City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Meeting Agenda - Final

City Plan Commission

Monday, August 1, 2022 | **4:00 PM** | **Council Chambers**

The meeting is open for in-person attendance and will also be conducted through video conferencing. The meeting can be viewed by clicking this link (or typing the URL in your web browser address bar): https://stream.lifesizecloud.com/extension/4796124/c7d43560-fea7-4613-9625-63af875bee87

If you wish to speak on an agenda item, arrive early to sign up before the meeting begins. If attending virtually and you wish to speak, contact the Department of Planning, Development and Assessment at the email or phone number below so we can provide you with the necessary information to join in.

Members of the public who would like to provide written comments on any agenda may do so by emailing tranea@cityoflacrosse.org, using a drop box outside of City Hall or mailing the Department of Planning, Development and Assessment, 400 La Crosse Street, La Crosse WI 54601. Questions, call 608-789-7512.

Call to Order

Roll Call

Approval of Minutes

Approval of Minutes from June 20, 2022.

Approval of Minutes from July 5, 2022.

Approval of Minutes from July 14, 2022.

Agenda Items:

22-0880 Certified Survey Map - Part of NE 1/4 - NE 1/4, Section 21, T15N-R7W; Town of Shelby, La Crosse County, Wisconsin.

Attachments: CSM - Submittal Checklist - 6.28.2022

CSM as Submitted - 6.28.2022

Letter Re Meeting Dates

CRM Approval - 6.29.2022

County Comments - Corrections Needed - 6.29.2022

Utilities Approval - 7.20.2022

Engineering Approval - 7.22.2022

Assessor Approval - 7.20.2022

CPC Staff Report 08.01.22; 22-0880

22-0881 Application of Eagle Bay Properties LLC for a Conditional Use Permit at 1124 West George St. allowing for demolition of structure for green space.

Attachments: Application

Notice of Hearing

200-Foot Buffer List

Buffer Map

CPC Staff Report 08.01.22; 22-0881

22-0902 Application of La Crosse County (dba Hillview Health Care Center) for a Conditional Use Permit allowing for a Community Living Arrangement at 3501 Park Lane Dr.

Attachments: Application
Cover Letter
Operational Plan
Parking Summary
Original Plat
Conceptual Campus Plan
Conceptual Campus Plan - Future
Existing Site Plan
Site Layout Plan
Site Grading Plan
Site Utility Plan
Conceptual Landscape Plan
Floor Plan
Exterior Elevations-Renderings
Exterior Fence Cutsheet
Notice of Hearing
200-Foot Buffer List
Buffer Map
CPC Staff Report 08.01.22; 22-0902

22-0903 Resolution committing to and accepting Transportation Alternatives Program funding for an update to the Bicycle and Pedestrian Master Plan.

Attachments: Resolution
CPC Staff Report 08.01.22; 22-0903

22-0993 August 2022- Comp Plan Update.

Attachments: 2022-07-28 Revised PC memo.pdf
Comprehensive Plan Analytics July 25 2022.pdf

Adjournment

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

NOTICE TO PERSONS WITH A DISABILITY
Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.

City Plan Commission Members:
Mayor Mitch Reynolds, Chris Kahlow, Elaine Yager, Jacob Sciammas, James Cherf, Jennifer Trost, Matt Gallager, Nabamita Dutta, & Scott Neumeister.

City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0880

Agenda Date: 8/2/2022 **Version:** 1 **Status:** New Business

In Control: Judiciary & Administration Committee **File Type:** Plat/Certified Survey Map

Agenda Number:

Rev. 1/2020

CITY OF LA CROSSE, WISCONSIN
CERTIFIED SURVEY MAP SUBMITTAL & REVIEW CHECK LIST

X CSM located in Extra-Territorial Jurisdiction (Council Approval Required)

_____ CSM located in the City (Department Review Only)

Extra-Territorial Review: BEFORE FILING WITH THE CITY, you must have both Town and County approvals. The Plan Commission may not consider any land division which did not have prior approval by the approving authorities for both the Town(s) and La Crosse County.

Town Board Approved: 6/21/22 (date) La Crosse County Approved: **N/A**

To be completed by property owner/surveyor with submittal (*incomplete checklist may cause a delay in the review):

Current Tax Parcel Number(s): 11-1527-0

Map ID / Location: 4625 Mormon Coulee Road

Surveyor: Chris Fechner Phone No. 784-1614

Property Owner: Tippetts Rentals C/O Ben Tippitts Phone No. 608 738-8612

***circle who should be called when CSM is ready for pick up.*

I am the property owner of record, and I approve of this CSM: *

(property owner signature)

**In lieu of owner's signature on this submittal checklist, you may provide written communication from property owner.*

Purpose of CSM and intended outcome (or attach a letter explaining):

Seperate existing house & garage from the rest of the mobile home park

Have you worked with any other Department/staff person with regard to this CSM? If so, who?

Scott Dunnum; City Surveyor

Have you received any other decision with regard to this CSM from any City board, commission or committee?

If so, which one and when? N/A

To be completed by City Clerk at time of filing:

6/28/2022 Original Document for Signature. *(Clerk will make a photocopy which is distributed for review.)*

6/28/2022 Review Fee *(cash, check payable to City Treasurer or credit card with convenience fee)*
$200.00 – First Application
$100.00 – Reapplication of the same CSM

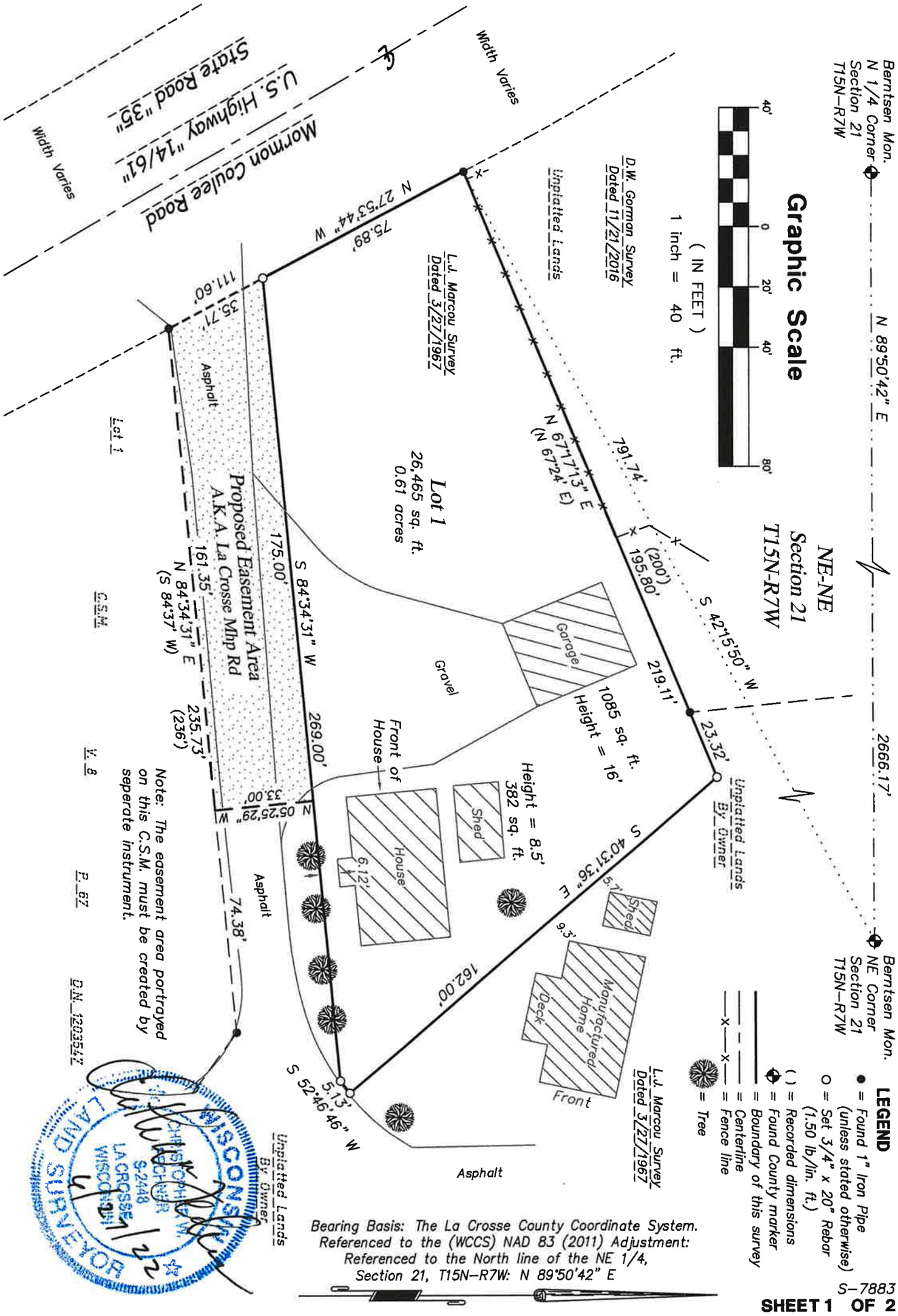
6/28/2022 Internal Review Routing & Email to County Surveyor. *(Initiated by Clerk with complete filing.)*

_____ Original CSM Issued. *(Upon approval, the original will be signed and available for pick up.)*

CERTIFIED SURVEY MAP No. ____

PART OF

NE 1/4 - NE 1/4, Section 21, T15N-R7W;
Town of Shelby, La Crosse County, Wisconsin



CERTIFIED SURVEY MAP No. ____

PART OF

NE 1/4 - NE 1/4, Section 21, T15N-R7W;
Town of Shelby, La Crosse County, Wisconsin

SURVEYOR'S CERTIFICATE

I, Christopher W. Fechner, Professional Land Surveyor, do hereby certify that I have surveyed and mapped this Certified Survey Map being part of the NE 1/4 of the NE 1/4, Section 21, T15N–R7W, Town of Shelby, La Crosse County, Wisconsin described as follows:

Commencing at the northeast corner of Section 21, thence S 42°15'50" W 791.74 feet to the easterly right–of–way line of Mormon Coulee Road and the point of beginning of this description:

thence N 67°17'13" E 219.11 feet;
thence S 40°31'36" E 162.00 feet;
thence S 52°46'46" W 5.13 feet;
thence S 84°34'31" W 269.00 feet to said easterly right–of–way line;
thence, along said easterly right–of–way line, N 27°53'44" W 75.89 feet to the point of beginning of this description.

Together with a proposed 33.00 foot wide access easement for ingress and egress located in the NE 1/4 of the NE 1/4, Section 21, T15N–R7W, Town of Shelby, La Crosse County, Wisconsin described as follows;

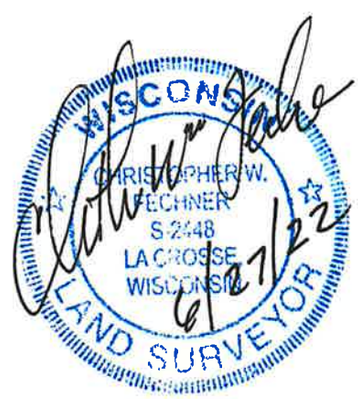
Commencing at the northeast corner of Section 21, thence S 42°15'50" W 791.74 feet to the easterly right–of–way line of Mormon Coulee Road, thence, along said easterly right–of–way line, S 27°53'44" E 75.89 feet to the point of beginning of this easement description:

thence, continuing along said easterly right–of–way line, S 27°53'44" E 35.71 feet to the northwest corner of Lot 1, Certified Survey Map, Volume 8, Page 67, Document Number 1203547;
thence, along the North line of said Lot 1, N 84°34'31" E 235.73 feet;
thence N 05°25'29" W 33.00 feet;
thence S 84°34'31" W 175.00 feet to the point of beginning of this easement description.

Subject to any easements, covenants and restrictions of record.

That I have made such survey, map and division of land at the direction of Ben Tippetts, owner of said land.
That such map is a correct representation of the exterior boundaries of the land surveyed and subdivision thereof made.
That I have fully complied with the provisions of s.236.34, Wisconsin Statutes and with the subdivision ordinances of the Town of Shelby in surveying and mapping the same.

Christopher W. Fechner PLS #2448
Coulee Region Land Surveyors, LLC
917 S. 4th Street
La Crosse, WI 54601



Owner:
Ben Tippetts
Tippetts Rentals, LLC
W7931 County Road "ZB"
Onalaska, WI 54650

TOWN OF SHELBY APPROVAL

The Town of Shelby does hereby approve of this Certified Survey Map.

_____
Signature *Date*

CITY OF LA CROSSE APPROVAL

Resolved that this Certified Survey Map is hereby approved by the City of La Crosse.

Dated this____day of_____, 2022

_____
City Clerk

CITY CLERK'S OFFICE

400 La Crosse Street
La Crosse, Wisconsin 54601
(608) 789-7510
cityclerk@cityoflacrosse.org
www.cityoflacrosse.org

June 29, 2022

Christopher Fechner
Coulee Region Land Surveyors, LLC
917 4th St S
La Crosse WI 54601

Ben Tippetts
Tippetts Rentals LLC
W7931 County Road ZB
Onalaska WI 54650

Re: Certified Survey Map

We are in receipt of the *Certified Survey Map - Part of NE 1/4 - NE 1/4, Section 21, T15N-R7W; Town of Shelby, La Crosse County, Wisconsin.*

The CSM will be considered at the following meetings:

City Plan Commission	**Mon., August 1, 2022, 4:00 p.m.** **Council Chambers, City Hall – first floor**
Judiciary & Administration Committee	**Tues., August 2, 2022, 6:00 p.m.** **Council Chambers, City Hall – first floor**
Common Council	**Thurs., August 11, 2022, 6:00 p.m.** **Council Chambers, City Hall – first floor**

We recommend someone attend the CPC and J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is not allowed at the Council meeting; although, you are welcome to attend.

Attendance is allowed either in person or virtual. If you wish to attend virtually, please email me at craigs@cityoflacrosse.org for the link to participate.

If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig

Sondra Craig
Deputy City Clerk
(608) 789-7549
craigs@cityoflacrosse.org
www.cityoflacrosse.org

From: Reinhart, David
Sent: Wednesday, June 29, 2022 8:31 AM
To: Craig, Sondra
Subject: RE: For Review - CSM - 4625 Mormon Coulee Road

Approved.

Thanks.

David Reinhart
Chief Building Inspector
La Crosse Fire Department
Division of Community Risk Management
400 La Crosse St., La Crosse, WI. 54601
Office: 608-789-7564

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Tuesday, June 28, 2022 3:54 PM
To: Asp, Brian <aspb@cityoflacrosse.org>; Dunnum, Scott <Dunnums@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Neumann, Shannon <Neumanns@cityoflacrosse.org>; Reinhart, David <Reinhartd@cityoflacrosse.org>
Subject: For Review - CSM - 4625 Mormon Coulee Road

Good afternoon,

Attached for your review is a CSM filed for property 4625 Mormon Coulee Road in the City of La Crosse. Please respond with your comments or approval.

Thank you,

Sondra Craig (she/her)
Deputy Clerk
La Crosse City Clerk's Office
400 La Crosse Street
La Crosse WI 54601
608-789-7549
craigs@cityoflacrosse.org

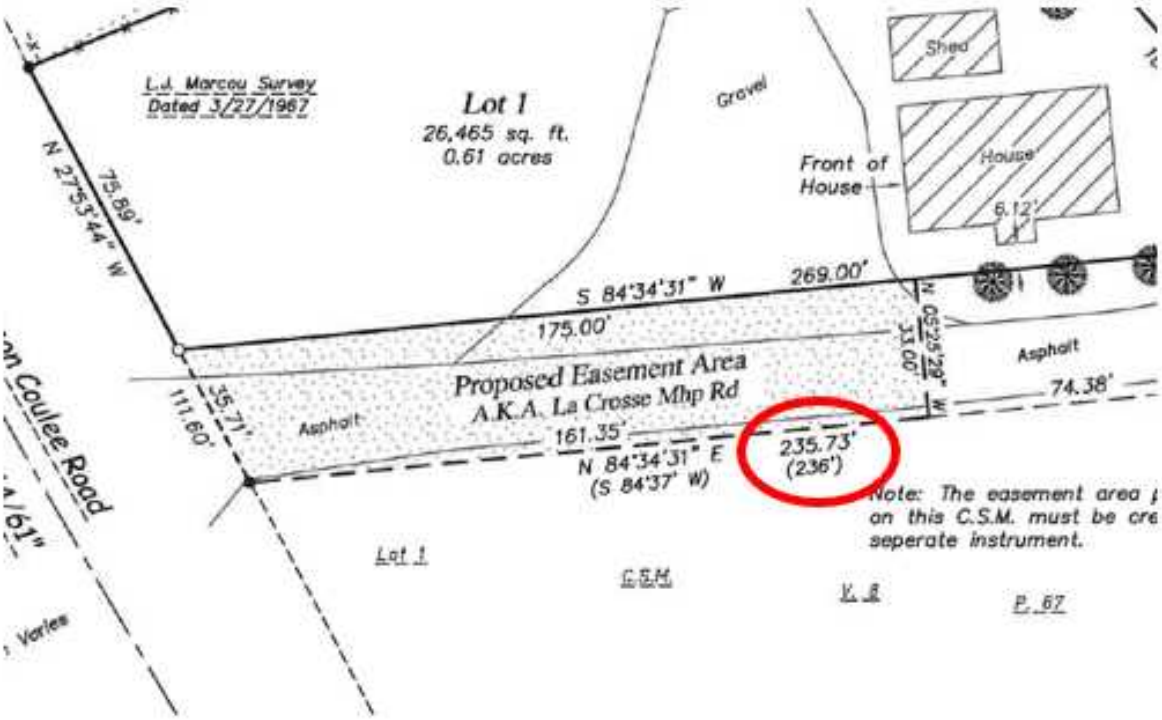
From: Bryan Meyer <bmeyer@lacrossecounty.org>
Sent: Wednesday, June 29, 2022 10:37 AM
To: Craig, Sondra
Cc: Dale Hewitt
Subject: RE: For Review - CSM - 4625 Mormon Coulee Road

Good morning Sondra,

Overall, the map looks great! There is one minor glitch that will need to be fixed prior to recording. It occurs in the description for the easement. The distance called for in the easement description is 235.73 feet. That should be corrected to read 161.35 feet.

Landowner and surveyor are working with the La Crosse County Zoning Department regarding some set back issues. Those will likely need to be addressed prior to the map being recorded.
Once the distance in the easement description is corrected, the map will comply with the La Crosse County Subdivision Ordinance and will be approved by my office.

On a sad note, Corey Hughes is no longer with La Crosse County. He accepted the position of County Surveyor in St. Croix County. I wish Corey all the best in his new position. Dale Hewitt has been hired as t he new Assistant County Surveyor and I have cc'd him in on this email. Please include Dale on any future correspondence on City of La Crosse CSM reviews.



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That such map is a correct representation of the exterior boundaries of the land surveyed and subdivision thereof made.

That I have fully complied with the provisions of s.236.34, Wisconsin Statutes and with the subdivision ordinances of the Town of Shelby in surveying and mapping the same.

Thanks, Sondra! 😊

Bryan Meyer
La Crosse County Surveyor
President – Wisconsin Society of Land Surveyors
212 6th Street North – Room 1202
La Crosse, WI 54601
608-789-8531

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Wednesday, June 29, 2022 7:57 AM
To: Bryan Meyer <bmeyer@lacrossecounty.org>; Bryan Meyer <bmeyer@lacrossecounty.org>
Subject: RE: For Review - CSM - 4625 Mormon Coulee Road

My apologies all – this CSM is in the Town of Shelby, not the City of La Crosse.

Sondra Craig (she/her)
Deputy Clerk
La Crosse City Clerk's Office
400 La Crosse Street
La Crosse WI 54601
608-789-7549
craigs@cityoflacrosse.org

From: Craig, Sondra <>
Sent: Tuesday, June 28, 2022 3:54 PM
To: Hughes, C <chughes@lacrossecounty.org>; Meyer, Brandon <bmeyer@lacrossecounty.org>
Subject: For Review - CSM - 4625 Mormon Coulee Road

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Thank you,

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Deputy Clerk
La Crosse City Clerk's Office
400 La Crosse Street
La Crosse WI 54601
608-789-7549

craigs@cityoflacrosse.org

Elected Officials and Members of Official Committees:
In order to comply with open meeting requirements, please limit any reply to only the sender of this electronic communication.

Craig, Sondra

From: Asp, Brian
Sent: Wednesday, July 20, 2022 12:10 PM
To: Craig, Sondra
Subject: RE: For Review - CSM - 4625 Mormon Coulee Road

Based on the information we have available we have no concerns with the CSM for 4625 Mormon Coulee Rd.

Brian Asp

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Wednesday, July 20, 2022 9:05 AM
To: Neumann, Shannon <Neumanns@cityoflacrosse.org>; Dunnum, Scott <Dunnums@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>
Subject: FW: For Review - CSM - 4625 Mormon Coulee Road

Just a reminder to review and respond with your comments or approval. This CSM will be going to Council next month as it is in our extraterritorial jurisdiction.

Thank you,

Sondra Craig (she/her)
Deputy Clerk
La Crosse City Clerk's Office
400 La Crosse Street
La Crosse WI 54601
608-789-7549
craigs@cityoflacrosse.org

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La Crosse City Clerk's Office
400 La Crosse Street
La Crosse WI 54601
608-789-7549
craigs@cityoflacrosse.org

Craig, Sondra

From: Dunnum, Scott
Sent: Friday, July 22, 2022 11:55 AM
To: Craig, Sondra
Subject: RE: For Review - CSM - 4625 Mormon Coulee Road

The Engineering Department has reviewed this CSM and approves.

Scott Dunnum
Chief Surveyor
Engineering Department
City of La Crosse
dunnums@cityoflacrosse.org
608-789-7369

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Wednesday, July 20, 2022 9:05 AM
To: Neumann, Shannon <Neumanns@cityoflacrosse.org>; Dunnum, Scott <Dunnums@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>
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Thank you,

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La Crosse City Clerk's Office
400 La Crosse Street
La Crosse WI 54601
608-789-7549
craigs@cityoflacrosse.org

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Thank you,

Sondra Craig (she/her)

Craig, Sondra

From: Neumann, Shannon
Sent: Wednesday, July 20, 2022 9:08 AM
To: Craig, Sondra
Subject: FW: For Review - CSM - 4625 Mormon Coulee Road
Attachments: CSM and Submittal Checklist - 4625 MCR.pdf

I approve.

Take Care,

Shannon Neumann
City of La Crosse, Lead Property Appraisal Specialist
400 La Crosse St. 54601
608-789-7544
neumanns@cityoflacrosse.org
www.cityoflacrosse.org

From: Craig, Sondra <craigs@cityoflacrosse.org>
Sent: Wednesday, July 20, 2022 9:05 AM
To: Neumann, Shannon <Neumanns@cityoflacrosse.org>; Dunnum, Scott <Dunnums@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>
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Thank you,

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Subject: For Review - CSM - 4625 Mormon Coulee Road

Good afternoon,

Attached for your review is a CSM filed for property 4625 Mormon Coulee Road in the City of La Crosse. Please respond with your comments or approval.

Agenda Item 22-0880 (Tim Acklin)

Certified Survey Map - Part of NE 1/4 - NE 1/4, Section 21, T15N-R7W; Town of Shelby, La Crosse County, Wisconsin.

General Location

Town of Shelby within the City's extra-territorial jurisdiction. The subject area is bounded by Hwy 14/61-Mormon Coulee Rd and Wal-Mart to the west, a mobile home park & Pammel Creek to the east, residential and commercial/retail to the north, and retail/commercial and self-storage to the south.

Background Information

The current parcel, located in the Town of Shelby, includes a large mobile home park that sits along Pammel Creek and the railroad tracks as well as an existing house, detached garage, and shed that is located closer to Mormon Coulee Road. The applicant is requesting approval of the attached Certified Survey Map (CSM) which will subdivide the parcel and separate the uses onto their own parcels. It also establishes an access easement for both of the new parcels.

It is unclear what the applicant intends to use the property for. The current zoning is "Manufactured Home Community" which would imply that the applicant would have to rezone it on a Township and/or County level if it was to be used other than a single-family home.

The parcel is served by City utilities.

Recommendation of Other Boards and Commissions

This CSM was approved internally by the Community Risk Management, Utilities, Engineering, and Assessor Departments.

Consistency with Adopted Comprehensive Plan

Though this parcel is located in the Town of Shelby it is part of an area identified as the South Great River Road Corridor which is a designated revitalization area in the Comprehensive Plan. Subdividing this parcel would allow greater opportunity for redevelopment which would be beneficial to the corridor no matter the municipality it is located in. (Page 4-18 to 4-21)

Staff Recommendation

This item is recommended for approval

Routing J&A 8.2.2022

BASIC ZONING DISTRICTS

- R1 - SINGLE FAMILY
- R2 - RESIDENCE
- WR - WASHBURN RES
- R3 - SPECIAL RESIDENCE
- R4 - LOW DENSITY MULTI
- R5 - MULTIPLE DWELLING
- R6 - SPECIAL MULTIPLE
- PD- PLANNED DEVELOP
- TND - TRAD NEIGH DEV.
- C1 - LOCAL BUSINESS
- C2 - COMMERCIAL
- C3 - COMMUNITY BUSINESS
- M1 - LIGHT INDUSTRIAL
- M2 - HEAVY INDUSTRIAL
- PS - PUBLIC & SEMI-PUBLIC
- PL - PARKING LOT
- UT - PUBLIC UTILITY
- CON - CONSERVANCY
- FW - FLOODWAY
- A1 - AGRICULTURAL
- EA - EXCLUSIVE AG
- City Limits
- SUBJECT PROPERTY

0 100 200 400 Feet

City of La Crosse Planning Department - 2022

PC 22-0880

City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0881

Agenda Date: 8/2/2022 **Version:** 1 **Status:** New Business

In Control: Judiciary & Administration Committee **File Type:** Application

Agenda Number:

CONDITIONAL USE PERMIT APPLICATION

Applicant (name and address):
EAGLE BAY PROPERTIES LLC, 9447 JANCING AVENUE, SPARTA, WI 54656

Owner of property (name and address), if different than Applicant:
—

RECEIVED JUN 14 2022 City Clerk's Office

Architect (name and address), if applicable:
N/A

Professional Engineer (name and address), if applicable:
N/A

Contractor (name and address), if applicable:
WEIZZ EXCAVATING, N7771 CTY. ROAD D, HOLMEN, WI

Address(es) of subject parcel(s): 1124 W. GEORGE STREET, LA CROSSE

Tax Parcel Number(s): 17-10263-73

Legal Description (must be a recordable legal description; see Requirements):
SEE CSM ATTACHED

Zoning District Classification: C-2 Commercial

A Conditional Use Permit is required per La Crosse Municipal Code Sec. 115-356

If the use is defined in Sec.:

- *115-347(6)(c)(1) or (2), see "*" on the next page.*
- *115-353 or 356, see "**" on the next page.*

Is the property/structure listed on the local register of historic places? Yes _____ No ✓

Description of subject site and **CURRENT** use: VACANT BURGER KING

Description of **PROPOSED** site and operation/use (detailed plan of the proposed site):
UNKNOWN

Type of Structure **proposed**: N/A

Number of **current** employees, if applicable: N/A

Number of **proposed** employees, if applicable: N/A

Number of **current** off-street parking spaces: N/A

Number of **proposed** off-street parking spaces: N/A

**** If the proposed use is defined in Sec. 115-347(6)(c)***

_____ *(1)* and is proposed to have 3 or more employees at one time, a 500-foot notification is required and off-street parking shall be provided. **Will there be 3 or more employees at one time? Y__ N X**

or

_____ *(2)* a 500-foot notification is required and off-street parking is required.

Where the side or rear lot line abuts or is located across an alley from any residential zoning district, abutting residential property owners shall be notified of the privacy fence provision by the City Clerk.

Any Conditional Use Permit required pursuant Sec. 115-347(6) shall be recorded with the La Crosse County Register of Deeds at the owner's expense.

*****If the proposed use is defined in Sec. 115-353 or 115-356, abutting property owners shall be notified of the privacy fence provision by the City Clerk.***

Check here if proposed operation or use will be a **parking lot**: _____

Check here if proposed operation or use will be **green space**: X

Applicant/property owner may be subject to a payment in lieu of taxes for a period of twenty (20) years or until the property tax valuation of any new structure or improvements is equal to or greater than the base year valuation of the improvement or structure being demolished.

In accordance with Sec. 115-356 of the La Crosse Municipal Code, a Conditional Use Permit is required for demolition or moving permits if the application does not include plans for a replacement structure of equal or greater value. **Any such replacement structure shall be completed within two (2) years of the issuance of any demolition or moving permit.**

If the above paragraph is applicable, the Conditional Use Permit shall be recorded with the La Crosse County Register of Deeds and should the applicant not complete the replacement structure of equal or greater value within two (2) years of the issuance of any demolition/moving permit, the applicant or property owner shall be subject to a forfeiture of up to $5,000 per day for each day not completed.

CERTIFICATION: I hereby certify that I am the owner of the subject parcel(s) or authorized agent and that I have read and understand the content of this application and that the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Todd Page 6/14/2022
(signature) (date)

608-343-8803 todd.page@allamericanlaitcenter.com
(telephone) (email)

NOTARY PUBLIC ZENDY MICHALEK STATE OF WISCONSIN

STATE OF WISCONSIN)
Monroe)ss.
~~COUNTY OF LA CROSSE~~)

Personally appeared before me this 14 day of June, 2022 the above named individual, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Zendy Michalek
Notary Public
My Commission Expires: 11/10/22

Applicant shall, before filing with the City Clerk's Office, have this application reviewed and the information verified by the Director of Planning & Development.

Review was made on the _____ day of _____, 20_____.

Signed: _____.
Director of Planning & Development

NOTARY PUBLIC
STATE OF WISCONSIN
ZENDY
MICHALEK

AFFIDAVIT OF OWNER

STATE OF Wisconsin)
) ss
COUNTY OF Monroe)

The undersigned, TODD D. PAGE, being duly
(owner of subject parcel(s) for Conditional Use)

sworn states:

1. That the undersigned is an adult resident of the ~~City~~ TOWNSHIP of SPARTA, State of WISCONSIN.

2. That the undersigned is a/the legal owner of the property located at:
1124 W. GEORGE STREET, LA CROSSE, WI.
(address of subject parcel for Conditional Use)

3. By signing this affidavit, the undersigned property owner authorizes the application for a conditional use permit/district change or amendment (circle one) for said property.

Property Owner

Subscribed and sworn to before me this 14 day of June, 2022.

Zendy Michalek
Notary Public
My Commission expires 11/10/22.

NOTARY PUBLIC
ZENDY MICHALEK
STATE OF WISCONSIN

File No. H18-18VL
Case No.

Borrower 3 Amigos
Property Address 1124 West George Street
City La Crosse County La Crosse State Wi Zip Code 54603-1628
Lender/Client First National Bank Address 1798 Commerical Street, Bangor Wi., 54614

CERTIFIED SURVEY MAP

PART OF GOVERNMENT LOT 1 IN SECTION 17, T16N, R7W, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN

DESCRIPTION:
PART OF GOVERNMENT LOT 1 IN SECTION 17, T16N, R7W, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 17; THENCE N17°51'58"W 1063.67 FEET TO THE NORTH RIGHT OF WAY OF McDONALD PLACE AND THE POINT OF BEGINNING; THENCE N87°31'48"W ALONG SAID NORTH LINE 69.07 FEET; THENCE N53°54'18"W ALONG SAID NORTH LINE AND ITS EXTENSION 193.58 FEET; THENCE N35°23'29"E 10.87 FEET; THENCE N30°11'34"E 40.17 FEET; THENCE N35°23'29"E 167.89 FEET TO THE SOUTHERLY RIGHT OF WAY OF WEST GEORGE STREET; THENCE S54°30'34"E ALONG SAID SOUTHERLY RIGHT OF WAY 123.26 FEET; THENCE S0°20'24"E 225.90 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS APPROXIMATELY 42,851 S.F. OR 0.98 ACRES.

SUBJECT TO ANY EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

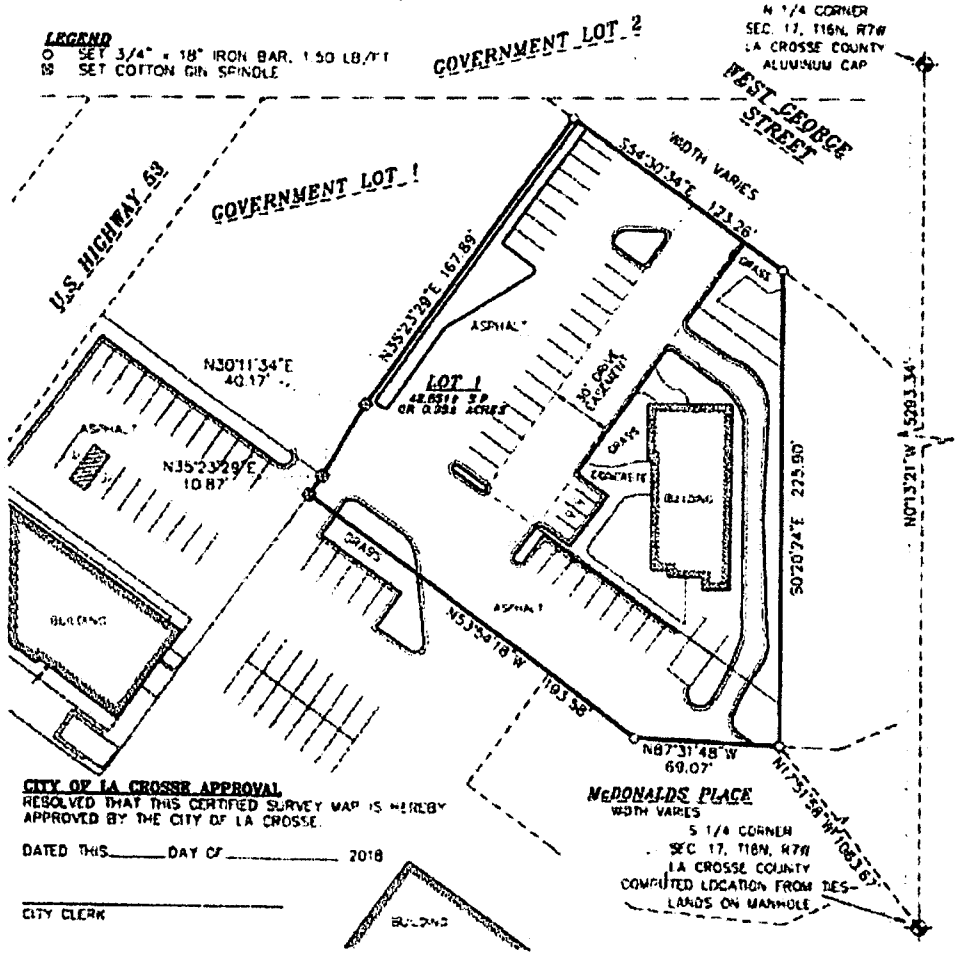
SURVEYORS CERTIFICATE:
I, FREDERICK J. HILBY, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THIS IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF, MADE UNDER THE DIRECTION OF BEYER INVESTMENTS, LLC, AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES, THE CITY OF LA CROSSE SUBDIVISION CONTROL ORDINANCE IN SURVEYING, DIVIDING AND MAPPING THE ABOVE DESCRIBED PARCEL.

FREDERICK J. HILBY PLS 2841
LA CROSSE ENGINEERING AND SURVEYING CO., INC.

BASIS OF BEARING
LA CROSSE COUNTY COORDINATE SYSTEM

SCALE
1"=60'
0 30 60

LEGEND
O SET 3/4" x 18" IRON BAR, 1.50 LB/FT
⊠ SET COTTON GIN SPINDLE



CITY OF LA CROSSE APPROVAL
RESOLVED THAT THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE CITY OF LA CROSSE.

DATED THIS_____DAY OF_____ 2018

CITY CLERK

Todd Page

From: Berzinski, Andrew <berzinskia@cityoflacrosse.org>
Sent: Friday, June 10, 2022 10:28 AM
To: 'todd.page@allamericandoitcenter.com'
Subject: 1124 W George St
Attachments: 20220610102601.pdf

Todd,
Please see attached condition use permit application. This application will need to be turned into the city's clerk's office and you will need to be in contact with the city's planning department. The building cannot be demoed until a conditional use permit is granted and the demo permit is recieved. If you have any questions feel free to contact me.

Thanks

Andy Berzinski
District 1 Building Inspector
La Crosse Fire Department
Division of Community Risk Management
400 La Crosse St., La Crosse, WI. 54601
Office: 608-789-7562
Cell: 608-780-0997

NOTICE OF HEARING ON
APPLICATION FOR A CONDITIONAL USE PERMIT

TO WHOM IT MAY CONCERN:

Notice is hereby given that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing upon the application of **Eagle Bay Properties LLC for the issuance of a Conditional Use Permit under Sec. 115-356** of the Municipal Code of Ordinances of the City of La Crosse for **demolition of structure for green space.**

Said property is generally located at **1124 West George St.** and is further described as follows:

Tax Parcel 17-10263-73
CERTIFIED SURVEY MAP NO. 136 VOL 19 LOT 1 DOC NO. 1789014

The City Plan Commission will meet to consider such application on **Monday, August 1, 2022 at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

A public hearing before the Judiciary & Administration Committee will be held on **Tuesday, August 2, 2022 at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the **Common Council** on **Thursday, August 11, 2022 at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any residential property owner whose land abuts the subject property may request an opaque privacy fence of a minimum of five (5) feet and no more than eight (8) feet in height to be required in residential zoned districts. Such fence shall be placed on the property line and shall run from the front set back line to the rear property line.

Any person interested may be heard for or against such proposed change, and may appear in person, by attorney or may file a formal objection; which objection forms are available on the City website at www.cityoflacrosse.org – Your Government – City Clerk – Forms – Conditional Use Permit.

The application and supporting documentation may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 22-0881).

This notice is given pursuant to the order of the Common Council of the City of La Crosse.

Dated this 4th day of July, 2022.

Nikki M. Elsen, City Clerk
City of La Crosse

- -

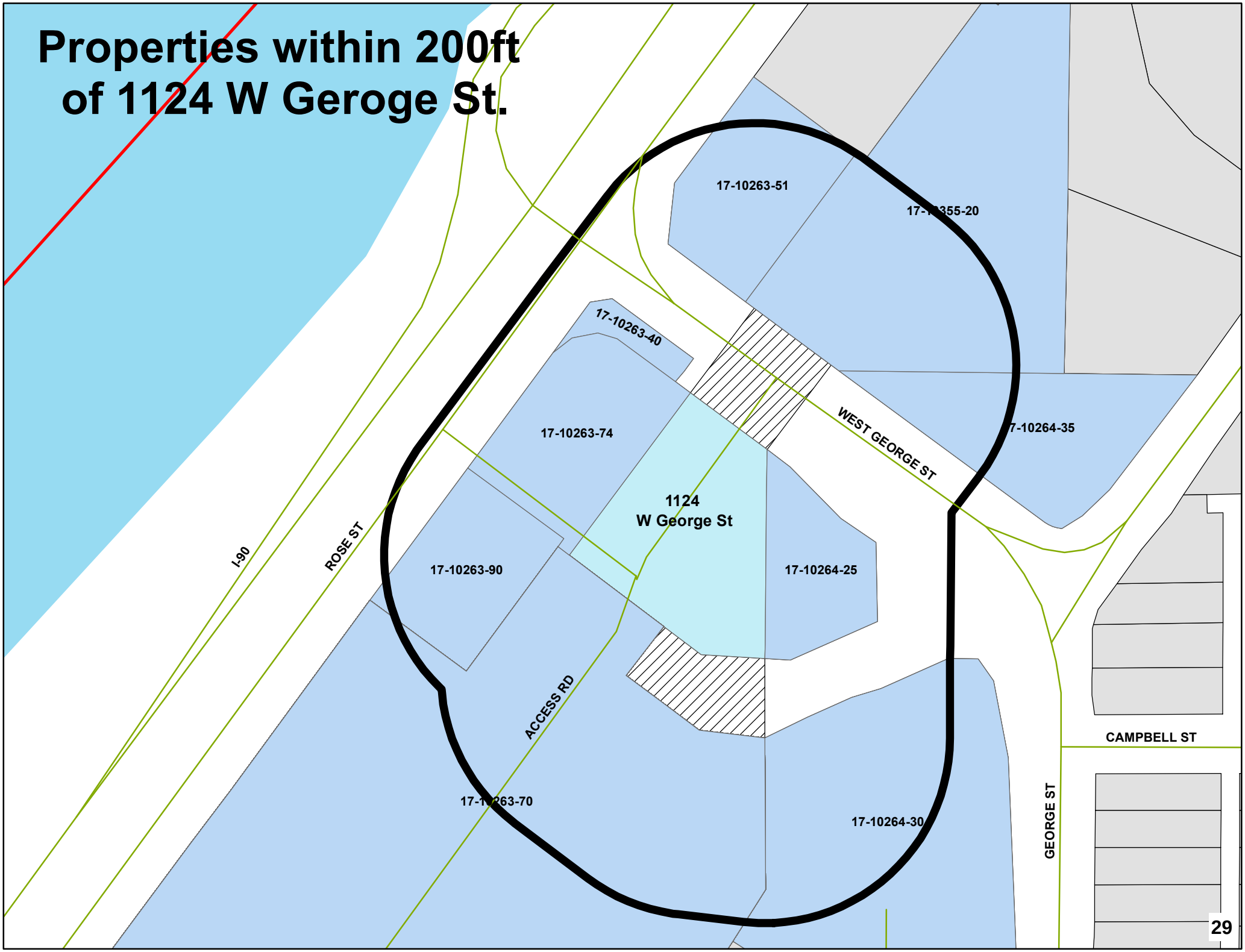
Publish: July 19 and 26, 2022
One (1) Affidavit

TaxParcelN	OwnerName	CompleteAd	CompleteSe	City	State	ZipCode	PROPADDCOM
17-10355-20	DIVNA BEOGRAD LLC	PO BOX 593		ONALASKA	WI	54650-0593	2622 ROSE ST
17-10263-90	EAGLE BAY PROPERTIES LLC	2526 ROSE ST		LA CROSSE	WI	54603	2526 ROSE ST
17-10263-70	EAGLE BAY PROPERTIES LLC	9447 JANCING AVE		SPARTA	WI	54656	2420 ROSE ST
17-10263-74	EAGLE BAY PROPERTIES LLC	9447 JANCING AVE		SPARTA	WI	54656	2552 ROSE ST
17-10264-25	FRANCHISE REALTY INTERSTATE CORPORATION	2700 NATIONAL DR	STE 100	ONALASKA	WI	54650	1140 WEST GEORGE ST
17-10264-35	KWIK TRIP INC	1626 OAK ST		LA CROSSE	WI	54603	1133 WEST GEORGE ST
17-10263-51	MARTIN D MEEKER, CAROL R MEEKER	300 WILMOT RD	#09214	DEERFIELD	IL	60015	2600 ROSE ST
17-10264-30	MCDONALDS USA LLC	2700 NATIONAL DR	STE 100	ONALASKA	WI	54650	2437 GEORGE ST
17-10263-40	STATE OF WISCONSIN DOT	3550 MORMON COULEE RD		LA CROSSE	WI	54601	2558 ROSE ST

Properties within 200ft of 1124 W Geroge St.

Applicant	EAGLE BAY PROPERTIES LLC	9447 JANCING AVE	SPARTA	WI	54656

Properties within 200ft of 1124 W Geroge St.



Agenda Item 22-0881 (Tim Acklin)

Application of Eagle Bay Properties LLC for a Conditional Use Permit at 1124 West George St. allowing for demolition of structure for green space.

General Location

Council District 1, Logan Northside Neighborhood. The subject area is bounded by Hwy 53/Rose St to the west, West George St to the north and east, and Bridgeview Plaza to the south. Adjacent uses are all various types of commercial.

Background Information

The applicant is requesting to demolish the existing building (former Burger King) on the property depicted on attached **MAP PC22-0881** for green space. The parcel and current building are adjacent to Bridgeview Plaza which the applicant purchased in 2020. The current building is in disrepair and has not been used since 2017 when Burger King closed. The applicant would like to see this parcel redeveloped with another building and believes that demolition of the existing building will help market the site. The applicant does not intend to use it for surface parking and will be removing the building and most, if not all, of the existing concrete on the parcel.

The building was registered as a Vacant Building.

Recommendation of Other Boards and Commissions

N/A

Consistency with Adopted Comprehensive Plan

Facilitating efforts to ensure sites are ready for redevelopment is a primary objective and action in the Economic Development Element of the Comprehensive Plan. (Page 11-13)

This parcel is located within Pulse Node A in the Hwy 53 Corridor Master Plan and identifies this area to be redeveloped into a mix of office and retail developments. (Page 58)

Staff Recommendation

Redevelopment of this area is a primary objective in the recently adopted Hwy 53 Corridor Master Plan, partly due to its proximity to Interstate 90. With this parcel adjacent to a new McDonalds, a Starbucks that is about to begin construction, an eagle viewing area, and preliminary discussion on the redevelopment of Bridgeview this parcel in a prime location for redevelopment.

This item is recommended for approval with the condition that a Payment for Municipal Services Agreement (PMSA) is established and signed prior to final Common Council action.

Routing J&A 8.2.2022

BASIC ZONING DISTRICTS

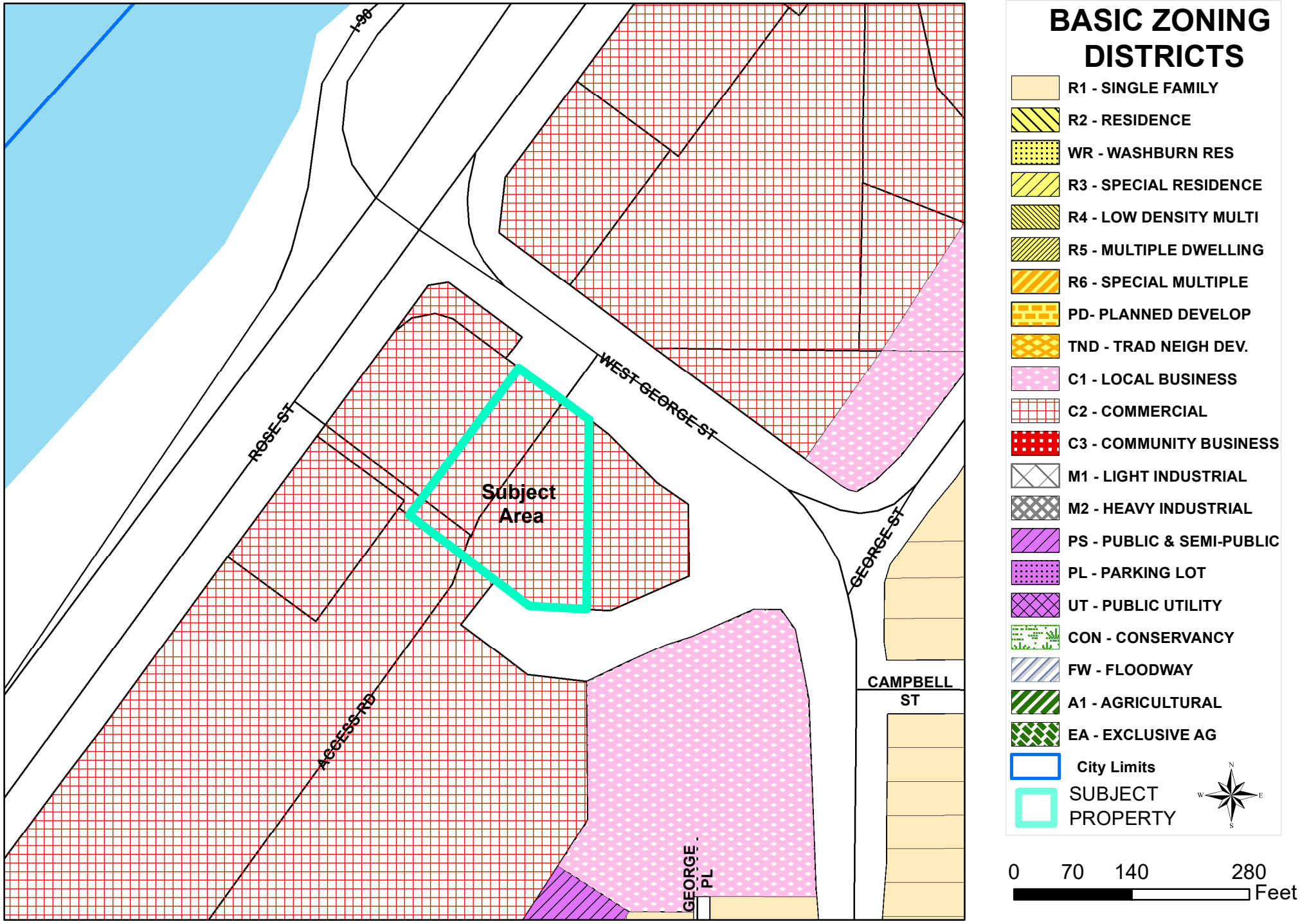
- R1 - SINGLE FAMILY
- R2 - RESIDENCE
- WR - WASHBURN RES
- R3 - SPECIAL RESIDENCE
- R4 - LOW DENSITY MULTI
- R5 - MULTIPLE DWELLING
- R6 - SPECIAL MULTIPLE
- PD- PLANNED DEVELOP
- TND - TRAD NEIGH DEV.
- C1 - LOCAL BUSINESS
- C2 - COMMERCIAL
- C3 - COMMUNITY BUSINESS
- M1 - LIGHT INDUSTRIAL
- M2 - HEAVY INDUSTRIAL
- PS - PUBLIC & SEMI-PUBLIC
- PL - PARKING LOT
- UT - PUBLIC UTILITY
- CON - CONSERVANCY
- FW - FLOODWAY
- A1 - AGRICULTURAL
- EA - EXCLUSIVE AG
- City Limits
- SUBJECT PROPERTY

N W E S

0 70 140 280 Feet

City of La Crosse Planning Department - 2022

PC 22-0881



City of La Crosse Planning Department - 2022

PC 22-0881

City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0902

Agenda Date: 8/2/2022 **Version:** 1 **Status:** New Business

In Control: Judiciary & Administration Committee **File Type:** Application

Agenda Number:

22-0906

CONDITIONAL USE PERMIT APPLICATION

RECEIVED JUL 08 2022 City Clerk's Office

Applicant (name and address):
La Crosse County (dba Hillview Health Care Center)
3501 Park Lane Drive, La Crosse, WI 54601

Owner of property (name and address), if different than Applicant:

Architect (name and address), if applicable:
Hoffman Planning, Design & Construction
122 East College Avenue, Suite G, Appleton, WI 54911

Professional Engineer (name and address), if applicable:
Chase Rettler, Rettler Corporation
3317 Business Park Drive, Stevens Point WI, 54482

Contractor (name and address), if applicable:
Hoffman Planning, Design & Construction
122 East College Avenue, Suite G, Appleton, WI 54911

Address(es) of subject parcel(s): 3501 Park Lane Drive, La Crosse, WI 54601

Tax Parcel Number(s): 17-50310-30

Legal Description (must be a recordable legal description; see Requirements):
PARCEL C LACROSSE COUNTY HILLVIEW PROPERTY LOCATED IN THE S1/2-SW1/4 OF SECTION 10 & N1/2-NW1/4 OF SECTION 15, ALL BEING IN T15N-R7W, CITY OF LACROSSE, LACROSSE COUNTY, WI

Zoning District Classification: PS - Public and Semi-Public & Conservancy

A Conditional Use Permit is required per La Crosse Municipal Code Sec. 115-364

If the use is defined in Sec.:

- *115-347(6)(c)(1) or (2), see "*" on the next page.*
- *115-353 or 356, see "**" on the next page.*

Is the property/structure listed on the local register of historic places? Yes _____ No X

Description of subject site and **CURRENT** use: See attached Cover Letter

Description of **PROPOSED** site and operation/use (detailed plan of the proposed site):
See attached site plan drawings and operational plan.

Type of Structure **proposed**: Community Based Residential Facility (CBRF)

Number of **current** employees, if applicable: 145

Number of **proposed** employees, if applicable: 110

Number of **current** off-street parking spaces: 250

Number of **proposed** off-street parking spaces: 212

**** If the proposed use is defined in Sec. 115-347(6)(c)*** Not applicable

_____ ***(1)*** and is proposed to have 3 or more employees at one time, a 500-foot notification is required and off-street parking shall be provided. **Will there be 3 or more employees at one time? Y__ N __**

or

_____ ***(2)*** a 500-foot notification is required and off-street parking is required.

Where the side or rear lot line abuts or is located across an alley from any residential zoning district, abutting residential property owners shall be notified of the privacy fence provision by the City Clerk.

Any Conditional Use Permit required pursuant Sec. 115-347(6) shall be recorded with the La Crosse County Register of Deeds at the owner's expense.

*****If the proposed use is defined in Sec. 115-353 or 115-356, abutting property owners shall be notified of the privacy fence provision by the City Clerk.***

Not applicable

Check here if proposed operation or use will be a **parking lot**: _____

Check here if proposed operation or use will be **green space**: _____

Applicant/property owner may be subject to a payment in lieu of taxes for a period of twenty (20) years or until the property tax valuation of any new structure or improvements is equal to or greater than the base year valuation of the improvement or structure being demolished.

In accordance with Sec. 115-356 of the La Crosse Municipal Code, a Conditional Use Permit is required for demolition or moving permits if the application does not include plans for a replacement structure of equal or greater value. **Any such replacement structure shall be completed within two (2) years of the issuance of any demolition or moving permit.**

If the above paragraph is applicable, the Conditional Use Permit shall be recorded with the La Crosse County Register of Deeds and should the applicant not complete the replacement structure of equal or greater value within two (2) years of the issuance of any demolition/moving permit, the applicant or property owner shall be subject to a forfeiture of up to $5,000 per day for each day not completed.

CERTIFICATION: I hereby certify that I am the owner of the subject parcel(s) or authorized agent and that I have read and understand the content of this application and that the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

_____ 7-8-22
(signature) (date)

608-386-4522 rwestpfahl@lacrossecounty.org
(telephone) (email)

STATE OF WISCONSIN)
)ss.
COUNTY OF LA CROSSE)

Notary not required

Personally appeared before me this _____ day of _____, 20___, the above named individual, to me known to be the person who executed the foregoing instrument and acknowledged the same.

_____
Notary Public
My Commission Expires: _____

Applicant shall, before filing with the City Clerk's Office, have this application reviewed and the information verified by the Director of Planning & Development.

Review was made on the 14th day of July, 2022

Signed: _____,
Director of Planning & Development

not required prior to application

Hoffman
Planning, Design & Construction, Inc.

July 8, 2022

City Clerk's Office
City Hall 2nd Floor
400 La Crosse St.
La Crosse, WI 54601

Re: La Crosse County (dba Hillview Health Care Center) Conditional Use Permit

To whom it may concern,

On behalf of La Crosse County, enclosed are the Conditional Use Permit documents for the Hillview CBRF project. These documents are being submitting pursuant to City of La Crosse Municipal Code of Ordinances, Sec. 115-364.

Project Description:

The proposed facility is a 48-bed Community Based Residential Facility (CBRF) per DHS Chapter 83. The approximately 49,000 square foot facility will be constructed on the current Hillview Health Care Center site, located at 3501 Park Lane Drive in La Crosse, WI.

The existing site contains a Skilled Nursing Facility (SNF), Residential Care Apartment Complex (RCAC), and an Independent Living Apartment Complex. The attached site plans illustrate the proposed CBRF footprint, parking, landscaping, storm drainage, and utilities. The site is adjacent to Chad Erickson Memorial Park.

The proposed CBRF will be a stand-alone complex but operated in conjunction with the other buildings on site. The future masterplan of the site includes a replacement of the existing SNF as an addition to the CBRF building. Although plans have not been finalized for the addition, the master plan provides an option for an addition to the CBRF to the west, which could then be physically connected to the existing RCAC.

The proposed CBRF facility will be a fully accessible, single-story building with a below grade basement. The basement will only include non-public and building support functions. All building entrances and exits lead directly to grade and are ADA accessible. The building will include the following uses: entry and reception area, administrative offices, receiving, commercial kitchen (to support the entire site), and CBRF households. The households are designed to be flexible to accommodate future needs but are currently intended to operate as one 16-bed High Acuity household, one 16-bed Memory Care household, and two 8-bed Memory Care with Behaviors households. All resident rooms are private – one bed per room. Resident bedroom space is provided at a minimum of 100 square feet per resident and common areas (living, dining and activity) are provided at a minimum of 90 square feet per resident as required for non-ambulatory C.N.A. licensure classification.

The Memory Care households will have access to secured outdoor patios enclosed with six-foot high solid privacy fences. This privacy and security enclosure is essential to the safety and well-being of the residents.

The proposed construction will be conventional wood framing with a concrete and masonry basement. The building structure is required to be include fire rated protected assemblies and be fully sprinklered in accordance with local and state building codes. The exterior design utilizes engineered wood siding, cultured stone, pitched shingle roofs and roof accent features consistent with local residential architecture.

We are requesting to exceed the district capacity and proximity requirement to other Community Living Arrangement Facilities. We believe the following site and operational attributes support the case for permitting this use:

- The Hillview campus has a long-standing reputation for serving the senior community, and the proposed use is a continuation of that service.
- This facility allows Hillview to further fulfill their mission: 'Our mission is to create and sustain services delivered in a compassionate manner that respects the unique needs and lifestyles in those in our community.'
- Hillview's mission as a County owned and operated long term care campus includes equitable access to services for low-income residents. The La Crosse community needs more access to long term care residential setting to support low-income elders.
- The La Crosse region is facing a significant shortage of long-term care beds for older adults with dementia and other psychiatric health needs. With over 2400 people in La Crosse County living with dementia or Alzheimer's, this project would help to meet a pressing community need to care for those who need long term care.
- Local hospitals are often unable to discharge patients to long term care settings locally. Data from our local hospitals in La Crosse County shows over 100 older adults currently waiting to be discharged to a long-term care setting. This project provides more local access to long term care residential services to better support the needs of this community and avoid unnecessary stays in our hospital settings.
- The introduction of this facility does not dramatically change the look, feel or operations of the existing campus. The surrounding greenspace isolates direct impact on the adjacent neighborhoods.
- The overall number of residents cared for on campus will not drastically change. The Skilled Nursing Facility will be downsized upon completion of the CBRF. This facility will provide a more appropriate care environment for some residents that are currently living in the Skilled Nursing Facility on site.
- The unique needs being cared for in this facility (memory care, behaviors) requires a supporting campus, such as this one, to care for residents in the safest manor.
- There is an existing Community Living Facility on the same site (Hillview Terrace RCAC). Integrating two Community Living Facilities on the same site allows for operational efficiencies and maximize care and amenity opportunities.
- Current site attributes such as public transportation, parking supply, outdoor space access already exist to support the facility needs.
- There has been precedent set within the City of La Crosse for permitting combination of senior care offerings such as CBRF, RCAC and SNF on one site.

For those reasons, our client strongly believes that the proposed CBRF use should be permitted on this site. This facility will help to fulfill a county-wide need and offer an important amenity within the city.

Conditional Use Permit documents include:

1. Cover letter explaining the project (this document)
2. Conditional use Permit Application
3. Operational Plan
4. Parking Summary
5. Original Plat
6. PR-021 Conceptual Campus Plan
7. PR-023 Conceptual Campus Plan - Future
8. CS-101 Existing Site Plan
9. CP-101 Site Layout Plan
10. CG-101 Site Grading Plan
11. CU-101 Site Utility Plan
12. LP-101 Conceptual Landscape Plan
13. PR-101 Floor Plan
14. PR-901 Renderings
15. Exterior fence cutsheet

Please contact us with any questions or if we can be of further service.

Sincerely,

Hoffman Planning, Design & Construction, Inc.

Jonathan Rynish
Project Architect

Hoffman Planning, Design & Construction, Inc.
122 E. College Avenue, Suite 1G | Appleton, WI 54911
920.380.2121 direct | 920.595.0627 mobile | 920.731.2322 main
jrynish@hoffman.net | www.hoffman.net

Hillview Health Care Center
Owned and operated by:
County of La Crosse, Wisconsin
3501 Park Lane Drive • La Crosse, Wisconsin 54601-7700
(608) 789-4800 • FAX: (608) 789-4860
Web Site: www.co.la-crosse.wi.us

LA CROSSE COUNTY

July 8, 2022

Re: Operational Plan for La Crosse County Hillview Campus new addition

As a county owned home, it is part of our mission to meet the needs of our community. Hillview campus has been assessing gaps in care and discussing area needs with other community stakeholders. An operational plan has been developed to meet and identify these needs.

Hillview Campus currently operates a SNF build for 226 residents which is home to about 60 residents today. The nursing home will continue to operate with a greater focus on short stay rehabilitation as well as end of life care. As our operational plan evolves, the number of SNF beds will reduce to a project number of about 40. For staffing, our total numbers will go from 146 today to a projected number closer to 110 employees. Approximately 40 of the staff will be employed or have work performed in the new build.

Our operational plan for the new build includes 48 beds, all will be licensed as CBRF or Community Based Residential Facilities. The location being adjacent to our current Hillview Campus buildings will allow a simple transition between levels of care.

The CBRFs will provide care to seniors with a need of long-term medical care, memory care as well as those with memory care which include significant behavioral symptoms. We plan to continue to meet the need of offering short stay stabilization as well.

The 48 bed CBRF will offer three distinct areas within to provide the specialized care each population will need to enhance their quality of life. The area caring for those with behaviors will be secured and monitored with delayed ingress and egress doors and equipped with a wander guard system. Many features will be designed with safety in mind. The memory care area will offer a design to assist with wandering and provide ample common space to provide meaningful activities. The area offering long term medical care will be in an area that promotes independence. Each area provides ample common space both inside and out. All 48 rooms will be private rooms which include a private toilet room, television, and cable service. The design includes a common dining space, courtyard, and access to the outside.

The Hillview Campus is owned and operated by La Crosse County. The La Crosse County Veterans-Aging and Long-Term Care Committee oversee operations along with the Executive

Director of Long-Term Services. The Hillview Campus Administrator oversee all day-to-day operations.

Hoffman
Planning, Design & Construction, Inc.

July 8, 2022

Re: Parking Summary for Hillview CBRF Conditional Use Permit

Parking Description

This site contains uses that merit an approach different to that described in the multifamily housing standards. The residential uses vary from Independent Living (ambulatory) to Skilled Nursing and CBRF (non-ambulatory). Non-ambulatory residents do not drive and do not have a need for permanent vehicle parking. Therefore, the following table provides a holistic parking approach that addresses all site needs. Accessible parking spaces will be provided at building entrances per the International Building Code.

Proposed parking metrics

Facility	Use	Occupant	Proposed Parking Metric	Parking Stalls
Carroll Heights	Independent Living	66 bedrooms	1:1 (bed)	66
Hillview Terrace	RCAC	34 bedrooms	1:2 (bed)	17
Health Center	SNF (non-ambulatory)	*45 bedrooms	1:3 (visitor)	15
Proposed CBRF	CBRF (non-ambulatory)	48 bedrooms	1:3 (visitor)	16
Overall Site Support	Staff	** 87	Max shift overlap	87
			TOTAL	**201**

* Number of beds is based on new occupancy after completion of CBRF.

* Staff number shown is maximum shift overlap. Total staff is 94. Maximum shift is 65.

Number of Parking Stall Summary

Existing	250
Required (per table above)	201
Proposed (as shown on site plan)	212

15-7-15-2
City of La Crosse

PLAT OF SURVEY
OF THE
LACROSSE COUNTY HILLVIEW PROPERTY

LOCATED IN THE S1/2-SW1/4 OF SECTION 10 & N1/2-NW1/4 OF SECTION 15, ALL BEING IN T15N-R7W, CITY OF LACROSSE, LACROSSE COUNTY, WI.

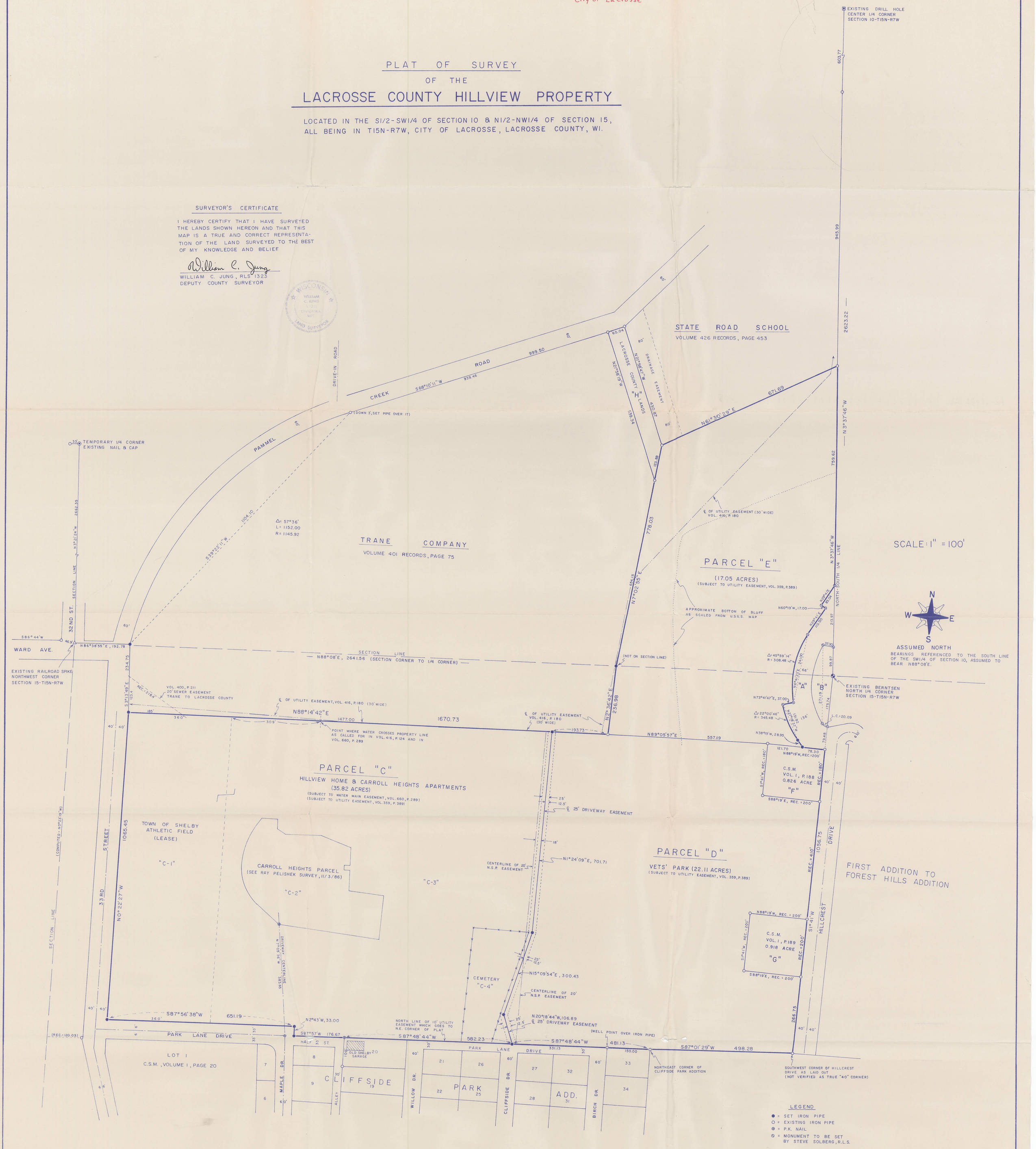
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE SURVEYED THE LANDS SHOWN HEREON AND THAT THIS MAP IS A TRUE AND CORRECT REPRESENTATION OF THE LAND SURVEYED TO THE BEST OF MY KNOWLEDGE AND BELIEF

William C. Jung

WILLIAM C. JUNG, RLS 1323
DEPUTY COUNTY SURVEYOR

WISCONSIN WILLIAM C. JUNG S-1323 ONALASKA, WIS. LAND SURVEYOR



NOTE: RECORDED BEARINGS AND DISTANCES ARE NOT SHOWN ON THIS MAP.

SEPTEMBER 8, 1987

FILE NO. 12

CL-1322

42

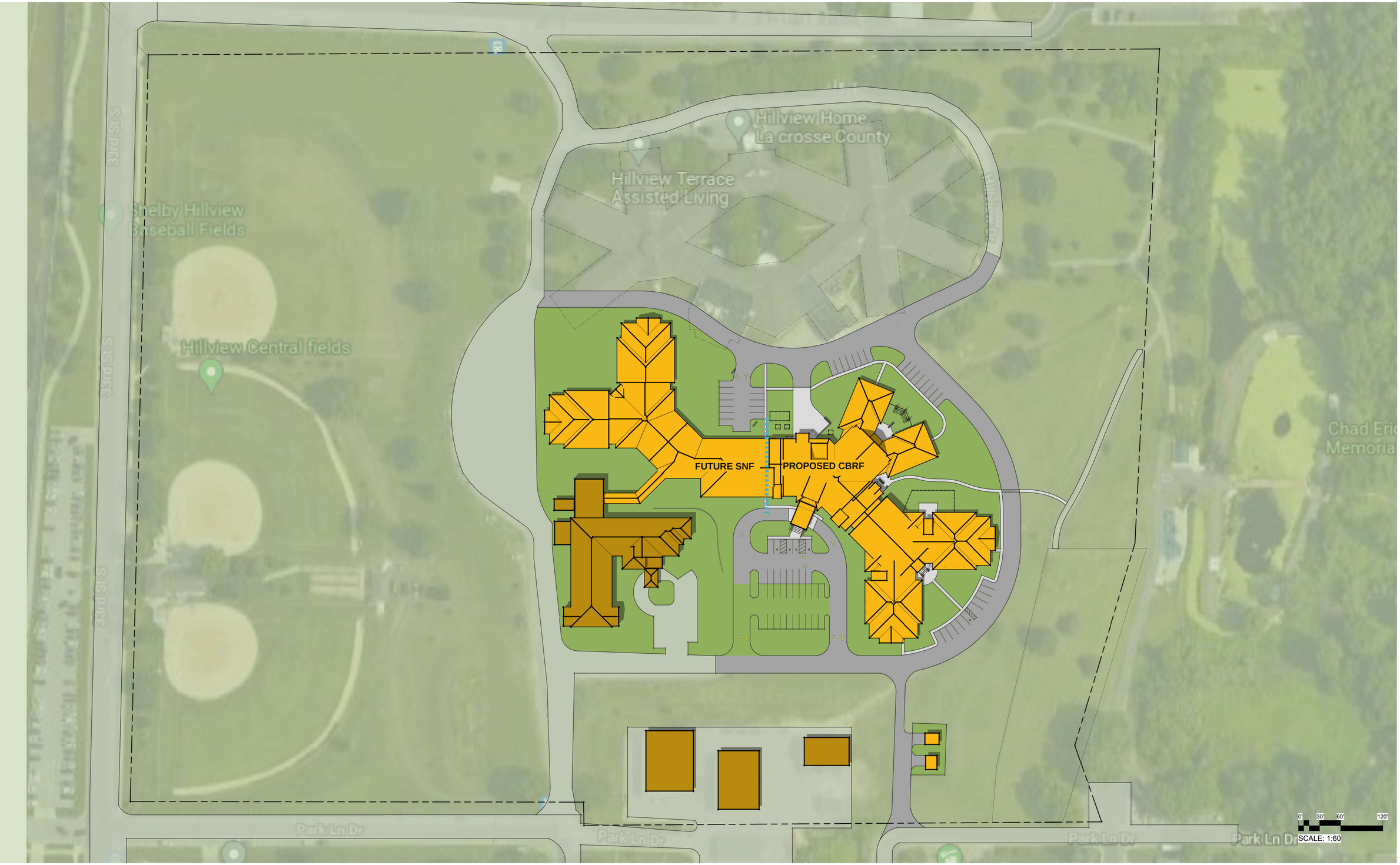
CONCEPTUAL CAMPUS PLAN

N W E S

project # 22406

4/6/22

PR-021



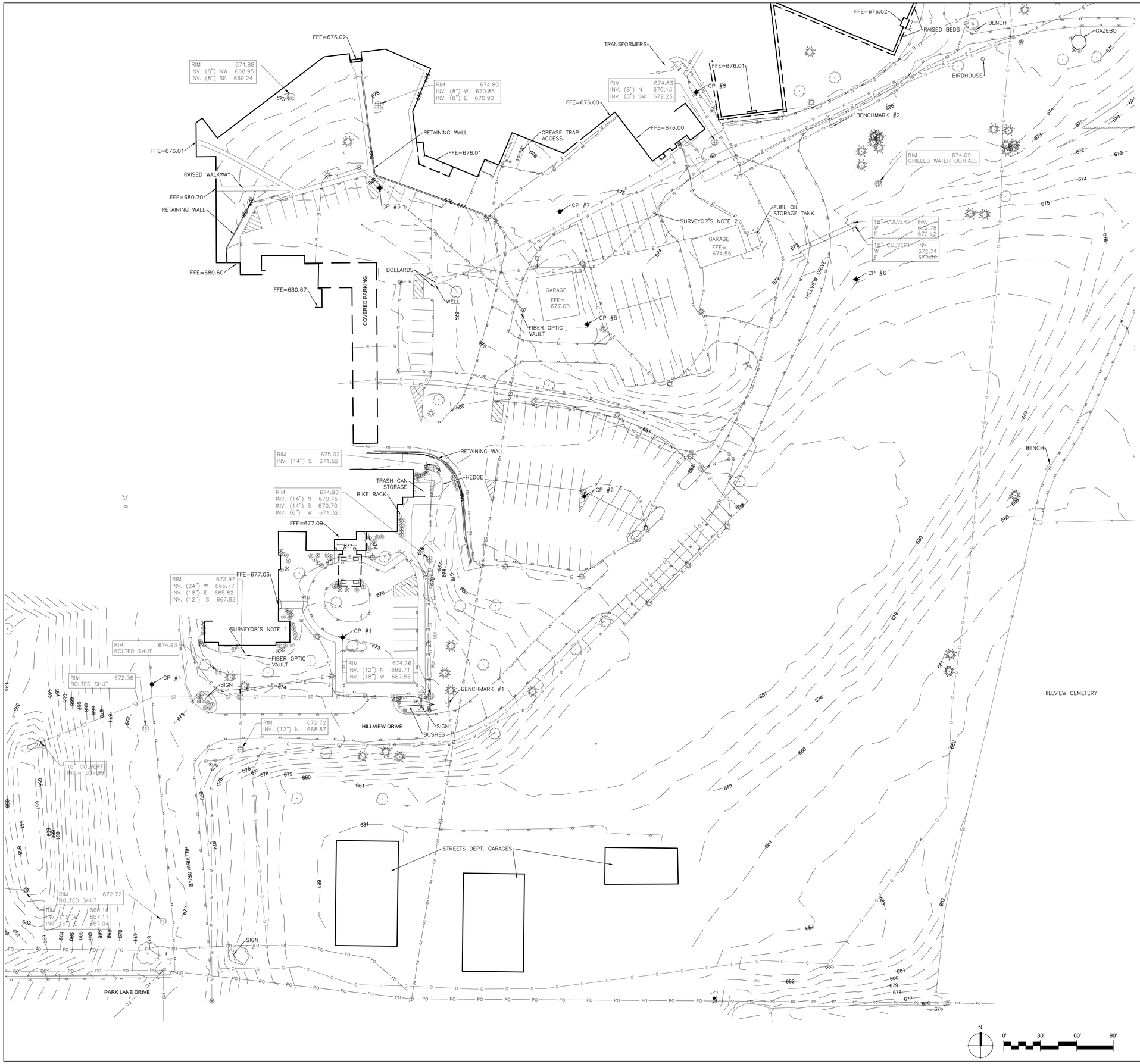
CONCEPTUAL CAMPUS PLAN - FUTURE

N
W E
S

project # 22406

4/6/22

PR-023



LEGEND

- LIGHT POLE
- POWER POLE
- GUY
- ELECTRIC METER
- ELECTRICAL BOX
- ELECTRIC OUTLETS
- GAS METER
- GAS VALVE
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- SANITARY MANHOLE
- WATER MANHOLE
- STORM MANHOLE
- UTILITY MANHOLE
- CATCH BASIN
- CATCH BASIN
- CATCH BASIN
- WATER VALVE
- HYDRANT
- IRRIGATION BOX
- FENCE
- SANITARY SEWER
- STORM SEWER
- POWER OVERHEAD
- BURIED ELECTRIC
- BURIED GAS
- BURIED TELEPHONE
- WATERMAIN
- FIBER OPTICS
- EDGE OF BITUMINOUS
- VENT PIPE
- LIGHT BOLLARD
- BOLLARD
- BASKETBALL HOOP
- FLAG POLE
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH/SHRUB
- CONTOUR LINE
- PLAY EQUIPMENT
- VERTICAL PIPE
- BENCH
- ROCKS
- CONTROL POINT
- 3/4" IRON BAR FOUND
- 1" IRON PIPE FOUND
- 2" IRON PIPE FOUND
- COMPUTED PROPERTY CORNER
- SECTION CORNER PER COUNTY RECORDS

UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

SOME UTILITIES HAVE BEEN LOCATED BY MAPS PROVIDED BY OTHERS-LOCATIONS ARE APPROXIMATE.

FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZES AND THEIR LOCATIONS.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGERS HOTLINE. (TICKET #20221102904) AND PRIVATE UTILITY LOCATE PERFORMED BY PRIVATE LINES LLC.

DESCRIPTION

THE NORTH 1/2 OF THE NORTHWEST 1/4, SECTION 15, TOWNSHIP 15 NORTH, RANGE 7 WEST, CITY OF LACROSSE, LACROSSE COUNTY, WISCONSIN.

BENCH MARK

ELEVATIONS BASED ON NAVD 88 USING WISGEOID 12A:

BENCHMARK #1
TOP NUT ON HYDRANT LOCATED OFF THE SOUTHEAST CORNER OF SOUTH PARKING LOT EAST OF DRIVEWAY FROM HILLVIEW DRIVE

ELEVATION: 677.87

BENCHMARK #2
NORTHWEST BOLT ON HYDRANT LOCATED OFF THE SOUTH OF HILLVIEW DRIVE NEAR BUILDING 500

ELEVATION: 676.98

SURVEY CONTROL POINTS

COORDINATE SYSTEM BASED ON: NAD83 (2011) WITH LA CROSSE COUNTY COORDINATES USING WISCORS

CP #1 - CP MAG
N: 120137.64
E: 457321.04
Z: 675.25

CP #2 - CP MAG
N: 120253.63
E: 457519.63
Z: 681.68

CP #3 - CP MAG
N: 120506.91
E: 457351.31
Z: 679.85

CP #4 - CP MAG
N: 120099.20
E: 457164.34
Z: 672.40

CP #5 - CP SPIKE
N: 120394.99
E: 457522.00
Z: 676.22

CP #6 - CP SPIKE
N: 120431.82
E: 457743.01
Z: 676.84

CP #7 - CP MAG
N: 120487.46
E: 457499.47
Z: 674.72

CP #8 - CP MAG
N: 120585.67
E: 457611.53
Z: 675.43

CP #9 - CP MAG
N: 120664.31
E: 457814.22
Z: 674.69

SURVEYOR'S NOTES

1. NO TRACER WIRE PRESENT
2. UTILITIES IN THIS AREA BASED ON MAPS PROVIDED BY OTHERS

PRELIMINARY
NOT FOR CONSTRUCTION

Hoffman
Planning, Design & Construction, Inc.
800.236.2370 | hoffman.net

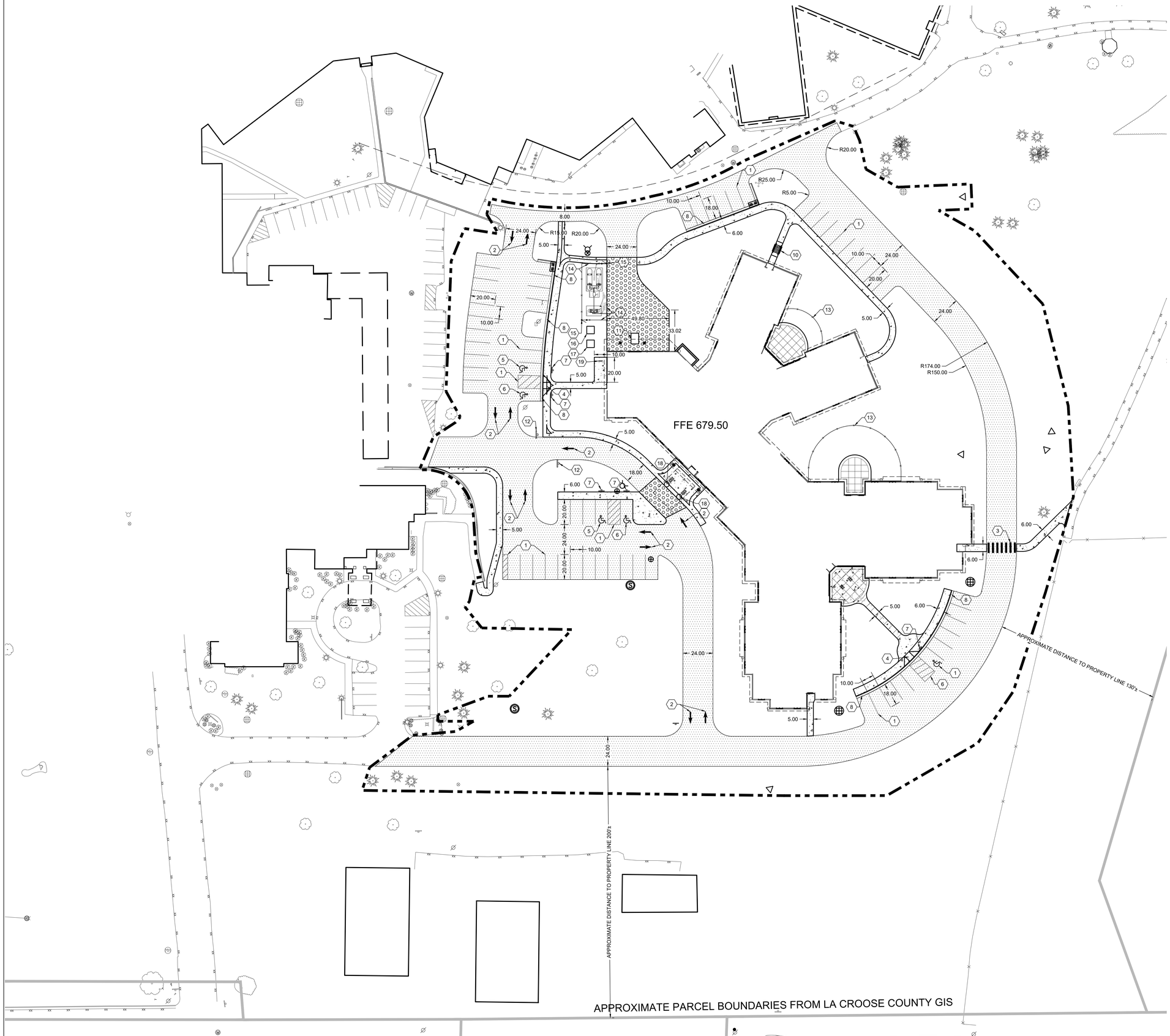
CONSULTANT:
RETTLER corporation
3317 Business Park Drive, Stevens Point, WI 54482
Phone: 715-344-7500 Fax: 715-344-7501
email: info@rettler.com, website: www.rettler.com

Hillview CBRF
Hillview Healthcare Center
3501 Park Lane Dr, La Crosse, WI 54601

DD MARK	06/20/2022 DATE
ISSUED:	06/20/2022
PROJECT N	22406
DRAWN BY:	T. SCHMENK
CHECKED BY:	C. RETTLER

Existing Site Plan

CS-101



SITE LAYOUT - GENERAL NOTES

1. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
3. ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN.
4. SEED, FERTILIZE, AND CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
5. ALL CONTRACTORS SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID.

SITE LAYOUT LEGEND

HOT MIX ASPHALT, 4" DEPTH
1 $\frac{1}{4}$" BASE AGGREGATE DENSE, 8" DEPTH

CONCRETE PAVEMENT, 5" DEPTH
$\frac{3}{4}$" BASE AGGREGATE DENSE, 6" DEPTH

CONCRETE PAVEMENT, 8" DEPTH
$\frac{3}{4}$" BASE AGGREGATE DENSE, 8" DEPTH

APPROXIMATE PROJECT LIMTS

SITE LAYOUT KEYNOTES

1. PAVEMENT MARKINGS - WHITE
2. DIRECTIONAL ARROWS - WHITE
3. CROSSWALK STRIPING - WHITE
4. TYPE 1 ADA RAMP
5. STANDARD ADA STALL
6. VAN ACCESSIBLE ADA STALL
7. ADA PARKING SIGN
8. 24" ACCEPTING CURB & GUTTER
9. 3' CURB TERMINUS
10. NORTH STAIR
11. SURFACE LIFT
12. DO NOT ENTER SIGN
13. 6' H DECORATIVE SOLID VINYL FENCE
14. 8' H BLACK VINYL CHAIN LINK FENCE WITH PRIVACY SLATING
15. 8' H X 4' W BLACK VINYL CHAIN LINK FENCE GATE
16. GENERATOR
17. TRANSFORMER
18. CONCRETE PEDESTAL PLANTER
19. 5 BIKE STAINLESS STEEL U BIKE RACK

SITE PARKING COUNTS

PARKING AREA	REGULAR	ADA	TOTAL
SE PARKING LOT (VISITOR)	10	1	11
NW PARKING LOT (STAFF)	10	0	10
NORTH PARKING LOT (STAFF)	66	0	6
NW PARKING LOT (STAFF)	17	2	19
SW PARKING LOT	15	2	17
TOTALS	58	5	63

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email: info@rettler.com, website: www.rettler.com

SITE LAYOUT PLAN

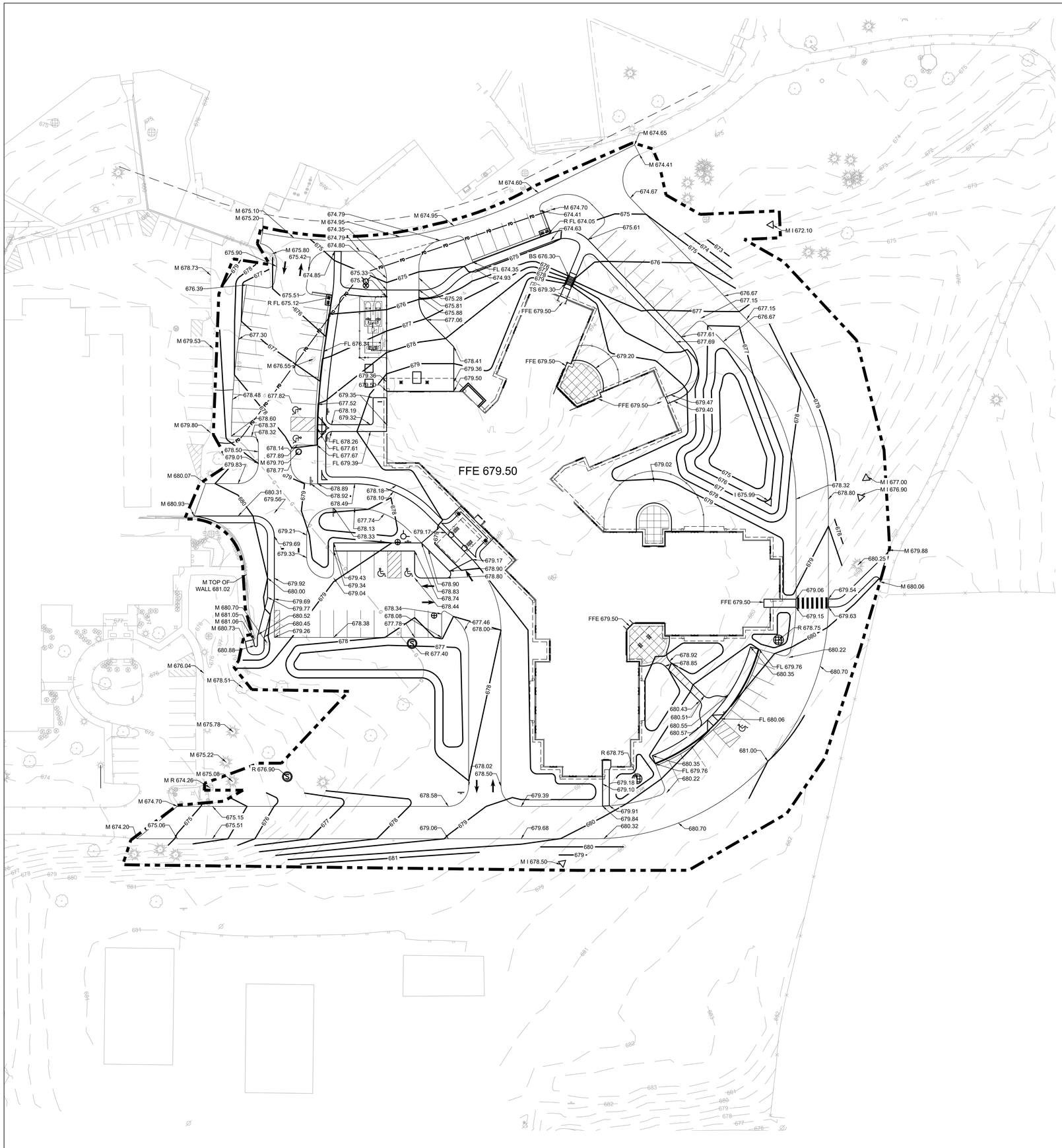
Hillview CBRF
Hillview Healthcare Center
3501 Park Lane Dr, La Crosse, WI 54601

MARK	DATE
DD	06/20/2022

ISSUED:	06/20/2022
PROJECT N	22406
DRAWN BY:	T. SCHMENK
CHECKED BY:	C. RETTLER

Site Layout Plan

CP-101



SITE GRADING & EROSION CONTROL - GENERAL NOTES

1. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
2. THE SITE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL ELEMENTS IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND THE LOCAL GOVERNING AUTHORITIES REGULATIONS.
3. PLACE INLET PROTECTION UNDER THE PROPOSED AND EXISTING CATCH BASINS, MANHOLES, AND INLETS GRATES FOR THE DURATION OF CONSTRUCTION.
4. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
5. PLACE TEMPORARY SEED IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING. TEMPORARY SEED SHALL BE PLACED IN ACCORDANCE WITH SECTION 630 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
6. INSPECT ALL EROSION CONTROL ELEMENTS WEEKLY OR AFTER STORM EVENTS OF 1/2" OF RAIN OR GREATER AND DOCUMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF NATURAL RESOURCES.
7. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER METHODS APPROVED BY THE LOCAL GOVERNING AUTHORITY'S EROSION CONTROL INSPECTOR.
8. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
9. ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
10. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
11. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.
12. ALL WASTE AND UNUSED BUILDING MATERIALS SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
13. SEED / FERTILIZE / AND CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS AND WITHIN 3 WORKING DAYS OF FINAL GRADING.
14. ALL EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF GRASS IS ESTABLISHED IN ALL GENERAL LANDSCAPE AREAS, AND THEN REMOVED BY THE SITE CONTRACTOR.
15. IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION/LANDSCAPING OF THE SITE SHALL OCCUR NO LATER THAN JUNE 1ST OF THE NEXT CONSTRUCTION SEASON. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. FABRIC INSIDE THE INLET AND CATCH BASIN GRATING SHALL BE REMOVED AS SOON AS FREEZING WEATHER OCCURS SO DRAINAGE IS NOT IMPAIRED THROUGHOUT THE WINTER MONTHS. ALL EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REPLACED IN THE SPRING IMMEDIATELY AFTER THE THAW.
18. MATCH GRADES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY MATCH GRADES AND CONFIRM DESIGN INTENT PRIOR TO CONSTRUCTION OF FINISHED GRADES.

GRADING LEGEND

PROPOSED CONTOURS	978
EXISTING CONTOURS	975
PROPOSED SPOT ELEVATION	975.00
PROPOSED FINISH FLOOR ELEVATION	FFE 975.00
PROPOSED RIM ELEVATION	R 975.00
PROPOSED FLOWLINE ELEVATION	FL 975.00
PROPOSED INVERT ELEVATION	I 975.00
PROPOSED TOP OF STAIR ELEVATION	TS 975.00
PROPOSED BOTTOM OF STAIR ELEVATION	BS 975.00
MATCH EXISTING ELEVATION	M 975.00
APPROXIMATE PROJECT LIMITS	

N

0' 30' 60' 90'

PRELIMINARY
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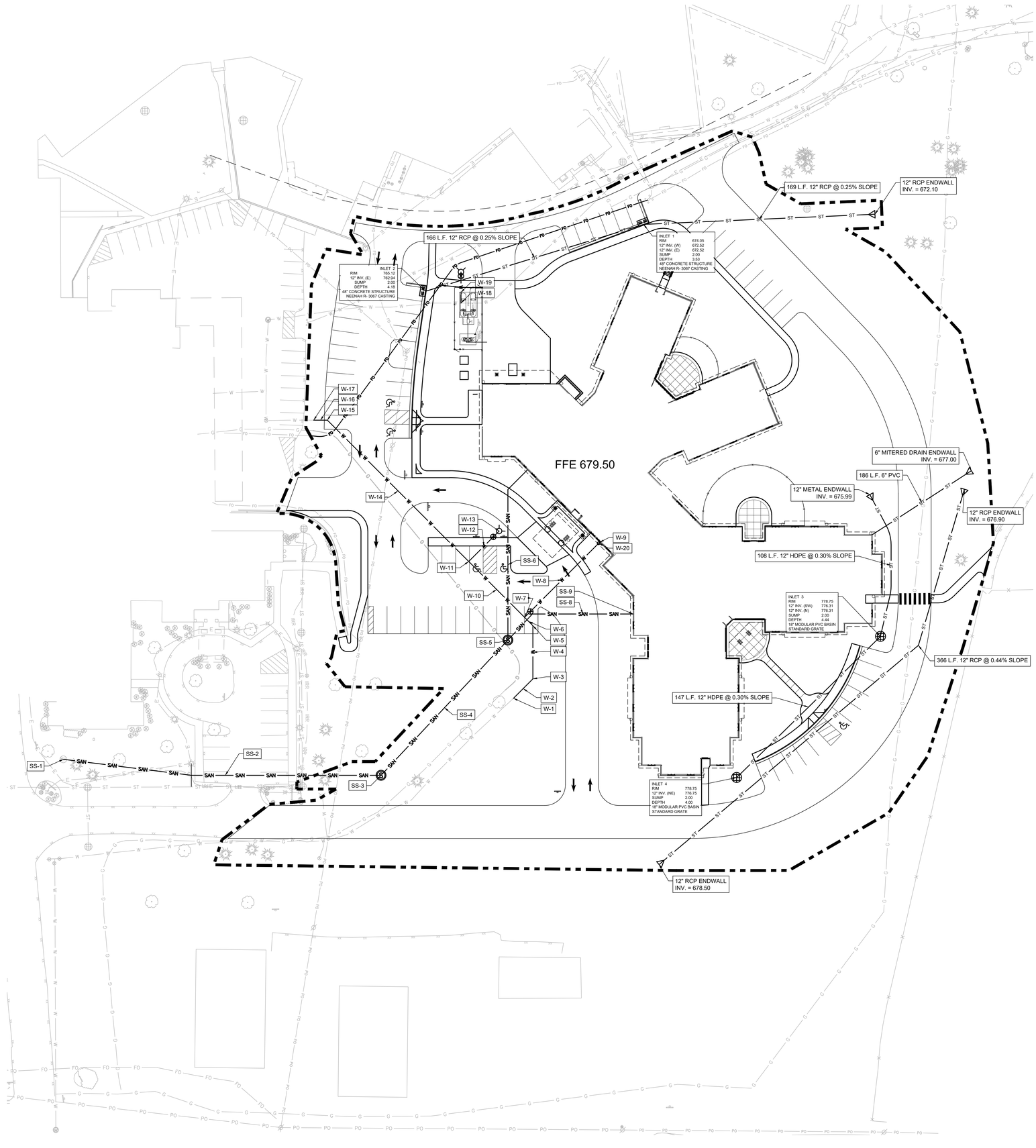
CHECKED BY:	C. RETTLER

Site Grading & Erosion Control Plan

CG-101



SITE UTILITY - GENERAL NOTES

1. ANY EXISTING UTILITIES NOT SHOWN ON THESE DOCUMENTS WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND INCLUDED IN THE BID.
2. ANY EXISTING UTILITIES THAT ARE TO REMAIN BUT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN KIND BY THE CONTRACTOR AND SHALL BE INCLUDED AS PART OF THE BASE BID.
3. SITE UTILITY CONTRACTOR SHALL VERIFY ALL EXISTING STORM SEWER AND SANITARY SEWER RIM AND INVERT ELEVATIONS WHERE THE PROPOSED STORM SEWER AND SANITARY SEWER IS DESIGNED TO CONNECT PRIOR TO CONSTRUCTION.
4. COORDINATE ALL UTILITY RELOCATION WITH THE PROPER UTILITY COMPANY.
5. ALL PAVEMENT DISTURBED BY PROPOSED UTILITIES SHALL BE RESTORED IN KIND BY THE CONTRACTOR AND SHALL BE INCLUDED AS PART OF THE BASE BID.
6. WATER SERVICE SHALL HAVE MINIMUM 4.0' OF COVER. INSULATION SHALL BE PROVIDED FOR PIPES WITH LESS THAN 7.0' OF COVER.
7. PROVIDE A COMPLETE TRACER WIRE SYSTEM ON ALL NON-METALLIC UTILITY PIPING SYSTEMS IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN PLUMBING CODE AND DETAILS CONTAINED IN THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. PROVIDE ACCESS TO TRACER WIRE IN ALL MANHOLES & INLETS. SPLICE TRACER WIRE AS NECESSARY.
8. PIPE LENGTHS INCLUDE THE RADIUS OF THE STRUCTURE.

UTILITY LEGEND

STORM PIPE	ST
PERFORATED UNDERDRAIN	UD
STORM SEWER NUMBER	ST-1
STORM SEWER STRUCTURE	ST
STORM SEWER ENDWALL	
SANITARY SEWER PIPE	SAN
SANITARY SEWER NUMBER	SS-1
SANITARY SEWER STRUCTURE	S
WATER PIPE	W
WATER NUMBER	W-1
WATER VALVE	
FIBER OPTIC (FOR REFERENCE ONLY)	FO
GAS (FOR REFERENCE ONLY)	G

WATER SERVICE SCHEDULE

W-1	CONNECT 8" D.I. WATER SERVICE TO EXISTING 8" WATER
W-2	20 L.F. 8" D.I.
W-3	45° BEND
W-4	39 L.F. 8" D.I.
W-5	45° BEND
W-6	9 L.F. 8" D.I.
W-7	8"X8"X8" TEE
W-8	77 L.F. 8" D.I. AND 8" GATE VALVE
W-9	CONNECT TO STUB PROVIDED BY INTERIOR PLUMBING CONTRACTOR
W-10	58 L.F. 8" D.I.
W-11	8"X8"X6" TEE
W-12	31 L.F. 6" D.I. HYDRANT LEAD
W-13	HYDRANT ASSEMBLY AND GATE VALVE
W-14	146L.F. 8" D.I.
W-15	45° BEND
W-16	10 L.F. 8" D.I.
W-17	CONNECT 8" D.I. WATER SERVICE TO EXISTING 8" WATER
W-18	TAPPING SADDLE AND 6" TAPPING VALVE FIELD VERIFY EXISTING WATER SIZE, LOCATION AND MATERIAL
W-19	23 L.F. 6" D.I. HYDRANT LEAD, HYDRANT ASSEMBLY AND GATE VALVE
W-20	FIRE DEPARTMENT CONNECTION (FOR REFERENCE ONLY)

SANITARY SEWER SCHEDULE

SS-1	CONNECT 8" SANITARY SERVICE TO EXISTING MANHOLE INV. = 668.80
SS-2	232 L.F. 8" SDR 35 PVC @ 0.55% SLOPE
SS-3	RIM 676.90 8" INV. (NE) 670.08 8" INV. (W) 670.08 DEPTH 6.82 48" CONCRETE STRUCTURE NEENAH R-1550 CASTING, TYPE B SOLID LID FIELD VERIFY EXISTING SANITARY SEWER INVERT, SIZE, AND MATERIAL PRIOR TO CONSTRUCTION
SS-4	135 L.F. 8" SDR 35 PVC @ 0.55% SLOPE
SS-5	RIM 677.40 8" INV. (N) 670.82 6" INV. (E) 670.82 8" INV. (SW) 670.82 DEPTH 6.58 48" CONCRETE STRUCTURE NEENAH R-1550 CASTING, TYPE B SOLID LID
SS-6	130 L.F. 8" SDR 35 PVC @ 0.55% SLOPE W/ (1) 45° BEND
SS-7	CONNECT TO 8" SANITARY STUB PROVIDED BY INTERIOR PLUMBING CONTRACTOR INV. = 671.54
SS-8	100 L.F. 6" SDR 35 PVC @ 1.05% SLOPE W (1) 45° BEND
SS-9	CONNECT TO 6" SANITARY STUB PROVIDED BY INTERIOR PLUMBING CONTRACTOR INV. = 671.87

N

0' 30' 60' 90'

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CHECKED BY:	C. RETTLER

Site Utility Plan

CU-101

Landscaped/Unpaved Area					
				(1 Tree & 10 shrubs per 600 SF landscaped area)	
Area	Name	Unpaved Area (sf)		Trees	Shrubs
Entire Site	Per Code F.3	59,500		99	992
Entire Site	As Shown on Rendering	59,500		35	139
DIFFERENCE				**-64**	**-853**

LANDSCAPE - GENERAL NOTES

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL PLANTS SHALL BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL LANDSCAPE BEDS SHALL CONTAIN A 4" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
5. ALL LANDSCAPE BED AREAS NOT BORDERED BY THE BUILDING OR SITE CONCRETE SHALL CONTAINED BY 'CURV-RITE' ALUMINUM LANDSCAPE EDGING .
6. ALL TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 4" SHREDDED HARDWOOD BARK MULCH.
7. LANDSCAPE EDGING SHALL BE ALUMINUM "CURV-RITE" EDGING.
8. ALL GENERAL TURF AREAS SHALL BE FINISH GRADED, SEEDED, FERTILIZED, AND CRIMP HAY MULCHED AS PER THE PROJECT MANUAL SPECIFICATIONS.
9. ALL GENERAL LANDSCAPE AREAS (SEEDING & PLANTING) SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
10. SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES, WARRANTY PERIOD, MAINTENANCE , ETC.
11. SEE DETAILS FOR PLANTING INSTALLATION.

SITE LAYOUT - LEGEND

ALUMINUM 'CURV-RITE' LANDSCAPE EDGING

PLANT LEGEND

LARGE/SHADE TREE

MEDIUM OR ORNAMENTAL TREE

EVERGREEN TREE

SHRUBS (THREE SIZES)

PERENNIAL OR ORNAMENTAL GRASS

LANDSCAPED/UNPAVED AREA

MAINTENANCE STRIP

N

0' 30' 60' 90'

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SITE LANDSCAPE PLAN

Hillview CBRF
Hillview Healthcare Center
3501 Park Lane Dr, La Crosse, WI 54601

MARK	DATE
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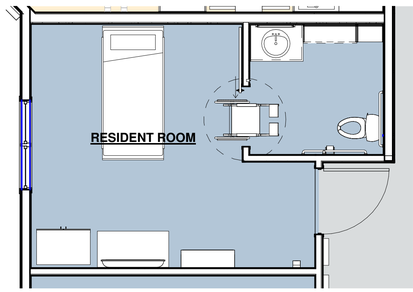
C600



TYPICAL RESIDENT ROOM

SCALE 1/4" = 1'-0"

BASEMENT PLAN

SCALE 1" = 20'-0"

FIRST FLOOR PLAN

SCALE 1" = 20'-0"

GROSS BUILDING AREAS - SUMMARY	
ENCLOSED	
LOW BASEMENT	8,453 SF
FIRST FLOOR	39,452 SF
	47,905 SF
FUTURE BUILD-OUT	
LOW BASEMENT	703 SF
FIRST FLOOR	419 SF
	1,122 SF
GRAND TOTAL	49,027 SF

KEY

- RESIDENT ROOM
- HOUSEHOLD
- COMMUNITY
- ADMINISTRATION
- SERVICE
- CIRCULATION
- OUTDOOR SPACE

FLOOR PLAN

N W E S

project # 22406

7/8/22

PR-101

RENDERINGS

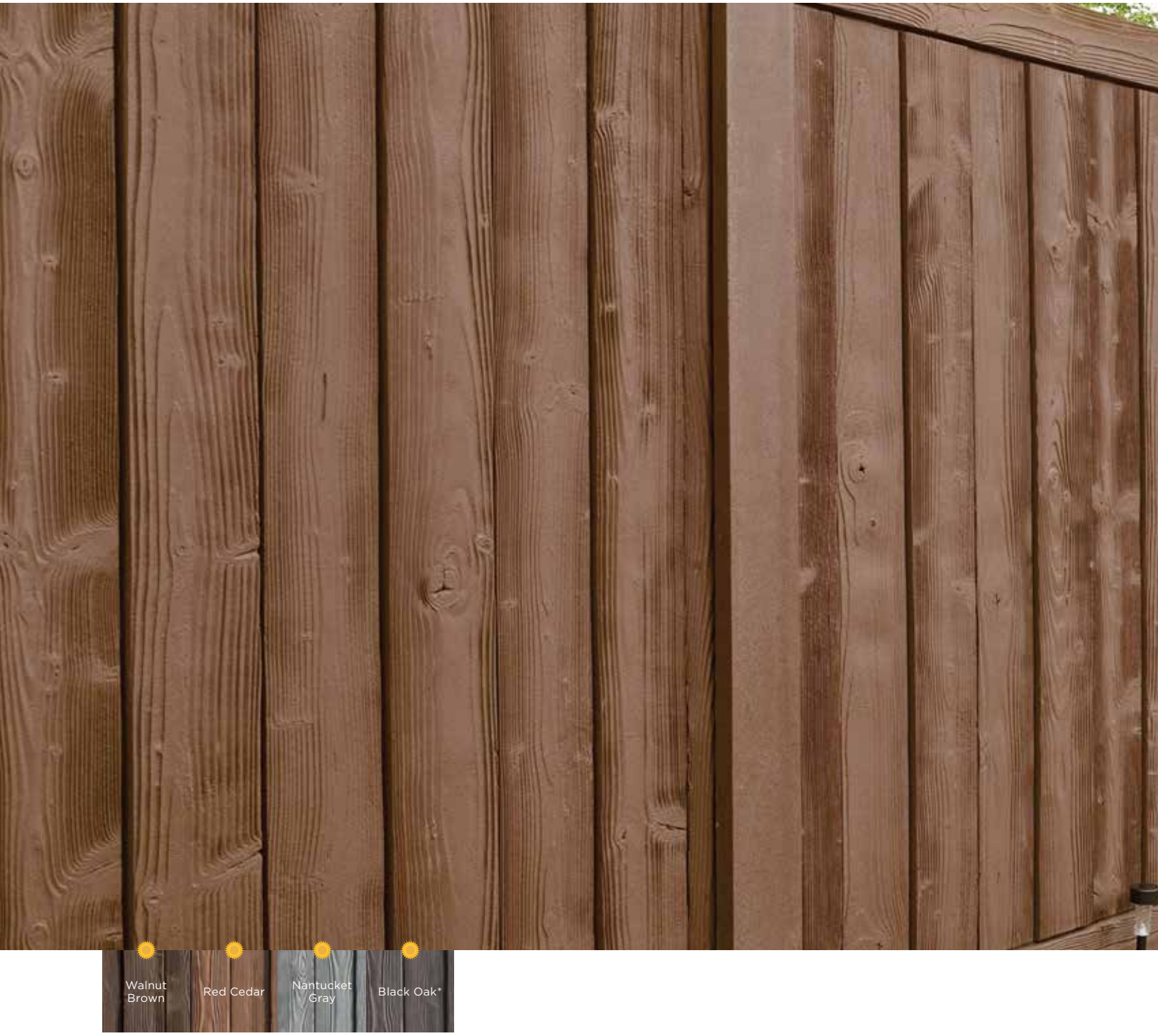
N W E S

project # 22406

06/22/22

PR-901

Sherwood



Sherwood

Bufftech's patented design of rotationally-molded fence allows realistic wood appearance and superior performance. Extremely durable, Sherwood provides excellent sound absorption for a quieter outdoor space.

Panel Sizes: 6′ x 6′, 4′ x 8′
Heights: 4′ & 6′
Stackable: 8′
Steel Reinforced Panels

*Black appears dark gray in color

Sherwood in Red Cedar

4′x 8′ panels are stackable.

NOTICE OF HEARING ON
APPLICATION FOR A CONDITIONAL USE PERMIT

TO WHOM IT MAY CONCERN:

Notice is hereby given that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing upon the application of **La Crosse County (dba Hillview Health Care Center) for the issuance of a Conditional Use Permit under Sec. 115-364** of the Municipal Code of Ordinances of the City of La Crosse for **a Community Based Living Arrangement.**

Said property is generally located at **3501 Park Lane Dr.** and is further described as follows:

Tax Parcel 17-50310-30
PRT N1/2-NW SEC 15 & PRT S1/2-SW SEC 10-15-7 COM NW COR SEC 15 ELY TO E R/W 33RD ST S TH S ALG R/W 234.75FT TO POB SLY 1064.7FT M/L TO N R/W LN PARK LN DR S87D56M 38SE 651.19FT ALG NLY R/W LN TO INTER ELY R/W LN MAPLE DR S2D43MW 33FT ALG ELY R/W LN S87D48M44SE TO ELY R/W LN HILLCREST DR NLY 1309.99FT TO NE COR NE-NW SEC 15 NLY 1083.2FT SWLY 672.5FT SLY 1015.83FT WLY TO POB EX V824 P742 & EX V816 P344 & EX PRT TAKEN FOR MUSGJERD HEIGHTS ADDN & EX CSM NO. 188 VOL 1 & EX CSM NO. 189 VOL 1 SUBJ TO UTIL ESMT IN DOC NO. 1670090 & SUBJ TO ESMT IN DOC NO. 1740603 & DOC NO. 1740604 & DOC NO. 1740605 & SUBJ TO ESMT IN DOC NO. 1761885

The City Plan Commission will meet to consider such application on **Monday, August 1, 2022 at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

A public hearing before the Judiciary & Administration Committee will be held on **Tuesday, August 2, 2022 at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the **Common Council** on **Thursday, August 11, 2022 at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may be heard for or against such proposed change, and may appear in person, by attorney or may file a formal objection; which objection forms are available on the City website at www.cityoflacrosse.org – Your Government – City Clerk – Forms – Conditional Use Permit.

The application and supporting documentation may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 22-0902).

This notice is given pursuant to the order of the Common Council of the City of La Crosse.

Dated this 14th day of July, 2022.

Nikki M. Elsen, City Clerk
City of La Crosse

- -

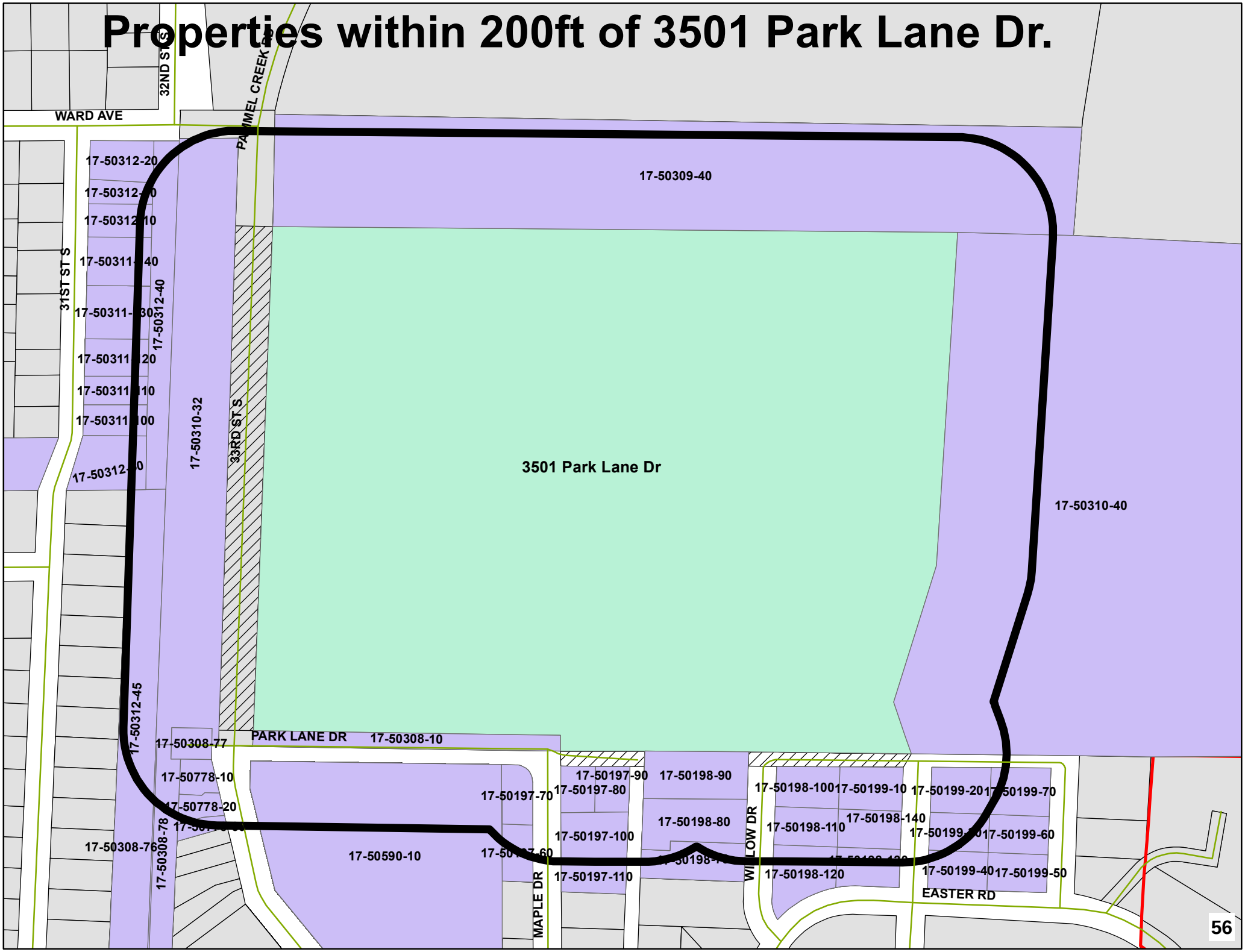
Publish: July 19 and 26, 2022
One (1) Affidavit

TaxParcelN	OwnerName	CompleteAd	City	State	ZipCode	PROPADDCOM
17-50199-50	ALEXANDRA M DESHLER	3717 EASTER RD	LA CROSSE	WI	54601-7725	3717 EASTER RD
17-50197-70	ALLEN CARDER	3006 MAPLE DR	LA CROSSE	WI	54601-7744	3006 MAPLE DR
17-50198-140	AMBER FRICKE, GEOFFERY WILLIAMS	3012 CLIFFSIDE DR	LA CROSSE	WI	54601-7717	3012 CLIFFSIDE DR
17-50199-70	ANNA KATHRYN JORDAN, ERIC CHARLES JORDAN	3006 BIRCH DR	LA CROSSE	WI	54601	3006 BIRCH DR
17-50590-10	ARROWHEAD VILLAGE AND TOWNHOUSES LLC	PO BOX 489	HEBER CITY	UT	84032-0489	3001 33RD ST S
17-50311-110	BARBRA C HANSEN	2853 31ST ST S	LA CROSSE	WI	54601	2853 31ST ST S
17-50311-120	BELZ WI APARTMENTS LLC	720 CASS ST	LA CROSSE	WI	54601	2845 31ST ST S
17-50312-30	BENJAMIN SCHAUF, HANA SCHAUF	2809 31ST ST S	LA CROSSE	WI	54601	2809 31ST ST S
17-50197-100	BULLZEYE PROPERTIES LLC	N16718 SKUNK COULEE RD	GALESVILLE	WI	54630	3013 MAPLE DR
17-50308-10	CITY OF LACROSSE	400 LA CROSSE ST	LA CROSSE	WI	54601	3501 PARK LANE DR
17-50310-40	CITY OF LACROSSE	400 LA CROSSE ST	LA CROSSE	WI	54601	3601 PARK LANE DR
17-50312-40	CITY OF LACROSSE	400 LA CROSSE ST	LA CROSSE	WI	54601	3110 WARD AVE
17-50312-45	CITY OF LACROSSE	400 LA CROSSE ST	LA CROSSE	WI	54601	2875 31ST ST S
17-50308-77	CITY OF LACROSSE	400 LA CROSSE ST	LA CROSSE	WI	54601	33RD ST S
17-50310-32	CITY OF LACROSSE	400 LA CROSSE ST	LA CROSSE	WI	54601	33RD ST S
17-50308-76	CITY OF LACROSSE	400 LA CROSSE ST	LA CROSSE	WI	54601	33RD ST S
17-50308-78	CITY OF LACROSSE	400 LA CROSSE ST	LA CROSSE	WI	54601	33RD ST S
17-50312-10	CLARE A RASMUSSEN, MICHAEL K TUMILOWICZ	2817 31ST ST S	LA CROSSE	WI	54601-7732	2817 31ST ST S
17-50311-140	ENRIQUE JOEL VALERA, MARIA R VALERA	4343 MARIAH DR S	LA CROSSE	WI	54601	2825 31ST ST S
17-50778-20	GLORIA C GRITZMACHER	3008 33RD ST S	LA CROSSE	WI	54601	3008 33RD ST S
17-50197-60	JAMES A SHEVELSON, SUSAN K SHEVELSON	3020 MAPLE DR	LA CROSSE	WI	54601-7744	3020 MAPLE DR
17-50197-80	JEFFERY II WINKERS, KAYLA WINKERS	3500 PARK LANE DR	LA CROSSE	WI	54601-7709	3500 PARK LANE DR
17-50311-100	JOAN M BLASCHKE	2857 31ST ST S	LA CROSSE	WI	54601-7732	2857 31ST ST S
17-50199-20	JOSEPH JR PRADOVIC	3005 CLIFFSIDE DR	LA CROSSE	WI	54601-7714	3005 CLIFFSIDE DR
17-50197-90	JUNE M THESING	3506 PARK LANE DR	LA CROSSE	WI	54601-7709	3506 PARK LANE DR
17-50311-130	KEVIN M BROWN	2835 31ST ST S	LA CROSSE	WI	54601-7732	2835 31ST ST S
17-50199-40	LESLIE J LACHINE, TERESA R LACHINE	3701 EASTER RD	LA CROSSE	WI	54601	3701 EASTER RD
17-50199-10	LISBETH G BENDER	3006 CLIFFSIDE DR	LA CROSSE	WI	54601-7717	3006 CLIFFSIDE DR
17-50778-30	MICHAEL G BISSEN TRUST, MARY K BISSEN TRUST	3010 33RD ST S	LA CROSSE	WI	54601	3010 33RD ST S
17-50198-100	MICHAEL J WARREN, DONNA J WARREN	3001 WILLOW DR	LA CROSSE	WI	54601-7746	3001 WILLOW DR
17-50312-50	NORTHERN STATES POWER CO	PO BOX 8	EAU CLAIRE	WI	54702-0008	2899 29TH CT S
17-50199-30	PAUL J HALTER, CYNTHIA HALTER	3013 CLIFFSIDE DR	LA CROSSE	WI	54601-7714	3013 CLIFFSIDE DR
17-50199-60	ROBERT T BRAGUE, KAREN EHLERS	3014 BIRCH DR	LA CROSSE	WI	54601-7770	3014 BIRCH DR
17-50198-70	RONALD R MALLES, CAROLE J MALLES	3022 WILLOW DR	LA CROSSE	WI	54601-7710	3022 WILLOW DR
17-50197-110	SARA J HART	3021 MAPLE DR	LA CROSSE	WI	54601-7760	3021 MAPLE DR
17-50312-20	SHANE SOMMERFELDT, BRITTANY DUMMER	2803 31ST ST S	LA CROSSE	WI	54601-7732	2803 31ST ST S
17-50198-130	STANLEY M BERG, CECELIA M BERG	3020 CLIFFSIDE DR	LA CROSSE	WI	54601-7717	3020 CLIFFSIDE DR
17-50198-80	TIMOTHY A HASS, TAMMY A HASS	3012 WILLOW DR	LA CROSSE	WI	54601	3012 WILLOW DR
17-50198-120	TINA M MAJINSKI	3601 EASTER RD	LA CROSSE	WI	54601	3601 EASTER RD
17-50198-90	TOWN OF SHELBY	2800 WARD AVE	LA CROSSE	WI	54601	3004 WILLOW DR
17-50309-40	TRANE US INC	3600 PAMMEL CREEK RD	LA CROSSE	WI	54601	3500 WARD AVE
17-50198-110	WILLIAM R MOYLE, SUSAN I MOYLE	3011 WILLOW DR	LA CROSSE	WI	54601-7746	3011 WILLOW DR
17-50778-10	ZACHARY J MATZKE, MACKENZIE M MATZKE	3000 33RD ST S	LA CROSSE	WI	54601	3000 33RD ST S

Properties within 200ft of 3501 Park Lane Drive

	LA CROSSE COUNTY				
APPLICANT	DBA HILLVIEW HEALTH CARE CENTER	3501 PARK LANE DR	LA CROSSE	WI	54601
ARCHITECT	HOFFMAN PLANNING, DESIGN & CONSTRUCTION, INC.	PO BOX 8034	APPLETON	WI	54912

Properties within 200ft of 3501 Park Lane Dr.



Agenda Item 22-0902 (Tim Acklin)

Application of La Crosse County (dba Hillview Health Care Center) for a Conditional Use Permit allowing for a Community Living Arrangement at 3501 Park Lane Dr.

General Location

Council District 12. The subject area is bounded by the former Trane Headquarters to the north, Chad Erickson Memorial Park to the east, Shelby ball fields & Pammel Creek to the west and a mix of multi-family and single family homes to the south.

Background Information

The applicant (Hillview Health Care Center) is requesting a Conditional Use Permit for the property depicted on attached MAP PC22-0902 to permit the construction and use of a 48-bed Community Based Residential Facility (CBRF). The new 49,000sqft facility would be constructed on Hillview's property near their existing complex which also includes a Residential Care Apartment Complex (RCAC).

Both CBRFs and RCACs are classified as Community Living Arrangement facilities and are regulated by State Statutes in regards to their permitted use in local zoning, their proximity to other community living arrangement facilities, and their concentration/density in neighborhoods and council districts. These regulations were adopted by the City of La Crosse in 2013.

A Community Living Arrangement facility is defined as either an Adult Day Care (ADC), an Adult Family Home (AFH), a Residential Care Apartment Complex (RCAC), or a Community Based Residential Facility (CBRF). These facilities are typically licensed by the State. These facilities are permitted by right in any residential zoning district as long a s they are not within 2,500ft of another facility.(Distance Rule) Additionally, facilities classified as a CBRF are permitted by right as long as the population of the CBRF (number of licensed beds) does not exceed 1% of the Council District's total population or the total population of all CBRF facilities in the City do not exceed more than 1% of the City's population.(Density Rule) While these facilities are permitted by right in any residential zoning district if they are in violation of the distance or density rule they must apply for a CUP and obtain approval from the City.

Hillview Health Care Center is required to apply for a CUP as they are within 2,500ft of several other facilities. Their proposed 48 bed facility also exceeds the 1% CBRF population for the Council District.

Plans and other required information are attached to the legislation.

Recommendation of Other Boards and Commissions

The Design Review Committee has reviewed final plans for this development at their July 22nd Meeting.

Consistency with Adopted Comprehensive Plan

N/A

Staff Recommendation

Overall staff has no concerns with the facility being located within 2,500ft of other facilities. (Distance Rule) Hillview is within 2,500ft of three other facilities, one of which is Hillview's RCAC.

Additionally, there are very few areas in the City where a new Community Arrangement Facility would not fall within 2,500ft of an existing one. Every year staff updates a map of the City that

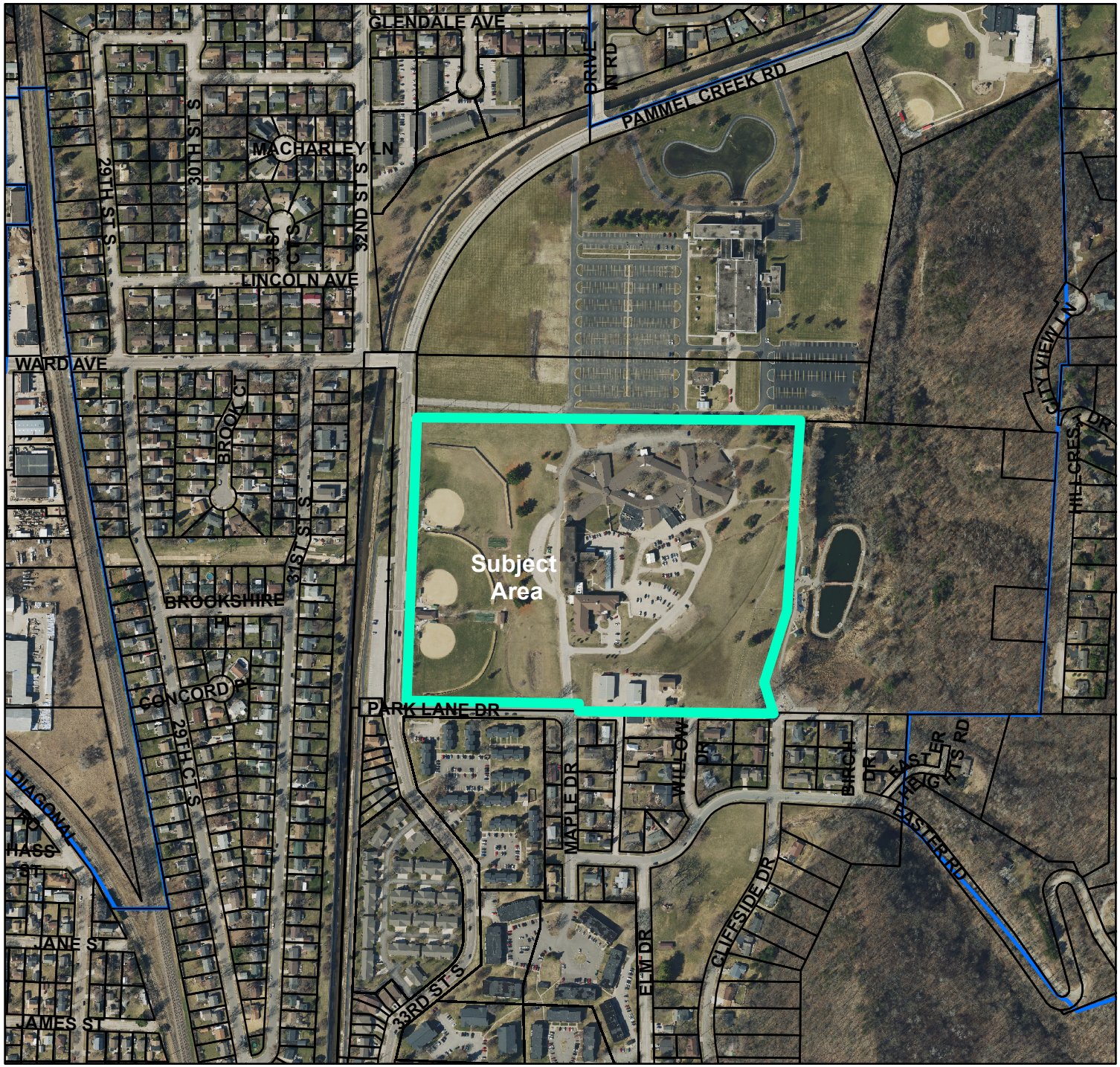
depicts all of the current CLAs, their 2,500ft proximity, and CBRF calculations for the council districts. This year staff updated it with the new 2020 Census populations as well as the new Common Council Districts.

The 2020 population for Council District 12 is 4,021. 1% of that is 40. The current CBRF population in District 12 is 0 as there are no other CBRF facilities in this district. Hillview Health Care Center is proposing to add 48 licensed beds to the population exceeding the maximum amount of 40.

While 48 exceeds the maximum of 40 staff is not concerned about this expansion having a negative impact on the surrounding neighborhood nor indicates that there is an attempt to concentrate these types of facilities in on area. This facility is not located within a residential neighborhood as the majority of other CBRF facilities are. It is also part of a facility that has been in existence at this location for some time.

The applicant has met all of the requirements of the CUP process so staff recommends approval of this item.

Routing J&A 8.2.2022



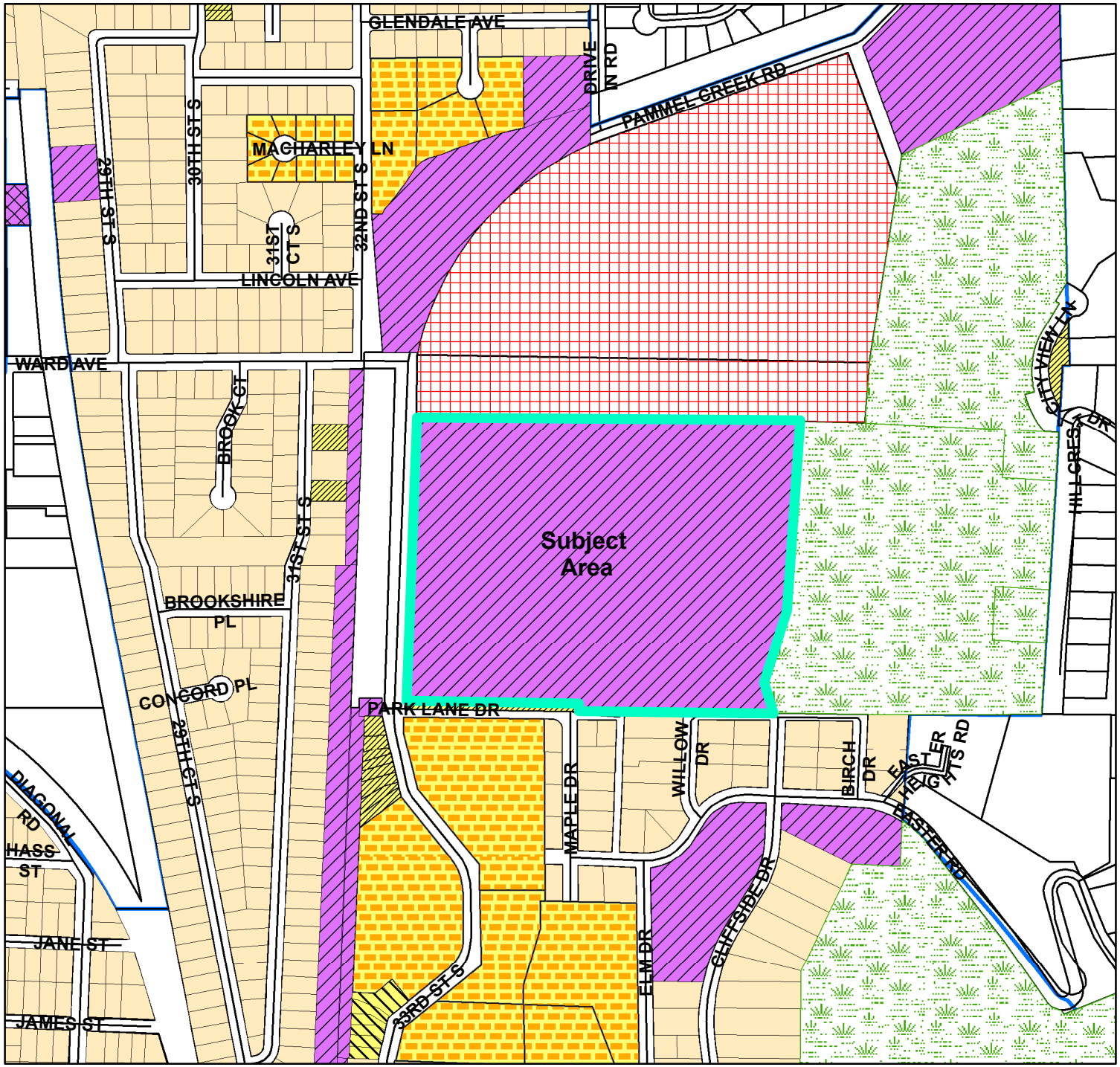
BASIC ZONING DISTRICTS

- R1 - SINGLE FAMILY
- R2 - RESIDENCE
- WR - WASHBURN RES
- R3 - SPECIAL RESIDENCE
- R4 - LOW DENSITY MULTI
- R5 - MULTIPLE DWELLING
- R6 - SPECIAL MULTIPLE
- PD- PLANNED DEVELOP
- TND - TRAD NEIGH DEV.
- C1 - LOCAL BUSINESS
- C2 - COMMERCIAL
- C3 - COMMUNITY BUSINESS
- M1 - LIGHT INDUSTRIAL
- M2 - HEAVY INDUSTRIAL
- PS - PUBLIC & SEMI-PUBLIC
- PL - PARKING LOT
- UT - PUBLIC UTILITY
- CON - CONSERVANCY
- FW - FLOODWAY
- A1 - AGRICULTURAL
- EA - EXCLUSIVE AG
- City Limits
- SUBJECT PROPERTY

0 255 510 1,020 Feet

City of La Crosse Planning Department - 2022

PC 22-0902



BASIC ZONING DISTRICTS

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0 255 510 1,020 Feet

City of La Crosse Planning Department - 2022

PC 22-0902

City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0903

Agenda Date: 8/4/2022 **Version:** 1 **Status:** New Business

In Control: Finance & Personnel Committee **File Type:** Resolution

Agenda Number:

Resolution committing to and accepting Transportation Alternatives Program funding for an update to the Bicycle and Pedestrian Master Plan.

RESOLUTION

WHEREAS, the Common Council of La Crosse adopted the *Bicycle and Pedestrian Master Plan* in 2012 which outlined specific goals and objectives to improve La Crosse's bicycle and pedestrian network and be designated as a Bikeable and Walkable Community; and

WHEREAS, an update to the plan is desired by the Bicycle and Pedestrian Advisory Committee because it has largely been implemented or is outdated; and

WHEREAS, there is also a need to incorporate current planning efforts, such as the updated Comprehensive Plan (Forward La Crosse), the Climate Action Plan, and the ADA Transition Plan, into city-wide bicycle and pedestrian goals, objectives, and strategies; and

WHEREAS, the cost to update the plan has been determined to be approximately $120,000; and

WHEREAS, the Wisconsin Department of Transportation's 2022-2023 Transportation Alternatives Program Supplemental Solicitation reimburses 80% of the project cost for non-infrastructure planning studies; and

WHEREAS, an update to the 2012 Bicycle and Pedestrian Master Plan is an eligible project and a grant application was submitted by the Planning, Development, and Assessment Department.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of La Crosse that it hereby supports an update to the Bicycle and Pedestrian Master Plan and commits to funding the local match of $24,000 from the 2023 CIP Budget. Upon completion 80% ($96,000) of the cost would be reimbursed back to the City.

BE IT FURTHER RESOLVED that upon confirmation of the grant award the project would begin in the summer 2023 and completed in Jan/Feb 2024.

BE IT FURTHER RESOLVED that the Directors of Finance, and Planning, Development, and Assessment Department are hereby authorized to effectuate this resolution.

Agenda Item 22-0903 (Tim Acklin)

Resolution committing to and accepting Transportation Alternatives Program funding for an update to the Bicycle and Pedestrian Master Plan.

General Location

City Wide with connections to the surrounding municipalities.

Background Information

The Planning, Development, and Assessment Department, on behalf of the Bicycle and Pedestrian Advisory Committee, applied for a grant from the Wisconsin Department of Transportation's Transportation Alternative Program to update the City's Bicycle and Pedestrian Master Plan. The current plan was developed in 2012 with many components/policies having been implemented while others considered to be largely outdated.

The process is anticipated to begin toward the end of the comprehensive plan update which is mid-2023. This way we will also be able to incorporate the updated Comprehensive Plan (Forward La Crosse), the Climate Action Plan, and the ADA Transition Plan, into plan's goals, objectives, and strategies.

The grant requires that a Resolution from the municipality's Common Council, stating that they are committing funding and support to the project, is passed and submitted to WisDOT as part of the application process.

The project cost has been determined to be $120,000. The grant will reimburse $96,000 (80%) back to the City once the project is completed, which will leave the City's local share to be $24,000 (20%). This Resolution is to serve as the City's commitment to support the project as well as identify the funding source as the 2023 CIP Budget. This project is currently identified in the budget in the year 2027 for $150,000 with a funding source of General Obligation Bonds/Notes but will need to be moved to 2023, reduced to $24,000 with the same funding source

Recommendation of Other Boards and Commissions

The Bicycle and Pedestrian Advisory Committee supported this Resolution at their July 12, 2022 meeting.

Consistency with Adopted Comprehensive Plan

Maintaining a multi-modal transportation plan is a primary objective in the Transportation Element of the Comprehensive Plan. (Page 5-12)

Staff Recommendation

The City should take advantage of any grant opportunities available to maintain and/or develop important infrastructure, resources, and planning documents. **This item is recommended for approval.**

Routing F&P 8.4.2022

City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0993

Agenda Date: 8/1/2022 **Version:** 1 **Status:** Agenda Ready

In Control: City Plan Commission **File Type:** General Item

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MEMORANDUM

TO: City of La Crosse Plan Commission
City of La Crosse Planning Department

FROM: GRAEF
Mary Kramer, Planning Consultant
Brianna Fiorillo, Planning Consultant

DATE: July 28, 2022

SUBJECT: Comprehensive Plan Update Community Engagement Update

I. INTRODUCTION AND BACKGROUND

The City of La Crosse Comprehensive Plan community engagement process is underway and scheduled to continue through October 2022. Engagement began in April 2022.

This memo is intended to provide the Plan Commission and City Staff with an update on community engagement efforts and general trends. It is not intended to provide a detailed analytical report – this will be provided once the surveys have officially closed and stakeholder sessions have concluded.

II. OVERVIEW OF COMMUNITY ENGAGEMENT MODULES & STATISTICS

Social Pinpoint currently offers the following modules to solicit community feedback, accessible via the "Forward La Crosse" project website (https://forwardlacrosse.org/):

- **Community Survey:** This survey asks respondents a series of questions about their views and preferences on various aspects of the community including quality of life, services, resources, recreation, housing, transportation, downtown amenities, and more. The survey also includes optional demographic questions.
    - *885 responses*
- **Guiding Principles Survey:** This survey asks respondents to rank the previously established guiding principles in order of priority. The survey also includes an optional space for respondents to submit their own guiding principle.
    - *154 responses*
- **Visual Preference Survey:** This survey asks respondents to react to different example images of various urban design elements including bike lanes, signage, multi-family housing, parks, and more.
    - *294 responses*
- **Comment Map:** The comment map allows respondents to drag and drop a themed "pin" onto a virtual map of the City. Respondents can leave comments, upload photos, and upvote/downvote other comments.
    - *500 comments*

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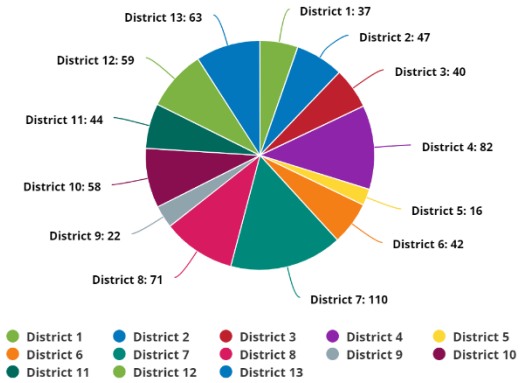
- **Voting Game:** The voting game asks respondents to allocate up to 5 virtual "votes" across 12 different categories that the City could prioritize in the Comprehensive Plan.

Accessibility:

- All modules are accessible via Google Translate in over 100 languages and via text-to-speech for the visually impaired.
- Library Station: access to both hard copy surveys and a computer terminal to complete surveys electronically.
    - In addition, a library staff member is available to field questions and written instructions are provided to aid public interested in completing the surveys.
- Advertising at major park and recreation facilities: Postcards, posters and sandwich board posters were posted at many facilities.
- An insert promoting participation in the comprehensive planning process was included with the City's water quality reports. They were sent to all La Crosse residents on June 21, 2022.

III. OVERVIEW OF DIVERSITY OF SURVEY RESPONDENTS



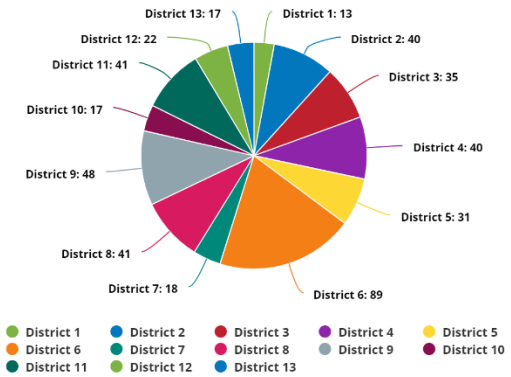


Figure 1 (left) shows the Council Districts where respondents live, and Figure 2 (right) shows the Council Districts where respondents work

IV. SURVEY RESPONSE COMPARISON

To evaluate the survey response rate for the Forward La Crosse Comprehensive Plan project, GRAEF created a comparison of comprehensive plan survey responses from other communities in Wisconsin. These communities also incorporated surveys during their comprehensive planning processes. Notably, these communities incorporated only one survey element, whereas La Crosse offers three (community survey, guiding principles survey, visual preference survey). For the purposes of this comparison, all survey responses for La Crosse are included.

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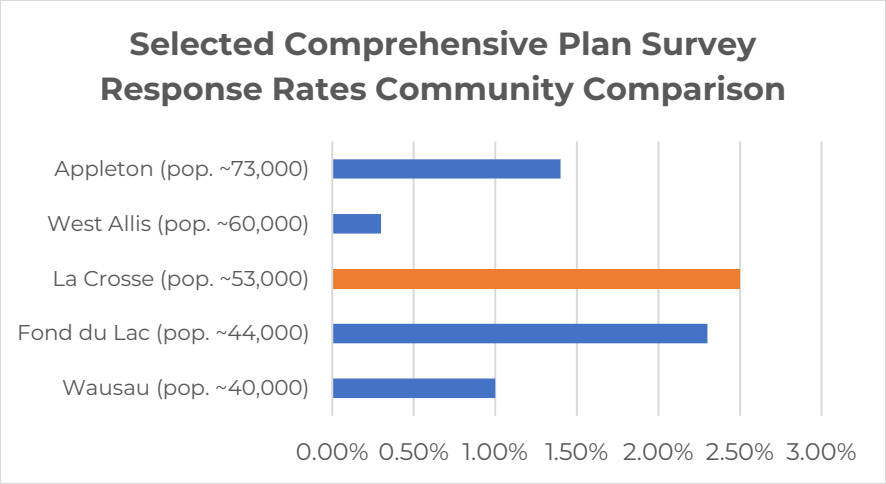

Figure 3: Selected Comprehensive Plan survey response rates

V: GENERAL SURVEY TRENDS TO-DATE

The following is an observation of general trends expressed by the community through the survey modules. *Community survey trends will be presented via slideshow.*

- **Guiding Principles Survey:**

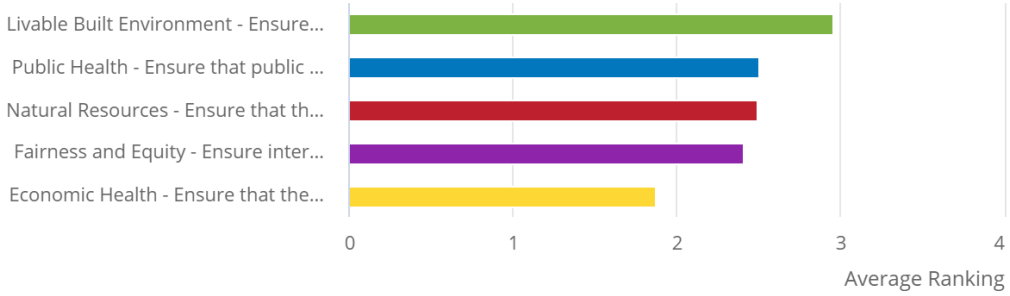

Figure 4: Guiding Principles Survey average ranking results

- **Visual Preference Survey:**
  - For the City's urban neighborhood, respondents generally prefer a mix of modern and historical styles that incorporate local architecture/character.
  - For the City's main streets, respondents generally favor a mix of modern and colorful, restored storefronts and buildings. Respondents generally favor maximizing walkability over more space for cars.
  - For the City's parks, respondents generally favored areas of open green space with mature trees, limited play equipment, and gathering spaces.
  - For public art, respondents generally favored beautification of existing spaces with color and interactivity to amplify the City's character and personality.

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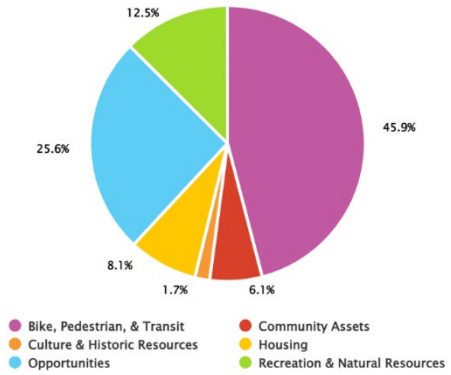
- For multi-family housing, respondents generally expressed a preference for designs that fit with the historic look and feel of the downtown with appealing architectural features and greenspace over "boxy" style buildings.
- For alterative transportation options, respondents generally favored separate space for bicycles and cars to promote safety.

VI: COMMENT MAP & VOTING GAME TRENDS TO-DATE

The Comment Map offers six different themed "pins" for respondents to select. To-date, almost 50% of the 475 pins are focused on bike, pedestrian, and transit topics, as can be seen in Figure 4. Comments are relatively evenly distributed across the City, as can be seen in Figure 5.



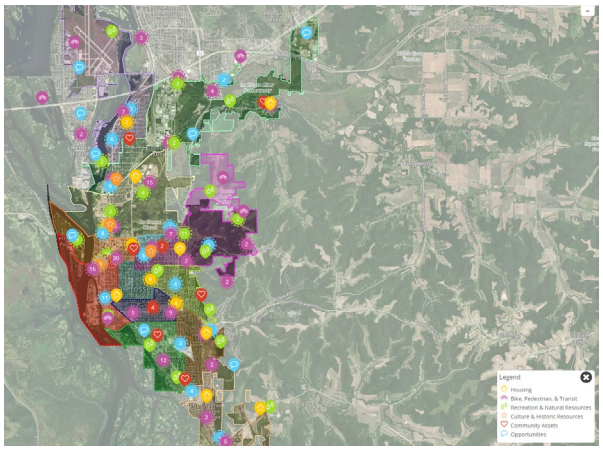


Figure 4-5: Breakdown of comment types on the community map and distribution of comment "pins" on the community map

The Voting Game has received 271 responses. Among the 12 categories, the highest rated to-date include:

- High quality surface water and groundwater (168 votes)
- City-wide climate action (158 votes)
- Conserve open space and biodiversity (154 votes)

VII: STAKEHOLDER SESSIONS

Session 1: City Staff Leaders/Public Servants

- Group Summary: Invitations extended to representatives with City of La Crosse Municipal departments and Public Safety, La Crosse Municipal Transit, Regional Airport, and the Public Library.

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- Below is a sampling of answers to the question: **"What is most important to accomplish over the next 5 years?"**

Climate Action Plan	Continue improving roads	Reduce CO2 emissions
Redevelop older housing stock	Fill vacant buildings and continue rehab projects	Replace aging infrastructure
Create a welcoming, inclusive community	River Point District development	Increased housing affordability/options

- A sample of responses to the question: **"In a few words, what are the top goals of your department? What are your goals between departments?"**
    - Expanding access, especially to the underserved. Contribute to sustainability through tool library, develop our small business/nonprofit incubator
    - Line up our transit service with future development or needs of the community. Help support regional transportation
    - Continued engagement with all community members neighborhood groups businesses and provide a safe environment for all to live, work, and play
    - Keep as much green space as possible
    - Street reconstruction and maintenance
    - Library dept works closely with the school districts
- Initial Themes: Participants were able to identify specific programs and projects that have succeeded and failed and were able to detail short-term and long-term goals. Some major themes that began to develop broadly included:
    - Continued and robust public outreach across all departments
    - Continue and advance interdepartmental coordination
    - Develop and advance public programs that achieve interdepartmental goals
    - Develop goals and programs that foster community pride

Session 2: Housing and Land Use

- Group Summary: Invitations were extended to representatives from the real estate development community, low-income development community, La Crosse County, and a City homelessness staff member. In addition, attendees included a representative from Friends of the Marsh and several Plan Commission members. During introductions, many participants described their interest in the meeting and their affiliation's priorities regarding housing and land use within the City.
- The following responses were given to the question: **"What are things that make people want to live in La Crosse?"**
    - Compact layout is efficient; I can get to work quickly
    - Amenities: Mayo Clinic, food, worship, higher education, nature
    - City's history
    - Community for all ages: great for students, families, aging in place; "these are definitely parts of our community that aren't well represented"

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- In addition, discussion focused heavily on the following question: **"What are some of the barriers residents face for access to housing?"** One-word responses to the question included:

Cost	Condition	Landlocked City	Availability
High taxes	Limited types	Minimal transit	

- Some additional comments focused on building political support for incentive programs like tax-increment financing, and "not in my backyard" or "NIMBY" responses to change in standards or status quo (such as higher densities, taller buildings, parking reductions, form-based zoning changes). If there isn't political support, developers will go where it's easier. Other comments included:
    - New construction costs have skyrocketed, making affordable housing difficult. High amount of substandard quality of housing and limited amounts of public programs to address this, or they are not marketed well.
    - Clearing property is expensive and low property values outweigh clearing/tearing down.
- Initial Themes: The group's conversation began to highlight several broad housing and land use ideas, including:
    - Review and update zoning and form-based codes to allow for more density, less parking, and other land development requirements/minimums/maximums
    - Market existing programs and implement additional incentive programs to help affordable projects, as well as dilapidated and infill development.
    - Maximize political support to promote community appetite for development changes, that may be perceived as unfavorable.

Session 3: Economic Development

- Group Summary: Participants invited to this session included County and City employees, members of business and development associations, local chamber of commerce, workforce community, and Downtown Mainstreet Inc.
- In response to the question "What single issue do you feel is the biggest challenge facing economic development in La Crosse?", the following responses emerged:
    - Lack of diversity
    - Lack of available/affordable childcare
    - "Brain drain"/retaining educated workers
    - Lack of housing availability, particularly in higher-income brackets
- Initial Themes: Several major themes emerged and will be further discussed in subsequent sessions focused on economic development, including:
    - How can the City incorporate/promote diversity among the workforce?

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- How can the City expand housing and job opportunities for recent graduates to keep living in La Crosse post-graduation (both high school and college/university)
- How can housing opportunities for a variety of workers be expanded?
- How can more childcare opportunities be offered?

Session 4: Transportation, Pedestrian and Bicycle Planning

- Group Summary: Participants invited included City transportation officials, bike/ped steering committee members, a Committee for Citizens with Disabilities representative, MTU and Airport representatives, and members of transportation advocacy groups.
- A sample of comments from the question: **"What prevents La Crosse from being pedestrian-friendly?"**

Cars/trucks	Unyielding cars	Surface parking
Parking	Highways	Ice
Speeding traffic	Missing sidewalks	Unsafe Drivers
Lack of enforcement on speed/high speed roads	Fire dept. is opposed to traffic calming efforts	Bump-outs (good for slowing traffic but problematic for pedestrians and cyclists)

- Initial Themes: Some distinct themes began to form, in particular the idea of managing and reducing car use. Some other broad themes included:
  - Develop infrastructure for people not cars; end car dominance
  - Continue and expand infrastructure improvements using a multi-disciplinary team and addressing all users
  - Advance transportation projects that consider sustainability among other goals
  - Develop and market education programs, such as "rules of the road"

Stakeholder Session Next Steps: These four initial and live sessions initiated the stakeholder session engagement process. Subsequently, additional stakeholder meetings are being scheduled and will focus on remaining comprehensive plan categories:

Natural resources, open space, parks	Institutions (higher education & healthcare)	Committee for Citizens with Disabilities *(8/18)*
Recreation	Implementation	Historic preservation
Public utilities/community facilities	Water transportation/recreation	Bicycle-pedestrian advisory committee/bike/ped community (8/16)
Neighborhoods	Airport	

Forward La Crosse: Comprehensive Plan
Analytics, July 25, 2022
www.forwardlacrosse.org

May 23rd Comprehensive Plan Analytics: LINK
June 27th Comprehensive Plan Analytics: LINK

Google Analytics - www.forwardlacrosse.org
Link to Google Analytics Report

Regional Press Releases
Forward La Crosse Campaign Hosted Workshops and Discussion for Business Owners, Community Organizations, and Residents…
Total Opens - 344
24.51% Open rate

The City of La Crosse's Forward La Crosse Public Input Campaign Closing Online Input
Total Opens - 354
27.91% Open rate

Earned Media
Wispolitics.com - City of La Crosse: Forward La Crosse public input campaign closing online input Friday July 29, 2022

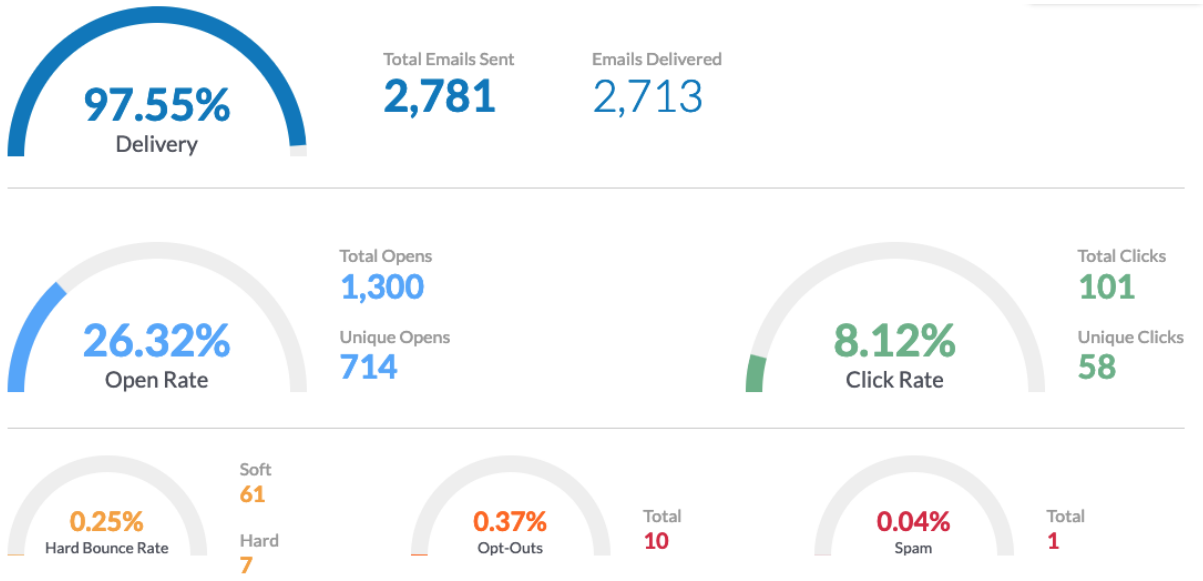
E-newsletter Analytics

Current Total Emails: 3,161 Contacts

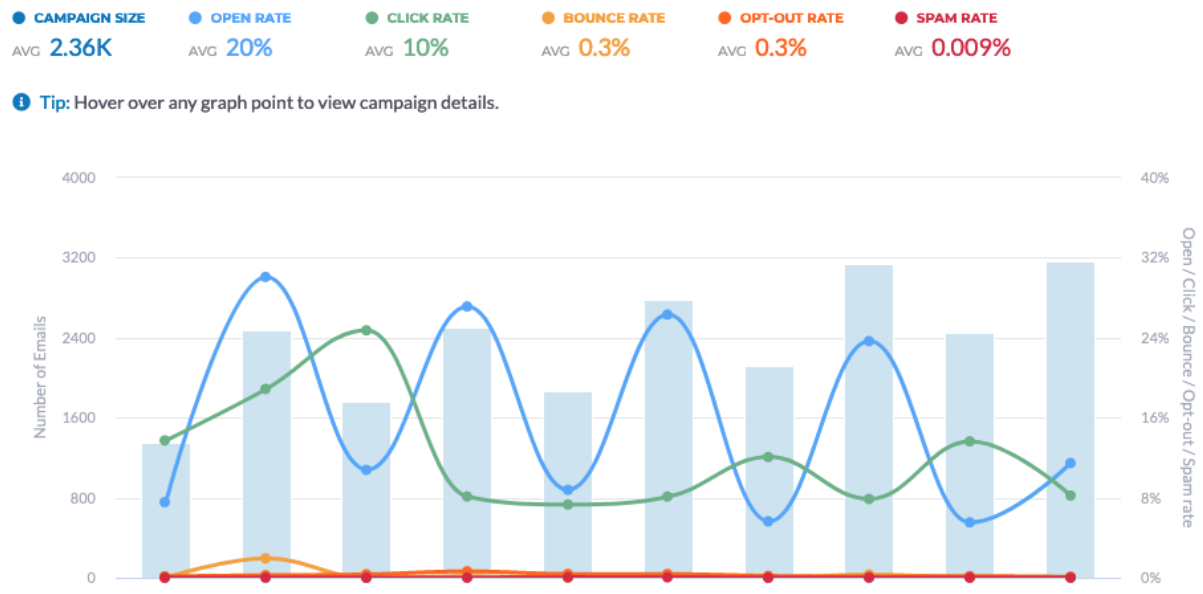
See archived/sent campaigns here

E-newsletter campaign performance below:

Recent Send Report: Please SHARE! 1,807 Responses Collected from the Public! Deadline is July 29!



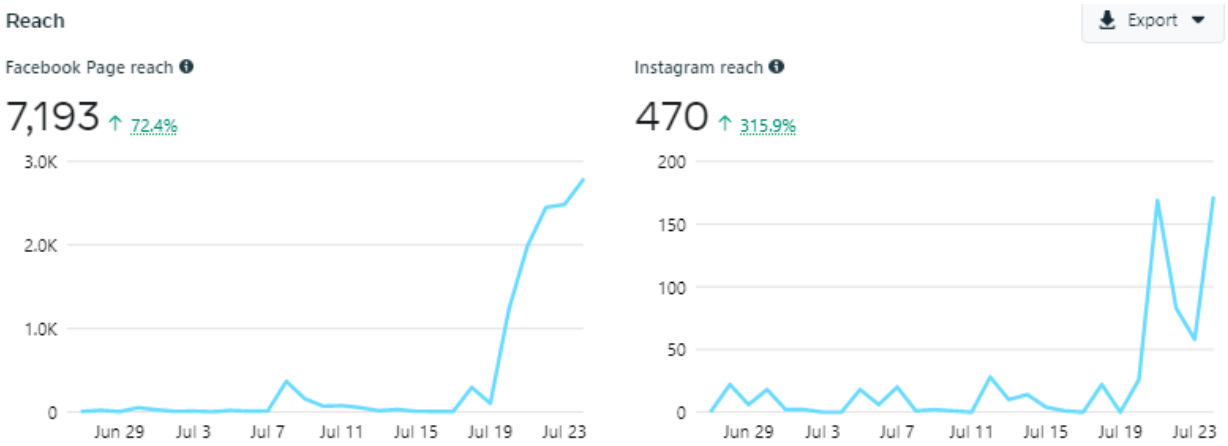
Overall Send Stats:

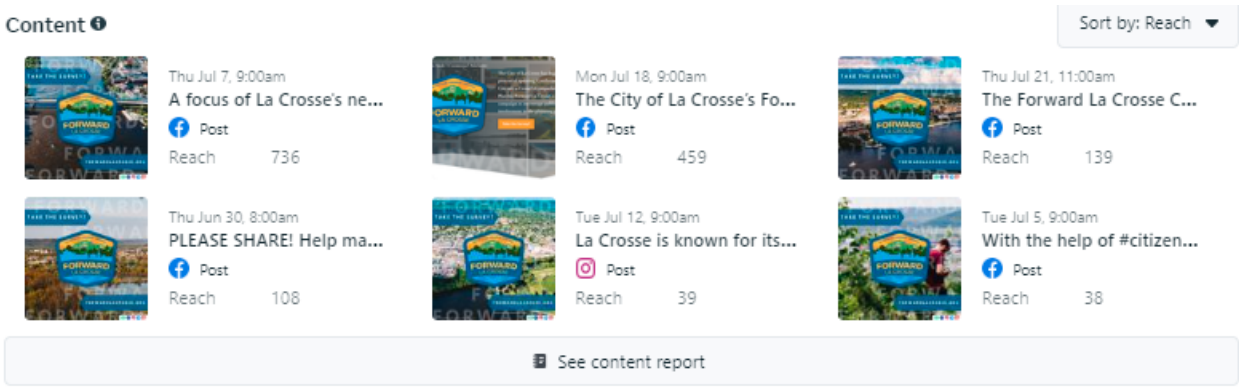


Facebook Analytics

June 27 through July 25, 2022

Facebook Advertising Restarted July 20th

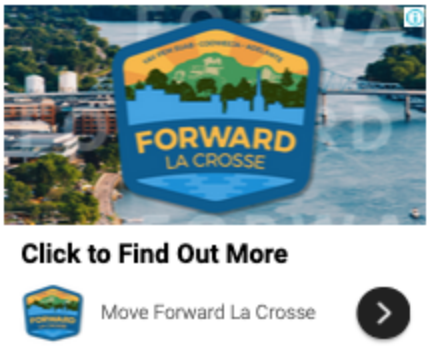


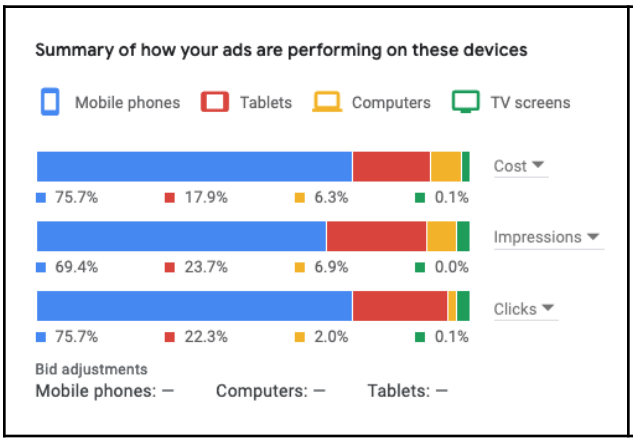


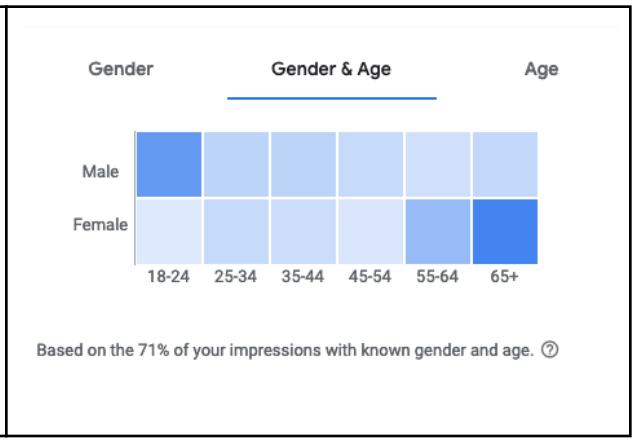
Google Ads - Responsive Display Ads

Impressions - 570,789

Clicks - 3,367







In-Stream Advertising Pre-Roll

Impressions - 238, 515
Views - 44,887

Video Efficient reach - 2022-04-24

Ad #1

Learn more

La Crosse, WI