today to go over some of our plans to help curb under age drinking. I think we had a good conversation.

Our parking lot will be clearly blocked off where people are eligible to enjoy their time and listen to the music.

We will have bouncers (also looking into O'brien security to help) at all entrances IDing and wrist banning anyone who would like to enjoy our entertainment. We will have two different color wristbands for those 21+ and under 21.

We have a meeting set for all staff working the event to go over all rules and concerns and what to keep an eye out for. We will also have roamers. People who from time to time roam the crowd looking for wristbands and making sure those with under 21 bands do not have a drink in their hand. All bartenders will require a 21+ wristband to get a drink.

All sales of alcohol will happen inside our establishment as we will not have a place to purchase outside.

I am hoping this helps answer your concerns. I am an open book and if you have further questions please do not hesitate to reach out. My contact information is below.

Thank you for your time,

Daron Householder - Owner
Bennett O'Riley's
Bennettoriley@gmail.com
608-484-0246



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0528

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Resolution approving the Parks, Recreation, Forestry, Grounds and Buildings Department 5-year Strategic Plan.

RESOLUTION

WHEREAS, the 2026-2030 Strategic Plan has been established as a document for planning future Capital Improvement projects, to inform the public and to meet requirements to apply for Federal and State grants,

WHEREAS, the plan will be reviewed annually and serve as a guide to develop annual Capital Project budgets for the next five years,

WHEREAS, the Board of Park Commissioners has approved the 2026-2030 Strategic Plan.

NOW, THEREFORE, BE IT RESOLVED that the Common Council hereby approves the 2026-2030 Strategic Plan.

BE IT FURTHER RESOLVED that the Director of the Parks, Recreation, Forestry, Grounds and Buildings Department is hereby authorized to take any and all steps necessary to effectuate this resolution.

La Crosse Parks, Recreation and Forestry Department

2026-2030

Strategic Plan



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ACKNOWLEDGEMENTS

Thank you to the:

City Council

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Pat Wilson
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Sandra Cleary
Eileen Kirsch
Todd Olson
Tracy Littlejohn

Mayor

Shaundel Washington-Spivey



PURPOSE OF THE PLAN

The groundwork for the Strategic Plan was compiled through community input, recreation partnerships, employee and city officials' input. This plan is a complete reflection of the importance of parks and recreation in the community of La Crosse and community-driven needs and desires for recreation facilities, trails, open spaces and recreation programs. The plan not only identifies these desired needs but also provides an action plan for projects that include timelines, potential costs, and responsibilities.

Importance of the Plan

- Provides a guiding framework for current and long- term future of the City of La Crosse's Parks and Recreation system.
- Outlines the goals and objectives the City of La Crosse is aspiring to achieve.
- Provides an inventory of existing conditions and recommendations for future parks, recreation facilities and programs, and development of open space areas and facilities.

Implementation

The Parks Department cannot accomplish the strategic plan's goals and objectives alone. Success will require partnership with the community, organizations, city officials and employees. Through partnerships, funding mechanisms, and leveraging available new and existing resources, the parks department can find ways to build on past accomplishments and create new opportunities for future success.

Next Steps

This strategic plan is a living document, one that is updated to reflect circumstances at that moment.



Mission Statement

The City of La Crosse Parks, Recreation, and Forestry Department's mission is to enrich our community through stewardship of the environment and through provisions of quality recreation, facilities, and fun.

Vision Statement

Make La Crosse the best possible welcoming and inclusive community to live, work, and play in.



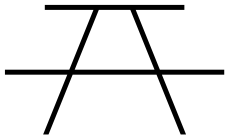


IMPORTANCE OF PARKS AND RECREATION

Purpose

- **Social benefits** by connecting people with neighbors of other ages, incomes, backgrounds, and abilities. Parks and recreational activities build community pride and spirit.
- **Economic benefits** by improving the quality of life in the community and helping to attract businesses and residents to the local area. Top-ranked parks and recreation programs and facilities are a competitive advantage for the entire area in economic development.
- **Environmental benefits** by connecting people with and educating them about nature. La Crosse is fortunate to have an abundance of natural resources and must continue to protect, sustain and restore our natural landscape, while at the same time offer recreational opportunities in harmony with nature.
- **Individual benefits** by promoting physical fitness and self-improvement. Opportunities for exercise and being outdoors results in greater physical fitness, emotional well-being, and connectivity to nature.

47 Parks



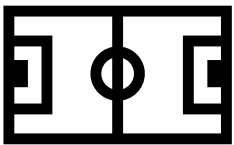
36 Playgrounds



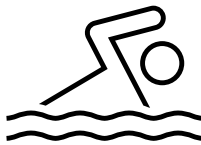
18 Park Shelters



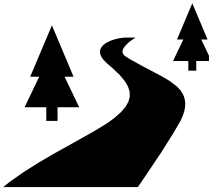
12 Athletic Fields



3 Pools



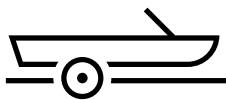
70+ Miles of Trails



2 Beaches



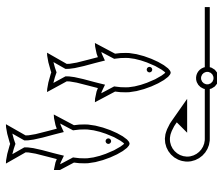
5 Boat Landings



3 Marinas/Harbors



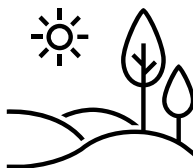
5 Fishing Piers



20,000+ Boulevard
Trees



2,400+ Acres of
Bluffland & Marsh



Chapter 1

Community

Profile

COMMUNITY PROFILE

The City of La Crosse offers spectacular views, a charming downtown life, and welcoming community. It is the largest city on Wisconsin's western border. A regional technology, medical, education, manufacturing, and transportation hub, companies based in the La Crosse area include Mayo and Gundersen Health Systems, Kwik Trip, La Crosse Technology, City Brewing Company and Trane. La Crosse is also a college town home to the University of Wisconsin-La Crosse, Viterbo University, and Western Technical College.

The City of La Crosse is positioned along the Mississippi River. Surrounding the relatively flat prairie valley where La Crosse is located are towering 500 ft bluffs, one of which is the City of La Crosse Parks, Recreation and Forestry Department's own, Grandad Bluff, that overlooks the three-state region. This region is composed of high ridges with carved out valley, also known as coulees, a French term. That is where the city of La Crosse gets its nickname of the "Coulee Region". Among the bluffs in the City of La Crosse are trails, parks, facilities, programs for all ages, and recreational opportunities all provided by the City of La Crosse Parks, Recreation and Forestry Department.

Demographics

The total population of the City of La Crosse is 52,185 with an expected growth of 2.2% per year. The metropolitan statistical area population is 139,627. City of La Crosse's median household income is \$56,552. The median age for the city is 28.8.



Chapter 2

Goals &

Objectives

GOALS AND OBJECTIVES

Goals and objectives provide the framework for guiding future recreation needs for City of La Crosse residents. These goals and objectives will serve as a guide for the Parks, Recreation, and Forestry Department's annual budget, capital plans, and work plans. These goals will be worked on over the course of the next five years. Each goal was taken into consideration by looking at the assessment needs of the city and the public input.

Goal 1 - Maintain long-term fiscal stability through responsible management, diversified revenue and beneficial partnerships.

Objectives:

- Partner with communities, organizations and businesses to support local initiatives, impact the local economy and generate revenue.
- Work with all levels of government to secure consistent, dedicated funding for park development, maintenance, and operations.
- Increase revenue and develop sustainable spending practices throughout the system that consider the short- and long-term costs and priorities for projects, programs and/or services.

Goal 2 - Protect and manage natural resources through sustainable management practices.

Objectives:

- Focus on habitat protection, conservation and restoration on threatened resources such as wetlands, urban forests, bluff lands, rural landscapes and forests.
- Partner with other organizations to improve resource management education while maintaining the natural, scenic, and agricultural land.
- Improve air and water quality through the protection of open space, land stewardship, and public awareness.

Goal 3 - Engage people with nature and outdoor recreation.

Objectives:

- Encourage people to experience the natural environment by providing and maintaining trails and access points that serve people of all ages and abilities.
- Develop a strong connection between neighborhood and park center programming and the natural areas in the park system.
- Enhance educational experiences to connect visitors to natural, cultural, and recreational resources.

2026-2030

Goal 4 - Provide a safe place to play, recreate, contemplate, and celebrate.

Objectives:

- Identify recurring safety concerns and devise new prevention plans using available resources.
- Pursue public and private partnerships to promote safety in the parks and expand available resources.
- Modify behavior that may cause harm to persons, the environment, or property within the park system.

Chapter 3

Capital

Improvement

Projects

Capital Improvement Projects Process

Capital Improvement Projects are submitted by each city department and are projects they would like to see completed. Projects are identified as the department's needs and wants within the city for the next five years. The city is allotted a certain budget each year, and there are a few committees that oversee these projects to determine which ones get approved. Projects are first reviewed by the City Planning Commission. The commission shall prepare and submit a five-year capital projects budget to the Common Council through its Finance & Personnel Committee. As much as the department wants to see all projects approved, it doesn't always happen; however, those projects can be resubmitted during the following cycle in hopes it is selected to be completed.

Key

SOF	Source of Funds
NBI	New Bond Issue
CBDG	Community Development Block Grant
TIF	Tax Incremental Fund
OTHER	Other (Grants & Donations)

City of La Crosse Parks, Recreation, and Forestry Strategic Plan

2026-2030

2026

Park/Site	Project Description	Amount	SOF
Copeland Park	Rehab of shelters	\$3,300,000	NBI
Chad Erickson Memorial Park	Stabilization of trail	\$75,000	NBI
City Wide	Tree Planting	\$60,000	NBI
Marsh	Hydrological Implementation	\$100,000	NBI
Wittenberg Dog Park	Fencing and amenities for additional dog park on north side	\$40,000	NBI
Glendale Park	Upgrades	\$100,000	TIF
Municipal Harbor	Utility line	\$40,000	NBI
Forest Hills Tennis Courts	Rebuild of six courts	\$600,000	NBI
North Side Pool	Liner, roof, and mechanical upgrades	\$1,000,000	NBI
Weigent Park	Replacement of deteriorating and old fencing	\$50,000	NBI
Weigent Park	Tennis court replacement	\$300,000	NBI
Trane Park	Pickleball courts	\$900,000	TIF
Riverside Park	Flagpole replacement	\$40,000	NBI
Total		\$6,230,000	

2027

Park/Side	Project Design	Amount	SOF
City Wide	Tree Planting	\$60,000	NBI
Bluffview Park	Tennis Court Replacement	\$325,000	NBI
River Point District	Waterway development plan	\$500,000	TIF
Green Island	Resurface Tennis Courts	\$70,000	NBI
Municipal Harbor	Campground	\$500,000	NBI
Willow Trail	Reconstruction of trail	\$325,000	NBI
Memorial Pool	Repair concrete malfunction	\$300,000	TIF
Municipal Harbor	Open air gazebo located on point near Lyra Sculpture	\$150,000	NBI
Marsh	West Cell Project	\$3,300,000	OTHER

City of La Crosse Parks, Recreation, and Forestry Strategic Plan

2026-2030

Marsh	Hydrological Implementation	\$100,000	NBI
Pettibone Beach	Beach house renovation	\$400,000	NBI
River Point District	Implementation of an additional marina	3,300,000	TIF
Civic Center Park	Site improvements	\$450,000	NBI
Total		\$9,880,000	

2028

Park/Site	Project Description	Amount	SOF
City Wide	Tree Planting	\$60,000	NBI
Marsh	Hydrological Implementation	\$100,00	NBI
River Point District	Waterway development plan	\$500,000	TIF
Copeland Park	Tennis court replacement	\$700,000	NBI
Houska Park	Bathroom restoration	\$500,000	NBI
Hass Park	Upgrades	\$200,000	NBI
Municipal Harbor	Additional transient dock on west point	\$250,000	NBI
Trane Park	Improvements	\$150,000	NBI
Green Island	Arena roof replacement	\$800,000	NBI
Total		\$3,260,000	

2029

Park/Site	Project Description	Amount	SOF
City Wide	Tree Planting	\$60,000	NBI
Forest Hills	Maintenance Shed	\$500,000	OTHER
Total		\$560,000	

2030

Park/Site	Project Description	Amount	SOF
City Wide	Tree Planting	\$60,000	NBI
Riverside Park	Updates	\$25,000	NBI
Total		\$85,000	

Chapter 8

Parks &

Forestry

PARKS HISTORY

On May 15th, 1908 the La Crosse Common Council passed an ordinance creating two park districts in La Crosse. The area south of the La Crosse River was named the first district and the area north of the La Crosse River was named the second. The ordinance also provided for the establishment of the Board of Park Commissioners. The ordinance, initiated by the current Mayor at the time, Dr. Wendall A. Anderson, marked the first significant official interest in the city's few parks. The board, composed of J.M Hixon, L.F. Easton, E.L. Colman and Henry Gund, selected John Nolen, a noted landscape artist and advisor, to design a park system for the city.

A public meeting was held on November 18, 1908, to give an overview of the plans and to gain support from the citizens. Nolen's plan included the proposal of improving and creating Copeland, Levee, Grandad Bluff, and La Plume Island, which still exist today.

Despite the Board of Park Commissioners in 1908, a few parks were already established with Burns Park in 1852 and Myrick Park (then Lake Park) in 1873. Pettibone Park was also established before the 1908 ordinance, and it was donated by A.W. Pettibone. Pettibone Park was still considered part of Minnesota at that time, but boundaries were later changed where it became land within Wisconsin.

Six months after that first public meeting in November 1908, enough money was raised to start working on Nolen's plan, and it has brought us where we are today. Currently the La Crosse Parks, Recreation, & Forestry Department maintains a 1,560-acre park system, consisting of 47 park sites, 18 parks shelters/pavilions, 12 athletic fields, an 18-hole frisbee golf course, 27 miles of paved trails, and 45 miles of natural surface trails. In addition, the department also has an 1,100-acre riparian marsh and 1,312 acres of public land across the bluffs on the city's east side. All of these parks are unique to La Crosse and provide the community with a wide variety of opportunities for leisure activities.

Types of Parks

Community parks are readily accessible from arterial streets and the commuter/recreational trail system. These parks may include playfields and courts for organized sports, a playground, and facilities for day use activities including a picnic shelter, restroom, seating, and walking paths.

Neighborhood parks are centrally located within areas of residential development. These areas typically include playgrounds, open space for informal games and activities or play courts.

2026-2030

Community Parks

- Carroll Park 1717 MARCO DR
- Chad Erickson Park & Vietnam Veterans Pond 3601 PARK LANE DR
- Copeland Park 1130 ROSE ST
- Erickson Park 2423 21ST PL S
- Grandad Bluff 3020 GRANDAD BLUFF RD
- Green Island Park 2312 7 ST S
- Houska Park 700 HOUSKA PARK DR
- Lueth Park 1200 LA CROSSE ST
- Myrick Park 2107 LA CROSSE ST
- Pettibone Park 101 PETTIBONE DR S
- Poage Park 500 HOOD ST
- Riverside Park 100 BLOCK STATE ST
- Springbrook Park 3519 SPRINGBROOK WAY
- Trane Park 1500 CHASE ST
- Weigent Park 1500 CASS ST



2026-2030

Neighborhood Parks

- Badger/Hickey Park 1007 PALACE ST
- Bluffview Park 2800 JACKSON ST
- Burns Park 702 MAIN ST
- Cameron Park 400 KING ST
- Civic Center Park 500 2 ST S
- Clayton E. Johnson Park 4701 33RD ST S
- Coulee Park 1201 COULEE DR
- Crowley Park 2100 CAMPBELL RD
- Diagonal Park 2935 23RD ST S
- Glendale Park 2600 29TH ST S
- Goose Green Park 629 KANE ST
- Hass Park 3600 EASTER DR
- Highland Park 2500 HIGHLAND ST
- International Friendship Gardens 405 E VETERANS MEMORIAL DR
- Merry Meadows Park 4200 MEADOWLARK LN
- Powell Park 1002 WEST AVE S
- Pumpkin Patch Park BRICKYARD LN
- Red Cloud Park 416 POWELL ST
- Roellig Park 600 LOSEY BLVD N
- Roesler Park COUNTY ROAD MM
- Schuh Park 2225 HORTON ST
- Seminary Park 3400 E AVE S
- Sherwood Park 3300 NOTTINGHAM ST
- South Goose Green Park 1012 ST ANDREW ST
- South Library Park 1616 FARNAM ST
- Starlite Park 2421 HENGEL CT
- Upper Hixon Forest 800 MILSON CT
- Verchota Park 1825 22ND ST
- Veterans Freedom Park 120 CLINTON ST
- Wittenberg Park 2940 GEORGE S

Future Potential Projects and Goals

- Completion of a waterline in Pettibone
- Complete a new paved walking path in Veterans Freedom Park
- Install a new ADA fishing pier at Veterans Freedom Park
- Rehab of Copeland Park shelters
- Stabilization of the trail in Chad Erickson Memorial Park
- Permanent fencing and amenities at Wittenberg Dog Park

2026-2030

- Upgrades to Glendale and Hass Park playgrounds
- Replacement of deteriorating old fencing at Weigent Park
- Replacement of the flagpole at Riverside Park
- Renovation of the Pettibone Beach House
- Improvements to Civic Center Park
- Restoration of the Houska Park bathrooms
- To upkeep and make appropriate improvements to Trane Park

Forestry

The City of La Crosse's urban forest is a vital natural resource, providing ecological, social and economic benefits to the community. The 20,000 trees that line La Crosse's streets, and additional trees within city parks help to control storm water, improve air quality, reduce utilities expenses, increase property value, provide habitat for birds and other wildlife, and improve neighborhood aesthetics. As climate conditions change, and urban development continues, proactive forestry management is essential to maintaining a resilient and sustainable tree canopy.

This section of the Strategic Plan focuses on implementing the [Urban Forestry Management Plan](#), which guides the City's efforts in tree planting, maintenance, conservation, and community engagement.

Vision: Healthy Trees, Healthy City: Our vision for La Crosse's urban forest is to cultivate a thriving, diverse, and well-maintained tree canopy that enhances the livability, health, and sustainability of our community for current and future generations

Arboretum

In June 2024 Arboretum Accreditation was awarded for the Myrick Park Arboretum. The mission of the Arboretum is to display the rich biodiversity of the Coulee Region and to promote and highlight the importance of trees to our community. An arboretum is a place of learning and public interest to enhance learning and quality of life for the community and engage in public outreach as an outdoor classroom, living laboratory, and an inspiration for a greener, healthier, and more beautiful world.

Upcoming Plans and Information:

- \$17,358 DNR grant awarded for 2025 Urban Forestry Ordinance Revision and Arboretum Signage.
- \$13,314 DNR grant awarded for 2025 Urban Forestry Catastrophic Storm Damage.

Goals & Objectives

Goal 1 – Preserve tree canopy cover and the urban forest through sound but fair policies and regulations that align with shared priorities in the City and best practices.

Objectives:

- Identify impediments to tree planting and opportunities where tree requirements could be strengthened.
- Utilize the urban heat and impervious surface study to target tree plantings and incentivize developers to support this effort.
- Complete a city-wide tree canopy assessment as an update and periodically reassess canopy cover to monitor changes and trends.

Goal 2 – Foster tree stewardship in our community through equitable and impactful community education and engagement.

Objectives:

- Maintain Tree City USA accreditation
- Host seasonal arboriculture education events, such as spring tree planting and pruning workshops, to teach homeowners best practices for tree care and maintenance.
- Work towards a Level II Arboretum accreditation including the development of an arboretum collections policy and enhanced forestry programs within the arboretum.

Goal 3: Foster a culture of innovation, collaboration and adaptability, ensuring the program remains responsive to changing environmental conditions and community needs.

Objectives:

- Assess and strategize improved communication and protocols to efficiently manage the urban forest.
- Continue to apply for funding to support innovative and essential tree management projects and utilize the resources and trainings provided by these reputable entities
- Strengthen existing and foster new collaborative partnerships to manage the urban forest.

Potential Future Projects and Goals

- Continue to address heat zones identified by the City's Climate Action Committee by planting more shade providing trees in such areas
- Continue work with Neighborhood Associations to utilize funding for tree planting.
- Forestry will continue to provide boulevard tree services to residents in a timely and efficient manner.

Chapter 5

Natural Resources & Sustainability

Natural Resources & Sustainability

The City of La Crosse values environmental sustainability by making decisions that help protect, maintain and preserve our natural and developed resources. The City of La Crosse aims to promote and practice the conservation, preservation and restoration of our unique natural spaces. Sustainable land management is a top priority that satisfies the needs of diverse habitat types as well as ensuring that the recreational potential for user groups is all inclusive. The quality land management practices and goals identified in this plan take our ecosystem health into high consideration when developing sustainable trails, natural areas and trailhead facilities.

Vision: Protect the land through multi-resources management

Mission: The La Crosse Parks, Recreation, and Forestry Department is committed to improving our wildland management by increasing partnership relations, conducting management on a landscape level, and considering the recreational abilities and needs of all user groups.

Natural Resources

Blufflands Overview

The City of La Crosse's Blufflands are a defining natural feature of the region, offering ecological, recreational and scenic value to residents and visitors alike. As demand for outdoor recreation grows and conservation challenges evolve, a strategic approach is essential to protect and enhance these vital lands. By aligning with regional conservation goals and leveraging partnerships with local organizations, the City of La Crosse aims to create a long-term framework that supports responsible recreation, biodiversity, and climate resilience within the Blufflands.

The City Parks Department has a long history of preservation and restoration of natural areas. Since the largest gift of Hixon Forest, the City has acquired ~2,000 acres of property that could have been otherwise sold to developers. Some of the properties more impacted than the others from agriculture and rock quarrying, these lands pose different challenges to restore than more primitive unimpacted lands.

Goals and Objectives – Blufflands

Goal 1: Develop a Comprehensive Blufflands Master Plan

Objectives:

- Conduct a comprehensive blufflands assessment including inventory current land use, ecological conditions, recreational infrastructure, and conservation needs.
- Facilitate an inclusive planning process with community stakeholders to shape the blufflands' future.
- Develop clear land management and recreational guidelines

Goal 2: Conduct ecological assessments and natural resource inventory of natural areas.

Objectives:

- Work with conservation organizations to conduct Ecological Assessments of City natural areas.
- Maintain an accurate database of findings.
- Work with area experts to make improvements to restore natural area

Goal 3: Enhance funding and financial stability through alternative funding sources.

Objectives:

- Provide a robust, long-term, and stable funding framework for natural areas and resources within the city.
- Identify ways for all users of natural to contribute equitably to the development and management of these natural resources.

Goal 4: Conserve Wetlands, Urban Forests, Blufflands, Rural Landscapes and Forests through Partnerships and Incentives.

Objectives:

- Encourage large-scale land conservation partnership projects.
- Manage lands and resources to protect rare plant communities, threatened wildlife species, and scenic beauty.
- Increase the number of pollinators and beneficial insect species in the city.
- Continue to plant native herbaceous species in parks and public lands

Goal 5: Cooperate and Coordinate with Neighboring Cities, Villages, Towns, Counties, and Property Owners to Provide Recreational Activities, Education, and Preservation of Natural, Historic, and Cultural Resources for the Enjoyment and Benefit of all Citizens.

Objectives:

- Provide assistance with park and recreation planning services to neighboring communities.
- Utilize, when practical, a multi-jurisdictional approach to acquiring and developing outdoor recreation facilities, and land.
- Manage lands and resources to protect rare plant communities, threatened wildlife species, and scenic beauty.

La Crosse River Marsh Overview

It is the intent of the La Crosse Parks, Recreation and Forestry Department to maintain the marsh for its hydraulic, ecological and recreation values. The marsh presently offers many opportunities for birding, fishing, and recreation.

The La Crosse River Marsh plays a unique and important role in the La Crosse and Central Wisconsin landscape, providing a critical stopping point for migratory birds, spawning area for

various aquatic species, outdoor classroom, destination for outdoor enthusiasts, and natural flood mitigation and water quality treatment. Despite its importance to the community and region, the marsh has degraded in recent years by man-made encroachments, upland changes in hydrology, and evolving weather patterns. An increasing proportion of the La Crosse's parks and public works budgets must be allocated to maintaining and repairing infrastructure in the marsh such as trails and utilities. These changes have also resulted in habitat loss, water quality, and other ecological impacts.

Goals and Objectives - Marsh

Goal 1: Improve hydraulic connectivity throughout the river/marsh system and increase flood water storage.

Objectives:

- Improve connectivity of flow between the river and marsh and between different cells of the marsh.
- Provide additional flood water storage by reconnecting floodwaters with areas isolated by berms, levees, streets, and trails.
- Identify and pursue property acquisition.
- Improve water level control structures to allow periodic summer drawdowns to enhance and restore emergent vegetation.

Goal 2: Improve biodiversity and native vegetation with habitat as the primary objective.

Objectives:

- Evaluate solutions to the floodplain forest.
- Address the disappearing submerged vegetation.
- Improve trail and marsh edge environments.
- Remove invasive species.

Goal 3: Cooperate and coordinate with friend groups, neighboring cities, villages, towns, counties, and property owners to provide recreational activities, education, and preservation of natural, historic, and cultural resources for the enjoyment and benefit of all citizens.

Objectives:

- Provide assistance with park and recreation planning services to local municipalities.
- Utilize, when practical, a multi-jurisdictional approach to acquiring and developing outdoor recreation facilities and land.
- Pursue grant funding and partnerships to accomplish projects

Natural Resource Management and Restoration of La Crosse Natural Areas Overview

Restoring land to its historic and geographic habitat must be strategic and calculated. Restoration practices are also unique because of the diverse ecosystems that exist within each Bluffland or Marsh property. Restoration practices include but are not limited to invasive cutting, pulling, girdling and treating, deer management, tree removal, prescribed fire, and

native plantings. Though volunteer work and grants these conservation areas will be expanded to include restoration of the hardwood timbers encompass many of the City's public lands. Several test timber stand improvement projects are being monitored for effectiveness and feasibility.

Prairie Management

To retain and restore the prairie communities within the City Blufflands the following is recommended:

- Prairie remnants found on scattered sites throughout the forest shall be protected and restored to remain as prairie remnants. Management priority shall be placed on those remnants most threatened by succession.
- The use of fire, as well as selective cutting and tree girdling may be used to carry out these management objectives, as well as to enhance biodiversity, attempt to restore natural processes to the forest, and reduce potentially hazardous situations.
- Herbicides should be used sparingly, and spraying avoided in sensitive areas.

Forest Management **Review the Hixon Forest Comprehensive Management Plan and Urban Forestry Management Plan for a more comprehensive understanding of the forest management recommendations provided here.*

To retain and restore the health of existing forest and tree canopy, the following is recommended:

- The existing forest and tree canopy shall be maintained to the extent possible.
- The management for communities such as oak woodland or savanna shall be focused upon existing edge and open areas.
- Remnant oak opening sites shall be restored to or remain as oak openings.
- The use of fire, as well as selective cutting and tree girdling may be used to carry out these management objectives, as well as to enhance biodiversity, attempt to restore natural processes to the forest, and reduce potentially hazardous situations.
- The former McBain Property and the old field located along the west side of CTH FA shall be managed for establishment of oak savanna or oak forest or for opportunities to allow natural succession to occur. Additional openings within the forest that consist of non-native vegetation shall be evaluated for opportunities to add to the existing closed canopy.
- The reforestation project located in the central portion of the lower forest shall continue to be evaluated as an effective restoration method.
- Oak trees are most susceptible to oak wilt in the springtime, from bud swelling until 2 to 3 weeks past full leaf development. During the period of April 15 to July 1, do not prune, cut or injure oaks. If an oak is wounded during this time, cover the wound immediately with tree wound paint.

Invasive Species Management

To retain and restore the health of Bluff and Marshlands, the following is recommended.

- Removal of invasive native tree species (such as black locust and aspen) in selected locations such as around remnant prairies and throughout wetlands.
- The removal of invasive woody shrub species (such as buckthorn, honeysuckle) is a management priority. Efforts should focus on those areas where the invasive species have not yet become dominant in the under-story. Woody shrubs should be treated according to best management practices.
- The use of herbicides shall be allowed for the management of invasive species when fire or mechanical removal methods are ineffective. Herbicides should be biodegradable and used responsibly according to directions.

Acquisitions & Easements

The presence of easements and grant agreements guide how La Crosse Parks and Recreation manages many bluffland properties. Trail development, habitat restoration, and public access improvements must align with these legal obligations to ensure compliance and sustainability. While these protections limit certain activities such as new development or off-trail use they also provide a framework for balancing conservation and recreation.

Property acquisitions are conclusive to property owner's willingness to sell, making a very short list for potential acquisition. Properties are evaluated based on habitat and recreation value, potential for development and accessibility in addition to the criteria listed below. As new properties become available, a discussion will be entertained with the Environmental Leadership Forum prior to the acquisition of new lands. Additionally, recreational easement and/or conservation easement may be utilized as tools to facilitate the negotiation process and fulfill the desires of the landowner and the city.

Potential Future Projects and Goals

- Hydrological Implementation
- Improvement of marsh hydrology as measured by restoring/enhancing water exchange within the western portion of the marsh



Sustainability

Sustainability is a core priority for the City of La Crosse Parks, Recreation and Forestry Department, ensuring that environmental, social, and recreational systems support a thriving community for future generations. As climate challenges and urban development pressures increase, the City is committed to proactive sustainability efforts that enhance resilience, reduce environmental impact, and foster community engagement.

Goals & Objectives – Sustainability

Goal 1 – Enhance Native Landscaping and Planting Practices

Objectives:

- Develop and implement a native planting strategy for new park projects and landscape renovations.
- Require new plantings within parks or as part of beautification efforts to contain at minimum 50% native species

Goal 2 – Expand Sustainability Education and Community Outreach

Objectives:

- Use education programs and incentives to promote the use of native plants and trees on public and private property
- Host regular seasonal workshops, events focused on conservation, native planting, and sustainable park stewardship.
- Collaborate with local community groups, and environmental organizations on park-based sustainability initiatives

Goal 3 – Promote Biodiversity and Wildlife Habitat Restoration

Objectives:

- Maintain existing management plans aimed at protecting and enhancing existing wildlife habitats within parks
- Initiate habitat restoration projects that include the removal of invasive species, reintroduction of native vegetation and creation of wildlife corridors.

Goal 4 – Secure funding to expand sustainability programs

Objectives:

- Identify and pursue grant opportunities, public-private partnerships, and other funding sources to support sustainability initiatives including native planning and community education programs

Conclusion: The city’s commitment to natural resource preservation and sustainability involves several key aspects including land management, bluffslands preservation, marsh management, restoration practices and sustainable initiatives. The City of La Crosse aims to improve wildland management by increasing partnership relations, conducting management on a landscape level, and considering the recreational abilities and needs of all user groups. This involves cooperating with neighboring communities, pursuing grant funding and partnerships, and enhancing funding and financial stability for natural areas and resources. By focusing on these areas, the City of La Crosse strives to ensure a thriving community for future generations.



Chapter 6

Trail Systems

Trail Systems

The City of La Crosse is home to an extensive trail network that offers diverse recreational experiences, including natural bluffland trails, marsh trails, and paved multi-use paths. This strategic plan prioritizes maintaining existing infrastructure while identifying targeted improvements that enhance accessibility, sustainability, and user experience.

Natural Trails

Bluffland trails wind through forested ridges, steep terrain, bluffland prairies, and scenic overlooks, offering hiking, trail running, mountain biking, cross country skiing, snowshoeing and nature exploration. These trails rely on sustainable maintenance practices to prevent erosion, protect habitats, and ensure long-term usability.

Paved Trails

The city's network of paved multi-use trails supports walking, running, biking, and mobility devices, providing safe and accessible routes for all users. Marsh trails provide a unique wetland experience, supporting birdwatching, education, both paved and soft-surface recreation. Many trails serve as commuter corridors, connecting neighborhoods, parks, schools, and commercial districts. Proper surface maintenance and wayfinding improvements are critical to supporting increased year-round usage.

Protected Trails

Some trails in La Crosse exist on lands protected by conservation easements or subject to grant restrictions from the Wisconsin Department of Natural Resources (DNR). These agreements limit or prevent the construction of new trails and impose specific stewardship responsibilities. The city must carefully manage these lands to maintain compliance while ensuring safe and sustainable public access.

Goals & Objectives

Goal 1: Maintain and Improve the Existing Trail Network

Objectives

- Conduct an annual trail assessment to identify and prioritize maintenance needs.
- Develop a sustainable funding strategy for ongoing trail upkeep, including city budget allocations, grants, and donations.
- Expand routine maintenance efforts by coordinating with volunteer groups, conservation corps, and trail advocacy organizations.
- Standardize maintenance best practices across all trail types to improve durability and safety.

Goal 2: Signage and Wayfinding Plan

Objectives

- Standardize Trail signage by developing a uniform signage system that includes trail names, difficulty ratings, permitted uses and regulatory information
- Standardize branding and logos within trail system to maintain consistency and limit commercialization of public lands
- Ensure all signage includes accessibility details, such as surface types, grades, and ADA compliant routes.

Goal 3: Enhance Accessibility and Inclusivity

Objectives

- Ensure paved trails meet ADA compliance standards, including smooth surfaces, gradual slopes, and rest areas.
- Improve trailhead facilities with accessible parking, restrooms, and clear signage.
- Develop an interactive digital trail guide with accessibility information, trail difficulty ratings, and real-time updates.
- Install wayfinding and interpretive signage to provide inclusive navigation and educational opportunities.

Goal 4: Foster Sustainable Trail Management

Objectives

- Implement erosion control strategies on bluffland and marsh trails, such as rerouting problematic sections and using sustainable materials.
- Increase invasive species management efforts along trails to preserve native ecosystems.
- Promote responsible trail use through community education on Leave No Trace principles.

Goal 5: Maintain Compliance with Easements and Grant Restrictions

Objectives

- Conduct an annual review of all conservation easements and grant agreements to ensure current trail use aligns with restrictions.
- Collaborate on grant opportunities for ecological restoration and low-impact infrastructure improvements.
- Increase invasive species management in cooperation with land trusts and conservation groups.
- Monitor and assess high-use trails for environmental degradation, adjusting management strategies as needed.

Conclusion

By focusing on the maintenance and enhancement of existing trails, this strategic plan ensures that La Crosse's trail system remains a valuable asset for recreation, transportation, and environmental stewardship. Prioritizing accessibility, sustainability, and community engagement will allow the city's trail network to serve diverse users while preserving its natural beauty for future generations. By recognizing and respecting the constraints of conservation easements and grant-restricted lands, the City of La Crosse can ensure the long-term sustainability of its trail system while fostering positive relationships with conservation partners. Prioritizing compliance, stewardship, and education will allow the city to continue providing high-quality recreational opportunities without jeopardizing the ecological and legal integrity of protected lands.

Potential Future Projects

- Replace the Aspen Trail Bridge
- Complete reconstruction of the Grand Crossing Trail
- Complete reconstruction of the Willow Trail



Chapter 7

Aquatic

Facilities

Aquatics

The aquatic facilities provide opportunities for youth and adult water recreation activities. The City of La Crosse owns Erickson Pool, North Side Community Pool, and Veterans Memorial Pool. Each of these pools has their own unique characteristics. From zero-depth entry to splash pads, they each offer something for the family to enjoy.

Erickson Pool

2512 Losey Blvd

Potential Future Projects

- Renovate bathhouse
- Replacement of slide



Veterans Memorial Pool

1901 Campbell Rd

Potential Future Projects

- Purchase and install shade structures
- Install security cameras on pool deck
- Repair concrete malfunction on the pool wall

North Side Community Pool

816 Sill St

Potential Future Projects

- Assess the need for an additional diving board or drop slide in deep end.
- Replacement of current slide that was installed in 1999
- Replacement of the liner, roof and mechanical upgrades

Chapter 8

Athletic

Facilities

Ball Fields

Ball fields provide ample space for community baseball and softball games. The fields are used daily throughout the summer months hosting the city's baseball and softball programs, as well as tournaments. The ball fields benefit multiple organizations who gather to play sports at these facilities. Features include multiple fields, restrooms, storage sheds, bleachers, concession stands, water and power.

- **Bluffview Ball Fields**
- **Carroll Ball Field**
- **Copeland Softball Field**
- **Copeland Baseball Field**
- **Erickson Ball Fields**
- **Goose Green Ball Field**
- **Houska Ball Field**
- **Weigent Ball Field**



Potential Future Projects

- New concessions facility at Carroll Field



Tennis Courts

The city tennis courts are open to the public as well as used by local schools, adult tennis clubs, and the department's youth tennis programs. These courts facilitate several tournaments and events throughout the season.

- **Copeland Park (4)**
- **Weigent Park (2)**
- **Bluffview Park (2)**
- **Green Island Park (13)**
- **Red Cloud (2)**
- **Forest Hills (6)**

Potential Future Projects

- Replacement of tennis courts at Weigent, Green Island, Bluffview, and Copeland Park



Pickleball Courts

The city has two locations for pickleball, and they are currently not reservable spaces. As the sport grows in popularity, the department hopes to expand the pickleball possibilities.

- **Trane Park (8)**

Potential Future Projects

- Additional build of 8 courts at Trane Park

Green Island Ice Arena

In addition to the outdoor tennis courts, the Ice Arena is home to River City Youth Hockey, Coulee Region Sled Hockey, and youth figure skating programs. River City Youth Hockey currently leases the building from October to March and offers open skate times for the general public.

Potential Future Projects

- Replacement of roof from 1982

Chapter 9

Grounds and

Buildings

City Owned Facilities

The department oversees city owned facilities, whether they are run by a third-party vendor, leased, or directly managed by our staff, they are diverse in their capabilities and what they offer to the public. The department oversees the general maintenance of the buildings, but the tenants can diversify their use to fit their desired plan within the guidelines of the lease. Neighborhood Centers are managed and staffed by the Parks Department. Neighborhood Centers focus on community activities such as programs for older adults during the school year as well as programs for adults and youth at night. Leased buildings are open to the public, can be reserved, or put on several events for the public.

Black River Beach Neighborhood Center

1433 Rose St

South Side Neighborhood Center

1300 6th St S



Myrick Park Center

789 Myrick Park Dr

- Leased by WisCorps/The Nature Place

Hatchery

410 Veterans Memorial Dr

- Leased by Hatchery LLC

Copeland Stadium

800 Copeland Ave

- Leased by the La Crosse Loggers

Pettibone Boat Club

600 S Pettibone Dr

- Leased by Pettibone Boat Club

Pettibone Resort

333 Park Plaza Dr

- Leased by Pettibone Resort



2026-2030

Pump House Regional Arts Center

119 King St

- Leased by the Pump House

Green Island Ice Arena

2312 7th St S

- Leased by River City Youth Hockey



Forest Hills Golf Course

600 Losey Blvd N

Forest Hills Golf Course has been under the management of KemperSports on the behalf of the City of La Crosse since 2009. Forest Hills recreation is year-round as part of Hixon Forest. In the summer months, trails line the golf course, whereas in winter it becomes a popular cross-country ski location along with sledding, snow shoeing and dog walking.

Potential Future Projects

- Maintenance building to replace the current 80-year-old shop.
- Drainage additions to cure problematic wet areas on the course
- Refurbishing of club house exterior
- Additional forward tee boxes to accommodate junior, senior and women golfers
- Cart paths rebuild to update the aging paths.



Chapter 10

Waterways

Boat Landings

The Parks, Recreation, Forestry Department is responsible for and maintains five public boat landings/launches. Funding for maintenance and future upgrades comes from launch fees charged at kiosks located at each landing. Launch fees are kept in a “boat landing” account specific to the needs of the landings.

7th Street Landing

2300 S 7th St.

East Copeland Landing (North and South)

421 Clinton St.

Municipal Landing

1500 Marco Dr.

Veterans Freedom Park Landing

1000 Boathouse Dr.

Potential Future Projects

- Plan for and fund complete parking lot replacement at West Copeland and East Copeland
- Continue to grow the number of fishing tournaments hosted at the landings

Riverside Levee

With the recent completion of an additional levee, the department has established long term agreements with Viking Cruise Lines and American Cruise Lines to promote Riverside Park and the city and encourage tourism in the downtown area.

Riverside Transient Dock

A pay to park, seasonal dock, is located along the shoreline in Riverside Park. People are able to experience all the downtown area has to offer by way of boat.

Municipal Harbor

1502 Marco Dr

- 169 boat slips

Veterans Point Marina

120 Clinton Street

- 124 boat slips

Copeland Park Marina

1121 Copeland Park Dr

- 14 slips



Potential Future Projects

- Replacement of gazebo on the west side of the property green space.
- Build a small campground between the dry storage area and south harbor shoreline green space.
- A new utility line at Municipal Harbor
- An additional Marina at River Point District
- A waterway development plan at River Point District



Chapter 11

Recreation

The Recreation Division strives to provide diverse opportunities, quality programs, and engaging special events for youth, adults, families, seniors, and individuals with special needs. The main objective is to enrich lives of City of La Crosse community members by offering social, active, leisure, enriching, and educational choices in safe environments. Staff is responsible for planning and implementing activities, promoting positive customer service, effectively promoting and publicizing programs, and utilizing financial resources efficiently. Not only does the Recreation Division hire numerous seasonal employees, but this division is also responsible for recruiting and managing hundreds of volunteers to assist with programs and special events.

Youth Programs

The department offers year-round sports and programs for youth in the community. Sports include Volleyball, Football, Basketball, Soccer, Track, Baseball, Tennis, and Ice Skating. During the summer, day camps are offered for participants. Different day camps include Playground Program, Adventure Camp, and Tiny Tot Adventures.

Adult Programs

The department offers year-round sports and programs for adults in the community. Leagues include Volleyball, Basketball, and Softball and instructional adult sports include Tennis and Pickleball. There is a variety of adult enrichment programs as well. Enrichment programs is the umbrella name that includes programs like Creative, Cooking, Enrichment, Health and Wellness, Dementia Support and Education, Concerts and Dances, and Technology.

Senior Programs

The department offers year-round programs for aging adults in the community. Participants ages 50+ are welcome to participate in any of the Adult Programs as well as Senior specific programs and excursions. Day excursions offer seniors a hassle-free way to enjoy trips to theater shows, museums and other tours by providing transportation. Excursions are always changing to ensure there is something for everyone. While the excursions are remote experiences, the senior programming classes take place in the city at a number of facilities.

Special Recreation

The City of La Crosse Parks, Recreation & Forestry Department is proud to offer a variety of leisure, educational and recreational programs for individuals with special needs in our community. Our Special Recreation program offers year-round clubs, monthly events and trips. The Special Recreation programs are for all ages and all abilities. This year participants are traveling the world! Each month the theme of the parties, food, crafts, etc. is all based around the county they are learning about.

Special Olympics Wisconsin - La Crosse Area is a non-profit agency that provides individuals with intellectual disabilities the opportunity to participate in sports competition, develop physical fitness, demonstrate courage, and experience joy while participating in the sharing of gifts, skills and friendships with their families, Special Olympics athletes, and the community. In order to be eligible for Special Olympics sports, athletes must be 8 years of age or older with an intellectual disability.



Future Recreation Goals

- Increase pickleball programs and number of participants
- Expand youth enrichment programs throughout the year (outside of sports)
- Add an adult flag football program
- Reimplement a fishing program for kids
- Increase adult sports tournaments
- A full-time position added to fully support the Adult and Senior Enrichment programming and excursions

Chapter 12

Maintenance

Plan

Introduction

The maintenance and improvement plan is the Parks, Recreation, and Forestry Departments' commitment to the City of La Crosse to provide safe and beautiful recreational areas to its residents and visitors. The plan's framework addresses all maintenance labor and improvement projects over a timeframe of ten years. This allows for the department to appropriately address and budget for all labor tasks and improvement projects. The timeframe will be subjected to an amending process every two years throughout the entire ten years to meet the growing changes and demands of the park system.

The plan calls for the park system to undergo an inventory analysis of all its parks. The inventory analysis is a comprehensive study of the park's amenities. The study evaluates the current physical condition of each amenity to determine a life expectancy. The life expectancies are used to categorize improvement projects into high priority, medium priority, and low priority. The plan defines high priority as one to three years, medium priority as three to five years, and low priority as five to ten years. The priority rankings make up our ten-year timeframe for the maintenance/improvement plan.

The maintenance and improvement plan allows the department to project future costs and adequately plan a funding source from local businesses, organizations, associations, foundations, state and federal grants, and the capital improvement projects fund. The diversification of sources will allow the department to meet its funding needs and the overall goals of the plan.

Goals & Objectives

Goal 1

Provide a safe and fun atmosphere within the park system.

Objectives

1. Provide more training opportunities to the park's maintenance department.
2. Increase the frequency of routine maintenance checks of parks.
3. Continue to amend the maintenance plan every two years or as changes/updates occur.

Goal 2

Provide adequate and steady funding for all projects.

Objectives

1. Reestablish funding for park maintenance and modest improvements that meet the needs of the community.
2. Create a timeline for all future maintenance projects with an estimated cost and funding plan.
3. Diversify funding through local community foundations, state and federal grants, neighborhood associations, private businesses, and donations.
4. Strive to use sustainable technology to reduce future operational costs.

Goal 3

Build partnerships throughout the community.

Objectives

1. Continue to recruit volunteers to help maintain cleanliness in the parks and recognize them for their contributions.
2. Continue to enrich and strengthen relationships with local schools, universities, associations, organizations, and businesses to maintain a healthy park system.
3. Enhance access to information and increase communication with the public on routine maintenance tasks.

Goal 4

Strive to use sustainable practices.

Objectives

1. Proactively incorporate green strategies in all projects.
2. Continually manage, preserve, and protect natural resource areas.
3. Aspire to become a sustainable leader within the state.

Appendix

- [Supporting Plans | La Crosse, WI](#)
 - City of La Crosse Comprehensive Plan
 - City of La Crosse Climate Action Plan
 - City of La Crosse River Marsh Restoration Project
 - Hixon Forest Comprehensive Management Plan
 - Urban Forestry Management Plan
 - City of La Crosse Bicycle Pedestrian Plan
 - The Blufflands: A Plan for Conservation and Recreation Throughout the La Crosse-La Crescent Region
 - Annual Parks Maintenance Plan





CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0531

Agenda Date: 6/12/2025

Version: 2

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution authorizing installation of neighborhood safety street lighting in the 2900 block of Fairchild Street West.

RESOLUTION

WHEREAS, Engineering study observed that nighttime conditions may benefit from additional lighting in the 2900 block of Fairchild Street West.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of La Crosse that it hereby authorizes the installation of one (1) LED streetlight, up to the equivalent of a 150-watt high-pressure sodium light, in the public R/W in the vicinity of 2929 Fairchild Street West, and necessary appurtenances.

BE IT FURTHER RESOLVED, that the cost of the street light operation be paid by the Street Lighting Operating Budget.

BE IT FURTHER RESOLVED, that the City staff are hereby authorized to effectuate this Resolution.



CITY OF LA CROSSE

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LEGISLATION STAFF REPORT FOR COUNCIL

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Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0535

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Resolution approving contract with the La Crosse Tribune as the official newspaper for the City's council proceedings and legal notices.

RESOLUTION

WHEREAS, the City of La Crosse advertised for bids pursuant to sec. 985.06, Wis. Stats., for the contract as the official newspaper for the City's council proceedings and legal notices, and

WHEREAS, the sole bid received was from The La Crosse Tribune, and

WHEREAS, both bids received from The La Crosse Tribune contained the following rates:

	Bid 8/1/24- 7/31/25	Current Rates	State Certified Rates
1 st insertion (typesetting, formatting, proofreading, and publication)	1.0157	1.0157	1.0157
Additional insertions	.8204	.8204	.8204

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of La Crosse that the bid of The La Crosse Tribune as the official newspaper of the City of La Crosse shall be accepted as submitted in its bid.

BE IT FURTHER RESOLVED that the City Clerk is authorized to execute any and all documents to effectuate the same.



April 15, 2025

Nikki M. Elsen, WCMC
City Clerk
400 La Crosse St.
La Crosse, WI 54601

BID: City of La Crosse Common Council

Dear Nikki,

Thank you for the opportunity to continue as the official newspaper for the City of La Crosse. Our bid includes the rate for Common Council proceedings. Below is a summary of our current and proposed legal rates.

Our submitted bid below is for the following:

- A. The Common Council proceedings

	Bid 8/1/25-7/31/26	Current Rates	State Certified Rates
First insertion	1.0157	1.0157	1.0157
Additional Insertions	.8024	.8024	.8024

Facsimile Ballots will be at the current state certified rate at time of publication. Deadline for the publication of legal notices in the La Crosse Tribune is 3 working days prior to publication.

The City of La Crosse is not prohibited from ordering legal advertising to be published in non-legal fonts and formats. These ads and all other types of advertising for the City of La Crosse with River Valley Newspaper Group will be billed at rates earned under a total dollar volume agreement for the coming year. This agreement effectively discounts your base Display and Classified Display advertising rate as well as in-column classified line ads. We will provide additional discounts based on ad frequency, size and publication day when applicable.

Please note that official bid requests or similar business should be submitted to Heather Jones (heather.jones@lee.net) and Joy Monopoli (joy.monopoli@lee.net). Legal notices should be sent to rivervalley.legals@lee.net.

If you have any questions, please feel free to call me 608-791-8300.

Thank you for your business.

Sincerely,

Paul Pehler
Director of Advertising
River Valley Newspaper Group
608-791-8300



April 15, 2025

Nikki M. Elsen, WCMC
City Clerk
400 La Crosse St.
La Crosse, WI 54601

BID: City of La Crosse legal notices

Dear Nikki,

Thank you for the opportunity to continue as the official newspaper for the City of La Crosse. Our bid includes the rate for the City's legal notices. Below is a summary of our current and proposed legal rates.

Our submitted bid below is for the following:

B. The City's legal notices

	Bid 8/1/25-7/31/26	Current Rates	State Certified Rates
First insertion	1.0157	1.0157	1.0157
Additional Insertions	.8024	.8024	.8024

Facsimile Ballots will be at the current state certified rate at time of publication. Deadline for the publication of legal notices in the La Crosse Tribune is 3 working days prior to publication.

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Paul Pehler
Director of Advertising
River Valley Newspaper Group
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LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0541

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution granting various license applications pursuant to Chapters 4, 6, and/or 10 of the La Crosse Municipal Code for the license period 2024-2025 (June).

RESOLUTION

BE IT RESOLVED by the Common Council of the City of La Crosse that the following classes of licenses be and the same are hereby granted to each of the following named for the remainder of the 2024-2025 license period (or as otherwise stated), and that the beer and/or liquor license for previous licensee for said premise be hereby cancelled (unless otherwise noted below).

BE IT FURTHER RESOLVED that the City Clerk be directed to issue such license only after reports of full compliance have been received from the Police, Health, Fire, and Building & Inspections Departments with respect to the Municipal Code.

BE IT FURTHER RESOLVED that all Class “B” Beer, Class “A” Beer, “Class A” Liquor, “Class C” Wine, Combination “Class B” Beer and Liquor Licenses be placed in use within ninety (90) days of the granting thereof, unless and until the applicant advises the Common Council in writing within such ninety (90) day period that s/he is unable to complete the Code compliance requirements established by the various departments which are deemed necessary to bring the premises into compliance.

BE IT FURTHER RESOLVED that the City Clerk is authorized to issue the following license only after payment of all fees, taxes and charges of the City of La Crosse against the licensee and licensed premises, if any, and upon compliance with beer and liquor credit laws.

Alcohol

June 12, 2025 through June 30, 2025

Change of Agent

Kwik Trip Inc dba Kwik Trip #819

921 Losey Blvd S

New Agent: Jonah Stuhr – 1935 Miller St #305, La Crosse

Change of Agent

Downtown Mainstreet Inc dba La Crosse Center

300 Harborview Plz

New Agent: Hannah Amann – 1425 Travis St, La Crosse

TO THE JUDICIARY AND ADMINISTRATION COMMITTEE:

Following is a list of various licenses for the 2024-2025 license period to be considered by your committee on June 3, 2025.

Chickens

June 3, 2025 through December 31, 2025

ELIZABETH GRADY	2515 HACKBERRY LN
NATHAN & HANNAH KORISH	2526 LOOMIS ST
WAYLON LEONHARDT & AMANDA GUENTHER	3611 ELM DR
KILEE SIPUSICH	793 22ND ST N
EMMA INGALLS	522 KANE ST

Alcohol

June 12, 2025 through June 30, 2025

Change of Agent

Kwik Trip Inc dba Kwik Trip #819

921 Losey Blvd S

New Agent: Jonah Stuhr – 1935 Miller St #305, La Crosse

Change of Agent

Downtown Mainstreet Inc dba La Crosse Center

300 Harborview Plz

New Agent: Hannah Amann – 1425 Travis St, La Crosse

License Fee: _____

Invoice No.: _____

**APPLICATION TO OWN, KEEP AND/OR HARBOR CHICKENS
IN THE CITY OF LA CROSSE**

License Period: January 1, 25 to December 31, 25

Use Conditions:

- One property is limited to the keeping or harboring of up to eight (8) chickens.
- A person may only own, keep or harbor chickens on property being used as a one-family dwelling (single family) or two-family dwelling (duplex).
- No person shall keep any rooster.
- No person shall slaughter any chickens.
- Chickens shall be provided with a covered enclosure that measures a minimum of three (3) square feet per bird, and all chickens must be kept in the covered enclosure or a fenced enclosure within the backyard of the property at all times.
- No enclosure shall be located closer than 25 feet to any residential structure on an adjacent lot.

APPLICANT:

Elizabeth Grady

PROPERTY ADDRESS WHERE CHICKENS WILL BE KEPT:

2515 Hackberry Ln. La Crosse 54601

PROPERTY OWNER(S):

Elizabeth Grady

*If applicant is not the owner, please provide written documentation from the owner that they have been notified.
Not applicable for renewal.*


Is the property ☒ ONE-FAMILY dwelling or ☐ TWO-FAMILY dwelling? (Check One)

*If duplex, provide written documentation from other occupant that they have been notified.
Not applicable for renewal.*

Attach a scale drawing showing property lot lines, dimensions of coop/enclosure and distance from adjoining lot lines and residential structures.

Applying for and obtaining this chicken permit DOES NOT provide any authority to violate any restrictive covenants that govern the property where you reside or intend to keep chickens. Please review any Declaration of Restrictions or Restrictive Covenants that apply to the property prior to applying for a chicken permit. No permit fees will be refunded once they are paid.

I hereby certify that I have read and understand the content of this application and that the above statements are true and correct to the best of my knowledge. I further certify that I understand that any such license is subject to revocation in accordance with Municipal Code of Ordinances Sec. 6-16.



(signature)

(signature)
623.302.1175
(telephone)

5/21/2025
(date)

4677

/// = yard

! = lot line

x = coop

□ = neighbour's house

| = fence

Measurements

(estimates)

$$a \rightarrow x = 55 \text{ ft}$$

$$b \rightarrow x = 48 \text{ ft}$$

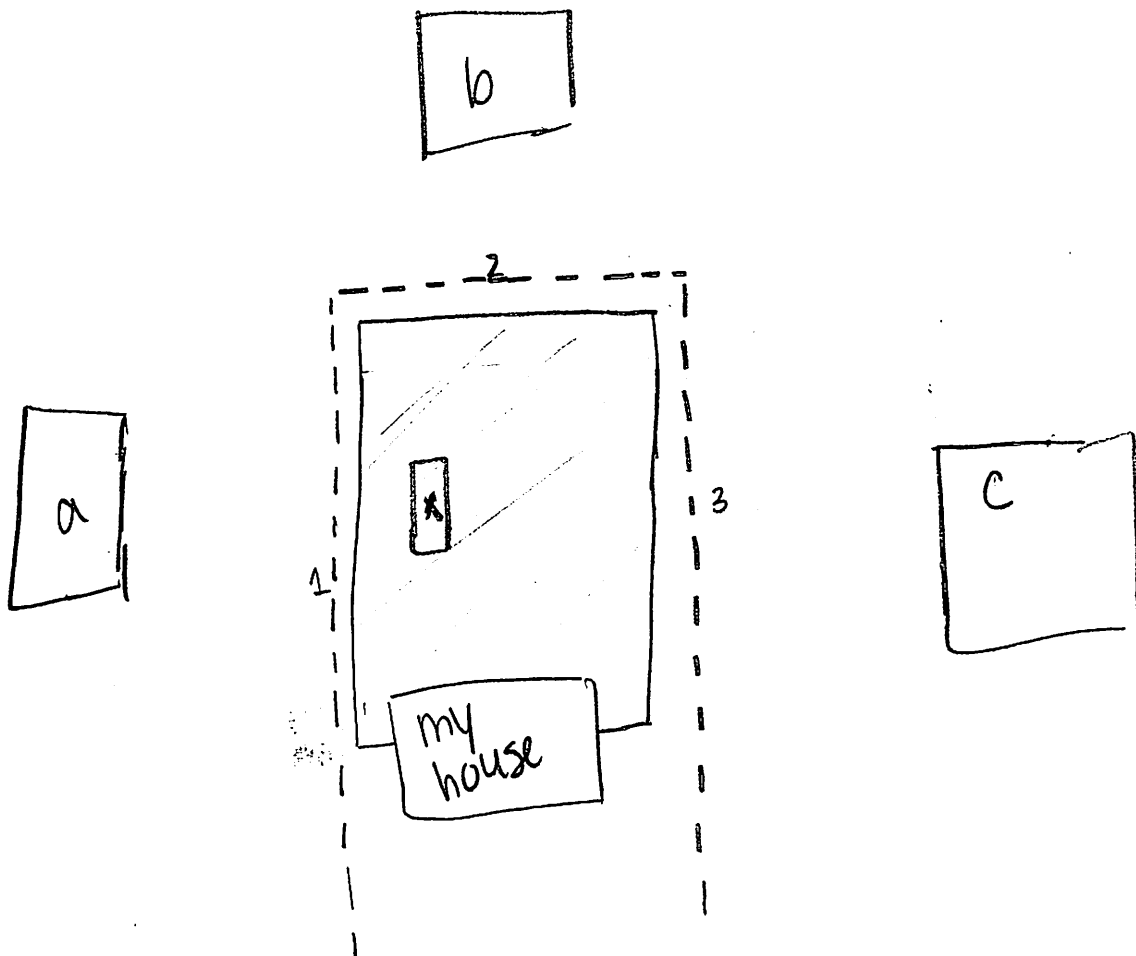
$$c \rightarrow x = 41 \text{ ft}$$

$$1 \rightarrow x = 31 \text{ ft}$$

$$2 \rightarrow x = 33 \text{ ft}$$

$$3 \rightarrow x = 31 \text{ ft}$$

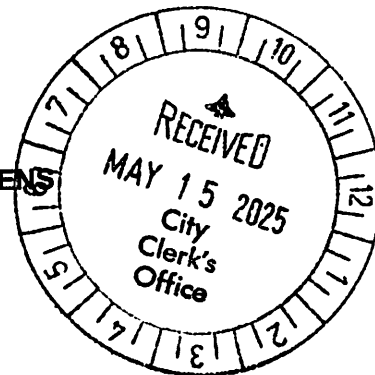
Coop w/ run = 83.14 x 35.14



License Fee: \$29.00

Invoice No.: _____

**APPLICATION TO OWN, KEEP AND/OR HARBOR CHICKENS
IN THE CITY OF LA CROSSE**



License Period: January 1, 29 to December 31, 29

Use Conditions:

- One property is limited to the keeping or harboring of up to eight (8) chickens.
- A person may only own, keep or harbor chickens on property being used as a one-family dwelling (single family) or two-family dwelling (duplex).
- No person shall keep any rooster.
- No person shall slaughter any chickens.
- Chickens shall be provided with a covered enclosure that measures a minimum of three (3) square feet per bird, and all chickens must be kept in the covered enclosure or a fenced enclosure within the backyard of the property at all times.
- No enclosure shall be located closer than 25 feet to any residential structure on an adjacent lot.

APPLICANT:

Hannah Korish

PROPERTY ADDRESS WHERE CHICKENS WILL BE KEPT:

2520 Loomis St.

PROPERTY OWNER(S):

Nathan & Hannah Korish

*If applicant is not the owner, please provide written documentation from the owner that they have been notified.
Not applicable for renewal.*

Is the property X ONE-FAMILY dwelling or _____ TWO-FAMILY dwelling? (Check One)

*If duplex, provide written documentation from other occupant that they have been notified.
Not applicable for renewal.*

Attach a scale drawing showing property lot lines, dimensions of coop/enclosure and distance from adjoining lot lines and residential structures.

Applying for and obtaining this chicken permit DOES NOT provide any authority to violate any restrictive covenants that govern the property where you reside or intend to keep chickens. Please review any Declaration of Restrictions or Restrictive Covenants that apply to the property prior to applying for a chicken permit. No permit fees will be refunded once they are paid.

I hereby certify that I have read and understand the content of this application and that the above statements are true and correct to the best of my knowledge. I further certify that I understand that any such license is subject to revocation in accordance with Municipal Code of Ordinances Sec. 6-16.

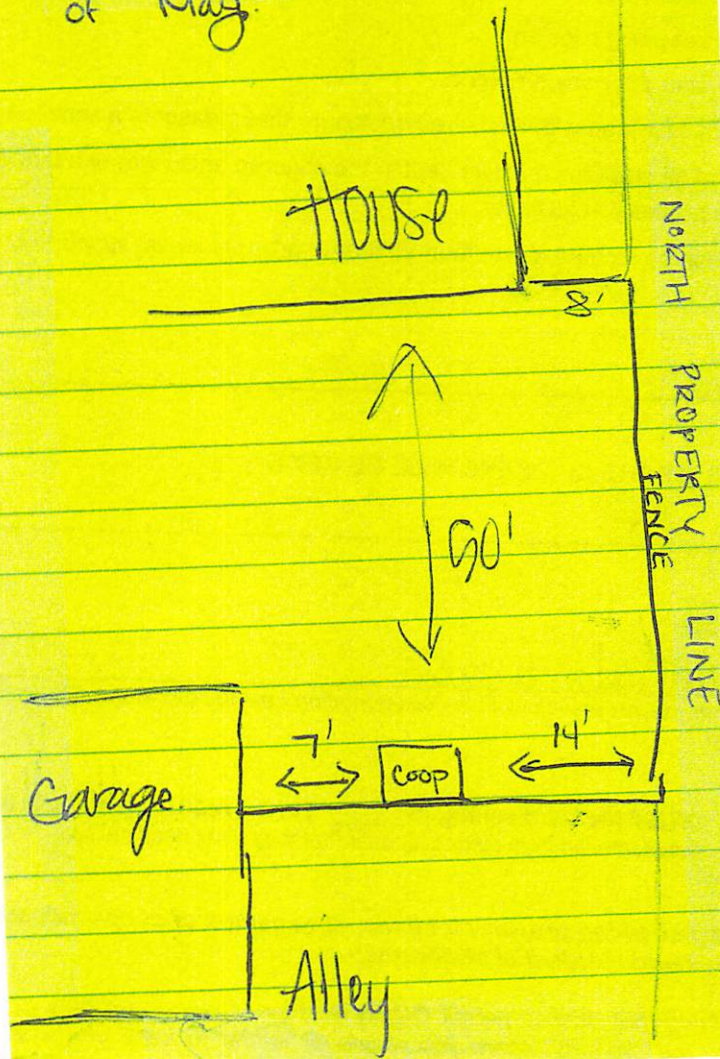
Hannah Korish
(signature)

(signature)

608-633-7314
(telephone)

05/13/2025
(date)

Chickens brought home the beginning
of May.



License Fee: _____

Invoice No.: _____

**APPLICATION TO OWN, KEEP AND/OR HARBOR CHICKENS
IN THE CITY OF LA CROSSE**

License Period: January 1, 2025 to December 31, 2025

Use Conditions:

- One property is limited to the keeping or harboring of up to eight (8) chickens.
- A person may only own, keep or harbor chickens on property being used as a one-family dwelling (single family) or two-family dwelling (duplex).
- No person shall keep any rooster.
- No person shall slaughter any chickens.
- Chickens shall be provided with a covered enclosure that measures a minimum of three (3) square feet per bird, and all chickens must be kept in the covered enclosure or a fenced enclosure within the backyard of the property at all times.
- No enclosure shall be located closer than 25 feet to any residential structure on an adjacent lot.

APPLICANT:

Waylon Leonhardt & Amanda Guenther

PROPERTY ADDRESS WHERE CHICKENS WILL BE KEPT:

3611 Elm Dr LaCrosse, WI 54601

PROPERTY OWNER(S):

Waylon Leonhardt

*If applicant is not the owner, please provide written documentation from the owner that they have been notified.
Not applicable for renewal.*

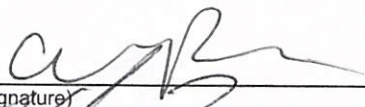
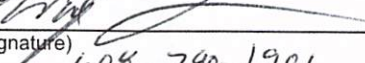
Is the property X **ONE-FAMILY** dwelling or **TWO-FAMILY** dwelling? (Check One)

*If duplex, provide written documentation from other occupant that they have been notified.
Not applicable for renewal.*

Attach a scale drawing showing property lot lines, dimensions of coop/enclosure and distance from adjoining lot lines and residential structures.

*Applying for and obtaining this chicken permit **DOES NOT** provide any authority to violate any restrictive covenants that govern the property where you reside or intend to keep chickens. Please review any Declaration of Restrictions or Restrictive Covenants that apply to the property prior to applying for a chicken permit. No permit fees will be refunded once they are paid.*

I hereby certify that I have read and understand the content of this application and that the above statements are true and correct to the best of my knowledge. I further certify that I understand that any such license is subject to revocation in accordance with Municipal Code of Ordinances Sec. 6-16.


(signature)

(signature)
608-780-1901
(telephone)
4/28/25
(date)



Neighbors house

106'

lot line / fence

10'

9'

Garage

coop to Elm Dr 200'+



License Fee: _____

Invoice No.: _____

**APPLICATION TO OWN, KEEP AND/OR HARBOR CHICKENS
IN THE CITY OF LA CROSSE**

License Period: January 1, ____ to December 31, ____

Use Conditions:

- One property is limited to the keeping or harboring of up to eight (8) chickens.
- A person may only own, keep or harbor chickens on property being used as a one-family dwelling (single family) or two-family dwelling (duplex).
- No person shall keep any rooster.
- No person shall slaughter any chickens.
- Chickens shall be provided with a covered enclosure that measures a minimum of three (3) square feet per bird, and all chickens must be kept in the covered enclosure or a fenced enclosure within the backyard of the property at all times.
- No enclosure shall be located closer than 25 feet to any residential structure on an adjacent lot.



APPLICANT:

Kilee Sipusich

PROPERTY ADDRESS WHERE CHICKENS WILL BE KEPT:

793 22ND ST N LA CROSSE, WI 54601

PROPERTY OWNER(S):

James + Kilee Sipusich

*If applicant is not the owner, please provide written documentation from the owner that they have been notified.
Not applicable for renewal.*

Is the property ☒ **ONE-FAMILY dwelling** or ☐ **TWO-FAMILY dwelling?** (Check One)

*If duplex, provide written documentation from other occupant that they have been notified.
Not applicable for renewal.*

Attach a scale drawing showing property lot lines, dimensions of coop/enclosure and distance from adjoining lot lines and residential structures.

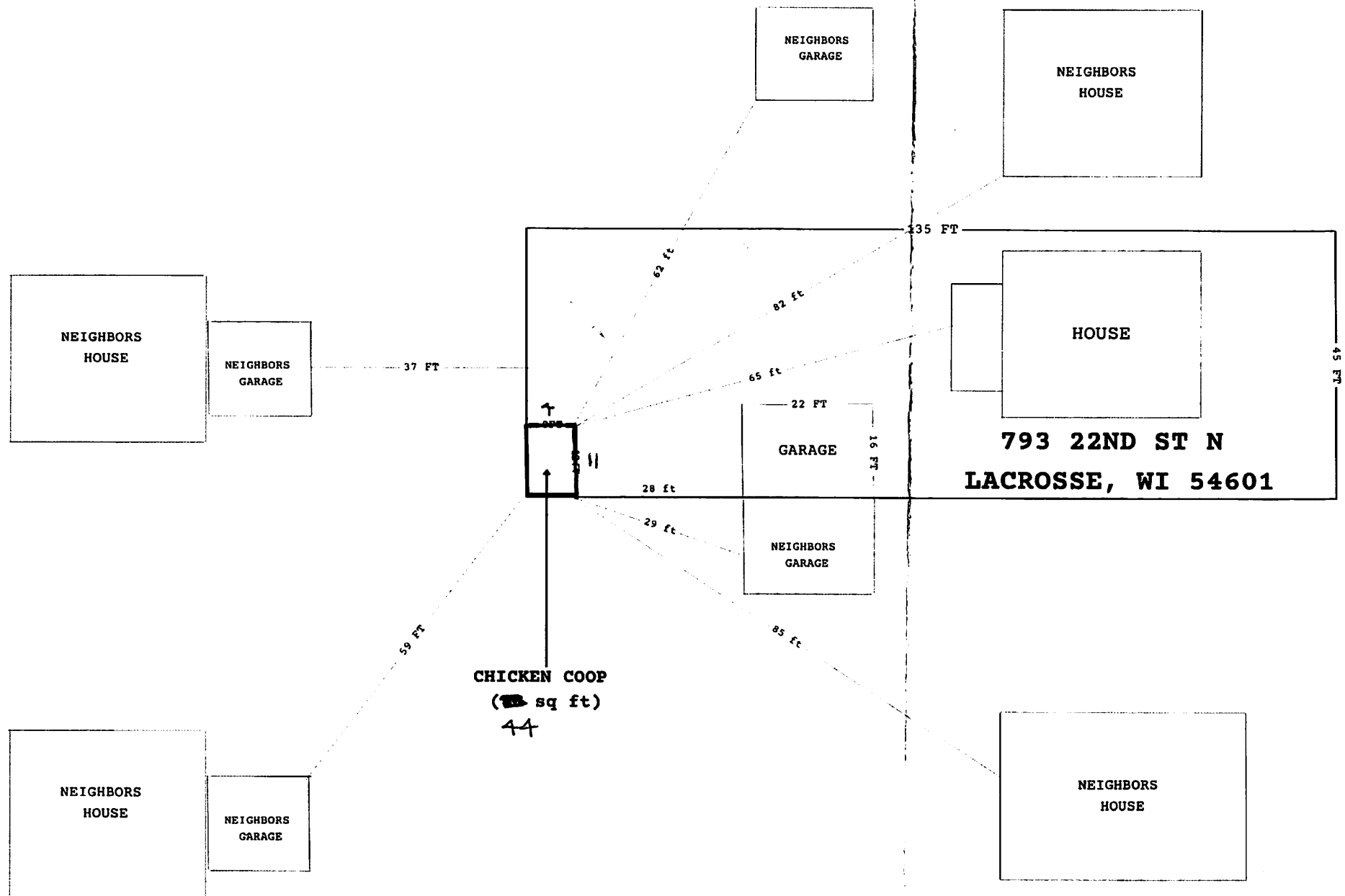
*Applying for and obtaining this chicken permit **DOES NOT** provide any authority to violate any restrictive covenants that govern the property where you reside or intend to keep chickens. Please review any Declaration of Restrictions or Restrictive Covenants that apply to the property prior to applying for a chicken permit. No permit fees will be refunded once they are paid.*

I hereby certify that I have read and understand the content of this application and that the above statements are true and correct to the best of my knowledge. I further certify that I understand that any such license is subject to revocation in accordance with Municipal Code of Ordinances Sec. 6-16.

Kilee Sipusich
(signature)

507-450-3307
(signature)
(telephone)

5/19/2025
(date)



License Fee: \$25

Invoice No.: 48519

**APPLICATION TO OWN, KEEP AND/OR HARBOR CHICKENS
IN THE CITY OF LA CROSSE**

License Period: January 1, 2025 to December 31, 2025

Use Conditions:

- One property is limited to the keeping or harboring of up to eight (8) chickens.
- A person may only own, keep or harbor chickens on property being used as a one-family dwelling (single family) or two-family dwelling (duplex).
- No person shall keep any rooster.
- No person shall slaughter any chickens.
- Chickens shall be provided with a covered enclosure that measures a minimum of three (3) square feet per bird, and all chickens must be kept in the covered enclosure or a fenced enclosure within the backyard of the property at all times.
- No enclosure shall be located closer than 25 feet to any residential structure on an adjacent lot.

APPLICANT:

Emma Ingalls

PROPERTY ADDRESS WHERE CHICKENS WILL BE KEPT:

522 Kane Street, LaCrosse WI 54603

PROPERTY OWNER(S):

Ethan Ingalls

*If applicant is not the owner, please provide written documentation from the owner that they have been notified.
Not applicable for renewal.*

Is the property ☒ **ONE-FAMILY** dwelling or ☐ **TWO-FAMILY** dwelling? (Check One)

*If duplex, provide written documentation from other occupant that they have been notified.
Not applicable for renewal.*

Attach a scale drawing showing property lot lines, dimensions of coop/enclosure and distance from adjoining lot lines and residential structures.

*Applying for and obtaining this chicken permit **DOES NOT** provide any authority to violate any restrictive covenants that govern the property where you reside or intend to keep chickens. Please review any Declaration of Restrictions or Restrictive Covenants that apply to the property prior to applying for a chicken permit. No permit fees will be refunded once they are paid.*

I hereby certify that I have read and understand the content of this application and that the above statements are true and correct to the best of my knowledge. I further certify that I understand that any such license is subject to revocation in accordance with Municipal Code of Ordinances Sec. 6-16.

Emma Ingalls
(signature)

(signature)

(telephone)

5/27/25
(date)

17-10216-020
CHARLES B
BRITTEN

17-10216-030
CHARLES
BRITTEN CAROL
NELSON BRITTEN

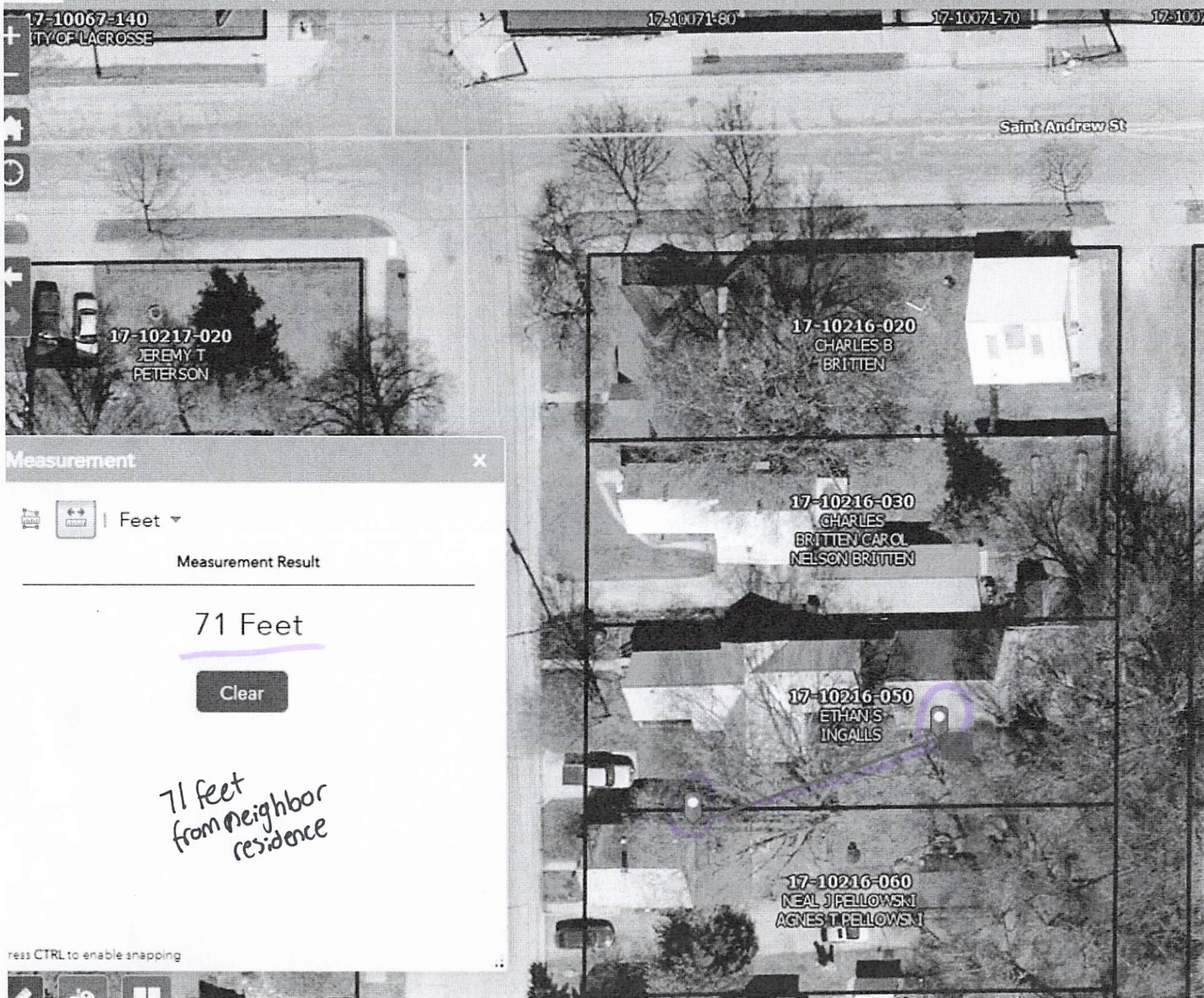
17-10216-050
ETHAN S
INGALLS

17-10216-060
NEAL J FELLOWSKI
AGNES T FELLOWSKI

9x15 x covered
enclosed Run
with 3x5 Coop
attached to back

Property
Lot Lines

our
house



17-10067-140
CITY OF LACROSSE

17-10071-80

17-10071-70

17-10071-60

Saint Andrew St

17-10217-020
JEREMY T
PETERSON

17-10216-020
CHARLES B
BRITTEN

17-10216-030
CHARLES
BRITTEN CAROL
NELSON BRITTEN

17-10216-050
ETHAN S
INGALLS

17-10216-060
NEAL J PELLOWSKI
AGNES T PELLOWSKI

Measurement

Feet

Measurement Result

71 Feet

Clear

71 feet from neighbor residence

Press CTRL to enable snapping

17-10067-140
CITY OF LACROSSE

17-10071-80

17-10071-70

17-10071-60

Saint Andrew St

17-10217-020
JEREMY T
PETERSON

17-10216-020
CHARLES B
BRITTEN

Measurement



Feet

Measurement Result

59.8 Feet

Clear

59.8ft.
from neighbor
residence

17-10216-030
CHARLES
BRITTEN CAROL
NELSON BRITTEN

17-10216-050
ETHAN S
INGALLS

17-10216-060
NEAL J PELLOWSKI
AGNES T PELLOWSKI

Emma Ingalls is notifying Ethan Ingalls of chickens on the property

Ethan Ingalls accepts chicken on the property

Sign:

Ethan Ingalls 5/22/25

Emma Ingalls

Sign:

Emma Ingalls

5/22/25



Legal

PHONE 608-781-8988

FAX 608-793-6120

May 19, 2025

Licensing Coordinator
La Crosse City Clerk's Office
400 La Crosse St.
La Crosse, WI 54601



1626 Oak St., P.O. Box 2107
La Crosse, WI 54602

www.kwiktrip.com

RE : Appointment of Agent
Kwik Trip 819
921 Losey Blvd. S.

Dear Licensing Coordinator:

Effective May 30, 2025 a new manager, Jonah Stuhr, will take over leadership responsibilities of Kwik Trip 819. Therefore, we would like to appoint Jonah as the agent of the store.

Enclosed please find the completed agent forms. Also enclosed please find a \$10 payment for the processing fee for this service. I would like to request that you include this change on the agenda of your next city council meeting for consideration.

Please contact me at DHafner@kwiktrip.com or 793-6262 if you require anything further. Thank you for your assistance with this.

Yours truly,

Deanna Hafner
Legal Dept.

Enclosures

PS: I have also enclosed revised copies of the license renewal applications.

Form

AB-101

Alcohol Beverage Appointment of Agent

Date

Agent Type (check one)☐ Original (no fee)☒ Successor (\$10 fee for municipal licensees only)**Part A: Business Information**

1. Legal Business Name (individual name if sole proprietor)

Kwik Trip, Inc.

2. Business Trade Name or DBA

Kwik Trip 819

3. Entity Type (check one)

☐ Limited Liability Company☒ Corporation☐ Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

☒ Municipal Retail License☐ State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

New agent assigned to oversee the store.

Part B: Agent Information

1. Last Name

Stuhr

2. First Name

Jonah

3. M.I.

A.

4. Email

LicensingDept@kwiktrip.com

5. Phone

608-498-0705

6. Home Address

1935 Miller St., Apt. 305

7. City

La Crosse

8. State

WI

9. Zip Code

54601

10. Date of Birth

11. Drivers License/State ID Number

12. Drivers License/State ID State of Issuance

WI

Part C: Agent Questions1. Have you satisfied the responsible beverage server training requirement?
Submit proof of completion.☒ Yes ☐ No2. Have you completed Form AB-100, Alcohol Beverage Individual Questionnaire (licensee) or
Form AB-300, Alcohol Beverage Personal Questionnaire (permittee)?☒ Yes ☐ No3. Have you been a Wisconsin resident for at least 90 continuous days?
See instructions for exceptions.☒ Yes ☐ No

Continued →

Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Zietlow	First Name Scott	M.I. P.
Title President	Email LicensingDept@kwiktrip.com	Phone 608-793-4741
Signature <i>Scott P. Zietlow</i>		Date 5-16-25

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Stuhr	First Name Jonah	M.I. A
Signature <i>[Handwritten Signature]</i>		Date 05/17/25

Form
AB-100

Alcohol Beverage Individual Questionnaire

Date _____

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization.
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information	
1. Legal Business Name (Individual name if sole proprietor) Kwik Trip, Inc.	
2. Business Trade Name or DBA Kwik Trip 819	
3. Entity Type (check one) <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input type="checkbox"/> Limited Liability Company <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization	

Part B: Individual Information					
1. Last Name Stuhr		2. First Name Jonah		3. M.I. A.	
4. Relationship to Business (Title) Agent		5. Email LicensingDept@kwiktrip.com		6. Phone 608-498-0705	
7. Home Address 1935 Miller St., Apt. 305					
8. City La Crosse		9. State WI	10. Zip Code 54601		11. Date of Birth [REDACTED]
12. Drivers License/State ID Number [REDACTED]			13. Drivers License/State ID State of Issuance WI		

Part C: Address History							
1. Do you currently live in Wisconsin? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No							
- If yes, provide the month and year when you permanently moved to Wisconsin (MM/YYYY) 05/1995							
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.							
Previous Address 1 1935 Miller St., Apt. 305				City La Crosse		State WI	Zip Code 54601
Previous Address 2 N7795 Amsterdam Prairie Rd.				City Holmen		State WI	Zip Code 54636
Previous Address 3				City		State	Zip Code
Previous Address 4				City		State	Zip Code
Previous Address 5				City		State	Zip Code
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.							
State WI	County La Crosse	State	County	State	County	State	County
State	County	State	County	State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature: 

Date: 05/17/25

Form
AB-100Alcohol Beverage
Individual QuestionnaireDate
04/29/2025

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Downtown Mainstreet Inc

2. Business Trade Name or DBA

LaCrosse Center

3. Entity Type (check one)

☐ Sole Proprietor ☐ Partnership ☐ Limited Liability Company ☐ Corporation ☒ Nonprofit Organization
Part B: Individual Information

1. Last Name

Amann

2. First Name

Hannah

3. M.I.

L

4. Relationship to Business (Title)

~~DMI Board Member~~ Agent

5. Email

heytherehannah.llc@gmail.com

6. Phone

(563) 552-6216

7. Home Address

1425 Travis Street

8. City

La Crosse

9. State

WI

10. Zip Code

54601

11. Date of Birth

[REDACTED]

12. Drivers License/State ID Number

[REDACTED]

13. Drivers License/State ID State of Issuance

WI

Part C: Address History1. Do you currently live in Wisconsin? ☒ Yes ☐ No

If yes, provide the month and year when you permanently moved to Wisconsin (MM/YYYY)

07/2019

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1	City	State	Zip Code
1425 Travis Street	La Crosse	WI	54601
Previous Address 2	City	State	Zip Code
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
WI	La Crosse	IA	Black Hawk	WI	Grant		
State	County	State	County	State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.


Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 	Date 04/29/2025
---	--------------------

Form
AB-101Alcohol Beverage
Appointment of AgentDate
04/29/2025

Agent Type (check one)

- ☐
- Original (no fee)
- ☒
- Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Downtown Mainstreet Inc

2. Business Trade Name or DBA

Larosse Center

3. Entity Type (check one)

- ☐
- Limited Liability Company
- ☐
- Corporation
- ☒
- Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☒
- Municipal Retail License
- ☐
- State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

ALC007301-05-2024

6. Describe the reason for appointing a successor agent, if successor is checked above.

previous agent moved from the area.

Part B: Agent Information

1. Last Name

Amann

2. First Name

Hannah

3. M.I.

L

4. Email

heytherehannah.llc@gmail.com

5. Phone

563-552-6216

6. Home Address

1425 Travis St

7. City

Larosse

8. State

WI

9. Zip Code

54601

10. Date of Birth

[REDACTED]

11. Drivers License/State ID Number

[REDACTED]

12. Drivers License/State ID State of Issuance

WI


Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ☐ Yes ☐ No
Submit proof of completion.
2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire* (licensee) or
Form AB-300, *Alcohol Beverage Personal Questionnaire* (permittee)? ☒ Yes ☐ No
3. Have you been a Wisconsin resident for at least 90 continuous days? ☒ Yes ☐ No
See instructions for exceptions.

Continued →


Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Pielhop		First Name Kathleen	M.I. E
Title Downtown Mainstreet Inc.	Email hello@lacrossedowntown.com	Phone (608) 784-0440	
Signature 		Date 04/29/25	

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Amann		First Name Hannah	M.I. L
Signature 		Date 04/29/25	

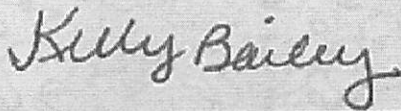
Wisconsin Responsible Beverage Seller/Server Training

HANNAH AMANN

has met all training requirements and successfully completed the above course and/or exam.

Certification Number: SL193765

Date of Completion: 05/08/2025



Authorized Signature

This certificate represents the successful completion of an approved Wisconsin Department of Revenue Responsible Beverage Server Course in compliance with secs. 125.04(5)(a)5., 125.17(6), and 134.66(2m), Wis. Stats. Present this certificate to your local municipal clerk's office to receive your Operator's or Retail license.

Diversys Learning, Inc.
1101 Arrow Point Drive, Suite 302
Cedar Park, TX 78613



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0542

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Application

Agenda Number:

Resolution granting various license applications pursuant to Chapters 4, 6, and/or 10 of the La Crosse Municipal Code for license period 2025-2026.

RESOLUTION

BE IT RESOLVED by the Common Council of the City of La Crosse that the attached list of various licenses be hereby granted to each of the named for the year July 1, 2025 through June 30, 2026.

BE IT FURTHER RESOLVED that the City Clerk be directed to issue such license only after reports of full compliance have been received from the Police, Health, Fire, and Building & Inspections Departments with respect to the Municipal Code.

BE IT FURTHER RESOLVED that the all Class "B" Beer, Class "A" Beer, "Class A" Liquor, "Class C" Wine, and Combination "Class B" Beer and Liquor licenses be placed in use within ninety (90) days of the granting thereof, unless and until the applicant advises the Common Council in writing within such ninety (90) day period that s/he is unable to complete the Code compliance requirements established by the various departments which are deemed necessary to bring the premises into compliance.

BE IT FURTHER RESOLVED that the City Clerk is authorized to issue the following license only after payment of all fees, taxes and charges of the City of La Crosse against the licensee and licensed premise, if any, and upon compliance with beer and liquor credit laws.



LA CROSSE
POLICE DEPARTMENT
LEAD. PARTNER. PROTECT.

MEMORANDUM

DATE: May 29, 2025
TO: Judiciary and Administrative Committee
FROM: Lieutenant J. Wenger *J. Wenger*
SUBJECT: Alcohol Report
COPIES TO: Chief Kudron

To members of the Judiciary and Administration Committee,

This quarterly report summarizes alcohol related activities conducted by the La Crosse Police Department during the reporting period of July 1, 2024 through May 21, 2025. The department remains committed to reducing alcohol-related crime and ensuring the safety of the community through targeted enforcement, education, and partnerships with local agencies and businesses.

Community Outreach and Education: The department participated in several events, providing alcohol education to business owners and their employees. Topics include the dangers and consequences of underage drinking, practices of safe alcohol service, and how to determine if identifications are false.

03/11/2025	#25-09864	Training with Tequila's staff. 7 staff attended.
03/27/2025	#25-12386	Meet with Bierhaus staff re: Underage violations.
03/28/2025	#25-12545	Meet with Tequila's for answering any questions related to abatement plan. Officer ensured the business was in compliance.
04/11/2025	#25-14654	Meet with bar staff for Animal House, State Room, and The Crow. Training on local ordinances and state law, review checking for false ID. 38 staff attended.
05/21/2025	No case number	Contact with Bierhaus Management regarding concerning behavior of juveniles found inside the bar.

Officers engage with licensed businesses when opportunities present themselves. When an alcohol violation is observed, our officers follow up with staff of the business so they are made aware. Following a violation, letters are sent from the police department to the business license agent alerting them of the police contact and the enforcement taken (see appendix A).

Compliance Checks: Compliance checks are conducted quarterly over a two-day period. This requires a dedicated enforcement team of two officers and two volunteers who are underage per day.

The underage volunteers walk into licensed businesses using their own government issued identification in an effort to purchase alcohol. Those that fail meet with officers and are issued a citation for serving an underage person. Officers will inspect the bar for proper licensing/display, bartender's licenses, and ensure customers are not being overserved. A form is completed on site as a part of the inspections (see Appendix B).

The police department works closely with the La Crosse County Health Department as a part of our outreach and education, exchanging data and information to assist them in their outreach efforts. The health department sends out a letter in the mail every July, following the start of the license year. The letter informs licensed businesses that compliance checks will be conducted randomly each quarter by law enforcement. Following a compliance check, the licensed business will receive a letter from the health department, indicating whether they passed or failed.

In the first three quarters of the current 2024/2025 license year the department conducted 30 compliance checks on alcohol-licensed businesses. Nine licensed businesses were found in violation, resulting in citations issued to the employee responsible.

Failures:

Hy-Vee	Shimmy's
Bierhaus	Bennet O'Reilly's (south)
Bodega	State Room
Who's on Third?	Cheap Andy's
Barrel Inn	

The La Crosse County Health Department will mail a letter to those licensed businesses visited during the compliance checks, regardless of them passing or failing. In addition to the letter mailed by the health department for those who fail, the police department will also send a letter addressed to the agent informing them of the violation.

Bar Checks: Officers routinely conduct bar checks at licensed businesses in their area of their patrol/responsibility. These checks include observations of suspected underage persons, checking bartender's licensing, alcohol license compliance, and other enforceable laws. Officers take the opportunity to engage with staff to promote safety and compliance. Not all contacts by police are enforced; there can be an educational component without enforcement to gain compliance.

Challenges Encountered:

Limited staffing coupled with an increased call volume on night shift decreases the opportunity for proactive calls for service, such as bar checks and/or COP's.

A few businesses are only open on the busier nights (Thursday, Friday, and Saturday), reducing the ability for officers to communicate with staff for the engagement component. When these businesses are open and busy, making connections with staff and/or business owners can be difficult.

Opportunities:

The Downtown Neighborhood Resource Officer (NRO) conducts follow-ups with business owners during the daytime, allowing them the opportunity to engage and have a conversation without the worry of call volume during busier business hours. The NRO is a dedicated officer specific to the downtown area who works closely and consistently with businesses, supporting the philosophy of our department's engagement strategies.

Continued education from officers is not only in the form of hosting classes. Education can also mean officers communicating with businesses at the time of initial contact to ensure businesses understand their responsibilities under state law and ordinances. This is a common occurrence with officers, which promotes the cooperative police-public relationship.

Officers are additionally directed to note the name of the business on any citation issued to an employee during their work for the business to facilitate improved tracking of compliance issues of business licensees/agents.

Attention:BIERHAUS/LEGENDS

Bierhaus/Legends (128 3rd St. So./223 Pearl St. respectively) has had many law enforcement contacts in the 2024-2025 alcohol license year. Below is a synopsis of incidents, outside of bar checks which have raised our attention:

- Case No. 24-56766-December 15, 2024: Two 15-year-old juveniles were live streaming their presence inside the business. They were located, cited, and released to their parents. Upon review of downtown video cameras, the juveniles were observed entering through the open garage doors along 3rd St. Bierhaus was issued a written warning for allowing an underage person in a bar. Officers suggested at the time that the business keep the garage doors closed as they posed a concern for allowing people inside undetected.
- Case No. 25-12219-March 26, 2025: Officers were conducting a quarterly compliance check. Bierhaus was selected to participate in this check. An underage person walked into the bar and ordered a beer. The bartender did not ask for identification and did not ask the underage person for any information to verify their age. The beer was provided to the underage person, who then reported this to officers waiting outside. The bar tender was cited for Sale/Furnish Malt Beverage to Underage.
- Case No. 25-18409-May 3, 2025: Sergeant Purkapile and several other officers conducted a bar check. Upon doing so, the licensee's alcohol license was not on display. It took staff and management an extended time to locate the license, which was in the office in the basement. Sergeant Purkapile took the opportunity to educate management and staff about the ordinance, and state law, regarding display of their alcohol license. He also took the opportunity to address concerns of the

garage doors being open as people were still being observed using it to enter and exit the business.

- Case No. 25-20794-May 18, 2025: A complainant called police after learning that her middle-school-aged child was inside the bar. The 13-year-old female was found inside by her mother who brought her outside to meet officers. Bierhaus was cited for Allowing an Underage Person in a Bar.
- Case No. 25-20795-May 18, 2015: While on the previously mentioned call, several juveniles were seen on the sidewalk throwing objects into the bar, which had the garage doors open. After an investigation, it was discovered that these juveniles, aged 15, and 17, had entered the bar through the open garage doors. These two juveniles were not cooperative, were intoxicated, and caused problems for officers. They were cited and released to their parents. Because of the proximity to the previous incident- and the citation was already issued for Allowing an Underage Person in a Bar, the bar was not cited separately in this incident.
- May 27, 2025-Will Jedlicka (Bierhaus Agent) emailed Sergeant Purkapile inquiring about the latest citation. In the correspondence, and follow up phone calls, Will was receptive to keeping the garage doors closed. He indicated he had told his staff to close them at midnight. He was unaware that they were still being left open. He will continue to make sure his staff follows through and keeps the doors closed.

TEQUILAS

In May 2024, the City of La Crosse sought non-renewal of Tequila's alcohol license for failure to comply with local ordinances related to the sale of alcohol. Rather than revoke the license and causing a loss of business, the City entered into an abatement agreement with Tequila's, which ends June 30, 2025.

- Case No. 24-42839-September 19, 2024: Officers conducted a bar check and located four individuals under the age of 21 sitting at the bar inside the establishment. They explained that the bartender provided them alcohol because he knew them. The bartender was questioned and did ID them, and this was confirmed. All four verbally identified themselves as underage but could not produce any false IDs, if they had any on their persons. All four were cited for underage consumption. Tequila's was briefed on the enforcement action, and officers reminded staff to not serve alcohol if they have any doubts that the ID's provided are real.
- Case No. 25-08482-March 2, 2025: Officers conducted a bar check after separate officer stopped in the parking lot of Tequila's following an unrelated call for service. Patrons inside Tequila's seemed nervous about law enforcement presence and began filing out. The officer outside radioed for assistance. As more officers arrived, more patrons left or tried to leave. In total, 18 tickets were issued to underage individuals who had been drinking. Tequila's was cited for Allowing an Underage Person in a Bar.

Since this agreement, there has not been a repeated pattern of behavior. City departments have met with Tequila's staff several times to follow up on their compliance. Those in attendance at such meetings included staff from the Police Department and Legal Department; and employees of Tequila's.



March 27, 2025

WILLARD JEDLICKA
DBA BIERHAUS
128 3RD ST S
LA CROSSE, WI 54601

Dear Willard Jedlicka:

On 03/26/2025, an employee, [REDACTED], was issued municipal ordinance citation for violation of the following Municipal Code:

1. 4-6 Sale/Furnish Malt Bev to Underage

Copies of the citations are attached for your review.

Any further violations of the city code or state law will result in a citation issued to you as the license holder/agent of the establishment.

Per the resolution passed by the City Council dated August 20, 1987, "three violations of the City Code and/or State laws per licensed establishment within a license year shall be cause for a hearing before the Judiciary and Administration Committee as to whether such license should be suspended, revoked, or non-renewed."

If you would like to discuss this matter further, please contact me at (608) 789-7230.

Sincerely,

Shawn P. Kudron
Chief of Police

By:

Greg Elsen
Supervisor - Records & Licensing Division

CC: City Clerk's Office

Alcohol Compliance Check Data Sheet

APPENDIX B

Minor: _____ Waiver Completed : ☐ Yes ☐ No Officer(s): _____

PBT Time/Results of Minor: (BEFORE) _____ (AFTER) _____ Establishment: _____

Visit Date: _____

Visit Time: _____

Inspected: ☐ Yes ☐ No

Willing to Sell: ☐ Yes ☐ No

Alcohol Type: ☐ Beer ☐ Wine ☐ Liquor ☐ Other _____

Alcohol Brand: _____

Product Location: ☐ Cooler ☐ Behind the counter ☐ Aisle ☐ Other _____

Clerk Name: _____

Clerk Gender: ☐ Male ☐ Female

Clerk Age: ☐ Teen (under 20) ☐ Young adult (20-40) ☐ Mature Adult (41-65) ☐ Senior 66 plus

ID Checked: ☐ Yes ☐ No

Citation Given: ☐ Yes ☐ No

No Sales to Minors Sign: ☐ Yes ☐ No

Comments: _____

TO THE JUDICIARY AND ADMINISTRATION COMMITTEE:

The following list is to be considered by your committee on June 3, 2025 for the July 1, 2025 through June 30, 2026 license period:

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2.	Summary of Changes to License(s)	2
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8.	Combination “Class B” Beer & Liquor	8
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10.	Beer Garden – Class A	14
11.	Beer Garden – Class B	15
12.	Indoor Cabaret	16
13.	Outdoor Cabaret	19
14.	Dance Hall	20
15.	Junk Dealer	21
16.	Mall/Flea Market	22
17.	Mobile Home Parks	23
18.	Recycling – Processing Facilities	24
19.	Recycling – Recycling Center	25
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21.	Roller Rink	27
22.	Secondhand Article Dealer	28
23.	Secondhand Jewelry, Precious Metals & Gems	29
24.	Theatre	30

The following is a list of new applications for the 2025-2026 license period:

NEW APPLICATIONS

Genzie's Gameday Pub LLC <i>d/b/a Genzie's Gameday Pub</i> New Application : <i>Outdoor Cabaret</i>	1101 Saint Andrew St
Rays Adam St. Pub LLC <i>d/b/a Adams St. Pub</i> New Application: <i>Outdoor Cabaret</i>	1200 11 th St S
Rays Adam St. Pub LLC <i>d/b/a Adams St. Pub</i> New Application: <i>Indoor Cabaret</i>	1200 11 th St S
Grounded Coffee LLC <i>d/b/a Grounded Patio Cafe</i> New Application: <i>Combination "Class B" Beer & Liquor</i>	308 Main St
Riverstone Hospitality LLC <i>d/b/a The Pearl Street Hotel & Suites</i> New Application: <i>Combination "Class B" Beer & Liquor</i>	200 Pearl St
Loyalty Boys LLC <i>d/b/a Roller City Disco</i> New Application: <i>Roller Rink</i>	205 5 th Ave S/508 Jay St
MEGPE LLC <i>d/b/a Boot Hill Pub</i> Surrender from DGC LLC: <i>Combination "Class B" Beer & Liquor</i> New Applications: <i>Indoor & Outdoor Cabarets</i>	1501 Saint Andrew St, Ste 101
Apizza La Crosse LLC <i>d/b/a Uno Venti Pizzeria</i> Surrender from Uno Venti LLC: <i>Combination "Class B" Beer & Liquor</i> New Application: <i>Beer Garden</i>	120 King St
Sagra Food & Wine LLC <i>d/b/a Sagra Food & Wine/Italico Catering/Piggy's/Osteria Emilia</i> Surrender from R & R Restaurants Inc: <i>Combination "Class B" Beer & Liquor</i>	501 Front St
Juniper Partners <i>d/b/a Rivercrest Village</i> New Application: <i>Mobile Home Park</i>	4905 Rivercrest Dr N, 5050, 5100, & 540 Mormon Coulee Rd

The following is a list of changes in licenses for the 2025-2026 license period:

CHANGES TO LICENSES

Earl's Grocery & Saloon LLC <i>dba</i> Earl's Grocery & Saloon Agent Change Jim Flottmeyer	401 3 rd St S W4364 Drectrah Rd, La Crosse
The Pearl LLC <i>dba</i> The Grand Hotel Ballroom & Gallery Agent Change Danielle Peterslie	205 Pearl St N1406 Red Oaks Dr, La Crosse
La Crosse Lodge #1920 Loyal Order of Moose Inc. <i>dba</i> Moose Lodge 1920 Agent Change Connie Troyanek	1932 Ward Ave 2726 Shelby Rd, La Crosse

The following is a list of licensees who have requested discontinuing operations pursuant to Sec. 4-44 of the Municipal Code for the 2025-2026 license period.

REQUEST TO DISCONTINUE OPERATIONS – SEASONAL

Kemper Sports Management Inc <i>d/b/a Forest Hills Golf Course</i> 600 Losey Blvd N <i>Combination "Class B" Beer and Liquor</i>	Discontinue operations on or about November 15, 2025 through March 15, 2026
La Crosse Baseball LLC <i>d/b/a La Crosse Loggers</i> 800 Copeland Park Dr <i>Combination "Class B" Beer and Liquor</i>	Discontinue operations on or about November 1, 2025 through May 1, 2026
River City Youth Hockey Inc <i>d/b/a River City Youth Hockey</i> 2312 7 th St S <i>Class "B" Beer</i>	Discontinue operations July 1 – Sept. 30, 2025, Operate October 1, 2025 through March 31, 2026; Discontinue April 1 through June 30, 2026
Walsh Golf Range Inc <i>d/b/a Walsh Golf Range</i> 4203 County Road B <i>Class "B" Beer</i>	Discontinue operations on or about November 15, 2025 through March 15, 2026.



City of La Crosse, Wisconsin
List of Business Licenses

"Class A" Liquor

1. ALDI INC d/b/a/ ALDI INC #144(ALC007872-05-2025)	4344 MORMON COULEE RD
2. HY-VEE, INC d/b/a/ HY-VEE FAST AND FRESH(ALC007582-04-2025)	4180 STATE ROAD 16
3. KWIK TRIP INC d/b/a/ STOP-N-GO #532(ALC007762-04-2025)	3525 STATE ROAD 157
4. KWIK TRIP INC d/b/a/ KWIK SPIRITS 773(ALC007730-04-2025)	2506 SOUTH AVE
5. KWIK TRIP INC d/b/a/ KWIK TRIP #391(ALC007735-04-2025)	1333 ROSE ST
6. KWIK TRIP INC d/b/a/ KWIK TRIP #750(ALC007742-04-2025)	4828 MORMON COULEE RD
7. KWIK TRIP INC d/b/a/ KWIK TRIP #829(ALC007759-04-2025)	507 LANG DR
8. KWIK TRIP INC d/b/a/ KWIK TRIP #819(ALC007756-04-2025)	921 LOSEY BLVD S
9. KWIK TRIP INC d/b/a/ KWIK TRIP #624(ALC007739-04-2025)	530 WEST AVE N
10. KWIK TRIP INC d/b/a/ KWIK TRIP #1126(ALC007733-04-2025)	1922 WARD AVE
11. KWIK TRIP INC d/b/a/ KWIK TRIP #816(ALC007753-04-2025)	3130 STATE RD
12. KWIK TRIP INC d/b/a/ KWIK TRIP #771(ALC007750-04-2025)	71 COPELAND AVE
13. KWIK TRIP INC d/b/a/ KWIK TRIP #761(ALC007745-04-2025)	506 CASS ST
14. KWIK TRIP INC d/b/a/ KWIK TRIP #762(ALC007747-04-2025)	1125 WEST GEORGE ST
15. MEMA ENTERPRISES LLC d/b/a/ CITGO ON STATE(ALC007593-04-2025)	1914 STATE RD
16. SHIKOTAR MAA LLC d/b/a/ MILEAGE(ALC007502-03-2025)	603 CASS ST
17. SKOGEN'S FOODLINER INC d/b/a/ FESTIVAL FOODS(ALC007530-04-2025)	30 COPELAND AVE
18. SKOGEN'S FOODLINER INC d/b/a/ FESTIVAL FOODS(ALC007528-04-2025)	2500 STATE RD
19. WALGREEN CO d/b/a/ WALGREENS #12456(ALC007776-04-2025)	4415 STATE ROAD 16
20. WALGREEN CO d/b/a/ WALGREENS #03498(ALC007773-04-2025)	900 WEST AVE S
21. WALGREEN CO d/b/a/ WALGREENS #09214(ALC007779-04-2025)	2626 ROSE ST
22. WALGREEN CO d/b/a/ WALGREENS #12455(ALC007782-04-2025)	3909 MORMON COULEE RD
23. WAL-MART STORES EAST LP d/b/a/ WAL-MART SUPERCENTER #5127(ALC007894-05-2025)	4622 MORMON COULEE RD



City of La Crosse, Wisconsin
List of Business Licenses

Class "A" Beer

1. ALDI INC d/b/a/ ALDI INC #144 (ALC007873-05-2025)	4344 MORMON COULEE RD
2. HY-VEE, INC d/b/a/ HY-VEE FAST AND FRESH (ALC007581-04-2025)	4180 STATE ROAD 16
3. KWIK TRIP INC d/b/a/ STOP-N-GO #532 (ALC007761-04-2025)	3525 STATE ROAD 157
4. KWIK TRIP INC d/b/a/ KWIK SPIRITS 773 (ALC007729-04-2025)	2506 SOUTH AVE
5. KWIK TRIP INC d/b/a/ KWIK TRIP #391 (ALC007736-04-2025)	1333 ROSE ST
6. KWIK TRIP INC d/b/a/ KWIK TRIP #750 (ALC007741-04-2025)	4828 MORMON COULEE RD
7. KWIK TRIP INC d/b/a/ KWIK TRIP #624 (ALC007738-04-2025)	530 WEST AVE N
8. KWIK TRIP INC d/b/a/ KWIK TRIP #829 (ALC007758-04-2025)	507 LANG DR
9. KWIK TRIP INC d/b/a/ KWIK TRIP #761 (ALC007744-04-2025)	506 CASS ST
10. KWIK TRIP INC d/b/a/ KWIK TRIP #816 (ALC007752-04-2025)	3130 STATE RD
11. KWIK TRIP INC d/b/a/ KWIK TRIP #819 (ALC007755-04-2025)	921 LOSEY BLVD S
12. KWIK TRIP INC d/b/a/ KWIK TRIP #1126 (ALC007732-04-2025)	1922 WARD AVE
13. KWIK TRIP INC d/b/a/ KWIK TRIP #771 (ALC007749-04-2025)	71 COPELAND AVE
14. KWIK TRIP INC d/b/a/ KWIK TRIP #762 (ALC007747-04-2025)	1125 WEST GEORGE ST
15. MEMA ENTERPRISES LLC d/b/a/ CITGO ON STATE (ALC007594-04-2025)	1914 STATE RD
16. SHIKOTAR MAA LLC d/b/a/ MILEAGE (ALC007503-03-2025)	603 CASS ST
17. SKOGEN'S FOODLINER INC d/b/a/ FESTIVAL FOODS (ALC007531-04-2025)	30 COPELAND AVE
18. SKOGEN'S FOODLINER INC d/b/a/ FESTIVAL FOODS (ALC007527-04-2025)	2500 STATE RD
19. WALGREEN CO d/b/a/ WALGREENS #12456 (ALC007775-04-2025)	4415 STATE ROAD 16
20. WALGREEN CO d/b/a/ WALGREENS #03498 (ALC007772-04-2025)	900 WEST AVE S
21. WALGREEN CO d/b/a/ WALGREENS #09214 (ALC007778-04-2025)	2626 ROSE ST
22. WALGREEN CO d/b/a/ WALGREENS #12455 (ALC007781-04-2025)	3909 MORMON COULEE RD
23. WAL-MART STORES EAST LP d/b/a/ WAL-MART SUPERCENTER #5127 (ALC007895-05-2025)	4622 MORMON COULEE RD



City of La Crosse, Wisconsin
List of Business Licenses

"Class C" Wine

1. BHARTI LLC d/b/a/ **NEW TASTE OF INDIA**(ALC007825-05-2025)
2. ICHIDDO LA CROSS LLC d/b/a/ **ICHIDDO RAMEN**(ALC007841-05-2025)
3. TOKYO FUSION INC d/b/a/ **TOKYO FUSION**(ALC007511-03-2025)
4. TRICOR LA CROSSE LLC d/b/a/ **HUHOT MONGOLIAN GRILL**(ALC007522-03-2025)

*1812 JACKSON ST
135 4TH ST S
212 MAIN ST
3800 STATE ROAD 16*



City of La Crosse, Wisconsin
List of Business Licenses

Class "B" Beer

1. BHARTI LLC d/b/a/ NEW TASTE OF INDIA (ALC007824-05-2025)	1812 JACKSON ST
2. DOWNTOWN MAINSTREET INC d/b/a/ LA CROSSE CENTER (ALC007871-05-2025)	300 HARBORVIEW PLZ
3. ICHIDDO LA CROSS LLC d/b/a/ ICHIDDO RAMEN (ALC007842-05-2025)	135 4TH ST S
4. MEE-ALEX ENTERPRISE LLC d/b/a/ MIMI'S KITCHEN (ALC007927-05-2025)	40 COPELAND AVE
5. OAKWELLS COMMUTER RAIL LLC d/b/a/ ARROWHEAD TAP HOUSE (ALC007572-04-2025)	2850 AIRPORT RD
6. ORIGINAL T-JO'S PIZZA INC (THE) d/b/a/ T-JO'S PIZZA (ALC007549-04-2025)	1717 GEORGE ST
7. POLITO'S PIZZA OF LA CROSSE LLC d/b/a/ POLITO'S PIZZA (ALC007765-04-2025)	116 3RD ST S
8. RIVER CITY YOUTH HOCKEY INC d/b/a/ RIVER CITY YOUTH HOCKEY (ALC007585-04-2025)	2312 7TH ST S
9. SUPER STREET TACOS 2 LLC d/b/a/ SUPER STREET TACOS (ALC007679-04-2025)	1800 STATE ST
10. THREE RIVERS ROCKYS LLC d/b/a/ ROCKY ROCOCO (ALC007917-05-2025)	40 COPELAND AVE
11. TOKYO FUSION INC d/b/a/ TOKYO FUSION (ALC007512-03-2025)	212 MAIN ST
12. TRICOR LA CROSSE LLC d/b/a/ HUHOT MONGOLIAN GRILL (ALC007523-03-2025)	3800 STATE ROAD 16
13. WALSH GOLF CENTER LLC d/b/a/ WALSH GOLF CENTER (ALC007695-04-2025)	4203 COUNTY ROAD B



City of La Crosse, Wisconsin

List of Business Licenses

Combination "Class B" Beer & Liquor

1. 4 SISTERS CATERING ON 4TH INC d/b/a/ 4 SISTERS FOURTH STREET BAR(ALC007638-04-2025)	133 4TH ST S
2. 4 SISTERS INC d/b/a/ 4 SISTERS(ALC007640-04-2025)	100 HARBORVIEW PLZ
3. 5D INSIGHT LLC d/b/a/ SCHMIDTY'S(ALC007670-04-2025)	3119 STATE RD
4. 5D INSIGHT LLC d/b/a/ DIGGER'S STING(ALC007675-04-2025)	122-124 3RD ST N
5. A & F BILLIARDS INC d/b/a/ TOP SHOTS(ALC007517-03-2025)	137 4TH ST S
6. A & S FOSTER LLC d/b/a/ BOTTOMS UP(ALC007541-04-2025)	500 COPELAND AVE
7. A1 HOSPITALITY LLC d/b/a/ HOME2SUITES BY HILTON LA CROSSE(ALC007545-04-2025)	210 JAY ST
8. ANIMAL HOUSE II LA CROSSE LLC d/b/a/ ANIMAL HOUSE(ALC007806-05-2025)	110 3RD ST N
9. APIZZA LA CROSSE LLC d/b/a/ UNO VENTI PIZZERIA(ALC007944-05-2025)	120 KING ST
10. ARDIE'S FOOD SERVICE INC d/b/a/ FLIPSIDE PUB & GRILL(ALC007550-04-2025)	400 LANG DR
11. BARREL INN INC d/b/a/ BARREL INN(ALC007559-04-2025)	2005 WEST AVE S
12. BENCHMARK REDEVELOPMENT INC d/b/a/ BUZZARD BILLY'S CAFE/STARLITE LOUNGE(ALC007519-03-2025)	222 PEARL ST
13. BENNETT O'RILEY'S LLC d/b/a/ BENNETT O'RILEY'S(ALC007700-04-2025)	213 3RD ST S
14. BIG AL'S LA CROSSE LLC d/b/a/ BIG AL'S(ALC007814-05-2025)	115 3RD ST S
15. BODEGA BREW PUB INC d/b/a/ BODEGA BREW PUB(ALC007534-04-2025)	122 4TH ST S
16. BROTHERS OF WISCONSIN INC d/b/a/ THE LIBRARY(ALC007647-04-2025)	123 3RD ST S
17. BROTHERS OF WISCONSIN INC d/b/a/ BROTHERS(ALC007644-04-2025)	306 PEARL ST
18. BUDDIES THREE INC d/b/a/ GEORGE STREET PUB(ALC007792-04-2025)	1728 GEORGE ST
19. CAPPELLA CATERING LLC d/b/a/ APOTHIK EATERY AND FOOD TRUCK(ALC007691-04-2025)	411 3RD ST S
20. CEC ENTERTAINMENT LLC d/b/a/ CHUCK E. CHEESE'S(ALC007573-04-2025)	4444 STATE RD 16
21. CHABOLLA CORP d/b/a/ TEQUILA MEXICAN RESTAURANT(ALC007891-05-2025)	515 WEST AVE N
22. CHARMANT HOTEL LLC (THE) d/b/a/ THE CHARMANT HOTEL(ALC007928-05-2025)	101 STATE ST
23. CHRITTON INDUSTRIES LLC d/b/a/ SOUTH LANES PIZZA(ALC007556-04-2025)	1501 LOSEY BLVD S
24. CHUCK'S BAR LLC d/b/a/ CHUCK'S BAR(ALC007910-05-2025)	1101 LA CROSSE ST
25. CONCORDIA AID SOCIETY INC d/b/a/ CONCORDIA BALLROOM(ALC007680-04-2025)	1129 LA CROSSE ST
26. COURT ABOVE MAIN LLC d/b/a/ COURT ABOVE MAIN(ALC007797-04-2025)	420 MAIN ST
27. CY CAPITAL LLC d/b/a/ LAX GRILL(ALC007931-05-2025)	200 MAIN ST
28. D WEBER RESTAURANT LLC d/b/a/ THE WATERFRONT(ALC007628-04-2025)	328 FRONT ST S
29. DEWEY'S LLC d/b/a/ DEWEY'S SIDE STREET SALOON(ALC007870-05-2025)	621 ST PAUL ST



City of La Crosse, Wisconsin
List of Business Licenses

Combination "Class B" Beer & Liquor

30. DREAM ONCE LLC d/b/a/ FORK & FABLE CRAFTHOUSE (ALC007621-04-2025)	1003 16TH ST S
31. DRIFTLESS AXE LLC d/b/a/ THE DRIFTLESS AXE (ALC007588-04-2025)	300 4TH ST S
32. DRIFTLESS OUTDOORS LLC d/b/a/ RESTORE PUBLIC HOUSE (ALC007635-04-2025)	1810 STATE ST
33. EARL'S GROCERY & SALOON LLC d/b/a/ EARL'S GROCERY & SALOON (ALC007547-04-2025)	401 3RD ST S
34. EXCEPTIONAL RESTAURANTS WI LLC d/b/a/ LA CROSSE BIERHAUS/LEGENDS (ALC007857-05-2025)	128 3RD ST S
35. FAMOUS DAVE'S RIBS INC d/b/a/ FAMOUS DAVE'S (ALC007676-04-2025)	3055 STATE ROAD 16
36. FENIGOR GROUP LLC (THE) d/b/a/ SAINT ANDREW'S SQUARE (ALC007770-04-2025)	1501 ST ANDREW ST
37. FIESTA MEXICANA INC d/b/a/ FIESTA MEXICANA (ALC007821-05-2025)	5200 MORMON COULEE RD
38. FRATERNAL ORDER OF EAGLES AERIE 1254 d/b/a/ FRATERNAL ORDER OF EAGLES AERIE 1254 (ALC007557-04-2025)	630 6TH ST S
39. FREE BEER TOMORROW LLC d/b/a/ BREAKFAST CLUB & PUB (ALC007712-04-2025)	214 MAIN ST
40. GENZIE'S GAMEDAY PUB LLC d/b/a/ GENZIE'S GAMEDAY PUB (ALC007596-04-2025)	1101 ST ANDREW ST
41. GROUNDED COFFEE LLC d/b/a/ GROUNDED PATIO CAFE (ALC007916-05-2025)	308 MAIN ST
42. HAPPENINGS INC d/b/a/ HAPPENINGS (ALC007788-04-2025)	215 3RD ST S
43. HATCHERY LLC d/b/a/ HATCHERY RIVERSIDE (ALC007865-05-2025)	410 VETERANS MEMORIAL DR E
44. HOUGHTON'S JACKSON STREET PUB LLC d/b/a/ HOUGHTON'S JACKSON STREET PUB (ALC007726-04-2025)	1002 JACKSON ST
45. HOUSEHOLDER TAVERNS LLC d/b/a/ BENNETT O'RILEY'S SOUTH LA CROSSE (ALC007682-04-2025)	4329 MORMON COULEE RD
46. HOWIE'S LA CROSSE LLC d/b/a/ HOWIE'S (ALC007811-05-2025)	1128 LA CROSSE ST
47. HUNGRY PEDDLER INC d/b/a/ HUNGRY PEDDLER (ALC007704-04-2025)	3429 MORMON COULEE RD
48. HY-VEE, INC d/b/a/ HY-VEE (ALC007577-04-2025)	4200 STATE ROAD 16
49. JADEBOY LLC d/b/a/ THE DAMN TASTY (ALC007922-05-2025)	1217 CALEDONIA ST
50. JAMA INVESTMENTS LLC d/b/a/ CHEAP ANDY'S LAX (ALC007509-03-2025)	3201 SOUTH AVE
51. JDLC LLC d/b/a/ CAVALIER THEATER AND LOUNGE (ALC007605-04-2025)	114-118 5TH AVE N
52. JOAN + JAY LLC d/b/a/ LOVECHILD (ALC007904-05-2025)	300 3RD ST S
53. JOHN'S BAR INC d/b/a/ JOHN'S BAR/RALPH'S RESTAURANT (ALC007613-04-2025)	109 3RD ST N
54. JR'S GHOST KITCHEN LLC d/b/a/ JR'S GHOST KITCHEN (ALC007920-05-2025)	705 ROSE ST
55. K & M CHANCES R LLC d/b/a/ CHANCES R (ALC007835-05-2025)	417 JAY ST
56. KEMPER SPORTS MANAGEMENT LLC d/b/a/ FOREST HILLS GOLF COURSE (ALC007540-04-2025)	600 LOSEY BLVD N
57. KING, DANIEL & DIANE KING (PARTNERSHIP) d/b/a/ KING'S KORNER (ALC007694-04-2025)	1321 8TH ST S
58. KLEHM LLC d/b/a/ STRASSERS (ALC007713-04-2025)	1310 DENTON ST



City of La Crosse, Wisconsin
List of Business Licenses

Combination "Class B" Beer & Liquor

59. KROWDOG LLC d/b/a/ YESTERDAYS (ALC007716-04-2025)	317 PEARL ST
60. L & M TAP LLC d/b/a/ L & M TAP (ALC007686-04-2025)	631 COPELAND AVE
61. LA CROSSE BASEBALL LLC d/b/a/ LA CROSSE LOGGERS (ALC007766-04-2025)	800 COPELAND PARK DR
62. LA CROSSE CLUB LTD (THE) d/b/a/ THE LA CROSSE CLUB (ALC007790-04-2025)	250 HARBORVIEW PLAZA
63. LA CROSSE HOTEL GROUP LLC d/b/a/ HAMPTON INN & SUITES (ALC007544-04-2025)	511 3RD ST N
64. LA CROSSE LODGE 1920 LOYAL ORDER OF MOOSE INC d/b/a/ MOOSE LODGE 1920 (ALC007875-05-2025)	1932 WARD AVE
65. LA CROSSE PERFORMING ARTS CENTER INC d/b/a/ WEBER CENTER FOR THE PERFORMING ARTS (ALC007669-04-2025)	428 FRONT ST
66. LAS MARGARITAS RESTAURANT LLC d/b/a/ LAS MARGARITAS RESTAURANT (ALC007848-05-2025)	2505 STATE RD
67. LIZZIES LOUNGE LLC d/b/a/ WHO'S ON 3RD (ALC007672-04-2025)	126 3RD ST N
68. LONGWAY ENTERPRISES INC d/b/a/ PASTIMES TAVERN (ALC007795-04-2025)	2658 GEORGE ST
69. LUCAS & MOONEY INC d/b/a/ KRAZY "L" (ALC007794-04-2025)	518 HAGAR ST
70. MARCUS CINEMAS OF WISCONSIN LLC d/b/a/ LA CROSSE CINEMA (ALC007817-05-2025)	2032 WARD AVE
71. MEGPE LLC d/b/a/ BOOT HILL PUB (ALC007941-05-2025)	1501 ST ANDREW ST
72. MIKE MCCORMICK OF LA CROSSE INC d/b/a/ BRONCO'S (ALC007591-04-2025)	105 3RD ST S
73. MIKE'S LOGAN BAR LLC d/b/a/ LOGAN TAVERN (ALC007685-04-2025)	1400 CALEDONIA ST
74. MJA1 HOSPITALITY LLC d/b/a/ KRAMER'S BAR & GRILL (ALC007618-04-2025)	1123 3RD ST S
75. MK'S 88 RESTAURANT LLC d/b/a/ MK EATS (ALC007845-05-2025)	412 MAIN ST
76. MOONSHINE ON VINE LLC d/b/a/ DEL'S BAR (ALC007570-04-2025)	229 3RD ST N
77. MR. STIX 1 LLC d/b/a/ MR. STIX (ALC007653-04-2025)	948 JACKSON ST
78. NEIGHBORS BAR LLC d/b/a/ NEIGHBORS BAR (ALC007832-05-2025)	1703 GEORGE ST
79. NEUIE'S VOGUE LLC d/b/a/ NEUIE'S VOGUE BAR & GRILL (ALC007843-05-2025)	1820 GEORGE ST
80. NOBLE 1987 INC d/b/a/ THE HELM (ALC007924-05-2025)	108 3RD ST N
81. NORTHSIDE RULES INC d/b/a/ NORTHSIDE RULES (ALC007847-05-2025)	2116 GEORGE ST
82. OCEAN FIN LLC d/b/a/ LE CHATEAU (ALC007800-04-2025)	410 CASS ST
83. OLD CROW LA CROSSE LLC (THE) d/b/a/ THE CROW (ALC007809-05-2025)	100 3RD ST S
84. OUR CORNER BAR INC d/b/a/ OUR CORNER BAR (ALC007818-05-2025)	2104 GEORGE ST
85. OVERTIME ENTERTAINMENT LLC d/b/a/ FATHEAD STEVE'S (ALC007854-05-2025)	324 JAY ST
86. P & E ENTERPRISES INC d/b/a/ LA CROSSE PETTIBONE BOAT CLUB (ALC007659-04-2025)	617 PETTIBONE DR S
87. P & E ENTERPRISES INC d/b/a/ POGREBA RESTAURANT (ALC007662-04-2025)	1232 AVON ST



City of La Crosse, Wisconsin

List of Business Licenses

Combination "Class B" Beer & Liquor

88. PATO AZUL LLC d/b/a/ TAQUERIA PATO AZUL(ALC007617-04-2025)	127 4TH ST S
89. PEARL LLC (THE) d/b/a/ THE GRAND HOTEL BALLROOM & GALLERY(ALC007861-05-2025)	205 PEARL ST
90. PEOPLE'S FOOD COOPERATIVE INC d/b/a/ PEOPLE'S FOOD CO-OP(ALC007666-04-2025)	315 5TH AVE S
91. PETER JAMES LLC d/b/a/ JIMMY'S NORTH STAR(ALC007632-04-2025)	1732 GEORGE ST
92. PETTIBONE PARK RESORT INC d/b/a/ PETTIBONE PARK RESORT(ALC007687-04-2025)	333 PARK PLAZA DR
93. PIN DROP LLC d/b/a/ PLA-MOR LANES(ALC007889-05-2025)	807 4TH ST S
94. PRIDE HOTELS LLC d/b/a/ COUNTRY INN & SUITES(ALC007859-05-2025)	2110 ROSE ST
95. PUMP HOUSE REGIONAL ARTS CENTER INC d/b/a/ PUMP HOUSE REGIONAL ARTS CENTER INC(ALC007830-05-2025)	119 KING ST
96. RAYS ADAM STREET PUB LLC d/b/a/ ADAMS ST PUB(ALC007568-04-2025)	1200 11TH ST S
97. REDTAIL ENTERPRISES INC d/b/a/ MILWAUKEE BURGER COMPANY(ALC007722-04-2025)	3039 MEDCO CT
98. RIVERFRONT HOTEL INC d/b/a/ COURTYARD BY MARRIOTT(ALC007656-04-2025)	500 FRONT ST S
99. RIVERSIDE CENTER II LLC d/b/a/ THE CARGILL ROOM(ALC007624-04-2025)	332 FRONT ST S
100. RIVERSTONE HOSPITALITY LLC d/b/a/ THE PEARL STREET HOTEL & SUITES(ALC007490-02-2025)	200 PEARL ST
101. RIVOLI 21 LLC d/b/a/ RIVOLI THEATRE / PIZZA DOLOROSA(ALC007886-05-2025)	115 4TH ST N
102. RLH ASSOCIATES d/b/a/ RADISSON HOTEL LA CROSSE(ALC007828-05-2025)	200 HARBORVIEW PLAZA
103. RLH ASSOCIATES d/b/a/ RADISSON CENTER(ALC007827-05-2025)	300 2ND ST S
104. ROMA RESTAURANT LLC d/b/a/ SENOR VILLA(ALC007678-04-2025)	325 WEST AVE N
105. ROOT NOTE LLC (THE) d/b/a/ THE ROOT NOTE(ALC007876-05-2025)	115 4TH ST S
106. ROY L VINGERS AMERICAN LEGION POST 52 d/b/a/ AMERICAN LEGION POST 52(ALC007649-04-2025)	711 6TH ST S
107. RUCKUS ENTERTAINMENT LLC d/b/a/ THE RECOVERY ROOM(ALC007935-05-2025)	901 7TH ST S
108. RUDRUD INC d/b/a/ SHOOTER'S BAR(ALC007637-04-2025)	120 3RD ST S
109. SAGRA FOOD & WINE LLC d/b/a/ SAGRA FOOD AND WINE(ALC007946-05-2025)	501 FRONT ST S
110. SHIMMY'S INC d/b/a/ SHIMMY'S(ALC007664-04-2025)	1203 WEST AVE S
111. SHRINE OF OUR LADY OF GUADALUPE INC d/b/a/ CULINA MARIANA(ALC007803-05-2025)	5250 JUSTIN RD
112. SIPPIN HARMONIES CLUB LLC d/b/a/ POPCORN TAVERN(ALC007650-04-2025)	308 4TH ST S
113. SLOOPY'S ALMA MATER LLC d/b/a/ SLOOPY'S ALMA MATER(ALC007932-05-2025)	163 COPELAND AVE
114. SNUFFY'S BAR LLC d/b/a/ SNUFFY'S BAR(ALC007623-04-2025)	1903 WEST AVE S
115. SPORTS NUT OF LA CROSSE LLC d/b/a/ THE SPORTS NUT(ALC007535-04-2025)	801 ROSE ST
116. STATE ROOM LA CROSSE LLC d/b/a/ STATE ROOM(ALC007804-05-2025)	128 3RD ST N



City of La Crosse, Wisconsin
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Combination "Class B" Beer & Liquor

117. STUDIO MOTIF LLC d/b/a/ ALL GLAZED UP(ALC007711-04-2025)	313 PEARL ST
118. SURF LOUNGE INC d/b/a/ MIRAGE SPORTS BAR(ALC007705-04-2025)	3511 MORMON COULEE RD
119. TACO ENTERPRISES LLC d/b/a/ FISH'S CALEDONIA STREET BAR & GRILL(ALC007882-05-2025)	1452 CALEDONIA ST
120. TAILGATORS LLP d/b/a/ TAILGATORS(ALC007615-04-2025)	1019 10TH ST S
121. TEXAS ROADHOUSE HOLDINGS LLC d/b/a/ TEXAS ROADHOUSE(ALC007583-04-2025)	4310 STATE ROAD 16
122. THAT FOREIGN PLACE LLC d/b/a/ CHRISTOS TAVERNA(ALC007768-04-2025)	107 3RD ST S
123. THE BLUE ZONE PICKLEBALL LLC d/b/a/ THE BLUE ZONE PICKLEBALL(ALC007555-04-2025)	2500 ROSE ST
124. THE MEXCAL LLC d/b/a/ THE MEXCAL(ALC007900-05-2025)	333 MAIN ST
125. THE ROOKERY LAX LLC d/b/a/ THE ROOKERY(ALC007902-05-2025)	1914 CAMPBELL RD
126. THE SIDE LLC d/b/a/ BLUFFSIDE(ALC007708-04-2025)	2712 MAIN ST
127. TRA VIGNE d/b/a/ JAVAVINO(ALC007696-04-2025)	2311 STATE RD
128. TRACK II LLC d/b/a/ TRACK II(ALC007798-04-2025)	716 GILLETTE ST
129. TROUT CREEK 1 LLC d/b/a/ MOXIE'S(ALC007602-04-2025)	1835 ROSE ST
130. VICK'S LOUNGE LLC d/b/a/ VICK'S BAR(ALC007702-04-2025)	3749 MORMON COULEE RD
131. VINE STREET GROUP LLC (THE) d/b/a/ THE FREIGHT HOUSE RESTAURANT(ALC007784-04-2025)	107 VINE ST
132. VITERBO UNIVERSITY INC d/b/a/ VITERBO UNIVERSITY FINE ARTS CENTER(ALC007562-04-2025)	929 JACKSON ST
133. VITERBO UNIVERSITY INC d/b/a/ REINHART CENTER(ALC007563-04-2025)	900 VITERBO DR
134. YOSI INC d/b/a/ YE OLDE STYLE INN(ALC007657-04-2025)	828 5TH AVE S



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Combination "Class B" Beer & Liquor (Reserve)

1. CAPPELLA WEDDINGS AND EVENTS LLC d/b/a/ CAPPELLA WEDDINGS AND EVENTS(ALC007692-04-2025)

136 8TH ST S



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List of Business Licenses

Class A Beer Garden

1. A & S FOSTER LLC d/b/a/ BOTTOMS UP (BG007542-04-2025)	500 COPELAND AVE
2. BARREL INN INC d/b/a/ BARREL INN (BG007558-04-2025)	2005 WEST AVE S
3. DRIFTLESS AXE LLC d/b/a/ THE DRIFTLESS AXE (BG007590-04-2025)	300 4TH ST S
4. GENZIE'S GAMEDAY PUB LLC d/b/a/ GENZIE'S GAMEDAY PUB (BG007599-04-2025)	1101 ST ANDREW ST
5. HATCHERY LLC d/b/a/ HATCHERY RIVERSIDE (BG007868-05-2025)	410 VETERANS MEMORIAL DR E
6. KLEHM LLC d/b/a/ STRASSERS (BG007714-04-2025)	1310 DENTON ST
7. LA CROSSE PERFORMING ARTS CENTER INC d/b/a/ WEBER CENTER FOR THE PERFORMING ARTS (BG007668-04-2025)	428 FRONT ST
8. OUR CORNER BAR INC d/b/a/ OUR CORNER BAR (BG007819-05-2025)	2104 GEORGE ST
9. OVERTIME ENTERTAINMENT LLC d/b/a/ FATHEAD STEVE'S (BG007855-05-2025)	324 JAY ST
10. PETER JAMES LLC d/b/a/ JIMMY'S NORTH STAR (BG007633-04-2025)	1732 GEORGE ST
11. RAYS ADAM STREET PUB LLC d/b/a/ ADAMS ST PUB (BG007569-04-2025)	1200 11TH ST S
12. RUCKUS ENTERTAINMENT LLC d/b/a/ THE RECOVERY ROOM (BG007936-05-2025)	901 7TH ST S
13. SLOOPY'S ALMA MATER LLC d/b/a/ SLOOPY'S ALMA MATER (BG007934-05-2025)	163 COPELAND AVE
14. SPORTS NUT OF LA CROSSE LLC d/b/a/ THE SPORTS NUT (BG007536-04-2025)	801 ROSE ST
15. SURF LOUNGE INC d/b/a/ MIRAGE SPORTS BAR (BG007707-04-2025)	3511 MORMON COULEE RD
16. TACO ENTERPRISES LLC d/b/a/ FISH'S CALEDONIA STREET BAR & GRILL (BG007883-05-2025)	1452 CALEDONIA ST
17. THE SIDE LLC d/b/a/ BLUFFSIDE (BG007709-04-2025)	2712 MAIN ST



City of La Crosse, Wisconsin
List of Business Licenses

Class B Beer Garden

1. 4 SISTERS INC d/b/a/ 4 SISTERS(BG007641-04-2025)	100 HARBORVIEW PLZ
2. APIZZA LA CROSSE LLC d/b/a/ UNO VENTI PIZZERIA(BG007945-05-2025)	120 KING ST
3. ARDIE'S FOOD SERVICE INC d/b/a/ FLIPSIDE PUB & GRILL(BG007551-04-2025)	400 LANG DR
4. BIG AL'S LA CROSSE LLC d/b/a/ BIG AL'S(BG007815-05-2025)	111 3RD ST S
5. CHABOLLA CORP d/b/a/ TEQUILA MEXICAN RESTAURANT(BG007892-05-2025)	515 WEST AVE N
6. D WEBER RESTAURANT LLC d/b/a/ THE WATERFRONT(BG007629-04-2025)	328 FRONT ST S
7. DRIFTLESS OUTDOORS LLC d/b/a/ RESTORE PUBLIC HOUSE(BG007636-04-2025)	1810 STATE ST
8. FAMOUS DAVE'S RIBS INC d/b/a/ FAMOUS DAVE'S(BG007677-04-2025)	3055 STATE ROAD 16
9. FIESTA MEXICANA INC d/b/a/ FIESTA MEXICANA(BG007822-05-2025)	5200 MORMON COULEE RD
10. GROUNDED COFFEE LLC d/b/a/ GROUNDED PATIO CAFE(BG007913-05-2025)	308 MAIN ST
11. HOUSEHOLDER TAVERNS LLC d/b/a/ BENNETT O'RILEY'S SOUTH LA CROSSE(BG007684-04-2025)	4329 MORMON COULEE RD
12. HOWIE'S LA CROSSE LLC d/b/a/ HOWIE'S(BG007812-05-2025)	1128 LA CROSSE ST
13. HY-VEE, INC d/b/a/ HY-VEE(BG007578-04-2025)	4200 STATE ROAD 16
14. JADEBOY LLC d/b/a/ THE DAMN TASTY(BG007923-05-2025)	1217 CALEDONIA ST
15. LAS MARGARITAS RESTAURANT LLC d/b/a/ LAS MARGARITAS RESTAURANT(BG007849-05-2025)	2505 STATE RD
16. OCEAN FIN LLC d/b/a/ LE CHATEAU(BG007801-04-2025)	410 CASS ST
17. REDTAIL ENTERPRISES INC d/b/a/ MILWAUKEE BURGER COMPANY(BG007723-04-2025)	3039 MEDCO CT
18. RIVERSIDE CENTER II LLC d/b/a/ THE CARGILL ROOM(BG007625-04-2025)	332 FRONT ST S
19. TRA VIGNE d/b/a/ JAVAVINO(BG007697-04-2025)	2311 STATE RD
20. VINE STREET GROUP LLC (THE) d/b/a/ THE FREIGHT HOUSE RESTAURANT(BG007785-04-2025)	107 VINE ST



City of La Crosse, Wisconsin
List of Business Licenses

Indoor Cabaret

1. 4 SISTERS CATERING ON 4TH INC d/b/a/ 4 SISTERS FOURTH STREET BAR(CAB007639-04-2025)	133 4TH ST S
2. 4 SISTERS INC d/b/a/ 4 SISTERS(CAB007642-04-2025)	100 HARBORVIEW PLZ
3. 5D INSIGHT LLC d/b/a/ SCHMIDTY'S(CAB007671-04-2025)	3119 STATE RD
4. A & S FOSTER LLC d/b/a/ BOTTOMS UP(CAB007543-04-2025)	500 COPELAND AVE
5. ANIMAL HOUSE II LA CROSSE LLC d/b/a/ ANIMAL HOUSE(CAB007808-05-2025)	110 3RD ST N
6. ARDIE'S FOOD SERVICE INC d/b/a/ FLIPSIDE PUB & GRILL(CAB007552-04-2025)	400 LANG DR
7. BENCHMARK REDEVELOPMENT INC d/b/a/ BUZZARD BILLY'S CAFE/STARLITE LOUNGE(CAB007518-03-2025)	222 PEARL ST
8. BODEGA BREW PUB INC d/b/a/ BODEGA BREW PUB(CAB007533-04-2025)	122 4TH ST S
9. BROTHERS OF WISCONSIN INC d/b/a/ THE LIBRARY(CAB007646-04-2025)	123 3RD ST S
10. BROTHERS OF WISCONSIN INC d/b/a/ BROTHERS(CAB007645-04-2025)	306 PEARL ST
11. BUDDIES THREE INC d/b/a/ GEORGE STREET PUB(CAB007793-04-2025)	1728 GEORGE ST
12. CAPPELLA WEDDINGS AND EVENTS LLC d/b/a/ CAPPELLA WEDDINGS AND EVENTS(CAB007693-04-2025)	136 8TH ST S
13. CEC ENTERTAINMENT LLC d/b/a/ CHUCK E. CHEESE'S(CAB007574-04-2025)	4444 STATE RD 16
14. CHABOLLA CORP d/b/a/ TEQUILA MEXICAN RESTAURANT(CAB007893-05-2025)	515 WEST AVE N
15. CHARMANT HOTEL LLC (THE) d/b/a/ THE CHARMANT HOTEL(CAB007929-05-2025)	101 STATE ST
16. COURT ABOVE MAIN LLC d/b/a/ COURT ABOVE MAIN(CAB007796-04-2025)	420 MAIN ST
17. CY CAPITAL LLC d/b/a/ LAX GRILL(CAB007939-05-2025)	200 MAIN ST
18. D WEBER RESTAURANT LLC d/b/a/ THE WATERFRONT(CAB007630-04-2025)	328 FRONT ST S
19. DEWEY'S LLC d/b/a/ DEWEY'S SIDE STREET SALOON(CAB007869-05-2025)	621 ST PAUL ST
20. DREAM ONCE LLC d/b/a/ FORK & FABLE CRAFTHOUSE(CAB007620-04-2025)	1003 16TH ST S
21. EARL'S GROCERY & SALOON LLC d/b/a/ EARL'S GROCERY & SALOON(CAB007546-04-2025)	401 3RD ST S
22. EXCEPTIONAL RESTAURANTS WI LLC d/b/a/ LA CROSSE BIERHAUS/LEGENDS(CAB007858-05-2025)	128 3RD ST S
23. FENIGOR GROUP LLC (THE) d/b/a/ SAINT ANDREW'S SQUARE(CAB007771-04-2025)	1501 ST ANDREW ST
24. FIESTA MEXICANA INC d/b/a/ FIESTA MEXICANA(CAB007823-05-2025)	5200 MORMON COULEE RD
25. GENZIE'S GAMEDAY PUB LLC d/b/a/ GENZIE'S GAMEDAY PUB(CAB007597-04-2025)	1101 ST ANDREW ST
26. GROUNDED COFFEE LLC d/b/a/ GROUNDED PATIO CAFE(CAB007914-05-2025)	308 MAIN ST
27. HAPPENINGS INC d/b/a/ HAPPENINGS(CAB007789-04-2025)	215 3RD ST S
28. HATCHERY LLC d/b/a/ HATCHERY RIVERSIDE(CAB007866-05-2025)	410 VETERANS MEMORIAL DR E
29. HOUGHTON'S JACKSON STREET PUB LLC d/b/a/ HOUGHTON'S JACKSON STREET PUB(CAB007727-04-2025)	1002 JACKSON ST



City of La Crosse, Wisconsin
List of Business Licenses

Indoor Cabaret

30. HOWIE'S LA CROSSE LLC d/b/a/ HOWIE'S (CAB007813-05-2025)	1128 LA CROSSE ST
31. JDLC LLC d/b/a/ CAVALIER THEATER AND LOUNGE (CAB007606-04-2025)	114-118 5TH AVE N
32. JOHN'S BAR INC d/b/a/ JOHN'S BAR/RALPH'S RESTAURANT (CAB007611-04-2025)	109 3RD ST N
33. KATCHEVER & CO LLC d/b/a/ PEARL STREET BREWERY (CAB007907-05-2025)	1401 ST ANDREW ST
34. KROWDOG LLC d/b/a/ YESTERDAYS (CAB007717-04-2025)	317 PEARL ST
35. LAS MARGARITAS RESTAURANT LLC d/b/a/ LAS MARGARITAS RESTAURANT (CAB007850-05-2025)	2505 STATE RD
36. LIZZIES LOUNGE LLC d/b/a/ WHO'S ON 3RD (CAB007673-04-2025)	126 3RD ST N
37. MEGPE LLC d/b/a/ BOOT HILL PUB (CAB007942-05-2025)	1501 ST ANDREW ST
38. MIKE MCCORMICK OF LA CROSSE INC d/b/a/ BRONCO'S (CAB007592-04-2025)	105 3RD ST S
39. NEIGHBORS BAR LLC d/b/a/ NEIGHBORS BAR (CAB007834-05-2025)	1703 GEORGE ST
40. NOBLE 1987 INC d/b/a/ THE HELM (CAB007925-05-2025)	108 3RD ST N
41. OCEAN FIN LLC d/b/a/ LE CHATEAU (CAB007802-04-2025)	410 CASS ST
42. OLD CROW LA CROSSE LLC (THE) d/b/a/ THE CROW (CAB007810-05-2025)	100 3RD ST S
43. OUR CORNER BAR INC d/b/a/ OUR CORNER BAR (CAB007820-05-2025)	2104 GEORGE ST
44. P & E ENTERPRISES INC d/b/a/ POGREBA RESTAURANT (CAB007661-04-2025)	1232 AVON ST
45. PEARL LLC (THE) d/b/a/ THE GRAND HOTEL BALLROOM & GALLERY (CAB007860-05-2025)	205 PEARL ST
46. PEOPLE'S FOOD COOPERATIVE INC d/b/a/ PEOPLE'S FOOD CO-OP (CAB007667-04-2025)	315 5TH AVE S
47. PETTIBONE PARK RESORT INC d/b/a/ PETTIBONE PARK RESORT (CAB007688-04-2025)	333 PARK PLAZA DR
48. RAYS ADAM STREET PUB LLC d/b/a/ ADAMS ST PUB (CAB007586-04-2025)	1200 11TH ST S
49. REDTAIL ENTERPRISES INC d/b/a/ MILWAUKEE BURGER COMPANY (CAB007724-04-2025)	3039 MEDCO CT
50. RIVERSIDE CENTER II LLC d/b/a/ THE CARGILL ROOM (CAB007626-04-2025)	332 FRONT ST S
51. RIVOLI 21 LLC d/b/a/ RIVOLI THEATRE / PIZZA DOLOROSA (CAB007888-05-2025)	115 4TH ST N
52. RLH ASSOCIATES d/b/a/ RADISSON HOTEL LA CROSSE (CAB007829-05-2025)	200 HARBORVIEW PLAZA
53. RLH ASSOCIATES d/b/a/ RADISSON CENTER (CAB007826-05-2025)	300 2ND ST S
54. ROOT NOTE LLC (THE) d/b/a/ THE ROOT NOTE (CAB007877-05-2025)	115 4TH ST S
55. ROY L VINGERS AMERICAN LEGION POST 52 d/b/a/ AMERICAN LEGION POST 52 (CAB007648-04-2025)	711 6TH ST S
56. RUCKUS ENTERTAINMENT LLC d/b/a/ THE RECOVERY ROOM (CAB007937-05-2025)	901 7TH ST S
57. SHIMMY'S INC d/b/a/ SHIMMY'S (CAB007665-04-2025)	1203 WEST AVE S
58. SIPPIN HARMONIES CLUB LLC d/b/a/ POPCORN TAVERN (CAB007651-04-2025)	308 4TH ST S



City of La Crosse, Wisconsin
List of Business Licenses

Indoor Cabaret

59. SLOOPY'S ALMA MATER LLC d/b/a/ SLOOPY'S ALMA MATER(CAB007933-05-2025)	163 COPELAND AVE
60. STATE ROOM LA CROSSE LLC d/b/a/ STATE ROOM(CAB007805-05-2025)	128 3RD ST N
61. TACO ENTERPRISES LLC d/b/a/ FISH'S CALEDONIA STREET BAR & GRILL(CAB007884-05-2025)	1452 CALEDONIA ST
62. THAT FOREIGN PLACE LLC d/b/a/ CHRISTOS TAVERNA(CAB007769-04-2025)	107 3RD ST S
63. THE ROOKERY LAX LLC d/b/a/ THE ROOKERY(CAB007903-05-2025)	1914 CAMPBELL RD
64. THE SIDE LLC d/b/a/ BLUFFSIDE(CAB007710-04-2025)	2712 MAIN ST
65. TRA VIGNE d/b/a/ JAVAVINO(CAB007698-04-2025)	2311 STATE RD
66. TRACK II LLC d/b/a/ TRACK II(CAB007799-04-2025)	716 GILLETTE ST
67. TROUT CREEK 1 LLC d/b/a/ MOXIE'S(CAB007603-04-2025)	1835 ROSE ST
68. VINE STREET GROUP LLC (THE) d/b/a/ THE FREIGHT HOUSE RESTAURANT(CAB007786-04-2025)	107 VINE ST
69. YOSI INC d/b/a/ YE OLDE STYLE INN(CAB007658-04-2025)	828 5TH AVE S



City of La Crosse, Wisconsin

List of Business Licenses

Outdoor Cabaret

1. 4 SISTERS INC d/b/a/ 4 SISTERS(CAB007643-04-2025)	100 HARBORVIEW PLZ
2. ARDIE'S FOOD SERVICE INC d/b/a/ FLIPSIDE PUB & GRILL(CAB007553-04-2025)	400 LANG DR
3. CHARMANT HOTEL LLC (THE) d/b/a/ THE CHARMANT HOTEL(CAB007930-05-2025)	101 STATE ST
4. D WEBER RESTAURANT LLC d/b/a/ THE WATERFRONT(CAB007631-04-2025)	328 FRONT ST S
5. GENZIE'S GAMEDAY PUB LLC d/b/a/ GENZIE'S GAMEDAY PUB(CAB007598-04-2025)	1101 ST ANDREW ST
6. GROUNDED COFFEE LLC d/b/a/ GROUNDED PATIO CAFE(CAB007915-05-2025)	308 MAIN ST
7. HATCHERY LLC d/b/a/ HATCHERY RIVERSIDE(CAB007867-05-2025)	410 VETERANS MEMORIAL DR E
8. KATCHEVER & CO LLC d/b/a/ PEARL STREET BREWERY(CAB007906-05-2025)	1401 ST ANDREW ST
9. KEMPER SPORTS MANAGEMENT LLC d/b/a/ FOREST HILLS GOLF COURSE(CAB007539-04-2025)	600 LOSEY BLVD N
10. LA CROSSE BASEBALL LLC d/b/a/ LA CROSSE LOGGERS(CAB007767-04-2025)	800 COPELAND PARK DR
11. LAS MARGARITAS RESTAURANT LLC d/b/a/ LAS MARGARITAS RESTAURANT(CAB007851-05-2025)	2505 STATE RD
12. MEGPE LLC d/b/a/ BOOT HILL PUB(CAB007943-05-2025)	1501 ST ANDREW ST
13. OVERTIME ENTERTAINMENT LLC d/b/a/ FATHEAD STEVE'S(CAB007856-05-2025)	324 JAY ST
14. P & E ENTERPRISES INC d/b/a/ LA CROSSE PETTIBONE BOAT CLUB(CAB007660-04-2025)	617 PETTIBONE DR S
15. PETER JAMES LLC d/b/a/ JIMMY'S NORTH STAR(CAB007634-04-2025)	1732 GEORGE ST
16. PETTIBONE PARK RESORT INC d/b/a/ PETTIBONE PARK RESORT(CAB007689-04-2025)	333 PARK PLAZA DR
17. RAYS ADAM STREET PUB LLC d/b/a/ ADAMS ST PUB(CAB007587-04-2025)	1200 11TH ST S
18. REDTAIL ENTERPRISES INC d/b/a/ MILWAUKEE BURGER COMPANY(CAB007725-04-2025)	3039 MEDCO CT
19. RIVERSIDE CENTER II LLC d/b/a/ THE CARGILL ROOM(CAB007627-04-2025)	332 FRONT ST S
20. TRA VIGNE d/b/a/ JAVAVINO(CAB007699-04-2025)	2311 STATE RD
21. TROUT CREEK 1 LLC d/b/a/ MOXIE'S(CAB007604-04-2025)	1835 ROSE ST
22. VINE STREET GROUP LLC (THE) d/b/a/ THE FREIGHT HOUSE RESTAURANT(CAB007787-04-2025)	107 VINE ST



City of La Crosse, Wisconsin
List of Business Licenses

Dance Hall

1. CONCORDIA AID SOCIETY INC d/b/a/ CONCORDIA BALLROOM(DH007681-04-2025)

1129 LA CROSSE ST



City of La Crosse, Wisconsin
List of Business Licenses

Junk Dealer

- | | |
|---|----------------|
| 1. ALTER TRADING CORPORATION d/b/a/ ALTER METAL RECYCLING(JUNK007564-04-2025) | 2410 HAUSER ST |
| 2. CRAIG'S RIVER CITY TOWING d/b/a/ CRAIG'S RIVER CITY TOWING(JUNK007554-04-2025) | 1224 ISLAND ST |
| 3. DON'S TOWING & REPAIR INC d/b/a/ DON'S TOWING & REPAIR(JUNK007505-03-2025) | 816 MONITOR ST |



City of La Crosse, Wisconsin
List of Business Licenses

Secondhand Dealer Mall/Flea Market

1. ANTIQUE CENTER OF LA CROSSE LTD d/b/a/ ANTIQUE CENTER OF LA CROSSE(MALL007840-05-2025)
2. CALEDONIA STREET ANTIQUES LLC d/b/a/ CALEDONIA "NORTHSIDE" ANTIQUES(MALL007908-05-2025)

110 3RD ST S

1215 CALEDONIA ST



City of La Crosse, Wisconsin

List of Business Licenses

Mobile Home Park

- | | |
|--|-----------------------|
| 1. CORE COMMUNITIES 1 LLC d/b/a/ PINE VIEW (MHP007837-05-2025) | W5585 COUNTY ROAD MM |
| 2. JUNIPER PARTNERS d/b/a/ RIVERCREST VILLAGE (MHP007940-05-2025) | 5450 MORMON COULEE RD |
| 3. RIVERVIEW COURT d/b/a/ RIVERVIEW COURT (MHP007655-04-2025) | 1747 ROSE ST |
| 4. VICK'S BAR & MOTEL INC d/b/a/ VICK'S MOTEL (MHP007719-04-2025) | 3749 MORMON COULEE RD |



City of La Crosse, Wisconsin
List of Business Licenses

Recycling Facility - Processing Facility

- | | |
|---|---------------------|
| 1. ALTER TRADING CORPORATION d/b/a/ ALTER METAL RECYCLING(RF007565-04-2025) | 2410 HAUSER ST |
| 2. GREEN CIRCLE RECYCLING LLC d/b/a/ GREEN CIRCLE RECYCLING(RF007576-04-2025) | 2850 LARSON ST |
| 3. GREEN CIRCLE RECYCLING LLC d/b/a/ GREEN CIRCLE RECYCLING(RF007567-04-2025) | 2500 COUNTY ROAD SS |
| 4. HARTER'S TRASH & RECYCLING INC d/b/a/ HARTER'S QUICK CLEAN UP(RF007864-05-2025) | 2850 LARSON ST |
| 5. KATZ INDUSTRIAL METALS INC d/b/a/ KATZ INDUSTRIAL METALS(RF007852-05-2025) | 2535 EAST AVE S |
| 6. WASTE MANAGEMENT OF WISCONSIN INC d/b/a/ WASTE MANAGEMENT OF WISCONSIN(RF007853-05-2025) | 415 ISLAND ST |



City of La Crosse, Wisconsin
List of Business Licenses

Recycling Facility - Recycling Center

1. ALTER TRADING CORPORATION d/b/a/ ALTER METAL RECYCLING(RF007566-04-2025)

2410 HAUSER ST



City of La Crosse, Wisconsin
List of Business Licenses

Recycling Facility - Pick-Up Station

3. CITY OF LA CROSSE d/b/a/ CITY OF LA CROSSE RECYCLING OFFICE(RF007508-03-2025)

2000 MARCO DR



City of La Crosse, Wisconsin
List of Business Licenses

Roller Rink

1. LOYALTY BOYS LLC d/b/a/ **ROLLER CITY DISCO**(RR007885-05-2025)

205 5TH AVE S

2. MC CHRISTIANSON CORP d/b/a/ **HIGH ROLLER SKATING CENTER**(RR007921-05-2025)

3624 EAST AVE S



City of La Crosse, Wisconsin
List of Business Licenses

Secondhand Article Dealer

1. A BREATH OF FRESH LLC d/b/a/ SHOE RESTORATION AND RESALE(SH007919-05-2025)
2. DJRC LLC d/b/a/ RIVER CITY GOLD & SILVER EXCHANGE(SH007526-03-2025)
3. TOMABIDE LLC d/b/a/ ONCE UPON A CHILD(SH007897-05-2025)
4. TOMABIDE TWO LLC d/b/a/ PLATO'S CLOSET(SH007896-05-2025)
5. WRENCH AND ROLL LLC d/b/a/ WRENCH & ROLL(SH007912-05-2025)

1011 EAST AVE S
314-318 4TH ST S
3133 STATE ROAD 16
3133 STATE ROAD 16
1200 CALEDONIA ST



City of La Crosse, Wisconsin

List of Business Licenses

Secondhand Jewelry, Precious Metals and Gems Dealer

1. ANTIQUE CENTER OF LA CROSSE LTD d/b/a/ ANTIQUE CENTER OF LA CROSSE(SH007839-05-2025)	110 3RD ST S
2. CRESCENT JEWELERS INC d/b/a/ CRESCENT JEWELERS(SH007838-05-2025)	429 MAIN ST
3. DAVE'S COINS INC d/b/a/ DAVE'S COINS, STAMPS & ANTIQUITIES(SH007905-05-2025)	1226 CALEDONIA ST
4. DJRC LLC d/b/a/ RIVER CITY GOLD & SILVER EXCHANGE(SH007525-03-2025)	314-318 4TH ST S
5. HOWES & HOWES INC d/b/a/ HOWES DIAMOND JEWELERS(SH007561-04-2025)	324 MAIN ST
6. MARK JEWELLERS INC d/b/a/ MARK JEWELLERS(SH007880-05-2025)	1205 CALEDONIA ST
7. STERLING INC d/b/a/ KAY JEWELERS #0165(SH007791-04-2025)	3800 STATE ROAD 16
8. ZALE DELAWARE INC d/b/a/ ZALE JEWELERS #1264(SH007584-04-2025)	3800 STATE ROAD 16



City of La Crosse, Wisconsin
List of Business Licenses

Theatre

1. MARCUS THEATRES CORP d/b/a/ CINEMA THEATRES (TH007901-05-2025)
2. RIVOLI 21 LLC d/b/a/ RIVOLI THEATRE / PIZZA DOLOROSA (TH007887-05-2025)

2032 WARD AVE

117 4TH ST N



City of La Crosse, Wisconsin

APPLICATION FOR OUTDOOR CABARET LICENSE

Check One: ☒ New ☐ Renewal For the license period 7-1-25 to 6-30-26 Fee: \$ 160.⁰⁰

BUSINESS INFORMATION*

Legal/Real Name:

Genzie's Gameday Pub LLC

Address of Above: Street

City

State

Zip Code

1101 St Andrew Street La Crosse WI 54603

PREMISES INFORMATION

Trade Name of Business:

Genzie's Gameday Pub

Address of premises to be Licensed:

1101 St Andrew Street

Business Phone Number:

608-519-2898

Premises are Owned By:

Chandra Roark and Duane Genz

Address of Owner: Street

City

State

Zip Code

1419 Island St La Crosse WI 54603

CABARET INFORMATION

Detailed description of cabaret area to be licensed:

Outdoor beer garden located due East adjacent to the bar. Grassy area is entirely fenced in by 6 foot privacy fence.

Nature of Entertainment:

Live music

Other Business Conducted upon the premises:

None

MANAGER INFORMATION*

Cabaret Manager Name: First

Middle

Last

Chandra

Rae

Roark

Cabaret Manager Home Address: Street

City

State

Zip Code

1419 Island St La Crosse WI 54603

Home Phone Number of Cabaret Manager:

Daytime Phone Number of Cabaret Manager:

608-799-6764

Was the above person listed as manager on last year's application?

☐ Yes ☐ No

*Personal Data Sheet must be completed for each Officer/Member of the Business and the Manager.

The above hereby makes application for a license to operate an Outdoor Cabaret at the above address within the City of La Crosse pursuant to provisions of Chapter 10, Article IV of the Code of Ordinances for the City of La Crosse.

Signature of Applicant

Date

7-1-25**OFFICE USE ONLY**

For original application:

Attach a list of all property owners within 200 feet of the proposed licensed premises.

Signature:

Date:

Granted:

License #:

Personal Data Sheet

(Please **PRINT** All Information)

Each Officer/Member AND Manager/Person in Charge must complete all the information and must indicate if they have been convicted of any of the following within the last ten (10) years: a felony, a misdemeanor, a statutory violation punishable by forfeiture or a county or municipal ordinance violation. If none, write "none".

MANAGER/PERSON IN CHARGE				
Name: First		Middle	Last	
Chandra		Rae	Roark	
Home Address: Street		City	State	Zip Code
1419 Island La Crosse WI 54603				
Phone Number:		Email:	Date of Birth: (mm/dd/yyyy)	
608-799-6764		nickersonchandra@gmail.com	07/19/1980	
Violations: none				
OFFICER/MEMBER				
Name: First		Middle	Last	
Duane		Earl	Genz	
Home Address: Street		City	State	Zip Code
1016 Avon St La Crosse Wi 54603				
Phone Number:		Email:	Date of Birth: (mm/dd/yyyy)	
608-738-2656		dewman@yahoo.com	07/19/1962	
Violations: none				
OFFICER/MEMBER				
Name: First		Middle	Last	
Home Address: Street		City	State	Zip Code
Phone Number:		Email:	Date of Birth: (mm/dd/yyyy)	
Violations:				
OFFICER/MEMBER				
Name: First		Middle	Last	
Home Address: Street		City	State	Zip Code
Phone Number:		Email:	Date of Birth: (mm/dd/yyyy)	
Violations:				
OFFICER/MEMBER				
Name: First		Middle	Last	
Home Address: Street		City	State	Zip Code
Phone Number:		Email:	Date of Birth: (mm/dd/yyyy)	
Violations:				



160.00

Revision 1/21/2020



City of La Crosse, Wisconsin

APPLICATION FOR OUTDOOR CABARET LICENSE

Check One: ☒ New ☐ Renewal For the license period July 1 to June 30 Fee: \$ 160
2025 2026

BUSINESS INFORMATION*

Legal/Real Name:

Rays Adam St. Pub LLC

Address of Above: Street

71 Hinkley Rd. E.

City

LaCrosse,

State

WI

Zip Code

54603

PREMISES INFORMATION

Trade Name of Business:

Adams St. Pub

Address of premises to be Licensed:

1200 11th St S LaCrosse, WI 54601

Business Phone Number:

608.519-0477

Premises are Owned By:

Rachel Rausa

Address of Owner: Street

71 Hinkley Rd. E.

City

LaCrosse,

State

WI

Zip Code

54603

CABARET INFORMATION

Detailed description of cabaret area to be licensed:

enclosed Beer Garden / patio

Nature of Entertainment:

solo / duo performers easy listening

Other Business Conducted upon the premises:

haveen

MANAGER INFORMATION*

Cabaret Manager Name: First

Middle

Last

Rachel Rausa

Cabaret Manager Home Address: Street

City

State

Zip Code

Home Phone Number of Cabaret Manager:

Daytime Phone Number of Cabaret Manager:

608.792.3156

Was the above person listed as manager on last year's application?

☐ Yes ☒ No

n/a

*Personal Data Sheet must be completed for each Officer/Member of the Business and the Manager.

The above hereby makes application for a license to operate an Outdoor Cabaret at the above address within the City of La Crosse pursuant to provisions of Chapter 10, Article IV of the Code of Ordinances for the City of La Crosse.

Rachel Rausa
Signature of Applicant

4/8/25
Date

OFFICE USE ONLY

For original application:

Attach a list of all property owners within 200 feet of the proposed licensed premises.

Signature:

Date:

Granted:

License #:



City of La Crosse, Wisconsin

APPLICATION FOR INDOOR CABARET LICENSE

Check One: ☒ New ☐ Renewal For the license period 2025 to 2026 Fee: \$ 135
July 1 June 30

BUSINESS INFORMATION*			
Legal/Real Name: <u>Rays Adam St Pub LLC</u>			
Address of Above: Street <u>71 Hinkley Rd. E.</u>		City <u>LaCrosse</u>	State <u>WI</u>
		Zip Code <u>54603</u>	
PREMISES INFORMATION			
Trade Name of Business: <u>Adams St Pub</u>			
Address of premises to be Licensed: <u>1200 11th St S LaCrosse, WI 54601</u>		Business Phone Number: <u>608-519-0477</u>	
Premises are Owned By: <u>Rachel Rausa</u>			
Address of Owner: Street <u>71 Hinkley Rd E.</u>		City <u>LaCrosse</u>	State <u>WI</u>
		Zip Code <u>54603</u>	
CABARET INFORMATION			
Detailed description of cabaret area to be licensed: <u>main Bar area-tavern</u>			
Nature of Entertainment: <u>Solo/duo performer/easy listening or Karaoke</u>			
Other Business Conducted upon the premises: <u>Bar/alcohol sales.</u>			
MANAGER INFORMATION*			
Cabaret Manager Name: First <u>Rachel</u>		Middle <u>Rausa</u>	Last <u>Rausa</u>
Cabaret Manager Home Address: Street <u>71 Hinkley Rd E.</u>		City <u>LaCrosse</u>	State <u>WI</u>
		Zip Code <u>54603</u>	
Home Phone Number of Cabaret Manager: <u>608-792-</u>		Daytime Phone Number of Cabaret Manager: <u>608-792-</u>	
Was the above person listed as manager on last year's application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			

*Personal Data Sheet must be completed for each Officer/Member of the Business and the Manager.

The above hereby makes application for a license to operate an Indoor Cabaret at the above address within the City of La Crosse pursuant to provisions of Sec. 10-100 of the Code of Ordinances for the City of La Crosse.

Rachel Rausa 4/8/25
Signature of Applicant Date

OFFICE USE ONLY			
For original application: Are there lands zoned conservancy, residential or multiple dwelling within 100 feet of premises? <input type="checkbox"/> Yes (if yes, attach a list of those lands) <input type="checkbox"/> No			
Signature:	Date:	Granted:	License #:

Personal Data Sheet

(Please **PRINT** All Information)

Each Officer/Member AND Manager/Person in Charge must complete all the information and must indicate if they have been convicted of any of the following within the last ten (10) years: a felony, a misdemeanor, a statutory violation punishable by forfeiture or a county or municipal ordinance violation. If none, write "none".

MANAGER/PERSON IN CHARGE			
Name: First		Middle	Last
Home Address: Street		City	State Zip Code
Phone Number:	Email:	Date of Birth: (mm/dd/yyyy)	
Violations:			
OFFICER/MEMBER			
Name: First		Middle	Last
Home Address: Street		City	State Zip Code
Phone Number:	Email:	Date of Birth: (mm/dd/yyyy)	
Violations:			
OFFICER/MEMBER			
Name: First		Middle	Last
Home Address: Street		City	State Zip Code
Phone Number:	Email:	Date of Birth: (mm/dd/yyyy)	
Violations:			
OFFICER/MEMBER			
Name: First		Middle	Last
Home Address: Street		City	State Zip Code
Phone Number:	Email:	Date of Birth: (mm/dd/yyyy)	
Violations:			
OFFICER/MEMBER			
Name: First		Middle	Last
Home Address: Street		City	State Zip Code
Phone Number:	Email:	Date of Birth: (mm/dd/yyyy)	
Violations:			



City of La Crosse, Wisconsin

ORIGINAL ALCOHOL LICENSE APPLICANTS INFORMATION SUBMITTAL

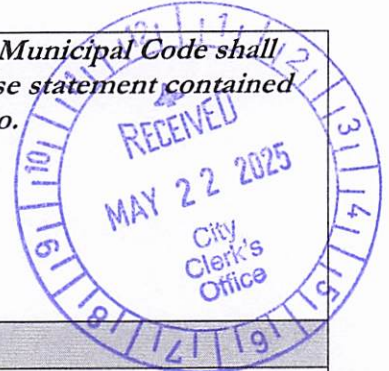
(Ch. 4, secs. 4-72 & 4-142)

All new applicants for an alcohol license pursuant to Chapter 4 of the La Crosse Municipal Code shall submit the following information with the original alcohol applications. Any false statement contained in such application shall automatically nullify any license issued pursuant thereto.

Class A: ☐ Beer, ☐ Liquor

Class B: ☒ Beer, ☒ Liquor

Class C: ☐ Wine



APPLICANT

Legal/Real Name of Business:

Grounded Coffee LLC

Trade Name:

Grounded Patio Cafe

Address:

Street

City

State

Zip Code

308 Main Street, La Crosse, WI 54601

Telephone Number:

608-784-5282

Website:

letsgetgrounded.com

ACTIVE USE OF LICENSE

☒ I understand that if a license is granted, said license must be activated within 90 days of being granted pursuant to Municipal Code secs. 4-43 and 4-108. This means open for business with stock and equipment.

Anticipated Date of Opening:

☒ I understand that if a license is granted, said license shall be actively utilized pursuant to Municipal Code sec. 4-12. Actively utilized shall mean open for business with regular and consistent operating hours. If a license is not actively used throughout any 90-day period, the license shall be subject to revocation or suspension pursuant to sec. 4-82.

☒ I understand that if there is any change to the license or licensee information, including but not limited to change in officers/members/directors or agent or their address/phone number, change in hours of operation, etc., the City Clerk will be notified within 15 days.

BUSINESS PLAN

Type of Establishment:

- ☐ Tavern ☐ Nightclub ☒ Restaurant ☐ Liquor Store ☐ Grocery Store
☐ Convenience Store with gas pumps ☐ Convenience Store without gas pumps
☒ Other Cafe

Hours of Operation:

M-F 6:30 am - 9 pm Sat 7am - 9 pm Sun 7am - 3pm

Anticipated Number of Employees:

20-25

Other Business to Be Conducted on Premise:

Coffee, Food

Estimated gross receipts for food and alcohol beverage sales by percentage.

(Note: Non-alcoholic drinks are classified as "Food.")

15 % Alcohol 80 % Food 5 % Other

If applicable, describe "Other":

Merchandise, retail items**Estimated capacity (Class B and Class C licenses only):**Indoor 40 Outdoor, if applicable 60**Will there be any outdoor sales/service or consumption of alcohol? If yes, explain.**

If yes, a beer garden license or outdoor dining permit may be required.

Yes - Beer garden license already obtained**Will there be live entertainment (music or dancing) on premise? If yes, explain.**

If yes, a cabaret license will be required.

Yes - cabaret license already obtained**Do you have off-street parking?** ☐ Yes ☒ No

If yes, how many parking spaces? _____

If no, how will parking be accommodated.

Provide a sketch of the floor plan showing overall dimensions, sales, service and consumption and storage areas, seating arrangements, location of coolers, and location where records are kept (invoices for purchase of alcohol).

Provide a site plan showing building location, any outside areas where alcohol beverages may be sold or consumed, off-street parking, ingress and egress, and existing or proposed screening.

In addition to supplying the above information which is true and correct to the best of my knowledge, I have reviewed the Alcohol Beverage Submittal Requirements and Information page and will comply with necessary requirements.

Signature

Date

5/22/25**FOR OFFICE USE - City Clerk's Office checklist for complete applications**

- ☒ Completed applications and fee
- ☒ Surrender of previous license, if applicable
- ☒ Lease, purchase agreement or other proof of control of premise
- ☒ Contact Information Sheet
- ☒ Articles of Incorporation
- ☒ WI Seller's Permit Certificate
- ☒ FEIN
- ☒ Floor Plan
- ☒ Site Plan
- ☒ Proof of course completion or valid operator license or on other license within last two years.
- ☐ Confirm proximity to school, church or hospital
- ☐ Confirm proximity to land zoned residential or multiple dwelling

Form
AB-200

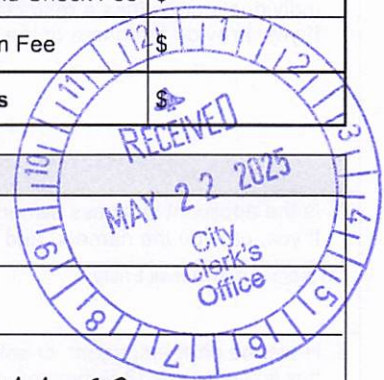
Alcohol Beverage License Application

For Municipal Use Only	
Municipality	
License Period	

License(s) Requested: (up to two boxes may be checked)

- ☐ Class "A" Beer \$ _____ ☐ Class "B" Beer \$ _____
- ☐ "Class A" Liquor \$ _____ ☐ "Class B" Liquor \$ _____
- ☐ "Class A" Liquor (cider only) \$ _____ ☐ Reserve "Class B" Liquor \$ _____
- ☐ "Class C" Liquor (wine only) \$ _____

Fees	
License Fees	\$
Background Check Fee	\$
Publication Fee	\$
Total Fees	\$



Part A: Premises/Business Information

1. Legal Business Name (individual name if sole proprietorship)

Grounded Coffee LLC

2. Business Trade Name or DBA

Grounded Patio Cafe

3. FEIN

45-2524019

4. Wisconsin Seller's Permit Number

456-1027519166-02

5. Entity Type (check one)

- ☐ Sole Proprietor ☐ Partnership ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization

6. State of Organization

WI

7. Date of Organization

7/1/2011

8. Wisconsin DFI Registration Number

9. Premises Address

308 Main Street

10. City

La Crosse

11. State

WI

12. Zip Code

54601

13. County

La Crosse

14. Governing Municipality: ☒ City ☐ Town ☐ Village

of: La Crosse

15. Aldermanic District

16. Premises Phone

608-784-5282

17. Premises Email

maria@letsgetgrounded.com

18. Website

LetsGetGrounded.com

19. Premises Description - Describe the building or buildings where alcohol beverages are produced, sold, stored, or consumed, and related records are kept. Describe all rooms within the building, including living quarters. Authorized alcohol beverage activities and storage of records may occur only on the premises described in this application. Attach a map or diagram and additional sheets if necessary.

Brick Building with patio. Beverages consumed on patio + in dining area. Stored behind the counter on shelving and in the basement.

20. Mailing Address (if different from premises address)

21. City

22. State

23. Zip Code

Part B: Questions

1. Has the business (sole proprietorship, partnership, limited liability company, or corporation) been convicted of violating federal or state laws or local ordinances? Exclude traffic offenses unless related to alcohol beverages. ☐ Yes ☒ No

If yes, list the details of violation below. Attach additional sheets if necessary.

Law/Ordinance Violated	Location	Trial Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	

2. Are charges for any offenses pending against the business? Exclude traffic offenses unless related to alcohol or beverages. ☐ Yes ☒ No

If yes, describe the nature and status of pending charges using the space below. Attach additional sheets as needed.

3. Is the applicant business or any of its officers, directors, members, agent, employees, owners, or other related individuals or entities a restricted investor with any interest in an alcohol beverage producer or distributor? ☐ Yes ☒ No

If yes, provide the name of the restricted investor and describe the nature of the interest.

4. Is the applicant business owned by another business entity? ☐ Yes ☒ No

If yes, provide the name(s) and FEIN(s) of the business entity owners below. Attach additional sheets as needed.

4a. Name of Business Entity	4b. Business Entity FEIN
-----------------------------	--------------------------

5. Have the partners, agent, or sole proprietor satisfied the responsible beverage server training requirement for this license period? Submit proof of completion. ☒ Yes ☐ No

6. Is the applicant business indebted to any wholesaler beyond 15 days for beer or 30 days for liquor/wine? ☐ Yes ☒ No

7. Does the applicant business owe past due municipal property taxes, assessments, or other fees? ☐ Yes ☒ No

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following positions in the applicant business or businesses listed in Part B, Question 4: sole proprietor, all officers, directors, and agent of a corporation or nonprofit organization, all partners of a partnership, and all members, managers, and agent of a limited liability company. Attach additional sheets if necessary.

Include Form AB-100 for each person listed below. Corporations and LLCs must appoint an agent by including Form AB-101.

Last Name	First Name	Title	Phone
Norberg	Maria	Owner	715-418-1199

Part D: Attestation

One of the following must sign and attest to this application:

- sole proprietor
- one general partner of a partnership
- one corporate officer
- one member of an LLC

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant business and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate this business according to the law, including but not limited to, purchasing alcohol beverages from state authorized wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name	First Name	M.I.
Norberg	Maria	A
Title	Email	Phone
Owner	maria@letsgetgrounded.com	715-418-1199
Signature	Date	
Maria Norberg	4/14/25	

Part E: For Clerk Use Only

Date Application Was Filed With Clerk	License Number	Date License Granted	Date License Issued
Signature of Clerk/Deputy Clerk		Date Provisional License Issued (if applicable)	

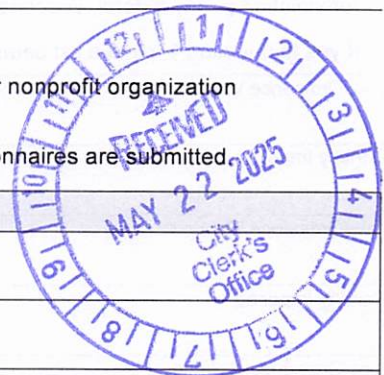
Alcohol Beverage
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.



Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Grounded Coffee LLC

2. Business Trade Name or DBA

Grounded Patio Cafe

3. Entity Type (check one)

☐ Sole Proprietor☐ Partnership☒ Limited Liability Company☐ Corporation☐ Nonprofit Organization

Part B: Individual Information

1. Last Name

Norberg

2. First Name

Maria

3. M.I.

4. Relationship to Business (Title)

Owner

5. Email

maria@letsgetgrounded.com

6. Phone

715-418-1199

7. Home Address

N6159 McKinley Valley Rd

8. City

West Salem

9. State

WI

10. Zip Code

54669

11. Date of Birth

12. Drivers License/State ID Number

13. Drivers License/State ID State of Issuance

WI

Part C: Address History

1. Do you currently reside in Wisconsin? ☒ Yes ☐ No

If yes to 1 above, how long have you continuously lived in Wisconsin prior to the date of application?

Years

Months

37

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1

2102 31st STS.

City

La Crosse

State

WI

Zip Code

54601

Previous Address 2

City

State

Zip Code

Previous Address 3

City

State

Zip Code

Previous Address 4

City

State

Zip Code

Previous Address 5

City

State

Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State

County

WI

La Crosse

State

County

WI

La Crosse

State

County

State

County

State

County

WI

Barron

State

County

State

County

State

County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000, if convicted.

Signature <i>Maria Nalez</i>	Date <i>4/14/25</i>
------------------------------	---------------------

Alcohol Beverage
Appointment of Agent

Date

Agent Type (check one)

- ☒ Original (no fee) ☐ Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Grounded Coffee LLC

2. Business Trade Name or DBA

Grounded Patio Cafe

3. Entity Type (check one)

- ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☒ Municipal Retail License ☐ State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

Part B: Agent Information

1. Last Name

Norberg

2. First Name

Maria

3. M.I.

A

4. Email

maria@letsgetgrounded.com

5. Phone

715 418 1199

6. Home Address

N6159 McKinley Valley Rd

7. City

West Salem

8. State

WI

9. Zip Code

54669

10. Age

37

11. Drivers License/State ID Number

12. Drivers License/State ID State of Issuance

WI

Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ☒ Yes ☐ No
Submit proof of completion.
2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire*? ☒ Yes ☐ No
Submit a completed Form AB-100 with this form.
3. Have you been a Wisconsin resident for at least 90 continuous days? ☒ Yes ☐ No
See instructions for exceptions.

Continued →

Part D: Business Attestation

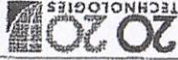
READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Norberg</i>		First Name <i>Maria</i>		M.I. <i>A</i>
Title <i>Owner</i>	Email <i>maria@letsgetgrounded.com</i>		Phone <i>715 418 1199</i>	
Signature <i>Maria Norberg</i>			Date <i>5/22/25</i>	

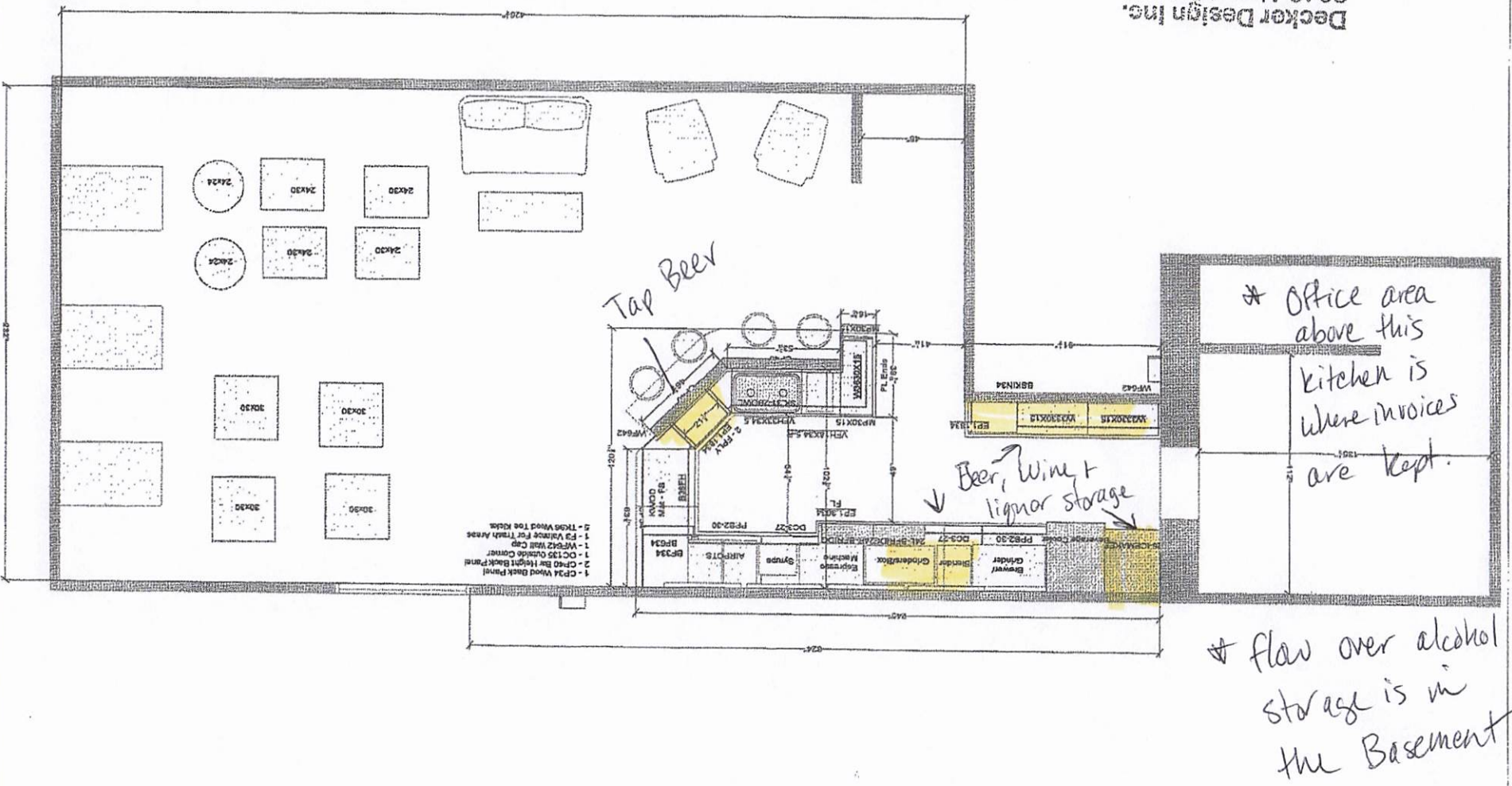
Part E: Agent Attestation

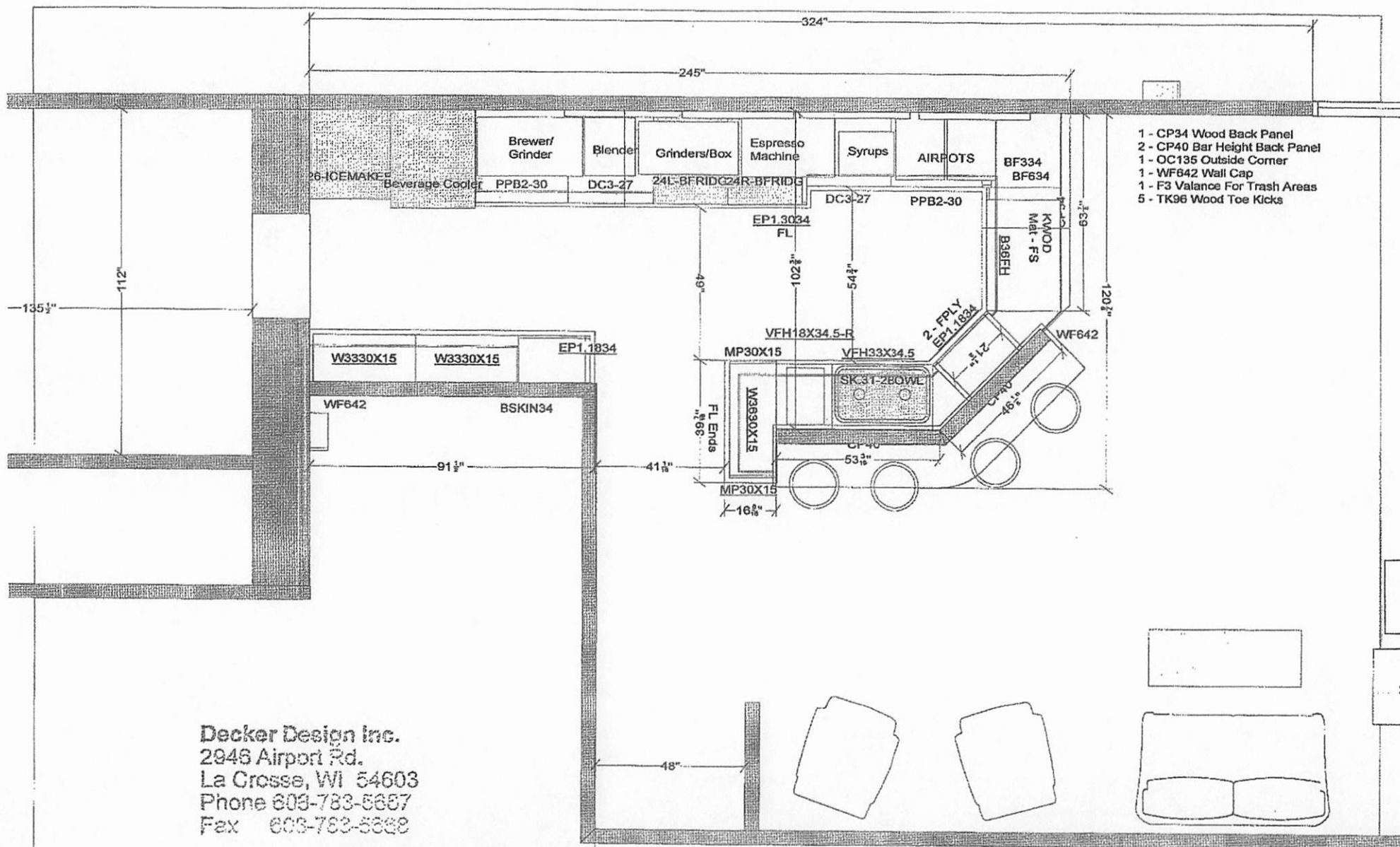
READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Norberg</i>		First Name <i>Maria</i>		M.I. <i>A</i>
Signature <i>Maria Norberg</i>			Date <i>5/22/25</i>	

Wellendorf-Grounded Kit		All		Drawing #: 1 No Scale	
All dimensions, size designations given are subject to verification on job site and adjustment to fit job conditions.		 This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.		Designed: 1/30/2018 Printed: 1/30/2018	

Decker Design Inc.
 2946 Airport Rd.
 La Crosse, WI 54603
 Phone 608-783-6687
 Fax 608-783-6688





Decker Design Inc.
 2946 Airport Rd.
 La Crosse, WI 54603
 Phone 603-783-5657
 Fax 603-783-5658

All dimensions size designations
 given are subject to verification on
 job site and adjustment to fit job
 conditions.

2020
 TECHNOLOGIES

This is an original design and must
 not be released or copied unless
 applicable fee has been paid or job
 order placed.

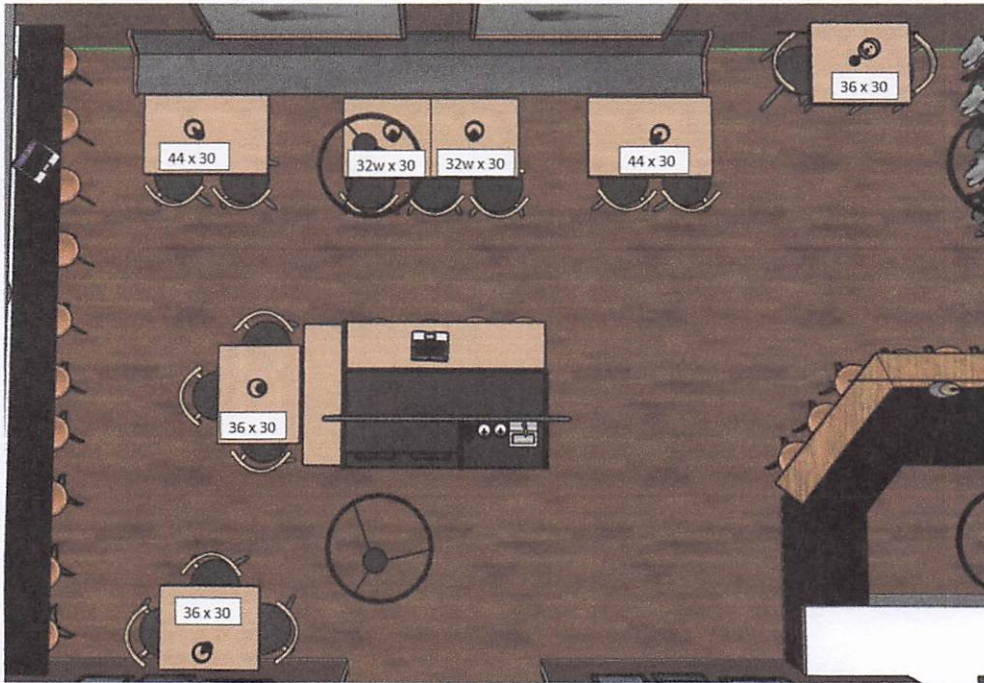
Designed: 1/30/2018
 Printed: 1/30/2018

426 1/2"

Wellendorf-Grounded.kit

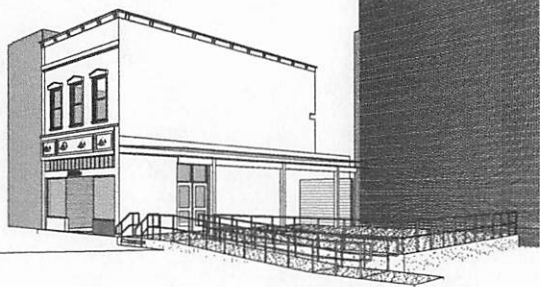
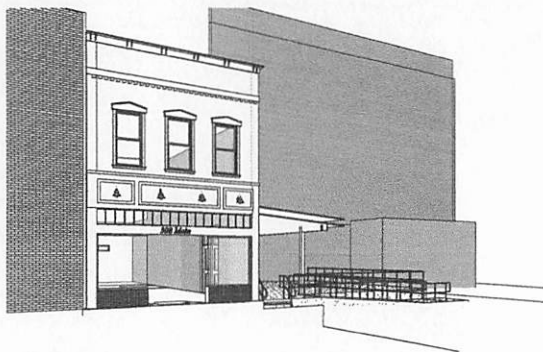
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Drawing #: 1 No Scale.



LA CROSSE, WISCONSIN

ISG PROJECT # 14-16812



PROJECT GENERAL NOTES		SHEET INDEX	
<p>1. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER, CONTRACTOR AGREEMENT, THE PROJECT MANUAL, SPECIFICATIONS, GENERAL AND SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS, DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT / ENGINEER.</p> <p>2. CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL TEXT AND COMPLETE COORDINATION OF ALL WORK.</p> <p>3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER IMAGED DIMENSIONS. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES OR CONFLICTS REGARDING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.</p> <p>4. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.</p> <p>5. DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND THE TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.</p> <p>6. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.</p> <p>7. LARGESCALE, LOGIC BEFORE DETAILS TAKE PRECEDENCE OVER SMALLSCALE, SPECIFIC DETAILS AND INFORMATION. MOST STRINGENT REQUIREMENTS FOR CODE, PRODUCTS AND INSTALLATION TAKE PRECEDENCE OVER LESS STRINGENT REQUIREMENTS. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.</p> <p>8. PROVIDE CONTROLS/SLATS AROUND ALL MATERIALS AT EXTERIOR WALL PENETRATIONS. REFER TO SPECIFICATIONS FOR APPROPRIATE SEALANT.</p> <p>9. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.</p> <p>10. SEAL ALL OPENINGS IN WALLS, FLOORS, CEILINGS AND ROOFS, AROUND DUCTS, PIPES, VENTS, TRAPS, CONDUIT AND ALL OTHER PENETRATIONS WITH FIRE STOPPING AS SPECIFIED AND REQUIRED BY CODES.</p> <p>11. REQUIRE TEMPORARY WALLS, ENCLOSURES, DUST SHIELDS AND WALKOFF MATS AS NECESSARY TO SEPARATE DISRUPTION AND CONSTRUCTION FROM EXISTING BUILDING.</p> <p>12. PROVIDE BRACING AND SHORING DESIGN AS REQUIRED TO PROTECT EXISTING STRUCTURE FROM EXCESSIVE BEARING AND OVERSTRESS ENCLOSURES.</p> <p>13. TEMPORARY OPENINGS IN EXTERIOR WALLS, PROTECT ALL BUILDING COMPONENTS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.</p> <p>14. RESTORE ALL EXISTING AREAS AFFECTED BY DEMOLITION AND RELATED NEW CONSTRUCTION TO THEIR ORIGINAL CONDITION, INCLUDING BUT NOT LIMITED TO WALLS, FLOORS AND CEILING AND THEIR ASSOCIATED FINISHES.</p>		<p>SHEET# SHEET TITLE</p> <p>GENERAL</p> <p>G-1-11 TITLE SHEET, SHEET INDEX, PROJECT GENERAL NOTES</p> <p>ARCHITECTURAL</p> <p>A-1-20 PATIO FLOOR PLAN</p> <p>A-1-21 PATIO SLAB PLAN AND DETAILS</p> <p>A-1-22 COURT SCHEDULE AND DETAILS</p> <p>STRUCTURAL</p> <p>S-1-05 STRUCTURAL NOTES</p> <p>S-1-06 FOUNDATION AND EXTERIOR WALLS</p> <p>S-1-11 FOOTING AND FOUNDATION PLAN</p>	

[illegible]

	BATT INSULATION
	BRICK
	CONCRETE (SECTION)
	CMU (SECTION)
	EARTH
	GRANULAR FILL
	GRAVEL
	GYPSEUM BOARD OR SHEATHING
	RIGID INSULATION
	PLYWOOD
	SAND
	STEEL
	SYNTHETIC STONE
	WOOD

SECTION

SECTION NUMBER

SHEET NUMBER

ELEVATION NUMBER

SHEET NUMBER

INTERIOR / EXTERIOR ELEVATION

ELEVATION NUMBERS

SECTION NUMBER

SHEET NUMBER

DETAIL CALLOUT

DETAIL NUMBER

SHEET NUMBER

AREA OF DETAIL

ELEVATION

LEVEL 1

VIEW NAME

DRAWING TITLE

ROOM NAME AND NUMBER

DOOR NUMBERS

ONLY ONE DOOR IN A ROOM

MULTIPLE DOORS IN A ROOM

WALL TYPE

WINDOW TYPE

NEW CONSTRUCTION GRIDS

EXISTING CONSTRUCTION GRIDS

0000 0000

LA CROSSE WISCONSIN

[illegible]

OWNER:
GROUNDED SPECIALTY COFFEE
MARIA NORBERG
308 MAIN STREET
LA CROSSE, WISCONSIN 54601
608-784-5282

PROJECT ADDRESS:
 GROUNDED SPECIALTY COFFEE
 308 MAIN STREET
 LA CROSSE, WISCONSIN 54601
 608-784-5282

LA CROSSE OFFICE
291 MAIN STREET
SUITE 1020
LA CROSSE, WI 54601
PHONE: 608.789.2034
PROJECT MANAGER: KEVIN BILLS
EMAIL: kevin.bills@its-grp.com



TITLE

**TITLE SHEET,
SHEET INDEX,
PROJECT
GENERAL NOTES**

SHEET

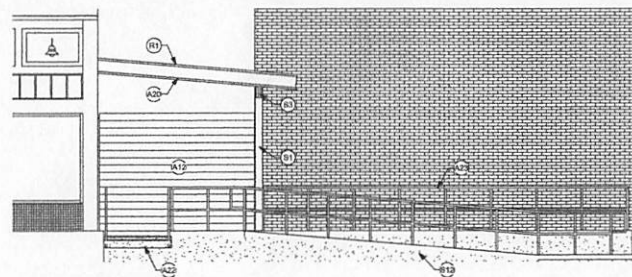
G1-11

SHEET NOTES

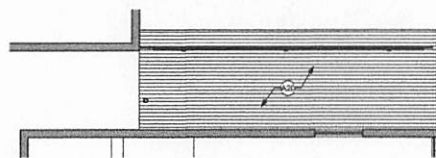
1. DUE TO EXISTING BUILDING SKEW (APPROXIMATELY 6°), ANY ADJUSTMENT TO MAINTAIN SQUARENESS OF NEW STRUCTURE SHOULD OCCUR ALONG GRIDLINE C. COORDINATE AND CONFIRM ANY STRUCTURAL CHANGES WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
2. EXISTING FOUNDATION WALLS SHALL BE INSPECTED PRIOR TO STARTING CONSTRUCTION TO VERIFY WIDTH AND ORIENTATION. COORDINATE REQUIRED CHANGES WITH ARCHITECT AND STRUCTURAL ENGINEER.
3. ALL WOOD MEMBERS TO BE FIRE TREATED.

KEYNOTE LEGEND

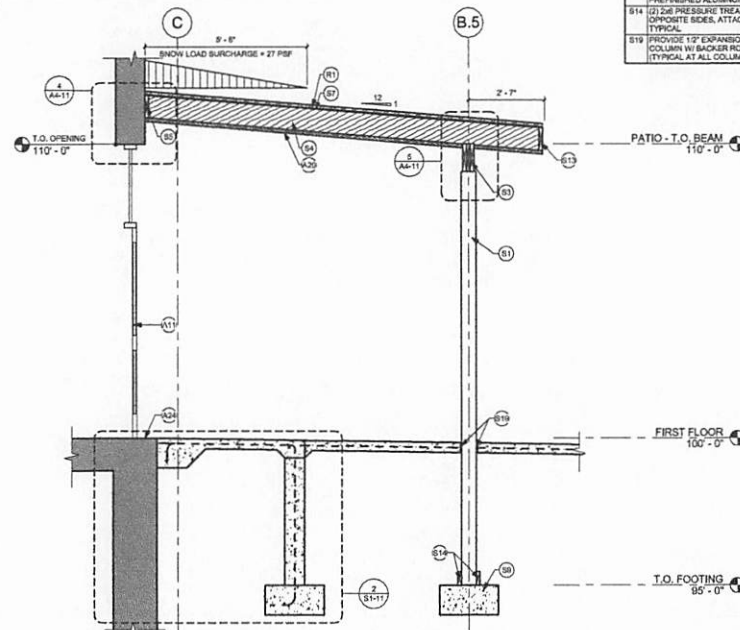
- | | |
|-----|--|
| A1 | EXISTING BRICK FACADE BEYOND EXISTING PAUL PARTED WINDOWS TO BE REMOVED. |
| A11 | NEW OPENING CUT IN EXISTING WALL. |
| A12 | SCREEN WALL WITH WOOD Siding (FINISH STAIN AND VARNISH). |
| A15 | EXPOSED WOOD BEAM. |
| A18 | EXISTING BUILDING EYEBROW. |
| A19 | PREFINISHED ARCHITECTURAL METAL ROOF PANEL, COLOR 1. |
| A20 | WOOD CEILING. |
| A22 | CIP CONCRETE STAIRS, REFER TO DETAIL ON SHEET A1-21. |
| A23 | PREFABRICATED ALUMINUM 3" RAILING W/ (4) 1/2" GALVANIZED STUD ANCHORS W/ MIN. 4" EMBEDMENT, PROVIDE MIN. 2" CLEAR FROM CONCRETE EDGE. |
| A24 | MODIFY BOTTOM OF DOOR OPENING FOR EXPOSED / NEW FLOOR FINISH / DOOR THRESHOLD. |
| B1 | PREFINISHED ARCHITECTURAL METAL ROOF, PROVIDE A MIN. 2" OVERHANG. |
| B3 | (1) 2X12 (SOUTHERN PINE NO. 1 F#900 PSI OR EQUAL) PRESSURE TREATED WOOD BEAM. |
| B4 | (2) 2X12 (SOUTHERN PINE NO. 2 F#800 PSI OR EQUAL) PRESSURE TREATED WOOD BEAM. |
| B5 | (2) 2X12 (SOUTHERN PINE NO. 2 F#800 PSI OR EQUAL) PRESSURE TREATED WOOD BEAM. |
| B6 | 4" CONCRETE SLAB/CONCRETE W/ 3" BARS @ 24" OC OVER COMPACTED COURSE. NON-FRUIT SUSCEPTIBLE BASE AND SUB GRADE. CONCRETE TO HAVE LIGHT BROOM FINISH W/ CONCRETE SEALER OVER ENTIRE SURFACE. |
| B7 | 5/8" PLYWOOD ROOF DECKING, ATTACH W/ 8d NAILS @ 6" OC ALONG EDGES AND 12" OC WITHIN FIELD. |
| B8 | 5/8" (DOUGLAS FIR NO. 1 F#1200 PSI OR EQUAL) PRESSURE TREATED WOOD POST. |
| B9 | CIP CONCRETE FOOTING, REFER TO STRUCTURAL DOCUMENTS. |
| B12 | 8" CIP CONCRETE FOUNDATION WALL W/ FORM LINER PATTERN TYPICAL. |
| B13 | 2X12 (SOUTHERN PINE NO. 2 F#800 PSI OR EQUAL) PRESSURE TREATED RIM BOARD W/ PREFINISHED ALUMINUM FASCIA. |
| B14 | (2) 2X8 PRESSURE TREATED UPLIFT BLOCKING OPPOSITE SIDES, ATTACH W/ 16d NAILS, TYPICAL. |
| B19 | PROVIDE 12" EXPANSION BOARD AROUND COLUMN W/ BACKER ROD AND SEALANT, (TYPICAL AT ALL COLUMNS). |



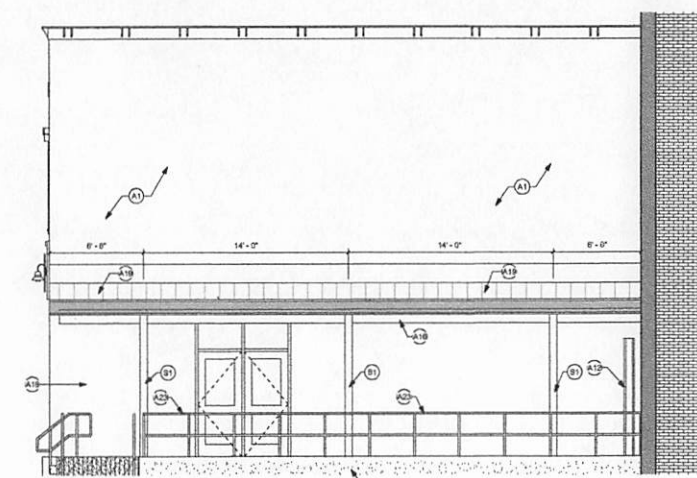
5 PATIO NORTH ELEVATION
1/4" = 1'-0"



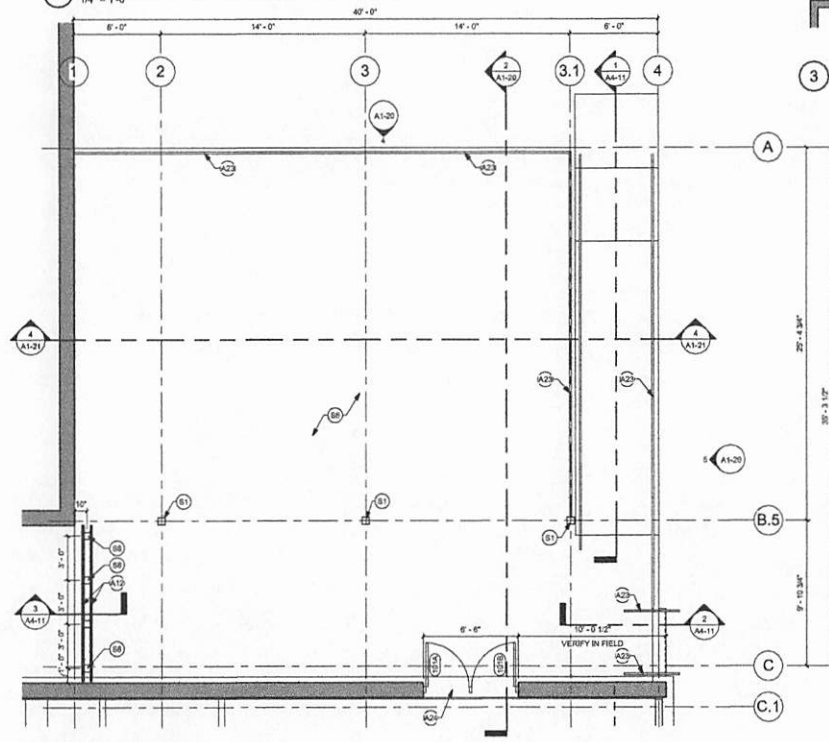
3 PATIO REFLECTED CEILING PLAN
1/8" = 1'-0"



2 PATIO SECTION
1/2" = 1'-0"



4 PATIO WEST ELEVATION
1/4" = 1'-0"



1 PATIO FLOOR PLAN
1/4" = 1'-0"

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PROJECT

GROUNDING SPECIALTY COFFEE

OUTDOOR PATIO

LA CROSSE WISCONSIN

REVISION SCHEDULE		BY
DATE	DESCRIPTION	

PROJECT NO. 14-16812
FILE NAME 16812 Patio Arch R-17.rvt
DRAWN BY RRV
DESIGNED BY KMB
REVIEWED BY KMB
ORIGINAL ISSUE DATE 08/17/2017
CLIENT PROJECT NO.

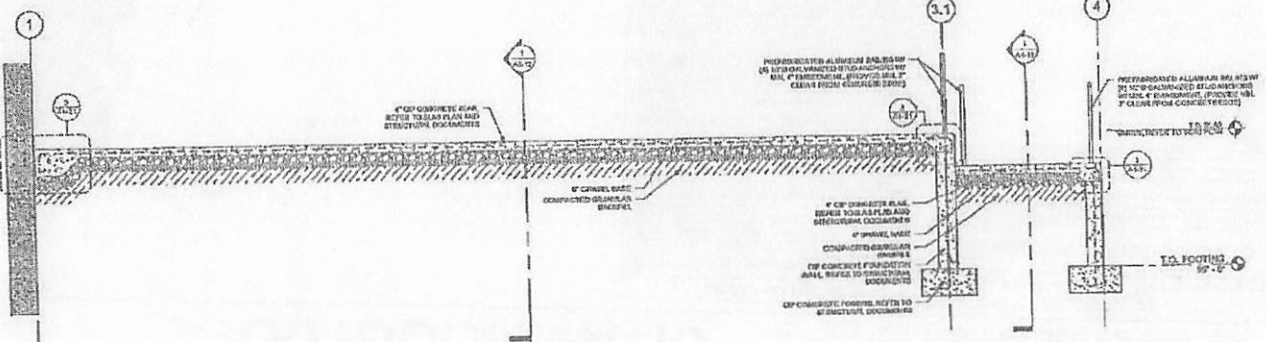
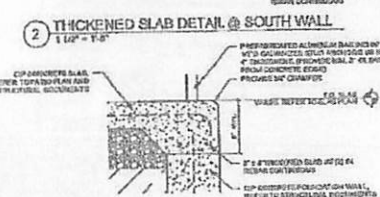
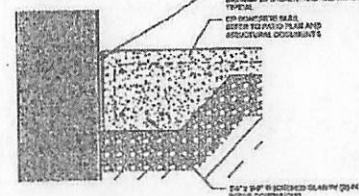
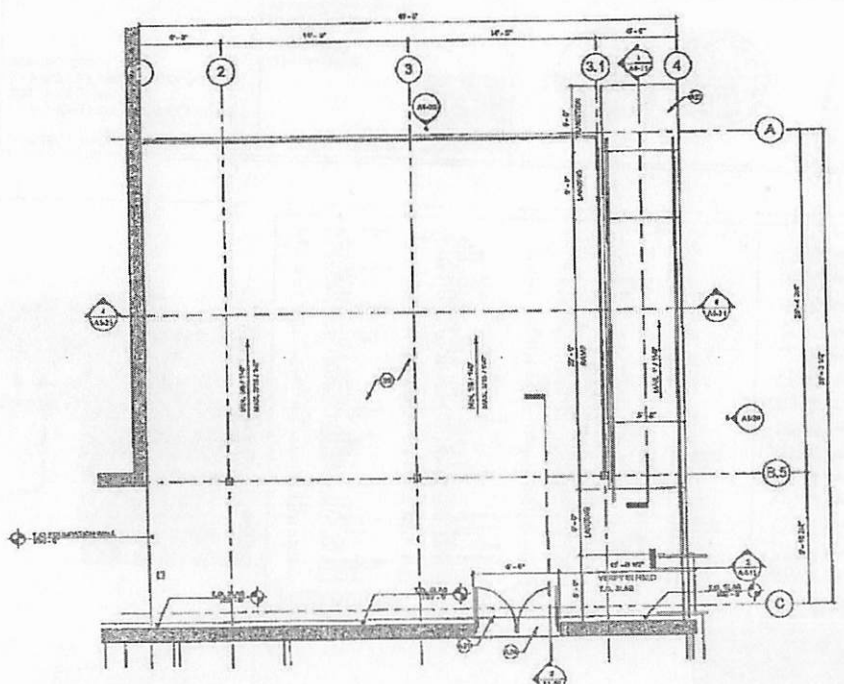
PATIO FLOOR PLAN

SHEET

A1-20



- WALL LEGEND**
- EXISTING CONSTRUCTION TO REMAIN
--- NEW CONSTRUCTION
- SHEET NOTES**
1. THIS SET OF DRAWINGS IS TO BE USED IN CONJUNCTION WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK, AND ANY OTHER APPLICABLE CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 2. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 3. ALL WALLS SHALL BE CONSTRUCTED WITH 8" CMU UNLESS OTHERWISE NOTED.
 4. ALL WALLS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK.
 5. ALL WALLS SHALL BE PAINTED WITH EXTERIOR GRADE PAINT.
- KEYNOTE LEGEND**
- KEYNOTE 1: 8" CMU WALL WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK.
- KEYNOTE 2: 8" CMU WALL WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK AND 1/2" POLYSTYRENE INSULATION.
- KEYNOTE 3: 8" CMU WALL WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK AND 1/2" POLYSTYRENE INSULATION AND 1/2" FIBERGLASS FIBERFACED GYPSUM BOARD.
- KEYNOTE 4: 8" CMU WALL WITH 5/8" GYPSUM BOARD OVER 1/2" SHEETROCK AND 1/2" POLYSTYRENE INSULATION AND 1/2" FIBERGLASS FIBERFACED GYPSUM BOARD AND 1/2" CONCRETE FINISH.



THIS DOCUMENT IS THE PROPERTY OF ISG AND SHOULD BE KEPT IN A SAFE PLACE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ISG.

PROJECT INFORMATION

PROJECT NO. 14-115112

DATE 11/11/2014

DESIGNER ISG

REVISIONS

NO.	DATE	DESCRIPTION
1	11/11/2014	ISSUED FOR PERMIT

PATIO SLAB PLAN AND DETAILS

14-21



City of La Crosse, Wisconsin

ORIGINAL ALCOHOL LICENSE APPLICANTS

INFORMATION SUBMITTAL

(Ch. 4, secs. 4-72 & 4-142)

All new applicants for an alcohol license pursuant to Chapter 4 of the La Crosse Municipal Code shall submit the following information with the original alcohol applications. Any false statement contained in such application shall automatically nullify any license issued pursuant thereto.

Class A: ☐ Beer, ☐ LiquorClass B: ☒ Beer, ☒ LiquorClass C: ☐ Wine**APPLICANT**

Legal/Real Name of Business:

Riverstone Hospitality LLC

Trade Name:

The Pearl Street Hotel & Suites

Address:

200 Pearl St

Street

City

LaCrosse

State

WI

Zip Code

54601

Telephone Number:

608-784-4444

Website:

ACTIVE USE OF LICENSE

☒ I understand that if a license is granted, said license must be activated within 90 days of being granted pursuant to Municipal Code secs. 4-43 and 4-108. This means open for business with stock and equipment.

Anticipated Date of Opening:

☒ I understand that if a license is granted, said license shall be actively utilized pursuant to Municipal Code sec. 4-12. Actively utilized shall mean open for business with regular and consistent operating hours. If a license is not actively used throughout any 90-day period, the license shall be subject to revocation or suspension pursuant to sec. 4-82.

☒ I understand that if there is any change to the license or licensee information, including but not limited to change in officers/members/directors or agent or their address/phone number, change in hours of operation, etc., the City Clerk will be notified within 15 days.

BUSINESS PLAN

Type of Establishment:

☒ Tavern ☐ Nightclub ☐ Restaurant ☐ Liquor Store ☐ Grocery Store☐ Convenience Store with gas pumps ☐ Convenience Store without gas pumps☐ Other _____

Hours of Operation:

6PM to 10PM

Anticipated Number of Employees:

5

Other Business to Be Conducted on Premise:

Hotel attached

Estimated gross receipts for food and alcohol beverage sales by percentage.
(Note: Non-alcoholic drinks are classified as "Food.")

90 % Alcohol 10 % Food 0 % Other

If applicable, describe "Other":

Estimated capacity (Class B and Class C licenses only):

Indoor X

Outdoor, if applicable _____

Will there be any outdoor sales/service or consumption of alcohol? If yes, explain.
If yes, a beer garden license or outdoor dining permit may be required.

No

Will there be live entertainment (music or dancing) on premise? If yes, explain.
If yes, a cabaret license will be required.

No

Do you have off-street parking? ☒ Yes ☐ No

If yes, how many parking spaces? _____

parking Ramp

If no, how will parking be accommodated.

Provide a sketch of the floor plan showing overall dimensions, sales, service and consumption and storage areas, seating arrangements, location of coolers, and location where records are kept (invoices for purchase of alcohol).

Provide a site plan showing building location, any outside areas where alcohol beverages may be sold or consumed, off-street parking, ingress and egress, and existing or proposed screening.

In addition to supplying the above information which is true and correct to the best of my knowledge, I have reviewed the Alcohol Beverage Submittal Requirements and Information page and will comply with necessary requirements.

Signature

[Signature]

Date

2/27/25

FOR OFFICE USE – City Clerk's Office checklist for complete applications

- ☐ Completed applications and fee
- ☐ Surrender of previous license, if applicable
- ☐ Lease, purchase agreement or other proof of control of premise
- ☐ Contact Information Sheet
- ☐ Articles of Incorporation
- ☐ WI Seller's Permit Certificate
- ☐ FEIN
- ☐ Floor Plan
- ☐ Site Plan
- ☐ Proof of course completion or valid operator license or on other license within last two years.
- ☐ Confirm proximity to school, church or hospital
- ☐ Confirm proximity to land zoned residential or multiple dwelling

Pearl Street Hotel and Suites/Riverstone Hospitality

RE: Combined Beer and Liquor

Cover Letter

To Whom It May Concern;

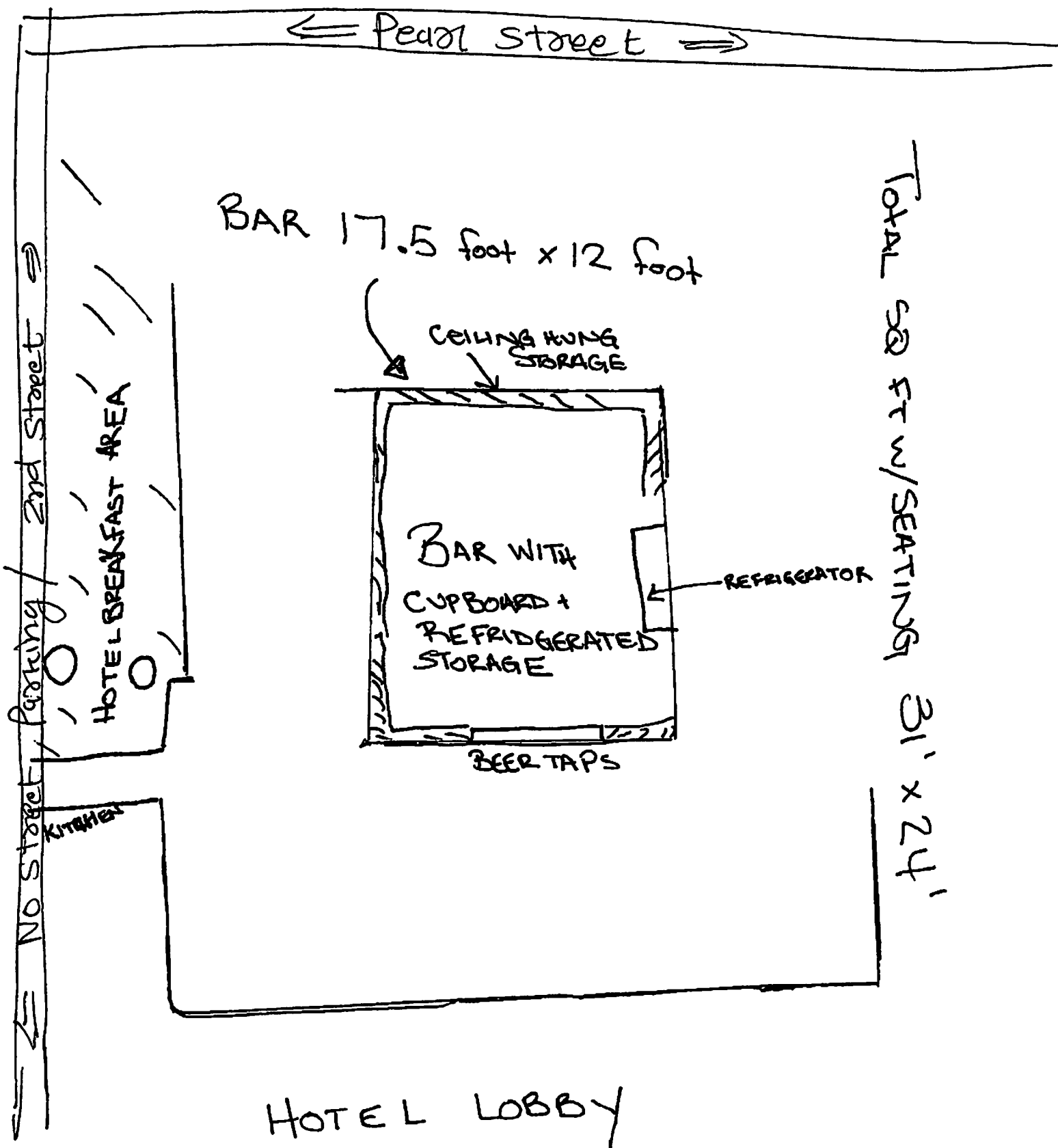
Pearl Street Hotel & Suites (Formerly Holiday Inn) has been taken over by new ownership who are ecstatic to renovate and turn around business as well as the reputation of the hotel location established in 1998. As new ownership, the plan is to renovate to a renowned brand with upscale and contemporary presentation. However, as a part of the brand requirements, a bar and full service restaurant is a requirement. Riverstone Hospitality is aiming for a three meal restaurant with evening socials and bar for the guests to enjoy as an amenity to the 114 guest room property.

The following address the application cover letter requirements as provided by La Crosse County:

- a) The estimated percent of gross receipts of beer, wine, and liquor sales in relation to the total goods and services sold by the property is less than 2.5% with an estimated total gross sales of less than \$40,000 annually.**
- b) Please see the attached sketch of the floor plan showing the location of coolers and storage as well as bar square footage. Total bar square footage with seating is 744 Sq Ft, and the bar itself with tap is roughly 210 Sq. Ft.**
- c) Alcohol will be sold by the bartender in the 210 Sq Ft area. Bartender will ID and sale mixed drinks, tap beer, and bottled beer, and wine.**
- d) All alcohol will be purchased from a licensed distributor, and we will only purchase enough to stock the bar. Beer and liquor will be stored in locked refrigerators, and cabinets.**
- e) Distributer and Guest Receipts will be stored and kept for inspection digitally and accessible for inspection.**
- f) Our business proposal of sales are as follows pertaining to operations:**
 - a. We will ONLY serve from Noon to 9PM daily.**
 - b. All of the staff will need to get correct licenses as mandated by La Crosse County.**
 - c. All sales will be recorded utilizing our PMS system.**
 - d. Staff will be the ONLY individuals able to serve or have access to storage upon guest requests.**
 - e. Liquor may or may not be sold to patrons not staying at the hotel, but will primarily be for patrons of the hotel.**
 - f. Guests will be able to purchase and consume their alcohol in the bar area only.**
 - g. Our staff will be trained and all guests who purchase alcohol will be required to show proper identification showing they are at least 21 years of age.**

For any further questions, comments, or clarification, please do not hesitate to reach out directly.

Yours,



Form
AB-200

Alcohol Beverage License Application

For Municipal Use Only	
Municipality	
License Period	

License(s) Requested: (up to two boxes may be checked)

- ☐ Class "A" Beer \$ _____ ☒ Class "B" Beer \$ _____
- ☐ "Class A" Liquor \$ _____ ☒ "Class B" Liquor \$ _____
- ☐ "Class A" Liquor (cider only) \$ _____ ☐ Reserve "Class B" Liquor \$ _____
- ☐ "Class C" Liquor (wine only) \$ _____

Fees	
License Fees	\$
Background Check Fee	\$
Publication Fee	\$
Total Fees	\$

Part A: Premises/Business Information

1. Legal Business Name (individual name if sole proprietorship) RIVERSTONE HOSPITALITY LLC			
2. Business Trade Name or DBA The Pearl Street Hotel & Suites			
3. FEIN 33-1581903		4. Wisconsin Seller's Permit Number	
5. Entity Type (check one) <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization			
6. State of Organization WI		7. Date of Organization 10/1/24	
8. Wisconsin DFI Registration Number			
9. Premises Address 200 Pearl St			
10. City Lacrosse		11. State WI	12. Zip Code 54601
13. County Lacrosse		14. Governing Municipality: <input checked="" type="checkbox"/> City <input type="checkbox"/> Town <input type="checkbox"/> Village of: _____	
15. Aldermanic District		16. Premises Phone 608-784-4444	
17. Premises Email Maheshchicago@gmail.com		18. Website	
19. Premises Description - Describe the building or buildings where alcohol beverages are produced, sold, stored, or consumed, and related records are kept. Describe all rooms within the building, including living quarters. Authorized alcohol beverage activities and storage of records may occur only on the premises described in this application. Attach a map or diagram and additional sheets if necessary. Alcohol will be served at the bar & will be stored in the cooler & guest are allowed to drink in the Room.			
20. Mailing Address (if different from premises address) Same			
21. City		22. State	23. Zip Code

Part B: Questions

1. Has the business (sole proprietorship, partnership, limited liability company, or corporation) been convicted of violating federal or state laws or local ordinances? Exclude traffic offenses unless related to alcohol beverages. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If yes, list the details of violation below. Attach additional sheets if necessary.		
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses pending against the business? Exclude traffic offenses unless related to alcohol .. ☐ Yes ☒ No
 beverages.
 If yes, describe the nature and status of pending charges using the space below. Attach additional sheets as needed.

3. Is the applicant business or any of its officers, directors, members, agent, employees, owners, or other related individuals or entities a restricted investor with any interest in an alcohol beverage producer or distributor? .. ☐ Yes ☒ No
 If yes, provide the name of the restricted investor and describe the nature of the interest.

4. Is the applicant business owned by another business entity? ☐ Yes ☒ No
 If yes, provide the name(s) and FEIN(s) of the business entity owners below. Attach additional sheets as needed.

4a. Name of Business Entity

4b. Business Entity FEIN

5. Have the partners, agent, or sole proprietor satisfied the responsible beverage server training requirement for this license period? Submit proof of completion. ☐ Yes ☒ No

6. Is the applicant business indebted to any wholesaler beyond 15 days for beer or 30 days for liquor/wine? ☐ Yes ☒ No

7. Does the applicant business owe past due municipal property taxes, assessments, or other fees? ☐ Yes ☒ No

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following positions in the applicant business or businesses listed in Part B, Question 4: sole proprietor, all officers, directors, and agent of a corporation or nonprofit organization, all partners of a partnership, and all members, managers, and agent of a limited liability company. Attach additional sheets if necessary.

Include Form AB-100 for each person listed below. Corporations and LLCs must appoint an agent by including Form AB-101.


Last Name	First Name	Title	Phone
Rupesh Patel	RUPESH	President	608 343 8199
Patel	MAHESH	VP	608 385 9245
Patel	JAYMIN	Treasurer	608 343 0565
Patel	LAL	Secretary	608 385 0908

Part D: Attestation

One of the following must sign and attest to this application:

- sole proprietor
- one general partner of a partnership
- one corporate officer
- one member of an LLC

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant business and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate this business according to the law, including but not limited to, purchasing alcohol beverages from state authorized wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name PATEL		First Name MAHESH		M.I.
Title VP	Email Maheshchicago@gmail.com	Phone 608 385 9245		
Signature 		Date 2/27/25		

Part E: For Clerk Use Only

Date Application Was Filed With Clerk	License Number	Date License Granted	Date License Issued
Signature of Clerk/Deputy Clerk		Date Provisional License Issued (if applicable)	

Alcohol Beverage
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information				
1. Legal Business Name (individual name if sole proprietor) Riverstone Hospitality LLC				
2. Business Trade Name or DBA Pearl Street Hotel & Suites				
3. Entity Type (check one)				
<input type="checkbox"/> Sole Proprietor	<input type="checkbox"/> Partnership	<input checked="" type="checkbox"/> Limited Liability Company	<input type="checkbox"/> Corporation	<input type="checkbox"/> Nonprofit Organization

Part B: Individual Information				
1. Last Name Patel		2. First Name Lal		3. M.I. N
4. Relationship to Business (Title) Member		5. Email N/A		6. Phone (608) 385-0908
7. Home Address 479 Driftwood St.				
8. City West Salem		9. State WI	10. Zip Code 54669	11. Date of Birth [REDACTED]
12. Drivers License/State ID Number [REDACTED]			13. Drivers License/State ID State of Issuance WI	

Part C: Address History								
1. Do you currently reside in Wisconsin? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No								
If yes to 1 above, how long have you continuously lived in Wisconsin prior to the date of application?				<table><tr><td>Years</td><td>Months</td></tr><tr><td>16</td><td>8</td></tr></table>	Years	Months	16	8
Years	Months							
16	8							
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.								
Previous Address 1		City	State	Zip Code				
Previous Address 2		City	State	Zip Code				
Previous Address 3		City	State	Zip Code				
Previous Address 4		City	State	Zip Code				
Previous Address 5		City	State	Zip Code				
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.								
State	County	State	County	State	County	State	County	
State	County	State	County	State	County	State	County	

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.


Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 	Date 03/03/2025
--	--------------------

Alcohol Beverage
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Riverstone Hospitality

2. Business Trade Name or DBA

Pearlstreet hotel

3. Entity Type (check one)

☐ Sole Proprietor ☐ Partnership ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization**Part B: Individual Information**

1. Last Name

Patel

2. First Name

Jaymin

3. M.I.

4. Relationship to Business (Title)

CEO

5. Email

jaypack007@gmail.com

6. Phone

(608) 343-0565

7. Home Address

335 Driftwood st

8. City

WestSalem

9. State

WI

10. Zip Code

54669

11. Date of Birth

12. Drivers License/State ID Number

13. Drivers License/State ID State of Issuance

WI

Part C: Address History1. Do you currently reside in Wisconsin? ☒ Yes ☐ No

If yes to 1 above, how long have you continuously lived in Wisconsin prior to the date of application?

Years

7

Months

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1	City	State	Zip Code
Previous Address 2	City	State	Zip Code
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
State	County	State	County	State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.


Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 	Date 03/01/2025
--	--------------------

**Alcohol Beverage
Individual Questionnaire**Date
03/03.2025

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor) RIVERSTONE HOSPITALITY LLC	
2. Business Trade Name or DBA THE PEARL STREET HOTEL AND SUITES	
3. Entity Type (check one) <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization	

Part B: Individual Information

1. Last Name PATEL		2. First Name RUPESH		3. M.I. H
4. Relationship to Business (Title) PREISIDENT		5. Email RUPESH6178@GMAIL.COM		6. Phone (608) 343-8199
7. Home Address 335 DRIFTWOOD ST				
8. City WEST SALEM		9. State WI	10. Zip Code 54669	11. Date of Birth [REDACTED]
12. Drivers License/State ID Number [REDACTED]			13. Drivers License/State ID State of Issuance WI	

Part C: Address History

1. Do you currently reside in Wisconsin?				<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes to 1 above, how long have you continuously lived in Wisconsin prior to the date of application?				Years 12	Months
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.					
Previous Address 1		City		State	Zip Code
Previous Address 2		City		State	Zip Code
Previous Address 3		City		State	Zip Code
Previous Address 4		City		State	Zip Code
Previous Address 5		City		State	Zip Code
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.					
State	County	State	County	State	County
State	County	State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 	Date 03/03/2025
---	--------------------

Alcohol Beverage
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Riverstone Hospitality LLC

2. Business Trade Name or DBA

Pearl Street Hotel & Suites

3. Entity Type (check one)

☐ Sole Proprietor☒ Partnership☐ Limited Liability Company☐ Corporation☐ Nonprofit Organization**Part B: Individual Information**

1. Last Name

Patel

2. First Name

Mahesh

3. M.I.

4. Relationship to Business (Title)

Member

5. Email

Maheshchicago@gmail.com

6. Phone

(608) 385-9245

7. Home Address

9834 Elkhorn Road

8. City

Tomah

9. State

WI

10. Zip Code

54660

11. Date of Birth

12. Drivers License/State ID Number

13. Drivers License/State ID State of Issuance

WI

Part C: Address History1. Do you currently reside in Wisconsin? ☒ Yes ☐ No

If yes to 1 above, how long have you continuously lived in Wisconsin prior to the date of application?

Years
15Months
2

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address	City	State	Zip Code
1			
2			
3			
4			
5			

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

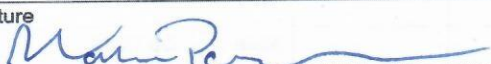
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 	Date 03/03/2025
--	--------------------

Alcohol Beverage
Appointment of AgentDate
5/21/25

Agent Type (check one)

- ☒
- Original (no fee)
- ☐
- Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Riverstone hospitality LLC

2. Business Trade Name or DBA

Pearl street Hotel & Suites

3. Entity Type (check one)

- ☒
- Limited Liability Company
- ☐
- Corporation
- ☐
- Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☐
- Municipal Retail License
- ☐
- State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

Part B: Agent Information

1. Last Name

Patel

2. First Name

Rupesh

3. M.I.

H

4. Email

rupesh6178@gmail.com

5. Phone

608-343-8199

6. Home Address

335 Duftwood st

7. City

West Salem

8. State

WI

9. Zip Code

54669

10. Age

44

11. Drivers License/State ID Number

12. Drivers License/State ID State of Issuance


Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ☒ Yes ☐ No
Submit proof of completion.
2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire*? ☒ Yes ☐ No
Submit a completed Form AB-100 with this form.
3. Have you been a Wisconsin resident for at least 90 continuous days? ☒ Yes ☐ No
See instructions for exceptions.

Continued →


Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name PATEL		First Name RUPESH	M.I. H
Title OWNER	Email rupesh6178@gmail.com		Phone 608-343-8199
Signature 			Date 5/21/25

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Patel		First Name Rupesh	M.I. H
Signature 			Date 5/21/25



LEARN 2 SERVE™

CERTIFICATE OF COMPLETION

This certifies that

rupesh patel

is awarded this certificate for

Wisconsin Responsible Beverage Server Training



Completion Date

04/14/2025



Expiration Date

04/14/2027



Certificate #

A handwritten signature in black ink, appearing to read 'Sue H. McLeod', written over a horizontal line.

Official Signature

This certificate is non-transferable and represents the successful completion of an approved Wisconsin Department of Revenue Responsible Beverage Server Course in compliance with secs. 125.04(5)(a)5., 125.17(6), and 134.66(2m), Wis. Stats.

New:

x July 1, 2025

License Fee:

\$110.00 pd cash

Renewal:

Invoice #:

APPLICATION FOR ROLLER RINK LICENSE

To the Common Council of the City of La Crosse:

Legal/Real Name: Johnny B. Foster Loyalty Boys LLC

Address of above: 1515 George St. La Crosse, WI 54603

Trade name of business: Roller City Disco

Address of premise to be licensed: 205 5th Avenue S - 508 Jay St. La Crosse, WI 54601

Name of manager (FIRST, MIDDLE & LAST): Jordan M. Larson

Home address (STREET ADDRESS, CITY, STATE & ZIP): 1515 George St. La Crosse, WI 54603

Home phone number: Johnny (608) 304-8785 Jordan (608) 386-6673

Daytime phone number: Same as above

Date of Birth: 06/13/1975

License Period: July 1, 2025 - June 30, 2026

The above hereby makes application for a license to operate a Roller Rink at the above address within the City of La Crosse pursuant to provisions of Chapter 10, Article VII of the Code of Ordinances for the City of La Crosse and subject to all laws of the State of Wisconsin.

jmlarson58915@gmail.com

Johnny Foster
(Signature of Applicant)

05/16/25
(Date)

OFFICE USE ONLY:

Customer # _____

Granted: _____

License #: _____

PERSONAL DATA SHEET
(PLEASE PRINT ALL INFORMATION)

Each Officer AND Manager/Person in Charge must complete all the information and must indicate if they have been convicted of any of the following within the last ten (10) years: a felony, a misdemeanor, a statutory violation punishable by forfeiture or a county or municipal ordinance violation. If none, write "none".

Name of Manager/Person in Charge: Foster, Johnny Richard
(LAST, FIRST & FULL MIDDLE NAME)
Home Address: 1515 George St. LaCrosse, WI 54603
(STREET ADDRESS, CITY, STATE & ZIP)
Date of Birth: [REDACTED] Home Phone: (608) 304-8785 Daytime Phone: Same
Violations: OWI 2002

Name of Officer: Larson, Jordan Michael
(LAST, FIRST & FULL MIDDLE NAME)
Home Address: 1515 George St. La Crosse, WI
(STREET ADDRESS, CITY, STATE & ZIP)
Date of Birth: [REDACTED] Home Phone: 608 386 6673 Daytime Phone: _____
Violations: Owi x3

Name of Officer: _____
(LAST, FIRST & FULL MIDDLE NAME)
Home Address: _____
(STREET ADDRESS, CITY, STATE & ZIP)
Date of Birth: _____ Home Phone: _____ Daytime Phone: _____
Violations: _____

Name of Officer: _____
(LAST, FIRST & FULL MIDDLE NAME)
Home Address: _____
(STREET ADDRESS, CITY, STATE & ZIP)
Date of Birth: _____ Home Phone: _____ Daytime Phone: _____
Violations: _____

Name of Officer: _____
(LAST, FIRST & FULL MIDDLE NAME)
Home Address: _____
(STREET ADDRESS, CITY, STATE & ZIP)
Date of Birth: _____ Home Phone: _____ Daytime Phone: _____
Violations: _____



City of La Crosse, Wisconsin

ORIGINAL ALCOHOL LICENSE APPLICANTS INFORMATION SUBMITTAL

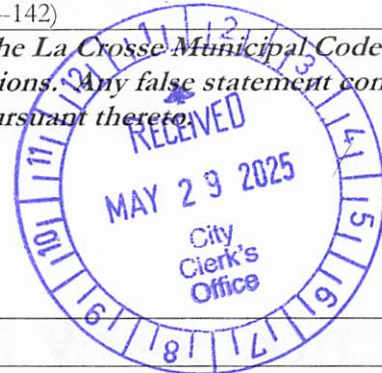
(Ch. 4, secs. 4-72 & 4-142)

All new applicants for an alcohol license pursuant to Chapter 4 of the La Crosse Municipal Code shall submit the following information with the original alcohol applications. Any false statement contained in such application shall automatically nullify any license issued pursuant thereto.

Class A: ☐ Beer, ☐ Liquor

Class B: ☒ Beer, ☒ Liquor

Class C: ☐ Wine



APPLICANT

Legal/Real Name of Business:

MEGPE LLC

Trade Name:

Boothill PUB

Address:

Street

City

State

Zip Code

1561 ST. Andrew ST ST 101 LaCrosse WI 54603

Telephone Number:

608 782 3824

Website:

Boothillpub.com

ACTIVE USE OF LICENSE

☒ I understand that if a license is granted, said license must be activated within 90 days of being granted pursuant to Municipal Code secs. 4-43 and 4-108. This means open for business with stock and equipment.

Anticipated Date of Opening:

☒ I understand that if a license is granted, said license shall be actively utilized pursuant to Municipal Code sec. 4-12. Actively utilized shall mean open for business with regular and consistent operating hours. If a license is not actively used throughout any 90-day period, the license shall be subject to revocation or suspension pursuant to sec. 4-82.

☒ I understand that if there is any change to the license or licensee information, including but not limited to change in officers/members/directors or agent or their address/phone number, change in hours of operation, etc., the City Clerk will be notified within 15 days.

BUSINESS PLAN

Type of Establishment:

- ☒ Tavern ☐ Nightclub ☒ Restaurant ☐ Liquor Store ☐ Grocery Store
☐ Convenience Store with gas pumps ☐ Convenience Store without gas pumps
☐ Other Banquet hall

Hours of Operation:

11:00am - 10:00pm

Anticipated Number of Employees:

6

Other Business to Be Conducted on Premise:

Tavern, Restaurant, Banquet hall

Estimated gross receipts for food and alcohol beverage sales by percentage.

(Note: Non-alcoholic drinks are classified as "Food.")

60 % Alcohol 40 % Food _____ % Other

If applicable, describe "Other":

Estimated capacity (Class B and Class C licenses only):

Indoor 135 Outdoor, if applicable 160

Will there be any outdoor sales/service or consumption of alcohol? If yes, explain.

If yes, a beer garden license or outdoor dining permit may be required.

Will there be live entertainment (music or dancing) on premise? If yes, explain.

If yes, a cabaret license will be required.

Indoor & Outdoor Cabaret.

Do you have off-street parking? ☒ Yes ☐ No

If yes, how many parking spaces? 100

If no, how will parking be accommodated.

Provide a sketch of the floor plan showing overall dimensions, sales, service and consumption and storage areas, seating arrangements, location of coolers, and location where records are kept (invoices for purchase of alcohol).

Provide a site plan showing building location, any outside areas where alcohol beverages may be sold or consumed, off-street parking, ingress and egress, and existing or proposed screening.

In addition to supplying the above information which is true and correct to the best of my knowledge, I have reviewed the Alcohol Beverage Submittal Requirements and Information page and will comply with necessary requirements.

Meghan Ewenstae

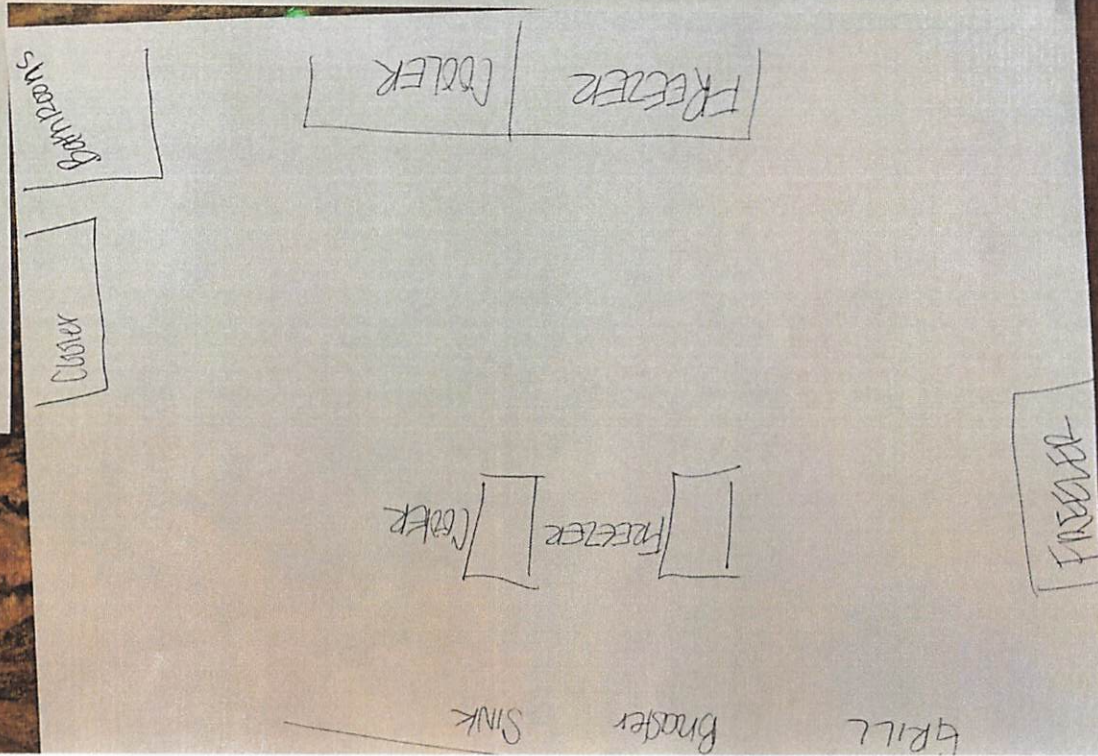
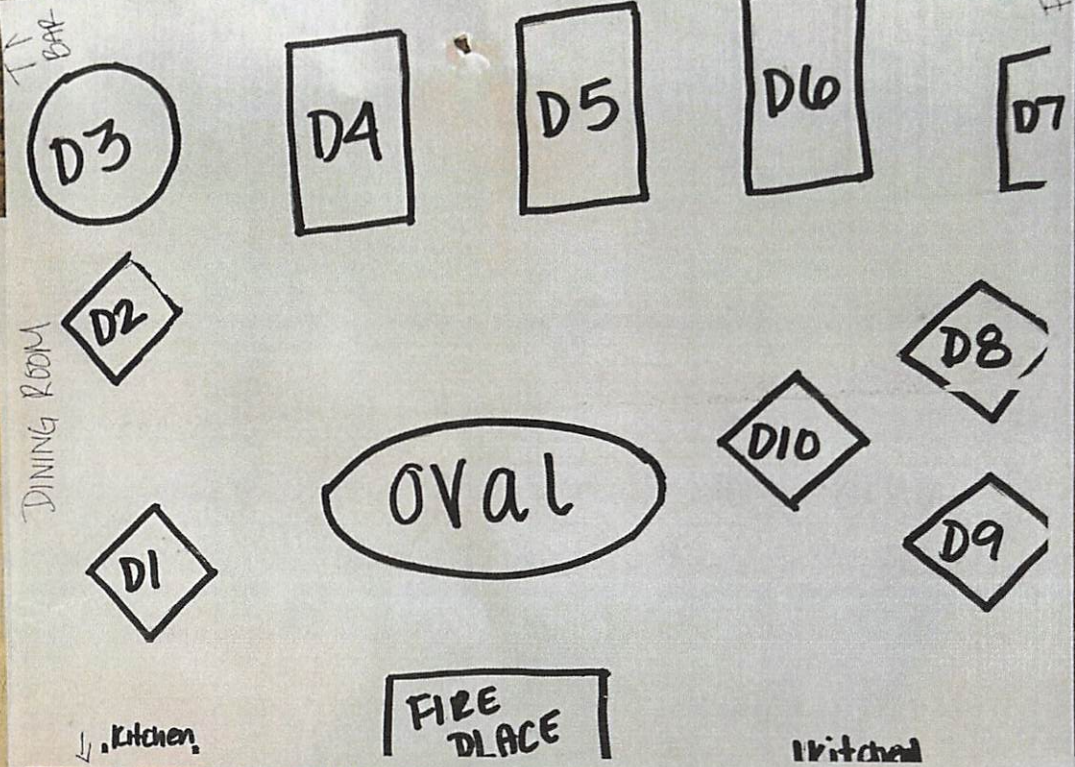
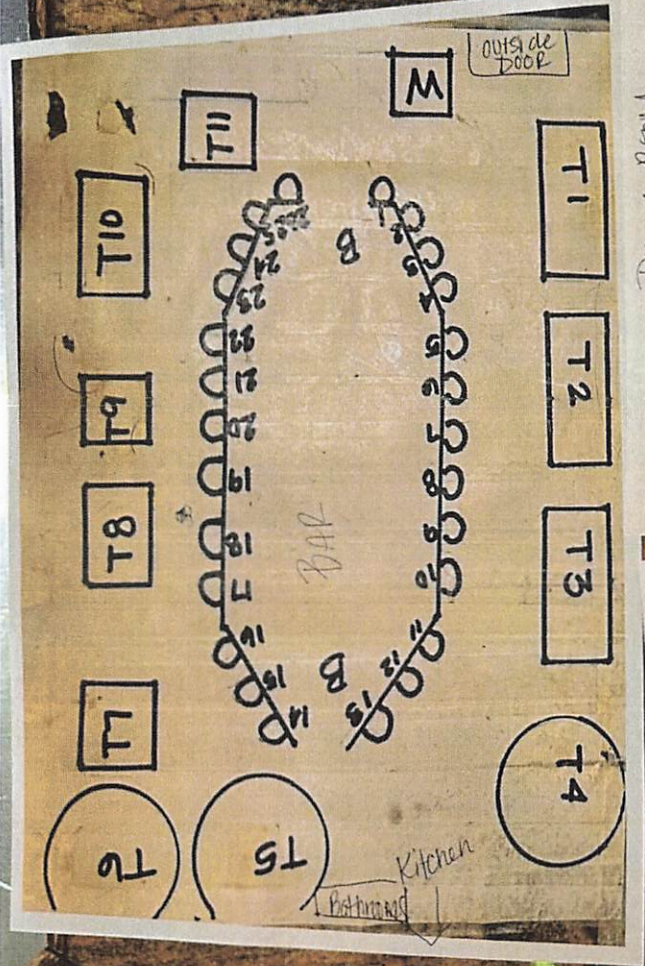
Signature

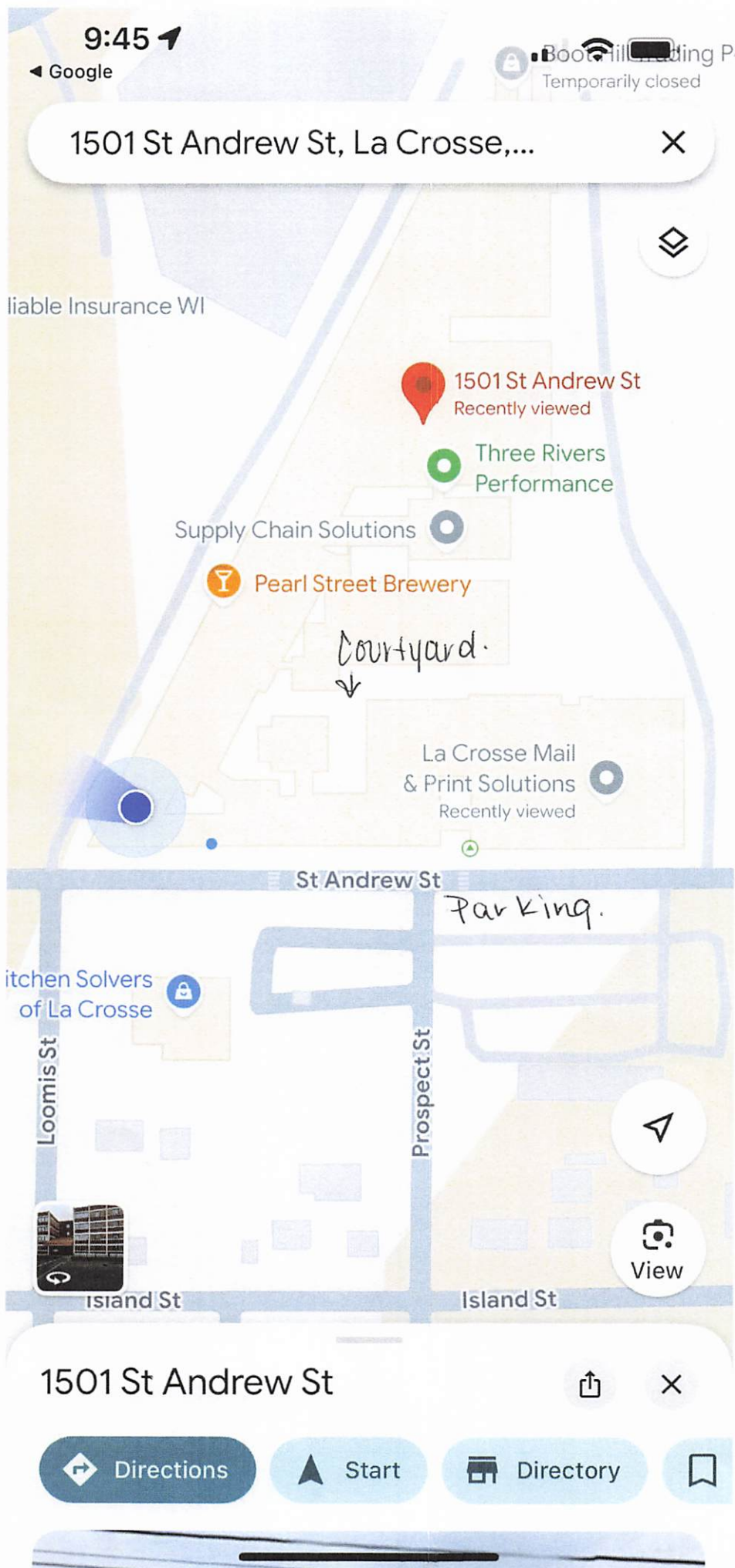
5/28/25

Date

FOR OFFICE USE – City Clerk's Office checklist for complete applications

- ☒ Completed applications and fee
- ☐ Surrender of previous license, if applicable
- ☐ Lease, purchase agreement or other proof of control of premise
- ☒ Contact Information Sheet
- ☐ Articles of Incorporation
- ☐ WI Seller's Permit Certificate
- ☐ FEIN
- ☐ Floor Plan
- ☐ Site Plan
- ☐ Proof of course completion or valid operator license or on other license within last two years.
- ☐ Confirm proximity to school, church or hospital
- ☐ Confirm proximity to land zoned residential or multiple dwelling





City Clerk
400 La Crosse St.
La Crosse WI 54601

This is to notify that I have signed over the lease of the building of Boot Hill Pub to said person

Meghan Evenstad

Meghan Evenstad 5/29/25

Daniel Gerleman

Daniel Gerleman 5-29-25

Effective 6/2025

1501 St Andrew Street suit 101
608 782 3826

Form
AB-200

Alcohol Beverage License Application

For Municipal Use Only	
Municipality	
License Period	

License(s) Requested: (up to two boxes may be checked)

- ☐ Class "A" Beer \$ _____ ☒ Class "B" Beer \$ _____
- ☐ "Class A" Liquor \$ _____ ☒ "Class B" Liquor \$ _____
- ☐ "Class A" Liquor (cider only) \$ _____ ☐ Reserve "Class B" Liquor \$ _____
- ☐ "Class C" Liquor (wine only) \$ _____

Fees	
License Fees	\$ 600.00
Background Check Fee	\$
Publication Fee	\$ 20.00
Total Fees	\$ 620.00

Part A: Premises/Business Information

1. Legal Business Name (individual name if sole proprietorship)

MEGRE LLC

2. Business Trade Name or DBA

BOOT HILL PUB

3. FEIN

33-5056506

4. Wisconsin Seller's Permit Number

5. Entity Type (check one)

☐ Sole Proprietor ☐ Partnership ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization

6. State of Organization

WI

7. Date of Organization

5/8/2025

8. Wisconsin DFI Registration Number

9. Premises Address

1561 ST ANDREW ST STE #101

10. City

LACROSSE

11. State

WI

12. Zip Code

54603

13. County

Lacrosse

14. Governing Municipality: ☒ City ☐ Town ☐ Village

of: Lacrosse

15. Aldermanic District

16. Premises Phone

608 782 3826

17. Premises Email

BOOTHILLMEG@YAHOO.COM

18. Website

BOOTHILLPUB.COM

19. Premises Description - Describe the building or buildings where alcohol beverages are produced, sold, stored, or consumed, and related records are kept. Describe all rooms within the building, including living quarters. Authorized alcohol beverage activities and storage of records may occur only on the premises described in this application. Attach a map or diagram and additional sheets if necessary.

First Floor of building consisting of bar and adjacent dining room, courtyard and banquet hall
Storage Description 36 x 21 Square ft Area Adjacent to bar & behind bar
Records: office in bar area

20. Mailing Address (if different from premises address)

21. City

LACROSSE WI

22. State

WI

23. Zip Code

54603

Part B: Questions

1. Has the business (sole proprietorship, partnership, limited liability company, or corporation) been convicted of violating federal or state laws or local ordinances? Exclude traffic offenses unless related to alcohol beverages. ☐ Yes ☒ No

If yes, list the details of violation below. Attach additional sheets if necessary.

Law/Ordinance Violated	Location	Trial Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	

2. Are charges for any offenses pending against the business? Exclude traffic offenses unless related to alcohol beverages. ☐ Yes ☒ No
- If yes, describe the nature and status of pending charges using the space below. Attach additional sheets as needed.

3. Is the applicant business or any of its officers, directors, members, agent, employees, owners, or other related individuals or entities a restricted investor with any interest in an alcohol beverage producer or distributor? ☐ Yes ☒ No
- If yes, provide the name of the restricted investor and describe the nature of the interest.

4. Is the applicant business owned by another business entity? ☐ Yes ☒ No
- If yes, provide the name(s) and FEIN(s) of the business entity owners below. Attach additional sheets as needed.

4a. Name of Business Entity

4b. Business Entity FEIN

5. Have the partners, agent, or sole proprietor satisfied the responsible beverage server training requirement for this license period? Submit proof of completion. *has bartender license* ☒ Yes ☐ No
6. Is the applicant business indebted to any wholesaler beyond 15 days for beer or 30 days for liquor/wine? ☐ Yes ☒ No
7. Does the applicant business owe past due municipal property taxes, assessments, or other fees? ☐ Yes ☒ No

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following positions in the applicant business or businesses listed in Part B, Question 4: sole proprietor, all officers, directors, and agent of a corporation or nonprofit organization, all partners of a partnership, and all members, managers, and agent of a limited liability company. Attach additional sheets if necessary.

Include Form AB-100 for each person listed below. Corporations and LLCs must appoint an agent by including Form AB-101.

Last Name	First Name	Title	Phone
Evenstad	Meghan	Owner	608 780 7499

Part D: Attestation

One of the following must sign and attest to this application:

- sole proprietor • one general partner of a partnership • one corporate officer • one member of an LLC

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant business and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate this business according to the law, including but not limited to, purchasing alcohol beverages from state authorized wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Evenstad		First Name Meghan		M.I. P
Title Owner		Email Boothillmeg@yanco.com	Phone 608 780 7499	
Signature Meghan Evenstad			Date	

Part E: For Clerk Use Only

Date Application Was Filed With Clerk	License Number	Date License Granted	Date License Issued
Signature of Clerk/Deputy Clerk		Date Provisional License Issued (if applicable)	

SURRENDER OF LICENSE

Part I

Legal/Real Name of Current Licensee: DC6 LLC
Premises Address: 1501 ST ANDREW ST SUITE B103
Trade Name: BOOT HILL PUB

This is to advise that the undersigned is surrendering the following license(s)

Combination "Class B" Beer & Liquor

Class "B" Beer

Class "A" Beer and/or "Class A" Liquor (circle which apply)

Wholesale Beer

"Class C" Wine

to: MEGHAN PALMER EVENSTAD
(Insert Legal/Real Name of Proposed Licensee and Trade Name)

and understand that said license(s) will be cancelled upon the Common Council's granting of a license to the applicant named herein.

New Applicant

MEGHAN PALMER EVENSTAD
President, Member, Partner, Individual

Current Licensee

Daniel J Gerleman
President, Member, Partner, Individual

Secretary, Member, Partner

Secretary, Member, Partner

State of Wisconsin)
) ss.
County of La Crosse)

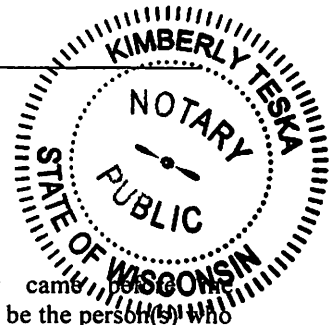
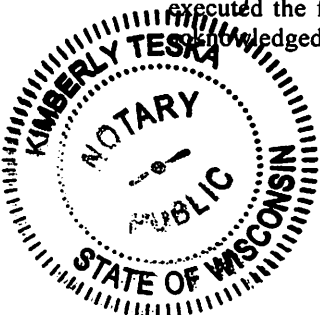
On the 28th day of MAY, 2025, personally came before me
Daniel J. Gerleman, known to me to be the person(s) who
executed the foregoing Surrender of License, and known to me to be the Current Licensee and
acknowledged that s/he executed the foregoing document.

Krenka
Notary Public
Lacrosse County, Wisconsin
My Commission expires: 31/12/2029

State of Wisconsin)
) ss.
County of La Crosse)

On the 28th day of MAY, 2025, personally came before me
Meghan Palmer Evenstad, known to me to be the person(s) who
executed the foregoing Surrender of License, and known to me to be the Proposed New Applicant and
acknowledged that s/he executed the foregoing document.

Krenka
Notary Public
Lacrosse County, Wisconsin
My Commission expires: 31/12/2029



Alcohol Beverage
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

MEGPE LLC

2. Business Trade Name or DBA

BOOT HILL PUB

3. Entity Type (check one)



Sole Proprietor



Partnership



Limited Liability Company



Corporation



Nonprofit Organization

Part B: Individual Information

1. Last Name

EVENSTAD

2. First Name

MEGHAN

3. M.I.

P

4. Relationship to Business (Title)

Member

5. Email

BOOTHILLMEG@YAHOO.COM

6. Phone

608-780-7499

7. Home Address

1501 ST ANDREW ST Ste 101 Apt 406

8. City

LACROSSE

9. State

WI

10. Zip Code

54603

11. Date of Birth

10/01/1985

12. Drivers License/State ID Number

E152-5558-5861-07

13. Drivers License/State ID State of Issuance

WI

Part C: Address History

1. Do you currently live in Wisconsin? ☒ Yes ☐ No

If yes, provide the month and year when you permanently moved to Wisconsin

(MM/YYYY)

10/1985

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1

1230 BADGER ST APT 103

City

LACROSSE

State

WI

Zip Code

54601

Previous Address 2

City

State

Zip Code

Previous Address 3

City

State

Zip Code

Previous Address 4

City

State

Zip Code

Previous Address 5

City

State

Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State

County

State

County

State

County

State

County

State

County

State

County

State

County

State

County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☒ Yes ☐ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated DUI	Location LACROSSE WI	Conviction Date 2011
Penalty Imposed		Was sentence completed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature **Meghan Evenstaad**

Date **5/24/2025**

Alcohol Beverage
Appointment of Agent

Date

Agent Type (check one)

- ☒
- Original (no fee)
- ☐
- Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

MEGDE LLC

2. Business Trade Name or DBA

BOOT HILL PUB

3. Entity Type (check one)

- ☒
- Limited Liability Company
- ☐
- Corporation
- ☐
- Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☒
- Municipal Retail License
- ☐
- State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

NA

Part B: Agent Information

1. Last Name

Evenstad.

2. First Name

Meghan

3. M.I.

P

4. Email

Boothillmeg@yahoo.com

5. Phone

608 780 7499

6. Home Address

1501 St. Andrew St #406

7. City

LaCrosse

8. State

WI

9. Zip Code

54603

10. Age

39

11. Drivers License/State ID Number

E152-5558-5861-07

12. Drivers License/State ID State of Issuance

WI

Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ☒ Yes ☐ No
Submit proof of completion. has bartender license
2. Have you completed Form AB-100, Alcohol Beverage Individual Questionnaire? ☒ Yes ☐ No
Submit a completed Form AB-100 with this form.
3. Have you been a Wisconsin resident for at least 90 continuous days? ☒ Yes ☐ No
See instructions for exceptions.

Continued →

Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Evenstad</i>		First Name <i>Meghan</i>	M.I. <i>P</i>
Title <i>owner</i>	Email <i>Boothill meg@yahoo.com</i>	Phone <i>608-780-7499</i>	
Signature <i>Meghan Evenstad</i>		Date <i>5/28/25</i>	

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Evenstad</i>		First Name <i>Meghan</i>	M.I. <i>P</i>
Signature <i>Meghan Evenstad</i>		Date <i>5/28/25</i>	



City of La Crosse, Wisconsin

APPLICATION FOR INDOOR CABARET LICENSE

Check One: ☒ New ☐ Renewal For the license period July 1 2025 to June 30 2026 Fee: \$ _____

BUSINESS INFORMATION*			
Legal/Real Name: <u>MEGPE LLC</u>			
Address of Above: Street <u>1501 ST ANDREW ST Ste 101</u>	City <u>LACROSSE</u>	State <u>WI</u>	Zip Code <u>54603</u>
PREMISES INFORMATION			
Trade Name of Business: <u>BOOT HILL PUB</u>			
Address of premises to be Licensed: <u>1501 ST ANDREW ST STE B103 101</u>		Business Phone Number: <u>(608) 782 3826</u>	
Premises are Owned By: <u>THE FENIGOR GROUP LLC</u>			
Address of Owner: Street <u>1501 ST ANDREW ST</u>	City <u>LACROSSE</u>	State <u>WI</u>	Zip Code <u>54603</u>
CABARET INFORMATION			
Detailed description of cabaret area to be licensed: <u>ENTIRE FIRST FLOOR OF BAR AREA, DINING ROOM, AND BANQUET HALL</u>			
Nature of Entertainment: <u>LIVE MUSIC (BANDS)</u>			
Other Business Conducted upon the premises: <u>tavern and restaurant and banquet hall</u>			
MANAGER INFORMATION*			
Cabaret Manager Name: First <u>MEGHAN</u>	Middle <u>PALMER</u>	Last <u>EVENSTAD</u>	
Cabaret Manager Home Address: Street <u>1501 ST ANDREW ST Apt 406</u>	City <u>LACROSSE</u>	State <u>WI</u>	Zip Code <u>54603</u>
Home Phone Number of Cabaret Manager: <u>608 780 7499</u>		Daytime Phone Number of Cabaret Manager: <u>608 780 7499</u>	
Was the above person listed as manager on last year's application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			

*Personal Data Sheet must be completed for each Officer/Member of the Business and the Manager.

The above hereby makes application for a license to operate an Indoor Cabaret at the above address within the City of La Crosse pursuant to provisions of Sec. 10-100 of the Code of Ordinances for the City of La Crosse.

Meghan Evenstad
Signature of Applicant

5/27/25
Date

OFFICE USE ONLY			
For original application: Are there lands zoned conservancy, residential or multiple dwelling within 100 feet of premises? <input type="checkbox"/> Yes (if yes, attach a list of those lands) <input type="checkbox"/> No			
Signature:	Date:	Granted:	License #:



City of La Crosse, Wisconsin

APPLICATION FOR OUTDOOR CABARET LICENSE

Check One: ☒ New ☐ Renewal For the license period July 1 2025 to June 30 2026 Fee: \$ _____

BUSINESS INFORMATION*			
Legal/Real Name: <u>MEGPE LLC</u>			
Address of Above: Street <u>1501 ST ANDREW ST STE B103 101</u>		City <u>LACROSSE</u>	State <u>WI</u>
		Zip Code <u>54603</u>	
PREMISES INFORMATION			
Trade Name of Business: <u>BOOT HILL PUB</u>			
Address of premises to be Licensed: <u>1501 ST ANDREW ST STE B103 101</u>		Business Phone Number: <u>(608) 782-3826</u>	
Premises are Owned By: <u>THE FENIGOR GROUP LLC</u>			
Address of Owner: Street <u>1501 ST ANDREW ST</u>		City <u>LACROSSE</u>	State <u>WI</u>
		Zip Code <u>54603</u>	
CABARET INFORMATION			
Detailed description of cabaret area to be licensed: <u>COURTYARD</u>			
Nature of Entertainment: <u>LIVE MUSIC</u>			
Other Business Conducted upon the premises: <u>tavern restaurant banquet hall</u>			
MANAGER INFORMATION*			
Cabaret Manager Name: First <u>MEGHAN</u>		Middle <u>DALMER</u>	Last <u>EVENSTAD</u>
Cabaret Manager Home Address: Street <u>1501 St Andrew St Apt 406</u>		City <u>Lacrosse</u>	State <u>WI</u>
		Zip Code <u>54603</u>	
Home Phone Number of Cabaret Manager: <u>608 780-7499</u>		Daytime Phone Number of Cabaret Manager: <u>608 780-7499</u>	
Was the above person listed as manager on last year's application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			

*Personal Data Sheet must be completed for each Officer/Member of the Business and the Manager.

The above hereby makes application for a license to operate an Outdoor Cabaret at the above address within the City of La Crosse pursuant to provisions of Chapter 10, Article IV of the Code of Ordinances for the City of La Crosse.

Meghan Evenstad
Signature of Applicant

5/27/25
Date

OFFICE USE ONLY			
For original application: Attach a list of all property owners within 200 feet of the proposed licensed premises.			
Signature:	Date:	Granted:	License #:



Notice of Application for Indoor & Outdoor Cabaret License in the City of La

This is to notify you that the following business has applied for an **Indoor Cabaret and an Outdoor Cabaret** license under Chapter 10, Article IV of the Code of Ordinances of the City of La Crosse to allow live entertainment in a designated indoor area, as described below.

Pursuant to sec. 10-140, property owners within 100 feet of the proposed premises for an Indoor Cabaret License shall receive notice of an original application and property owners within 200 feet of the proposed premises for an Outdoor Cabaret shall receive notice of an original application.

**MEGPE LLC dba Boot Hill Pub
at 1501 Saint Andrew St #101, La Crosse, WI 54601**

Indoor Cabaret description: Entire first floor of bar area, dining room, and banquet hall.

Outdoor Cabaret description: Courtyard.

The applications will be considered at the following meetings which are held in the Council Chambers of La Crosse City Hall, 400 La Crosse Street:

- **Judiciary and Administration Committee – Tuesday, June 3, 2025 at 6:00 p.m.**
- **Common Council – Thursday, June 12, 2025 at 6:00 p.m.**

The meeting can be viewed (no participation) by visiting the Legislative Information Center Meetings calendar (<https://cityoflacrosse.legistar.com/Calendar.aspx>) - find the scheduled meeting and click on the "In Progress" video link to the far right in the meeting list.

Written comments may be submitted to the City Clerk's Office by emailing cityclerk@cityoflacrosse.org, by delivery or mail to City Clerk, 400 La Crosse Street, La Crosse WI 54601 or by deposit in the green drop box on the north side of City Hall.

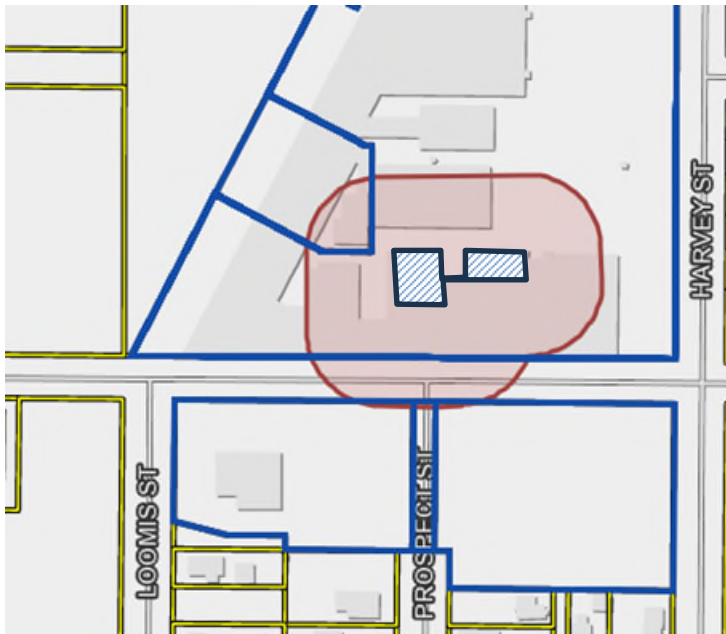
This notice is given pursuant to the order of the Common Council of the City of La Crosse.

Dated this 29th day of May, 2025.

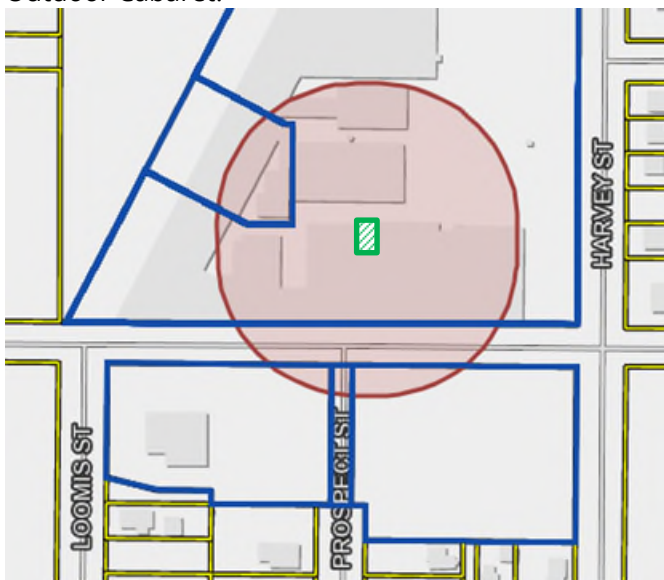
Nikki M. Elsen, WCMC
City Clerk

MEGPE LLC DBA BOOT HILL PUB
1501 ST ANDREW ST STE 101
LA CROSSE WI 54603

Indoor Cabaret:



Outdoor Cabaret:



Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-10213-20	THE FENIGOR GROUP LLC	1514 ST ANDREW ST	1501 ST ANDREW ST STE C101	LA CROSSE WI 54603
17-10213-25	CITY OF LACROSSE	PROSPECT ST	400 LA CROSSE ST	LA CROSSE WI 54603
17-10213-30	KS LACROSSE REAL ESTATE LLC	528 LOOMIS ST	528 LOOMIS ST	LA CROSSE WI 54603
	BUILDING G LLC			
17-10290-23	C/O PEARL STREET BREWERY	1401 ST ANDREW ST	1401 ST ANDREW ST	LA CROSSE WI 54603
		1407 ST ANDREW ST (Apts & Suites)		
17-10290-24	THE FENIGOR GROUP LLC	1501 ST ANDREW ST STE 100-106, 200-212	1501 ST ANDREW ST STE C101	LA CROSSE WI 54603
APPLICANT	MEGPE LLC DBA BOOT HILL PUB		1501 ST ANDREW ST STE 101	LA CROSSE WI 54603

Property owners within 100/200 feet of the Indoor and Outdoor Cabarets.



City of La Crosse, Wisconsin

ORIGINAL ALCOHOL LICENSE APPLICANTS INFORMATION SUBMITTAL

(Ch. 4, secs. 4-72 & 4-142)

All new applicants for an alcohol license pursuant to Chapter 4 of the La Crosse Municipal Code shall submit the following information with the original alcohol applications. Any false statement contained in such application shall automatically nullify any license issued pursuant thereto.

Class A: ☐ Beer, ☐ Liquor

Class B: ☒ Beer, ☒ Liquor

Class C: ☐ Wine

APPLICANT

Legal/Real Name of Business:

Apizza La Crosse LLC

Trade Name:

Unoventi Pizzeria

Address:

Street

City

State

Zip Code

120

King St.

La Crosse

WI

54601

Telephone Number:

608.881.6609

Website:

unoventi.com

ACTIVE USE OF LICENSE

☒ I understand that if a license is granted, said license must be activated within 90 days of being granted pursuant to Municipal Code secs. 4-43 and 4-108. This means open for business with stock and equipment.

Anticipated Date of Opening:

7/1/25

☒ I understand that if a license is granted, said license shall be actively utilized pursuant to Municipal Code sec. 4-12. Actively utilized shall mean open for business with regular and consistent operating hours. If a license is not actively used throughout any 90-day period, the license shall be subject to revocation or suspension pursuant to sec. 4-82.

☒ I understand that if there is any change to the license or licensee information, including but not limited to change in officers/members/directors or agent or their address/phone number, change in hours of operation, etc., the City Clerk will be notified within 15 days.

BUSINESS PLAN

Type of Establishment:

- ☐ Tavern ☐ Nightclub ☒ Restaurant ☐ Liquor Store ☐ Grocery Store
☐ Convenience Store with gas pumps ☐ Convenience Store without gas pumps
☐ Other _____

Hours of Operation:

Wednesday thru Monday 11:00 a.m. - 12:00 a.m.

Anticipated Number of Employees:

20

Other Business to Be Conducted on Premise:

Estimated gross receipts for food and alcohol beverage sales by percentage.

(Note: Non-alcoholic drinks are classified as "Food.")

25 % Alcohol 75 % Food _____ % Other

If applicable, describe "Other":

Estimated capacity (Class B and Class C licenses only):Indoor 80 Outdoor, if applicable 25**Will there be any outdoor sales/service or consumption of alcohol? If yes, explain.**

If yes, a beer garden license or outdoor dining permit may be required.

Yes. There is a patio that is gated and used seasonally.**Will there be live entertainment (music or dancing) on premise? If yes, explain.**

If yes, a cabaret license will be required.

No.**Do you have off-street parking? ☒ Yes ☐ No**If yes, how many parking spaces? 36

If no, how will parking be accommodated.

Provide a sketch of the floor plan showing overall dimensions, sales, service and consumption and storage areas, seating arrangements, location of coolers, and location where records are kept (invoices for purchase of alcohol).**Provide a site plan showing building location, any outside areas where alcohol beverages may be sold or consumed, off-street parking, ingress and egress, and existing or proposed screening.**

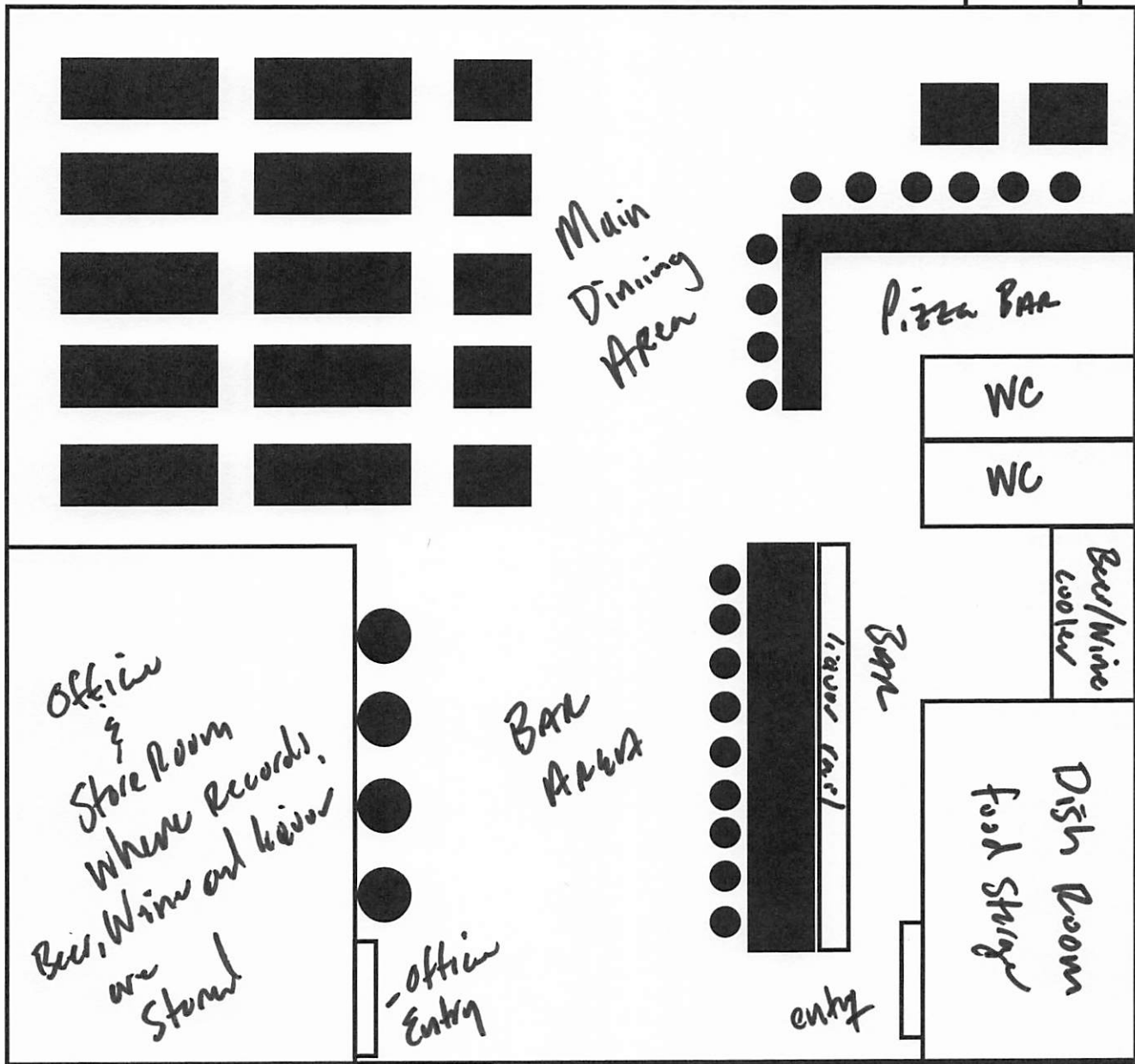
In addition to supplying the above information which is true and correct to the best of my knowledge, I have reviewed the Alcohol Beverage Submittal Requirements and Information page and will comply with necessary requirements.

Signature

Date

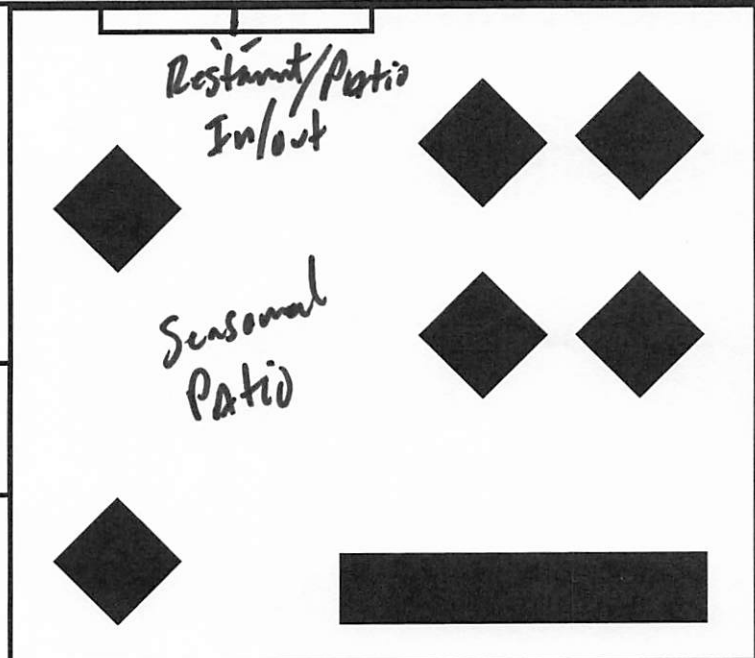
5/5/25**FOR OFFICE USE – City Clerk's Office checklist for complete applications**

- ☐ Completed applications and fee
- ☐ Surrender of previous license, if applicable
- ☐ Lease, purchase agreement or other proof of control of premise
- ☐ Contact Information Sheet
- ☐ Articles of Incorporation
- ☐ WI Seller's Permit Certificate
- ☐ FEIN
- ☐ Floor Plan
- ☐ Site Plan
- ☐ Proof of course completion or valid operator license or on other license within last two years.
- ☐ Confirm proximity to school, church or hospital
- ☐ Confirm proximity to land zoned residential or multiple dwelling



* Patio is seasonal: 24' x 24'. Includes security gate and fence made of aluminum and steel. Fence is 40" tall on West/gate wall and 8" tall on South and East Walls. Includes a concrete floor and curb.

gated
Patio
In/out



Form
AB-200

Alcohol Beverage License Application

For Municipal Use Only
Municipality
License Period

License(s) Requested: (up to two boxes may be checked)

- ☐ Class "A" Beer \$ _____ ☒ Class "B" Beer \$ _____
- ☐ "Class A" Liquor \$ _____ ☒ "Class B" Liquor \$ _____
- ☐ "Class A" Liquor (cider only) \$ _____ ☐ Reserve "Class B" Liquor \$ _____
- ☐ "Class C" Liquor (wine only) \$ _____

Fees	
License Fees	\$ 600
Background Check Fee	\$
Publication Fee	\$ 20
Total Fees	\$ 620

Part A: Premises/Business Information

1. Legal Business Name (individual name if sole proprietorship)

Apizza La Crosse LLC

2. Business Trade Name or DBA

UNO Venti Pizzeria

3. FEIN

33-5061642

4. Wisconsin Seller's Permit Number

coming

5. Entity Type (check one)

☐ Sole Proprietor ☐ Partnership ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization

6. State of Organization

Wisconsin

7. Date of Organization

5/9/25

8. Wisconsin DFI Registration Number

A126634

9. Premises Address

120 King St.

10. City

La Crosse

11. State

W.

12. Zip Code

54601

13. County

La Crosse

14. Governing Municipality: ☒ City ☐ Town ☐ Village
of: *La Crosse*

15. Aldermanic District

6

16. Premises Phone

608.881.6609

17. Premises Email

mitche@sagafoodandwin.com

18. Website

www.unoventi.com

19. Premises Description - Describe the building or buildings where alcohol beverages are produced, sold, stored, or consumed, and related records are kept. Describe all rooms within the building, including living quarters. Authorized alcohol beverage activities and storage of records may occur only on the premises described in this application. Attach a map or diagram and additional sheets if necessary.

Single level restaurant with large dining room and small bar, plus a seasonal patio that is gated. Beer, Wine and liquor stand at bar and office.

20. Mailing Address (if different from premises address)

21. City

22. State

23. Zip Code

Part B: Questions

1. Has the business (sole proprietorship, partnership, limited liability company, or corporation) been convicted of violating federal or state laws or local ordinances? Exclude traffic offenses unless related to alcohol beverages. ☐ Yes ☒ No
If yes, list the details of violation below. Attach additional sheets if necessary.

Law/Ordinance Violated	Location	Trial Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed	Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No	

2. Are charges for any offenses pending against the business? Exclude traffic offenses unless related to alcohol . . . ☐ Yes ☒ No
 beverages.
 If yes, describe the nature and status of pending charges using the space below. Attach additional sheets as needed.

3. Is the applicant business or any of its officers, directors, members, agent, employees, owners, or other related individuals or entities a restricted investor with any interest in an alcohol beverage producer or distributor? . . . ☐ Yes ☒ No
 If yes, provide the name of the restricted investor and describe the nature of the interest.

4. Is the applicant business owned by another business entity? . . . ☐ Yes ☒ No
 If yes, provide the name(s) and FEIN(s) of the business entity owners below. Attach additional sheets as needed.

4a. Name of Business Entity	4b. Business Entity FEIN
-----------------------------	--------------------------

5. Have the partners, agent, or sole proprietor satisfied the responsible beverage server training requirement for this license period? Submit proof of completion. ☒ Yes ☐ No

6. Is the applicant business indebted to any wholesaler beyond 15 days for beer or 30 days for liquor/wine? ☐ Yes ☒ No

7. Does the applicant business owe past due municipal property taxes, assessments, or other fees? ☐ Yes ☒ No

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following positions in the applicant business or businesses listed in Part B, Question 4: sole proprietor, all officers, directors, and agent of a corporation or nonprofit organization, all partners of a partnership, and all members, managers, and agent of a limited liability company. Attach additional sheets if necessary.

Include Form AB-100 for each person listed below. Corporations and LLCs must appoint an agent by including Form AB-101.


Last Name	First Name	Title	Phone
Weber	Mitchel	President/owner	608.769.7346

Part D: Attestation

One of the following must sign and attest to this application:

- sole proprietor
- one general partner of a partnership
- one corporate officer
- one member of an LLC

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant business and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate this business according to the law, including but not limited to, purchasing alcohol beverages from state authorized wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Weber</i>	First Name <i>Mitchel</i>	M.I. <i>A.</i>
Title <i>President/owner</i>	Email <i>mitche@sagafoodandwine.com</i>	Phone <i>608.769.7346</i>
Signature 		Date <i>5/5/25</i>

Part E: For Clerk Use Only

Date Application Was Filed With Clerk	License Number	Date License Granted	Date License Issued
Signature of Clerk/Deputy Clerk			Date Provisional License Issued (if applicable)

License Number	License Type	Business Name	DBA	Business Address
ALC006982-04-2024	Combination "Class B" Beer & Liquor	UNO VENTI LLC	UNO VENTI PIZZERIA	120 KING ST

Sales and Service Description: *Entire first floor of brick building and outdoor beer garden.*

Storage Description: *Behind bar and in office.*

records in office

Business License Contacts

Name	Address	Business Phone	Mobile Phone	Home Phone	Contact Type(s)
CHRIS MICHAEL RODERIQUE	701 GROVE ST ONALASKA, WI 54650		6087929999		Agent Member

SURRENDER OF LICENSE

Part I

Legal/Real Name of Current Licensee: Uno Vent: LLC
Premises Address: 120 King St. Lacrosse WI 54601
Trade Name: Uno Vent: Pizzeria

This is to advise that the undersigned is surrendering the following license(s)

- ☒ Combination "Class B" Beer & Liquor
Class "B" Beer
Class "A" Beer and/or "Class A" Liquor (circle which apply)
Wholesale Beer
"Class C" Wine

to: APizza Lacrosse LLC
(Insert Legal/Real Name of Proposed Licensee and Trade Name)

and understand that said license(s) will be cancelled upon the Common Council's granting of a license to the applicant named herein.

New Applicant

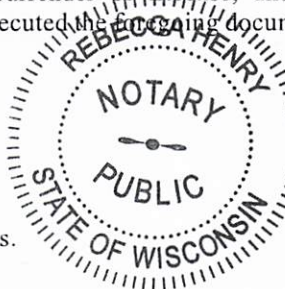
[Signature]
President, Member, Partner, Individual
[Signature]
Secretary, Member, Partner

Current Licensee

[Signature]
President, Member, Partner, Individual
[Signature]
Secretary, Member, Partner

State of Wisconsin)
) ss.
County of La Crosse)

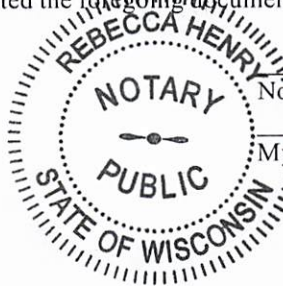
On the 22 day of May, 2025, personally came before me
Chris Rodenique, known to me to be the person(s) who
executed the foregoing Surrender of License, and known to me to be the **Current Licensee** and
acknowledged that s/he executed the foregoing document.



Rebecca Henry
Notary Public
Lacrosse County, Wisconsin
My Commission expires: 8-10-26

State of Wisconsin)
) ss.
County of La Crosse)

On the 22 day of May, 2025, personally came before me
Mitchel Weber, known to me to be the person(s) who
executed the foregoing Surrender of License, and known to me to be the **Proposed New Applicant** and
acknowledged that s/he executed the foregoing document.



Rebecca Henry
Notary Public
Lacrosse County, Wisconsin
My Commission expires: 8-10-26

SURRENDER OF LICENSE
Part II

5-7-25

Date

City Clerk
400 La Crosse St.
La Crosse, WI 54601

This is to notify you that I am the owner of the building located at
120 King St, La Crosse, Wisconsin.

~~I have entered into a lease for the above property effective _____ with~~
~~_____ (Strike sentence if not applicable.)~~

Further, this letter is to document that said owner or tenant has control of the premises,
and may apply for the necessary beer and/or liquor licenses for said location.

Sincerely,



Signature of owner of building

Printed name of owner: Chris Rodriguez

Home address of owner: 710 Brown St Onalaska WI 54601

Daytime phone number of owner: 608-792-9999

Agent Type (check one)

- ☒ Original (no fee) ☐ Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Apizza La Crosse LLC

2. Business Trade Name or DBA

Uno Venti Pizzeria

3. Entity Type (check one)

- ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☒ Municipal Retail License ☐ State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

Part B: Agent Information

1. Last Name

Weber

2. First Name

Mitchel

3. M.I.

A.

4. Email

Mitchel@SagrFoodandWine.com

5. Phone

608.769.7346

6. Home Address

2526 Edgewood Pl.

7. City

La Crosse

8. State

Wi

9. Zip Code

54601

10. Date of Birth

11. Drivers License/State ID Number

12. Drivers License/State ID State of Issuance

Wisconsin


Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ☒ Yes ☐ No
Submit proof of completion.
2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire* (licensee) or
Form AB-300, *Alcohol Beverage Personal Questionnaire* (permittee)? ☒ Yes ☐ No
3. Have you been a Wisconsin resident for at least 90 continuous days? ☒ Yes ☐ No
See instructions for exceptions.

Continued →


Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Weber</i>	First Name <i>Mitchel</i>	M.I. <i>A.</i>
Title <i>President/owner</i>	Email <i>mitche@sugrufoodandwine.com</i>	Phone <i>608.769.7346</i>
Signature 		Date <i>5/5/25</i>

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Weber</i>	First Name <i>Mitchel</i>	M.I. <i>A.</i>
Signature 		Date <i>5/5/25</i>

Congratulations!

You have successfully completed the ServSafe Alcohol® Responsible Alcohol Service Training and Certificate Program. This is your official ServSafe Alcohol Certification Card and provides confirmation that you have studied, and are knowledgeable about, how to serve alcohol responsibly.

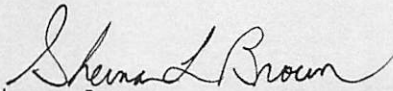
Thank you for participating in the ServSafe Alcohol program. Responsible alcohol service begins with the choices you make, and ServSafe Alcohol training will help you make the right decision when the moment arises.

By completing the ServSafe Alcohol program, you show your dedication to safe and responsible alcohol service. The ServSafe Alcohol program and the National Restaurant Association are dedicated to helping you continue to raise the bar on alcohol safety.

To learn more about our full suite of responsible alcohol service training products, contact your State Restaurant Association, your distributor or visit us at ServSafe.com.

We value your dedication to responsible alcohol service and applaud you for making the commitment to keep your operation, your customers and your community safe.

Sincerely,



Sherman Brown

Senior Vice President, National Restaurant Association Solutions



ID # 27138066
CARD # 27444601

ServSafe Alcohol® CERTIFICATE



MITCHEL WEBER

NAME
5/21/2025

DATE OF EXAMINATION

Card expires two years from the date of examination. Local laws apply.
Complies with WI State Stats. s.125.04(5)(a)5 & s.125.17(6) & s.134.66

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Sherman Brown
Senior Vice President, National Restaurant Association Solutions

This certificate confirms completion of the ServSafe Alcohol® responsible alcohol service program.

In Alaska you must laminate your card for it to be valid.

NOTE: You can access your score and certification information anytime at ServSafe.com with the class number provided on this form.

If you have any questions regarding your certification please contact the National Restaurant Association Service Center at ServiceCenter@restaurant.org or 800.765.2122, ext. 6703.



233 S. Wacker Drive
Suite 3000
Chicago, IL 60604-6183
1-800-SERVSAFE
312-715-1010 in the Chicago area
ServSafe.com

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Alcohol Beverage
Individual QuestionnaireDate
5/5/25

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information				
1. Legal Business Name (individual name if sole proprietor) <i>Apizza La Crosse LLC</i>				
2. Business Trade Name or DBA <i>Uno Venti</i>				
3. Entity Type (check one)				
<input type="checkbox"/> Sole Proprietor	<input type="checkbox"/> Partnership	<input checked="" type="checkbox"/> Limited Liability Company	<input type="checkbox"/> Corporation	<input type="checkbox"/> Nonprofit Organization

Part B: Individual Information				
1. Last Name <i>Weber</i>		2. First Name <i>Mitchel</i>		3. M.I. <i>A.</i>
4. Relationship to Business (Title) <i>President/owner</i>		5. Email <i>mitchel@sagafoodandwine.com</i>		6. Phone <i>609.769.7346</i>
7. Home Address <i>2526 Edgewood Pl.</i>				
8. City <i>La Crosse</i>		9. State <i>WI</i>	10. Zip Code <i>54601</i>	11. Date of Birth [REDACTED]
12. Drivers License/State ID Number [REDACTED]			13. Drivers License/State ID State of Issuance <i>Wisconsin</i>	

Part C: Address History							
1. Do you currently live in Wisconsin? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No							
If yes, provide the month and year when you permanently moved to Wisconsin (MM/YYYY) <i>05/2020</i>							
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.							
Previous Address 1 <i>2526 Edgewood Pl.</i>		City <i>La Crosse</i>	State <i>WI</i>	Zip Code <i>54601</i>			
Previous Address 2		City	State	Zip Code			
Previous Address 3		City	State	Zip Code			
Previous Address 4		City	State	Zip Code			
Previous Address 5		City	State	Zip Code			
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.							
State <i>WI</i>	County <i>La Crosse</i>	State <i>IA</i>	County <i>Story</i>	State <i>OR</i>	County <i>Multnomah</i>	State <i>WI</i>	County <i>Monroe</i>
State	County	State	County	State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 

Date 8/5/25



City of La Crosse, Wisconsin

APPLICATION FOR BEER GARDEN LICENSE

Check One: ☒ New ☐ Renewal For the license period 7/1/25 to 6/30/26 Fee: \$ _____License Class: (Check One) ☐ Class "A" ☒ Class "B" ☐ Class "C" ☐ Class "D"
(ZONING RESTRICTION)

BUSINESS INFORMATION			
Legal/Real Name: <u>Apizza La Crosse LLC</u>			
Address of Above: Street		City	State Zip Code
		<u>La Crosse</u>	<u>WI: 54601</u>
PREMISES INFORMATION			
Trade Name of Business: <u>Uno Venti Pizzeria</u>			
Address of premises to be Licensed: <u>120 King St. La Crosse, WI - 54601</u>			
BEER GARDEN INFORMATION			
Description of proposed beer garden: (MUST BE SPECIFIC: square feet, physical location, material made out of, etc.) <u>Approx 30' x 30' fenced in area on south side of building</u>			
AGENT INFORMATION			
Agent Name: First		Middle	Last
<u>Mitchel</u>		<u>A</u>	<u>Weber</u>
Agent Home Address: Street		City	State Zip Code
<u>2526 Edgewood Pl.</u>		<u>La Crosse</u>	<u>WI: 54601</u>
Home Phone Number:		Daytime Phone Number:	
<u>608.769.7346</u>		<u>608.799.4763</u>	
Was the above person listed as agent on last year's application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			

The above hereby makes application for a license to operate a Beer Garden at the above address within the City of La Crosse pursuant to provisions of Sec. 10-47 of the Code of Ordinances for the City of La Crosse.


Signature of Applicant5/5/25
Date

AN

OFFICE USE ONLY			
For original application: Attach a list of all property owners within 200 feet of the proposed licensed premises.			
Signature:	Date:	Granted:	License #:

UNO Venti

VANTAGE
 ARCHITECTS INC
 750 N. 11th Street
 La Crosse, WI

 PROJECT TITLE:
UNO VENTI PIZZERIA
 REMODEL / ALTERATION
 PROJECT LOCATION:
 122 KING STREET

 PROJECT NO:
19135

 DRAWING DATE:
07-02-19

 DRAWN BY:
SSK

 SET TYPE:
Bid Set

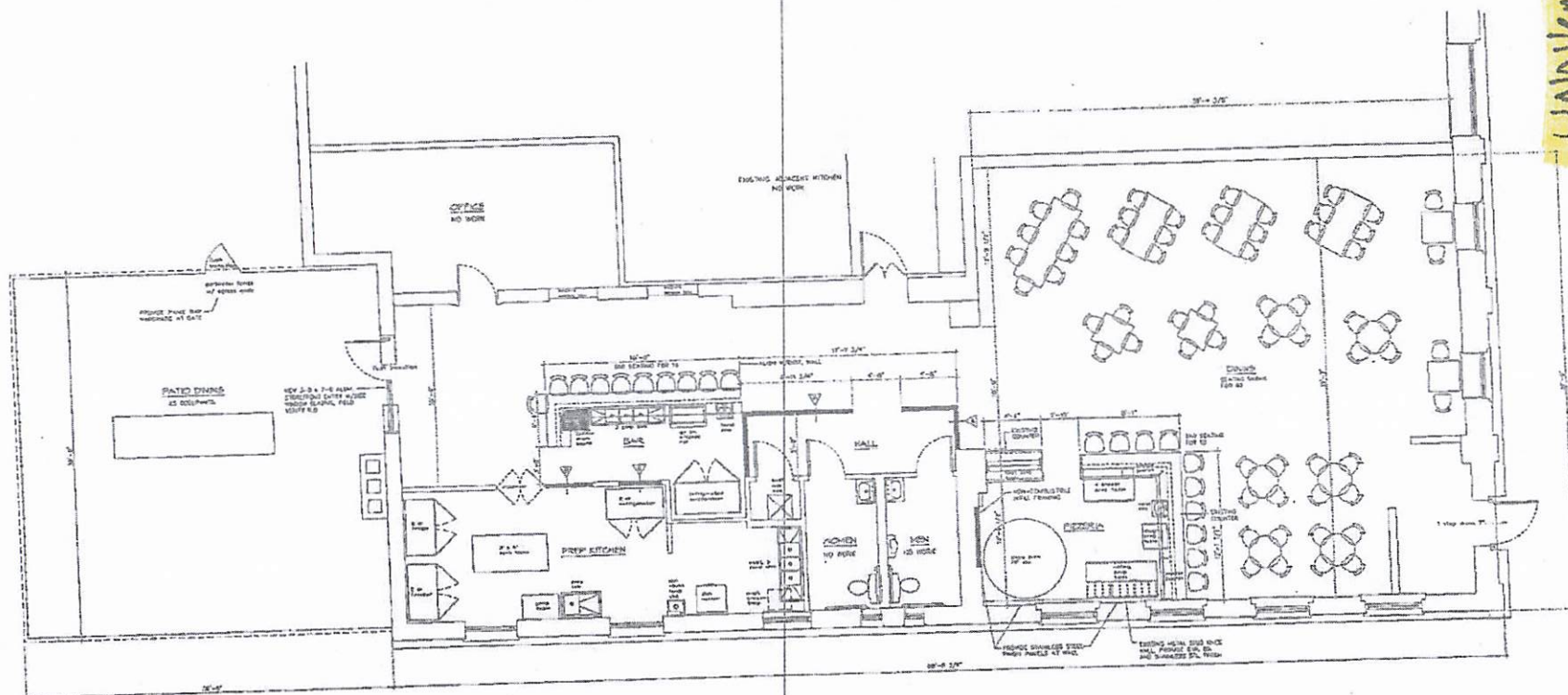
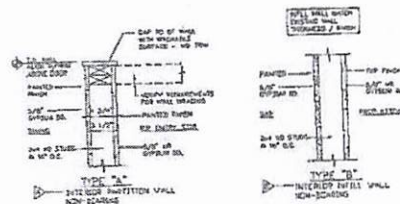
 REVISIONS
 NO. DATE

 SHEET TITLE
 REMODEL /
 ALTERATION
 PLAN

SHEET NO.

A10

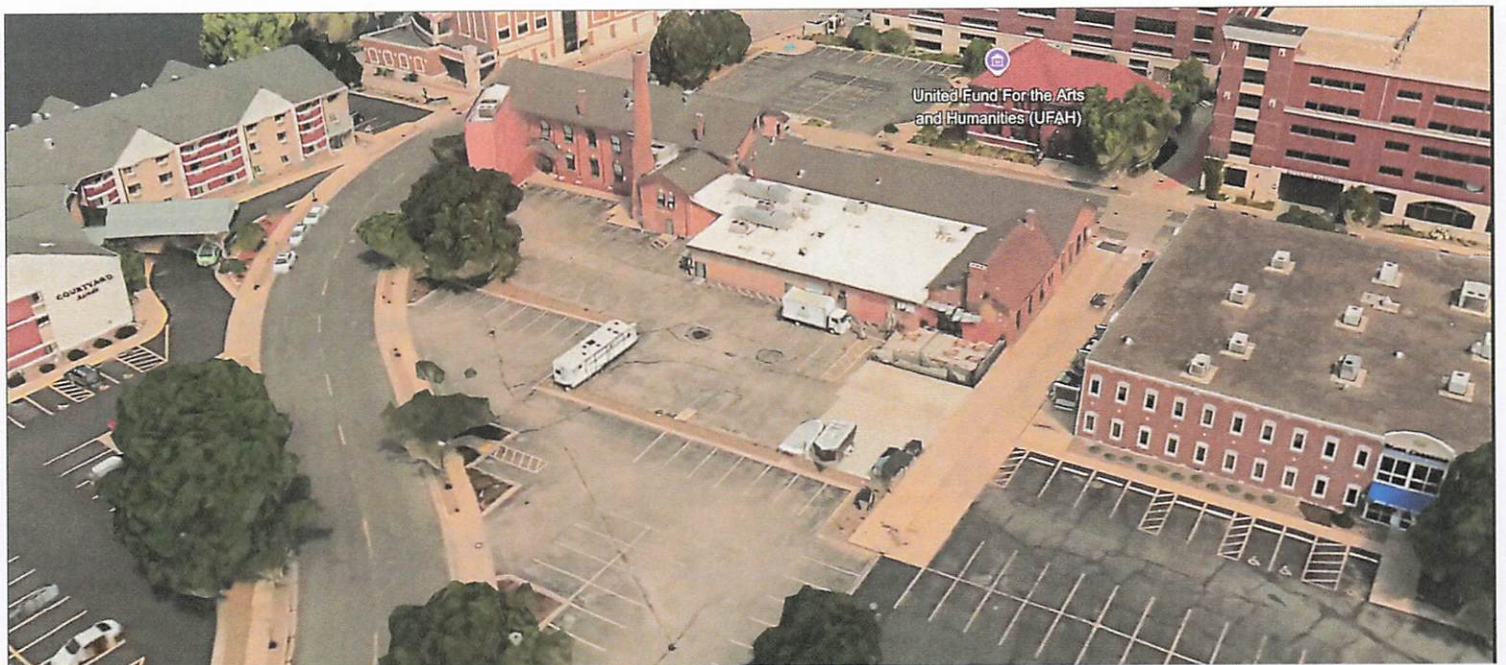
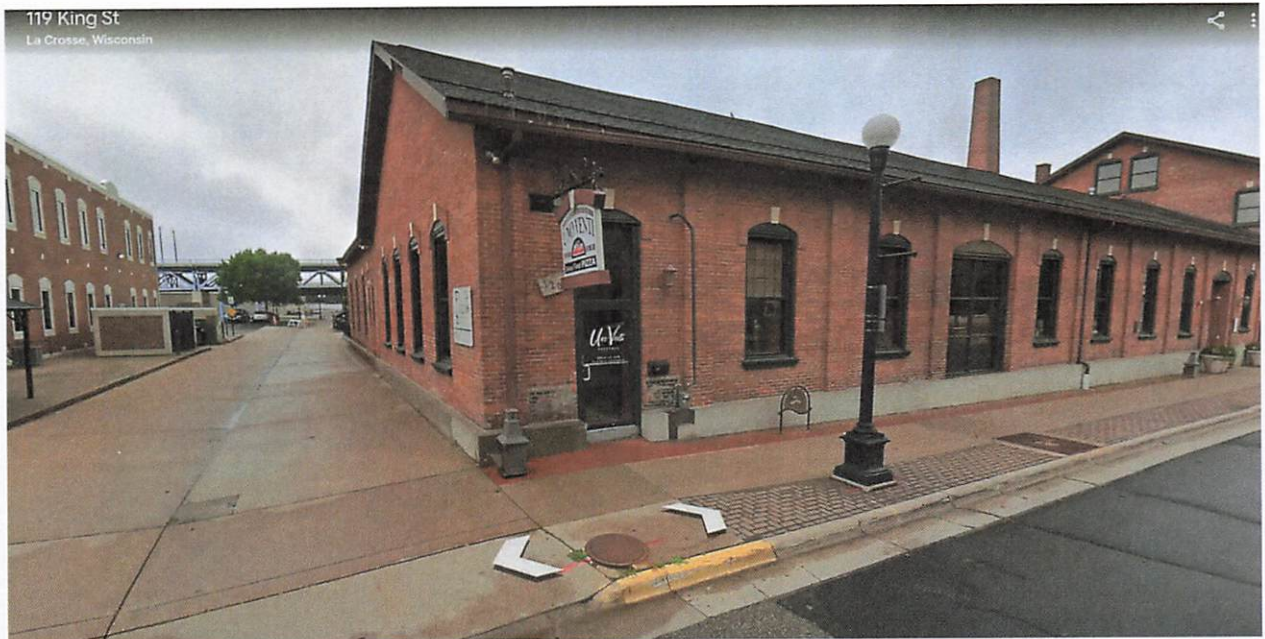
Scale: As Indicated


 1 REMODEL / ALTERATION PLAN
 1/4" = 1'-0"


GENERAL NOTES

1. CHECK ALL STATE, LOCAL, CODES AND ASH A SAFETY REQUIREMENTS
2. ALL NEW FRAMING TO BE 2X6 OR 2X8 LVL JOIST PLATES SET AT 16" O.C. JOIST SPACING TO BE 16" O.C.
3. ALL EXISTING ROOFING AT "X" SET WALLS/ROOFING TO BE 16" O.C. JOIST SPACING
4. REPAIR ALL WALLS AND FLOORS TO EXISTING CONDITION IS REQUIRED FOR FINISH WORK. MANUFACTURER'S SPECIFICATIONS TO BE FOLLOWED.
5. ALL FINAL EXTENSION OF CEMENT/CONCRETE/ROOFING TO BE APPROVED BY OWNER.
6. ALL EXISTING ROOFING/CONCRETE TO REMAIN AS EXISTING. REPAIRS TO BE MADE TO BE APPROVED BY OWNER. ALL EXISTING ROOFING/CONCRETE TO REMAIN AS EXISTING. REPAIRS TO BE MADE TO BE APPROVED BY OWNER.
7. FINISHES TO BE APPROVED BY OWNER. ALL FINISHES TO BE APPROVED BY OWNER. ALL FINISHES TO BE APPROVED BY OWNER.
8. FOR CONTRACTORS ARE RESPONSIBLE FOR ANY EXISTING AND REMOVED AS NOTED FOR THE USE OF THIS SET. ALL CONTRACTORS TO COMPLY WITH ALL LOCAL/STATE/CODES.

Uno Venti 120 King St





APIZZA LA CROSSE LLC
120 KING ST
LA CROSSE WI 54601

NOTICE OF APPLICATION FOR BEER GARDEN LICENSE IN THE CITY OF LA CROSSE

This is to notify you that the following business has applied for a **Class "B" Beer Garden** license under Chapter 10, Article III of the Code of Ordinances of the City of La Crosse to allow consumption of alcoholic beverages in a designated outdoor area, as described below and on the attached drawing.

Pursuant to sec. 10-77, property owners within 200 feet of the proposed premises for a Beer Garden License shall receive notice of an original application.

**Apizza La Crosse LLC dba Uno Venti Pizzeria
at 120 King St, La Crosse WI 54601**

Beer Garden description: Approximate 30 by 30 fenced-in area on south side of building.

This application will be considered at the following meetings which are held in the Council Chambers of La Crosse City Hall, 400 La Crosse Street:

- **Judiciary and Administration Committee – Tuesday, June 3, 2025 at 6:00 p.m.**
- **Common Council – Thursday, June 12, 2025 at 6:00 p.m.**

The meeting can be viewed (no participation) by visiting the Legislative Information Center Meetings calendar (<https://cityoflacrosse.legistar.com/Calendar.aspx>) - find the scheduled meeting and click on the "In Progress" video link to the far right in the meeting list.

Written comments may be submitted to the City Clerk's Office by emailing cityclerk@cityoflacrosse.org, by delivery or mail to City Clerk, 400 La Crosse Street, La Crosse WI 54601 or by deposit in the green drop box on the north side of City Hall.

This notice is given pursuant to the order of the Common Council of the City of La Crosse.

Dated this 29th day of May, 2025

Nikki M. Elsen, WCMC
City Clerk

Beer Garden area shown in orange. Properties within 200 feet of the beer garden are shown outlined in blue.



Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-20025-100	KSJ PROPERTIES LLC	500 2ND ST S	400 BRICKL RD	WEST SALEM WI 54669
17-20025-110	100 HARBORVIEW PARTNERS LLC	511 FRONT ST S	509 2ND ST N STE 201	LA CROSSE WI 54601
17-20025-70	RIVERFRONT INVESTORS LLC	502 FRONT ST S	509 2ND ST N STE 201	LA CROSSE WI 54601
17-20025-90	CTR INVESTMENTS LLC	120 KING ST & 501 FRONT ST	710 GROVE ST	ONALASKA WI 54650
17-20026-60	CITY OF LACROSSE	119 KING ST	400 LA CROSSE ST	LA CROSSE WI 54601
17-20026-80	CITY OF LACROSSE	424 2ND ST S	400 LA CROSSE ST	LA CROSSE WI 54601
APPLICANT	APIZZA LA CROSSE LLC		120 KING ST	LA CROSSE WI 54601

Properties within 200 feet of beer garden at 120 King St.



City of La Crosse, Wisconsin

ORIGINAL ALCOHOL LICENSE APPLICANTS INFORMATION SUBMITTAL

(Ch. 4, secs. 4-72 & 4-142)

All new applicants for an alcohol license pursuant to Chapter 4 of the La Crosse Municipal Code shall submit the following information with the original alcohol applications. Any false statement contained in such application shall automatically nullify any license issued pursuant thereto.

Class A: ☐ Beer, ☐ Liquor

Class B: ☒ Beer, ☒ Liquor

Class C: ☐ Wine

APPLICANT

Legal/Real Name of Business:

SAGRA Food & Wine LLC

Trade Name:

Italico Catering/Picnics/Osteria Emilia

Address:

Street

City

State

Zip Code

501 Front St. S.

La Crosse

WI

54601

Telephone Number:

608.799.4763

Website:

www.sagrafoodandwine.com

ACTIVE USE OF LICENSE

☒ I understand that if a license is granted, said license must be activated within 90 days of being granted pursuant to Municipal Code secs. 4-43 and 4-108. This means open for business with stock and equipment.

Anticipated Date of Opening: 7/1/25

☒ I understand that if a license is granted, said license shall be actively utilized pursuant to Municipal Code sec. 4-12. Actively utilized shall mean open for business with regular and consistent operating hours. If a license is not actively used throughout any 90-day period, the license shall be subject to revocation or suspension pursuant to sec. 4-82.

☒ I understand that if there is any change to the license or licensee information, including but not limited to change in officers/members/directors or agent or their address/phone number, change in hours of operation, etc., the City Clerk will be notified within 15 days.

BUSINESS PLAN

Type of Establishment:

- ☐ Tavern ☐ Nightclub ☒ Restaurant ☐ Liquor Store ☐ Grocery Store
☐ Convenience Store with gas pumps ☐ Convenience Store without gas pumps
☐ Other _____

Hours of Operation:

Wednesday thru Monday 11:00 a.m. - 12:00 a.m.

Anticipated Number of Employees:

45

Other Business to Be Conducted on Premise:

Estimated gross receipts for food and alcohol beverage sales by percentage.

(Note: Non-alcoholic drinks are classified as "Food.")

25 % Alcohol 75 % Food _____ % Other

If applicable, describe "Other":

Estimated capacity (Class B and Class C licenses only):

Indoor 360 Outdoor, if applicable _____

Will there be any outdoor sales/service or consumption of alcohol? If yes, explain.

If yes, a beer garden license or outdoor dining permit may be required.

No.

Will there be live entertainment (music or dancing) on premise? If yes, explain.

If yes, a cabaret license will be required.

No.

Do you have off-street parking? ☒ Yes ☐ No

If yes, how many parking spaces? 36

If no, how will parking be accommodated.

Provide a sketch of the floor plan showing overall dimensions, sales, service and consumption and storage areas, seating arrangements, location of coolers, and location where records are kept (invoices for purchase of alcohol).

Provide a site plan showing building location, any outside areas where alcohol beverages may be sold or consumed, off-street parking, ingress and egress, and existing or proposed screening.

In addition to supplying the above information which is true and correct to the best of my knowledge, I have reviewed the Alcohol Beverage Submittal Requirements and Information page and will comply with necessary requirements.

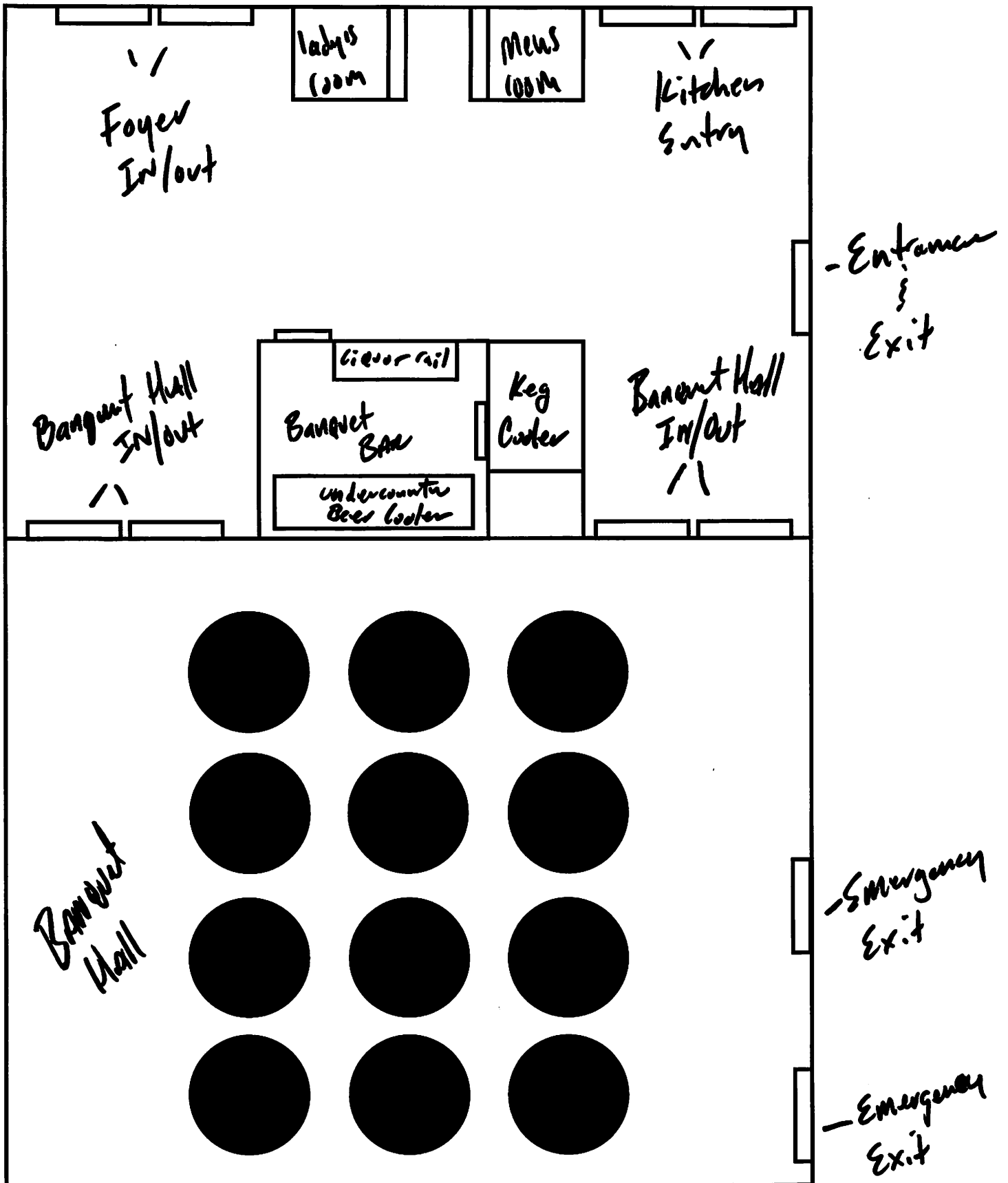
Signature

Date

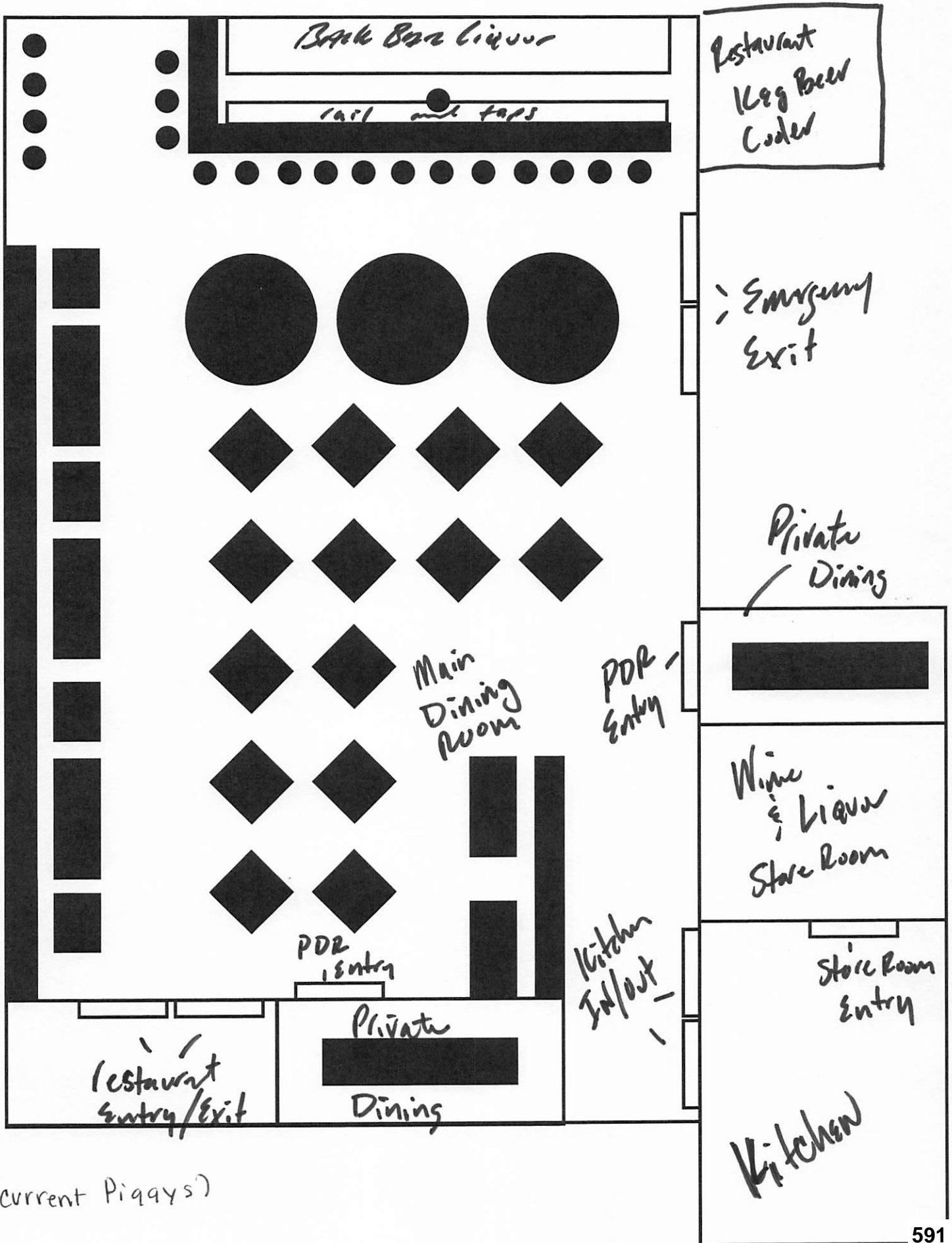
5/5/25

FOR OFFICE USE – City Clerk's Office checklist for complete applications

- ☐ Completed applications and fee
- ☐ Surrender of previous license, if applicable
- ☐ Lease, purchase agreement or other proof of control of premise
- ☐ Contact Information Sheet
- ☐ Articles of Incorporation
- ☐ WI Seller's Permit Certificate
- ☐ FEIN
- ☐ Floor Plan
- ☐ Site Plan
- ☐ Proof of course completion or valid operator license or on other license within last two years.
- ☐ Confirm proximity to school, church or hospital
- ☐ Confirm proximity to land zoned residential or multiple dwelling



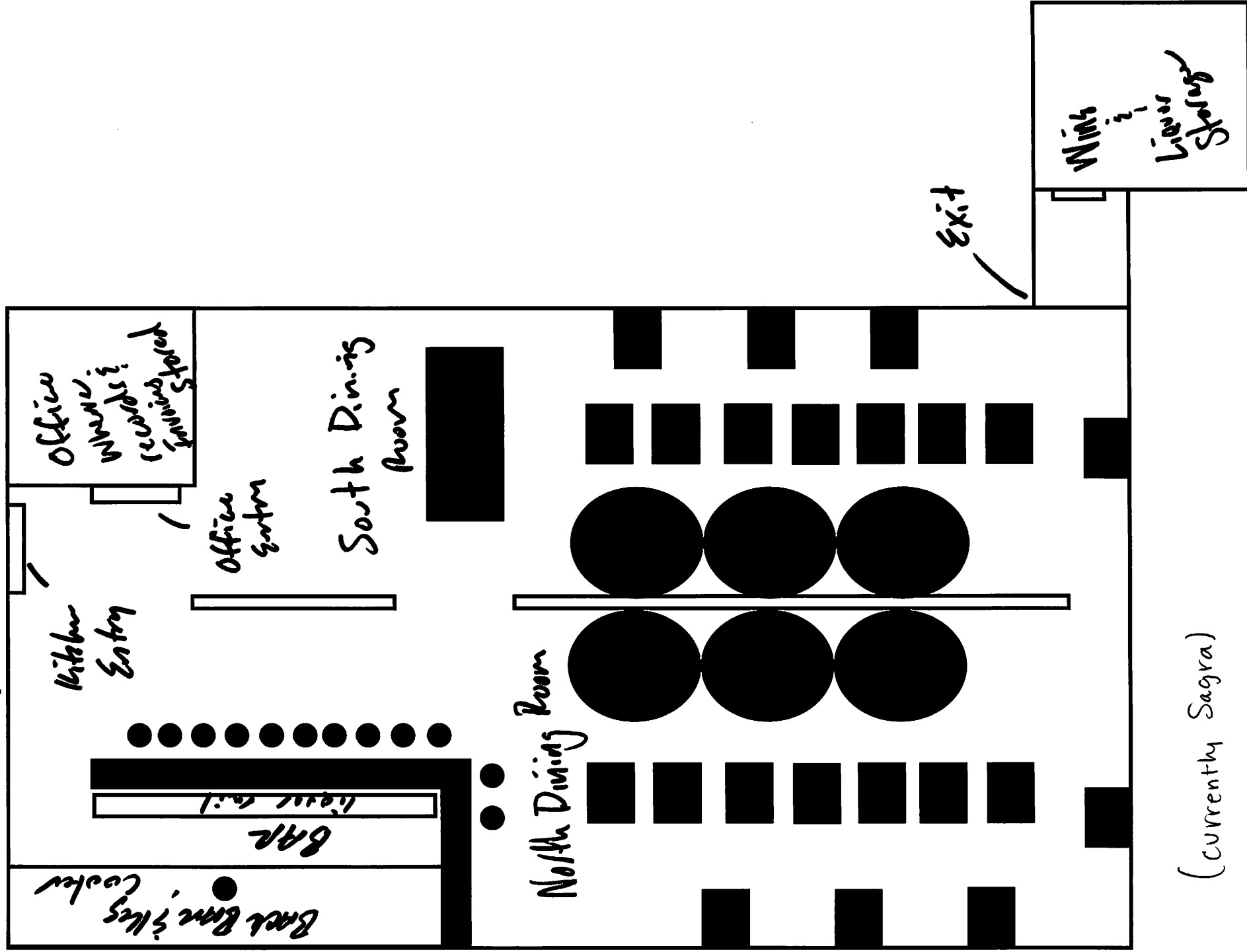
(1st Floor Banquet)



(Current Piquays)

In/out

501 Front St S. West End Upper



(currently Sagra)

SURRENDER OF LICENSE

Part I

Legal/Real Name of Current Licensee: R&R Restaurants Inc
Premises Address: 501 Front St. South
Trade Name: Piggie Restaurants

This is to advise that the undersigned is surrendering the following license(s)

- ☒ Combination "Class B" Beer & Liquor
Class "B" Beer
Class "A" Beer and/or "Class A" Liquor (circle which apply)
Wholesale Beer
"Class C" Wine

to: Sagra Food & Wine LLC
(Insert Legal/Real Name of Proposed Licensee and Trade Name)

and understand that said license(s) will be cancelled upon the Common Council's granting of a license to the applicant named herein.

New Applicant

[Signature]
President, Member, Partner, Individual

[Signature]
Secretary, Member, Partner

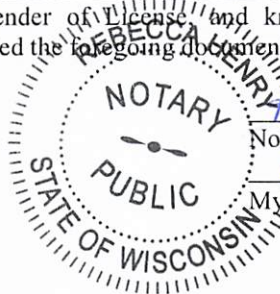
Current Licensee

[Signature]
President, Member, Partner, Individual

[Signature]
Secretary, Member, Partner

State of Wisconsin)
) ss.
County of La Crosse)

On the 22 day of May, 2025, personally came before me
Chris Rodenque, known to me to be the person(s) who
executed the foregoing Surrender of License and known to me to be the **Current Licensee** and
acknowledged that s/he executed the foregoing document.



Rebecca Henry
Notary Public
Lacrosse County, Wisconsin
My Commission expires: 8-10-26

State of Wisconsin)
) ss.
County of La Crosse)

On the 22 day of May, 2025, personally came before me
Mitchel Weber, known to me to be the person(s) who
executed the foregoing Surrender of License, and known to me to be the **Proposed New Applicant** and
acknowledged that s/he executed the foregoing document.



Rebecca Henry
Notary Public
Lacrosse County, Wisconsin
My Commission expires: 8-10-26

SURRENDER OF LICENSE
Part II

5-7-25

Date

City Clerk
400 La Crosse St.
La Crosse, WI 54601

This is to notify you that I am the owner of the building located at
501 Front St. South, La Crosse, Wisconsin.

~~I have entered into a lease for the above property effective _____ with~~
~~_____ (Strike sentence if not applicable.)~~

Further, this letter is to document that said owner or tenant has control of the premises,
and may apply for the necessary beer and/or liquor licenses for said location.

Sincerely,



Signature of owner of building

Printed name of owner:

Chris Roderique

Home address of owner:

710 Grove St. Onalaska WI 54650

Daytime phone number of owner:

608-792-9999

Save

Print

Clear

Form
AB-200Alcohol Beverage License
Application

For Municipal Use Only

Municipality

License Period

License(s) Requested: (up to two boxes may be checked)

- ☐ Class "A" Beer \$ _____ ☒ Class "B" Beer \$ _____
- ☐ "Class A" Liquor \$ _____ ☒ "Class B" Liquor \$ _____
- ☐ "Class A" Liquor (cider only) \$ _____ ☐ Reserve "Class B" Liquor \$ _____
- ☐ "Class C" Liquor (wine only) \$ _____

Fees

License Fees	\$ 600 ⁰⁰
Background Check Fee	\$
Publication Fee	\$ 20 ⁰⁰
Total Fees	\$ 620⁰⁰

Part A: Premises/Business Information

1. Legal Business Name (individual name if sole proprietorship) SAGRA Food & Wine LLC		
2. Business Trade Name or DBA SAGRA Food and Wine / Italiano Catering / Pizzeria / Osteria Emilia		
3. FEIN 39-2083181	4. Wisconsin Seller's Permit Number will provide	
5. Entity Type (check one) <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization		
6. State of Organization Wisconsin	7. Date of Organization 5/9/25	8. Wisconsin DFI Registration Number 5160741
9. Premises Address 501 Front St. S.		
10. City La Crosse	11. State W:	12. Zip Code 54601
13. County La Crosse	14. Governing Municipality: <input checked="" type="checkbox"/> City <input type="checkbox"/> Town <input type="checkbox"/> Village of: La Crosse	
15. Aldermanic District 6	16. Premises Phone 608.799.4763	
17. Premises Email mitsuhito.sagrafoodandwine.com		18. Website sagrafoodandwine.com
19. Premises Description - Describe the building or buildings where alcohol beverages are produced, sold, stored, or consumed, and related records are kept. Describe all rooms within the building, including living quarters. Authorized alcohol beverage activities and storage of records may occur only on the premises described in this application. Attach a map or diagram and additional sheets if necessary. two story restaurant with upper and lower restaurants. plus lower banquet hall. entire first and second floor of both restaurants. records kept in first floor office as well as storage above alarm locker room.		
20. Mailing Address (if different from premises address)		
21. City	22. State	23. Zip Code

Part B: Questions

1. Has the business (sole proprietorship, partnership, limited liability company, or corporation) been convicted of violating federal or state laws or local ordinances? Exclude traffic offenses unless related to alcohol beverages. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If yes, list the details of violation below. Attach additional sheets if necessary.		
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Trial Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses pending against the business? Exclude traffic offenses unless related to alcohol . . ☐ Yes ☒ No
beverages.
If yes, describe the nature and status of pending charges using the space below. Attach additional sheets as needed.

3. Is the applicant business or any of its officers, directors, members, agent, employees, owners, or other related individuals or entities a restricted investor with any interest in an alcohol beverage producer or distributor? . . ☐ Yes ☒ No
If yes, provide the name of the restricted investor and describe the nature of the interest.

4. Is the applicant business owned by another business entity? ☐ Yes ☒ No
If yes, provide the name(s) and FEIN(s) of the business entity owners below. Attach additional sheets as needed.

4a. Name of Business Entity	4b. Business Entity FEIN
-----------------------------	--------------------------

5. Have the partners, agent, or sole proprietor satisfied the responsible beverage server training requirement for this license period? Submit proof of completion. ☒ Yes ☐ No

6. Is the applicant business indebted to any wholesaler beyond 15 days for beer or 30 days for liquor/wine? ☐ Yes ☒ No

7. Does the applicant business owe past due municipal property taxes, assessments, or other fees? ☐ Yes ☒ No

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following positions in the applicant business or businesses listed in Part B, Question 4: sole proprietor, all officers, directors, and agent of a corporation or nonprofit organization, all partners of a partnership, and all members, managers, and agent of a limited liability company. Attach additional sheets if necessary.

Include Form AB-100 for each person listed below. Corporations and LLCs must appoint an agent by including Form AB-101.


Last Name	First Name	Title	Phone
Weber	Mitchel	President / owner	608.769.7346

Part D: Attestation

One of the following must sign and attest to this application:

- sole proprietor • one general partner of a partnership • one corporate officer • one member of an LLC

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant business and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate this business according to the law, including but not limited to, purchasing alcohol beverages from state authorized wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Weber	First Name Mitchel	M.I. A.
Title President / owner	Member	Phone 608.769.7346
Email mitche@sagrafoodandwine.com		
Signature 		Date 5/15/25

Part E: For Clerk Use Only

Date Application Was Filed With Clerk	License Number	Date License Granted	Date License Issued
Signature of Clerk/Deputy Clerk		Date Provisional License Issued (if applicable)	

Form
AB-101Alcohol Beverage
Appointment of AgentDate
5/5/25

Agent Type (check one)

- ☒ Original (no fee) ☐ Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

SAGAA Food & Wine LLC

2. Business Trade Name or DBA

SAGAA Food and Wine

3. Entity Type (check one)

- ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☒ Municipal Retail License ☐ State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

Part B: Agent Information

1. Last Name

Weber

2. First Name

Mitchel

3. M.I.

A.

4. Email

mitchel@SAGAAFoodandWine.com

5. Phone

608.799.4763

6. Home Address

2526 Edgewood Pl

7. City

La Crosse

8. State

WI

9. Zip Code

54601

10. Date of Birth

[REDACTED]

11. Drivers License/State ID Number

[REDACTED]

12. Drivers License/State ID State of Issuance

Wisconsin


Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ☒ Yes ☐ No
Submit proof of completion.
2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire* (licensee) or
Form AB-300, *Alcohol Beverage Personal Questionnaire* (permittee)? ☒ Yes ☐ No
3. Have you been a Wisconsin resident for at least 90 continuous days? ☒ Yes ☐ No
See instructions for exceptions.

Continued →


Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Weber</i>		First Name <i>Mitchell</i>		M.I. <i>A.</i>
Title <i>President / owner</i>	Email <i>mtchell@spwaxfundandwin.com</i>		Phone <i>603.799.4763</i>	
Signature 			Date <i>5/5/25</i>	

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Weber</i>		First Name <i>Mitchell</i>		M.I. <i>A.</i>
Signature 			Date <i>5/5/25</i>	

Form
AB-100Alcohol Beverage
Individual QuestionnaireDate
5/5/25

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

SAGRA Food & Wine LLC

2. Business Trade Name or DBA

SAGRA Food and Wine

3. Entity Type (check one)

☐ Sole Proprietor
 ☐ Partnership
 ☒ Limited Liability Company
 ☐ Corporation
 ☐ Nonprofit Organization

Part B: Individual Information

1. Last Name

Weber

2. First Name

Mitchell

3. M.I.

A.

4. Relationship to Business (Title)

President/owner

5. Email

mitchell@sagradfoodandwine.com

6. Phone

608.799.4763

7. Home Address

2526 Edgewood Pl.

8. City

La Crosse

9. State

WI

10. Zip Code

54601

11. Date of Birth

[REDACTED]

12. Drivers License/State ID Number

[REDACTED]

13. Drivers License/State ID State of Issuance

Wisconsin

Part C: Address History

1. Do you currently live in Wisconsin? ☒ Yes ☐ No

If yes, provide the month and year when you permanently moved to Wisconsin (MM/YYYY)

05/2020

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1

2526 Edgewood Pl

City

La Crosse

State

WI

Zip Code

54601

Previous Address 2

City

State

Zip Code

Previous Address 3

City

State

Zip Code

Previous Address 4

City

State

Zip Code

Previous Address 5

City

State

Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State

County

WI

La Crosse

State

County

IA

Story

State

County

OR

Multnomah

State

County

WI

Monroe

State

County

State

County

State

County

State

County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 

Date 5/5/25

City of La Crosse, County of La Crosse, State of Wisconsin
400 La Crosse Street, La Crosse, WI 54601

LICENSE

WHEREAS, the City of La Crosse, County of La Crosse, Wisconsin, has upon application duly made, granted and authorized the issuance of the license(s) indicated below to **R & R RESTAURANTS INC d/b/a PIGGY'S ON FRONT** as defined by law, pursuant to Wisconsin State Statutes and/or local Ordinances; and

WHEREAS, the said applicant has paid the Treasurer the appropriate fee for the license(s) indicated as required by Wisconsin State Statutes and/or local Ordinances, and has complied with all the requirements necessary for obtaining such license(s);

The following license(s) for the period shown are hereby issued to said applicant for the premise located at:

501 FRONT ST S

for the period and description below:

Combination "Class B" Beer & Liquor (ALC006984-04-2024)

July 1, 2024 to June 30, 2025

Agent: *CHRIS RODERIQUE*

Sales and Service Description: *Entire first floor and west half of second floor of 501 Front St. S.*

Storage Description: *In coolers and storerooms within described area above.*

} Kitchen

records office

Outdoor Dining Temporary Expansion of Combination "Class B" Beer & Liquor

July 1, 2024 to October 31, 2024

Approximately 465 sq ft, 31' x 15' fenced area in the Northwest back parking lot with access to restrooms.

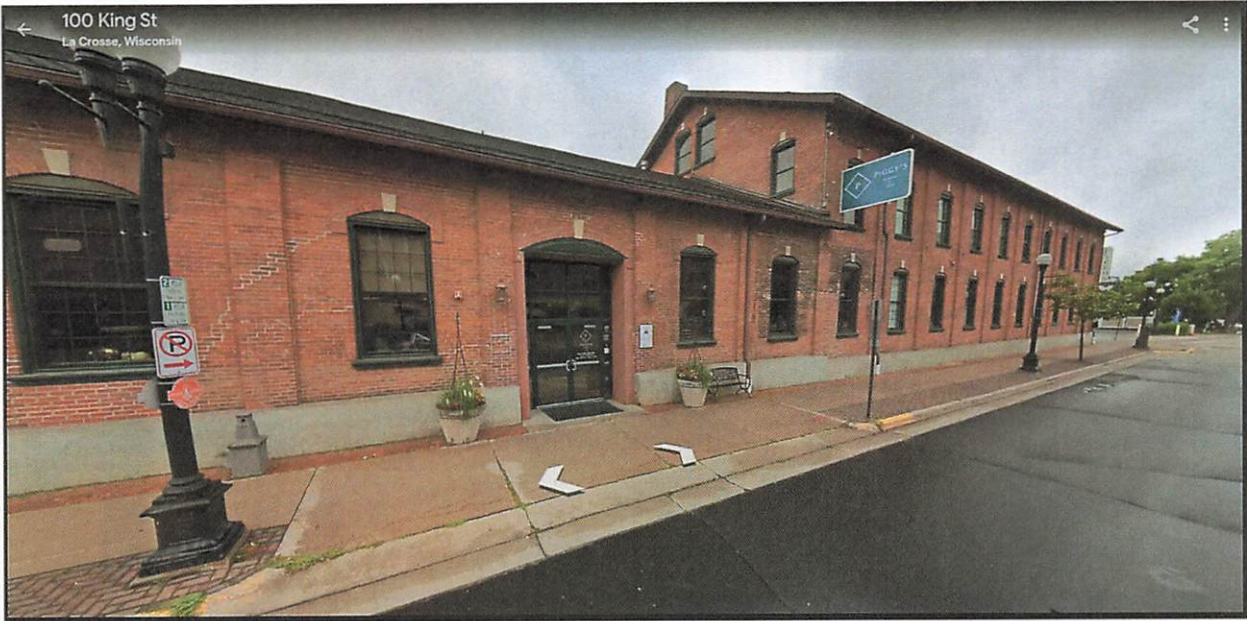
Business Number: 002001-2019
Company Number: ID-000007911
License Year: 2024
Date Issued: 7/1/2024



A handwritten signature in black ink, appearing to read "Nikki M. Elsen".

Nikki M. Elsen, WCMC, City Clerk

SAGRA / Piggy's 501 Front St S



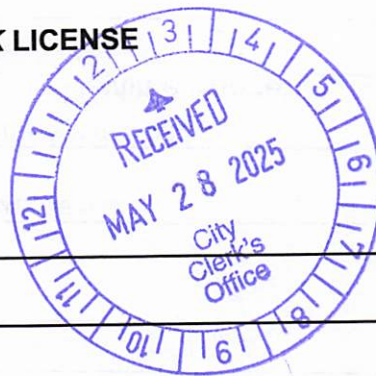
New: _____ (Must submit plans & specs)

License Fee: _____

Renewal: _____

Invoice #: _____

APPLICATION FOR MOBILE HOME PARK LICENSE
(\$100.00 for each 50 spaces)



To the Common Council of the City of La Crosse:

1. APPLICANT:

Name: JUNIPER PARTNERS

Address: 1131 MAIN ST, ONALASKA WI 54650

2. MOBILE HOME PARK:

Name: RIVERCREST VILLAGE

Address: SEE ATTACHED

3. Number of lots in the Mobile Home Park:

178

(MUST FILL IN #)

4. OWNER OF LAND: (*If the owner of the land is not the same as the operator of the Mobile Home Park, the verified statement from the owner of the land is required.)

Name: JUNIPER PARTNERS

Address: 1131 MAIN ST, ONALASKA WI 54650

The above hereby makes application for a Mobile Home Park License within the City of La Crosse pursuant to Chapter 107 of the Code of Ordinances of the City of La Crosse.

Signature of Applicant: _____

Date: 5/28/25

License Period: JULY 1, 2025 - JUNE 30, 20

***OWNER VERIFICATION**

The owner of the land for the Mobile Home Park known as JUNIPER PARTNERS

verifies that the applicant for the Mobile Home Park License JUNIPER PARTNERS

is authorized to construct or maintain the aforesaid Mobile Home Park and make the application for such license.

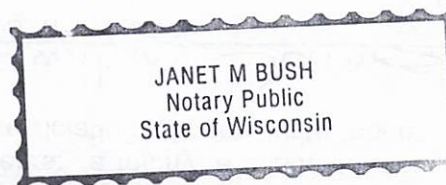
Signature of Land Owner: _____

Date: 5/28/25

Subscribed and sworn to before
me this 28th day of May, 2025

Janet M. Bush
Notary Public

La Crosse County, Wisconsin
My Commission expires: 7/16/26



PERSONAL DATA SHEET
(PLEASE PRINT ALL INFORMATION)

Each Officer AND Manager/Person in Charge must complete all the information and must indicate if they have been convicted of any of the following within the last ten (10) years: a felony, a misdemeanor, a statutory violation punishable by forfeiture or a county or municipal ordinance violation. If none, write "none".

Name of Manager/Person in Charge: Hoeschler, William James
(LAST, FIRST & FULL MIDDLE NAME)

Home Address: N 12996 N Timber Ridge Road Hayward, WI 54843
(STREET ADDRESS, CITY, STATE & ZIP)

Date of Birth: [REDACTED] Home Phone: _____ Daytime Phone: 608-790-5950

Violations: N/A

Name of Officer: Hoeschler, Jay Frank
(LAST, FIRST & FULL MIDDLE NAME)

Home Address: N 12996 N Timber Ridge Road Hayward, WI 54843
(STREET ADDRESS, CITY, STATE & ZIP)

Date of Birth: [REDACTED] Home Phone: _____ Daytime Phone: 608-792-2012

Violations: N/A

Name of Officer: _____
(LAST, FIRST & FULL MIDDLE NAME)

Home Address: _____
(STREET ADDRESS, CITY, STATE & ZIP)

Date of Birth: _____ Home Phone: _____ Daytime Phone: _____

Violations: _____

Name of Officer: _____
(LAST, FIRST & FULL MIDDLE NAME)

Home Address: _____
(STREET ADDRESS, CITY, STATE & ZIP)

Date of Birth: _____ Home Phone: _____ Daytime Phone: _____

Violations: _____

Name of Officer: _____
(LAST, FIRST & FULL MIDDLE NAME)

Home Address: _____
(STREET ADDRESS, CITY, STATE & ZIP)

Date of Birth: _____ Home Phone: _____ Daytime Phone: _____

Violations: _____

4905 Rivercrest Dr N Parcel #17-50325-470 (owned by Juniper Partners)

5450 Mormon Coulee Rd Parcel #17-50325-410 (owned by Juniper Partners)

5050 Mormon Coulee Rd Parcel #17-50325-200 (owned by City of La Crosse)

5100 Mormon Coulee Rd Parcel #17-50325-300 (owned by Juniper Partners)

Alcohol Beverage
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

EARL'S Liquor & Saloon LLC

2. Business Trade Name or DBA

3. Entity Type (check one)

☐ Sole Proprietor ☐ Partnership ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization

Part B: Individual Information

1. Last Name

Flottmeyer

2. First Name

James

3. M.I.

E

4. Relationship to Business (Title)

5. Email

JRFloftmeyer@gmail.com

6. Phone

608-386-6854

7. Home Address

W4364 Drectah Rd

8. City

LaCrosse

9. State

WI

10. Zip Code

54601

11. Date of Birth

[REDACTED]

12. Drivers License/State ID Number

[REDACTED]

13. Drivers License/State ID State of Issuance

Part C: Address History

1. Do you currently reside in Wisconsin? ☒ Yes ☐ No

If yes to 1 above, how long have you continuously lived in Wisconsin prior to the date of application?

Years

63

Months

6

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address	City	State	Zip Code
Previous Address 1			
Previous Address 2			
Previous Address 3			
Previous Address 4			
Previous Address 5			

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
WI	LaCrosse						
State	County	State	County	State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

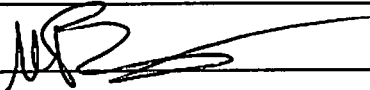
2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature



Date

4-1-25

Alcohol Beverage
Appointment of Agent

Date

Agent Type (check one)

- ☐ Original (no fee) ☒ Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Earls Grocery and Saloon

2. Business Trade Name or DBA

3. Entity Type (check one)

- ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☐ Municipal Retail License ☐ State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

Change of agent

Part B: Agent Information

1. Last Name

Flottmeyer

2. First Name

James

3. M.I.

R

4. Email

JFFlottmeyer@gmail.com

5. Phone

609-386-6924

6. Home Address

W4364 Drectah Rd

7. City

La Crosse

8. State

WI

9. Zip Code

54601

10. Age

63

11. Drivers License/State ID Number

12. Drivers License/State ID State of Issuance

WI

Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ☒ Yes ☐ No
Submit proof of completion.
2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire*? ☒ Yes ☐ No
Submit a completed Form AB-100 with this form.
3. Have you been a Wisconsin resident for at least 90 continuous days? ☒ Yes ☐ No
See instructions for exceptions.

Continued →

Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Flattmeyer</i>	First Name <i>William</i>	M.I. <i>P</i>
Title <i>Member</i>	Email <i>flattmeyerwill@igmail.com</i>	Phone <i>408 317-7014</i>
Signature <i>[Signature]</i>		

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Flattmeyer</i>	First Name <i>James</i>	M.I. <i>R</i>
Signature <i>[Signature]</i>		Date <i>4-9-25</i>

Alcohol Beverage
Individual QuestionnaireDate
4/24/25

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)
The Pearl LLC
2. Business Trade Name or DBA
The Grand Hotel Ballroom & Gallery
3. Entity Type (check one)
<input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input type="checkbox"/> Nonprofit Organization

Part B: Individual Information

1. Last Name	2. First Name	3. M.I.
Peterslie	Danielle	M
4. Relationship to Business (Title)	5. Email	6. Phone
member	dani.peterslie@gmail.com	608-385-3109
7. Home Address		
11406 Red oaks Dr.		
8. City	9. State	10. Zip Code
Lacrosse	WI	54601
11. Date of Birth		
12. Drivers License/State ID Number	13. Drivers License/State ID State of Issuance	
	WI	

Part C: Address History

1. Do you currently reside in Wisconsin? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If yes to 1 above, how long have you continuously lived in Wisconsin prior to the date of application?		Years	Months
		36	6
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.			
Previous Address 1	City	State	Zip Code
2632 State St.	Lacrosse	WI	54601
Previous Address 2	City	State	Zip Code
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.			
State	County	State	County
TX	TRAVIS		
State	County	State	County

Continued →

Part D: Criminal History

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

Part E: Attestation

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature *Quilla Petrosie*

Date *4/24/25*

Alcohol Beverage
Appointment of AgentDate
4/25/25

Agent Type (check one)

- ☒
- Original (no fee)
- ☐
- Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

The Pearl LLC

2. Business Trade Name or DBA

The Grand Hotel Ballroom and Gallery

3. Entity Type (check one)

- ☒
- Limited Liability Company
- ☐
- Corporation
- ☐
- Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☒
- Municipal Retail License
- ☐
- State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

Part B: Agent Information

1. Last Name

Peterslie

2. First Name

Dani

3. M.I.

M

4. Email

dani.peterslie@gmail.com

5. Phone

608-385-3109

6. Home Address

11406 Red Oaks Dr

7. City

La Crosse

8. State

WI

9. Zip Code

54601

10. Age

36

11. Drivers License/State ID Number

12. Drivers License/State ID State of Issuance

WI

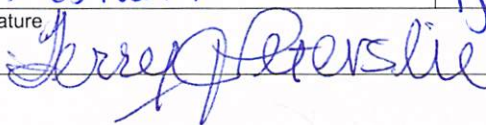
Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ☒ Yes ☐ No
Submit proof of completion. -Should be on file w/ city
2. Have you completed Form AB-100, Alcohol Beverage Individual Questionnaire? ☒ Yes ☐ No
Submit a completed Form AB-100 with this form.
3. Have you been a Wisconsin resident for at least 90 continuous days? ☒ Yes ☐ No
See instructions for exceptions.

Continued →

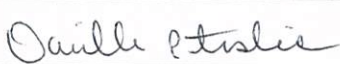
Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Peterslie		First Name Terry		M.I. J
Title President	Email tjpeterslie@gmail.com		Phone (608) 385-3458	
Signature 			Date 4.24.25	

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Peterslie		First Name Danielle		M.I. M
Signature 			Date 4/24/25	



**City of La Crosse, Wisconsin:
BEVERAGE OPERATORS LICENSE:**

- Remove your card and always have it in your possession when serving/selling beer and/or alcohol beverages.
- These should not be photocopied.
- Pursuant to Resolution 17-1333, the Common Council recognizes that sexual violence prevention is a relevant local concern and offers information provided by the National Sexual Violence Resource Center titled Engaging Bystanders to Prevent Sexual Violence. A link to the handout can be found on the City's website at this URL:
<https://www.cityoflacrosse.org/beverage-operator>

DANIELLE MICHELLE PETERSLIE
207 PEARL ST
LA CROSSE WI 54601

**City of La Crosse, Wisconsin
BEVERAGE OPERATORS LICENSE**

Class
2-Year

Name
DANIELLE MICHELLE PETERSLIE

Number	Issued	Expires
002735-2024	7/1/2024	6/30/2026

Nikki Eisen, City Clerk

Renew on or before 6/1/2026

Alcohol Beverage
Appointment of AgentDate
05/02/2025

Agent Type (check one)

☒ Original (no fee) ☐ Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

La Crosse Lodge 1920 Loyal Order of Moose

2. Business Trade Name or DBA

Moose Lodge 1920

3. Entity Type (check one)

☐ Limited Liability Company☐ Corporation☒ Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

☒ Municipal Retail License☐ State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

Part B: Agent Information

1. Last Name

Trojanek

2. First Name

Connie

3. M.I.

L

4. Email

Mooselodge1920@gmail.com

5. Phone

(608) 788-2998

6. Home Address

2726 Shelby Road

7. City

La Crosse

8. State

WI

9. Zip Code

54601

10. Date of Birth

09181953

11. Drivers License/State ID Number

T6521125383805

12. Drivers License/State ID State of Issuance

WI

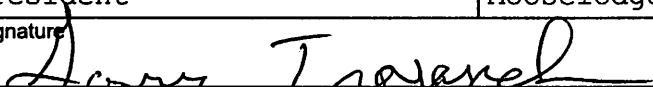
Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ☒ Yes ☐ No
Submit proof of completion.2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire* (licensee) or
Form AB-300, *Alcohol Beverage Personal Questionnaire* (permittee)? ☒ Yes ☐ No3. Have you been a Wisconsin resident for at least 90 continuous days? ☒ Yes ☐ No
See instructions for exceptions.

Continued →


Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Trojanek		First Name Gary		M.I. L
Title President		Email Mooselodge1920@gmail.com		Phone (608) 788-2998
Signature 				Date 5/6/25

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Trojanek		First Name Connie		M.I. L
Signature 				Date 5/6/2025

AB 200
Part B #5

**City of La Crosse, Wisconsin
BEVERAGE OPERATORS LICENSE**

Class 2-Year Name **CONNIE LEE TROYANEK**

Number **002614-2024** Issued **7/1/2024** Expires **6/30/2026**

Nikki Eisen, City Clerk

Renew on or before
6/1/2026



La Crosse City Council
400 La Crosse Street
La Crosse, WI 54601

RE: Forest Hills Golf Course - Permission Request

To Whom it May Concern:

Per Section 4-44 of the Code of Ordinances for the City of La Crosse, we respectfully request permission to discontinue the sale of intoxicating liquor for more than 90 days during the license period as part of the license renewal application process.

Due to the nature of our business at Forest Hills Golf Course, we will be closed for more than 90 days during the 2025-2026 golf season. The golf course is a seasonal business that we anticipate being closed from November 15, 2025 through March 15, 2026.

Thank you,

A handwritten signature in black ink, appearing to be "Jim Lawler", written over a horizontal line.

Jim Lawler
Chief Financial Officer



La Crosse Loggers
1225 Caledonia St.
La Crosse, WI 54603

Phone: 608-796-9553
Cell: 608-317-3160
Email: Kapankefi@charter.net

Wednesday, April 28th, 2025

To the Honorable Mayor and Members of the Common Council,

We thank you for your time and consideration as we apply for a combination Class B Beer and Liquor License. If approved, we will activate our license on May 1st, 2025.

If approved, we will also ask for the Discontinuation of Activity to go into effect starting on November 1st, 2025 and concluding on May 1st, 2026. As stated in our initial request to the City of La Crosse, La Crosse Baseball, LLC is a season business that does not have the ability to host events in the late fall/ winter/ early spring, due to weather and the facility being winterized by the Park and Rec Department.

If there are questions or concerns relating to this application, please feel free to reach out to us at any time.

Sincerely,

Ben Kapanke
Agent
La Crosse Baseball, LLC

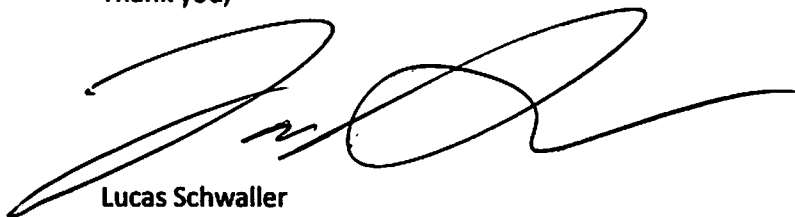
April 7, 2025

To Whom It May Concern,

I, Lucas Schwaller, on behalf of River City Youth Hockey, am asking for an extension of the 90-day inactivity limit on the Class B "Beer" license for RCYH operating out of Green Island Ice Arena. We only run the rink October through March so the license will be inactive April 2025 thru September 2025.

Please contact me with any questions,

Thank you,

A handwritten signature in black ink, appearing to be 'Lucas Schwaller', written in a cursive style with a large loop and a long horizontal stroke extending to the right.

Lucas Schwaller

573-690-9244

May 29th, 2025

Dear City Counsel,

My business, Walsh Golf Center LLC, has existed in La Crosse, WI since 1946. We have been a golf course since July of 1970 at the current location. We have always been a seasonal business. In a normal year we start by about March 15th and finish by November 15th. The timing can vary slightly but this is our normal operating year.

I do not anticipate going year round or changing our operation anytime in the near future.

Please let me continue to have a beer license during our normal operating year.

Thank you,

Tristan Fink

Owner, Walsh Golf Center

From: Jordan Larson <jmlarson58915@gmail.com>
Sent: Thursday, June 12, 2025 12:26 PM
To: ZZ Council Members
Subject: Roller Skating License for Roller City Disco

Some people who received this message don't often get email from jmlarson58915@gmail.com. [Learn why this is important](#)

*** **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. ***

Greetings City Council, We are reaching out on behalf of Roller City Disco to address a concern pertaining to the approval of our roller skating license. We have made sure we are within compliance to the licensing guidelines and hope you find no reason to delay our approval. Our goal is to add a healthy, positive environment, as well as create opportunities for ourselves and the community as a whole. Thank you for your time and consideration and we look forward to working with you.



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0552

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution approving a development agreement with Haven on Main, LLC, an affordable housing development located on the corner of Main Street and 10th Street North.

RESOLUTION

WHEREAS, the developer proposes to construct and equip a multi-story, 70-unit low-income housing tax credit (LIHTC) project consisting of 1, 2, and 3-bedroom units and 3,200 square feet of commercial space; and

WHEREAS, the proposed project will serve adults with disabilities with incomes ranging between 30-60% of Area Median Household Income (AMI), with eleven units set aside for market rate occupancy; and

WHEREAS, the proposed project seeks to provide an enduring living space in which adults with disabilities can flourish independently, accompanied by the support of an accessible and inclusive community; and

WHEREAS, City staff and the City's consultant Ehlers reviewed the Tax Incremental Financing application and found that this project fulfilled the requirements of the application, including demonstrating a financing need for assistance; and

WHEREAS the project requires construction of public infrastructure.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of La Crosse that it hereby approves the attached Haven on Main development agreement.

BE IT FUTHER RESOVLVED that the City's cost share of the public infrastructure, as is defined in the development agreement, shall be paid for with TID 11 or TID 17 funds.

BE IT FURTHER RESOLVED by the Common Council of the City of La Crosse that it hereby authorizes the City Attorney, Director of Finance, Director of Planning and Development, Mayor and City Clerk to execute said agreement.

BE IT FURTHER RESOLVED that City staff is hereby authorized to take any and all steps necessary to effectuate this resolution.

HAVEN ON MAIN DEVELOPMENT AGREEMENT

This Haven on Main Development Agreement (hereafter "Agreement") is made by and among the **City of La Crosse**, Wisconsin, a Wisconsin municipal corporation with offices located at 400 La Crosse Street, La Crosse, Wisconsin, 54601 ("**City**"), the and **Haven on Main, LLC**, a Wisconsin limited liability company with principal offices located at 201 Melby Street, Westby, Wisconsin 54667 ("**Developer**").

WITNESSETH:

Whereas, Developer proposes to own, develop construct, improve and equip a multi-story, 70-unit low-income housing tax credit (LIHTC) building consisting of 1, 2 and 3-bedroom units and approximately 3,250 square feet of commercial space, more specifically described below as the "Project," within the City of La Crosse on property more particularly described in **Exhibit A** ("Real Estate");

Whereas, the goals for the Real Estate include encouraging private residential development and improvements and undertaking public improvements that promote desirable and sustainable uses, which further serve the needs of the community and visitors as well as fulfilling the aesthetic character standards of the City;

Whereas, the City finds it necessary to further redevelop an area of the City within proximity to Tax Incremental District Nos. 11 and 17, (respectively "TID #11" and "TID #17"), in order to further redevelop an area of the City, reduce underutilized property, grow the tax base and stimulate commercial and residential activity as well as provide for a place of employment and residence for citizens of the State and the City;

Whereas, Section 66.1105, Wis. Stat., empowers cities to assist redevelopment projects by lending or contributing funds as well as performing other actions of a character which the City is authorized to perform for other general purposes;

Whereas, the City has found and determined that: (1) the economic vitality of the Real Estate is essential to the economic health of the City and other taxing jurisdictions within the City; (2) the proposed development of the Real Estate through the construction of the Project is an integral part of the residential and commercial needs of City residents, local businesses and the surrounding area; and (3) the benefits to be gained by the City as a result of the Project are greater than the costs to the City under this Agreement;

Whereas, the Developer and the City agree that the Real Estate's development and improvement shall (1) result in an economic and aesthetic benefit to the City and the surrounding area, including, without limitation, growth in the tax base and job creation; and (2) be secured for the future benefit of the citizens and the community through the construction and development of the Project all in accordance with the Master Plan to be prepared by the Developer and approved by the City Design Review Committee;

Whereas, the City desires the Project to proceed for the reasons set forth above and ultimately to provide increased tax revenues for the City and various taxing jurisdictions authorized to levy taxes within proximity to TID #11

This space is reserved for recording data

Return to

City Attorney
400 La Crosse Street
La Crosse WI 54601

Parcel Identification Number/Tax Key Number

Whereas, in order to induce Developer to undertake the Project, the City has agreed to pay for certain costs included in the project plan of TID #11 and TID #17 ("TID Project Plan") through the use of existing municipal funds and/or the use of borrowed funds and to provide other assistance to Developer as provided by this Agreement, all in accordance with the terms and conditions of this Agreement;

Whereas, the City finds and determines that certain cash grant payments as detailed in this Agreement are necessary and convenient to the implementation of the TID Project Plan;

Whereas, Developer declares that "but for" this Agreement, it would not undertake the Project to the extent of the investment proposed;

Whereas, the City and Developer wish to set forth in this Agreement their respective commitments, understandings, rights and obligations in connection with the Project as more fully described herein and to further provide for the implementation of the Project; and

NOW, THEREFORE, in consideration of the mutual covenants and agreements herein exchanged, and other good and valuable consideration, the receipt and sufficiency of which the parties acknowledge, the parties hereto agree as follows:

ARTICLE I

PURPOSE; LAND; DEFINITIONS; EXHIBITS

1.1. Land Affected. The parties acknowledge that the Project will encompass and/or affect the following real property, all of which shall be within one-half mile of the boundaries of TID #11 and TID #17:

The Real Estate, described on **Exhibit A**, and certain public streets and rights-of-way serving the same.

1.2. Purpose of the Agreement. In order to cause the Project to occur and to induce Developer to undertake the Project, to promote community development, industry and job creation and to expand and enhance the tax base and stimulate commercial and residential activity within the City, the City intends to undertake certain project costs and public improvements, if any, necessary for the Project, all as set forth in this Agreement. The City intends to recover ~~their~~ certain of its costs through payments received under this Agreement including increased tax revenues generated by the Real Estate. The parties intend to enter into this Agreement to record the understandings and undertakings of the parties and to provide a framework within which the Project may proceed. Developer and the City plan to work together to undertake the Project on the Real Estate all as more fully described herein and in the Master Plan and as approved by the City Design Review Committee.

1.3. Certain Definitions. In addition to the words and phrases elsewhere defined in this Agreement, the following words and phrases, when having an initial capital letter, shall have the following meanings:

- a. "Agreement" means this Haven on Main Development Agreement by and between the City and the Developer, as amended and supplemented from time to time.
- b. "City" means the City of La Crosse, Wisconsin, a Wisconsin municipal corporation.
- c. "Construction Schedule" means the construction timetable set forth on **Exhibit F**.

- d. "Contribution" means the contribution or cash grant that is made through this Agreement to incent Developer to undertake the development and assist the Project and for which the Monetary Obligation is incurred.
- e. "Developer" means Haven on Main, LLC, a Wisconsin limited liability company.
- f. "Master Plan" means the Final Implementation Plan for the Real Estate prepared by the Developer and approved by the City Design Review Committee as well as all subsequent revisions thereto that are prepared by Developer and approved by the City Design Review Committee. The Final Implementation Plan is in conformance with the approved General Development Plan for the Real Estate.
- g. "Monetary Obligation" means a limited and conditional monetary obligation of the Tax Increment generated from the Project in a maximum aggregate amount of seven hundred ninety-seven thousand dollars (\$797,000.00), that is incurred, in one or more installments, and that is payable over the time not to exceed the duration of the TID #11 and #TID #17; more specifically:
 - (1) Calculation. Effective September 1, 2027, the City shall be obligated to pay a Contribution calculated as the Tax Increment resulting from an increase in real property tax base from the Project not to exceed the lesser of: (a) an aggregate seven hundred ninety-seven thousand dollars (\$797,000.00), or (b) eighty-five percent (85%) of the actual Tax Increment resulting from an increase in the real property tax base from the Project for tax years 2027-2036 as further defined in Section 3.1 of this Agreement. The difference, if any, between the actual Tax Increment resulting from an increase in the real property tax base from the Project for any tax year for which a Contribution would be paid and the aggregate maximum seven hundred ninety-seven thousand dollars (\$797,000.00), shall be retained by the City and other taxing jurisdictions.
 - (2) Disbursement Date. After determining compliance with this Agreement and the actual applicable Tax Increment, the City shall make its Contribution of the Monetary Obligation annually on or before September 1 until payment of the maximum amounts defined herein or until closure of TID #11 and TID #17 by law, whichever occurs first.
 - (3) Conditions. The City's obligation to make Contributions on the Monetary Obligations is conditioned on:
 - (a) The determination by the City Assessor of compliance with the tax guarantee in Section 2.6(b) of this Agreement;
 - (b) The timely payment of taxes when due by Developer;
 - (c) Substantial Completion of the Project materially in accordance with the Master Plan, Project Cost Breakdown and Construction Schedule but excluding "punchlist" items;
 - (d) Submission by Developer of verifiable costs, invoices, lien waivers, proof of financing costs and any other supporting documentation as requested

by the Finance Director and Economic and Community Development Commission. Said submissions shall be in form and content acceptable to the Finance Director and Economic and Community Development Commission and demonstrate Substantial Completion and payments for costs for which reimbursement is being requested in accordance with Section 3.1 and the other provisions of this Agreement;

- (e) Continued compliance with the provisions of this Agreement by Developer and any other agreement between the Developer and City; and
 - (f) The use of the Contribution for eligible project costs under the Tax Incremental Law; and
 - (g) Continued compliance with any and all applicable federal, state and local laws, regulations and ordinances by Developer.
- (4) Example Exhibit. An example of the Monetary Obligation is attached as Exhibit G.
- (5) Not General Obligation. For purposes of the Tax Increment Law, this Agreement is an evidence of indebtedness; that is, it fully evidences the City's obligation to pay the Monetary Obligation. No negotiable instrument is being prepared to separately evidence the Monetary Obligation. The Monetary Obligation shall not, however, be included in the computation of the City's constitutional debt limitation, because the Monetary Obligation is limited and conditional, and no taxes have been or will be levied for its payment or pledged to its payment. Nothing in this Agreement shall be deemed to change the nature of the City's obligation from a limited and conditional obligation to a general obligation. No Tax Increments are pledged to the payment of the Monetary Obligation. In the event of an interpretation of this Agreement that would require the City's obligation to change from a limited and conditional obligation to that of a general obligation, then the City's Contribution and/or Monetary Obligation shall be subject to annual appropriation by the City Council.
- (6) No Acceleration. Notwithstanding any other provision of this Agreement, Developer has no right to accelerate the payment of the Monetary Obligation. The only remedy of Developer in the event of nonpayment shall be legal proceedings to collect the amount of the Monetary Obligation that is due and payable. Developer may only institute legal proceedings after filing a claim with the City and complying with any other applicable provisions of this Agreement.
- (7) Limitations. The City has no obligation to make payments of the Monetary Obligation in excess of the amount of the Tax Increments that have been collected, and allocated from the Project in TID #11 and TID #17 under the Tax Increment Law and the provisions of this Agreement. The City has no obligation to make payments of the

Monetary Obligation if this Agreement terminates. In the event Developer fails to comply with any provision of this Agreement, the City may withhold any Contribution that is due and payable and may further seek the recovery of any Contribution that has already been paid or disbursed, which shall become immediately due and payable.

- h. "Plans and Specifications" means the plans and specifications developed for the Project.
- i. "Project" means the development and improvement of the Real Estate by constructing and equipping a multi-story, 70-unit LIHTC building consisting of 1, 2 and 3-bedroom units and approximately 3,250 square feet of commercial space. The Project will serve adults with disabilities with incomes ranging between 30-60% of Area Median Household Income (AMI). Eleven units in the Project are set aside for market rate occupancy. The Project will be on the Real Estate as further described in more detail on **Exhibit B** and in accordance with the Master Plan. Subject to the terms and conditions of this Agreement, uses for the Project shall be determined by zoning. The term, "Project" excludes personal property and land.
- j. "Project Cost Breakdown" means the minimum construction costs of the Project and consists of the cost breakdown of construction and non-construction cost items (i.e., a line-item budget), clearly identifying development, construction, financing, contingency and all other direct and indirect costs of construction of the Project, all as described in more detail on **Exhibit E** and in accordance with the Master Plan.
- k. "Public Improvements" means the public infrastructure improvements, if any, to be constructed by the City in connection with the Project, which are set forth on **Exhibit D**.
- l. "Real Estate" means the real property described in **Exhibit A**.
- m. "Signature Date" has the same meaning as provided in Section 8.22 of this Agreement.
- n. "Substantial Completion" means the completion of the improvements to the Real Estate substantially pursuant to the Plans and Specifications, (except for punch list items, exterior painting, and landscaping) and the issuance by the Project architect of a certificate of substantial completion and the issuance of a certificate of occupancy from the City that permits tenants to occupy the residential units. Subject to unavoidable delays beyond the control of the Developer, any such incomplete items shall be fully completed within a reasonable time after the date of Substantial Completion, but not to exceed ninety (90) days thereafter except site improvements such as landscaping shall be completed no later than two hundred forty (240) days after the date of Substantial Completion if weather or other conditions beyond the control of Developer prevent completion of the same.
- o. "Tax Increment" means the tax increment or increase in real property taxes received by the City and other taxing jurisdictions with respect to the Real Estate. Tax Increment, as used in this Agreement, is a means to calculate the Contribution to be paid by the City to Developer from TID #11 and TID #17.
- p. "Tax Incremental Law" means Section 66.1105, Wis. Stats., as amended and superseded.

- q. "TID #11" and "TID #17" mean the Tax Incremental Financing District Numbers 11 and 17, respectively, of the City of La Crosse.
- r. "TID Project Plan" means the plan, created in accordance with the Tax Incremental Law, for the financial development or redevelopment of TID #11 and TID #17, including all approved amendments thereto.

1.4. Exhibits. The following exhibits are hereby attached to and incorporated into this Agreement:

- a. **Exhibit A.** Real Estate
- b. **Exhibit B.** Description of Project
- c. **Exhibit C.** Restrictive Covenant
- d. **Exhibit D.** Description of Public Improvements
- e. **Exhibit E.** Project Cost Breakdown
- f. **Exhibit F.** Construction Schedule
- g. **Exhibit G.** Monetary Obligation Example
- h. **Exhibit H.** Pro Forma Financial Statement
- i. **Exhibit I.** Sample Look Back Calculation

ARTICLE II

DEVELOPER OBLIGATIONS

2.1. Acquire the Real Estate. Within one hundred fifty (150) days of the Signature Date, Developer shall acquire fee simple title to the Real Estate, if necessary.

2.2. Develop the Real Estate. Developer agrees to develop and improve the Real Estate by undertaking the Project, all in accordance with the Master Plan, the Project Cost Breakdown and the Construction Schedule.

- a. **Site Preparation.** Developer shall prepare the Real Estate for construction of the Project, including, without limitation, any necessary demolition or other removal of improvements or preparation currently located on the Real Estate.
- b. **Construction Schedule.** Developer shall commence or cause other entities to commence construction on the Project, as described in **Exhibit B**, on or before September 1, 2025 with Substantial Completion on or before December 1, 2026, all in accordance with the Construction Schedule set forth on **Exhibit F**.

- c. **Guaranty of Minimum Construction Costs.** Developer agrees that the buildings and improvements associated with the Project shall have an aggregate minimum construction cost of not less than eleven million five hundred eighty-two thousand four hundred fifty dollars (\$11,582,450.00). The Project Cost Breakdown is provided on **Exhibit E**.
- d. **Rights of Access.** Developer shall permit the representatives of the City to have access to the Project at all reasonable times during and following the construction when the City deems access necessary to ensure compliance with the terms and conditions of this Agreement including, but not limited to, access for inspection of all work being performed in connection with the Project as set forth in the Master Plan. No compensation shall be payable nor shall any charge be made in any form by any party for the access provided in this Agreement.; provided, however, if after construction the City deems access necessary, the City and Developer shall work in good faith to ensure minimal disruptions to Developer's tenants and their use of the Real Estate; and provided, further, that the City shall repair, at the City's own cost and expense, any damage done to the Real Estate in connection with its inspections conducted in accordance with this section.
- e. **Property for Public Streets and Public Improvements.** Developer shall dedicate and/or transfer or convey all public streets, public rights-of-way and all necessary public sewer and water utilities within the Real Estate, as depicted in the Master Plan, as finalized, to the City at no cost to the City.
- f. **Master Plan.** Developer shall submit a Master Plan setting forth all the details of construction and development to the Commercial and Multi-Family Design Review Committee for review and approval. Said Master Plan shall conform in all material respects to the provisions of this Agreement, all applicable federal, state and local laws, ordinances, rules and regulations. The City Planner may determine, in the City Planner's reasonable discretion, and in writing whether one or more of the above requirements is applicable to the Project's Master Plan.

2.3. Local Subcontractors. It is agreed by Developer that Developer shall engage local subcontractors, workers as well as local suppliers for material. The term subcontractor is as defined in Section 66.0901(1)(d), Wis. Stat. The word, "local," shall mean that the subcontractors and suppliers of material have their principal place of business within the City of La Crosse or within a seventy-five (75) mile radius of the City of La Crosse, Wisconsin. The Developer further agrees to provide to the City Engineer a list of all subcontractors and it further agrees that eighty percent (80%) of all work performed by subcontractors for construction shall be performed by subcontractors located within the City or seventy-five (75) miles of the City of La Crosse. In determining whether the eighty percent (80%) threshold has been met, the parties shall measure based upon the dollar values of said work. If Developer does not meet this requirement, it may request a waiver from the City Engineer providing reasons for the request of the same. This Section does not apply to fixtures, furnishings and equipment.

2.4. Compliance with Planning and Zoning; Use. Developer, at its own expense, shall obtain all approvals, permits and licenses as may be required by any governmental or non-governmental entity in connection with the Project. Any conditions imposed on Developer to obtain any approval, permit or license must be acceptable to the City. Developer will not initiate, approve, consent to or participate in any change or modification of the zoning in effect for the Real Estate or any portion thereof, without the City's prior written consent. No property within the Real Estate shall be used for any use other than as set forth in the Master Plan and this Agreement and as approved by the City, including any conditions attendant with such approval, unless such use is further approved by the City under its normal zoning, review and approval procedures.

2.5. Maintenance and Repair. Developer agrees that at all times after construction of the Project, it will keep and maintain the Real Estate and the Project in good condition and repair.

2.6. Taxes. It is understood that the land, improvements and personal property resulting from the Project shall be subject to property taxes. Developer shall pay when due all federal, state and local taxes in connection with the Real Estate and all operating expenses in connection with the Real Estate and Project.

- a. Annual PILOT.** In the event that some or all of the Real Estate is or becomes exempt from general property taxes under Chapter 70, Wis. Stat., as amended or superseded, or by any other statute, provision or reason, then Developer shall make an annual payment to the City in lieu of taxes ("Annual PILOT") for the services, improvements or facilities furnished to the Real Estate by the City and other taxing jurisdictions during the term of the Annual PILOT (as set forth below). The amount of the Annual PILOT shall be computed and determined by the City Assessor by multiplying the fair market value (using tax assessment definitions, rules and procedures, including those applicable to low-income housing tax credit properties – i.e., using only the income approach to valuation and capping rent in accordance with HUD-published rent schedules) of the tax-exempt portion of such property by the total tax rate of all taxing jurisdictions as shown on tax bills issued to taxpayers in the City. Developer or the then current owner of the tax-exempt property, its successors or assigns shall pay the Annual PILOT within sixty (60) days of receipt. Developer shall have the right to appeal the determination of the City Assessor to the City Council. Any appeal shall specifically state the reasons, in writing, why the amount due as provided by the City Assessor is in error; and during such appeal the timeline for making the Annual PILOT payment shall be tolled pending completion of the appeal. The parties agree that the Annual PILOT shall survive for a period of twenty (20) years or the life of the TID #11 or TID #17, whichever is longer. Notwithstanding the foregoing, the Developer or its successors shall not be responsible for any Annual PILOT resulting from the Real Estate or a portion thereof becoming tax exempt due to the use of eminent domain by the United States or some other governmental entity.
- b. Guarantee.** As an additional inducement and in consideration for the City entering into this Agreement, Developer guarantees faithful performance and compliance with all the terms, covenants, conditions and obligations to be kept and performed by Developer contained in this Agreement, including, without limitation, the obligation that the Project shall have an assessed value of not less than six million three hundred ninety-nine thousand four hundred dollars (\$6,300,400.00) beginning in tax year 2028 and for a period of twenty (20) years or the life of TID #11 or TID #17, whichever is longer. Developer agrees that this minimum assessed value on the Project shall remain a lien on the Real Estate and shall run with the land for a period of twenty (20) years or the life of TID #11 or TID #17, whichever is longer.
- c. Deficiency PILOT.** In the event the assessed value of the Project is less than six million three hundred ninety-nine thousand four hundred dollars (\$6,399,400.00) as of January 1, 2028, or for any tax year thereafter for a period of twenty (20) years or the life of TID #11 or TID #17, whichever is longer, then the Developer or the then current owner, or its successors or assigns agrees to pay a Deficiency PILOT to the City within sixty (60) days of receipt. Said Deficiency PILOT shall be calculated by first determining the difference between the guaranteed assessed value of the Project as provided in Section 2.6(b) of this Agreement less the actual assessed value of the Project for the tax year at issue, and multiplying said difference by the total tax rate of all taxing jurisdictions as shown on tax bills issued to taxpayers in the City. This requirement shall be a lien running with the land

for a period of twenty (20) years or the life of TID #11 or TID #17, whichever is longer.

- d. **Special Charge.** In the event there is a lack of compliance for payment of the Annual PILOT or Deficiency PILOT, then the City, in addition to any other remedy available at law or in equity, may levy a special charge or assessment under Section 66.0627, Wis. Stat., prior to any first mortgage lien on the property for the delinquent amount as calculated herein to enable the City to enforce performance of the Developer's obligations. The owners of the Real Estate and their successors and assigns further agree that they waive any objection to the City making said special charge or assessment; however, they still retain their right to object to the accuracy and amount of the special charge or assessment.

2.7. Transfer or Sale of Real Estate.

- a. **Notice of Intent to Transfer.** No property within the Real Estate may be sold, transferred, or otherwise conveyed unless the Developer first provides to the City written notice of intent to transfer the property at least forty-five (45) days before the sale, transfer or conveyance is to occur. This Section shall not apply to nor restrict a transfer to Developer's financing entity, e.g. placing a mortgage on the Real Estate nor a residential or commercial lease agreement for individual residential living units, individual commercial lease spaces, or parking spaces. This section does not prevent Developer from transfers of its beneficial interests, including specifically (i) the transfer of up to 99.99% of Developer's membership interests to one or more low-income housing tax credit investors (whether singular or plural, the "Investor Member"); (ii) the transfer of the managing member interests to the Investor Member in accordance with Developer's operating agreement, as amended and restated from time to time; (iii) the transfer of the managing member interests so long as the managing member remains owned or controlled by Couleecap, Inc.; or (iv) the transfer of the Investor Member's interests to Couleecap, Inc. or an entity under its control on or after the expiration of the tax credit period as defined in Section 42 of the Internal Revenue Code.
- b. **No Transfer to Exempt Entities.** No property within the Real Estate may be sold, transferred or conveyed to, or leased or owned by any entity or used in any manner which would render any part of the Real Estate exempt from property taxation, unless the purchaser, transferee, lessee or owner first executes a written agreement satisfactory to the Economic and Community Development Commission providing for payments in lieu of taxes to the City. For the avoidance of doubt, the parties agree and acknowledge that Couleecap, Inc. or an entity entirely owned by it is expected to become the beneficial owner of the Real Estate. Couleecap, Inc. is the beneficial owner of Developer and, in such capacity, is aware and agrees to the PILOT provisions contained herein.
- c. **Assignees and Transferees Bound by Agreement.** Any assignee or purchaser or transferee of any portion of the Real Estate shall be bound by the terms and conditions of this Agreement, which shall run with the land and be binding upon all such assignees, purchasers and transferees. The Developer shall not sell or transfer any portion of the Real Estate to any entity unless and until the Developer has provided the City with written evidence satisfactory to the Economic and Community Development Commission that such assignee or entity has agreed in writing to be bound by the terms of this Agreement. Any such sale, transfer or conveyance of any

portions of the Real Estate shall not relieve the Developer of its obligations hereunder.

- d. **Subdivision.** Property within the Real Estate shall not be further subdivided without approval of the City.
- e. **Restrictive Covenant.** Developer shall place a restrictive covenant on the Real Estate prohibiting the Real Estate from being exempt from property taxes in substantially the same form as **Exhibit C**. Likewise, Developer shall place a restrictive covenant on any condominium unit or townhome prohibiting it from being exempt from property taxes in substantially the same form as **Exhibit C**.

2.8. Easements. Developer shall grant the City or any public utility such easements as reasonably necessary for public improvements, infrastructure, ingress or egress, utilities, lighting or landscaping or any other need necessary to effectuate development of the Real Estate in accordance with the Master Plan at no cost to the City.

2.9. Insurance. For a period of twenty (20) years or the life of TID #11 or TID #17, whichever is longer, Developer shall maintain, and shall require that any purchasers or transferees of any portion of the Real Estate maintain, insurance in such amounts and against such risks both generally and specifically with respect to the Real Estate, as are customarily insured against in developments of like size, kind and character, including customary builders risk insurance during construction and customary casualty, property and liability insurance, with deductibles in accordance with reasonable industry practice. Notwithstanding, Developer shall carry casualty insurance for the Project at not less than the replacement value and further agrees and covenants to apply, and to require any purchasers or transferees of any portion of the Real Estate to apply, any and all insurance proceeds to rebuild the Project, maintain the Project and Real Estate and to name the City as an additional insured to the extent of this covenant provided in this Section. Developer shall provide to the City certificates of all such insurance. Any lender who holds a lien on the Project shall agree to these obligations to rebuild the Project.

2.10. Indemnity. Developer shall indemnify and hold harmless the City, its officers, employees and authorized representatives, ("Indemnified Party"), from and against any and all liabilities, including, without limitation, remediation required by any federal or state agency having jurisdiction, losses, damages, costs, and expenses, including reasonable attorney fees and costs, arising out of any third-party claims, causes of action, or demands made against or suffered by the Indemnified Party on account of this Agreement, unless such claims, causes of action, or demands: (a) relate to the Indemnified Party failing to perform its obligations to Developer; or (b) arise out of any willful misconduct of the Indemnified Party. At the Indemnified Party's request, Developer shall appear for and defend the Indemnified Party, at Developer's expense, in any action or proceeding to which the Indemnified Party may be made a party by reason of any of the foregoing.

2.11. Utilities.

- a. **Other Utilities.** Developer shall be responsible for, pay for and cause electrical power, telephone facilities, cable TV lines, and natural gas facilities to be installed in such a manner as to make proper and adequate service available to each building in the Project, as described in the Master Plan. Plans indicating the proposed location of each such utility to service the Project shall be shown on the Master Plan and construction plans to be provided to the City Plan Commission for approval prior to the installation of the utility.

- b. **Water and Sewer.** Other than as set forth on Exhibit D, Developer shall be solely

responsible for and shall pay all costs of connecting water and sewer service from the public streets, alley, right of way, or other approved infrastructure to the buildings within the Real Estate.

- c. **Utilities to be Dedicated to the Public.** As shown in Exhibit D, developer shall fund “Developer” Public Infrastructure.

2.12. Restrictions. Developer agrees to neither use nor allow a third-party to use the Real Estate for adult entertainment, pawnshops, mini-warehouses, car title loan business, payday lenders, tattoo parlors, and/or off-premise signs for a period of twenty (20) years or the life of TID #11 or TID#17, whichever is longer. “Payday lenders” and “car title loan business” shall exclude banks and credit unions. This shall be a deed restriction against the Real Estate and shall run with the land.

2.13. Record Retention. Developer understands and acknowledges that the City is subject to the Public Records Law of the State of Wisconsin. As such, Developer agrees to retain all records as defined by Wisconsin Statute § 19.32(2) applicable to this Agreement for a period of not less than seven (7) years. Likewise, Developer agrees to assist the City in complying with any public records request that it receives pertaining to this Agreement. Additionally, Developer agrees to indemnify and hold the City, its officers, employees and authorized representatives harmless for any liability, including without limitation, reasonable attorney fees relating to or in any way arising from Developer’s actions or omissions which contribute to the Indemnified Party’s inability to comply with the Public Records Law. In the event Developer decides not to retain its records for a period of seven (7) years, then it shall provide written notice to the City whereupon the City shall take custody of said records assuming such records are not already maintained by the City. This provision shall survive termination of this Agreement.

2.14. Repair and/or Replacement of Infrastructure. Developer shall repair and/or replace any damaged City infrastructure or other City property that may occur as a result of the Project, including, without limitation, sidewalks, landscaping, asphalt and light poles. Said repair and/or replacement shall be to the satisfaction of the Board of Public Works.

2.15. Look Back. Developer shall provide documentation, as requested by the City at no cost, in order to allow the City, or its consultant, to review, analyze and make adjustments to the cash grant described in accordance with Section 3.1.

ARTICLE III

CITY OBLIGATIONS

3.1. Project Assistance. Developer agrees to advance funds on behalf of the City for project costs, which the City shall reimburse through Contributions under the terms of this Agreement. Developer has requested a cash grant from TID #11 and TID #17, and the City may be required to make Contributions to Developer, up to an aggregate maximum seven hundred ninety-seven thousand dollars (\$797,000.00), subject to change based on the provision of this Agreement, with funds to be made available upon verification of the Tax Increment increase as defined herein. The City shall disburse its Contribution as required by its Monetary Obligation to Developer in accordance with this Agreement. ~~More specifically,—~~

- a. **Pay-As-You-Go Payment Schedule.** Effective September 1, 2027, the City shall be obligated to pay a Contribution calculated as the Tax Increment resulting from an increase in real property tax base from the Project not to

exceed the lesser of: (a) an aggregate seven hundred ninety-seven thousand dollars (\$797,000.00), or (b) the sum of eighty-five percent (85%) of the actual Tax Increment resulting from an increase in real property tax base from the Project for tax years 2026-2035. An illustrative example of the payment of cash grants is attached as Exhibit G.

- b. ~~Intentionally omitted.~~ In addition to the payment noted in Section 3.1(a), and unless the City contracts directly with a general contractor the City shall provide a dollar for dollar payment to Developer for the "City" Public Improvements completed by the Developer in accordance with Exhibit D. Such payment shall be made as a reimbursement, after Developer provides written evidence to the City that the Public Improvements have been completed and have been dedicated to the City.
- c. Review of Project Assistance. The financial assistance to the Developer under this Agreement is based on certain assumptions regarding likely costs and expenses associated with constructing the Project as set forth in Exhibit E attached hereto. The City and Developer agree that the Developer's representations of the Total Development Costs will be reviewed at the time of completion of construction of the Project. Upon submitting the request for the Certificate of Completion under Section 3.2, the Developer will submit the final sources and uses for the Project in the form set forth in Exhibit E based on actual Total Development Costs as incurred and documented. If the actual Total Development Costs at completion decrease by more than one hundred thousand dollars (\$100,000.00) below the amount shown in Exhibit E, the Monetary Obligation will be reduced by 50% of the amount of the decrease in the Total Development Costs which exceeds \$100,000. Calculated in the manner the City, or its consultant, determines consistent with the sample look back calculation attached as Exhibit I, as approved by the City.
- d. Definitions. For the purposes of this Section, the following terms have the following meanings:

"Total Development Costs" means the total expenditures incurred to complete development of the Project inclusive of land acquisition, hard construction costs, soft costs and financing costs as approved by Developer's senior construction debt lender.

3.2. Certificate of Completion. Upon completion of the improvements by the Developer and review of the improvements by the City, the City shall provide the Developer, upon request, with an appropriate recordable instrument certifying that the improvements have been made in accordance with this Agreement and the Master Plan, and any amendment or modifications thereto.

3.3. Assistance with Zoning Changes. If necessary, the City Planning Department shall initiate the process in accordance with the City's zoning code to attempt to provide appropriate zoning for the Real Property being developed by Developer so that the zoning for the Project is in accordance with the City's comprehensive plan for the area.

3.4. Performance Subject to Required Government Approvals. The Developer acknowledges that various of the specific undertakings of the City described in this Article III may require approvals from the

City Council (and other City bodies) and other public bodies, some of which approvals may require public hearings and other legal proceedings as conditions precedent thereto. The City's agreements under this Article III are conditioned upon the obtaining of all such approvals in the manner required by law. The City cannot assure that all such approvals will be obtained; however, they agree to use good faith efforts to obtain them on a timely basis.

3.5. Subsequent Phases. Any subsequent development of the Real Estate will be addressed in a separate development agreement.

3.6 Alley Vacating and Dedication. The City shall cause the vacation of that certain alley located on the Real Estate, as shown in the depiction on Schedule D-1, which shall be accomplished on or about the date of construction commencement contained in Exhibit F. Simultaneously, the City shall accept a dedication of real property to replace the vacated alley, also as shown in the depiction on Schedule D-1.

ARTICLE IV

CONDITIONS PRECEDENT TO CITY OBLIGATIONS

The City's obligations under this Agreement are conditioned upon the provisions contained herein. If all conditions contained in this Article are satisfied, or if the City waives in writing said conditions, on or before December 31, 2026, then the conditions shall be deemed satisfied. Otherwise, the City, at its option, in its absolute and sole discretion, may at any time thereafter terminate this Agreement by giving notice in writing thereof to Developer. In such event, this Agreement shall be terminated and no party shall have any further liability or obligation to the other hereunder. All submissions given by Developer to the City to satisfy the conditions contained in this Article must be satisfactory in form and content to the City.

4.1. Existence. Developer shall have provided a certified copy of Developer's formation documents and a good standing certificate issued by the appropriate governmental authority of the state of Developer's incorporation.

4.2. Incumbency; Due Authorization. Developer shall have provided a certificate of incumbency and resolutions, which resolutions shall provide that Developer has been duly authorized to enter into this Agreement and all other agreements, documents and contracts required to be executed in connection with the transactions which are the subject of this Agreement.

4.3. No Violation or Default. Developer shall not be in violation of any of its governing documents or other contracts. Developer shall not be in material default under the terms of any other agreement or instrument to which Developer is a party or an obligor. Developer shall be in material compliance with all provisions of this Agreement.

4.4. Financing Commitment. Developer shall obtain and provide to the City: (1) a written financial commitment from a conventional lender, (2) written construction contract to construct and finance the Project, (3) other written proof of financial resources to construct the Project, or (4) any combination thereof. Said documents shall demonstrate sufficient funds for the construction, furnishing, equipping and installation of the Project in an amount not less than eleven million five hundred eighty-two thousand four hundred fifty dollars (\$11,582,450.00). Said documents shall be acceptable in all respects to City, in the sole and absolute discretion of the Finance Director and Economic and Community Development Commission. Developer shall have closed the loan, or be prepared to close the loan, which is the subject of the financing commitment and in connection therewith, Developer shall have provided copies of the documents to be executed in connection with the construction loan to the City.

4.5. Plans and Specifications. Developer shall have provided the Master Plan, which Master Plan is acceptable in all respects to the City and has been approved by the City Plan Commission.

4.6. Survey. Developer shall provide an ALTA survey of the Real Estate certified to the City by a Wisconsin registered land surveyor, showing the location of all improvements now prior to commencing construction and to be located thereon after said improvements are built pursuant to the Master Plan, all easements, pathways, exterior boundary lines, walkways, private and public streets, adjoining public streets and alleys, utilities, exits and entrances, all curbs, gutters, sidewalks, medians and lighting. The survey must show a state of facts acceptable to the Board of Public Works.

4.7. Insurance. Developer shall have delivered to the City certificates of all insurance required under this Agreement showing the City as a named insured. Said insurance shall not be cancelled, non-renewed nor have any material changes without providing thirty (30) days advanced written notice to the City.

4.8. Amendment of TID #11, TID #17 and TID Project Plan. The amendment of TID #11, TID #17 and TID Project Plan shall be approved by the appropriate governmental entities, if necessary.

4.9. Financial Statements. Developer shall present (but not leave a copy) to the City's Finance Director of the most recent audited financial statements by a certified public accountant for Developer and any successors or assigns or transferees of Developer and each of the members of any of the foregoing and each member of the Board of Directors (or equivalent) of any of the foregoing. The financial statements must show a financial condition acceptable to the City, in the judgment of the City's Finance Director, to be sufficient to carry out the duties of this Agreement. The financial statements must be in form and content acceptable to the City, in the judgment of the City's Finance Director. In the event the financial statements are in unacceptable form and content, the City's Finance Director may identify alternative financial records for production by Developer.

4.10. Acquisition of Real Estate. If necessary, the Developer shall have acquired fee simple title to the Real Estate in accordance with Section 2.1 of this Agreement. If this condition is not met, then the Agreement shall terminate without further action of the City or Developer. Upon such termination of this Agreement, the parties shall have no further obligations to each other hereunder.

4.11. Approvals and Permits. The Developer shall at its expense have obtained all approvals and permits necessary to undertake the Project on the Real Estate, including but not limited to, site plan review, zoning approvals, and any other local, state or federal approvals or permits.

4.12. Compliance with Law. Developer shall comply in all material respects with any and all applicable federal, state and local laws, regulations and ordinances.

4.13. Compliance with Agreements. Developer shall be in compliance with this Agreement and all other agreements it may have with the City.

ARTICLE V

CONDITIONS PRECEDENT TO DEVELOPER'S OBLIGATIONS

Developer's obligations under this Agreement are conditioned upon the following:

5.1. Acquisition of Real Estate. If necessary, the Developer shall have acquired fee simple title to

the Real Estate in accordance with Section 2.1 of this Agreement. If this condition is not met, then the Agreement shall terminate without further action of the City or Developer. Upon such termination of this Agreement, the parties shall have no further obligations to each other hereunder.

5.2. Amendment of TID #11, TID #17 and TID Project Plan. The amendment of TID #11, TID #17 and TID Project Plan shall be approved by the appropriate governmental entities, if necessary.

5.3 Vacation of Alley and Dedication of New Alley. The City shall vacate the alley and accept dedication of a new alley, all as more particularly described in Section 3.6 hereof.

5.4 Public Improvements. At the request of Developer, the City shall enter into an agreement directly with a contractor selected by Developer to complete the Public Improvements. In the event such agreement is entered into, the City shall have no obligation

ARTICLE VI

REPRESENTATIONS, WARRANTIES AND COVENANTS

Developer represents and warrants to and covenants with the City, and the City represents and warrants to and covenant with Developer as respectively follows:

6.1. Financial Statements / No Material Change. All copies of financial statements, documents, contracts and agreements which Developer has furnished to the City, or its agents are true and correct. There has been no material change in the business operations of Developer since the date of the last financial statement furnished to the City, except pursuant to the conduct of its ordinary business.

6.2. Taxes. Developer has paid, and shall pay when due, all federal, state and local taxes, and shall promptly prepare and file returns for accrued taxes. If necessary, Developer shall pay when due all payments in lieu of taxes and special charges required under the terms of this Agreement.

6.3. Compliance with Zoning. Developer covenants that the Real Estate, upon completion of the Project, will conform and comply in all respects with applicable federal, state, local and other laws, rules, regulations and ordinance, including, without limitation, zoning and land division laws, building codes and environmental laws.

6.4. Payment. All work performed and/or materials furnished for the Project, other than the Public Improvements, shall be fully paid for by Developer.

6.5. Certification of Facts. No statement of fact by Developer contained in this Agreement and no statement of fact furnished or to be furnished by Developer to the City pursuant to this Agreement contains or will contain any untrue statement of a material fact or omits or will omit to state a material fact necessary in order to make the statements herein or therein contained not misleading.

6.6. Good Standing. Developer is a limited liability company duly formed and validly existing and in good standing under the laws of the State of Wisconsin and has the power and all necessary licenses, permits and franchises to own its assets and properties and to carry on its business. Developer is duly licensed or qualified to do business and in good standing in the State of Wisconsin and all other jurisdictions in which failure to do so would have a material adverse effect on its business or financial condition.

6.7. Due Authorization. The execution, delivery and performance of this Agreement and all other agreements requested to be executed and delivered by Developer hereunder have been duly authorized by all necessary corporate action of Developer and constitute valid and binding obligations of Developer, in

accordance with their terms, subject only to applicable bankruptcy, insolvency, reorganization, moratorium, general principles of equity, and other similar laws of general application affecting the enforceability of creditors' rights generally. The City represents and warrants to Developer that they have the power, authority and legal right to enter into all of the transactions and to perform all of the covenants and obligations required to be entered into or performed by City under this Agreement.

6.8. No Conflict. The execution, delivery, and performance of Developer's obligations pursuant to this Agreement will not violate or conflict with Developer's Articles of Organization or Operating Agreement or any indenture, instrument or material agreement by which Developer is bound, nor will the execution, delivery, or performance of Developer's obligations pursuant to this Agreement violate or conflict with any law applicable to Developer.

6.9. No Litigation. There is no litigation or proceeding pending or threatened against or affecting Developer or the Project or any guarantor that would adversely affect the Project, Developer or any guarantor or the priority or enforceability of this Agreement, the ability of Developer to complete the Project or the ability of Developer to perform its obligations under this Agreement.

6.10. Certification of Costs. Developer covenants the Project Cost Breakdown accurately reflects all costs of the Project (other than costs associated with the Public Improvements, if any) that will be incurred by Developer in the completion and construction of the Project, and the City shall be entitled to rely on the Project Cost Breakdown submitted by Developer. Developer knows of no circumstances presently existing or reasonably likely to occur which would or could result in a material adverse variation or deviation from the Project Cost Breakdown.

6.11. No Default. No default, or event which with the giving of notice or lapse of time or both would be a default, exists under this Agreement, and Developer is not in default (beyond any applicable period of grace) of any of its obligations under any other material agreement or instrument to which Developer is a party or an obligor.

6.12. Fees and Commissions. The City shall not be liable for any broker fees or commissions incurred by the Developer in connection with any transactions contemplated by this Agreement.

6.13. Financing Accommodation.

- a. **No Assignment.** Developer, its successors, assigns and transferees will not transfer, assign, convey or encumber, nor will Developer, its successors, assigns or transferees agree to or permit the transfer, assignment, conveyance or encumbrance of the Project or any of the Real Estate except as provided in Sections 2.7 and 8.1 of this Agreement. ~~The principals, shareholders, members, managers and/or partners of Developer, its successors, assigns and transferees will not transfer, assign, convey or encumber their respective interests in Developer, its successors, assigns or transferees, as the case may be, if such anticipated transfer, assignment, conveyance or encumbrance would result in the original members of the Developer having less than majority voting control of the Developer, without providing written notification thereof to the City at least forty five (45) days prior to the date the proposed transfer, assignment, conveyance or encumbrance is to take effect. Any attempt to so act shall be void and have no effect.~~
- b. **No Subordination.** The City shall not subordinate any interest they have in this Agreement for any reason, unless it is determined to be in the best interests of the City. Any requests for subordination shall be submitted, in writing, explaining why the

request is in the best interests of the City. Said request shall be received by the City not less than forty-five (45) days prior to any City Council action on said request. Said subordination may only be approved by the City Council.

- c. **Developer Financing.** Notwithstanding this Section 6.13, Developer may transfer, assign or encumber the Real Estate in order to secure financing for the acquisition of the Real Estate and/or for construction of the Project. Said lender may place a lien and/or mortgage on the Real Estate, including any renewals, extensions, replacements, modifications or refinancing. At the request of Developer's lender, the City will negotiate a collateral assignment of monetary obligation in favor of said lender, as it relates to the financing necessary to fund construction costs that will be repaid by the increment payments contained herein. Likewise, the City will negotiate in good faith such subordination agreements and/or estoppel certificates related to this Agreement as Developer's lender(s) or Investor Member may request from time to time. Lender's mortgage and/or loan may be transferred or assigned by lender in a secondary market without prior City Council approval. In the event of a foreclosure against Developer by lender or a deed transfer in lieu of foreclosure, lender shall assume the duties, obligations and rights of Developer under this Agreement. In such a circumstance, lender may transfer or assign this Agreement and its accompanying duties, obligations and rights, to another developer without prior City Council approval. In any circumstance, lender shall provide reasonable notice to City of such actions. This Section shall survive any foreclosure proceeding.

6.14. Commencement and Completion. Developer shall commence and complete construction of the Project in accordance with Section 2.2 above.

6.15. Compliance with Plans. Developer will cause the Project to be constructed materially in accordance with the Master Plan and will promptly correct any defects in construction or substantial deviations from the Master Plan.

6.16. No Changes. Developer shall not, without the City's prior written consent: (i) consent to any amendments to any documents delivered to City pursuant to this Agreement; that would have the effect of impairing the City's rights or the substantially impairing the value of the Project; or (ii) approve any changes in the Project or the Master Plan or permit any work to be done pursuant to any changes; ~~(iii) modify or amend, to the extent such changes materially impair the value of~~ the Project ~~Cost Breakdown as built.~~

6.17. Inspection of Project. Developer shall permit City, its inspectors and/or its construction consultant, at all reasonable times and at no cost: (a) to inspect the Project and all matters relating to the development thereof, and (b) on reasonable notice, to inspect all of Developer's books and records pertaining to the Project, provided the City can ensure such books and records do not become subject to open records requests to fullest extent permitted by Wisconsin law. City assumes no obligation to Developer for the sufficiency or adequacy of such inspections, it being acknowledged that such inspections are made for the sole and separate benefit of City. The fact that City may make such inspections shall in no way relieve Developer from its duty to independently ascertain that the construction of the Project and Developer's compliance with this Agreement is being completed in accordance with the approved Master Plan and the terms and conditions of this Agreement.

6.18. Notification. Developer shall:

- a. Within five (5) business days after the occurrence of any default, notify City in writing of such default and set forth the details thereof and the action which is being taken or

proposed to be taken by Developer with respect thereto.

- b. Promptly notify City of the commencement of any litigation or administrative proceeding that would cause any representation and warranty of Developer contained in this Agreement to be untrue.
- c. Notify City and provide copies, immediately upon receipt, of any notice, pleading, citation, indictment, complaint, order or decree from any federal, state or local government agency or regulatory body, asserting or alleging a circumstance or condition that requires or may require a financial contribution by Developer or any guarantor or an investigation, clean-up, removal, remedial action or other response by or on the part of Developer or any guarantor under any environmental laws, rules, regulations or ordinances or which seeks damages or civil, criminal or punitive penalties from or against Developer or any guarantor for an alleged violation of any environmental laws, rules, regulations or ordinances.

6.19. Unrelated Activity. It is the intention of Developer and City that the sole business of Developer shall be the construction, ownership and operation of the Project, and Developer shall take no action inconsistent with such intention, including without limitation the acquisition by Developer of real or personal property unrelated to the Project, investment by Developer in the assets or stock of any other person, joining by Developer with any other person in any partnership or joint venture, or the creation or incurring of indebtedness by Developer unrelated to the Project.

6.20. No Indebtedness. Except in the ordinary course of business and except for funds borrowed to provide the financing for the purchase of the Real Estate or the construction of the Project, Developer shall not incur, create, assume, permit to exist, guarantee, endorse or otherwise become directly or indirectly or contingently responsible or liable for any indebtedness. "Indebtedness" shall mean any liability or obligation of Developer: (a) for borrowed money or for the deferred purchase price of property or services (excluding trade obligations incurred in the ordinary course of business); (b) as lessee under leases that have been or should be capitalized according to generally accepted accounting principles; (c) evidenced by notes, bonds, debentures or similar obligations; (d) under any guaranty or endorsement (other than in connection with the deposit and collection of checks in the ordinary course of business), and other contingent obligations to purchase, provide funds for payment, supply funds to invest in any entity, or otherwise assure a creditor against loss; or (e) secured by any security interest or lien on assets of Developer, whether or not the obligations secured have been assumed by Developer.

6.21. Correction of Defects. Developer shall, upon demand of City (and City may rely on the advice of its inspector and shall not be liable for any errors in such advice), correct any material defect, structural or otherwise, in the Project or any departure from the Master Plan.

6.22. Not for Speculation. Developer represents and warrants that its acquisition of the Real Estate and its undertakings pursuant to this Agreement shall be for the sole and express purpose of the redevelopment of the Real Estate consistent with the Master Plan and the terms and conditions of this Agreement and are not for the speculation in land holdings.

ARTICLE VII

DEFAULT

7.1 Developer's Default.

- a. **Remedies.** In the event (i) any representation or warranty of Developer herein or in any agreement or certificate delivered pursuant hereto shall prove to have been false in any material respect when made or (ii) of Developer's default hereunder which is not cured within ~~thirty-sixty~~ (30/60) days after written notice thereof to Developer (provided, however, if the default is of a nature that it is not curable within 60 days after written notice, then such longer period of time not to extend beyond 180 days so longer as Developer diligently pursues a cure within 60 days after receipt of written notice from the City), the City shall have all rights and remedies available under law or equity with respect to said default. In addition, and without limitation, the City shall have the following specific rights and remedies:
- (1) With respect to matters that are capable of being corrected by the City, but only after providing to Developer (and its senior lender and Investor Member) 10 days written notice of City's intent to cure, then the City may at its option enter upon the Real Estate for the purpose of correcting the default and the City's reasonable costs in correcting same, plus interest at one and one-half percent (1.5%) per month, shall be paid by Developer to the City immediately upon demand;
 - (2) Injunctive relief;
 - (3) Action for specific performance;
 - (4) Action for money damages;
 - (5) Repayment by Developer of any incentives and damages via special assessment or special charge under Section 66.0627, Wis. Stat., prior to any first mortgage lien on the property. The owners of the Real Estate and their successors and assigns further agree that they waive any objection to the City making said special charge or assessment; however, they still retain their right to object to the accuracy of the amount of the special charge or assessment;
 - (6) Any other remedy in this Agreement.
- b. **Reimbursement.** Any amounts expended by the City in enforcing this Agreement and the obligations of Developer hereunder, including reasonable attorney's fees, and any amounts expended by the City in curing a default on behalf of Developer, together with interest at one and one-half percent (1.5%) per month, shall be paid by Developer to the City upon demand and shall constitute a lien against the Real Estate until such amounts are reimbursed or paid to the City, with such lien to be in the nature of a mortgage and enforceable pursuant to the procedures for foreclosure of a mortgage.
- c. **Remedies are Cumulative.** All remedies provided herein shall be cumulative and the exercise of one remedy shall not preclude the use of any other or all of said remedies.
- d. **Failure to Enforce Not a Waiver.** Failure of the City to enforce any provision contained herein shall not be deemed a waiver of the City's rights to enforce such provision or any other provision in the event of a subsequent default.
- e. **Investor Member's and Senior Lender's Right but not Obligation to Cure.** The City shall provide copies of written notices required under this Section 7.1 to

Developer's Investor Member and senior lender, if and to the extent Developer has provided such information to the City from time to time. The City will accept any cure proffered by Developer's Investor Member and/or senior lender as if such cure was proffered directly by Developer. The City agrees and acknowledges that the Investor Member and senior lender have the right, but not the obligation, to cure any such defaults on behalf of Developer.

7.2 City's Default.

- a. **Remedies.** In the event of the City's default hereunder which is not cured within sixty (60) days after written notice thereof to the City (provided, however, if the default is of a nature that it is not curable within 60 days after written notice, then such longer period of time not to extend beyond 180 days so long as Developer diligently pursues a cure within 60 days after receipt of written notice from the City), Developer shall have all rights and remedies available under law or equity with respect to said default. In addition, and without limitation, Developer shall have the following specific rights and remedies:
 - (1) Injunctive relief;
 - (2) Action for specific performance; and
 - (3) Action for money damages.
- b. **Remedies are Cumulative.** All remedies provided herein shall be cumulative and the exercise of one remedy shall not preclude the use of any other or all of said remedies.
- c. **Failure to Enforce Not a Waiver.** Failure of Developer to enforce any provision contained herein shall not be deemed a waiver of Developer's rights to enforce such provision or any other provision in the event of a subsequent default.

7.3 Mediation of Disputes Required. Unless the parties agree otherwise, prior to litigation and as a condition precedent to bringing litigation, any party deeming itself aggrieved under this Agreement shall be obligated to request nonbinding mediation of the dispute. Mediation shall proceed before a single mediator. The parties shall split the costs of mediation equally. In the event of impasse at mediation, the aggrieved party may then commence an action. However, the parties shall be bound to agree to alternative dispute resolution as ordered by the Court.

ARTICLE VIII

MISCELLANEOUS PROVISIONS

8.1. Assignment. Except as provided in Sections 2.7 and 6.13, Developer may not assign its rights or obligations under this Agreement without the prior written consent of the City. Developer shall provide not less than forty-five (45) days advance written notice of any intended assignment.

8.2. Nondiscrimination. In the performance of work under this Agreement, Developer agrees not to discriminate against any employee or applicant for employment nor shall the development or any portion thereof be sold to, leased or used by any party in any manner to permit discrimination or restriction on the basis of race, religion, marital status, age, color, sex, sexual orientation, physical condition, disability, national origin or ancestry and that the construction and operation of the Project shall be in compliance with all effective laws,

ordinances and regulations relating to discrimination on any of the foregoing grounds.

8.3. No Personal Liability. Under no circumstances shall any trustee, officer, official, commissioner, director, member, partner or employee of the City, have any personal liability arising out of this Agreement, and no party shall seek or claim any such personal liability.

8.4. Force Majeure. No party shall be responsible to any other party for any resulting losses and it shall not be a default hereunder if the fulfillment of any of the terms of this Agreement is delayed or prevented by revolutions or other civil disorders, wars, acts of enemies, strikes, fires, floods, acts of God, adverse weather conditions, legally required environmental remedial actions, industry-wide shortage of materials, or by any other cause not within the control of the party whose performance was interfered with, and which exercise of reasonable diligence, such party is unable to prevent, whether of the class of causes hereinabove enumerated or not, and the time for performance shall be extended by the period of delay occasioned by any such cause; provided however that any such event of Force Majeure shall not be the basis of a delay of more than ninety (90) days.

8.5. Parties and Survival of Agreement. Except as otherwise expressly provided herein, this Agreement is made solely for the benefit of the parties hereto and no other person, partnership, association or corporation shall acquire or have any rights hereunder or by virtue hereof. All representations, warranties, and indemnifications contained herein shall survive the termination or expiration of this Agreement.

8.6. Implementation Schedule and Time of the Essence. All phases and schedules which are the subject of approvals, or as set forth herein, shall be governed by the principle that time is of the essence, and modification or deviation from such schedules shall occur only upon approval of the City. The Mayor, or in the Mayor's absence, the Council President, shall have the ability to postpone any deadline listed herein, up to a maximum ninety (90) days. The Economic and Community Development Commission shall otherwise oversee the day-to-day operations of this Agreement.

8.7. Notices. Any notice, demand, certificate or other communication under this Agreement shall be given in writing and deemed effective: (a) when personally delivered; (b) three (3) days after deposit within the United States Postal Service, postage prepaid, certified, return receipt requested; or (c) one (1) business day after deposit with a nationally recognized overnight courier service, addressed by name and to the party or person intended as follows:

To the City:

Attn: City
Clerk City of
La Crosse
400 La Crosse Street
La Crosse, Wisconsin 54601

with a copy to:

Attn: City Planner City of La Crosse
400 La Crosse Street
La Crosse, Wisconsin 54601

To the Developer:

Attn: Executive Director
Haven on Main, LLC
c/o Couleecap, Inc.
201 Melby Street
Westby, Wisconsin 54667

With copies to:

Attn: Joseph D. Shumow

Reinhart Boerner Van Deuren s.c.
22 East Mifflin Street, Suite 700
Madison, Wisconsin 53703

Attn: Asset Management (Haven on Main)
Cinnaire Fund for Housing Limited Partnership
42 1118 South Washington Street
Lansing, Michigan 48910

Attn: Asher Ball Kutak Rock LLP
1650 Farnam Street, The Omaha Building
Omaha, Nebraska 68102-2103

8.8. Governing Law. This Agreement shall be governed by the laws of the State of Wisconsin and shall be deemed to have been drafted through the combined efforts of parties of equal bargaining strength. Any action at law or in equity relating to this Agreement shall be instituted exclusively in the courts of the State of Wisconsin and venued in La Crosse County. Each party waives its right to change venue.

8.9. Conflict of Interest. Developer shall avoid all conflicts of interest or the appearance of a conflict of interest in the performance of this Agreement. Developer is familiar with the City's prohibition against the acceptance of any gift by a City officer or designated employee, which prohibition is found in Section 2-133 of the City of La Crosse Municipal Code. Developer agrees not to offer any City officer or designated employee any gift prohibited by said Code. The offer or giving of any prohibited gift shall constitute a material breach of this Agreement by Developer. In addition to any other remedies the City may have in law or equity, the City may immediately terminate this Agreement for such breach. No member, officer or employee of the City shall have any personal financial interest, direct or indirect, in this Agreement, nor shall any such member, officer or employee participate in any decision relating to this Agreement.

8.10. Execution in Counterparts. This Agreement may be executed in several counterparts, each which may be deemed an original, and all of such counterparts together shall constitute one and the same agreement.

8.11. Disclaimer Relationships. Developer acknowledges and agrees that nothing contained in this Agreement or any contract between Developer and the City or any act by the City or any third parties shall be deemed or construed by any of the parties or by third persons to create any relationship or third party beneficiary, principal or agent limited or general partnership or joint venture or of any association or relationship involving the City. It is understood and agreed that Developer, in the performance of the work and services of this Project shall not act as an agent or employee of the City and neither the Developer nor its officers, employees, agents, licensees, sublicensees, subcontractors shall obtain any rights to retirement benefits or the benefits which accrue to the City's employees and Developer hereby expressly waives any claim it may have to any such rights. Each party shall be responsible for its own separate debts, obligations and other liabilities.

8.12. Severability. Should any part, term, portion or provision of this Agreement or the application thereof to any person or circumstance be in conflict with any state or federal law or otherwise be rendered unenforceable, it shall be deemed severable and shall not affect the remaining provisions, provided that such remaining provisions can be construed in substance to continue to constitute the agreement that the parties intended to enter into in the first instance.

8.13. Termination. Except for Sections 2.10 (Indemnity), 2.6(a) (Annual PILOT), 2.7(e) (Restrictive Covenant), 2.13 (Record Retention) and 8.5 (Survival), which shall survive the termination of this Agreement, this Agreement and all obligations hereunder, shall terminate after twenty (20) years or the life of TID #18, whichever is

longer. This Agreement may also be terminated as provided in Article IV (Conditions Precedent to City), Article V (Conditions Precedent to Developer Obligations) and Section 8.9 (Conflict of Interest) hereof.

8.14. Memorandum of Agreement. Promptly upon full execution of this Agreement and prior to the recording of any mortgage or other security instrument against any portion of the Real Estate, the Developer agrees that the City may record this Agreement, or a memorandum thereof, with the Register of Deeds for La Crosse County, Wisconsin. Any such memorandum shall be in form and substance reasonably acceptable to the City and the Developer.

8.15. Covenants Running with Land. All of the covenants, obligations and promises of Developer set forth herein shall be deemed to encumber the Development and run with the land described in **Exhibit A** and shall bind any successor, assignee or transferee of Developer until such time as this Agreement is terminated.

8.16. Amendments. No agreement or understanding changing, modifying or extending this Agreement shall be binding upon another party unless in writing, approved and executed by the City and Developer.

8.17. Time Computation. Any period of time described in this Agreement by reference to a number of days includes Saturdays, Sundays, and any state or national holidays. Any period of time described in this Agreement by reference to a number of business days does not include Saturdays, Sundays or any state or national holidays. If the date or last date to perform any act or to give any notices is a Saturday, Sunday or state or national holiday, that act or notice may be timely performed or given on the next succeeding day which is not a Saturday, Sunday, or state or national holiday.

8.18. JURY TRIAL. THE PARTIES HEREBY WAIVE THEIR RESPECTIVE RIGHTS TO A JURY TRIAL ON ANY CLAIM OR CAUSE OF ACTION BASED UPON OR ARISING FROM OR OTHERWISE RELATED TO THIS AGREEMENT. THIS WAIVER OF RIGHT TO TRIAL BY JURY IS GIVEN KNOWINGLY AND VOLUNTARILY BY THE PARTIES AND IS INTENDED TO ENCOMPASS INDIVIDUALLY EACH INSTANCE AND EACH ISSUE AS TO WHICH THE RIGHT TO A TRIAL BY JURY WOULD OTHERWISE ACCRUE. EACH PARTY IS HEREBY AUTHORIZED TO FILE A COPY OF THIS SECTION IN ANY PROCEEDING AS CONCLUSIVE EVIDENCE OF THIS WAIVER BY THE OTHER PARTY.

8.19. Construction. This Contract shall be construed without regard to any presumption or rule requiring construction against the party causing such instrument to be drafted. The headings, table of contents and captions contained in the Agreement are for convenience only and in no way define, limit or describe the scope or intent of any of the provisions of this Agreement. All terms and words used in this Agreement, whether singular or plural and regardless of the gender thereof, shall be deemed to include any other number and any other gender as the context may require. In the event that any of the provisions, of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, the validity and enforceability of the remaining provisions or portions thereof shall not be affected.

8.20. Incorporation of Proceedings and Exhibits. All motions adopted, approvals granted, minutes documenting such motions and approvals, and plans and specifications submitted in conjunction with any and all approvals as granted by the City, including but not limited to adopted or approved plans or specifications on file with the City and further including but not limited to all exhibits as referenced herein, are incorporated by reference herein and are deemed to be the contractual obligation of Developer whether or not herein enumerated.

8.21. Entire Agreement. This writing including all Exhibits hereto, and the other documents and agreements referenced herein, constitute the entire Agreement between the parties with respect to the Project and all prior letters of intent or offers, if any, are hereby terminated. This Agreement, however, shall be deemed and read to include and incorporate such minutes, approvals, plans, and specifications, as referenced

in this Agreement, and in the event of a conflict between this Agreement and any action of the City, granting approvals or conditions attendant with such approval, the specific action of the City shall be deemed controlling.

8.22. Execution of Agreement. Developer shall sign, execute and deliver this Agreement to the City on or before the close of regular City Hall business hours forty-five (45) days after its final adoption by the City, whichever occurs later. Developer's failure to sign, execute and cause this Agreement to be received by the City within said time period shall render the Agreement null and void, unless otherwise authorized by the City. After Developer has signed, executed and delivered the Agreement, the City shall sign and execute the Agreement. The final signature date of the City shall be the signature date of Agreement ("Signature Date").

IN WITNESS HEREOF, the parties have executed and delivered this Agreement effective the date set forth next to the City's signature below.

Dated this ____ day of ____, 2025
Haven on Main, LLC

Dated this ____ day of ____, 2025
City of La Crosse

Hetti Brown, Executive Director of Couleecap, Inc., the
Manager of the Managing Member

Shaundel Washington-Spivey, Mayor

Subscribed and sworn to before me this
____ day of ____, 2025.

Nikki Elsen, City Clerk
Subscribed and sworn to before me this
____ day of ____, 2025.

Notary Public, State of Wisconsin
My Commission: _____

Notary Public, State of Wisconsin
My Commission: _____

This Document Was
Drafted By: Stephen F.
Matty, City Attorney
City of La
Crosse 400 La
Crosse Street
La Crosse, Wisconsin 54601
608.789.7511

EXHIBIT A

Real Estate

[Insert legal description]

EXHIBIT B

Description of Project

Construction and equipping of a multi-story, 70-unit low-income housing tax credit (LIHTC) project consisting of 1, 2, and 3-bedroom units and 3,200 square feet of commercial space. The project will serve adults with disabilities with incomes ranging between 30-60% of Area Median Household Income (AMI). Eleven units in the project are set aside for market rate occupancy.

EXHIBIT C

Restrictive Covenant

(Insert Legal Description)

Subject to the following Restrictive Covenant: Regardless of the owner, occupant, tenant or use of the Property, the real property (as defined in § 70.03, Wis. Stat.) shall remain subject to the general property tax pursuant to Chapter 70 of the Wisconsin Statutes for a minimum period commencing at the date of this deed and concluding December 31, 2044. No owner, occupant, or tenant of the Property shall apply for the real property to be exempt from taxation as provided in §70.11, Wis. Stat., for any tax year prior to tax year January 1, 2046.

This covenant shall run with the land and any future conveyance of the Property shall be subject to the covenant. The City of La Crosse may enforce this covenant using any available legal or equitable remedies permitted by the laws of Wisconsin, including injunctive relief, reasonable attorney's fees and the costs of enforcement of this covenant, including liquidated damages equal to the amount of real estate taxes for the duration of the restrictive covenant time period ending December 31, 2045 that the violator would have paid but for the granting of the tax exemption of the Property.

EXHIBIT D
Description of Public Improvements

Developer-Funded Improvements to be Dedicated to the Public:

A new section of alley and storm sewer from the end of the existing alley to the Right of Way line on State Street, as more fully depicted below.

City-Funded Improvements:

Starting at the Right of Way line on State Street, storm sewer upgrades, and sidewalk and road reconstruction to benefit new storm sewer construction on State Street as more fully depicted below.

SCHEDULE D-1

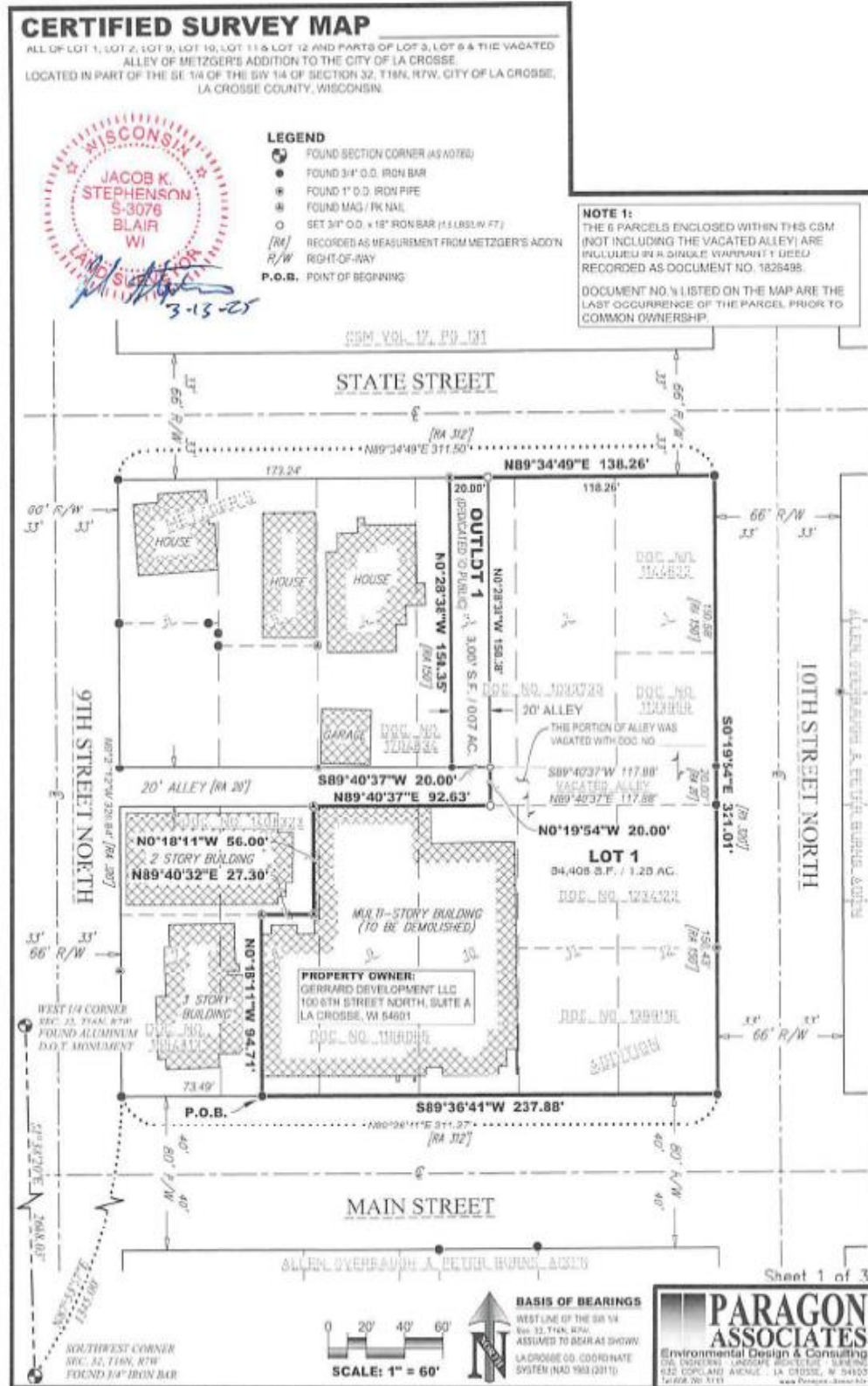


Exhibit E



Haven on Main City of La Crosse

Sources and Uses

70 Apartments; 3,200 sq. ft. office

SOURCES				
Debt		Amount	Percent	Per Unit
Debt A:	First Mortgage	4,500,000	21.2%	64,286
Debt B:	TIF Mortgage	575,000	2.7%	8,214
Debt C:	La Crosse Comm. Foundation	500,000	2.4%	7,143
		5,575,000	26.3%	79,643
Other Sources		Amount	Percent	Per Unit
Category	Sources			
WI_Public	WEDC CDI/LAX County	300,000	1.4%	4,286
Private	Fundraising	676,000	3.2%	9,657
WI_Public	Deferred Loan - Our Sheltered Friends	500,000	2.4%	7,143
Gap	Gap	1,699,000	8.0%	24,271
Tax_Credits	Low Income Housing Tax Credits	11,859,614	56.0%	169,423
Equity	Developer Cash	100	0.0%	1
Deferred_Fee	Developer Fee	577,236	2.7%	8,246
		15,611,950	73.7%	223,028
		21,186,950	100.0%	302,671

USES			
	Amount	% of Cost	Per Unit
ACQUISITION COSTS	1,700,000	8.0%	24,286
Land Cost	1,700,000	8.0%	24,286
CONSTRUCTION COSTS	14,477,450	68.3%	206,821
Residential Building	11,332,450	53.5%	161,892
Tenant Improvements: COULEECAP	250,000	1.2%	3,571
On-site Work	540,000	2.5%	7,714
General Requirements	630,000	3.0%	9,000
Builder's Overhead	265,000	1.3%	3,786
Builder's Profit	680,000	3.2%	9,714
Construction Contingency	740,000	5.4%	10,571
Landscaping	40,000	0.2%	571
ENVIRONMENTAL ABATEMENT/SOIL CORRECTION	0	0.0%	0
PERMITS/FEES	5,000	0.0%	71
Other	5,000	0.0%	71
PROFESSIONAL SERVICES	1,690,000	8.0%	24,143
Accounting	50,000	0.2%	714
Appraisals	2,500	0.0%	36
Architectural & Engineering Fees	220,000	1.0%	3,143
Cost Certification/Audit	17,500	0.1%	250
Environmental Assessment Consultant	25,000	0.1%	357
FF&E	1,070,000	5.1%	15,286
Legal - Development	110,000	0.5%	1,571
Market Research	10,000	0.0%	143
Marketing/Leasing	80,000	0.4%	1,143
P&P Bond	35,000	0.2%	500
Soft Cost Contingency	50,000	0.2%	714
Survey	20,000	0.1%	286
FINANCING COSTS	1,337,500	6.3%	19,107
Construction Period Interest	775,000	3.7%	11,071
Insurance - Builder's Risk	130,000	0.6%	1,857
Lender Legal	10,000	0.0%	143
Loan Origination Fees	150,000	0.7%	2,143
Real Estate Taxes During Construction	60,000	0.3%	857
Syndication Fees	35,000	0.2%	500
Tax Credit & Compliance Fees	147,500	0.7%	2,107
Title & Recording	30,000	0.1%	429
DEVELOPER FEE	1,470,000	6.9%	21,000
Developer Fee	1,470,000	6.9%	21,000
CASH ACCOUNTS/ESCROWS/RESERVES	507,000	2.4%	7,243
Management Startup/Leasing	80,000	0.4%	1,143
Operating Reserves	427,000	2.0%	6,100
	21,186,950	100%	302,671

EXHIBIT F
Project Timeline

By May 1, 2025: Target Date for Architectural and Design Approvals Completed

By July 1, 2025: Acquire Property

By July 15, 2025: Commence Construction

By August 31, 2026: Substantial Construction Completion

By March 31, 2027: Fully Stabilized

Exhibit G - Monetary Obligation Example

City of La Crosse, WI

Tax Increment District No. N/A

Tax Increment Projection Worksheet - Haven on Main

Type of District	Blighted Area	Base Value	1,448,200
District Creation Date	November 9, 2024	Appreciation Factor	0.50%
Valuation Date	Jan 1, 2025	Base Tax Rate	\$19.82
Max Life (Years)	27	Rate Adjustment Factor	
Expenditure Period/Termination	22 11/9/2046	Tax Exempt Discount Rate	N/A
Revenue Periods/Final Year	27 2053	Taxable Discount Rate	N/A
Extension Eligibility/Years	No 3		
Eligible Recipient District	Yes		

Construction		Inflation		Total		Tax Rate		Tax Increment
Year	Value Added	Valuation Year	Increment	Increment	Revenue Year			
1 2025	1,751,500	2026	0	1,751,500	2027	\$19.82		34,717
2 2026	3,199,700	2027	8,758	4,959,958	2028	\$19.82		98,314
3 2027	0	2028	24,800	4,984,757	2029	\$19.82		98,806
4 2028	0	2029	24,924	5,009,681	2030	\$19.82		99,300
5 2029	0	2030	25,048	5,034,729	2031	\$19.82		99,796
6 2030	0	2031	25,174	5,059,903	2032	\$19.82		100,295
7 2031	0	2032	25,300	5,085,203	2033	\$19.82		100,797
8 2032	0	2033	25,426	5,110,629	2034	\$19.82		101,301
9 2033	0	2034	25,553	5,136,182	2035	\$19.82		101,807
10 2034	0	2035	25,681	5,161,863	2036	\$19.82		102,316
Totals			210,663		Future Value of Increment			937,449

DEVELOPER PAYGO		
	85%	15%
	29,510	5,208
	83,567	14,747
	83,985	14,821
	84,405	14,895
	84,827	14,969
	85,251	15,044
	85,677	15,120
	86,106	15,195
	86,536	15,271
	86,969	15,347
	796,832	140,617
NPV	573,859	82,677

Exhibit H



Haven on Main
City of La Crosse
 70 Mixed-Income Apts; 3,200 (sf) Commercial Space
Multi-Year Operating Proforma

			2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036
			Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11
Income													
Rental Income	Inflator												
Gross Potential Rent	2.0%		843,372	860,239	877,444	894,993	912,893	931,151	949,774	968,769	988,145	1,007,908	1,028,066
Less: 5.0% Stabilized Vacancy			(42,169)	(43,012)	(43,872)	(44,750)	(45,645)	(46,558)	(47,489)	(48,438)	(49,407)	(50,395)	(51,403)
Less: Additional Pre-stabilization Vacancy													
Total Rental Income			801,203	817,227	833,572	850,243	867,248	884,593	902,285	920,331	938,737	957,512	976,662
Other Residential Income	Vacancy Rate	Custom Inflator			2%	2%	2%	2%	2%	2%	2%	2%	
Other	0.0%		9,960	9,960	10,159	10,362	10,570	10,781	10,997	11,217	11,441	11,670	11,670
Less: Additional Pre-stabilization Vacancy													
Total Other Residential Income			9,960	9,960	10,159	10,362	10,570	10,781	10,997	11,217	11,441	11,670	11,670
Net Residential Income (NRI)			811,163	827,187	843,731	860,606	877,818	895,374	913,282	931,547	950,178	969,182	988,332
Commercial Income	Every Year @	Inflator											
Less: Commercial Vacancy - 0.0%	0.0%		51,200	51,200	51,200	51,200	51,200	51,200	51,200	51,200	51,200	51,200	51,200
Less: Expense on Commercial Vacancy			0	0	0	0	0	0	0	0	0	0	0
Less: Additional Pre-stabilization Loss	Every Year @	0.0%	0	0	0	0	0	0	0	0	0	0	0
Net Commercial Income			51,200	51,200	51,200	51,200	51,200	51,200	51,200	51,200	51,200	51,200	51,200
Effective Gross Income (EGI)			862,363	878,387	894,931	911,806	929,018	946,574	964,482	982,747	1,001,378	1,020,382	1,039,532
Expenses													
Rental Unit Expenses	Inflator												
Operating Expenses	2.00%		303,150	309,213	315,397	321,705	328,139	334,702	341,396	348,224	355,189	362,292	369,538
Management Fee: 4.9% of EGI	Fixed to EGI		42,265	43,050	43,861	44,688	45,532	46,392	47,270	48,165	49,078	50,010	50,948
Property Taxes	2.00%		101,765	103,800	105,876	107,994	110,154	112,357	114,604	116,896	119,234	121,619	124,051
Reserves: \$300 PUPY	Every Year @	0.00%	21,000	21,000	21,000	21,000	21,000	21,000	21,000	21,000	21,000	21,000	21,000
Modified Rental Expense During Stabilization													
Total Rental Unit Expenses			468,180	477,064	486,135	495,387	504,825	514,451	524,270	534,285	544,501	554,921	565,537
Total Expenses			468,180	477,064	486,135	495,387	504,825	514,451	524,270	534,285	544,501	554,921	565,537
NET OPERATING INCOME			394,183	401,324	408,796	416,419	424,193	432,123	440,212	448,462	456,878	465,461	473,995
Tax Increment Financing Revenue	Inflator:	0%	86,500	86,500	86,500	86,500	86,500	86,500	86,500	86,500	86,500	86,500	0
ADJUSTED NET OPERATING INCOME			480,683	487,824	495,296	502,919	510,693	518,623	526,712	534,962	543,378	551,961	473,995
Debt Service													
Debt A: First Mortgage	Debt Terms												
Debt B: TIF Mortgage	35 yr amortization @ 6.00%		307,902	307,902	307,902	307,902	307,902	307,902	307,902	307,902	307,902	307,902	307,902
Debt C: La Crosse Comm. Foundation	10 yr amortization @ 6.00%		76,604	76,604	76,604	76,604	76,604	76,604	76,604	76,604	76,604	76,604	0
	35 yr amortization @ 5.44%		31,985	31,985	31,985	31,985	31,985	31,985	31,985	31,985	31,985	31,985	31,985
Total Debt Service			416,492	416,492	416,492	416,492	416,492	416,492	416,492	416,492	416,492	416,492	339,888
Debt Coverage	Calc Method												
Debt Coverage w/o Tax Increment Financing	Debt A, B, & C		115%	117%	119%	121%	123%	125%	126%	128%	130%	133%	139%
	Debt A, B, & C		95%	96%	98%	100%	102%	104%	106%	108%	110%	112%	139%
NET CASH FLOW			64,191	71,332	78,804	86,427	94,201	102,131	110,220	118,470	126,886	135,469	134,107
Expenses Paid from Net Cash Flow													
Asset Management Fee	Frequency	Inflator											
Subtotal	Every Year @	3%	5,000	5,150	5,305	5,464	5,628	5,796	5,970	6,149	6,334	6,524	6,720
Deferred Developer Fees													
Starting Deferred Fee Balance: \$577,236	Auto	Interest Rate	59,191	66,182	73,500	80,963	88,574	96,335	104,250	8,242	0	0	0
DEFERRED FEE BALANCE (Paid off in Year 8)			518,045	451,863	378,363	297,400	208,827	112,492	8,242	0	0	0	0
NET CASH FLOW AVAILABLE FOR DISTRIBUTION			0	0	0	0	0	0	0	104,079	120,552	128,946	127,387
Yield on Cost Annual Return			2.4%	2.4%	2.4%	2.5%	2.5%	2.5%	2.6%	2.6%	2.7%	2.7%	2.3%
Yield on Cost Average Annual Return	Start From:	Year 1	2.4%	2.4%	2.4%	2.4%	2.4%	2.4%	2.5%	2.5%	2.5%	2.5%	2.5%
Yield on Cost Annual Return (w/o TIF assistance)			1.9%	2.0%	2.0%	2.0%	2.1%	2.1%	2.2%	2.2%	2.2%	2.3%	2.3%
Yield on Cost Average Annual Return (w/o TIF assistance)			1.9%	2.0%	2.0%	2.0%	2.0%	2.0%	2.0%	2.1%	2.1%	2.1%	2.1%

Exhibit I

Page 1 of 1

Sample Lookback Calculation - Haven on Main

Total Development Costs	Projected		Actual		Difference
	Amount	Pct.	Amount	Pct.	Amount
Acquisition Costs	1,700,000	8.0%	1,700,000	8.1%	0
Construction Costs	14,482,450	68.4%	14,180,000	67.9%	(302,450)
Professional Services	1,690,000	8.0%	1,690,000	8.1%	0
Financing Costs	1,337,500	6.3%	1,337,500	6.4%	0
Developer Fee	1,470,000	6.9%	1,470,000	7.0%	0
Cash Accounts/Escrows/Reserves	507,000	2.4%	507,000	2.4%	0
Total	21,186,950	100%	20,884,500	100%	(302,450)

Lookback Reduction Calculation

Projected Total Development Cost	21,186,950
Actual Total Development Cost	20,884,500
Total Development Cost Decrease	302,450
 Amount of decrease exceeding \$100,000	 202,450
 50% of decrease exceeding \$100,000	 101,225
 Original Monetary Obligation	 575,000
(less) adjustment	(101,225)
Revised Monetary Obligation	473,775



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation

6-3-2025

Dear Finance and Personnel Committee Members,

My name is Marlis O'Brien. I am a resident of the City of La Crosse and live on the North Side. My address is: 2431 Prospect Street, La Crosse, WI 54603. In August of this year, I will have worked at St. Francis/Mayo for 36 years. My son, Erik O'Brien, is 23 years old. He has attended public school in the City of La Crosse his entire life. He was born with a genetic disorder called 1p36 Deletion Syndrome. He is missing a chunk of DNA on his first pair of chromosomes. This results in symptoms that are like Parkinson's Disease. It affects his speech, fine motor skills, gross motor skills, and coordination.


I am writing in support of the TIF Development Agreement for Haven on Main. Like most parents, I worry about what will happen to my son when I die. This is especially true for me because my son is an only child, and he is disabled. Historically, there have been very few options for someone like my son. Many special needs/disabled individuals live with their parents until their parents die. They then typically have to choose between living in a group home or an institution. All special needs individuals are different and have different abilities and this cookie cutter approach is not in the best interest of everyone. Like all normal developing peers, special needs people flourish in an environment that encourages self-sufficiency and independence.

I believe La Crosse and Haven on Main is going to lead the way in creating a true community for everyone in every sense of the word. I hope that my son will be able to live there. In fact, I would love to live there also. It is close to where I work and workforce housing has always been a struggle here. At Haven on Main, I can control who provides services for my son. He can learn to live independently while I am still on this earth to help him navigate the change. Haven on Main is close to the bus route, grocery stores, convenience stores, the bike trail, and many work opportunities. Haven on Main will offer activities, fitness, and social events that anyone would be welcome to participate in regardless of their abilities. Tenants of all ages and walks of life living in the perfect setting.

Please consider the importance of such a unique living space for our community and the impact it will have on those of us who have chosen to make La Crosse our home.

Thank you for your consideration.

Sincerely,


Marlis O'Brien

Craig, Sondra

From: Jim Cappuccio <jimcapooh@gmail.com>
Sent: Tuesday, June 3, 2025 2:09 PM
To: ZZ City Clerk External
Subject: Finance and Personal Committee Meeting

Some people who received this message don't often get email from jimcapooh@gmail.com. [Learn why this is important](#)

*** **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. ***

This is a letter of support for **Item 25-0552:TIF Development Agreement for Haven on Main**. Haven on Main is a unique housing project for many people. One very important part of this project is the units that will provide specialized housing for individuals who use a wheelchair. Currently La Crosse has a poor housing stock for wheelchair users. This building will provide much needed housing units specifically designed for the needs of a wheelchair user, above and beyond what is currently available. In addition, it will provide a "neighborhood" within a building consisting of many different affordable housing options, all the way up to market rate. Its central location to downtown shops, Western Technical College, and other amenities make this a project La Crosse will be proud of for generations to come. It will be copied in other communities and La Crosse will be a shining example of what can be done when thinking is outside the box.

Respectfully,

Jim Cappuccio
3501 Crown Blvd, La Crosse, WI 54601
Board Member of Haven on Main

If you want to speak on an agenda item, please sign up at least 10 minutes before the start of the meeting.

Registration slips are not collected once the meeting begins but will be made part of the record.

MEETING REGISTRATION

Name: Rick Diermeier Date: 6/5/2025
PLEASE PRINT

Municipality of Residence: Town of Medary

Representation: Haver on Main
If you are representing an organization or person other than yourself at this meeting.

Agenda Item #: 25-0552
Please fill out a separate sheet for each piece of legislation in which you are registering.

Do you support or oppose the agenda item?

- ☒ Support
☐ Oppose
☐ Neither support nor oppose

Do you want to speak?

- ☒ Yes, I want to speak.
☐ No, I do not want to speak.
☐ I do not want to speak, but I am available to answer questions.

If you want to speak on an agenda item, please sign up at least 10 minutes before the start of the meeting.

Registration slips are not collected once the meeting begins but will be made part of the record.

MEETING REGISTRATION

Name: Hetti Brown Date: 6-5-25
PLEASE PRINT

Municipality of Residence: Shelby

Representation: Couleecap
If you are representing an organization or person other than yourself at this meeting.

Agenda Item #: 25-0552
Please fill out a separate sheet for each piece of legislation in which you are registering.

Do you support or oppose the agenda item?

- ☒ Support
☐ Oppose
☐ Neither support nor oppose

Do you want to speak?

- ☐ Yes, I want to speak.
☐ No, I do not want to speak.
☒ I do not want to speak, but I am available to answer questions.

25-0552

If you wish to register for an agenda item, please register online no later than 4:00pm the day of the meeting. You can also register in person at least 10 minutes prior to the start of the meeting.

*** Meeting**

F&P, Thursday, June 5, 2025 at 6:00pm, City Hall

*** Agenda Item Number**

25-0552

* Do you support or oppose the agenda item?

Support

* Do you want to speak?

Yes, I want to speak.

* Are you representing an organization or person other than yourself at this meeting?

No

* Full Name

Charlotte Grant

* Email

ccgrant416@gmail.com

* Municipality of Residence:

City of La Crosse

*** How will you be attending the meeting?**

Attending In Person

*** Rules, Guidelines, and Decorum for Public Hearings**

I have read and reviewed the rules and guidelines above.



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0555

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Resolution approving a reorganization to the table of positions and classifications for the Finance department.

RESOLUTION

WHEREAS, City Department Heads may request reorganization of their departmental staffing and position reclassifications for their personnel; and

WHEREAS, the City of La Crosse Finance department has determined a need to evaluate and update compensation and position titles within the department to ensure ability to competitively recruit and retain qualified staff to continue to meet the needs of the community and serve City staff.

NOW, THEREFORE BE IT RESOLVED that the position classification, job title and compensation listed below is hereby approved as follows:

- REMOVE non-exempt, vacant Payroll Specialist, Grade 6, Step 6 \$28.65/hr. position.
- ADD one (1) position of a non-exempt, Payroll Coordinator, Grade 8, hourly wage range of \$28.65 (Step 1) to \$32.81 (Step 11).

BE IT FURTHER RESOLVED that the position title and classification identified herein are hereby approved effective June 20th, 2025 and the Director of Finance and Director of Human Resources are hereby authorized and directed to take all necessary steps to implement this resolution.



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0556

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution approving a reorganization to the table of positions and classifications for the Water department.

RESOLUTION

WHEREAS, City Department Heads may request reorganization of their departmental staffing and position reclassifications for their personnel; and

WHEREAS, the City of La Crosse Water and Wastewater department has determined a need for an additional position to continue to meet the needs of the community.

NOW, THEREFORE BE IT RESOLVED that the addition in position classification, job title and compensation listed below is hereby approved as follows:

- ADD one (1) position of a non-exempt, Vac Truck Operator, Grade 7, hourly wage range of \$26.76 (Step 1) to \$35.11 (Step 11).
- REMOVE one (1) position of a non-exempt, Water Distribution Specialist, Grade 6, hourly wage range of \$25.00 (Step 1) to \$32.81 (Step 11)

BE IT FURTHER RESOLVED that the position title and classification identified herein are hereby approved effective July 18, 2025, and the Director of Human Resources and the Director of Engineering and Public Works are hereby authorized and directed to take all necessary steps to implement this resolution.



CITY OF LA CROSSE

**400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org**

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0565

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Resolution approving 2024 Compliance Maintenance Annual Report (CMAR) for the Isle La Plume Wastewater Treatment Facility.

RESOLUTION

WHEREAS the Wisconsin Department of Natural Resources requires that municipal wastewater facilities submit annual reports summarizing performances of their facilities for the prior year.

NOW, THEREFORE BE IT RESOLVED by the Common Council of the City of La Crosse that it hereby approves the attached 2024 Compliance Maintenance Annual Report for the Isle La Plume wastewater treatment facility.

BE IT FURTHER RESOLVED that the appropriate City officials are authorized to submit the same to the Wisconsin Department of Natural Resources to comply with the requirements of the State.



CITY OF LA CROSSE

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La Crosse, Wisconsin 54601
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LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:

5/13/2025

2024

Influent Flow and Loading

1. Monthly Average Flows and BOD Loadings

1.1 Verify the following monthly flows and BOD loadings to your facility.

Influent No. 701	Influent Monthly Average Flow, MGD	x	Influent Monthly Average BOD Concentration mg/L	x	8.34	=	Influent Monthly Average BOD Loading, lbs/day
January	13.1329	x	468	x	8.34	=	51,287
February	13.5539	x	449	x	8.34	=	50,702
March	13.3976	x	525	x	8.34	=	58,633
April	13.8739	x	441	x	8.34	=	50,998
May	14.8481	x	467	x	8.34	=	57,792
June	16.8505	x	366	x	8.34	=	51,461
July	14.7246	x	205	x	8.34	=	25,225
August	12.4080	x	385	x	8.34	=	39,830
September	7.6197	x	325	x	8.34	=	20,625
October	7.4463	x	447	x	8.34	=	27,741
November	8.8151	x	491	x	8.34	=	36,074
December	9.6581	x	617	x	8.34	=	49,678

2. Maximum Monthly Design Flow and Design BOD Loading

2.1 Verify the design flow and loading for your facility.

Design	Design Factor	x	%	=	% of Design
Max Month Design Flow, MGD	20	x	90	=	18
		x	100	=	20
Design BOD, lbs/day	29793	x	90	=	26813.7
		x	100	=	29793

2.2 Verify the number of times the flow and BOD exceeded 90% or 100% of design, points earned, and score:

	Months of Influent	Number of times flow was greater than 90% of	Number of times flow was greater than 100% of	Number of times BOD was greater than 90% of design	Number of times BOD was greater than 100% of design
January	1	0	0	1	2
February	1	0	0	1	2
March	1	0	0	1	2
April	1	0	0	1	2
May	1	0	0	1	2
June	1	0	0	1	2
July	1	0	0	0	0
August	1	0	0	1	2
September	1	0	0	0	0
October	1	0	0	1	0
November	1	0	0	1	2
December	1	0	0	1	2
Points per each		2	1	3	2
Exceedances		0	0	10	9
Points		0	0	30	18
Total Number of Points					48

48

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:
5/13/2025 2024

3. Flow Meter

3.1 Was the influent flow meter calibrated in the last year?

- ☒ Yes Enter last calibration date (MM/DD/YYYY)

2024-09-26

☐ No

If No, please explain:

4. Sewer Use Ordinance

4.1 Did your community have a sewer use ordinance that limited or prohibited the discharge of excessive conventional pollutants ((C)BOD, SS, or pH) or toxic substances to the sewer from industries, commercial users, hauled waste, or residences?

☒ Yes

☐ No

If No, please explain:

4.2 Was it necessary to enforce the ordinance?

☒ Yes

☐ No

If Yes, please explain:

FOG from 1 commercial entity.

COD from 1 commercial entity.

5. Septage Receiving

5.1 Did you have requests to receive septage at your facility?

Septic Tanks Holding Tanks Grease Traps

☒ Yes

☒ Yes

☒ Yes

☐ No

☐ No

☐ No

5.2 Did you receive septage at your facility? If yes, indicate volume in gallons.

Septic Tanks

☒ Yes 1,133,975 gallons

☐ No

Holding Tanks

☒ Yes 1,844,530 gallons

☐ No

Grease Traps

☒ Yes 1,415,965 gallons

☐ No

5.2.1 If yes to any of the above, please explain if plant performance is affected when receiving any of these wastes.

We sampled trucked waste at random on a quarterly basis to maintain baselines for those waste streams. We also require sampling for any new waste stream to be hauled in. We now have a new grease receiving station to minimize former operational issues.

6. Pretreatment

6.1 Did your facility experience operational problems, permit violations, biosolids quality concerns, or hazardous situations in the sewer system or treatment plant that were attributable to commercial or industrial discharges in the last year?

☐ Yes

☒ No

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:
5/13/2025 **2024**

<p>If yes, describe the situation and your community's response.</p> <div></div> <p>6.2 Did your facility accept hauled industrial wastes, landfill leachate, etc.?</p> <ul style="list-style-type: none">● Yes○ No <p>If yes, describe the types of wastes received and any procedures or other restrictions that were in place to protect the facility from the discharge of hauled industrial wastes.</p> <div><p>Leachate received from La Crosse County Landfill Solid Waste via the collection system. We receive a waste profile from this facility.</p><p>Received Metallica process waste via a hauler, waste stream is sampled and analyzed 6 times.</p></div>	
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Total Points Generated	48
Score (100 - Total Points Generated)	52
Section Grade	F

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:

5/13/2025

2024

Effluent Quality and Plant Performance (BOD/CBOD)

1. Effluent (C)BOD Results

1.1 Verify the following monthly average effluent values, exceedances, and points for BOD or CBOD

Outfall No. 001	Monthly Average Limit (mg/L)	90% of Permit Limit > 10 (mg/L)	Effluent Monthly Average (mg/L)	Months of Discharge with a Limit	Permit Limit Exceedance	90% Permit Limit Exceedance
January	25	22.5	4	1	0	0
February	25	22.5	4	1	0	0
March	25	22.5	4	1	0	0
April	25	22.5	5	1	0	0
May	25	22.5	4	1	0	0
June	25	22.5	3	1	0	0
July	25	22.5	4	1	0	0
August	25	22.5	5	1	0	0
September	25	22.5	6	1	0	0
October	25	22.5	6	1	0	0
November	25	22.5	6	1	0	0
December	25	22.5	6	1	0	0

* Equals limit if limit is ≤ 10

Months of discharge/yr	12		
Points per each exceedance with 12 months of discharge		7	3
Exceedances		0	0
Points		0	0
Total number of points			0

NOTE: For systems that discharge intermittently to state waters, the points per monthly exceedance for this section shall be based upon a multiplication factor of 12 months divided by the number of months of discharge. Example: For a wastewater facility discharging only 6 months of the year, the multiplication factor is $12/6 = 2.0$

1.2 If any violations occurred, what action was taken to regain compliance?

2. Flow Meter Calibration

2.1 Was the effluent flow meter calibrated in the last year?

● Yes Enter last calibration date (MM/DD/YYYY)

2024-09-26

○ No

If No, please explain:

3. Treatment Problems

3.1 What problems, if any, were experienced over the last year that threatened treatment?

We were in the final stages of facility upgrade for Phosphorus control as well as other plant processes. Construction caused some unavoidable disruptions and hiccups to normal operations.

4. Other Monitoring and Limits

4.1 At any time in the past year was there an exceedance of a permit limit for any other pollutants such as chlorides, pH, residual chlorine, fecal coliform, or metals?

● Yes

La Crosse City

Last Updated: 5/13/2025 Reporting For: **2024**

☐ No

If Yes, please explain:

7/2-3/24: E. coli exceedance. High results were due to most recent high river stage/flooding event. River peaked 4th of July. Highest reading we recorded was 14.94'. This high river stage caused high plant flows resulting in reduced UV residence time thus exceeding our limit on these two days.

4.2 At any time in the past year was there a failure of an effluent acute or chronic whole effluent toxicity (WET) test?

☐ Yes

☒ No

If Yes, please explain:

4.3 If the biomonitoring (WET) test did not pass, were steps taken to identify and/or reduce source(s) of toxicity?

☐ Yes

☐ No

☒ N/A

Please explain unless not applicable:

Total Points Generated	0
Score (100 - Total Points Generated)	100
Section Grade	A

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:

5/13/2025

2024

Effluent Quality and Plant Performance (Total Suspended Solids)

1. Effluent Total Suspended Solids Results

1.1 Verify the following monthly average effluent values, exceedances, and points for TSS:

Outfall No. 001	Monthly Average Limit (mg/L)	90% of Permit Limit >10 (mg/L)	Effluent Monthly Average (mg/L)	Months of Discharge with a Limit	Permit Limit Exceedance	90% Permit Limit Exceedance
January	30	27	10	1	0	0
February	30	27	9	1	0	0
March	30	27	6	1	0	0
April	30	27	10	1	0	0
May	30	27	8	1	0	0
June	30	27	6	1	0	0
July	30	27	8	1	0	0
August	30	27	11	1	0	0
September	30	27	7	1	0	0
October	30	27	8	1	0	0
November	30	27	10	1	0	0
December	30	27	11	1	0	0

* Equals limit if limit is <= 10

Months of Discharge/yr	12		
Points per each exceedance with 12 months of discharge:		7	3
Exceedances		0	0
Points		0	0
Total Number of Points		0	

NOTE: For systems that discharge intermittently to state waters, the points per monthly exceedance for this section shall be based upon a multiplication factor of 12 months divided by the number of months of discharge.

Example: For a wastewater facility discharging only 6 months of the year, the multiplication factor is $12/6 = 2.0$

1.2 If any violations occurred, what action was taken to regain compliance?

Total Points Generated	0
Score (100 - Total Points Generated)	100
Section Grade	A

Compliance Maintenance Annual Report

Effluent Quality and Plant Performance (Ammonia - NH3)

1. Effluent Ammonia Results									
1.1 Verify the following monthly and weekly average effluent values, exceedances and points for ammonia									
Outfall No. 001	Monthly Average NH3 Limit (mg/L)	Weekly Average NH3 Limit (mg/L)	Effluent Monthly Average NH3 (mg/L)	Monthly Permit Limit Exceed ance	Effluent Weekly Average for Week 1	Effluent Weekly Average for Week 2	Effluent Weekly Average for Week 3	Effluent Weekly Average for Week 4	Weekly Permit Limit Exceed ance
January	108	108	.758	0	.95	.39	.22	1.92	0
February	108	108	2.083	0	.7	2.33	3.25	2.05	0
March	108	108	1.38	0	.15	.2	4.57		0
April	108	108	4.162	0	2.32	9.99	7.96	.44	0
May	108	108	.795	0		.115		1.475	0
June	108	108	.655	0	.91	1.46	.2	.05	0
July	108	108	2.772	0	.41	.32	.04	.74	0
August	108	108	.263	0	.13	.33	.14		0
September	108	108	.162	0	.09	.19	.07	.36	0
October	108	108	.263	0		.12	.065		0
November	108	108	.435	0	.11	.15	1.11	.37	0
December	108	108	13.773	0	8.12	12.79	15.06	19.12	0
Points per each exceedance of Monthly average:									10
Exceedances, Monthly:									0
Points:									0
Points per each exceedance of weekly average (when there is no monthly average):									2.5
Exceedances, Weekly:									0
Points:									0
Total Number of Points									0
NOTE: Limit exceedances are considered for monthly OR weekly averages but not both. When a monthly average limit exists it will be used to determine exceedances and generate points. This will be true even if a weekly limit also exists. When a weekly average limit exists and a monthly limit does not exist, the weekly limit will be used to determine exceedances and generate points.									
1.2 If any violations occurred, what action was taken to regain compliance?									

0

Total Points Generated	0
Score (100 - Total Points Generated)	100
Section Grade	A

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:
5/13/2025 2024

Effluent Quality and Plant Performance (Phosphorus)

1. Effluent Phosphorus Results				
1.1 Verify the following monthly average effluent values, exceedances, and points for Phosphorus				
Outfall No. 001	Monthly Average phosphorus Limit (mg/L)	Effluent Monthly Average phosphorus (mg/L)	Months of Discharge with a Limit	Permit Limit Exceedance
January	1	0.532	1	0
February	1	0.559	1	0
March	1	0.494	1	0
April	1	0.767	1	0
May	1	0.556	1	0
June	1	0.344	1	0
July	1	0.468	1	0
August	1	0.817	1	0
September	1	0.699	1	0
October	1	0.510	1	0
November	1	0.624	1	0
December	1	0.515	1	0
Months of Discharge/yr			12	
Points per each exceedance with 12 months of discharge:				10
Exceedances				0
Total Number of Points				0
NOTE: For systems that discharge intermittently to waters of the state, the points per monthly exceedance for this section shall be based upon a multiplication factor of 12 months divided by the number of months of discharge. Example: For a wastewater facility discharging only 6 months of the year, the multiplication factor is 12/6 = 2.0				
1.2 If any violations occurred, what action was taken to regain compliance?				

Total Points Generated	0
Score (100 - Total Points Generated)	100
Section Grade	A

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:

5/13/2025

2024

Biosolids Quality and Management

1. Biosolids Use/Disposal

1.1 How did you use or dispose of your biosolids? (Check all that apply)

- ☒ Land applied under your permit
- ☐ Publicly Distributed Exceptional Quality Biosolids
- ☒ Hauled to another permitted facility
- ☒ Landfilled
- ☐ Incinerated
- ☐ Other

NOTE: If you did not remove biosolids from your system, please describe your system type such as lagoons, reed beds, recirculating sand filters, etc.

1.1.1 If you checked Other, please describe:

2. Land Application Site

2.1 Last Year's Approved and Active Land Application Sites

2.1.1 How many acres did you have?

6122 acres

2.1.2 How many acres did you use?

1123.1 acres

2.2 If you did not have enough acres for your land application needs, what action was taken?

2.3 Did you overapply nitrogen on any of your approved land application sites you used last year?

o Yes (30 points)

● No

2.4 Have all the sites you used last year for land application been soil tested in the previous 4 years?

● Yes

o No (10 points)

o N/A

0

3. Biosolids Metals

Number of biosolids outfalls in your WPDES permit:

3.1 For each outfall tested, verify the biosolids metal quality values for your facility during the last calendar year.

Outfall No. 002 - CLASS B CAKE SLUDGE

Parameter	80% of Limit	H.Q. Limit	Ceiling Limit	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	80% Value	High Quality	Ceiling
Arsenic		41	75	0		0		0			0	<3.25		0			0	0
Cadmium		39	85	0		0		0			0	.813		0			0	0
Copper		1500	4300	0		0		0			0	837		0			0	0
Lead		300	840	0		0		0			0	18		0			0	0
Mercury		17	57	0		0		0			0	<.552		0			0	0
Molybdenum	60		75	0		0		0			0	25.6		0		0		0
Nickel	336		420	0		0		0			0	19.3		0		0		0
Selenium	80		100	0		0		0			0	<3.21		0		0		0
Zinc		2800	7500	0		0		0			0	810		0			0	0

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:

5/13/2025

2024

Outfall No. 003 - CLASS B LIQUID SLUDGE

Parameter	80% of Limit	H.Q. Limit	Ceiling Limit	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	80% Value	High Quality	Ceiling
Arsenic		41	75	<2.67		<1.55			2.74	<4.04		<5.32		6.36			0	0
Cadmium		39	85	.762		.031			.649	.762		.946		.722			0	0
Copper		1500	4300	788		693			724	752		842		757			0	0
Lead		300	840	17.4		12.7			14.7	16.8		17.6		13.4			0	0
Mercury		17	57	<1.46		<1.7			<1.79	<1.37		<3.61		4.32			0	0
Molybdenum	60		75	14.3		10.9			17.2	18.7		22.1		23.3		0		0
Nickel	336		420	32.3		26.3			22	23.3		23.7		25.6		0		0
Selenium	80		100	<3.64		<2.11			<2.71	<3.99		<5.25		6.28		0		0
Zinc		2800	7500	641		627			729	727		830		774			0	0

Outfall No. 010 - CLASS B LIQUID SLUDGE

Parameter	80% of Limit	H.Q. Limit	Ceiling Limit	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	80% Value	High Quality	Ceiling
Arsenic		41	75	0		0		0			0	0		0			0	0
Cadmium		39	85	0		0		0			0	0		0			0	0
Copper		1500	4300	0		0		0			0	0		0			0	0
Lead		300	840	0		0		0			0	0		0			0	0
Mercury		17	57	0		0		0			0	0		0			0	0
Molybdenum	60		75	0		0		0			0	0		0		0		0
Nickel	336		420	0		0		0			0	0		0		0		0
Selenium	80		100	0		0		0			0	0		0		0		0
Zinc		2800	7500	0		0		0			0	0		0			0	0

0

3.1.1 Number of times any of the metals exceeded the high quality limits OR 80% of the limit for molybdenum, nickel, or selenium = 0

Exceedence Points

- 0 (0 Points)
- 1-2 (10 Points)
- > 2 (15 Points)

3.1.2 If you exceeded the high quality limits, did you cumulatively track the metals loading at each land application site? (check applicable box)

- Yes
- No (10 points)
- N/A - Did not exceed limits or no HQ limit applies (0 points)
- N/A - Did not land apply biosolids until limit was met (0 points)

3.1.3 Number of times any of the metals exceeded the ceiling limits = 0

Exceedence Points

- 0 (0 Points)
- 1 (10 Points)
- > 1 (15 Points)

3.1.4 Were biosolids land applied which exceeded the ceiling limit?

- Yes (20 Points)
- No (0 Points)

3.1.5 If any metal limit (high quality or ceiling) was exceeded at any time, what action was taken? Has the source of the metals been identified?

4. Pathogen Control (per outfall):

4.1 Verify the following information. If any information is incorrect, use the Report Issue button under the Options header in the left-side menu.

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Outfall Number:	003
Biosolids Class:	B
Bacteria Type and Limit:	Fecal Coliform
Sample Dates:	01/01/2024 - 02/29/2024
Density:	102,000
Sample Concentration Amount:	CFU/G TS
Requirement Met:	Yes
Land Applied:	No
Process:	Anaerobic Digestion
Process Description:	Geometric Mean for 7 days of fecal coliform testing, Digested sludge is heated to 95 degrees for 20 days.

Outfall Number:	003
Biosolids Class:	B
Bacteria Type and Limit:	Fecal Coliform
Sample Dates:	03/01/2024 - 04/30/2024
Density:	62,900
Sample Concentration Amount:	CFU/G TS
Requirement Met:	Yes
Land Applied:	Yes
Process:	Anaerobic Digestion
Process Description:	Geometric Mean for Fecal Coliform sampling. Digested sludge is heated to 95 degrees for 20 days.

Outfall Number:	003
Biosolids Class:	B
Bacteria Type and Limit:	Fecal Coliform
Sample Dates:	05/01/2024 - 06/30/2024
Density:	77,100
Sample Concentration Amount:	CFU/G TS
Requirement Met:	Yes
Land Applied:	Yes
Process:	Anaerobic Digestion
Process Description:	Geometric Mean for Fecal coliform testing. Digested sludge is heated to 95 degrees for 20 days.

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Outfall Number:	003
Biosolids Class:	B
Bacteria Type and Limit:	Fecal Coliform
Sample Dates:	07/01/2024 - 08/31/2024
Density:	34,900
Sample Concentration Amount:	CFU/G TS
Requirement Met:	Yes
Land Applied:	No
Process:	Anaerobic Digestion
Process Description:	Geometric Mean, Digested sludge is heated to 95 degrees for 20 days.

Outfall Number:	003
Biosolids Class:	B
Bacteria Type and Limit:	Fecal Coliform
Sample Dates:	09/01/2024 - 10/31/2024
Density:	11,600
Sample Concentration Amount:	CFU/G TS
Requirement Met:	Yes
Land Applied:	Yes
Process:	Anaerobic Digestion
Process Description:	Digested sludge is heated to 95 degrees for 20 days.

Outfall Number:	003
Biosolids Class:	B
Bacteria Type and Limit:	Fecal Coliform
Sample Dates:	11/01/2024 - 12/31/2024
Density:	103,000
Sample Concentration Amount:	CFU/G TS
Requirement Met:	Yes
Land Applied:	Yes
Process:	Anaerobic Digestion
Process Description:	Digested Sludge Heated to 95 degrees for 20 days.

4.2 If exceeded Class B limit or did not meet the process criteria at the time of land application.

4.2.1 Was the limit exceeded or the process criteria not met at the time of land application?

☐ Yes (40 Points)

☒ No

If yes, what action was taken?

5. Vector Attraction Reduction (per outfall):

5.1 Verify the following information. If any of the information is incorrect, use the Report Issue button under the Options header in the left-side menu.

0

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Outfall Number:	003
Method Date:	02/01/2024
Option Used To Satisfy Requirement:	Injection when land apply
Requirement Met:	Yes
Land Applied:	No
Limit (if applicable):	
Results (if applicable):	

Outfall Number:	003
Method Date:	04/01/2024
Option Used To Satisfy Requirement:	Injection when land apply
Requirement Met:	Yes
Land Applied:	Yes
Limit (if applicable):	
Results (if applicable):	

Outfall Number:	003
Method Date:	06/01/2024
Option Used To Satisfy Requirement:	Injection when land apply
Requirement Met:	Yes
Land Applied:	Yes
Limit (if applicable):	
Results (if applicable):	

Outfall Number:	010
Method Date:	08/31/2024
Option Used To Satisfy Requirement:	Injection when land apply
Requirement Met:	Yes
Land Applied:	No
Limit (if applicable):	
Results (if applicable):	

Outfall Number:	010
Method Date:	10/31/2024
Option Used To Satisfy Requirement:	Injection when land apply
Requirement Met:	Yes
Land Applied:	Yes
Limit (if applicable):	
Results (if applicable):	

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5/13/2025 **2024**

Outfall Number:	010	0
Method Date:	11/12/2024	
Option Used To Satisfy Requirement:	Injection when land apply	
Requirement Met:	Yes	
Land Applied:	Yes	
Limit (if applicable):		
Results (if applicable):		
<p>5.2 Was the limit exceeded or the process criteria not met at the time of land application?</p> <p>○ Yes (40 Points)</p> <p>● No</p> <p>If yes, what action was taken?</p> <div></div>		
<p>6. Biosolids Storage</p> <p>6.1 How many days of actual, current biosolids storage capacity did your wastewater treatment facility have either on-site or off-site?</p> <p>● >= 180 days (0 Points)</p> <p>○ 150 - 179 days (10 Points)</p> <p>○ 120 - 149 days (20 Points)</p> <p>○ 90 - 119 days (30 Points)</p> <p>○ < 90 days (40 Points)</p> <p>○ N/A (0 Points)</p> <p>6.2 If you checked N/A above, explain why.</p> <div></div>		
<p>7. Issues</p> <p>7.1 Describe any outstanding biosolids issues with treatment, use or overall management:</p> <div>We are still working with vendors to resolve start-up operational issues with our new biosolids heat dryer and associated equipment.</div>		

Total Points Generated	0
Score (100 - Total Points Generated)	100
Section Grade	A

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Staffing and Preventative Maintenance (All Treatment Plants)

<p>1. Plant Staffing</p> <p>1.1 Was your wastewater treatment plant adequately staffed last year?</p> <ul style="list-style-type: none">● Yes○ No <p>If No, please explain:</p> <div style="border: 1px solid black; height: 20px; width: 100%;"></div> <p>Could use more help/staff for:</p> <div style="border: 1px solid black; height: 20px; width: 100%;"></div> <p>1.2 Did your wastewater staff have adequate time to properly operate and maintain the plant and fulfill all wastewater management tasks including recordkeeping?</p> <ul style="list-style-type: none">● Yes○ No <p>If No, please explain:</p> <div style="border: 1px solid black; height: 20px; width: 100%;"></div>	
<p>2. Preventative Maintenance</p> <p>2.1 Did your plant have a documented AND implemented plan for preventative maintenance on major equipment items?</p> <ul style="list-style-type: none">● Yes (Continue with question 2) <input type="checkbox"/><input type="checkbox"/>○ No (40 points) <input type="checkbox"/><input type="checkbox"/> <p>If No, please explain, then go to question 3:</p> <div style="border: 1px solid black; height: 20px; width: 100%;"></div> <p>2.2 Did this preventative maintenance program depict frequency of intervals, types of lubrication, and other tasks necessary for each piece of equipment?</p> <ul style="list-style-type: none">● Yes○ No (10 points) <p>2.3 Were these preventative maintenance tasks, as well as major equipment repairs, recorded and filed so future maintenance problems can be assessed properly?</p> <ul style="list-style-type: none">● Yes<ul style="list-style-type: none">○ Paper file system○ Computer system● Both paper and computer system○ No (10 points)	0
<p>3. O&M Manual</p> <p>3.1 Does your plant have a detailed O&M and Manufacturer Equipment Manuals that can be used as a reference when needed?</p> <ul style="list-style-type: none">● Yes○ No	
<p>4. Overall Maintenance /Repairs</p> <p>4.1 Rate the overall maintenance of your wastewater plant.</p> <ul style="list-style-type: none">○ Excellent○ Very good● Good○ Fair○ Poor <p>Describe your rating:</p>	

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The La Crosse WWTP is an older facility and we have upgraded a significant amount of equipment through the several year upgrade project. We are in the process of incorporating all the new equipment into our maintenance program.

Total Points Generated	0
Score (100 - Total Points Generated)	100
Section Grade	A

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Operator Certification and Education

1. Operator-In-Charge

1.1 Did you have a designated operator-in-charge during the report year?

- ☒ Yes (0 points)
- ☐ No (20 points)

Name:

JARED R GREENO

Certification No:

31667

0

2. Certification Requirements

2.1 In accordance with Chapter NR 114.56 and 114.57, Wisconsin Administrative Code, what level and subclass(es) were required for the operator-in-charge (OIC) to operate the wastewater treatment plant and what level and subclass(es) were held by the operator-in-charge?

Sub Class	SubClass Description	WWTP	OIC		
		Advanced	OIT	Basic	Advanced
A1	Suspended Growth Processes	X			X
A2	Attached Growth Processes				
A3	Recirculating Media Filters				
A4	Ponds, Lagoons and Natural				
A5	Anaerobic Treatment Of Liquid				
B	Solids Separation	X			X
C	Biological Solids/Sludges	X			X
P	Total Phosphorus	X			X
N	Total Nitrogen				
D	Disinfection	X			X
L	Laboratory	X			X
U	Unique Treatment Systems				
SS	Sanitary Sewage Collection	X	NA	X	NA

0

2.2 Was the operator-in-charge certified at the appropriate level and subclass(es) to operate this plant? (Note: Certification in subclass SS is required 5 years after permit reissuance.)

- ☒ Yes (0 points)
- ☐ No (20 points)

2.3 For wastewater treatment facilities with a registered or certified laboratory, is at least one operator that works in the laboratory certified at the basic level in the laboratory (L) subclass?

- ☒ Yes
- ☐ No
- ☐ N/A – Wastewater treatment facility does not have a registered or certified laboratory

2.4 For wastewater treatment facilities that own and operate a sanitary sewage collection system, has at least one operator been designated the OIC for sanitary sewage collection system and certified at the basic level in the sanitary sewage collection system (SS) subclass?

- ☒ Yes
- ☐ No
- ☐ N/A – Owner of the Wastewater treatment facility does not own and operate a sanitary sewage collection system

3. Succession Planning

3.1 In the event of the loss of your designated operator-in-charge, did you have a contingency plan to ensure the continued proper operation and maintenance of the plant that includes one or more of the following options (check all that apply)?

- ☒ One or more additional certified operators on staff

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<div><input type="checkbox"/> An arrangement with another certified operator</div> <div><input type="checkbox"/> An arrangement with another community with a certified operator</div> <div><input type="checkbox"/> An operator on staff who has an operator-in-training certificate for your plant and is expected to be certified within one year</div> <div><input type="checkbox"/> A consultant to serve as your certified operator</div> <div><input type="checkbox"/> None of the above (20 points)</div> <div>If "None of the above" is selected, please explain:</div> <div></div>	0
<div>4. Continuing Education Credits</div> <div>4.1 If you had a designated operator-in-charge, was the operator-in-charge earning Continuing Education Credits at the following rates?</div> <div>OIT and Basic Certification:</div> <div><input type="radio"/> Averaging 6 or more CECs per year.</div> <div><input type="radio"/> Averaging less than 6 CECs per year.</div> <div>Advanced Certification:</div> <div><input checked="" type="radio"/> Averaging 8 or more CECs per year.</div> <div><input type="radio"/> Averaging less than 8 CECs per year.</div>	

Total Points Generated	0
Score (100 - Total Points Generated)	100
Section Grade	A

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Financial Management

1. Provider of Financial Information Name: <input type="text" value="Jared Greeno"/> Telephone: <input type="text" value="608-789-7322"/> (XXX) XXX-XXXX E-Mail Address (optional): <input type="text" value="greenoja@cityoflacrosse.org"/>		
2. Treatment Works Operating Revenues 2.1 Are User Charges or other revenues sufficient to cover O&M expenses for your wastewater treatment plant AND/OR collection system ? ● Yes (0 points) <input type="checkbox"/> <input type="checkbox"/> ○ No (40 points) If No, please explain: <input type="text"/> 2.2 When was the User Charge System or other revenue source(s) last reviewed and/or revised? Year: <input type="text" value="2024"/> ● 0-2 years ago (0 points) <input type="checkbox"/> <input type="checkbox"/> ○ 3 or more years ago (20 points) <input type="checkbox"/> <input type="checkbox"/> ○ N/A (private facility) 2.3 Did you have a special account (e.g., CFWP required segregated Replacement Fund, etc.) or financial resources available for repairing or replacing equipment for your wastewater treatment plant and/or collection system? ● Yes (0 points) ○ No (40 points)		0
REPLACEMENT FUNDS [PUBLIC MUNICIPAL FACILITIES SHALL COMPLETE QUESTION 3]		
3. Equipment Replacement Funds 3.1 When was the Equipment Replacement Fund last reviewed and/or revised? Year: <input type="text" value="2024"/> ● 1-2 years ago (0 points) <input type="checkbox"/> <input type="checkbox"/> ○ 3 or more years ago (20 points) <input type="checkbox"/> <input type="checkbox"/> ○ N/A If N/A, please explain: <input type="text"/> 3.2 Equipment Replacement Fund Activity 3.2.1 Ending Balance Reported on Last Year's CMAR 3.2.2 Adjustments - if necessary (e.g. earned interest, audit correction, withdrawal of excess funds, increase making up previous shortfall, etc.) 3.2.3 Adjusted January 1st Beginning Balance 3.2.4 Additions to Fund (e.g. portion of User Fee, earned interest, etc.)		<div>\$ <input type="text" value="1,841,954.58"/></div> <div>\$ <input type="text" value="0.00"/></div> <div>\$ <input type="text" value="1,841,954.58"/></div> <div>\$ <input type="text" value="575,000.00"/></div>

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3.2.5 Subtractions from Fund (e.g., equipment replacement, major repairs - use description box 3.2.6.1 below*)

- \$ 0.00

3.2.6 Ending Balance as of December 31st for CMAR Reporting Year

\$ 2,416,954.58

All Sources: This ending balance should include all Equipment Replacement Funds whether held in a bank account(s), certificate(s) of deposit, etc.

3.2.6.1 Indicate adjustments, equipment purchases, and/or major repairs from 3.2.5 above.

3.3 What amount should be in your Replacement Fund?

\$ 1,841,954.58

0

Please note: If you had a CWFP loan, this amount was originally based on the Financial Assistance Agreement (FAA) and should be regularly updated as needed. Further calculation instructions and an example can be found by clicking the SectionInstructions link under Info header in the left-side menu.

3.3.1 Is the December 31 Ending Balance in your Replacement Fund above, (#3.2.6) equal to, or greater than the amount that should be in it (#3.3)?

● Yes

○ No

If No, please explain.

4. Future Planning

4.1 During the next ten years, will you be involved in formal planning for upgrading, rehabilitating, or new construction of your treatment facility or collection system?

● Yes - If Yes, please provide major project information, if not already listed below. ☐ ☐

○ No

Project #	Project Description	Estimated Cost	Approximate Construction Year
1	Sanitary lift station rehabilitation	\$1,200,000	2026
2	Repair/rehab sanitary sewer collection system	\$500,000	2024
3	Sanitary lift station rehabilitation	\$710,000	2026
4	Sanitary forcemain rehabilitation	\$1,200,000	2025
5	Repair/rehab sanitary sewer collection system	\$500,000	2026
6	Treatment plant facility, add an additional ferric chloride storage tank.	\$100,000	2026
7	Repair/rehab sanitary sewer collection system	\$1,370,000	2025
8	Sanitary lift station rehabilitation	\$100,000	2027
9	Sanitary lift station electrical and control upgrades	\$800,000	2026
10	Sanitary lift station electrical and control upgrades	\$800,000	2027
11	Sanitary lift station electrical and control upgrades	\$800,000	2028
12	Wastewater Treatment Facility-Replace UV system	\$5,500,000	2027
13	Repair/rehab sanitary sewer collection system	\$500,000	2028
14	Sanitary Sewer Utility Casting and Manhole Replacement	\$100,000	2025
15	Sanitary Sewer Utility Casting and Manhole Replacement	\$100,000	2026
16	Sanitary Sewer Utility Casting and Manhole Replacement	\$100,000	2027
17	Sanitary Sewer Utility Casting and Manhole Replacement	\$100,000	2028
18	Force Main Locating & Condition Assessment	\$300,000	2025

5. Financial Management General Comments

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ENERGY EFFICIENCY AND USE

6. Collection System

6.1 Energy Usage

6.1.1 Enter the monthly energy usage from the different energy sources:

COLLECTION SYSTEM PUMPAGE: Total Power Consumed

Number of Municipally Owned Pump/Lift Stations:

26

	Electricity Consumed (kWh)	Natural Gas Consumed (therms)
January	49,821	970
February	66,425	989
March	58,992	682
April	55,899	575
May	55,421	153
June	75,738	71
July	58,795	28
August	44,908	32
September	41,998	27
October	37,540	58
November	49,446	192
December	162,176	682
Total	757,159	4,459
Average	63,097	372

6.1.2 Comments:

6.2 Energy Related Processes and Equipment

6.2.1 Indicate equipment and practices utilized at your pump/lift stations (Check all that apply):

☐ Comminution or Screening

☒ Extended Shaft Pumps

☒ Flow Metering and Recording

☒ Pneumatic Pumping

☒ SCADA System

☒ Self-Priming Pumps

☒ Submersible Pumps

☒ Variable Speed Drives

☐ Other:

6.2.2 Comments:

6.3 Has an Energy Study been performed for your pump/lift stations?

No

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☐ Yes

Year:

By Whom:

Describe and Comment:

6.4 Future Energy Related Equipment

6.4.1 What energy efficient equipment or practices do you have planned for the future for your pump/lift stations?

Energy efficient pumps and vfd's at appropriate sites.

7. Treatment Facility

7.1 Energy Usage

7.1.1 Enter the monthly energy usage from the different energy sources:

TREATMENT PLANT: Total Power Consumed/Month

	Electricity Consumed (kWh)	Total Influent Flow (MG)	Electricity Consumed/ Flow (kWh/MG)	Total Influent BOD (1000 lbs)	Electricity Consumed/ Total Influent BOD (kWh/1000lbs)	Natural Gas Consumed (therms)
January	475,200	407.12	1,167	1,589.90	299	12,420
February	438,960	393.06	1,117	1,470.36	299	18,880
March	460,560	415.33	1,109	1,817.62	253	3,128
April	438,400	416.22	1,053	1,529.94	287	33,083
May	471,000	460.29	1,023	1,791.55	263	28,331
June	269,920	505.52	534	1,543.83	175	19,286
July	558,115	456.46	1,223	781.98	714	23,228
August	583,276	384.65	1,516	1,234.73	472	22,378
September	582,272	228.59	2,547	618.75	941	12,808
October	740,118	230.84	3,206	859.97	861	13,621
November	596,987	264.45	2,257	1,082.22	552	4,101
December	579,681	299.40	1,936	1,540.02	376	5,581
Total	6,194,489	4,461.93		15,860.87		196,845
Average	516,207	371.83	1,557	1,321.74	458	16,404

7.1.2 Comments:

7.2 Energy Related Processes and Equipment

7.2.1 Indicate equipment and practices utilized at your treatment facility (Check all that apply):

☐ Aerobic Digestion

☒ Anaerobic Digestion

☒ Biological Phosphorus Removal

☐ Coarse Bubble Diffusers

☒ Dissolved O2 Monitoring and Aeration Control

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- ☒ Effluent Pumping
- ☒ Fine Bubble Diffusers
- ☒ Influent Pumping
- ☒ Mechanical Sludge Processing
- ☒ Nitrification
- ☒ SCADA System
- ☒ UV Disinfection
- ☒ Variable Speed Drives
- ☐ Other:

7.2.2 Comments:

7.3 Future Energy Related Equipment

7.3.1 What energy efficient equipment or practices do you have planned for the future for your treatment facility?

Enhanced methane gas production to use as sustainable energy replacement. Using methane gas in facility boilers.

8. Biogas Generation

8.1 Do you generate/produce biogas at your facility?

☐ No

☒ Yes

If Yes, how is the biogas used (Check all that apply):

- ☒ Flared Off
- ☒ Building Heat
- ☒ Process Heat
- ☐ Generate Electricity
- ☐ Other:

9. Energy Efficiency Study

9.1 Has an Energy Study been performed for your treatment facility?

☒ No

☐ Yes

☐ Entire facility

Year:

By Whom:

Describe and Comment:

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<div><input type="checkbox"/> Part of the facility</div> <div>Year: <input type="text"/></div> <div>By Whom: <input type="text"/></div> <div>Describe and Comment: <input type="text"/></div>	
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Total Points Generated	0
Score (100 - Total Points Generated)	100
Section Grade	A

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Sanitary Sewer Collection Systems

1. Capacity, Management, Operation, and Maintenance (CMOM) Program

1.1 Do you have a CMOM program that is being implemented?

- ☒ Yes
- ☐ No

If No, explain:

1.2 Do you have a CMOM program that contains all the applicable components and items according to Wisc. Adm Code NR 210.23 (4)?

- ☒ Yes
- ☐ No (30 points)
- ☐ N/A

If No or N/A, explain:

1.3 Does your CMOM program contain the following components and items? (check the components and items that apply)

☒ Goals [NR 210.23 (4)(a)]

Describe the major goals you had for your collection system last year:

Goal to clean 33% of the collection system annually.

Did you accomplish them?

- ☒ Yes
- ☐ No

If No, explain:

☒ Organization [NR 210.23 (4) (b)] ☐ ☐

Does this chapter of your CMOM include:

- ☒ Organizational structure and positions (eg. organizational chart and position descriptions)
- ☒ Internal and external lines of communication responsibilities
- ☒ Person(s) responsible for reporting overflow events to the department and the public

☐ Legal Authority [NR 210.23 (4) (c)]

What is the legally binding document that regulates the use of your sewer system?

Sewer Use Ordinance

If you have a Sewer Use Ordinance or other similar document, when was it last reviewed and revised? (MM/DD/YYYY) 2024-02-08

Does your sewer use ordinance or other legally binding document address the following:

- ☒ Private property inflow and infiltration
 - ☒ New sewer and building sewer design, construction, installation, testing and inspection
 - ☒ Rehabilitated sewer and lift station installation, testing and inspection
 - ☒ Sewage flows satellite system and large private users are monitored and controlled, as necessary
 - ☒ Fat, oil and grease control
 - ☒ Enforcement procedures for sewer use non-compliance
 - ☒ Operation and Maintenance [NR 210.23 (4) (d)]
- Does your operation and maintenance program and equipment include the following:
- ☒ Equipment and replacement part inventories
 - ☒ Up-to-date sewer system map
 - ☒ A management system (computer database and/or file system) for collection system information for O&M activities, investigation and rehabilitation

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<p> <input checked="" type="checkbox"/> A description of routine operation and maintenance activities (see question 2 below) <input checked="" type="checkbox"/> Capacity assessment program <input checked="" type="checkbox"/> Basement back assessment and correction <input checked="" type="checkbox"/> Regular O&M training <input checked="" type="checkbox"/> Design and Performance Provisions [NR 210.23 (4) (e)] <input type="checkbox"/> <input type="checkbox"/> What standards and procedures are established for the design, construction, and inspection of the sewer collection system, including building sewers and interceptor sewers on private property? <input checked="" type="checkbox"/> State Plumbing Code, DNR NR 110 Standards and/or local Municipal Code Requirements <input checked="" type="checkbox"/> Construction, Inspection, and Testing <input type="checkbox"/> Others: <div style="border: 1px solid black; height: 20px; width: 100%; margin-top: 5px;"></div> </p> <p> <input checked="" type="checkbox"/> Overflow Emergency Response Plan [NR 210.23 (4) (f)] <input type="checkbox"/> <input type="checkbox"/> Does your emergency response capability include: <input checked="" type="checkbox"/> Responsible personnel communication procedures <input checked="" type="checkbox"/> Response order, timing and clean-up <input checked="" type="checkbox"/> Public notification protocols <input checked="" type="checkbox"/> Training <input checked="" type="checkbox"/> Emergency operation protocols and implementation procedures <input checked="" type="checkbox"/> Annual Self-Auditing of your CMOM Program [NR 210.23 (5)] <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Special Studies Last Year (check only those that apply): <input type="checkbox"/> Infiltration/Inflow (I/I) Analysis <input type="checkbox"/> Sewer System Evaluation Survey (SSES) <input type="checkbox"/> Sewer Evaluation and Capacity Management Plan (SECAP) <input type="checkbox"/> Lift Station Evaluation Report <input type="checkbox"/> Others: <div style="border: 1px solid black; height: 20px; width: 100%; margin-top: 5px;"></div> </p>	0																																	
<p>2. Operation and Maintenance</p> <p>2.1 Did your sanitary sewer collection system maintenance program include the following maintenance activities? Complete all that apply and indicate the amount maintained.</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">Cleaning</td> <td style="width: 20%; text-align: center; border: 1px solid black;">35.82</td> <td style="width: 55%;">% of system/year</td> </tr> <tr> <td>Root removal</td> <td style="text-align: center; border: 1px solid black;">1.15</td> <td>% of system/year</td> </tr> <tr> <td>Flow monitoring</td> <td style="text-align: center; border: 1px solid black;">0</td> <td>% of system/year</td> </tr> <tr> <td>Smoke testing</td> <td style="text-align: center; border: 1px solid black;">0</td> <td>% of system/year</td> </tr> <tr> <td>Sewer line televising</td> <td style="text-align: center; border: 1px solid black;">9.97</td> <td>% of system/year</td> </tr> <tr> <td>Manhole inspections</td> <td style="text-align: center; border: 1px solid black;">35.82</td> <td>% of system/year</td> </tr> <tr> <td>Lift station O&M</td> <td style="text-align: center; border: 1px solid black;">104</td> <td># per L.S./year</td> </tr> <tr> <td>Manhole rehabilitation</td> <td style="text-align: center; border: 1px solid black;">2.23</td> <td>% of manholes rehabbed</td> </tr> <tr> <td>Mainline rehabilitation</td> <td style="text-align: center; border: 1px solid black;">.40</td> <td>% of sewer lines rehabbed</td> </tr> <tr> <td>Private sewer inspections</td> <td style="text-align: center; border: 1px solid black;">0</td> <td>% of system/year</td> </tr> <tr> <td>Private sewer I/I removal</td> <td style="text-align: center; border: 1px solid black;">0</td> <td>% of private services</td> </tr> </table>		Cleaning	35.82	% of system/year	Root removal	1.15	% of system/year	Flow monitoring	0	% of system/year	Smoke testing	0	% of system/year	Sewer line televising	9.97	% of system/year	Manhole inspections	35.82	% of system/year	Lift station O&M	104	# per L.S./year	Manhole rehabilitation	2.23	% of manholes rehabbed	Mainline rehabilitation	.40	% of sewer lines rehabbed	Private sewer inspections	0	% of system/year	Private sewer I/I removal	0	% of private services
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Compliance Maintenance Annual Report

La Crosse City

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2024

River or water crossings % of pipe crossings evaluated or maintained

Please include additional comments about your sanitary sewer collection system below:

3. Performance Indicators

3.1 Provide the following collection system and flow information for the past year.

<input type="text" value="37.62"/>	Total actual amount of precipitation last year in inches
<input type="text" value="35.62"/>	Annual average precipitation (for your location)
<input type="text" value="200.66"/>	Miles of sanitary sewer
<input type="text" value="26"/>	Number of lift stations
<input type="text" value="0"/>	Number of lift station failures
<input type="text" value="1"/>	Number of sewer pipe failures
<input type="text" value="12"/>	Number of basement backup occurrences
<input type="text" value="44"/>	Number of complaints
<input type="text" value="9.35"/>	Average daily flow in MGD (if available)
<input type="text" value="14.38"/>	Peak monthly flow in MGD (if available)
<input type="text" value="45"/>	Peak hourly flow in MGD (if available)

3.2 Performance ratios for the past year:

<input type="text" value="0.00"/>	Lift station failures (failures/year)
<input type="text" value="0.00"/>	Sewer pipe failures (pipe failures/sewer mile/yr)
<input type="text" value="0.00"/>	Sanitary sewer overflows (number/sewer mile/yr)
<input type="text" value="0.06"/>	Basement backups (number/sewer mile)
<input type="text" value="0.22"/>	Complaints (number/sewer mile)
<input type="text" value="1.5"/>	Peaking factor ratio (Peak Monthly:Annual Daily Avg)
<input type="text" value="4.8"/>	Peaking factor ratio (Peak Hourly:Annual Daily Avg)

4. Overflows

LIST OF SANITARY SEWER (SSO) AND TREATMENT FACILITY (TFO) OVERFLOWS REPORTED **

Date	Location	Cause	Estimated Volume
None reported			

** If there were any SSOs or TFOs that are not listed above, please contact the DNR and stop work on this section until corrected.

5. Infiltration / Inflow (I/I)

5.1 Was infiltration/inflow (I/I) significant in your community last year?

☐ Yes

☒ No

If Yes, please describe:

5.2 Has infiltration/inflow and resultant high flows affected performance or created problems in your collection system, lift stations, or treatment plant at any time in the past year?

☐ Yes

☒ No

If Yes, please describe:

Compliance Maintenance Annual Report

La Crosse City

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5/13/2025 **2024**

<div></div> <p>5.3 Explain any infiltration/inflow (I/I) changes this year from previous years:</p> <div>Some I & I has been reduced due to pipe replacements/liners as needed.</div> <p>5.4 What is being done to address infiltration/inflow in your collection system?</p> <div>We line or replace sewer mains where ground water is an issue and rehab the manholes. We also conduct flow monitoring when necessary to identify areas to focus our efforts for reducing I & I.</div>	
--	--

Total Points Generated	0
Score (100 - Total Points Generated)	100
Section Grade	A

Compliance Maintenance Annual Report

La Crosse City

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5/13/2025 **2024**

Grading Summary

WPDES No: 0029581

SECTIONS	LETTER GRADE	GRADE POINTS	WEIGHTING FACTORS	SECTION POINTS
Influent	F	0	3	0
BOD/CBOD	A	4	10	40
TSS	A	4	5	20
Ammonia	A	4	5	20
Phosphorus	A	4	3	12
Biosolids	A	4	5	20
Staffing/PM	A	4	1	4
OpCert	A	4	1	4
Financial	A	4	1	4
Collection	A	4	3	12
TOTALS			37	136
GRADE POINT AVERAGE (GPA) = 3.68				

- Notes:
- A = Voluntary Range (Response Optional)
 - B = Voluntary Range (Response Optional)
 - C = Recommendation Range (Response Required)
 - D = Action Range (Response Required)
 - F = Action Range (Response Required)

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:
5/13/2025 2024

Resolution or Owner's Statement

Name of Governing
Body or Owner:

City of La Crosse

Date of Resolution or
Action Taken:

Resolution Number:

Date of Submittal:

ACTIONS SET FORTH BY THE GOVERNING BODY OR OWNER RELATING TO SPECIFIC CMAR SECTIONS (Optional for grade A or B. Required for grade C, D, or F):

Influent Flow and Loadings: Grade = F

Due to the plant upgrade and accommodation of new headworks screening equipment, the influent composite sampler was relocated to allow representative sample collection. Although we met our permit "sample point designation", we expected this increase in BOD/TSS loading to happen as the sample point is now ahead of screening equipment. The existing primary sampler downstream of this influent sampler has remained consistent which leads us to believe the screening process is removing a large portion of BOD/TSS loading and not actually going through the facility.

Effluent Quality: BOD: Grade = A

Effluent Quality: TSS: Grade = A

Effluent Quality: Ammonia: Grade = A

Effluent Quality: Phosphorus: Grade = A

Biosolids Quality and Management: Grade = A

Staffing: Grade = A

Operator Certification: Grade = A

Financial Management: Grade = A

Collection Systems: Grade = A
(Regardless of grade, response required for Collection Systems if SSOs were reported)

ACTIONS SET FORTH BY THE GOVERNING BODY OR OWNER RELATING TO THE OVERALL GRADE POINT AVERAGE AND ANY GENERAL COMMENTS

(Optional for G.P.A. greater than or equal to 3.00, required for G.P.A. less than 3.00)

Compliance Maintenance Annual Report

La Crosse City

Last Updated: Reporting For:
5/13/2025 **2024**

G.P.A. = 3.68



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0608

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Resolution approving Application of Neuie's Vogue LLC dba Neuie's Vogue Bar and Grill for Expansion of Alcohol Beverage License for a special event at 1820 George St. on July 20, 2025.

RESOLUTION

BE IT RESOLVED by the Common Council of the City of La Crosse that Neuie's Vogue LLC dba Neuie's Vogue Bar and Grill, the holder of a Combination "Class B" Beer and Liquor License, located at 1820 George St., is hereby authorized to expand its premises in, accordance with the application on file with the City Clerk, for a special event on July 20, 2025.

BE IT FURTHER RESOLVED that such permission to expand the premises shall be in compliance with any and all state and local regulations including those of La Crosse County Health Department, Fire Department, Building & Inspections Department, and Police Department.



City of La Crosse, Wisconsin

APPLICATION FOR EXPANSION OF ALCOHOL BEVERAGE LICENSE

Fee: \$ _____

*Must be filed in conjunction with a Special Event Application

The undersigned licensee requests permission to expand the following license(s) onto private property for the purpose set forth below. Check all license that apply.

- ☒ Combination "Class B" Beer & Liquor
☐ Class "B" Beer
☐ "Class C" Wine

BUSINESS INFORMATION	
Legal/Real Name:	Trade Name:
Neuie's Vogue LLC	Neuie's Vogue bar and Grill
Business Address:	
1820 George St.	
Business Phone Number:	Name of Agent (If Corporation/LLC):
608-781-3860	Scott Neumeister
EXPANSION INFORMATION	
Date of Expansion:	
7-20-25	
Time of Expansion - when alcohol will be sold, possessed or consumed in the public way:	
Start 2:00 PM	End 8:00 PM
Describe Area of Expansion - Where Alcohol Will be Present:	
Back parking lot. (will be fenced in)	
Reason for Expansion Request:	
90TH Anniversary	
PERSON IN CHARGE	
Name:	First Middle Last
Scott Allen Neumeister	
Address:	Street City State Zip Code
1521 Wood St.	La Crosse WI 54603
Phone Number:	
608-792-2111	

The above hereby makes application to expand its alcohol beverage license onto private property as described. I agree to abide by all applicable state and local regulations including, but not limited, to the sale and service of alcoholic beverages, fencing and adherence to noise levels.


 Signature of Applicant

5-12-25
 Date

← ALLEY →

PERM. FENCE

will Put up Snow fence. Temp

PARKING
lot

TEMP
TENT

PERM. FENCE

Gazebo

Freezer

yard
Green

1820
George St.

NEUL'S
VACUUM
BAR

TEMP Snow fence

Office of City Clerk



May 19, 2025

ATTN: SCOTT NEUMEISTER
NEUIE'S VOGUE LLC
1820 GEORGE ST
LA CROSSE WI 54603

Dear Scott,

Our office is in receipt of the completed application for Expansion of Alcohol Beverage license for Neuie's Vogue LLC's special event on Sunday, July 20, 2025 at 1820 George Street. The Special Event application that was also submitted does not require Council approval; it is routed internally for approval by the affected departments.

Said application will be considered at the following meetings:

Judiciary & Administration Committee

Tuesday, June 3, 2025, 6:00 p.m.
Council Chambers, City Hall – 400 La Crosse St.

Common Council

Thursday, June 12, 2025, 6:00 p.m.
Council Chambers, City Hall – 400 La Crosse St.

We recommend someone attend the J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is not allowed at the Council meeting, though, you are welcome to attend. The item will appear on the agendas as File # 25-0608.

Attendance is allowed either in person or virtually. If you wish to attend virtually, please email me for the link to participate. If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig, Deputy Clerk
craigs@cityoflacrosse.org
608-789-7549



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0641

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution regarding Highway 16 Water Transmission Main for PFAS Mitigation – North, Safe Drinking Water Program.

RESOLUTION

WHEREAS, the CITY of La Crosse, La Crosse, County, Wisconsin (the “Municipality”) plans to undertake the Highway 16 Water Transmission Main for PFAS Mitigation – North, Safe Drinking Water Loan Program #5406-13, (the “Project”); and

WHEREAS, the Municipality expects to finance the Project on a long-term basis by issuing tax-exempt bonds or promissory notes of (the “Bonds”); and

WHEREAS, because the Bonds will not be issued prior to expenditure of funds on the Project, the Municipality must provide interim financing to cover costs of the Project incurred prior to receipt of the proceeds of the Bonds; and

WHEREAS, it is necessary, desirable, and in the best interests of the Municipality to advance moneys from its funds on hand on an interim basis to pay the costs of the Project until the Bonds are issued; and

WHEREAS, the Municipality is not obligated by this resolution to expend funds on the Project.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of La Crosse that:

Section 1. Expenditure of Funds. The Municipality shall make expenditures as needed from its funds on hand to pay the costs of the Project until Bond proceeds become available.

Section 2. Declaration of Official Intent. The Municipality hereby officially declares its intent under Treas. Regs. Section 1.150-2 to reimburse said expenditures with proceeds of the Bonds, the principal amount of which is not expected to exceed \$3,800,000.

Section 3. Unavailability of Long-Term Funds. No funds for payment of the Project from sources other than the Bonds are, or are reasonably expected to be, reserved, allocated on a long term basis, or otherwise set aside by the Municipality pursuant to its budget or financial policies.

Section 4. Public Availability of Official Intent Resolution. This Resolution shall be made available for public inspection at the City Clerk’s office within 30 days after its approval in compliance with applicable State law governing the availability of records of official acts including Subchapter II of Chapter 19, Wisconsin Statutes, and shall remain available for public inspection until the Bonds are issued.

Section 5. Effective Date. This Resolution shall be effective upon its adoption and approval.

BE IT FURTHER RESOLVED that the City staff is authorized to take any and all steps necessary to effectuate this resolution.



CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



OFFICE OF THE MAYOR
LA CROSSE

SHORT CIRCUIT

June 3, 2025

I hereby approve the submitting of the attached Legislation "Resolution regarding Highway 16 Water Transmission Main for PFAS Mitigation – North, Safe Drinking Water Program," to the Finance and Personnel Committee and Common Council, to be considered by the members thereof at their next committee meeting. This approval is given due to the time element necessitating consideration of the attached Legislation at the earliest possible date.


Council President Tamra Dickinson



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0642

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Adopted

In Control: Common Council

File Type: Resolution

Agenda Number:

Resolution regarding Highway 16 Water Transmission Main for PFAS Mitigation – South, Safe Drinking Water Loan Program.

RESOLUTION

WHEREAS, the City of La Crosse, La Crosse, County, Wisconsin (the “Municipality”) plans to undertake the Highway 16 Water Transmission Main for PFAS Mitigation – South, Safe Drinking Water Loan Program #5406-14, (the “Project”); and

WHEREAS, the Municipality expects to finance the Project on a long-term basis by issuing tax-exempt bonds or promissory notes of (the “Bonds”); and

WHEREAS, because the Bonds will not be issued prior to expenditure of funds on the Project, the Municipality must provide interim financing to cover costs of the Project incurred prior to receipt of the proceeds of the Bonds; and

WHEREAS, it is necessary, desirable, and in the best interests of the Municipality to advance moneys from its funds on hand on an interim basis to pay the costs of the Project until the Bonds are issued; and

WHEREAS, the Municipality is not obligated by this resolution to expend funds on the Project.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of La Crosse that:

Section 1. Expenditure of Funds. The Municipality shall make expenditures as needed from its funds on hand to pay the costs of the Project until Bond proceeds become available.

Section 2. Declaration of Official Intent. The Municipality hereby officially declares its intent under Treas. Regs. Section 1.150-2 to reimburse said expenditures with proceeds of the Bonds, the principal amount of which is not expected to exceed \$6,300,000.

Section 3. Unavailability of Long-Term Funds. No funds for payment of the Project from sources other than the Bonds are, or are reasonably expected to be, reserved, allocated on a long term basis, or otherwise set aside by the Municipality pursuant to its budget or financial policies.

Section 4. Public Availability of Official Intent Resolution. This Resolution shall be made available for public inspection at the City Clerk’s office within 30 days after its approval in compliance with applicable State law governing the availability of records of official acts including Subchapter II of Chapter 19, Wisconsin Statutes, and shall remain available for public inspection until the Bonds are issued.

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CITY OF LA CROSSE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-CITY
www.cityoflacrosse.org

LEGISLATION STAFF REPORT FOR COUNCIL

File ID Caption

Staff/Department Responsible for Legislation

Requestor of Legislation

Location, if applicable

Summary/Purpose

Background

Fiscal Impact

Staff Recommendation



OFFICE OF THE MAYOR
LA CROSSE

SHORT CIRCUIT

June 3, 2025

I hereby approve the submitting of the attached Legislation "Resolution regarding Highway 16 Water Transmission Main for PFAS Mitigation – South, Safe Drinking Water Loan Program," to the Finance and Personnel Committee and Common Council, to be considered by the members thereof at their next committee meeting. This approval is given due to the time element necessitating consideration of the attached Legislation at the earliest possible date.


Council President Tamra Dickinson



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0466

Agenda Date: 6/12/2025

Version: 1

Status: Recommended to be
Re-referred

In Control: Common Council

File Type: Plat/Certified Survey
Map

Agenda Number:

Craig, Sondra

From: Elsen, Nikki
Sent: Tuesday, June 3, 2025 8:46 AM
To: Karl Schilling; James Makepeace
Cc: Trane, Andrea; Craig, Sondra
Subject: RE: Property Logic Preliminary Plat

Received. The Plan Commission and Council Members will be notified.

The final plat, checklist and applicable fee should be submitted by end of day Monday, June 16th for consideration in July.
Plat webpage: <https://gcc02.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.cityoflacrosse.org%2Fyour-government%2Fdepartments%2Fcity-clerk%2Fforms-chart%2Fplat-submittal&data=05%7C02%7Ccraigs%40cityoflacrosse.org%7C1d0a3eabd7d54bf83eb808dda2a5061c%7Cb9bc47de972a4482ad22b9c21b74e467%7C0%7C0%7C638845551863617054%7CUnknown%7CTWFpbGZsb3d8eyJFbXB0eU1hcGkiOnRydWUsIlYiOiIlwLjAuMDAwMCIslIAiOiJXaW4zMlIsIkFOIjoiTWVpbCIsIldUljoyfQ%3D%3D%7C0%7C%7C%7C&sdata=7%2F0idCsbCOpQdF1lgTQG8jd1Q3yf9TrL9yZx6JsYigU%3D&reserved=0>

Thank you.

NIKKI M. ELSÉN, WCMC
City Clerk
elsenn@cityoflacrosse.org
Direct: 608.789.7555 | Office: 608.789.7510

-----Original Message-----

From: Karl Schilling <ks.propertylogic@gmail.com>
Sent: Monday, June 2, 2025 2:50 PM
To: Elsen, Nikki <elsenn@cityoflacrosse.org>; James Makepeace <james@makepeaceengineering.com>
Subject: Property Logic Preliminary Plat

[You don't often get email from ks.propertylogic@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

*** CAUTION: This email originated from an external sender. DO NOT click links or open attachments unless you recognize the sender and know the content is safe. ***

Good afternoon Nikki,

We would like to refer the preliminary plat of Chambers-Markle Farmstead Subdivision to the following month's meeting. We will plan to have the preliminary plat as well as the final plat for that meeting next month, to try and streamline the process.

Karl Schilling

CHAMBERS-MARKLE FARMSTEAD SUBDIVISION

ALL OF LOT 21, WATERVIEW SUBDIVISION;
LOCATED IN THE SE 1/4 - NW 1/4, SECTION 27, T15N-R7W
CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN

OWNERS CERTIFICATE:

As owner, I hereby certify that I caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. I also certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

City of La Crosse
Wisconsin Department of Transportation
Wisconsin Department of Administration (Plat Review)

Witness the hand and seal of said owners this _____ day of _____, 2025.

In the presence of: _____
Witness

Karl Schilling (Property Logic, LLC)

State of Wisconsin)
County of La Crosse) ss

Personally came before me this _____ day of _____, 2025, Karl Schilling, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public _____

Notary Public, _____, Wisconsin

My Commission Expires _____ Notary Public Printed Name _____

CITY TREASURER CERTIFICATE

State of Wisconsin)
County of La Crosse) ss

I, Chadwick Hawkins, being the duly appointed, qualified and acting treasurer of the City of La Crosse, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of _____, 2025, on any of the land included in this plat.

Chadwick Hawkins, Treasurer Date: _____

COUNTY TREASURER CERTIFICATE:

State of Wisconsin)
County of La Crosse) ss

I, Amy L. Twitchell, being the duly appointed, qualified and acting Treasurer of the County of La Crosse, do hereby certify that the records in my office show there are no unpaid taxes or unpaid special assessments as of _____, 2025, affecting the lands included in this plat.

Amy L. Twitchell, Treasurer Date: _____

REGISTER OF DEEDS CERTIFICATE:

State of Wisconsin)
County of La Crosse) ss

I, Robin Kadmas, being duly appointed, qualified and acting Register of Deeds of the County of La Crosse, do hereby certify that the Plat of Waterview Subdivision was received for record this _____ day of _____, 2025, at _____ o'clock _____ m.

Robin Kadmas, Register of Deeds Date: _____

CITY COMMON COUNCIL CERTIFICATE:

Resolved that the Plat of Subdivision of Lot 21 of Waterview Subdivision, is hereby approved by the Common Council of the City of La Crosse.

Shaundel Washington-Spivey, Mayor Date: _____

I hereby certify that the foregoing is a copy of a resolution adopted by the Common Council.

Nikki Elsen , City Clerk Date: _____

Legal Description

I, Christopher W. Fechner, Professional Land Surveyor, do hereby certify that I have surveyed and mapped this Certified Survey Map being all of Lot 21, Waterview Subdivision, located in the SE 1/4 of the NW 1/4, Section 27, T15N-R7W, City of La Crosse, La Crosse County, Wisconsin.

Subject to any easements, covenants and restrictions of record.

That such plat is a correct representation of all of the exterior boundaries of the land surveyed and the subdivision thereof made. That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of La Crosse in surveying and mapping the same.

Dated this _____ day of _____, 2025.

Christopher W. Fechner Notary Public
Professional Land Surveyor # S-2448 _____, Wisconsin

My Commission Expires _____

Notary Public Printed Name _____

Bearing Basis: The La Crosse County Coordinate System. Referenced to the North line of the NW 1/4, Section 27, T15N-R7W: N 89°25'35" E

LEGEND

- = Found 1" O.D. Iron Pipe (unless stated otherwise)
- = Set 3/4" x 20" Iron Bar (1.50 lb./lin. ft.)
- () = Recorded dimensions
- ⊙ = Found 3/4" Iron Bar
- ⊕ = Found County marker
- = Boundary of this survey
- = Centerline
- x— = Fence line
- = U.S.C.E. = United States Army Corps of Engineers
- ▨ = No Access

Note: Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust doctrine in navigable waters that is established under Article IX, Section 1, of the State constitution.

Notes:
All easements shown hereon are existing from Waterview Subdivision.
10' Utility Easement along streets.
25' Building setback from all street right-of-way lines.
50' Highway setback from State Road "35" right-of-way line.
110' Highway setback from State Road "35" centerline.
50' Building setback from the wetland delineation boundary.
Highway setback required by Department of Transportation per Wisconsin Statutes 236.293.
7' Side yard setback for R-2.
25' and 30' Rear yard setback for R-2.
Lot 21 zoned R-2.
Base Flood Elevation (B.F.E.) = 640.0'
Ordinary High Water Mark (O.H.W.M.) = 633.8'
Lot 21 does not fall in the floodplain

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20 _____

Department of Administration



COULLE REGION LAND SURVEYORS, LLC
Christopher W. Fechner
Professional Land Surveyor # S 2448
917 SOUTH 4th STREET
P.O. BOX 1954
LA CROSSE, WI 54601
(608) 784-1614
(608) 784-1408

Property Logic LLC
(Karl Schilling, Owner)
P.O. Box 2132
La Crosse, WI 54602
(608) 317-4481

FD U.S.C.E. Brass Mon.
on the North line
of the NW-NW
Section 27
T15N-R7W

Lot 2
C.S.M.
V. 19
P. 20
D.N. 1745443

Michael Voss

Dennis Bluhovde
Living Trust

Lot 1
C.S.M.
V. 19
P. 20
D.N. 1745443

P. 20

D.N. 1745443
Lot 2

John Schroeder

Morgan Hartman

Lot 1
C.S.M.
V. 18
P. 57
D.N. 1734174

P. 57

D.N. 1734174
Lot 2

Laura Thofne

Jerri Sebo

Lot 1
C.S.M.
V. 18
P. 27
D.N. 1726059

P. 27

D.N. 1726059
Lot 2

Richard Middleton Joint
Revocable Trust

LINE	LENGTH	BEARING
L1	10.00'	S 00°21'22" W
L2	5.60'	N 89°28'00" E

River Run Road

Graphic Scale



(IN FEET)
1 inch = 30 ft.

CONSENT OF CORPORATE MORTGAGEE:

River Bank, A corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and does hereby consent to the above certification of Property Logic, LLC, owner.

In witness whereof, the said River Bank, has caused these presents to be signed by Jim Thompson, EVP & Chief Lending Officer, and its corporate seal to be hereunto affixed this _____ day of _____, 2025.

Executive Vice President, Jim Thompson

State of Wisconsin)
La Crosse County) ss

Personally came before me this _____ day of _____, 2025, the above named mortgagee to me known to be the persons who executed the foregoing instruments and acknowledged the same.

My commission expires: _____ Notary Public - State of Wisconsin

Notary Public Printed Name _____
_____, Wisconsin

HIGHWAY/ROAD BUILDING SETBACK:

The Highway Setback Line (H.S.L.) is either 50' from the highway right-of-way line, or 110' from the highway centerline and labeled accordingly. Building setbacks from all other roads and cul-de-sacs is 25' from the road right-of-way line.

ACCESS RESTRICTIONS:

All lots and blocks are hereby restricted so that no owner, possessor, user, licensee or other person may have any right of direct vehicular ingress from or egress to any highway lying within the right-of-way of U.S. Highway "14/61" and State Road "35", it is expressly intended that this restriction constitute a restriction for the benefit of the public as provided in s.236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation.

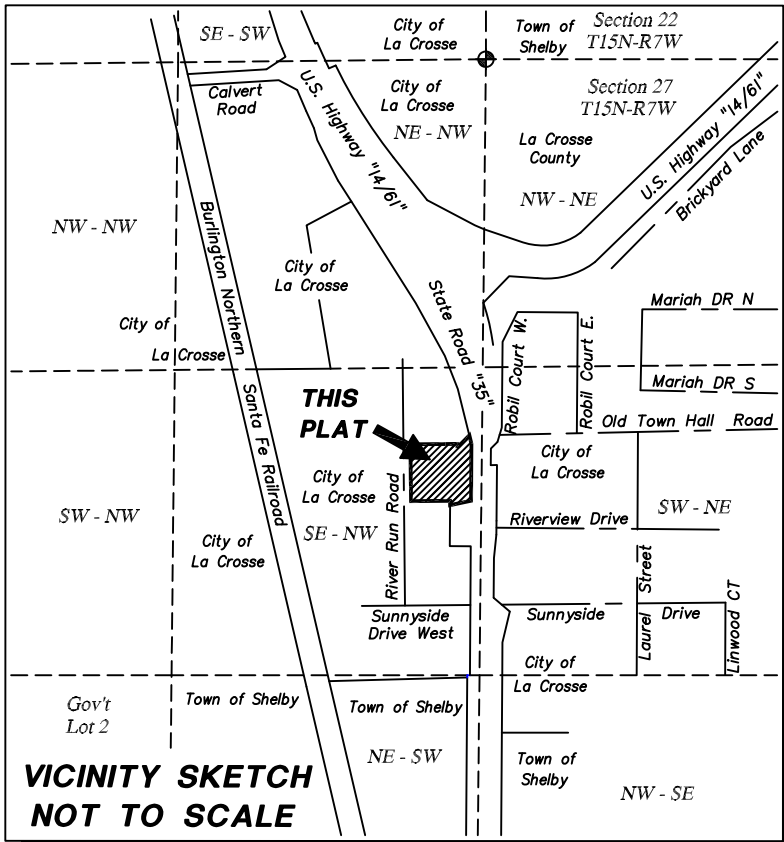
HIGHWAY SETBACK RESTRICTION:

No improvements or structures are allowed between the right-of-way line and the highway setback line. Improvements and structures include, but are not limited to, signs, parking areas, driveways, wells, septic systems, drainage facilities buildings and retaining walls. It is expressly intended that this restriction is for the benefit of the public as provided in s.236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation for more information. The phone number may be obtained by contacting the county highway department.

NOISE NOTATION:

The lots of this land division may experience noise at levels exceeding levels in s. Trans 405.04, Table I. These levels are based on federal standards. The Wisconsin Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the department to the highway's through-lane capacity.

SE 1/4 - NW 1/4
SECTION 27, T15N-R7W
CITY OF LA CROSSE,
LA CROSSE COUNTY, WI



VICINITY SKETCH
NOT TO SCALE



OFFICE OF
CITY ENGINEER

CITY HALL
400 LA CROSSE ST
LA CROSSE WI 54601-3396
(608) 789-7505

(PRELIMINARY AND FINAL) PLAT SUBMITTAL CHECK LIST

To be completed by Engineering before filing with the City Clerk

(Note: More than one checklist item may be on a sheet of paper)

1. OK Preliminary Plat (Face Plat)
2. OK Survey Plat (Existing Conditions) PLATTING OVER PART OF
3. N/A Site Plan (Tree, Lighting, Parks) RECENTLY RECORDED SUB-
4. N/A Grading Plan (Proposed Grades) DIVISION (LOT 21, WATERVIEW,
5. N/A Erosion Control Plan 2018). INFRASTRUCTURE IN
a. Silt fence PLACE.
b. Mats
c. Tracking Pads
d. 30 % Slopes (If Necessary)
e. Rip-Rap
f. Grades (Proposed/Existing) KC
6. N/A Hydrology (Pre/Post), Soils, and Calculations book
a. Storm water Narrative
7. N/A Utility Plan
a. Sanitary
b. Water
c. Storm
8. N/A Plan and Profile
a. Street
b. Utility
9. N/A Structure Details
a. Erosion Protection
b. Street
c. Utilities (If Necessary)
10. N/A Covenants and Restrictions

To be completed by City Clerk at time of filing:

11. _____ Twelve (12) sets; five (5) of those full sets (i.e. site plan, grading plan, erosion control, etc.)
12. _____ Public Site Fee (Due at Final Plat Submittal - \$100/lot in lieu of public lands dedication)
(Applies to all residential projects, including condos; does not apply to commercial plats or commercial condos.)
13. _____ Reviewing Fees
Preliminary \$500.00
Final \$200.00 (If filing prelim and final simultaneously, \$700.00 is due at filing.)
Reapplication \$100.00

BEFORE FILING WITH THE CITY, you must have both Town and County approvals. The Plan Commission may not consider any subdivision or land division which did not have prior approval by the approving authorities for both the Town(s) and La Crosse County.

Town Board Approved: _____ Date _____ La Crosse County Approved: _____ Date _____

Craig, Sondra

From: Reinhart, David
Sent: Tuesday, April 15, 2025 10:30 AM
To: Craig, Sondra
Subject: RE: For Review: Preliminary Plat - Chambers-Markle Subdivision

Approved.

Thanks,

David Reinhart

Chief Building Inspector

Building & Inspections

400 La Crosse St., La Crosse, WI 54601

Office: 608-789-7564

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Monday, April 14, 2025 12:07 PM
To: Acklin, Tim <Acklint@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Crandall, Jay <CrandallJ@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Gallagher, Matthew <gallagerm@cityoflacrosse.org>; Holland, Michelle <hollandm@cityoflacrosse.org>; Neumann, Shannon <Neumanns@cityoflacrosse.org>; Reinhart, David <Reinhartd@cityoflacrosse.org>; Trane, Andrea <tranea@cityoflacrosse.org>
Subject: For Review: Preliminary Plat - Chambers-Markle Subdivision

Good morning,

Attached for your review is the preliminary plat of Chambers-Markle Farmstead Subdivision. This is being routed through the May meetings (CPC 4/28, J&A 4/29, and Council 5/8) – as file 25-0466.

Please let me know if you approve or have any comments.

Thank you,

SONDRA CRAIG (she/her)

Deputy City Clerk

City Clerk's Office

City of La Crosse

400 La Crosse Street

La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

Visit the City Clerk webpage: <https://www.cityoflacrosse.org/your-government/departments/city-clerk>

City Clerk's Office hours: 8:00 a.m. to 4:30 p.m., Monday through Friday

Public Service hours 8:00 a.m. to 4:00 p.m. Monday through Thursday in the City Hall Lobby

Elected Officials and Members of Official Committees:

In order to comply with open meeting requirements, please limit any reply to only the sender of this electronic communication.

Craig, Sondra

From: Dale Hewitt <DHewitt@lacrossecounty.org>
Sent: Tuesday, April 15, 2025 12:28 PM
To: chris@couleeregionlandsurveyors.com; 'James Makepeace'
Cc: 'Karl Schilling'; Christina Peterson; Reinhart, David; Craig, Sondra; Bryan Meyer; Coman, Kyle
Subject: RE: (Waterview)
Attachments: Chambers-Markle Farmstead Subdivision-Inverse With Area-Lot26.txt; Chambers-Markle Farmstead Subdivision-Inverse With Area-Lot27.txt; Chambers-Markle Farmstead Subdivision-Inverse With-Lot28 Area.txt; Chambers-Markle Farmstead Subdivision-Inverse With Area-Lot29.txt

*** **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. ***

Good morning everyone,

This subdivision plat does not fall under La Crosse County jurisdiction for review.

I did run a closure on the proposed subdivision. See attached closures.

One thing of note is to add a bearing/distance on the line between Lot 26 & 27.

Thank you,

Dale

Dale E. Hewitt - PLS 4062

La Crosse County Assistant County Surveyor
212 6th Street North, Room 1200
La Crosse, Wisconsin 54601
Phone 608-785-9626

From: chris@couleeregionlandsurveyors.com <chris@couleeregionlandsurveyors.com>
Sent: Thursday, April 10, 2025 4:03 PM
To: 'James Makepeace' <james@makepeaceengineering.com>
Cc: 'Karl Schilling' <ks.propertylogic@gmail.com>; Christina Peterson <cpeterson@townofshelby.com>; 'Reinhart, David' <Reinhartd@cityoflacrosse.org>; 'Craig, Sondra' <craigs@cityoflacrosse.org>; Bryan Meyer <bmeyer@lacrossecounty.org>; Dale Hewitt <DHewitt@lacrossecounty.org>; 'Coman, Kyle' <comank@cityoflacrosse.org>
Subject: RE: (Waterview)

All,
On behalf of Makepeace Engineering and Property Logic, I am submitting a pdf of the Plat for review.
If hard copies are still required, I will be happy to provide them.

Mr. Schilling is attached to this email.
Thank you
Chris

Christopher W. Fechner, PLS 2448
Coulee Region Land Surveyors, LLC
917 South 4th Street, Ste. 104
La Crosse, WI 54601
Phone 608-784-1614

From: James Makepeace <james@makepeaceengineering.com>
Sent: Thursday, April 10, 2025 9:36 AM
To: chris@couleeregionlandsurveyors.com
Cc: Karl Schilling <ks.propertylogic@gmail.com>
Subject: RE: Karl's plat.

Thanks Chris. Can we remove "Historical Site" from the name of the subdivision? Would love to get this to city surveyor today with the revised name if possible.

Thanks,
James Makepeace, P.E.
Makepeace Engineering LLC
608.881.6030 Office
608.797.1025 Cell

From: chris@couleeregionlandsurveyors.com <chris@couleeregionlandsurveyors.com>
Sent: Wednesday, April 9, 2025 4:42 PM
To: James Makepeace <james@makepeaceengineering.com>
Subject: Karl's plat.

*I've attached the drawing file and a pdf.
I came up with the name...
Change it if you'd like.
Have a good evening!*

*Looking forward to talking real soon.
Thank you
Chris*

Christopher W. Fechner, PLS 2448
Coulee Region Land Surveyors, LLC
917 South 4th Street, Ste. 104
La Crosse, WI 54601
Phone 608-784-1614

PRIVATE AND CONFIDENTIAL

This e-mail and attachments are intended for the addressed recipient only. If you are not the correct recipient please notify the sender of the delivery error and delete this message. Improper disclosure, copying, distribution, retransmission, or use of information from this e-mail is Prohibited, and may result in liability and damages for misuse of this information.

Craig, Sondra

From: Coman, Kyle
Sent: Thursday, May 1, 2025 2:44 PM
To: chris@couleeregionlandsurveyors.com; James Makepeace
Cc: Craig, Sondra
Subject: Chambers-Markle Farmstead Pre-Plat
Attachments: Preliminary Plat-REVIEW.pdf

Good afternoon,

Please see review comments below, and the attachment for reference.

1. It appears land is not being dedicated; the word “dedicated”, and “dedication” might be removed from the Owner’s Certificate and Consent of Corporate Mortgagee.
2. Please correct the plat name in the Register of Deeds Certificate.
3. The City Common Council Certificate might be confusing to approvers. Consider revising to read “Resolved that the Chambers-Markle Farmstead Subdivision of Lot 21...” or similar.
4. Please correct language in the Legal Description to read “that I have surveyed, divided and mapped the Chambers-Markle Farmstead subdivision plat...”
5. Correct misspelling of the word “from” in the 4th line of the notes describing setbacks.
6. Please double check the CSM volume, page, and document numbers listed.
7. Ensure the sewer lateral immediately north of the existing driveway will not be crossed by the proposed lot line.
8. Add bearing and distance to lot line.
9. Trim lines as to not enter monument symbol (I know, I know, very minor but I still like to bring it to your attention).

Thank you, gentlemen and please reach out with any questions or concerns.

Kyle Coman, PLS

City Surveyor & Construction Manager
Engineering Department
City of La Crosse
400 La Crosse Street
La Crosse, WI 54601

comank@cityoflacrosse.org

Office: 608.789.7366

Cell: 608.790.0309

CHAMBERS-MARKLE FARMSTEAD SUBDIVISION

ALL OF LOT 21, WATERVIEW SUBDIVISION;
LOCATED IN THE SE 1/4 - NW 1/4, SECTION 27, T15N-R7W
CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN

OWNERS CERTIFICATE: 1.

As owner, I hereby certify that I caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. I also certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

City of La Crosse
Wisconsin Department of Transportation
Wisconsin Department of Administration (Plat Review)

Witness the hand and seal of said owners this _____ day of _____, 2025.

In the presence of: _____
Witness

Karl Schilling (Property Logic, LLC)

State of Wisconsin)
County of La Crosse) ss

Personally came before me this _____ day of _____, 2025, Karl Schilling, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public

Notary Public, _____, Wisconsin

My Commission Expires _____ Notary Public Printed Name

CITY TREASURER CERTIFICATE

State of Wisconsin)
County of La Crosse) ss

I, Chadwick Hawkins, being the duly appointed, qualified and acting treasurer of the City of La Crosse, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of _____, 2025, on any of the land included in this plat.

Chadwick Hawkins, Treasurer Date:

COUNTY TREASURER CERTIFICATE:

State of Wisconsin)
County of La Crosse) ss

I, Amy L. Twitchell, being the duly appointed, qualified and acting Treasurer of the County of La Crosse, do hereby certify that the records in my office show there are no unpaid taxes or unpaid special assessments as of _____, 2025, affecting the lands included in this plat.

Amy L. Twitchell, Treasurer Date:

REGISTER OF DEEDS CERTIFICATE:

State of Wisconsin)
County of La Crosse) ss

I, Robin Kadmas, being duly appointed, qualified and acting Register of Deeds of the County of La Crosse, do hereby certify that the Plat of Waterview Subdivision was received for record this _____ day of _____, 2025, at _____ o'clock _____ m.

Robin Kadmas, Register of Deeds Date:

CITY COMMON COUNCIL CERTIFICATE: 3.

Resolved that the Plat of Subdivision of Lot 21 of Waterview Subdivision, is hereby approved by the Common Council of the City of La Crosse.

Shaundel Washington-Spivey, Mayor Date:

I hereby certify that the foregoing is a copy of a resolution adopted by the Common Council.

Nikki Elsen , City Clerk Date:

Legal Description 4.

I, Christopher W. Fechner, Professional Land Surveyor, do hereby certify that I have surveyed and mapped this Certified Survey Map being all of Lot 21, Waterview Subdivision, located in the SE 1/4 of the NW 1/4, Section 27, T15N-R7W, City of La Crosse, La Crosse County, Wisconsin.

Subject to any easements, covenants and restrictions of record.

That such plat is a correct representation of all of the exterior boundaries of the land surveyed and the subdivision thereof made.
That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of La Crosse in surveying and mapping the same.

Dated this _____ day of _____, 2025.

Christopher W. Fechner Notary Public
Professional Land Surveyor # S-2448 _____, Wisconsin

My Commission Expires _____

Notary Public Printed Name

Bearing Basis: The La Crosse County Coordinate System. Referenced to the North line of the NW 1/4, Section 27, T15N-R7W: N 89°25'35" E

LEGEND

- = Found 1" O.D. Iron Pipe (unless stated otherwise)
- = Set 3/4" x 20" Iron Bar (1.50 lb./lin. ft.)
- () = Recorded dimensions
- ⊕ = Found 3/4" Iron Bar
- ⦿ = Found County marker
- = Boundary of this survey
- = Centerline
- x— = Fence line
- x— = U.S.C.E. = United States Army Corps of Engineers
- ▨ = No Access

Note: Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust doctrine in navigable waters that is established under Article IX, Section 1, of the State constitution.

Notes:
All easements shown hereon are existing from Waterview Subdivision.
10' Utility Easement along streets.
25' Building setback from all street right-of-way lines.
50' Highway setback from State Road "35" right-of-way line.
110' Highway setback from State Road "35" centerline.
50' Building setback from the wetland delineation boundary.
Highway setback required by Department of Transportation per Wisconsin Statutes 236.293.
7' Side yard setback for R-2.
25' and 30' Rear yard setback for R-2.
Lot 21 zoned R-2.
Base Flood Elevation (B.F.E.) = 640.0'
Ordinary High Water Mark (O.H.W.M.) = 633.8'
Lot 21 does not fall in the floodplain

5.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20

Department of Administration



COULLE REGION LAND SURVEYORS, LLC
Christopher W. Fechner
Professional Land Surveyor # S 2448
917 SOUTH 4th STREET
P.O. BOX 1954
LA CROSSE, WI 54601
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Lot 2

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Jeri Sebo

Lot 1
C.S.M.
V. 18

P. 27

D.N. 1726059

Lot 2

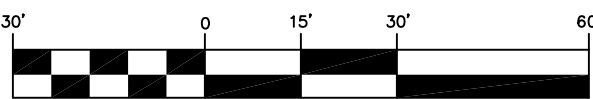
Richard Middleton Joint
Revocable Trust

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.00'	S 00°21'22" W
L2	5.60'	N 89°28'00" E

River Run Road

7.

Graphic Scale



(IN FEET)
1 inch = 30 ft.

CONSENT OF CORPORATE MORTGAGEE:

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In witness whereof, the said River Bank, has caused these presents to be signed by Jim Thompson, EVP & Chief Lending Officer, and its corporate seal to be hereunto affixed this _____ day of _____, 2025.

Executive Vice President, Jim Thompson

State of Wisconsin)
La Crosse County) ss

Personally came before me this _____ day of _____, 2025, the above named mortgagee to me known to be the persons who executed the foregoing instruments and acknowledged the same.

My commission expires: _____ Notary Public - State of Wisconsin

Notary Public Printed Name
_____, Wisconsin

HIGHWAY/ROAD BUILDING SETBACK:

The Highway Setback Line (H.S.L.) is either 50' from the highway right-of-way line, or 110' from the highway centerline and labeled accordingly. Building setbacks from all other roads and cul-de-sacs is 25' from the road right-of-way line.

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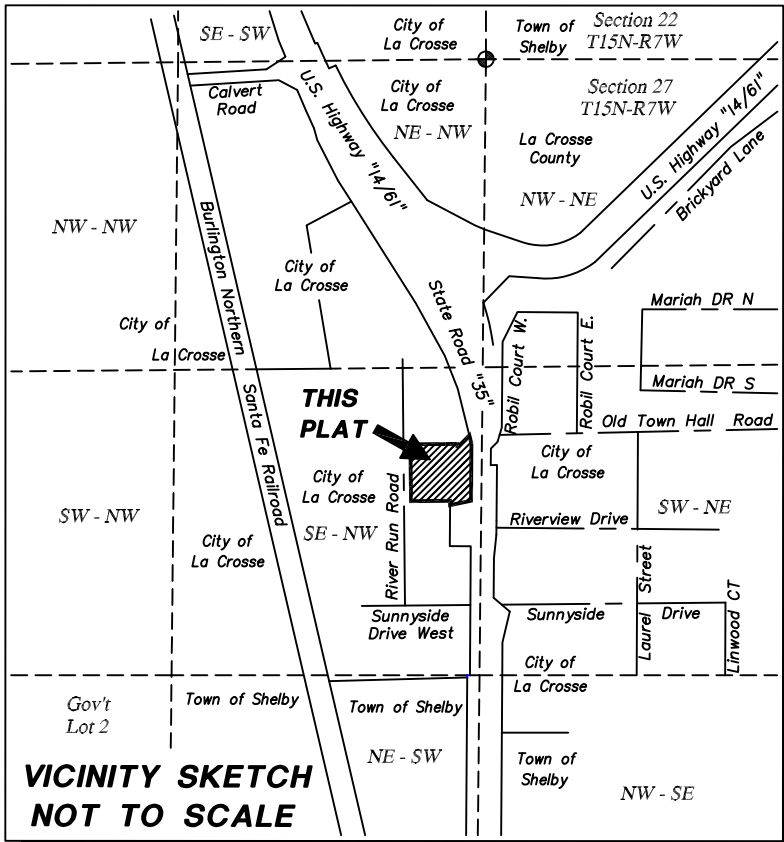
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SE 1/4 - NW 1/4
SECTION 27, T15N-R7W
CITY OF LA CROSSE,
LA CROSSE COUNTY, WI



VICINITY SKETCH
NOT TO SCALE

Office of City Clerk



May 13, 2025

ATTN: KARL SCHILLING
PROPERTY LOGIC
PO BOX 2132
LA CROSSE WI 54602

Re: Plat Submittal

We are in receipt of the *Preliminary Plat of Chambers-Markle Farmstead Subdivision to the City of La Crosse, La Crosse County, Wisconsin.*

The Plat will be considered at the following meetings:

City Plan Commission

**Monday, June 2, 2025 at 4:00 p.m.
Council Chambers, City Hall – first floor**

Judiciary & Administration Committee

**Tuesday, June 3, 2025, at 4:00 p.m.
Council Chambers, City Hall – first floor**

Common Council

**Thursday, June 12, 2025 at 6:00 p.m.
Council Chambers, City Hall – first floor**

We recommend someone attend the CPC and J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is not allowed at the Council meeting, although you are welcome to attend. The Plat will appear on the agendas as file 25-0466.

Attendance at the meetings is allowed either in person or virtual. If you wish to attend virtually, please email me at craigs@cityoflacrosse.org for the link to participate. If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig, Deputy City Clerk
(608) 789-7549
craigs@cityoflacrosse.org

cc: Christopher Fechner, Coulee Region Land Surveyors LLC
James Makepeace, Makepeace Engineering LLC

Craig, Sondra

From: Erickson, Tina
Sent: Wednesday, May 21, 2025 1:40 PM
To: Craig, Sondra
Cc: Gallagher, Matthew; Coman, Kyle
Subject: FW: Utilities review of Preliminary Plat of Chambers-Markle Farmstead Subdivision
Attachments: 6103 River Run Road (Parcel 17-50782-10) water lateral location 05192025.pdf; 6103 River Run Road (Parcel 17-50782-10) sewer lateral location 05212025.pdf

Importance: High

Sondra,

The Utilities are currently denying the proposed plat because it will create a non-compliant sanitary sewer lateral. However, I have spoken with and emailed Karl Schilling letting him know of our plan to deny, and what his options are. Please see the email below. If he can prove that the sanitary lateral does not cross through a neighboring parcel to feed the existing home, we will amend our response. Otherwise, he may also have to amend his plat or update the plumbing if he does find that the sanitary lateral would be non-compliant.

Sincerely,

Tina Erickson
Utilities Finance & Compliance Manager

La Crosse Utilities (Water – Sewer - Storm)
City of La Crosse
400 La Crosse Street
La Crosse, WI 54601

Office: 608.789.7520
Cell: 608.860.0981
Alternate Email: utilities@cityoflacrosse.org
Webpage: www.cityoflacrosse.org/utilities

From: Erickson, Tina
Sent: Wednesday, May 21, 2025 1:36 PM
To: ks.propertylogic@gmail.com
Cc: Asp, Brian <aspb@cityoflacrosse.org>
Subject: Utilities review of Preliminary Plat of Chambers-Markle Farmstead Subdivision
Importance: High

Dear Karl,

I am reviewing the Preliminary Plat that was submitted to ensure the parcel changes will not result in a non-compliant utility service for both water and sewer laterals that feed the existing structure at 6103 River Run Road (currently parcel 17-50782-10).

The water service for this property appears to remain compliant after the split, as it is tapped off the watermain that comes in on the north side of the property from the highway and will not cross through any other parcels to connect to the home. I have attached a map that shows where the water service is located.

However, the sanitary sewer lateral for this property looks like it may not be compliant with the proposed changes. That sanitary lateral that comes off River Run Road (See attachment that includes a screenshot that shows approximate location to the sanitary sewer main), can't cross through any other parcel other than the one it serves. Therefore, since it is serving Lot 29, the sanitary lateral must stay within the parcel boundaries of lot 29.

Based on what we can see, the sanitary lateral may go through Lot 27 and the Utilities will be denying the request as proposed based on the information available at this time. The options to resolve a situation like this are either 1) Prove that the sanitary lateral does not cross into Lot 27 by providing a map with the path of the private sanitary lateral from River Run Road to the house, 2) change the plat design and parcel layouts so that the sanitary lateral is only on the parcel it serves, or 3) re-plumb/move the sanitary lateral so that it stays within the proposed parcel boundaries of Lot 29.

The Utilities will be happy to review the request again if you can find proof that the sanitary lateral does stay within the parcel boundaries of Lot 29 as designed on the proposed plat. If it is non-compliant, then you will have to decide which path you would like to take to ensure the new plat will comply with utility regulations.

Feel free to give me a call if you have any questions.

Sincerely,

Tina Erickson

Utilities Finance & Compliance Manager

La Crosse Utilities (Water – Sewer - Storm)

City of La Crosse

400 La Crosse Street

La Crosse, WI 54601

Office: 608.789.7520

Cell: 608.860.0981

Alternate Email: utilities@cityoflacrosse.org

Webpage: www.cityoflacrosse.org/utilities



6103 River Run Road (Parcel 17-50782-10)

Approximate location of sanitary sewer lateral connection to the sewer main. Unknown direction from main to home.



Craig, Sondra

From: Coman, Kyle
Sent: Tuesday, May 27, 2025 12:54 PM
To: Erickson, Tina; James Makepeace; Gallagher, Matthew
Cc: Acklin, Tim; Nasonovs, Jurijs; Karl Schilling; Craig, Sondra
Subject: RE: Waterview Lot 21 Plat

Regarding #2, the plat cannot be submitted as only a final plat. City ordinance 113-69 (a) does require a preliminary plat. It is possible that a preliminary and final plat be submitted at once. However, you would need to provide additional information and allow staff time to review and comment. Considering the timeframe, that seems to be a tall order.

Kyle Coman, PLS

City Surveyor & Construction Manager
Engineering Department
City of La Crosse
400 La Crosse Street
La Crosse, WI 54601

comank@cityoflacrosse.org

Office: 608.789.7366
Cell: 608.790.0309

From: Erickson, Tina <ericksont@cityoflacrosse.org>
Sent: Tuesday, May 27, 2025 12:02 PM
To: James Makepeace <james@makepeaceengineering.com>; Coman, Kyle <comank@cityoflacrosse.org>; Gallagher, Matthew <gallagerm@cityoflacrosse.org>
Cc: Acklin, Tim <Acklint@cityoflacrosse.org>; Nasonovs, Jurijs <nasonovsj@cityoflacrosse.org>; Karl Schilling <ks.propertylogic@gmail.com>
Subject: RE: Waterview Lot 21 Plat

As for as #1, since this shows the sanitary lateral for the existing house comes from across the highway, that parcel would be compliant. The only additional comments now from Utilities would be that Lots 1 and 3 do not have stubbed water and/or sewer services. Lot 2 then appears to have a stubbed sewer service, but no stubbed water service. The property owner would be responsible for installation of the new services.

#2 and #3 will be for Engineering to reply to.

I will notify the City Clerk of the Utilities amended comments.

Sincerely,

Tina Erickson

Utilities Finance & Compliance Manager
La Crosse Utilities (Water – Sewer - Storm)
City of La Crosse
400 La Crosse Street

La Crosse, WI 54601

Office: 608.789.7520

Cell: 608.860.0981

Alternate Email: utilities@cityoflacrosse.org

Webpage: www.cityoflacrosse.org/utilities

From: James Makepeace <james@makepeaceengineering.com>

Sent: Tuesday, May 27, 2025 11:47 AM

To: Coman, Kyle <comank@cityoflacrosse.org>; Gallagher, Matthew <gallagerm@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>

Cc: Acklin, Tim <acklint@cityoflacrosse.org>; Nasonovs, Jurijs <nasonovsj@cityoflacrosse.org>; Karl Schilling <ks.propertylogic@gmail.com>

Subject: Waterview Lot 21 Plat

*** **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. ***

Good morning all. I've been discussing Karl Schilling's Lot 21 Waterview plat with Kyle Coman, and he asked that I email everyone. Regarding Karl Schilling's Waterview Lot 21 plat which is making its way to the meeting cycles this month, there are a couple issues Karl asked me to sort out.

#1 Existing Sewer Service

Ms. Erickson requested Karl provide evidence that the sewer service for the existing house would not cross any proposed property lines.

Attached are an exhibit showing the two sewer services which are currently serving Waterview Lot 21. You can see a service stub off River Run Road. This stub was constructed in 2018 for future development on this lot. You can also see a sewer service line heading toward Lot 21 from the sewer main which is located in the right-of-way on the east side of Highway 35. This is the existing service currently used by the existing house.

Also attached is an exhibit showing an existing cleanout on the west side of the house, another existing cleanout on the north side of the house, and the route of the service going straight east to the main. This sewer service was televised and traced from the house, through both cleanouts, all the way to the main on Thursday, May 22, 2025 and is portrayed accurately. This service will not cross any proposed property lines.

#2 Preliminary versus Final Plat

Karl requests that this plat, if allowed by ordinance, proceed through Planning Commission, J&A and Council as a Final Plat. Wisconsin Statute allows it and Karl would like to not be required to go through two sets of meetings. Karl would like to finish the platting process as quickly as possible and move on with development or sale of the lots asap. Karl is not sure if he will develop the parcels himself or not, but has interested buyers who would look to develop lots 1-3 in 2025.

Wisconsin Chapter 236 explicitly allows a developer to submit only a final plat. La Crosse Ordinance 113 does not explicitly state that, but does refer to Chapter 236. Please let us know if the plat may move forward as a final plat at this time.

#3 Stormwater

City of La Crosse Ordinance 105-55 makes it clear that post-construction performance standards must be met on all future development once the plat is approved. This will likely be some combination of stormwater detention, rain gardens, and bio-infiltration. In our experience, constructing those post-construction BMP's

prior to the actual construction results in problems related to inaccurate assumptions about the size of future improvements as well as lack of protection of those bmp's during construction of the houses/driveways.

We'd ask that the City require post-construction BMP's be designed and constructed at the time building permits are applied for for each proposed lot.

Thanks,
James Makepeace, P.E.
(608)881-6030 Office
(608)797-1025 Cell

Agenda Item 25-0466: (Tim Acklin)

Preliminary Plat of Chambers-Markle Farmstead Subdivision to the City of La Crosse, La Crosse County, Wisconsin.

General Location

Council District 13, located south of the intersection of State Hwy 35 and State Hwy 14/61 as depicted on attached MAP 25-0413. Subject property is part of the Waterview Subdivision. Adjacent uses include two and four units to the west and north, two units, four units and apartment buildings to the south, and single-family homes to the east across Hwy 35.

Background Information

The applicant is requesting to subdivide Lot 21 of the Waterview Subdivision into four parcels. Three of the parcels will be used to construct 2-unit, owner-occupied dwelling units (twindo-miniums). The remaining parcel will continue to be used for the existing single family home and the red barn building. All of the parcels will front, and only have access to, River Run Road.

Please note that Wisconsin State Statute 236.13 states that *“No approving authority or agency having the power to approve or object to plats shall condition approval upon compliance with, or base an objection upon, any requirement other than those specified in this section.”*

The applicant will still need to submit a Final Plat to the Common Council for approval. Stormwater management and any proposed covenants would be reviewed at that time. The proposed development will be required to manage stormwater on their own parcels.

Recommendation of Other Boards and Commissions.

This parcel is part of the Waterview Subdivision, which was approved by the Common Council at their March 2018 meeting for low-density residential development.

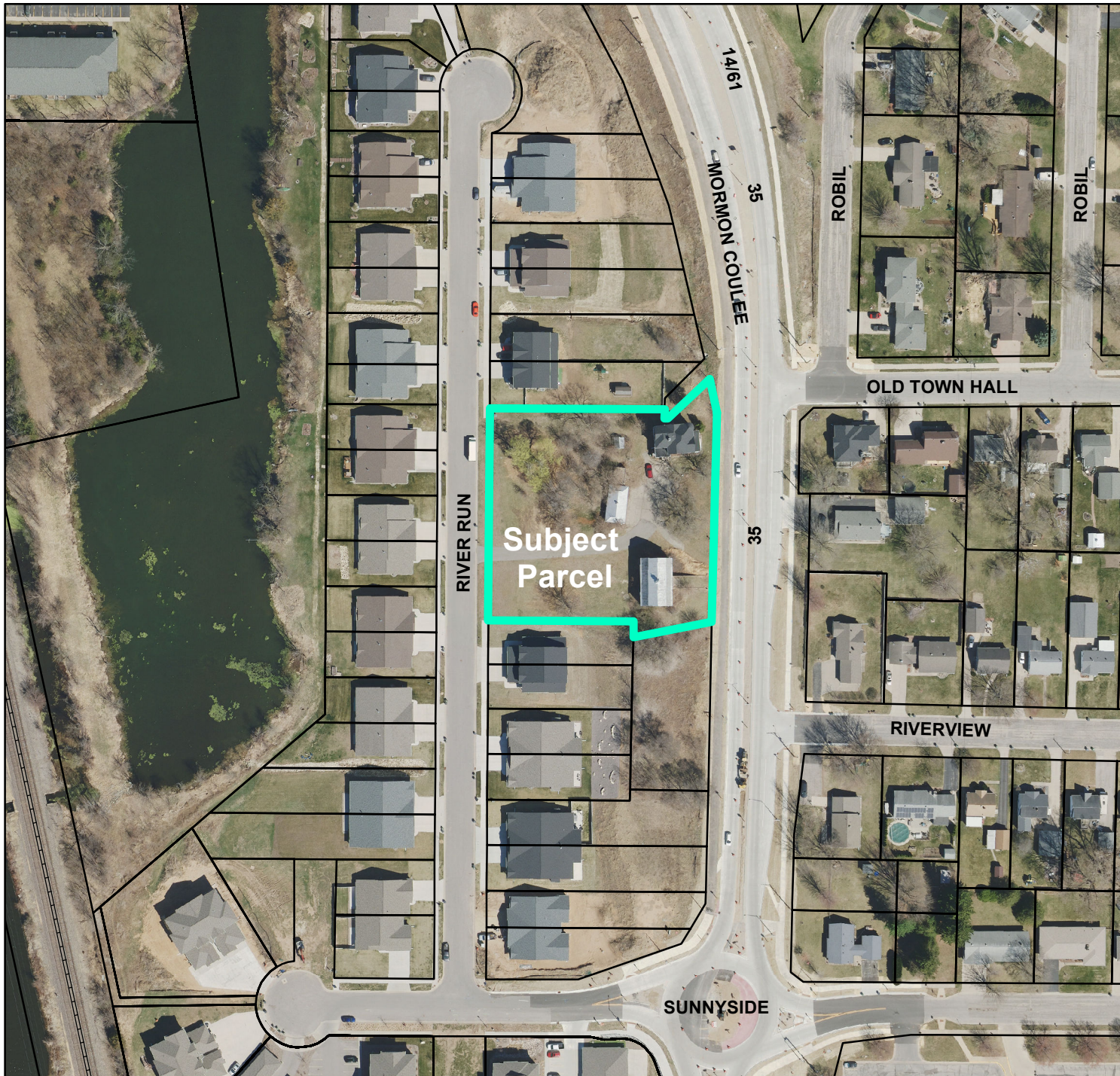
Consistency with Adopted Comprehensive Plan

According to the Land Use Element of “Forward La Crosse”, Low-Density Residential, which includes 2-unit residential dwelling units, is a desirable use within the neighborhoods around Southern Bluffs Elementary.

Staff Recommendation

This item is recommended for approval with the condition that any requirements from the Engineering and Utilities Department have been met.

Routing J&A 6.3.25

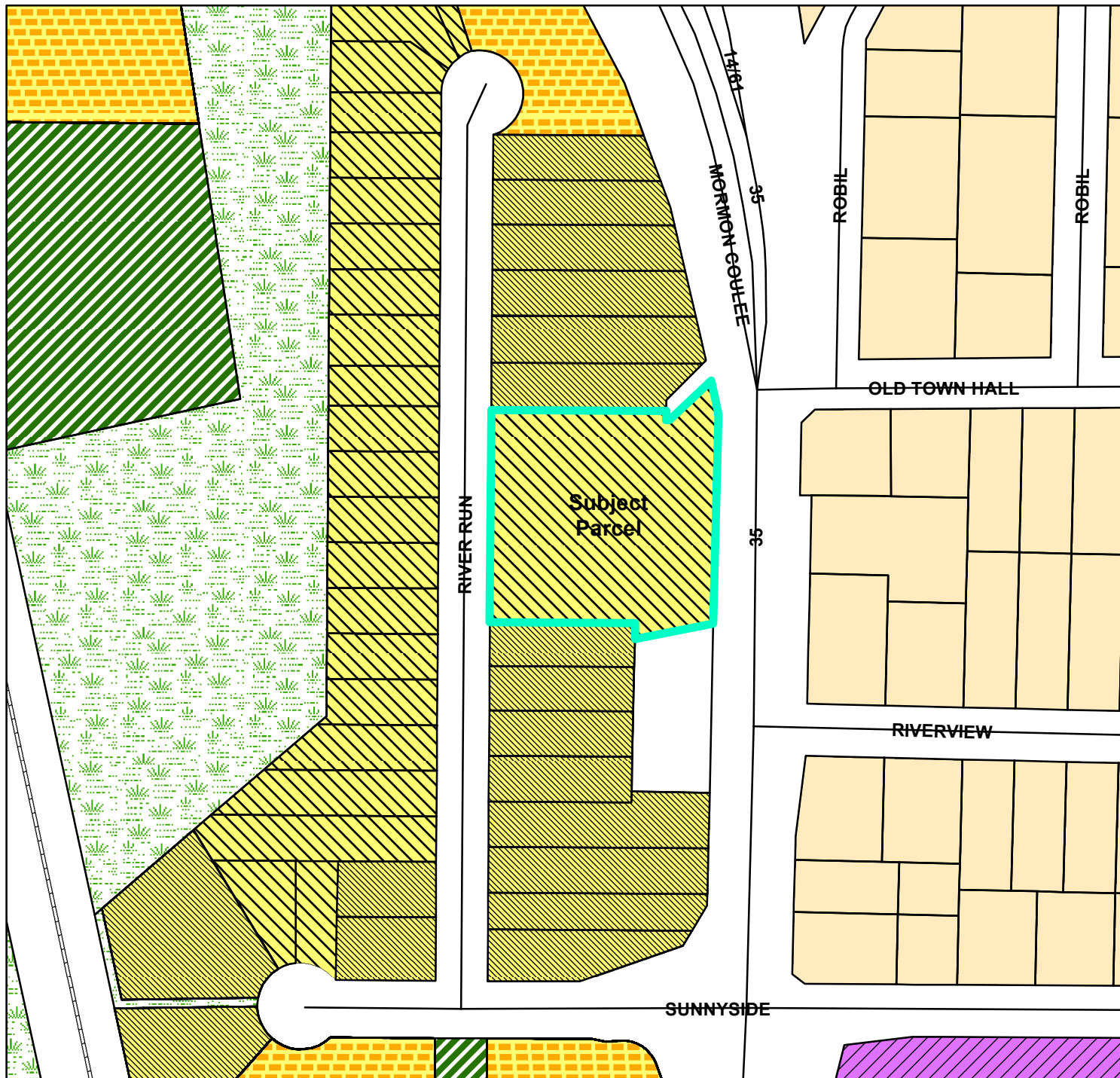


BASIC ZONING DISTRICTS

	R1 - SINGLE FAMILY
	R2 - RESIDENCE
	WR - WASHBURN RES
	R3 - SPECIAL RESIDENCE
	R4 - LOW DENSITY MULTI
	R5 - MULTIPLE DWELLING
	R6 - SPECIAL MULTIPLE
	PD- PLANNED DEVELOP
	TND - TRAD NEIGH DEV.
	C1 - LOCAL BUSINESS
	C2 - COMMERCIAL
	C3 - COMMUNITY BUSINESS
	M1 - LIGHT INDUSTRIAL
	M2 - HEAVY INDUSTRIAL
	PS - PUBLIC & SEMI-PUBLIC
	PL - PARKING LOT
	UT - PUBLIC UTILITY
	CON - CONSERVANCY
	FW - FLOODWAY
	A1 - AGRICULTURAL
	EA - EXCLUSIVE AG
	City Limits
	SUBJECT PROPERTY



0 80 160 320 Feet



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