

PROPOSED

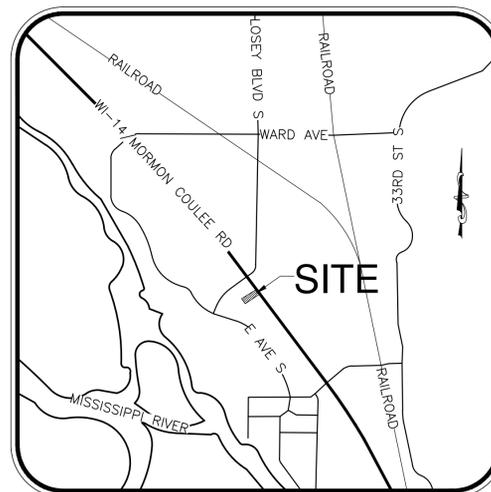
7 BREW COFFEE SHOP

3960 MORMON COULEE ROAD

LA CROSSE, LA CROSSE COUNTY, WISCONSIN 54601

PROJECT CONTACT INFORMATION	
GAS	XCEL ENERGY, INC CONTACT: PHONE: (800)-895-4999 EMAIL:
TELEPHONE	CHARTER COMMUNICATIONS CONTACT: PHONE: (262)-446-9821 EMAIL:
ELECTRIC	XCEL ENERGY, INC CONTACT: PHONE: (800)-895-4999 EMAIL:
SANITARY SEWER	CITY OF LA CROSSE SEWER DEPARTMENT 400 LA CROSSE ST, 5TH FLOOR LA CROSSE, WI 54601 CONTACT: PHONE: (608)-789-7384 EMAIL:
WATER	CITY OF LA CROSSE 400 LA CROSSE ST, 5TH FLOOR LA CROSSE, WI 54601 CONTACT: PHONE: (608)-789-7384 EMAIL:
STORM SEWER	CITY OF LA CROSSE SEWER DEPARTMENT 400 LA CROSSE ST, 5TH FLOOR LA CROSSE, WI 54601 CONTACT: PHONE: (608)-789-7384 EMAIL:

THE CONTRACTOR SHALL COORDINATE WORK WITH THE APPROPRIATE UTILITY OWNERS TO ENSURE NO CONFLICTS WITH EXISTING UTILITY INFRASTRUCTURE.



AREA MAP - NOT TO SCALE

DEVELOPER	PLAZA STREET PARTNERS 3400 COLLEGE BLVD, SUITE 200 LEAWOOD, KS 66211 CONTACT: KARA CONDIE PHONE: (913) 299-5737 EMAIL: kcondie@plazastreetpartners.com
CIVIL/SITE ENGINEER	BFA, INC. 103 ELM STREET WASHINGTON, MISSOURI 63090 CONTACT: JOHN SCHEBAUM PHONE: (636) 231-4337 EMAIL: jschebaum@bfaeng.com
ARCHITECT	VERITAS ARCHITECTURE & DESIGN CONTACT: ADDISON BLISS PHONE: (479) 358-1310 EMAIL: addison@veritas-od.com

SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	CS-1
ALTA*	ALTA 1 OF 3
ALTA*	ALTA 2 OF 3
ALTA*	ALTA 3 OF 3
TOPOGRAPHIC SURVEY	TS-1
DEMOLITION PLAN	DM-1
EROSION AND SEDIMENT CONTROL PHASE I	ESC-1
EROSION AND SEDIMENT CONTROL PHASE II	ESC-2
EROSION AND SEDIMENT CONTROL DETAIL SHEET I	ESC-3
EROSION AND SEDIMENT CONTROL DETAIL SHEET II	ESC-4
GRADING PLAN	GR-1
SITE PLAN	SP-1
SITE STRIPING PLAN	SP-2
UTILITY PLAN	UT-1
LANDSCAPE PLAN	LP-1
LANDSCAPE DETAILS	LP-2
DETAIL SHEET 1	DTL-1
DETAIL SHEET 2	DTL-2
DETAIL SHEET 3	DTL-3
DETAIL SHEET 4	DTL-4
PRE DEVELOPED DRAINAGE AREA MAP	DA-1
POST DEVELOPED DRAINAGE AREA MAP	DA-2
BMP DRAINAGE AREA MAP	DA-3
*PROVIDED UNDER SEPARATE SEAL	

CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES MAY NOT BE ACCURATELY SHOWN, KNOWN TO EXIST, AND/OR LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

ALL EXISTING UTILITIES ON THIS PROJECT SITE AND ON ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES, WHEN NECESSARY, TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE OWNER, AND BFA, INC.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

PRELIMINARY DRAWING

FOR REVIEW PURPOSES ONLY
NOT TO BE USED FOR CONSTRUCTION

bfaeng.com TELEPHONE: (636) 239-4751

BFA

Engineering • Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

DRAWN
B.L.F.
CHECKED
J.B.S.
DATE
07/12/24
SCALE
NONE
JOB No.
8306
SHEET NAME
COVER SHEET

CS-1

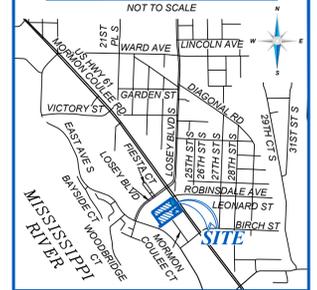
ALTA/NSPS LAND TITLE LIMITED TOPOGRAPHIC SURVEY

3960, 4000, 4049, 4020 MORMON COULEE ROAD
LOCATED IN: SECTION 16, TOWNSHIP 15 NORTH, RANGE 7 WEST
LA CROSSE, LA CROSSE COUNTY, WISCONSIN 54601

PARKING INFORMATION

WITHIN SUBJECT PROPERTY:
REGULAR= 228
HANDICAP= 8
TOTAL= 236
PARKING EASEMENT DOCUMENT NO. 1593561
DOCUMENT NO. 1620054, DOCUMENT NO. 1734366
REGULAR= 110
HANDICAP= 3
TOTAL= 349

VICINITY MAP



GENERAL NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- IN REGARD TO ALTA/NSPS TABLE ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS EXCEPT AS SHOWN HEREON.
- IN REGARD TO ALTA/NSPS TABLE ITEM 17, THERE WERE NO KNOWN PROPOSED CHANGES IN RIGHT OF WAY LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS EXCEPT AS SHOWN HEREON.
- AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, ISOLATED GRAVE SITE OR BURIAL GROUNDS.
- COMPLETED FIELD WORK WAS APRIL 30, 2024.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENTS.
- THE NEAREST INTERSECTING STREET IS THE INTERSECTION OF U.S.H. 1461, A.K.A. MORMON COULEE ROAD AND LOSEY BOULEVARD, WHICH IS APPROXIMATELY 190' FROM THE NORTHEASTERN CORNER OF THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY HAS INDIRECT ACCESS TO LOSEY BOULEVARD VIA ACCESS / PARKING EASEMENT DESCRIBED IN DOCUMENT NO. 1593561, BEING A PUBLIC RIGHT-OF-WAY.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF SURVEY; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- NO SURVEYOR OR ANY OTHER PERSON OTHER THAN A LICENSED WISCONSIN ATTORNEY MAY PROVIDE LEGAL ADVICE CONCERNING THE STATUS OF TITLE TO THE PROPERTY DESCRIBED IN THIS SURVEY ("THE SUBJECT PROPERTY"), THE PURPOSE OF THIS SURVEY AND THE COMMENTS RELATED TO THE SCHEDULE B-II EXCEPTIONS, IS ONLY TO SHOW THE LOCATION OF BOUNDARIES AND PHYSICAL OBJECTIONS IN RELATION THERETO TO THE EXTENT THAT THE SURVEY INDICATES THAT THE LEGAL INSTRUMENT "AFFECTS" THE SUBJECT PROPERTY, SUCH STATEMENT IS ONLY INTENDED TO INDICATE THAT PROPERTY BOUNDARIES INCLUDED IN SUCH INSTRUMENT INCLUDE SOME OR ALL OF THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT PURPORT TO DESCRIBE HOW SUCH INSTRUMENT AFFECTS THE SUBJECT PROPERTY OR THE ENFORCEABILITY OR LEGAL CONSEQUENCES OF SUCH INSTRUMENT.
- NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM LA CROSSE COUNTY GIS.
- THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE AND IS CONTIGUOUS WITH THE ADJOINING PUBLIC RIGHT-OF-WAY AND/OR ADJOINING PARCELS WITH NO GAPS OR OVERLAPS.
- IN REGARD TO ALTA/NSPS TABLE ITEM 10, VISIBLE DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELD WORK WAS PERFORMED, AS SHOWN HEREON.
- ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS WITH ORIGINATING BENCHMARK PID: DH8676, VERTICAL DATUM BASED UPON NORTH AMERICAN VERTICAL DATUM (NAVD83) IN US SURVEY FEET. CONTOURS SHOWN ARE 1' FOOT INTERVALS. BENCHMARK PID: DH8676 DESIGNATION: K 124 RESET PUBLISHED ELEVATION: 667.91' MONUMENT DESCRIPTION: VERTICAL CONTROL DISK STAMPING: K 124 RESET 1991
- THE TERM "CERTIFY" OR "CERTIFICATION" AND "CORRECT" AS NOTED HEREON AND AS IT PERTAINS TO LAND SURVEYING SERVICES AS SHOWN ON THIS DOCUMENT SHALL MEAN: "A STATEMENT SIGNED BY THE PROFESSIONAL LAND SURVEYOR BASED ON THE FACTS AND KNOWLEDGE KNOWN TO THE PROFESSIONAL LAND SURVEYOR AT THE TIME OF THE SURVEY AND IS NOT A GUARANTEE OR WARRANTY, EITHER IMPLIED OR EXPRESSED".
- A PRIVATE UTILITY LOCATE WAS CONDUCTED ON THE SUBJECT PROPERTY BY BLEW & ASSOCIATES ON 04/19/2024.

SURVEYORS' CERTIFICATE

TO: PLAZA STREET PARTNERS, LLC, A KANSAS LIMITED LIABILITY COMPANY; VSC CORPORATION; FIDELITY NATIONAL TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B1, 7C, 8, 9, 10, 11A, 11B, 13, 14, 16, 17, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 04/30/2024.

DATE OF PLAT OR MAP: 05/02/2024

JASON M. PAGE
LAND SURVEYOR NO. 3012
STATE OF WISCONSIN

PRELIMINARY

3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
EMAIL: SURVEY@BLEWINC.COM
OFFICE: 479.443.4506 FAX: 479.582.1883
WWW.BLEWINC.COM

DATE	REVISION HISTORY	BY
07/01/2024	ADDITIONAL TITLE COMMITMENT	DMS

SURVEYOR JOB NUMBER: 23-7330	SURVEY DRAWN BY: K.J.D. - 05/03/2024
SURVEY REVIEWED BY: J.M.C.	SHEET: 1 OF 3

TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME PROPERTY AS DESCRIBED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT ORDER NUMBER: W-4011116E, WITH A COMMITMENT DATE OF APRIL 17, 2024 AT 12:00 A.M.

SCHEDULE A DESCRIPTION

UNIT 2, MORMON COULEE PLAZA CONDOMINIUM, BEING A CONDOMINIUM UNDER THE CONDOMINIUM OWNERSHIP ACT OF THE STATE OF WISCONSIN BY A CONDOMINIUM DECLARATION DATED MARCH 21, 2012, AND RECORDED MARCH 27, 2012, IN THE OFFICE OF THE REGISTER OF DEEDS FOR LA CROSSE COUNTY, WISCONSIN, AS DOCUMENT NO. 1593560, AND BY A CONDOMINIUM PLAT THEREFORE.

TOGETHER WITH ALL APPURTENANT RIGHTS, TITLE AND INTERESTS, INCLUDING (WITHOUT LIMITATION):
(A) THE UNDIVIDED PERCENTAGE INTEREST IN ALL COMMON ELEMENTS AS SPECIFIED FOR SUCH UNIT IN THE AFOREMENTIONED DECLARATION;
(B) THE RIGHT TO USE THE AREAS AND/OR FACILITIES, IF ANY, SPECIFIED IN THE AFOREMENTIONED DECLARATION AS LIMITED COMMON ELEMENTS FOR SUCH UNIT; AND
(C) MEMBERSHIP IN THE MORMON COULEE PLAZA CONDOMINIUM ASSOCIATION, INC. (HEREAFTER THE "OWNERS ASSOCIATION"), AS PROVIDED FOR IN THE AFOREMENTIONED DECLARATION AND IN ANY ARTICLES OF INCORPORATION AND/OR BYLAWS FOR SUCH OWNER'S ASSOCIATION, IN THE CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

TAX KEY NO. 17-40381-120

ADDRESS: 3960 MORMON COULEE ROAD LA CROSSE, WI 54601

NOTES CORRESPONDING TO SCHEDULE B

- EASEMENT TO THE CITY OF LA CROSSE RECORDED AUGUST 12, 1976, IN VOLUME 578, PAGE 506, AS DOCUMENT NO. 860334 (DOES NOT AFFECT, APPEARS TO FALL SOUTH OF THE SUBJECT PROPERTY)
- EASEMENT DEED TO THE CITY OF LA CROSSE RECORDED OCTOBER 17, 1978, IN VOLUME 618, PAGE 656, AS DOCUMENT NO. 889231 (DOES NOT AFFECT, APPEARS TO FALL EAST OF THE SUBJECT PROPERTY)
- ALL MATTERS AS MAY AFFECT THE CAPTIONED PREMISES AS SHOWN ON THE RECORDED PLAT OF SEMINARY PARK PLAT RECORDED OCTOBER 6, 1978, AS DOCUMENT NO. 889885 (AFFECTS, PLOTTED AS SHOWN)
- AGREEMENT FOR UTILITY AND DRIVEWAY EASEMENTS RECORDED SEPTEMBER 7, 1979, IN VOLUME 633, PAGE 960, AS DOCUMENT NO. 900253 (DOES NOT AFFECT, PLOTTED AS SHOWN)
- TERMS, CONDITIONS AND PROVISIONS OF EASEMENTS CONTAINED IN WARRANTY DEED RECORDED SEPTEMBER 7, 1979, IN VOLUME 633, PAGE 970, AS DOCUMENT NO. 900255 (AFFECTS, PLOTTED AS SHOWN)
- EASEMENT CONTAINED IN AWARD OF DAMAGES RECORDED JULY 18, 1991, IN VOLUME 899, PAGE 361, AS DOCUMENT NO. 1054063 (AFFECTS, PLOTTED AS SHOWN)
- TERMS, CONDITIONS, PROVISIONS AND MAINTENANCE FEES, IF ANY, CONTAINED IN SPECIAL WARRANTY DEED RECORDED MAY 26, 1994, IN VOLUME 1049, PAGE 528, AS DOCUMENT NO. 1116985 (AFFECTS, CONTAINS NO PLOTTABLE EASEMENT ITEMS)
- RESERVATIONS, CONDITIONS, EASEMENTS, COVENANTS, USES, OPTIONS, AGREEMENTS, LIMITATIONS ON TITLE AND ALL OTHER PROVISIONS CONTAINED IN OR INCORPORATED BY REFERENCE TO THAT CERTAIN DECLARATION OF CONDOMINIUM OF MORMON COULEE PLAZA CONDOMINIUM AND EXHIBITS THERETO, DATED MARCH 21, 2012 AND RECORDED MARCH 27, 2012 IN THE OFFICE OF THE REGISTER OF DEEDS FOR LA CROSSE COUNTY, WISCONSIN AS DOCUMENT NUMBER 1593560, AND BY LAWS OF THE CONDOMINIUM HOMEOWNERS ASSOCIATION, PROVISIONS AND LIMITATIONS OF THE UNIT OWNERSHIP ACT OF THE STATE OF WISCONSIN, (AFFECTS, PLOTTED AS SHOWN)
- DECLARATION OF RECIPROCAL EASEMENT AGREEMENT RECORDED MARCH 27, 2012 AS DOCUMENT NO. 1593561; MODIFIED BY AMENDED DECLARATION OF RECIPROCAL EASEMENT AGREEMENT RECORDED APRIL 23, 2013, AS DOCUMENT NO. 1620054; MODIFIED BY FIRST AMENDMENT TO AMENDED DECLARATION OF RECIPROCAL EASEMENT AGREEMENT RECORDED OCTOBER 15, 2019 AS DOCUMENT NO. 1734366 (AFFECTS, BLANKET IN NATURE, AS SHOWN HEREON)
- ALL MATTERS AS MAY AFFECT THE CAPTIONED PREMISES AS SHOWN ON THE RECORDED PLAT OF MORMON COULEE PLAZA CONDOMINIUM RECORDED MARCH 27, 2012, AS DOCUMENT NO. 1593562 (AFFECTS, PLOTTED AS SHOWN)

REFERENCE DOCUMENTS

- CSM RECORDED AS VOL. 7, PAGE 6.
- CSM RECORDED AS VOL. 15, PAGE 130.

SIGNIFICANT OBSERVATIONS

NONE OBSERVED AT THE TIME OF THE ALTA/NSPS SURVEY.

UTILITY INFORMATION

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS, UTILITY MAP DRAWINGS, PRIVATE UTILITY LOCATE (PUL) BY BLEW & ASSOCIATES AND ONE-CALL UTILITY LOCATE REQUEST. BLEW & ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION. CALL WISCONSIN ONE-CALL AT 800-242-8511 OR 811 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES BEFORE DIGGING.
DIG TICKET NUMBER: 20234403725; 20234403767; 20234403831

COMPANY: BRIGHTSPEED CITY OF LA CROSSE CITY OF LA CROSSE - ELECTRIC & FIBER DAIRYLAND POWER COOPERATIVE CHARTER COMMUNICATIONS XCEL ENERGY, INC.	CONTACT: (833) 363-2360 (608) 789-7384 (608) 386-5104 (715) 845-3004 (262) 446-9821 (800) 895-4999
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TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME PROPERTY AS DESCRIBED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT ORDER NUMBER: W-4011116E, WITH A PRINT DATE OF JUNE 11, 2024 AT 1:40 P.M.

SCHEDULE A DESCRIPTION

PARCEL 1:
LOT 1 OF CELTAX-LA CROSSE ADDITION, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN, EXCEPT LOT 1 CERTIFIED SURVEY MAP RECORDED ON MAY 1, 2013, IN VOLUME 15 OF CERTIFIED SURVEY MAPS, PAGE 130, AS DOCUMENT NO. 1620535.

PARCEL 2:
LOT 1 CERTIFIED SURVEY MAP RECORDED ON MAY 1, 2013, IN VOLUME 15 OF CERTIFIED SURVEY MAPS, PAGE 130, AS DOCUMENT NO. 1620535, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

NOTES CORRESPONDING TO SCHEDULE B

- EASEMENT TO THE CITY OF LA CROSSE RECORDED AUGUST 12, 1976, IN VOLUME 578, PAGE 506, AS DOCUMENT NO. 860334 (DOES NOT AFFECT, APPEARS TO FALL SOUTH OF THE SUBJECT PROPERTY)
- EASEMENT DEED TO THE CITY OF LA CROSSE RECORDED OCTOBER 17, 1978, IN VOLUME 618, PAGE 656, AS DOCUMENT NO. 889231 (DOES NOT AFFECT, APPEARS TO FALL EAST OF THE SUBJECT PROPERTY)
- COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED ON THE RECORDED PLAT OF SEMINARY PARK PLAT RECORDED OCTOBER 6, 1978, AS DOCUMENT NO. 889885 STATING: NO OWNER OR POSSESSOR, USER OR LICENSEE, OR OTHER PERSON SHALL HAVE ANY RIGHT OF DIRECT VEHICULAR INGRESS OR EGRESS WITH HIGHWAYS 14-61 AND 35 AS SHOWN ON THE PLAT. ALL ENTRANCES AND EXITS ON BOTH LOSEY BOULEVARD AND BIRCH STREET WILL BE LOCATED AT LEAST 300 FEET FROM THE CENTERLINE OF HIGHWAYS 14-61 AND 35. (AFFECTS, PLOTTED AS SHOWN)
- RESERVATION FOR EASEMENT AS DESIGNATED ON THE RECORDED PLAT OF SEMINARY PARK PLAT RECORDED OCTOBER 6, 1978, AS DOCUMENT NO. 889885, RESERVING THE SOUTHEASTERLY 10 FEET, SOUTHWESTERLY 10 FEET, NORTHWESTERLY 10 FEET AND THE NORTHEASTERLY 12 FEET OF THE PREMISES. (AFFECTS, PLOTTED AS SHOWN)
- AGREEMENT FOR UTILITY AND DRIVEWAY EASEMENTS RECORDED SEPTEMBER 7, 1979, IN VOLUME 633, PAGE 960, AS DOCUMENT NO. 900253 (AFFECTS, PLOTTED AS SHOWN)
- TERMS, CONDITIONS AND PROVISIONS OF EASEMENTS CONTAINED IN WARRANTY DEED RECORDED SEPTEMBER 7, 1979, IN VOLUME 633, PAGE 970, AS DOCUMENT NO. 900255 (AFFECTS, PLOTTED AS SHOWN)
- RESERVATION FOR UTILITY, DRIVEWAY AND STORM SEWER EASEMENTS AND BUILDING SETBACKS AS DESIGNATED ON THE RECORDED PLAT OF CELTAX-LA CROSSE ADDITION RECORDED OCTOBER 10, 1980, AS DOCUMENT NO. 911706 (AFFECTS, PLOTTED AS SHOWN)
- EASEMENT CONTAINED IN AWARD OF DAMAGES RECORDED JULY 18, 1991, IN VOLUME 899, PAGE 361, AS DOCUMENT NO. 1054063 (DOES NOT AFFECT, APPEARS TO LIE NORTHERLY OF THE SUBJECT PROPERTY)
- TERMS, CONDITIONS, PROVISIONS, AND MAINTENANCE FEES, IF ANY, CONTAINED IN SPECIAL WARRANTY DEED RECORDED MAY 26, 1994, IN VOLUME 1049, PAGE 528, AS DOCUMENT NO. 1116985 (AFFECTS, CONTAINS NO PLOTTABLE EASEMENT ITEMS)
- EASEMENT GRANTED TO CITY OF LA CROSSE RECORDED DECEMBER 6, 1999, IN VOLUME 1355, PAGE 565, AS DOCUMENT NO. 1242187 (AFFECTS, PLOTTED AS SHOWN)
- DECLARATION OF RECIPROCAL EASEMENT AGREEMENT RECORDED MARCH 27, 2012, AS DOCUMENT NO. 1593561; MODIFIED BY AMENDED DECLARATION OF RECIPROCAL EASEMENT AGREEMENT RECORDED APRIL 23, 2013, AS DOCUMENT NO. 1620054; MODIFIED BY FIRST AMENDMENT TO AMENDED DECLARATION OF RECIPROCAL EASEMENT AGREEMENT RECORDED OCTOBER 15, 2019, AS DOCUMENT NO. 1734366 (AFFECTS, BLANKET IN NATURE, AS SHOWN HEREON)
- RESTRICTIVE ACCESS, 20 FOOT PLATTED STORM SEWER EASEMENT, 12 FOOT PLATTED UTILITY EASEMENT AND BUILDING SETBACK LINE PER CELTAX-LA CROSSE ADDITION AND NOTE AS SET FORTH ON CERTIFIED SURVEY MAP NO. 130 RECORDED MAY 1, 2013, IN VOLUME 15 OF CERTIFIED SURVEY MAPS AT PAGE 130, AS DOCUMENT NO. 1620535 (AFFECTS, PLOTTED AS SHOWN)

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 55063C0263D, WHICH BEARS AN EFFECTIVE DATE OF 01/6/2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS GRID NORTH BASED ON THE SOUTHEASTERN RIGHT-OF-WAY LINE OF LOSEY BOULEVARD. THE BEARING IS DENOTED AS N54°15'12"E PER GPS COORDINATE OBSERVATIONS WISCONSIN STATE PLANE, SOUTH ZONE NAD83.
LATITUDE = 43°46'29.340"
LONGITUDE = 91°13'12.5557"
CONVERGENCE ANGLE = -00°50'18.14"

SITE INFORMATION

M/F: VSC CORPORATION
3960 MORMON COULEE ROAD
LA CROSSE, LA CROSSE COUNTY, WISCONSIN 54601
PROPOSED PARCEL: 13,277 SQ.FEET, OR 0.305 ACRES ±

ORDER NUMBER: W-401111:
UNIT 2, MORMON COULEE PLAZA CONDOMINIUM WITHOUT PROPOSED PARCEL:
74,507 SQ.FEET, OR 1.710 ACRES ±

ORDER NUMBER: W-401111AE:
PARCEL 1:
94,181 SQ.FEET, OR 2.162 ACRES ±

ORDER NUMBER: W-401111AE:
PARCEL 2:
15,465 SQ.FEET, OR 0.355 ACRES ±

TOTAL AREA: 197,430 SQ.FEET, OR 4.532 ACRES ±
APR#: 17-40381-120, 17-50410-010 & 17-50410-025

ZONING INFORMATION (PROPOSED PARCEL)

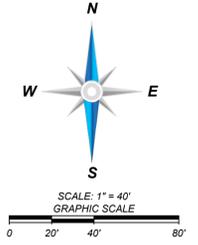
PROPERTY IS CURRENTLY ZONED: AWAITING ZONING REPORT		
ITEM	REQUIRED	OBSERVED
PERMITTED USE		RETAIL
MIN. SETBACKS FRONT		N/A
MIN. SETBACKS SIDE		N/A
MIN. SETBACKS REAR		N/A
MAX. BUILDING HEIGHT		N/A
MIN. LOT AREA		N/A
MIN. LOT WIDTH		N/A
MAX. BLDG COVERAGE		N/A
PARKING REGULAR		N/A
PARKING HANDICAP		N/A
PARKING TOTAL		N/A
PARKING INFORMATION:		

ALTA/NSPS LAND TITLE LIMITED TOPOGRAPHIC SURVEY

3960, 4000, 4049, 4020 MORMON COULEE ROAD
LOCATED IN: SECTION 16, TOWNSHIP 15 NORTH, RANGE 7 WEST
LA CROSSE, LA CROSSE COUNTY, WISCONSIN 54601

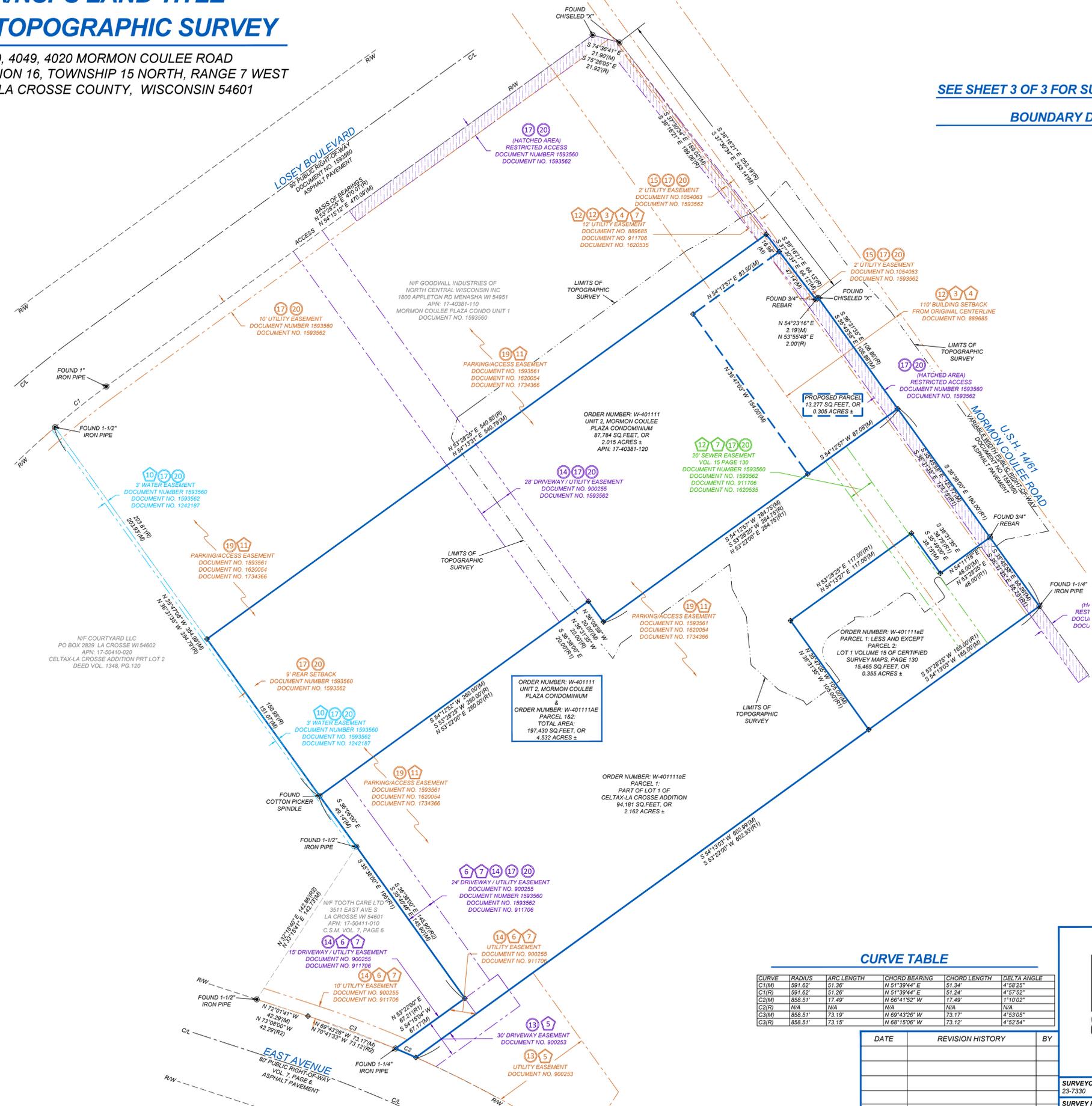
SEE SHEET 3 OF 3 FOR SURVEY DEPICTION

BOUNDARY DETAIL



LEGEND
SYMBOLS & ABBREVIATIONS

⊙	FOUND MONUMENT AS-NOTED
⊕	COMPUTED POINT
⊕	TEMPORARY BENCHMARK (TBM)
⊕	HANDICAP PARKING SPACE
⊕	UNKNOWN MANHOLE (UMH)
⊕	SANITARY SEWER MANHOLE (SMH)
⊕	CURB INLET (CI)
⊕	GRAATED INLET ROUND (GI)
⊕	ELECTRICAL VAULT
⊕	UTILITY VAULT
⊕	ELECTRICAL METER
⊕	ELECTRICAL CABINET
⊕	GUY ANCHOR
⊕	LIGHT POLE
⊕	FIRE HYDRANT
⊕	WATER VALVE
⊕	GAS VALVE
⊕	SIGN
⊕	BOLLARD
(M)	MEASURED/CALCULATED DIMENSION
(R)	RECORD DIMENSION PER ORDER NUMBER: W-401111
(R1)	RECORD DIMENSION PER ORDER NUMBER: W-401111AE
(R2)	RECORD DIMENSION PER C.S.M. VOL. 7, PAGE 6
PS	PARKING SPACE(S)
R/W	RIGHT-OF-WAY
N/F	NOW OR FORMERLY
B.H.L.	BUILDING HEIGHT LOCATION
F.F.E.	FINISHED FLOOR ELEVATION
SQ.FT.	SQUARE FEET
BOC	BACK OF CURB
FL	FLOW LINE
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
EC	EDGE OF CONCRETE
NG	NATURAL GROUND
CR	CROWN OF ROAD
RCP	REINFORCED CONCRETE PIPE
---	PROPERTY LINE
---	PROPOSED PARCEL
---	RIGHT-OF-WAY
---	OVERHEAD POWER LINE
---	UNDERGROUND ELECTRICAL LINE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND STORM SEWER LINE
---	UNDERGROUND SANITARY SEWER LINE
---	UNDERGROUND GAS LINE
---	UNDERGROUND WATER LINE
---	LIMITS OF TOPOGRAPHIC AREA
---	MAJOR CONTOUR
---	MINOR CONTOUR



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1(M)	591.62'	51.36'	N 51°39'44" E	51.34'	4°58'25"
C1(R)	591.62'	51.26'	N 51°39'44" E	51.24'	4°57'52"
C2(M)	858.51'	17.49'	N 69°43'26" W	17.49'	1°17'02"
C2(R)	N/A	N/A	N/A	N/A	N/A
C3(M)	858.51'	73.15'	N 69°43'26" W	73.17'	4°53'05"
C3(R)	858.51'	73.15'	N 68°15'06" W	73.12'	4°52'54"

DATE	REVISION HISTORY	BY

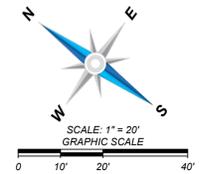
BLEW & ASSOCIATES, P.A.

3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
 EMAIL: SURVEY@BLEWINC.COM
 OFFICE: 479.443.4506 FAX: 479.582.1883
 WWW.BLEWINC.COM

SURVEYOR JOB NUMBER: 23-7330	SURVEY DRAWN BY: K.J.D. - 05/03/2024
SURVEY REVIEWED BY: J.M.C.	SHEET: 2 OF 3

ALTA/NSPS LAND TITLE LIMITED TOPOGRAPHIC SURVEY

3960, 4000, 4049, 4020 MORMON COULEE ROAD
LOCATED IN: SECTION 16, TOWNSHIP 15 NORTH, RANGE 7 WEST
LA CROSSE, LA CROSSE COUNTY, WISCONSIN 54601

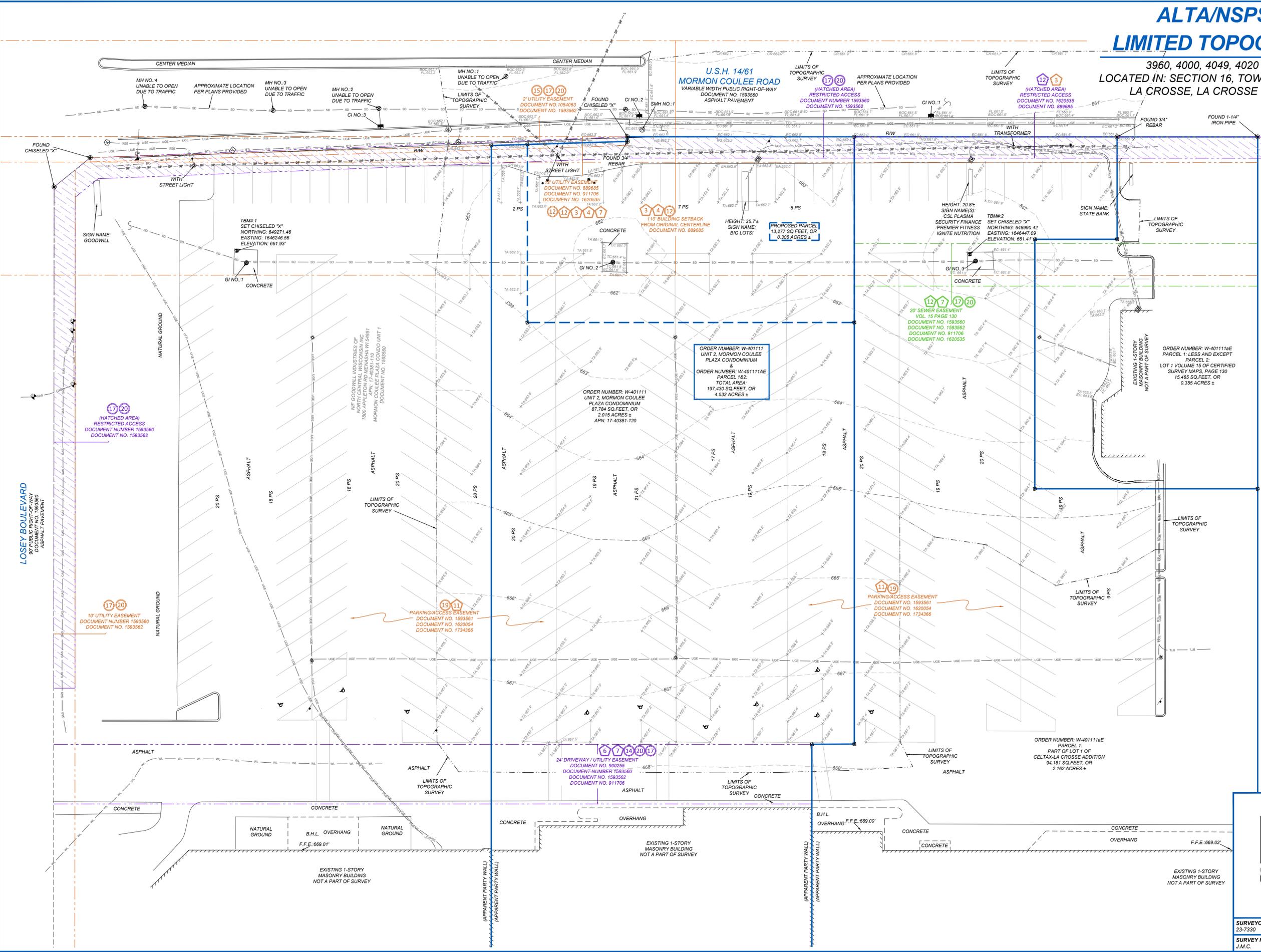


LEGEND SYMBOLS & ABBREVIATIONS

- FOUND MONUMENT AS-NOTED
- COMPUTED POINT
- ⊕ TEMPORARY BENCHMARK (TBM)
- ⊕ HANDICAP PARKING SPACE
- ⊕ UNKNOWN MANHOLE (MH)
- ⊕ SANITARY SEWER MANHOLE (SMH)
- ⊕ CURB INLET (CI)
- ⊕ GRATED INLET ROUND (GI)
- ⊕ ELECTRICAL VAULT
- ⊕ UTILITY VAULT
- ⊕ ELECTRICAL METER
- ⊕ ELECTRICAL CABINET
- ⊕ GUY ANCHOR
- ⊕ LIGHT POLE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ SIGN
- ⊕ BOLLARD
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION PER ORDER NUMBER: W-401111
- (R1) RECORD DIMENSION PER ORDER NUMBER: W-401111A-E
- (R2) RECORD DIMENSION PER C.S.M. VOL. 7, PAGE 6
- PS PARKING SPACE(S)
- RW RIGHT-OF-WAY
- N/F NOW OR FORMERLY
- B.H.L. BUILDING HEIGHT LOCATION
- F.F.E. FINISHED FLOOR ELEVATION
- SQ.FT. SQUARE FEET
- BOC. BACK OF CURB
- FL. FLOW LINE
- TA. TOP OF ASPHALT
- TC. TOP OF CONCRETE
- EC. EDGE OF CONCRETE
- NG. NATURAL GROUND
- CR. CROWN OF ROAD
- RCP. REINFORCED CONCRETE PIPE
- — — — — PROPERTY LINE
- — — — — PROPOSED PARCEL
- — — — — RIGHT-OF-WAY
- — — — — OVERHEAD POWER LINE
- — — — — UNDERGROUND ELECTRICAL LINE
- — — — — UNDERGROUND TELEPHONE LINE
- — — — — UNDERGROUND STORM SEWER LINE
- — — — — UNDERGROUND SANITARY SEWER LINE
- — — — — UNDERGROUND GAS LINE
- — — — — UNDERGROUND WATER LINE
- — — — — LIMITS OF TOPOGRAPHIC AREA
- — — — — MAJOR CONTOUR
- — — — — MINOR CONTOUR

INVERT INFORMATION

CI NO. 1 RIM ELEVATION: 661.10' INVERT SE (12" RCP): 657.9'	GI NO. 1 RIM ELEVATION: 661.56' INVERT SE (18" RCP): 655.9' INVERT NW (18" RCP): 655.8'
CI NO. 2 RIM ELEVATION: 661.37' INVERT N (12" RCP): 658.1'	GI NO. 2 RIM ELEVATION: 661.47' INVERT SE (18" RCP): 656.3' INVERT NW (18" RCP): 656.1'
CI NO. 3 RIM ELEVATION: 661.74' INVERT NE (12" RCP): 658.6'	GI NO. 3 RIM ELEVATION: 661.30' INVERT SE (18" RCP): 656.6' INVERT NW (18" RCP): 656.5'
SMH NO. 1 RIM ELEVATION: 662.11' INVERT SE (10" RCP): 655.9'	



BLEW & ASSOCIATES, P.A.
Surveying
Engineering
Mapping

3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
EMAIL: SURVEY@BLEWINC.COM
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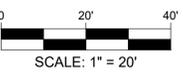
SURVEYOR JOB NUMBER: 23-7330	SURVEY DRAWN BY: K.J.D. - 05/03/2024
SURVEY REVIEWED BY: J.M.C.	SHEET: 3 OF 3

TOPOGRAPHIC SURVEY

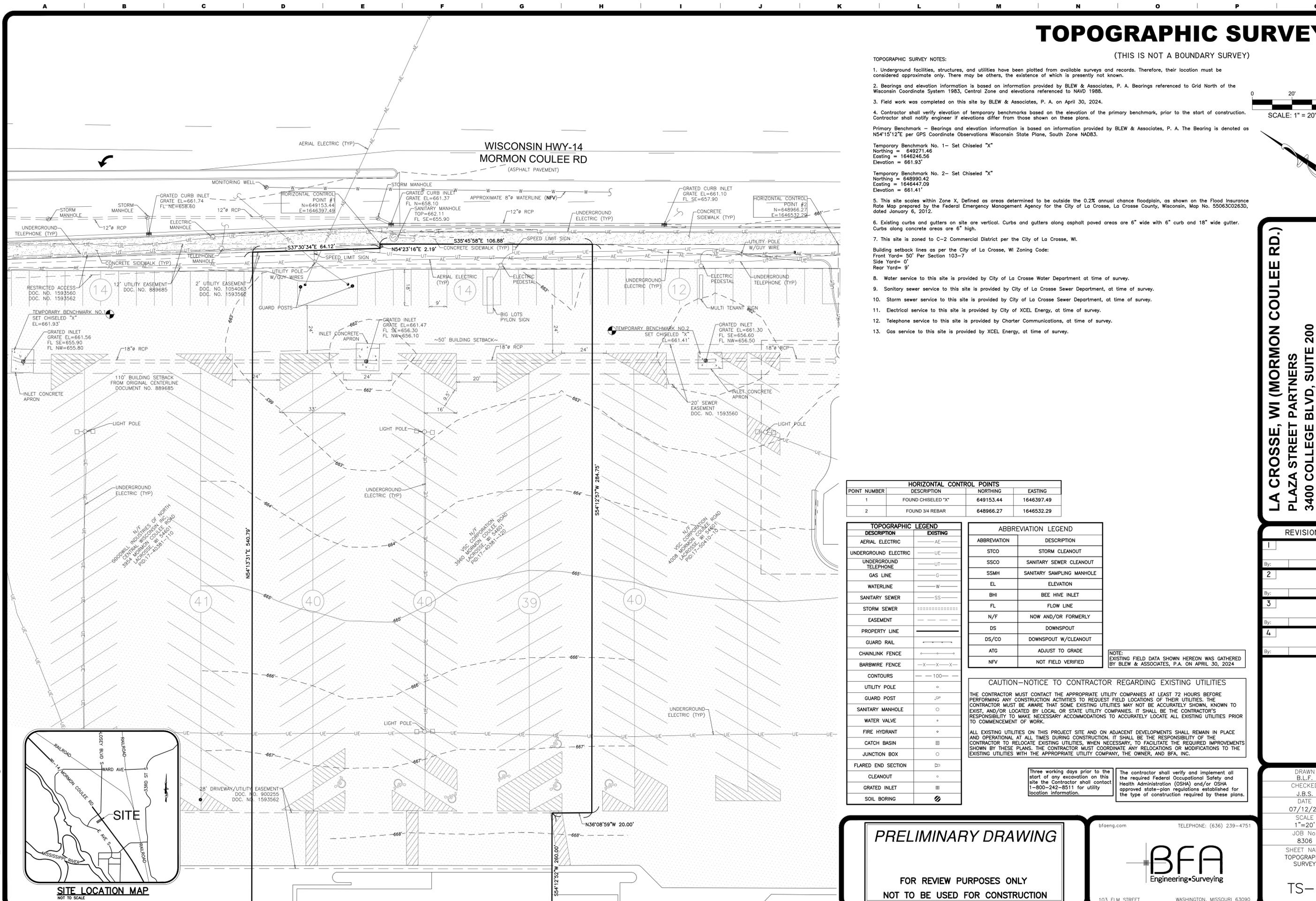
(THIS IS NOT A BOUNDARY SURVEY)

TOPOGRAPHIC SURVEY NOTES:

- Underground facilities, structures, and utilities have been plotted from available surveys and records. Therefore, their location must be considered approximate only. There may be others, the existence of which is presently not known.
 - Bearings and elevation information is based on information provided by BLEW & Associates, P. A. Bearings referenced to Grid North of the Wisconsin Coordinate System 1983, Central Zone and elevations referenced to NAVD 1988.
 - Field work was completed on this site by BLEW & Associates, P. A. on April 30, 2024.
 - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Bearings and elevation information is based on information provided by BLEW & Associates, P. A. The Bearing is denoted as N54°15'12"E per GPS Coordinate Observations Wisconsin State Plane, South Zone NAD83.
- Temporary Benchmark No. 1 - Set Chiseled "X"
 Northing = 649271.46
 Easting = 1646246.56
 Elevation = 661.93'
- Temporary Benchmark No. 2 - Set Chiseled "X"
 Northing = 648990.42
 Easting = 1646447.09
 Elevation = 661.41'
- This site scales within Zone X, Defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of La Crosse, La Crosse County, Wisconsin, Map No. 55063C0263D, dated January 6, 2012.
 - Existing curbs and gutters on site are vertical. Curbs and gutters along asphalt paved areas are 6" wide with 6" curb and 18" wide gutter. Curbs along concrete areas are 6" high.
 - This site is zoned to C-2 Commercial District per the City of La Crosse, WI.
- Building setback lines as per the City of La Crosse, WI Zoning Code:
 Front Yard= 50' Per Section 103-7
 Side Yard= 0'
 Rear Yard= 9'
- Water service to this site is provided by City of La Crosse Water Department at time of survey.
 - Sanitary sewer service to this site is provided by City of La Crosse Sewer Department, at time of survey.
 - Storm sewer service to this site is provided by City of La Crosse Sewer Department, at time of survey.
 - Electrical service to this site is provided by City of XCEL Energy, at time of survey.
 - Telephone service to this site is provided by Charter Communications, at time of survey.
 - Gas service to this site is provided by XCEL Energy, at time of survey.



WISCONSIN HWY-14
MORMON COULEE RD
 (ASPHALT PAVEMENT)



HORIZONTAL CONTROL POINTS			
POINT NUMBER	DESCRIPTION	NORTHING	EASTING
1	FOUND CHISELED "X"	649153.44	1646397.49
2	FOUND 3/4 REBAR	648966.27	1646532.29

TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	—AE—
UNDERGROUND ELECTRIC	—UE—
UNDERGROUND TELEPHONE	—UT—
GAS LINE	—G—
WATERLINE	—W—
SANITARY SEWER	—SS—
STORM SEWER	=====
EASEMENT	-----
PROPERTY LINE	=====
GUARD RAIL	—GR—
CHAINLINK FENCE	—CL—
BARB WIRE FENCE	—XB—
CONTOURS	—100—
UTILITY POLE	—UP—
GUARD POST	—GP—
SANITARY MANHOLE	—SM—
WATER VALVE	—WV—
FIRE HYDRANT	—FH—
CATCH BASIN	—CB—
JUNCTION BOX	—JB—
FLARED END SECTION	—FES—
CLEANOUT	—CO—
GRATED INLET	—GI—
SOIL BORING	—SB—

ABBREVIATION LEGEND	
ABBREVIATION	DESCRIPTION
STCO	STORM CLEANOUT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SAMPLING MANHOLE
EL	ELEVATION
BHI	BEE HIVE INLET
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
DS/CO	DOWNSPOUT W/CLEANOUT
ATG	ADJUST TO GRADE
NFV	NOT FIELD VERIFIED

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024

CAUTION—NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES MAY NOT BE ACCURATELY SHOWN, KNOWN TO EXIST, AND/OR LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

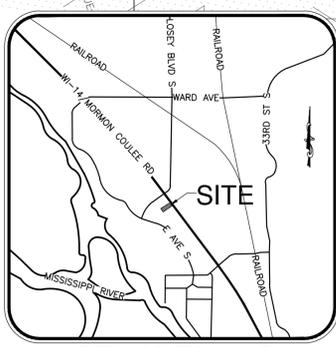
ALL EXISTING UTILITIES ON THIS PROJECT SITE AND ON ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES, WHEN NECESSARY, TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE OWNER, AND BFA, INC.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____



PRELIMINARY DRAWING

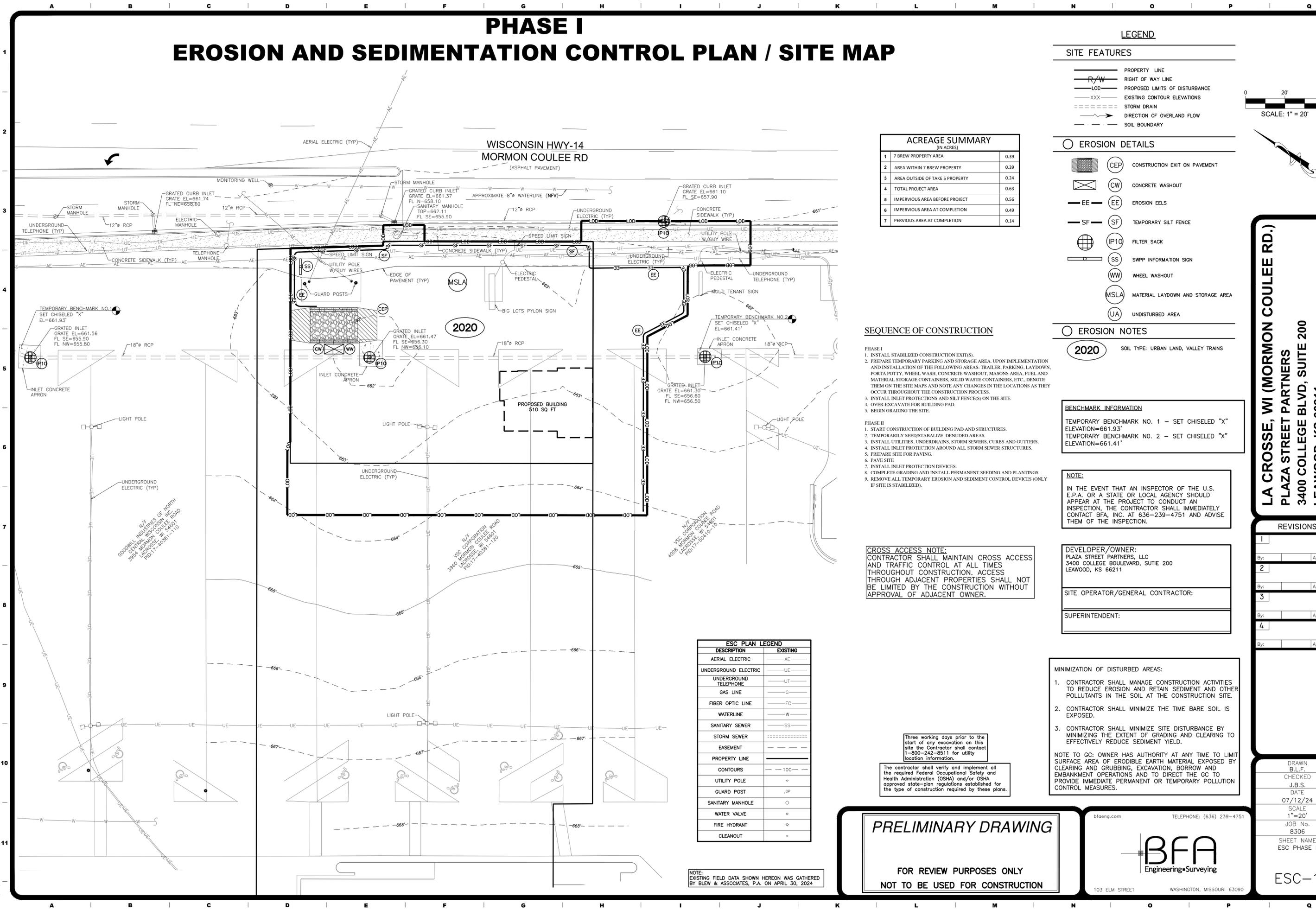
FOR REVIEW PURPOSES ONLY
 NOT TO BE USED FOR CONSTRUCTION

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

DRAWN
 B.L.F.
 CHECKED
 J.B.S.
 DATE
 07/12/24
 SCALE
 1"=20'
 JOB No.
 8306
 SHEET NAME
 TOPOGRAPHIC
 SURVEY
 TS-1

PHASE I EROSION AND SEDIMENTATION CONTROL PLAN / SITE MAP



ACREAGE SUMMARY (IN ACRES)		
1	7 BREW PROPERTY AREA	0.39
2	AREA WITHIN 7 BREW PROPERTY	0.39
3	AREA OUTSIDE OF TAKE 5 PROPERTY	0.24
4	TOTAL PROJECT AREA	0.63
5	IMPERVIOUS AREA BEFORE PROJECT	0.56
6	IMPERVIOUS AREA AT COMPLETION	0.49
7	PERVIOUS AREA AT COMPLETION	0.14

SEQUENCE OF CONSTRUCTION

- PHASE I**
1. INSTALL STABILIZED CONSTRUCTION EXITS(S).
 2. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASONS AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
 3. INSTALL INLET PROTECTIONS AND SILT FENCE(S) ON THE SITE.
 4. OVER-EXCAVATE FOR BUILDING PAD.
 5. BEGIN GRADING THE SITE.
- PHASE II**
1. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 2. TEMPORARILY SEED/STABILIZE DENUDED AREAS.
 3. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 5. PREPARE SITE FOR PAVING.
 6. PAVE SITE.
 7. INSTALL INLET PROTECTION DEVICES.
 8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
 9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

CROSS ACCESS NOTE:
CONTRACTOR SHALL MAINTAIN CROSS ACCESS AND TRAFFIC CONTROL AT ALL TIMES THROUGHOUT CONSTRUCTION. ACCESS THROUGH ADJACENT PROPERTIES SHALL NOT BE LIMITED BY THE CONSTRUCTION WITHOUT APPROVAL OF ADJACENT OWNER.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

ESC PLAN LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	AE
UNDERGROUND ELECTRIC	UE
UNDERGROUND TELEPHONE	UT
GAS LINE	G
FIBER OPTIC LINE	FO
WATERLINE	W
SANITARY SEWER	SS
STORM SEWER	SS
EASEMENT	---
PROPERTY LINE	---
CONTOURS	--- 100 ---
UTILITY POLE	o
GUARD POST	oP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CLEANOUT	o

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024

LEGEND

SITE FEATURES

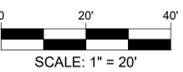
- PROPERTY LINE
- RIGHT OF WAY LINE
- PROPOSED LIMITS OF DISTURBANCE
- EXISTING CONTOUR ELEVATIONS
- STORM DRAIN
- DIRECTION OF OVERLAND FLOW
- SOIL BOUNDARY

EROSION DETAILS

- CEP CONSTRUCTION EXIT ON PAVEMENT
- CW CONCRETE WASHOUT
- EE EROSION EELS
- SF TEMPORARY SILT FENCE
- IP10 FILTER SACK
- SS SWPP INFORMATION SIGN
- WW WHEEL WASHOUT
- MSLA MATERIAL LAYDOWN AND STORAGE AREA
- UA UNDISTURBED AREA

EROSION NOTES

2020 SOIL TYPE: URBAN LAND, VALLEY TRAINS



BENCHMARK INFORMATION

TEMPORARY BENCHMARK NO. 1 - SET CHISELED "X"	ELEVATION=661.93'
TEMPORARY BENCHMARK NO. 2 - SET CHISELED "X"	ELEVATION=661.41'

NOTE:
IN THE EVENT THAT AN INSPECTOR OF THE U.S. E.P.A. OR A STATE OR LOCAL AGENCY SHOULD APPEAR AT THE PROJECT TO CONDUCT AN INSPECTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT BFA, INC. AT 636-239-4751 AND ADVISE THEM OF THE INSPECTION.

DEVELOPER/OWNER:
PLAZA STREET PARTNERS, LLC
3400 COLLEGE BOULEVARD, SUITE 200
LEAWOOD, KS 66211

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

- MINIMIZATION OF DISTURBED AREAS:**
1. CONTRACTOR SHALL MANAGE CONSTRUCTION ACTIVITIES TO REDUCE EROSION AND RETAIN SEDIMENT AND OTHER POLLUTANTS IN THE SOIL AT THE CONSTRUCTION SITE.
 2. CONTRACTOR SHALL MINIMIZE THE TIME BARE SOIL IS EXPOSED.
 3. CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE BY MINIMIZING THE EXTENT OF GRADING AND CLEARING TO EFFECTIVELY REDUCE SEDIMENT YIELD.

NOTE TO GC: OWNER HAS AUTHORITY AT ANY TIME TO LIMIT SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND EMBANKMENT OPERATIONS AND TO DIRECT THE GC TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES.

PRELIMINARY DRAWING

FOR REVIEW PURPOSES ONLY
NOT TO BE USED FOR CONSTRUCTION

bfaeng.com TELEPHONE: (636) 239-4751

BFA

Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS

No.	By:	App:
1		
2		
3		
4		

DRAWN
B.L.F.
CHECKED
J.B.S.
DATE
07/12/24
SCALE
1"=20'
JOB No.
8306
SHEET NAME
ESC PHASE I

ESC-1

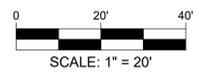
F:\Vault\8306-La Crosse WI Mormon Coulee 7Brew\8306 Plan Sheets\8306 ESC Phase I.dwg 7/12/2024 10:09 AM

PHASE II EROSION AND SEDIMENTATION CONTROL PLAN / SITE MAP

LEGEND

SITE FEATURES

- PROPERTY LINE
- RIGHT OF WAY LINE
- PROPOSED LIMITS OF DISTURBANCE
- EXISTING CONTOUR ELEVATIONS
- STORM DRAIN
- DIRECTION OF OVERLAND FLOW
- SOIL BOUNDARY



EROSION DETAILS

- CEP CONSTRUCTION EXIT ON PAVEMENT
- CW CONCRETE WASHOUT
- EE EROSION EELS
- SF TEMPORARY SILT FENCE
- IP10 FILTER SACK
- SS SWPP INFORMATION SIGN
- WW WHEEL WASHOUT
- MSLA MATERIAL LAYDOWN AND STORAGE AREA
- UA UNDISTURBED AREA

EROSION NOTES

- PS PERMANENT SOD

BENCHMARK INFORMATION

TEMPORARY BENCHMARK NO. 1 - SET CHISELED "X"
ELEVATION=661.93'
TEMPORARY BENCHMARK NO. 2 - SET CHISELED "X"
ELEVATION=661.41'

NOTE:

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3400 COLLEGE BOULEVARD, SUITE 200
LEAWOOD, KS 66211

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

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- CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE BY MINIMIZING THE EXTENT OF GRADING AND CLEARING TO EFFECTIVELY REDUCE SEDIMENT YIELD.

NOTE TO GC: OWNER HAS AUTHORITY AT ANY TIME TO LIMIT SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND EMBANKMENT OPERATIONS AND TO DIRECT THE GC TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES.

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS

NO.	DATE	BY	APP.
1			
2			
3			
4			

DRAWN
 B.L.F.
 CHECKED
 J.B.S.
 DATE
 07/12/24
 SCALE
 1"=20'
 JOB No.
 8306
 SHEET NAME
 ESC PHASE II

ESC-2

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SEQUENCE OF CONSTRUCTION

- PHASE I**
- INSTALL STABILIZED CONSTRUCTION EXITS(S).
 - PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASONS AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
 - INSTALL INLET PROTECTIONS AND SILT FENCE(S) ON THE SITE.
 - OVER-EXCAVATE FOR BUILDING PAD.
 - BEGIN GRADING THE SITE.

- PHASE II**
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED/STABILIZE DENUDEED AREAS.
 - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 - INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - INSTALL INLET PROTECTION DEVICES.
 - COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

CROSS ACCESS NOTE:
CONTRACTOR SHALL MAINTAIN CROSS ACCESS AND TRAFFIC CONTROL AT ALL TIMES THROUGHOUT CONSTRUCTION. ACCESS THROUGH ADJACENT PROPERTIES SHALL NOT BE LIMITED BY THE CONSTRUCTION WITHOUT APPROVAL OF ADJACENT OWNER.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

ESC PLAN LEGEND

DESCRIPTION	EXISTING
AERIAL ELECTRIC	AE
UNDERGROUND ELECTRIC	UE
UNDERGROUND TELEPHONE	UT
GAS LINE	G
FIBER OPTIC LINE	FO
WATERLINE	W
SANITARY SEWER	SS
STORM SEWER	-----
EASEMENT	-----
PROPERTY LINE	=====
CONTOURS	---100---
UTILITY POLE	o
GUARD POST	SP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CLEANOUT	o

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024

PRELIMINARY DRAWING

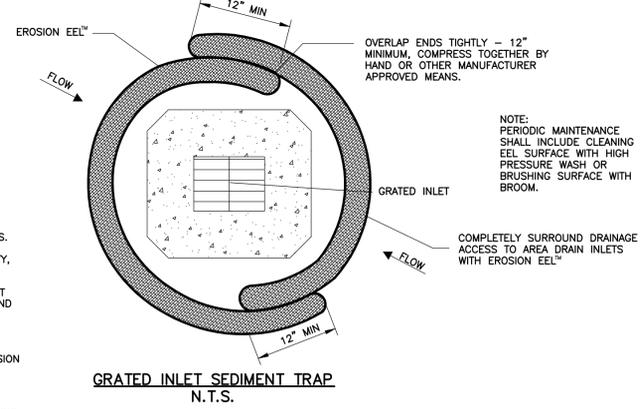
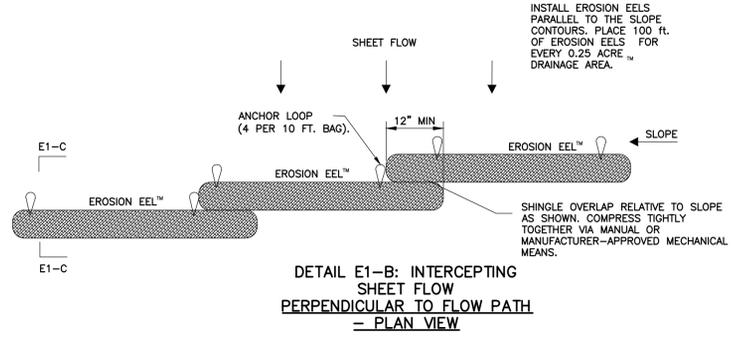
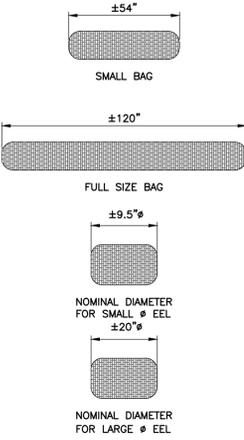
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SPACING RECOMMENDATIONS FOR THE EROSION EEL™ FOR PERIMETER CONTROLS AND INTERCEPTING SHEET FLOW ON SLOPES

SLOPE(%)	SINGLE EEL SPACING(ft)	* STACKED DUAL EEL SPACING(ft)
0.5	300	N/A
1	200	N/A
2	150	N/A
3	80	N/A
4	50	N/A
5	40	N/A
6	35	N/A
8	30	N/A
10	25	N/A
15	+17	N/A
20	+12	+25
25	N/A	+15
33	N/A	+10
50	N/A	+6

CONTACT INFORMATION

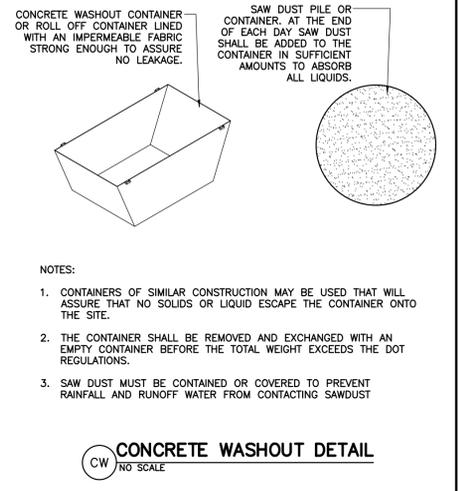
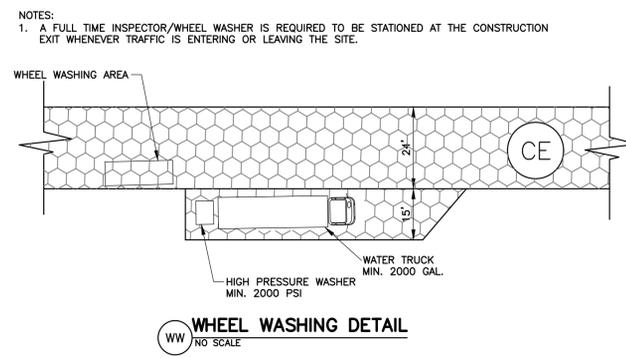
FRIENDLY ENVIRONMENT
100 PRINCE STREET
SHELBYVILLE, TN 37160
1-866-H2O-EELS
INFO@FRIENDLYENVIRONMENTUS.COM
<http://FRIENDLYENVIRONMENTUS.COM/INDEX.HTML>

* DUAL STACK REFERS TO TWO EELS STACKED ATOP ONE ANOTHER AND STABILIZED WITH T-POSTS.

+ PLACE STAKES BEHIND EELS @ 24" C/C SPACING.

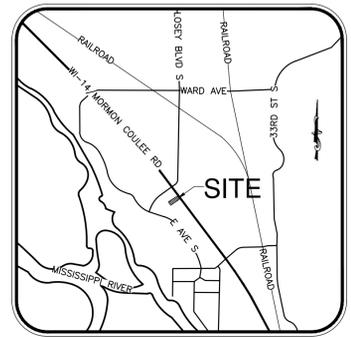
- GENERAL NOTES:**
- MIXTURE SPECIFICATION A FILTER MIXTURE COMPRISED OF 100% SHREDDED RUBBER. THE SHREDDED RUBBER SHALL BE WASHED AND PROCESSED TO REMOVE MOST, IF NOT ALL, METAL COMPONENTS. THE RUBBER SHALL BE DERIVED FROM RECYCLED TIRES AND SHALL BE SHREDDED TO PRODUCE A MAXIMUM PARTICLE SIZE OF +/- 2 INCH.
 - EROSION EELS SHALL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE GEOTEXTILE COVERING THE INTERIOR FILTER MATERIALS OF SHREDDED RUBBER.
 - LENGTHS OF EROSION EELS SHALL BE EITHER A NOMINAL +/-10 FT. OR +/- 4.5 FT. NOMINAL DIAMETER SHALL BE +/-9.5 INCHES.
 - EROSION EELS CAN BE PLACED AT THE TOP, ON THE FACE, OR AT THE TOE OF SLOPES TO INTERCEPT RUNOFF, REDUCE FLOW VELOCITY, RELEASE THE RUNOFF AS SHEET FLOW AND PROVIDE REMOVAL OF SEDIMENT FROM THE RUNOFF.
 - EROSION EELS SHALL BE INSTALLED ALONG THE GROUND CONTOUR, AT THE TOE OF SLOPES, AT AN ANGLE TO THE CONTOUR TO DIRECT FLOW AS A DIVERSION BERM, AROUND INLET STRUCTURES, IN A DITCH AS A CHECK DAM TO HELP REDUCE SUSPENDED SOLIDS LOADING AND RETAIN SEDIMENT, OR AS A GENERAL FILTER FOR ANY DISTURBED SOIL AREA.
 - NO TRENCHING IS REQUIRED FOR INSTALLATION OF EROSION EELS.
 - PREPARE BED FOR EEL INSTALLATION BY REMOVING ANY LARGE DEBRIS INCLUDING ROCKS, SOIL CLOUDS, AND WOODY VEGETATION. EROSION EELS CAN ALSO BE PLACED OVER PAVED SURFACES INCLUDING CONCRETE AND ASPHALT WITH NO SURFACE PREPARATION REQUIRED.
 - RAKE BED AREA WITH A HAND RAKE OR BY DRAG HARROW.
 - DO NOT PLACE EEL DIRECTLY OVER RILL AND GULLIES UNTIL AREA HAS BEEN HAND-EXCAVATED AND RAKED TO PROVIDE A LEVEL BEDDING SURFACE. ALL SURFACES SHALL BE UNIFORMLY COMPACTED FOR MAXIMUM SEATING OF EELS IN PLACE.
 - FOR LOCATIONS WHERE EELS WILL BE PLACED IN CONCENTRATED FLOWS (SUCH AS CHECK DAMS, INLET PROTECTION) AND FOR PERIMETER CONTROLS AT PRIMARY DISCHARGE LOCATIONS, BED THE EELS IN A FLOORMAT CRADLE.
 - FOR DITCH APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 10 ACRES.
 - IF MORE THAN ONE EROSION EEL IS PLACED IN A ROW, THE EELS SHALL BE OVERLAPPED A MINIMUM OF 12 INCHES TO PREVENT FLOW AND SEDIMENT FROM PASSING THROUGH THE FIELD JOINT. COMPRESS THE TWO EELS OF THE OVERLAP TIGHTLY TOGETHER EITHER BY HAND OR MANUFACTURER-APPROVED MECHANIZED MEANS.
 - REMOVE SEDIMENT AND DEBRIS WHEN ACCUMULATION REACHES 50% OF THE STORAGE HEIGHT BEHIND THE SINGLE OF STACKED EEL ARRANGEMENT. DISPOSE OF SEDIMENT AND DEBRIS AT AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
 - WHEN USED IN DITCHES AS A CHECK DAM, EROSION EELS SHALL BE INSTALLED PER MANUFACTURER'S DETAILS.
 - FOR CHECK DAM APPLICATIONS, EROSION EELS SHALL BE PLACED PERPENDICULAR TO THE FLOW OF THE WATER. EROSION EELS SHALL CONTINUE UP THE SIDES SLOPES A MINIMUM OF 3 FEET ABOVE THE DESIGN FLOW DEPTH.
 - EROSION EELS SHALL REMAIN IN PLACE UNTIL FULLY ESTABLISHED VEGETATION HAS COMPLETELY DEVELOPED OR UNTIL THE STORAGE CAPACITY/FUNCTIONAL LIFE OF THE EEL HAS BEEN EXHAUSTED (REQUIRING REPLACEMENT WITH NEW EELS).
 - ANCHORING POSTS FOR CHECK DAM APPLICATIONS SHALL HAVE A MINIMUM WEIGHT OF 1.25 LBS/FT STEEL T-POSTS (5 TO 7 FT. LENGTHS) ROLLED FROM HIGH CARBON STEEL. POSTS SHOULD BE HOT-DIP GALVANIZED OR COATED WITH A WEATHER-RESISTANT PAINT FOR STEEL APPLICATION. POSTS SHOULD BE EQUIPPED WITH A METAL ANCHOR PLATE. INSTALL PER DETAILS ON THIS SHEET.
 - PLACE T-POSTS THROUGH HANDLE OF BAGS. DO NOT DRIVE POSTS THROUGH EROSION EELS. T-POSTS ARE TO BE EMBEDDED A MINIMUM OF 2 FT INTO GROUND.

LAST REVISED: **BFA STANDARD DETAIL**
JULY 2014



GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR REQUIRED BY THE APPLICABLE GENERAL PERMIT.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL DENUDE/BARE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY WITH THE USE OF FAST-GERMINATION ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED IMMEDIATELY, AND NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE PAVED CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATION AS PROVIDED. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.



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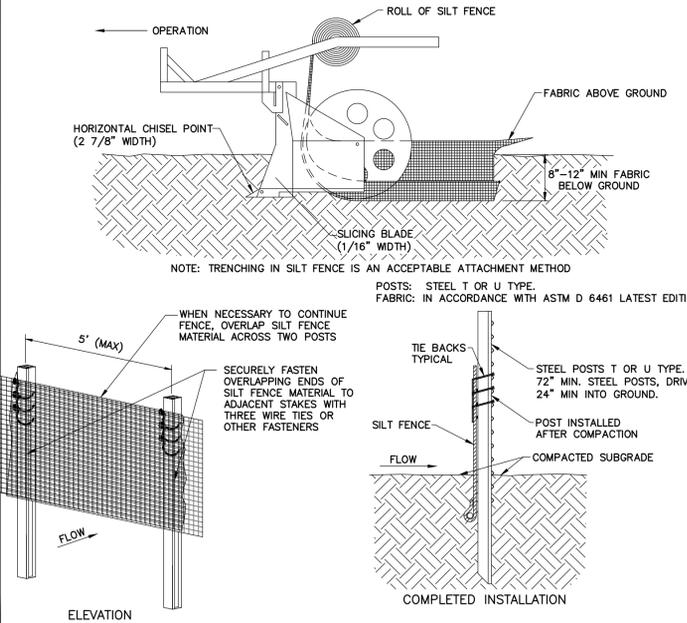
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SPECIFICATIONS FOR STATIC SLICING METHOD FOR SILT FENCE INSTALLATION

- STATIC SLICING SHALL BE USED TO ANCHOR SILT FENCE FABRIC IN ORDER TO NOT USE THE WIRE BACKING.
- SILT FENCE SHALL BE INSTALLED PER ASTM D-6462-03 LATEST EDITION.
 - INSTALL POSTS AT A MAXIMUM OF 5'-0" APART.
 - INSTALL POSTS AT A MINIMUM DEPTH OF 24" ON THE DOWNSTREAM SIDE OF THE SILT FENCE, AND AS CLOSE AS POSSIBLE TO THE FABRIC, ENABLING POSTS TO SUPPORT UPSTREAM WATER PRESSURE ON THE FABRIC.
 - INSTALL POSTS WITH THE NIPPLES FACING AWAY FROM THE SILT FENCE FABRIC.
 - ATTACH THE FABRIC TO EACH POST WITH THREE TIES, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART. ALSO, EACH TIE SHOULD BE POSITIONED TO HANG ON A POST NIPPLE WHEN TIGHTENED TO PREVENT SAGGING.
 - WRAP APPROXIMATELY 6" OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES.
 - WHEN NECESSARY TO CONTINUE FENCE, OVERLAP SILT FENCE MATERIAL ACROSS TWO POSTS.
 - NO MORE THAN 24" OF A 36" FABRIC IS ALLOWED ABOVE GROUND LEVEL.
 - DRIVE POST A MINIMUM OF 24" INTO THE GROUND.
 - THE INSTALLATION SHOULD BE CHECKED AND CORRECTED FOR ANY DEVIATIONS BEFORE COMPACTION. USE A FLAT-BLADED SHOVEL TO TUCK FABRIC DEEPER INTO THE SLIT IF NECESSARY.
 - COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SKID STEER, OR ROLLER EXERTING AT LEAST 60 POUNDS PER SQ. INCH. COMPACT THE UPSTREAM SIDE FIRST. COMPACT EACH SIDE TWICE FOR A TOTAL OF FOUR TRIPS.
 - MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FENCE. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE FENCE FABRIC ABOVE GRADE.
 - WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED A MINIMUM OF 60" ACROSS TWO POSTS, AS SHOWN.
 - ADD POST CAPS AS NEEDED BASED ON SITE CONDITIONS AND APPLICABLE AGENCY REQUIREMENTS.

NON-WIRE BACKED SLICING METHOD FOR SILT FENCE INSTALLATION



PRELIMINARY DRAWING

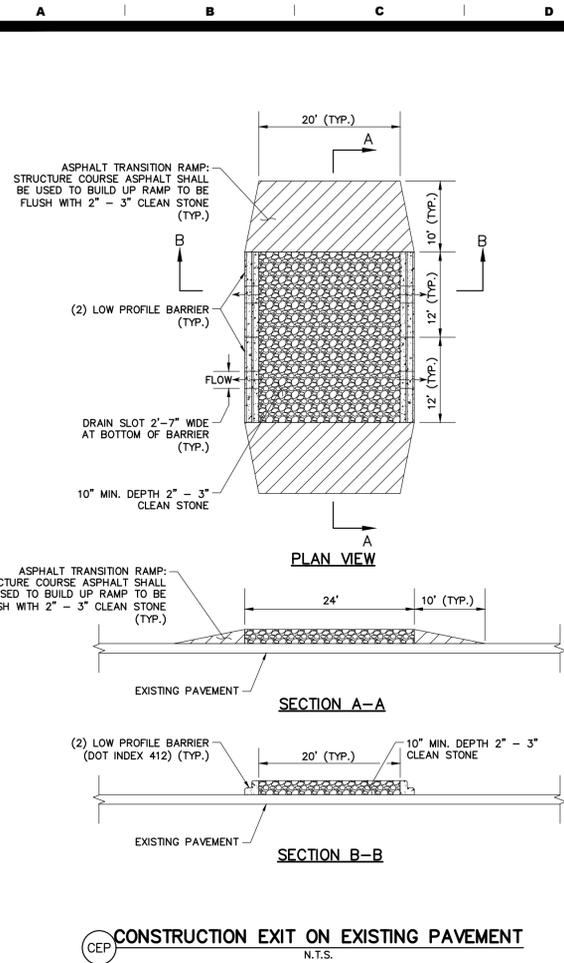
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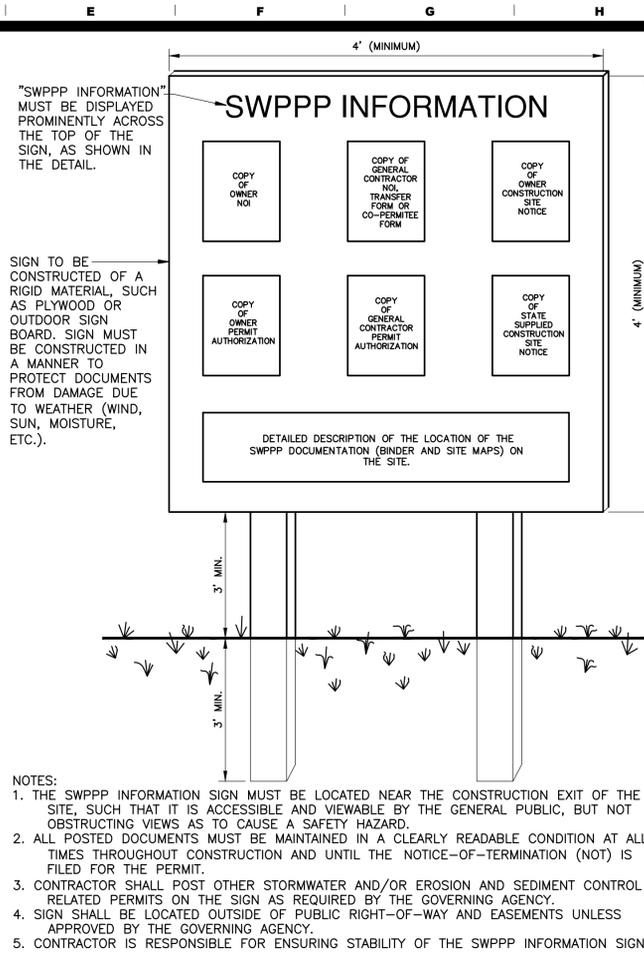
103 ELM STREET WASHINGTON, MISSOURI 63090

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CHECKED J.B.S.
DATE 07/12/24
SCALE NONE
JOB No. 8306
SHEET NAME ESC DETAIL SHEET 1
ESC-3

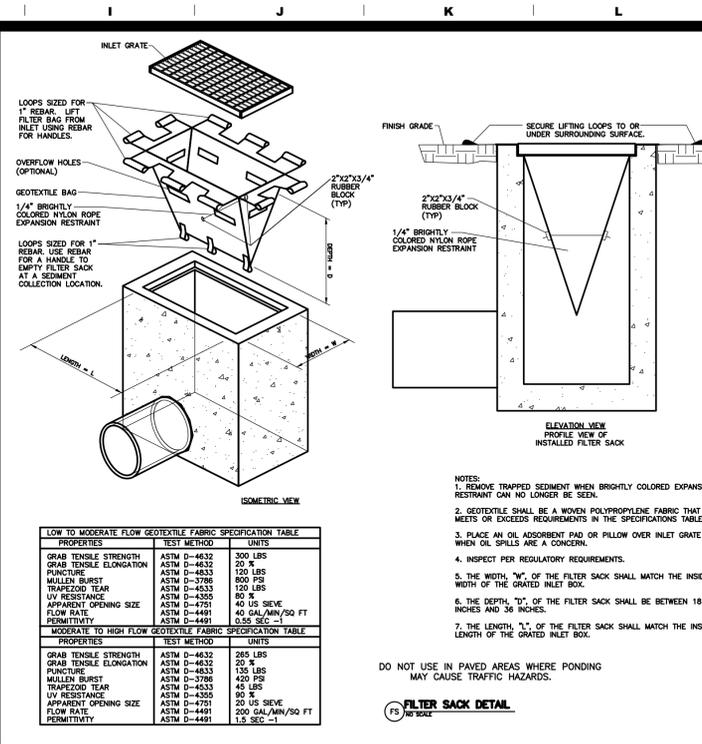


- NOTES:
- PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
 - THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
 - THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON-VEGETATED MEASURES, IF UTILIZED.
 - SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED.
 - AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS IN THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (STONE, PAVEMENT, BUILDINGS, ETC.).
 - SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR A ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE TACKIFIED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
 - ALL AREAS TO BE SEEDING MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS.
 - FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PROVIDES PERMANENT STABILIZATION WITH A UNIFORM DENSITY GREATER THAN 70 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THIS AREA IS EXCLUSIVE OF AREAS THAT ARE COVERED WITH ROCK (CRUSHED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

SD PS PERMANENT SEEDING, SOD OR MULCHING



- NOTES:
- THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 - ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 - CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
 - SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.



PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MULLIN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4633	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US Sieve
FLOW RATE	ASTM D-4481	40 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4481	0.55 SEC-1

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	285 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	135 LBS
MULLIN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4633	45 LBS
UV RESISTANCE	ASTM D-4355	50 %
APPARENT OPENING SIZE	ASTM D-4751	20 US Sieve
FLOW RATE	ASTM D-4481	200 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4481	1.5 SEC-1

- NOTES:
- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
 - GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
 - PLACE AN OIL ADJUSTMENT PAD OR PALLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
 - INSPECT PER REGULATORY REQUIREMENTS.
 - THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
 - THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
 - THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.
- DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

PRELIMINARY DRAWING

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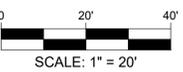
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BFA
Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

DRAWN B.L.F.
 CHECKED J.B.S.
 DATE 07/12/24
 SCALE NONE
 JOB No. 8306
 SHEET NAME ESC DETAIL SHEET 2
 ESC-4

GRADING PLAN



GRADING NOTES:

- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
 Primary Benchmark - Bearings and elevation information is based on information provided by BLEW & Associates, P. A. The Bearing is denoted as N54°15'12"E per GPS Coordinate Observations Wisconsin State Plane, South Zone NAD83.
 Temporary Benchmark No. 1 - Set Chiseled "X"
 Northing = 649271.46
 Easting = 1646246.56
 Elevation = 661.93'
 Temporary Benchmark No. 2 - Set Chiseled "X"
 Northing = 648990.42
 Easting = 1646447.09
 Elevation = 661.41'
- This site is within Zone X, Defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of La Crosse, La Crosse County, Wisconsin, Map No. 55063C0263D, dated January 6, 2012.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- All unpaved areas are to receive four inches of topsoil. Contractor to seed, mulch, fertilize, water, and maintain all areas outside of paved areas that were disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
- The earthwork for all building foundations and slabs shall be in accordance with Building Plans & Specifications, unless otherwise noted.
- The Contractor is responsible for keeping storm water run-off and sediment under control during construction. All contractors shall refer to the Erosion and Sediment Control Plan throughout construction.
- The Contractor shall maintain the site in a well-drained manner in order to assure the shortest possible drying time after each rainfall. This will mean that pumping of standing water in low areas on the site will most likely be required during construction. Also pumping of ground water in utility trenches and deep excavations will be required during construction.
- The sitework for this project shall meet or exceed applicable AHJ Specifications, permit requirements, and/or manufacturer specifications.
- Contractor shall refer to architectural plans for exact locations and dimensions of entrances, exit doors, downspouts, roof drains, precise building dimensions, and exact building utility entrance locations.
- Layers of pavement shall be placed perpendicular to each other with the final layer perpendicular to the finished contours on parking lot.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the Contractor's expense.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the contractor.
- Prior to placement of the base rock within the parking lot, the entire area shall be proof rolled with a loaded tandem axle dump truck, having no more than 3 axles and weighing a minimum of 40,000 pounds.
- Due to seasonal variations in rainfall and the groundwater level, the Contractor may be required to use light earth moving equipment to minimize pumping.
- The Contractor shall grade all areas to drain in order to prevent ponding water. The minimum allowable slope on all paved surfaces shall be 1 percent.
- The minimum depth of cover for waterlines on this site is 72 inches. Actual depths of waterlines may vary.
- Unless indicated otherwise, all waterline and sanitary sewer crossings shall have a minimum 18 inch vertical separation and 10 feet horizontal separation. The Contractor shall note that the depths of existing utilities have been plotted from information provided by various utility companies and is to be considered approximate. If the minimum separations cannot be constructed as shown the Contractor shall notify the BFA and appropriate modifications will be issued.
- All landscaping, paving, curbing, utilities, etc. adjacent to public right-of-way disturbed by construction activities (grading, utilities, sidewalk, etc.) shall be improved to new condition.
- All ramps and sidewalks shall meet Jurisdiction and ADA Rules/Regulations. Handrails shall be required on all ramps (sidewalk routes exceeding 1'x20" shall be constructed as ramps) that have a vertical change greater than 6 inches. Cross slopes on all sidewalks shall not exceed 2 percent.
- All landscape/planter areas adjacent to the building shall allow for proper stormwater/irrigation drainage. Where storm structures or storm pipes are readily available, the contractor shall install 4" diameter drain tile and connect to the storm sewer. 2" diameter PVC weep holes shall also be provided in adjacent curb @ 48" O.C. to release at pavement grade.

SOIL PREPARATION AND COMPACTION

Within all construction areas and five feet beyond, existing utilities, structures, foundations, pavements, and related below-grade components to be abandoned shall be properly demolished and the debris removed from the site, unless specifically noted otherwise. Existing utilities, cisterns and septic fields, as well as their associated backfill, shall be removed from the site, unless specifically noted to remain. Excavations resulting from the removal of existing site improvements shall be backfilled with properly compacted fill material meeting site specific specifications. Excavations shall be protected from extreme temperatures, precipitation, and construction activities. Areas to be cut or to receive fill shall be striped off any surface vegetation and/or organic topsoil. The strippings shall be removed from the site and/or stockpiled for later placement in landscaped or common ground areas. Masonry rubble, rocks, and pavement broken to less than 3 inches in maximum dimension may be used as fill, if properly blended with acceptable soil and placed as approved by the site testing firm. Prior to compaction, the entire site shall be proof-rolled by systematically passing over the subgrade to achieve complete coverage with proper compaction or loaded construction equipment, and observing the subgrade for pockets of excessively soft, wet, or otherwise unacceptable materials. Remove, replace, and/or repair unsuitable areas with suitable material meeting site specific geotechnical recommendations prior to placement of additional fill, then proof-roll again. Proof-roll passes shall be limited, particularly on silty substrates, to reduce the potential for pumping of moisture from within the soil. Fill material shall be free of organics, debris, other deleterious material, shall contain no chemicals that may result in the material being classified as "contaminated", shall not contain rocks greater than 1 1/2" (3) inches in size, and shall be placed in loose lifts not to exceed eight (8) inches in thickness. Within building and pavement areas, fill materials shall be mechanically compacted to at least 98 percent of its Standard Proctor maximum dry density (ASTM D 698) within a moisture content range of 2% of the soil's optimum moisture content for lean clays and 0% to 4% above optimum moisture content for lean to fat clays. Moisture content for granular soils shall be at a workable level to allow for compaction and prevent undue pumping. Fill material shall be low-plasticity with a maximum liquid limit of 50 and a maximum plasticity index of 30. Soils that become unstable due to moisture or disturbance shall be identified, dried, and recompacted; or underlaid to a suitable bearing subgrade and replaced with compacted fill material. Refer to the Building Plans for any additional earthwork criteria associated with the building pad preparation and to the geotechnical report for additional requirements, recommendations, and remediation associated with the site soils. All earthwork activities and soil remediation performed shall be included in the contractor's base bid.

ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
BH	BEE HIVE INLET
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
STCO	STORM SEWER CLEANOUT
L	ADA LANDING
R	ADA ACCESSIBLE RAMP

SPOT GRADE LEGEND

TOP OF CURB	0.000.00TC
PAVEMENT ELEVATION @ CURB/SIDEWALK	0.000.00TP
INTERIOR PAVEMENT/GROUND ELEVATIONS	0.000.00
GUTTER ELEVATION @ FACE OF CURB	0.000.00G
ELEVATION TO MATCH EXISTING	0.000.00*
TOP OF SIDEWALK	0.000.00TS

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

bfaeng.com TELEPHONE: (636) 239-4751



103 ELM STREET WASHINGTON, MISSOURI 63090

DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UTILITY POLE	•	•
GUARD POST	•GP	•GP
SANITARY MANHOLE	•	•
CATCH BASIN	■	■
JUNCTION BOX	•	•
FLARED END SECTION	▢	▢
CLEANOUT	•	•
GRATED INLET	■	■
GUARD RAIL	—	—
CHAINLINK/WOODEN FENCE	—	—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---

PRELIMINARY DRAWING

FOR REVIEW PURPOSES ONLY
NOT TO BE USED FOR CONSTRUCTION

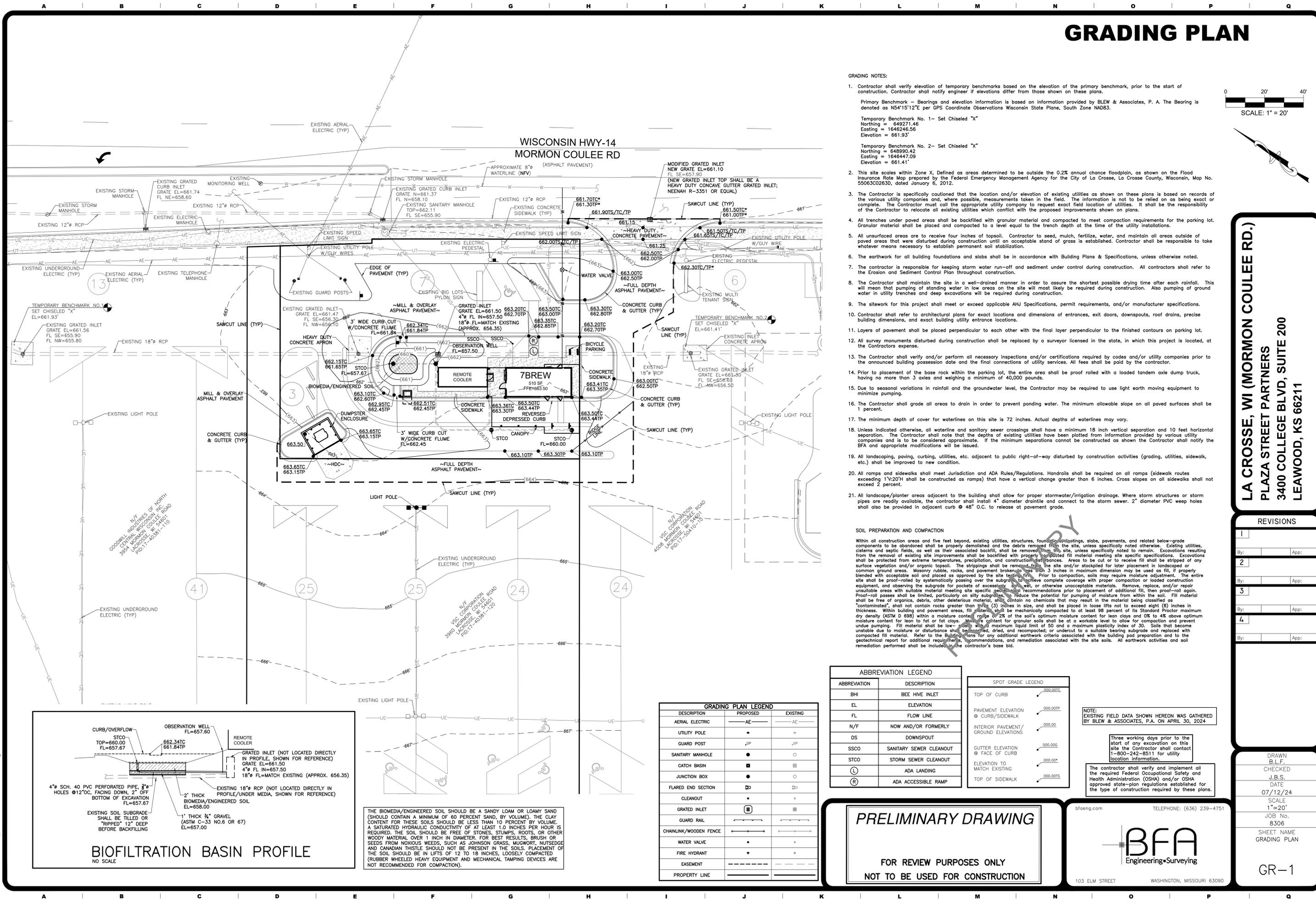
LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS

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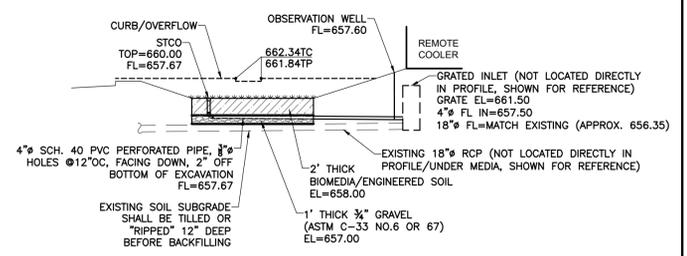
DRAWN
B.L.F.
CHECKED
J.B.S.
DATE
07/12/24
SCALE
1"=20'
JOB No.
8306
SHEET NAME
GRADING PLAN

GR-1



BIOFILTRATION BASIN PROFILE

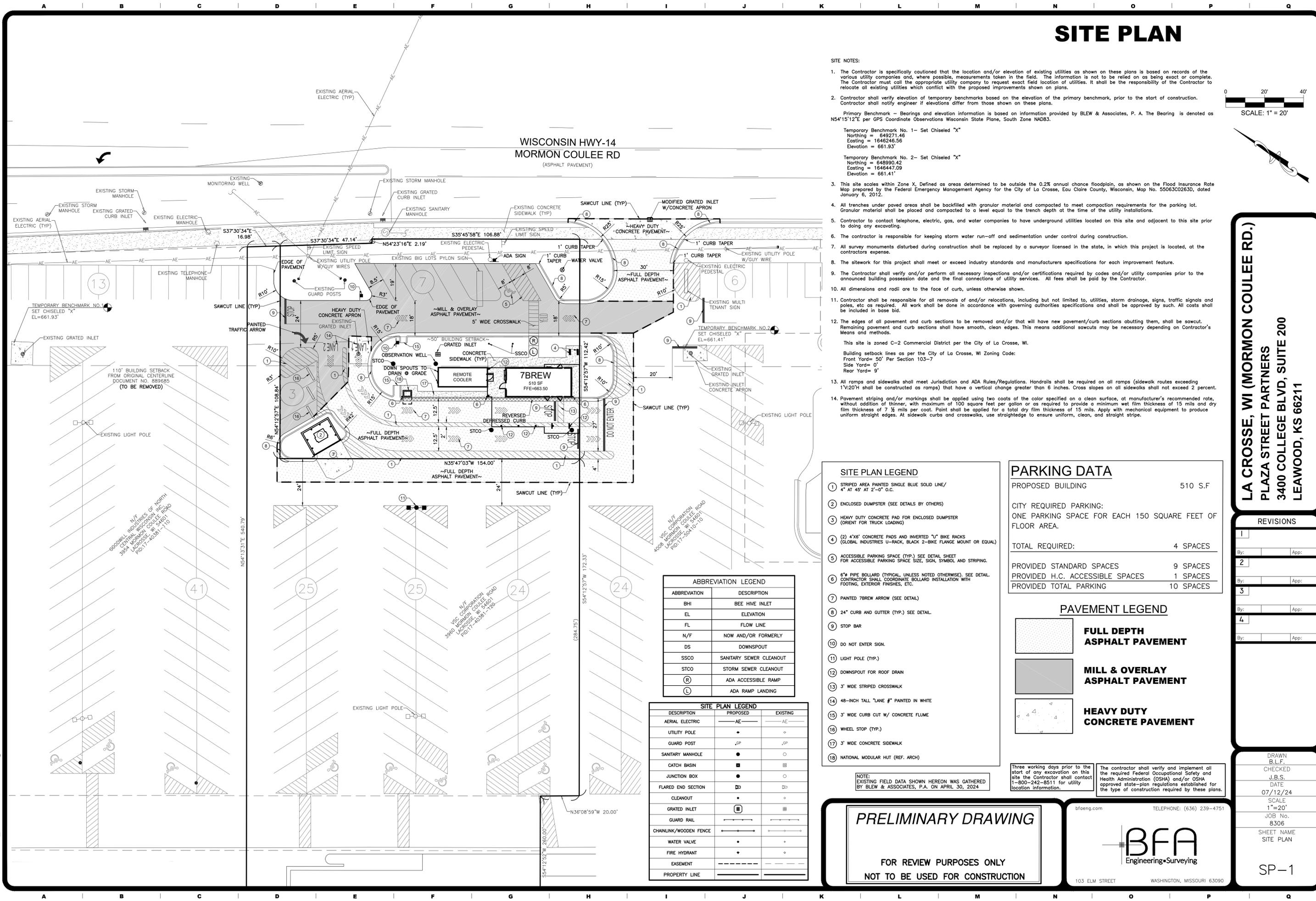
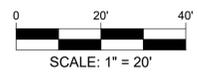
NO SCALE



THE BIOMEDIA/ENGINEERED SOIL SHOULD BE A SANDY LOAM OR LOAMY SAND (SHOULD CONTAIN A MINIMUM OF 60 PERCENT SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 10 PERCENT BY VOLUME. A SATURATED HYDRAULIC CONDUCTIVITY OF AT LEAST 1.0 INCHES PER HOUR IS REQUIRED. THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1 INCH IN DIAMETER. FOR BEST RESULTS, BRUSH OR SEEDS FROM NOXIOUS WEEDS, SUCH AS JOHNSON GRASS, MUGWORT, NUTSEDGE AND CANADIAN THISTLE SHOULD NOT BE PRESENT IN THE SOILS. PLACEMENT OF THE SOIL SHOULD BE IN LIFTS OF 12 TO 18 INCHES, LOOSELY COMPACTED (RUBBER WHEELED HEAVY EQUIPMENT AND MECHANICAL TAMPING DEVICES ARE NOT RECOMMENDED FOR COMPACTION).

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7/12/2024 10:45 AM

SITE PLAN



- SITE NOTES:**
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
 - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
 - Primary Benchmark - Bearings and elevation information is based on information provided by BLEW & Associates, P. A. The Bearing is denoted as N54°15'12"E per GPS Coordinate Observations Wisconsin State Plane, South Zone NAD83.
 - Temporary Benchmark No. 1 - Set Chiseled "X"
 - Northing = 649271.46
 - Easting = 1646246.56
 - Elevation = 661.93'
 - Temporary Benchmark No. 2 - Set Chiseled "X"
 - Northing = 648990.42
 - Easting = 1646447.09
 - Elevation = 661.41'
 - This site scales within Zone X, Defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of La Crosse, Eau Claire County, Wisconsin, Map No. 5506300263D, dated January 6, 2012.
 - All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
 - Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
 - The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
 - All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractor's expense.
 - The sitework for this project shall meet or exceed industry standards and manufacturers specifications for each improvement feature.
 - The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
 - All dimensions and radii are to the face of curb, unless otherwise shown.
 - Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
 - The edges of all pavement and curb sections to be removed and/or that will have new pavement/curb sections abutting them, shall be sawcut. Remaining pavement and curb sections shall have smooth, clean edges. This means additional sawcuts may be necessary depending on Contractor's Means and methods.
 - This site is zoned C-2 Commercial District per the City of La Crosse, WI.
 - Building setback lines as per the City of La Crosse, WI Zoning Code:
 - Front Yard = 50' Per Section 103-7
 - Side Yard = 0'
 - Rear Yard = 9'
 - All ramps and sidewalks shall meet Jurisdiction and ADA Rules/Regulations. Handrails shall be required on all ramps (sidewalk routes exceeding 1'x20'H shall be constructed as ramps) that have a vertical change greater than 6 inches. Cross slopes on all sidewalks shall not exceed 2 percent.
 - Pavement striping and/or markings shall be applied using two coats of the color specified on a clean surface, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.

SITE PLAN LEGEND

- STRIPED AREA PAINTED SINGLE BLUE SOLID LINE/ 4" AT 45° AT 2'-0" O.C.
- ENCLOSED DUMPSTER (SEE DETAILS BY OTHERS)
- HEAVY DUTY CONCRETE PAD FOR ENCLOSED DUMPSTER (ORIENT FOR TRUCK LOADING)
- (2) 4"x8" CONCRETE PADS AND INVERTED "U" BIKE RACKS (GLOBAL INDUSTRIES U-RACK, BLACK 2-BIKE FLANGE MOUNT OR EQUAL)
- ACCESSIBLE PARKING SPACE (TYP.) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN, SYMBOL AND STRIPING.
- 6" PIPE BOLLARD (TYPICAL UNLESS NOTED OTHERWISE, SEE DETAIL CONTRACTOR SHALL COORDINATE BOLLARD INSTALLATION WITH FOOTING, EXTERIOR FINISHES, ETC.
- PAINTED 7BREW ARROW (SEE DETAIL)
- 24" CURB AND GUTTER (TYP.) SEE DETAIL.
- STOP BAR
- DO NOT ENTER SIGN.
- LIGHT POLE (TYP.)
- DOWNSPOUT FOR ROOF DRAIN
- 3' WIDE STRIPED CROSSWALK
- 48-INCH TALL "LANE #1" PAINTED IN WHITE
- 3' WIDE CURB CUT W/ CONCRETE FLUME
- WHEEL STOP (TYP.)
- 3' WIDE CONCRETE SIDEWALK
- NATIONAL MODULAR HUT (REF. ARCH)

PARKING DATA

PROPOSED BUILDING	510 S.F.
CITY REQUIRED PARKING:	
ONE PARKING SPACE FOR EACH 150 SQUARE FEET OF FLOOR AREA.	
TOTAL REQUIRED:	4 SPACES
PROVIDED STANDARD SPACES	9 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	1 SPACES
PROVIDED TOTAL PARKING	10 SPACES

PAVEMENT LEGEND

	FULL DEPTH ASPHALT PAVEMENT
	MILL & OVERLAY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT

ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
BHI	BEE HIVE INLET
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
STCO	STORM SEWER CLEANOUT
(R)	ADA ACCESSIBLE RAMP
(L)	ADA RAMP LANDING

SITE PLAN LEGEND

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AERIAL ELECTRIC	—AE—	—AE—
UTILITY POLE	•	•
GUARD POST	•GP	•GP
SANITARY MANHOLE	•	•
CATCH BASIN	■	■
JUNCTION BOX	•	•
FLARED END SECTION	▤	▤
CLEANOUT	•	•
GRATED INLET	■	■
GUARD RAIL	—	—
CHAINLINK/WOODEN FENCE	—	—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024.

PRELIMINARY DRAWING

FOR REVIEW PURPOSES ONLY
NOT TO BE USED FOR CONSTRUCTION

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
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REVISIONS

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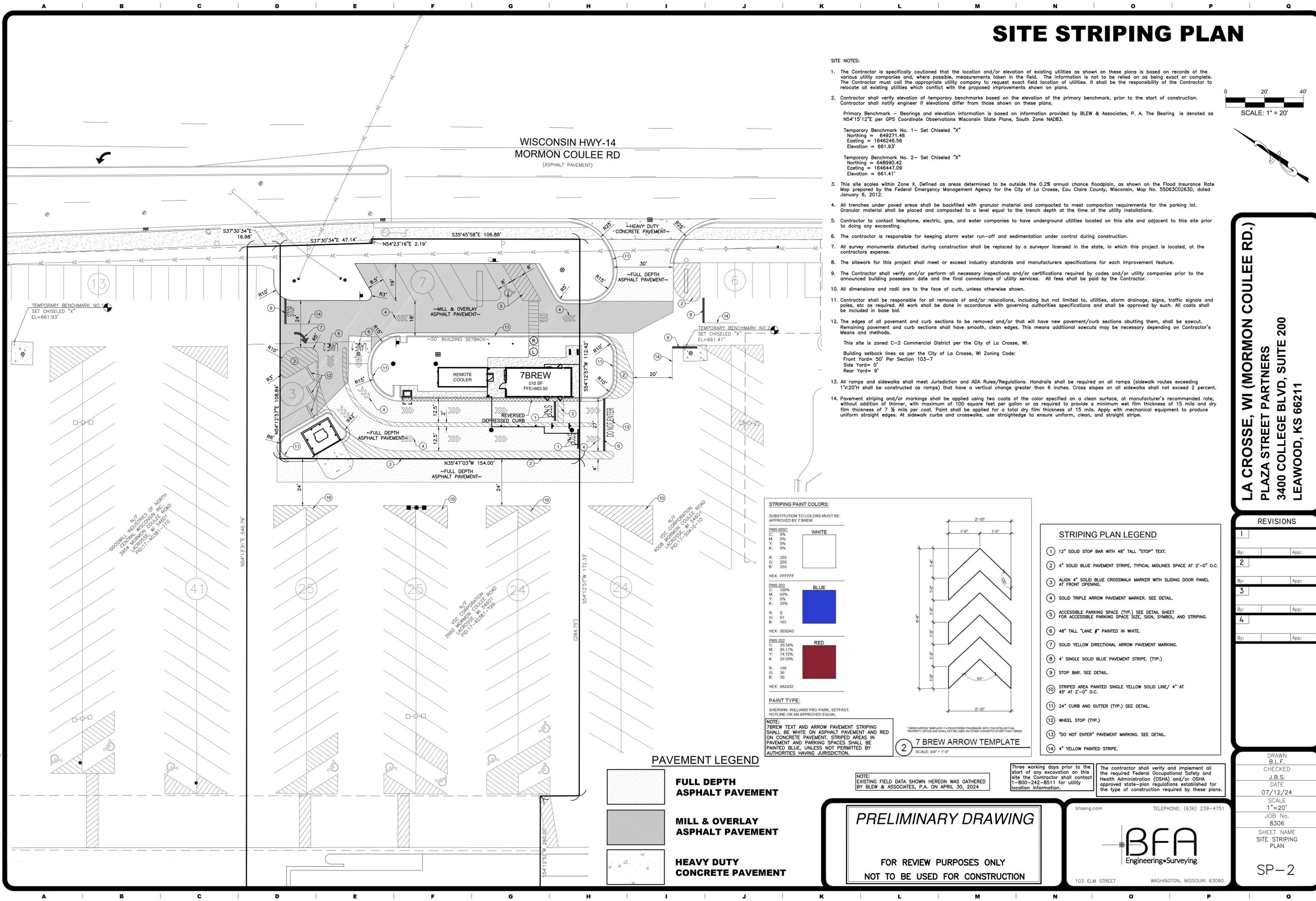
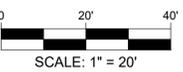
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 CHECKED J.B.S.
 DATE 07/12/24
 SCALE 1"=20'
 JOB No. 8306
 SHEET NAME SITE PLAN

SP-1

SITE STRIPING PLAN

SITE NOTES:

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 Elevation = 661.41'
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- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractor's expense.
- The sitework for this project shall meet or exceed industry standards and manufacturers specifications for each improvement feature.
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 This site is zoned C-2 Commercial District per the City of La Crosse, WI.
 Building setback lines as per the City of La Crosse, WI Zoning Code:
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- Pavement striping and/or markings shall be applied using two coats of the color specified on a clean surface, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.



STRIPING PAINT COLORS:

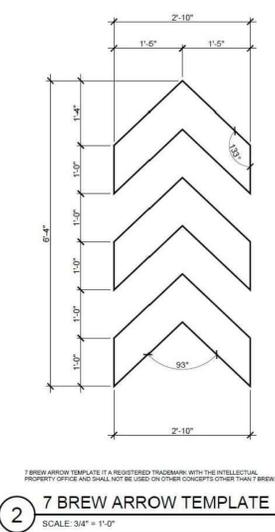
SUBSTITUTION TO COLORS MUST BE APPROVED BY 7 BREW

PMS 000C	WHITE
C: 0%	
M: 0%	
Y: 0%	
K: 0%	
R: 255	
G: 255	
B: 255	
HEX: FFFFFF	
PMS 293	BLUE
C: 100%	
M: 63%	
Y: 0%	
K: 35%	
R: 0	
G: 61	
B: 165	
HEX: 003DA5	
PMS 202	RED
C: 29.54%	
M: 95.11%	
Y: 74.72%	
K: 29.59%	
R: 138	
G: 36	
B: 50	
HEX: 8A2432	

PAINT TYPE:

*SHERWIN-WILLIAMS PRO PARK, SETBACK, HOTLINE OR AN APPROVED EQUAL.

NOTE: 7 BREW TEXT AND ARROW PAVEMENT STRIPING SHALL BE WHITE ON ASPHALT PAVEMENT AND RED ON CONCRETE PAVEMENT. STRIPED AREAS IN PAVEMENT AND PARKING SPACES SHALL BE PAINTED BLUE, UNLESS NOT PERMITTED BY AUTHORITIES HAVING JURISDICTION.



STRIPING PLAN LEGEND

- 12" SOLID STOP BAR WITH 48" TALL "STOP" TEXT.
- 4" SOLID BLUE PAVEMENT STRIPE, TYPICAL MIDLINES SPACE AT 2'-0" O.C.
- ALIGN 4" SOLID BLUE CROSSWALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING.
- SOLID TRIPLE ARROW PAVEMENT MARKER. SEE DETAIL.
- ACCESSIBLE PARKING SPACE (TYP.) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN, SYMBOL, AND STRIPING.
- 48" TALL "LANE #1" PAINTED IN WHITE.
- SOLID YELLOW DIRECTIONAL ARROW PAVEMENT MARKING.
- 4" SINGLE SOLID BLUE PAVEMENT STRIPE. (TYP.)
- STOP BAR. SEE DETAIL.
- STRIPED AREA PAINTED SINGLE YELLOW SOLID LINE/ 4" AT 45° AT 2'-0" O.C.
- 24" CURB AND GUTTER (TYP.) SEE DETAIL.
- WHEEL STOP (TYP.)
- "DO NOT ENTER" PAVEMENT MARKING. SEE DETAIL.
- 4" YELLOW PAINTED STRIPE.

PAVEMENT LEGEND

- FULL DEPTH ASPHALT PAVEMENT
- MILL & OVERLAY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024.

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PRELIMINARY DRAWING
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103 ELM STREET WASHINGTON, MISSOURI 63090

LA CROSSE, WI (MORMON COULEE RD.)
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REVISIONS

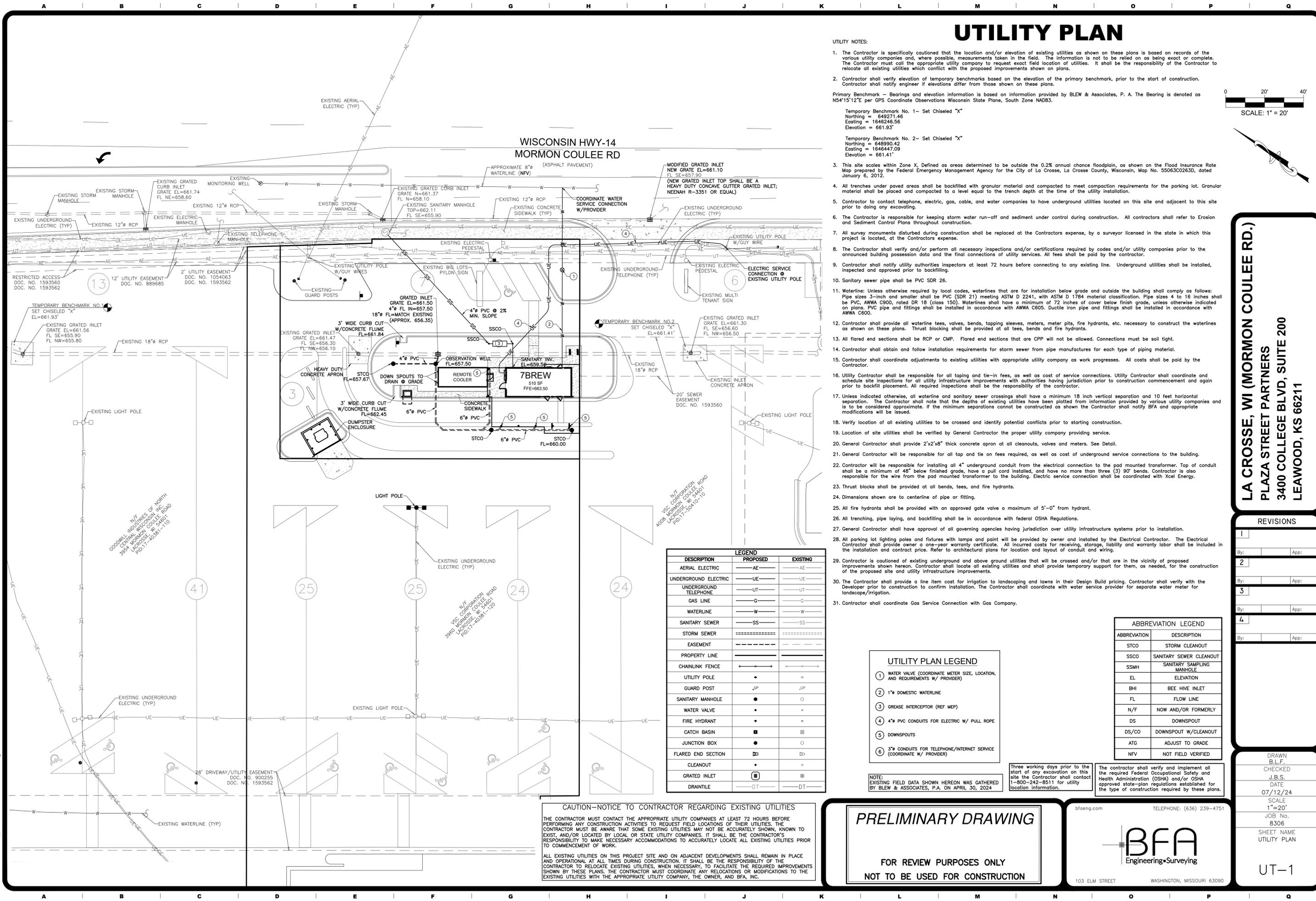
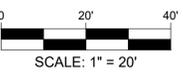
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3	By:	App:
4	By:	App:

DRAWN B.L.F.
 CHECKED J.B.S.
 DATE 07/12/24
 SCALE 1"=20'
 JOB No. 8306
 SHEET NAME SITE STRIPING PLAN
 SP-2

UTILITY PLAN

UTILITY NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
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 - All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installation.
 - Contractor to contact telephone, electric, gas, cable, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
 - The Contractor is responsible for keeping storm water run-off and sediment under control during construction. All contractors shall refer to Erosion and Sediment Control Plans throughout construction.
 - All survey monuments disturbed during construction shall be replaced at the Contractors expense, by a surveyor licensed in the state in which this project is located, at the Contractors expense.
 - The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the contractor.
 - Contractor shall notify utility authorities inspectors at least 72 hours before connecting to any existing line. Underground utilities shall be installed, inspected and approved prior to backfilling.
 - Sanitary sewer pipe shall be PVC SDR 26.
 - Waterline: Unless otherwise required by local codes, waterlines that are for installation below grade and outside the building shall comply as follows: Pipe sizes 3-inch and smaller shall be PVC (SDR 21) meeting ASTM D 2241, with ASTM D 1784 material classification. Pipe sizes 4 to 18 inches shall be PVC, AWWA C900, rated DR 18 (class 150). Waterlines shall have a minimum of 72 inches of cover below finish grade, unless otherwise indicated on plans. PVC pipe and fittings shall be installed in accordance with AWWA C605. Ductile iron pipe and fittings shall be installed in accordance with AWWA C600.
 - Contractor shall provide all waterline tees, valves, bends, tapping sleeves, meters, meter pits, fire hydrants, etc. necessary to construct the waterlines as shown on these plans. Thrust blocking shall be provided at all tees, bends and fire hydrants.
 - All flared end sections shall be RCP or CMP. Flared end sections that are CPP will not be allowed. Connections must be soil tight.
 - Contractor shall obtain and follow installation requirements for storm sewer from pipe manufacturers for each type of piping material.
 - Contractor shall coordinate adjustments to existing utilities with appropriate utility company as work progresses. All costs shall be paid by the Contractor.
 - Utility Contractor shall be responsible for all taping and tie-in fees, as well as cost of service connections. Utility Contractor shall coordinate and schedule site inspections for all utility infrastructure improvements with authorities having jurisdiction prior to construction commencement and again prior to backfill placement. All required inspections shall be the responsibility of the contractor.
 - Unless indicated otherwise, all waterline and sanitary sewer crossings shall have a minimum 18 inch vertical separation and 10 feet horizontal separation. The Contractor shall note that the depths of existing utilities have been plotted from information provided by various utility companies and is to be considered approximate. If the minimum separations cannot be constructed as shown the Contractor shall notify BFA and appropriate modifications will be issued.
 - Verify location of all existing utilities to be crossed and identify potential conflicts prior to starting construction.
 - Location of site utilities shall be verified by General Contractor the proper utility company providing service.
 - General Contractor shall provide 2"x2"x8" thick concrete apron at all cleanouts, valves and meters. See Detail.
 - General Contractor will be responsible for all tap and tie on fees required, as well as cost of underground service connections to the building.
 - Contractor will be responsible for installing all 4" underground conduit from the electrical connection to the pad mounted transformer. Top of conduit shall be a minimum of 48" below finished grade, have a pull cord installed, and have no more than three (3) 90° bends. Contractor is also responsible for the wire from the pad mounted transformer to the building. Electric service connection shall be coordinated with Xcel Energy.
 - Thrust blocks shall be provided at all bends, tees, and fire hydrants.
 - Dimensions shown are to centerline of pipe or fitting.
 - All fire hydrants shall be provided with an approved gate valve a maximum of 5'-0" from hydrant.
 - All trenching, pipe laying, and backfilling shall be in accordance with federal OSHA Regulations.
 - General Contractor shall have approval of all governing agencies having jurisdiction over utility infrastructure systems prior to installation.
 - All parking lot lighting poles and fixtures with lamps and point will be provided by owner and installed by the Electrical Contractor. The Electrical Contractor shall provide owner a one-year warranty certificate. All incurred costs for receiving, storage, liability and warranty labor shall be included in the installation and contract price. Refer to architectural plans for location and layout of conduit and wiring.
 - Contractor is cautioned of existing underground and above ground utilities that will be crossed and/or that are in the vicinity of proposed improvements shown hereon. Contractor shall locate all existing utilities and shall provide temporary support for them, as needed, for the construction of the proposed site and utility infrastructure improvements.
 - The Contractor shall provide a line item cost for irrigation to landscaping and lawns in their Design Build pricing. Contractor shall verify with the Developer prior to construction to confirm installation. The Contractor shall coordinate with water service provider for separate water meter for landscape/irrigation.
 - Contractor shall coordinate Gas Service Connection with Gas Company.



DESCRIPTION	LEGEND	
	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—
GAS LINE	—G—	—G—
WATERLINE	—W—	—W—
SANITARY SEWER	—SS—	—SS—
STORM SEWER	=====	=====
EASEMENT	-----	-----
PROPERTY LINE	=====	=====
CHAINLINK FENCE	—●—●—	—●—●—
UTILITY POLE	•	•
GUARD POST	GP	GP
SANITARY MANHOLE	●	○
WATER VALVE	•	•
FIRE HYDRANT	+	•
CATCH BASIN	■	■
JUNCTION BOX	●	○
FLARED END SECTION	▨	▨
CLEANOUT	•	•
GRADED INLET	■	■
DRAIN TILE	—DT—	—DT—

UTILITY PLAN LEGEND	
①	WATER VALVE (COORDINATE METER SIZE, LOCATION, AND REQUIREMENTS W/ PROVIDER)
②	1" DOMESTIC WATERLINE
③	GREASE INTERCEPTOR (REF MEP)
④	4" PVC CONDUITS FOR ELECTRIC W/ PULL ROPE
⑤	DOWNSPOUTS
⑥	3" CONDUITS FOR TELEPHONE/INTERNET SERVICE (COORDINATE W/ PROVIDER)

ABBREVIATION LEGEND	
STCO	STORM CLEANOUT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SAMPLING MANHOLE
EL	ELEVATION
BHI	BEE HIVE INLET
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
DS/CO	DOWNSPOUT W/CLEANOUT
ATG	ADJUST TO GRADE
NFV	NOT FIELD VERIFIED

NOTE:
 EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

CAUTION—NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES MAY NOT BE ACCURATELY SHOWN, KNOWN TO EXIST, AND/OR LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

ALL EXISTING UTILITIES ON THIS PROJECT SITE AND ON ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES, WHEN NECESSARY, TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE OWNER, AND BFA, INC.

PRELIMINARY DRAWING

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103 ELM STREET WASHINGTON, MISSOURI 63090

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

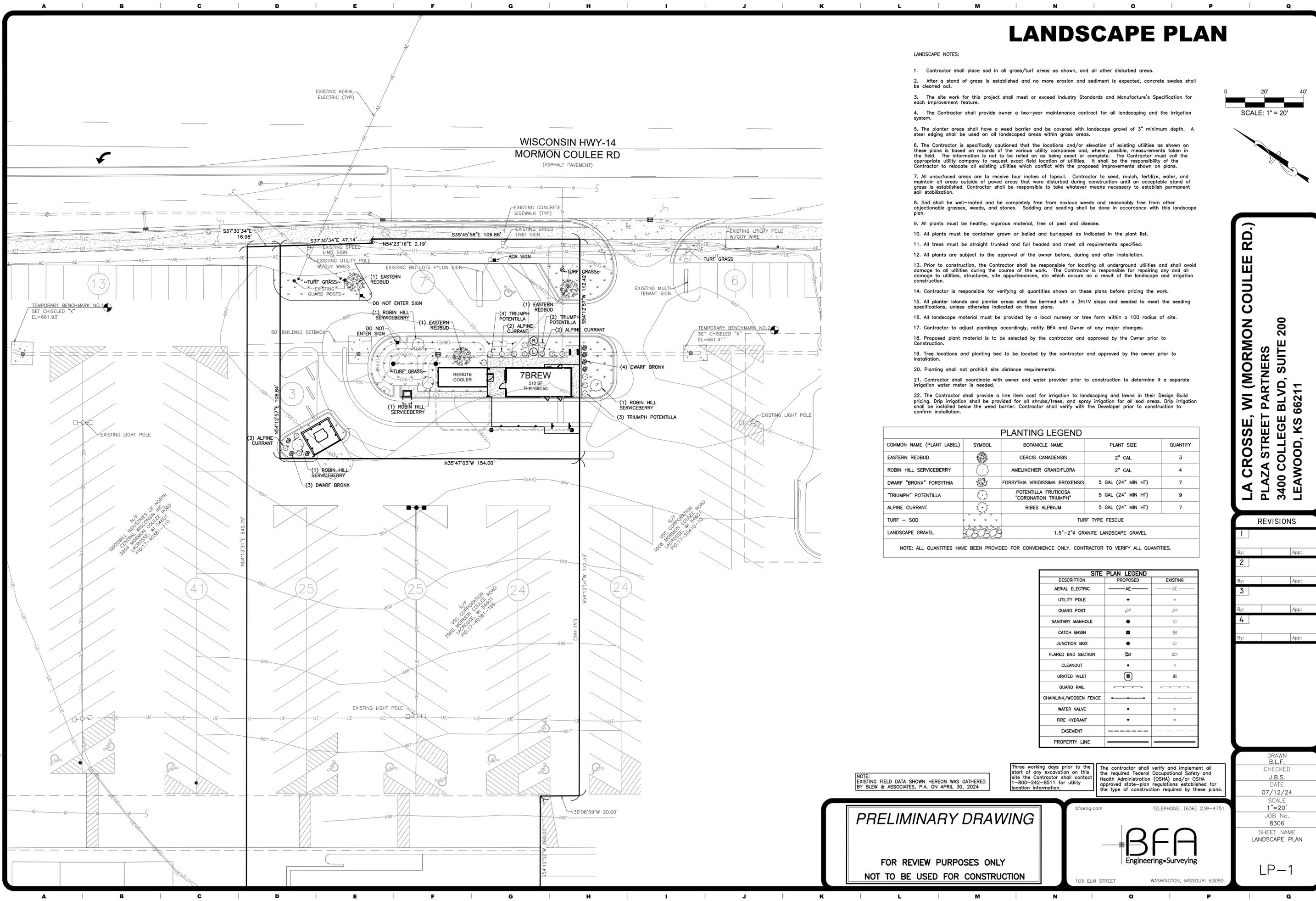
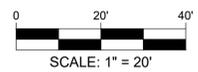
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4	By: _____ App: _____

DRAWN B.L.F.
 CHECKED J.B.S.
 DATE 07/12/24
 SCALE 1"=20'
 JOB No. 8306
 SHEET NAME UTILITY PLAN
 UT-1

LANDSCAPE PLAN

LANDSCAPE NOTES:

- Contractor shall place sod in all grass/turf areas as shown, and all other disturbed areas.
- After a stand of grass is established and no more erosion and sediment is expected, concrete swales shall be cleaned out.
- The site work for this project shall meet or exceed Industry Standards and Manufacturer's Specification for each improvement feature.
- The Contractor shall provide owner a two-year maintenance contract for all landscaping and the irrigation system.
- The planter areas shall have a weed barrier and be covered with landscape gravel of 3" minimum depth. A steel edging shall be used on all landscaped areas within grass areas.
- The Contractor is specifically cautioned that the locations and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All un surfaced areas are to receive four inches of topsoil. Contractor to seed, mulch, fertilize, water, and maintain all areas outside of paved areas that were disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
- Sod shall be well-rooted and be completely free from noxious weeds and reasonably free from other objectionable grasses, weeds, and stones. Sodding and seeding shall be done in accordance with this landscape plan.
- All plants must be healthy, vigorous material, free of pest and disease.
- All plants must be container grown or balled and burlapped as indicated in the plant list.
- All trees must be straight trunked and full headed and meet all requirements specified.
- All plants are subject to the approval of the owner before, during and after installation.
- Prior to construction, the Contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. The Contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc which occurs as a result of the landscape and irrigation construction.
- Contractor is responsible for verifying all quantities shown on these plans before pricing the work.
- All planter islands and planter areas shall be bermed with a 3H:1V slope and seeded to meet the seeding specifications, unless otherwise indicated on these plans.
- All landscape material must be provided by a local nursery or tree farm within a 100 radius of site.
- Contractor to adjust plantings accordingly, notify BFA and Owner of any major changes.
- Proposed plant material is to be selected by the contractor and approved by the Owner prior to construction.
- Tree locations and planting bed to be located by the contractor and approved by the owner prior to installation.
- Planting shall not prohibit site distance requirements.
- Contractor shall coordinate with owner and water provider prior to construction to determine if a separate irrigation water meter is needed.
- The Contractor shall provide a line item cost for irrigation to landscaping and lawns in their Design Bid pricing. Drip irrigation shall be provided for all shrubs/trees, and spray irrigation for all sod areas. Drip irrigation shall be installed below the weed barrier. Contractor shall verify with the Developer prior to construction to confirm installation.



PLANTING LEGEND

COMMON NAME (PLANT LABEL)	SYMBOL	BOTANICAL NAME	PLANT SIZE	QUANTITY
EASTERN REDBUD		CERCIS CANADENSIS	2" CAL	3
ROBIN HILL SERVICEBERRY		AMELANCHIER GRANDIFLORA	2" CAL	4
DWARF "BRONX" FORSYTHIA		FORSYTHIA VIRIDISSIMA BROXENSIS	5 GAL (24" MIN HT)	7
"TRIUMPH" POTENTILLA		POTENTILLA FRUTICOSA "CORONATION TRIUMPH"	5 GAL (24" MIN HT)	9
ALPINE CURRANT		RIBES ALPINUM	5 GAL (24" MIN HT)	7
TURF - SOD		TURF TYPE FESCUE		
LANDSCAPE GRAVEL		1.5"-2" GRANITE LANDSCAPE GRAVEL		

NOTE: ALL QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.

SITE PLAN LEGEND

DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UTILITY POLE	•	•
GUARD POST	• _{GP}	• _{GP}
SANITARY MANHOLE	•	•
CATCH BASIN	■	■
JUNCTION BOX	•	•
FLARED END SECTION	▢	▢
CLEANOUT	•	•
GRADED INLET	■	■
GUARD RAIL	—	—
CHAINLINK/WOODEN FENCE	—	—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

PRELIMINARY DRAWING
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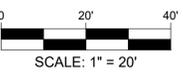
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REVISIONS

NO.	DATE	BY	APP.	DESCRIPTION
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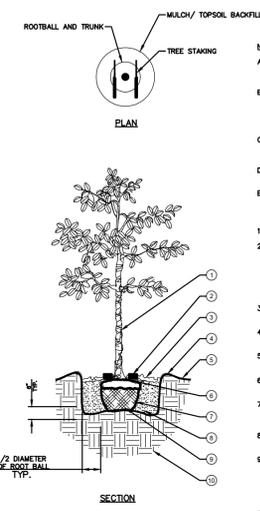
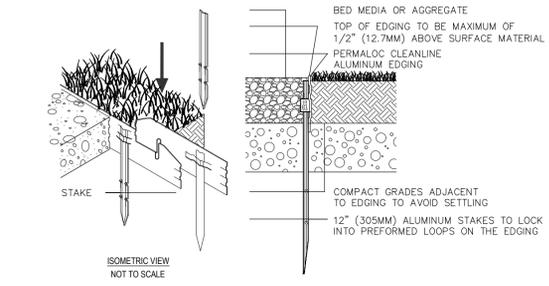
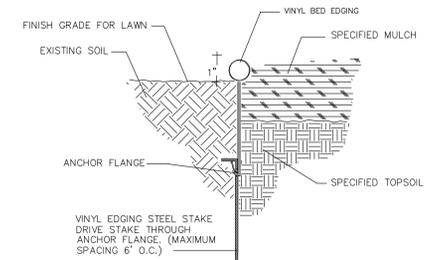
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DATE 07/12/24
SCALE 1"=20'
JOB No. 8306
SHEET NAME LANDSCAPE PLAN
LP-1

LANDSCAPE DETAILS



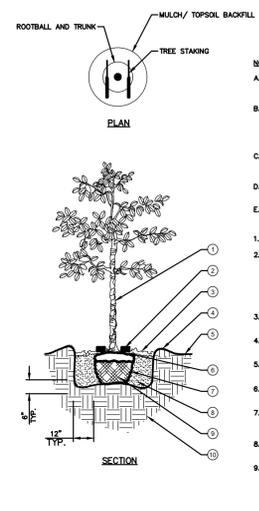
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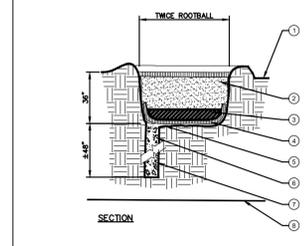
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GRIEVE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
 - SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
 - BRANCHING HEIGHT TO A.A.N. STANDARDS.

- TREE WRAP.
- Tree Frog RBK40pt FOR UP TO 4" TREE CALIPER OR Tree Frog RBK60pt FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEMARK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- 3" HIGH SOIL BERM TO HOLD WATER.
- FINISHED GRADE (SEE GRADING PLAN).
- TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
- B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- PREPARED PLANTING SOIL AS SPECIFIED.
- ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- UNDISTURBED SUBSOIL.

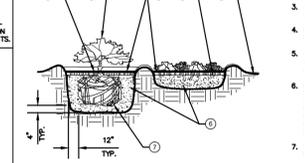
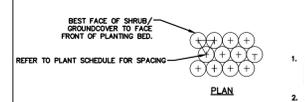


- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GRIEVE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
 - SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
 - BRANCHING HEIGHT TO A.A.N. STANDARDS.

- TREE WRAP.
- Tree Frog RBK40pt FOR UP TO 4" TREE CALIPER OR Tree Frog RBK60pt FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEMARK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- 3" HIGH SOIL BERM TO HOLD WATER.
- FINISHED GRADE (SEE GRADING PLAN).
- TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
- B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- PREPARED PLANTING SOIL AS SPECIFIED.
- ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- UNDISTURBED SUBSOIL.



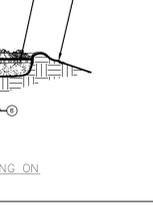
POOR DRAINAGE CONDITION
N.T.S.



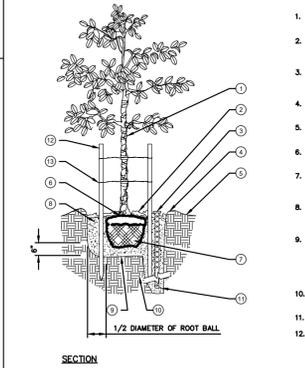
SHRUB/ GROUND COVER PLANTING
N.T.S.

- TOP OF SHRUB ROOTBALLS TO BE PLANTED 1/2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
- WHEN USED IN MASSES- PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/EFFECT.
- 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
- 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
- PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN GROUND-COVER AND SHRUBS USED IN MASSES ENTIRE BED TO BE MOUND WITH PLANTING SOIL. MAX. AS SPECIFIED IN THE PLANTING SPECIFICATION.
- SCAFFY ROOTBALL SIDES AND BOTTOM.

- TOP OF SHRUB ROOTBALLS TO BE PLANTED 1/2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
- WHEN USED IN MASSES- PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/EFFECT.
- 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
- 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
- PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN GROUND-COVER AND SHRUBS USED IN MASSES ENTIRE BED TO BE MOUND WITH PLANTING SOIL. MAX. AS SPECIFIED IN THE PLANTING SPECIFICATION.
- SCAFFY ROOTBALL SIDES AND BOTTOM.
- CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.



SHRUB/ GROUND COVER PLANTING ON SLOPE
N.T.S.

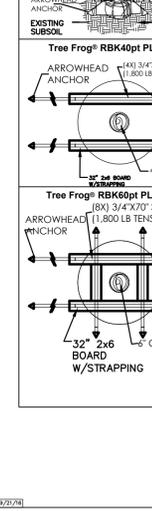


CANOPY TREE PLANTING
N.T.S.

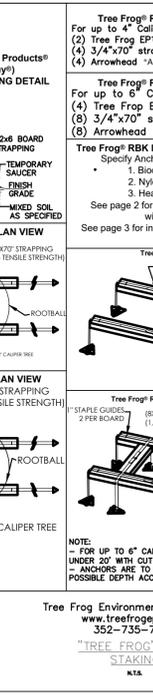
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GRIEVE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
 - SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
 - BRANCHING HEIGHT TO A.A.N. STANDARDS.
 - INSTALL STAND PIPE AND GRAVEL AT BASE WITH SPECIMEN (24" BOX AND LARGER) TREE ONLY.

- TREE WRAP - SET TRUNK PLUMB / CENTER IN PIT.
- 4" MINIMUM OF HARDWOOD BARK MULCH COMPACTED OR AS SPECIFIED.
- 3" HIGH SOIL BERM TO HOLD WATER.
- TOP ROOT BALL MIN. 1" ABOVE FINISHED GRADE.
- B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
- PREPARED PLANTING SOIL AS SPECIFIED. REMOVE BURLAP 4" AND LARGER.
- ROOT BALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
- SET ROOT BALL IN UNDISTURBED NATIVE SOIL.
- 3/4" GRAVE DEPTH OF PIPE.
- 2" DIA. LODGE POLE PIPE STAKE, 3 EACH 10' MIN. 12' LONG FOR 24" BOX, 14" FOR 36" BOX. SET ONE STAKE PERPENDICULAR TO PREVAILING WIND. CUT STAKES 6" BELOW CANOPY.
- "CLONCH TIE" BY U.L.T. OR EQUAL.

- NOTE TO L.A.:**
ASSURE PERCOLATION OF ALL PLANTING PITS.

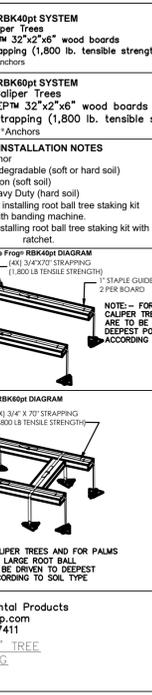


Tree Frog Environmental Products
www.treefrog.com
352-735-7411
"TREE FROG" TREE STAKING
N.T.S.



Tree Frog RBK40pt SYSTEM
For up to 4" Caliper Trees
(2) Tree Frog EP™ 32"x2" wood boards
(4) 3/4"x70" strapping (1,800 lb. tensile strength)
(4) Arrowhead "Anchors"

Tree Frog RBK60pt SYSTEM
For up to 6" Caliper Trees
(4) Tree Frog EP™ 32"x2"x6" wood boards
(8) 3/4"x70" strapping (1,800 lb. tensile strength)
(8) Arrowhead "Anchors"



Tree Frog RBK INSTALLATION NOTES
Specify Anchor

- Biodegradable (soft or hard soil)
- Nylon (soft soil)
- Heavy Duty (hard soil)

See page 2 for installing root ball tree staking kit with banding machine.

See page 3 for installing root ball tree staking kit with ratchet.

NOTE - FOR UP TO 4" CALIPER TREES-ANCHORS ARE TO BE DRIVEN TO DEEPEST POSSIBLE SOIL TYPE.

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS		
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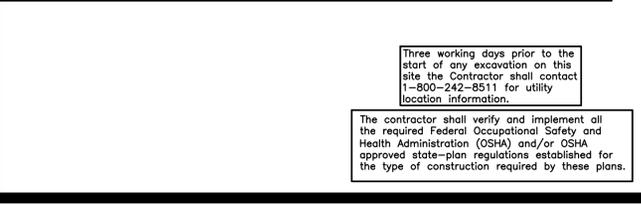
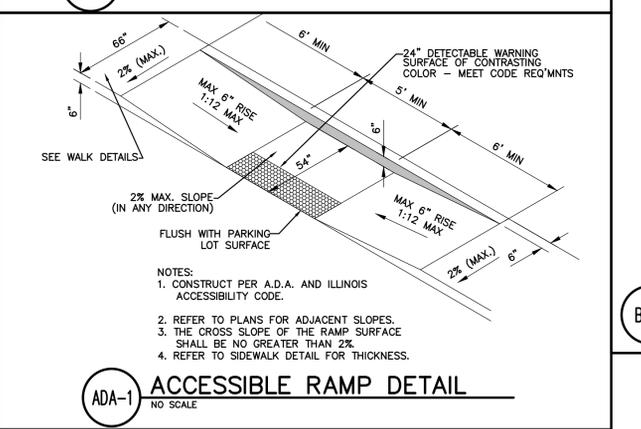
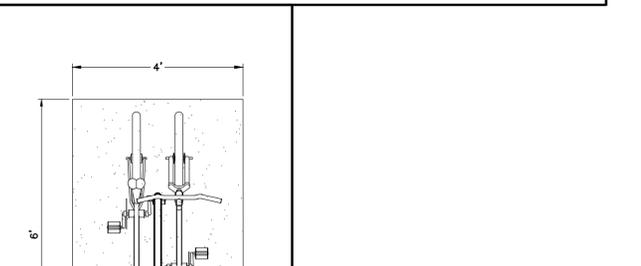
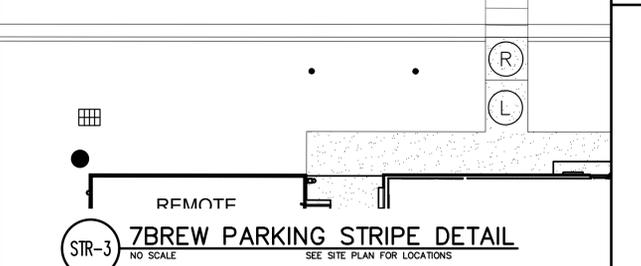
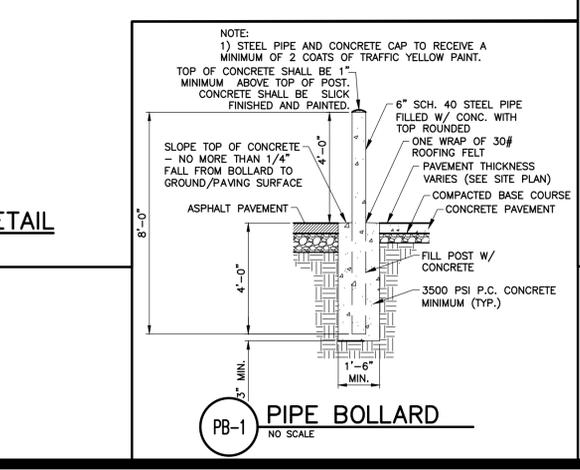
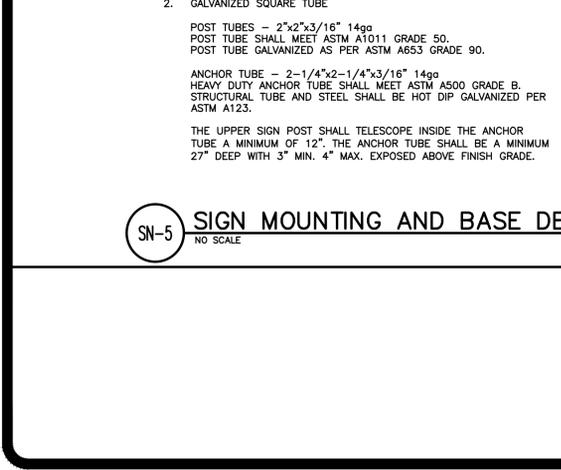
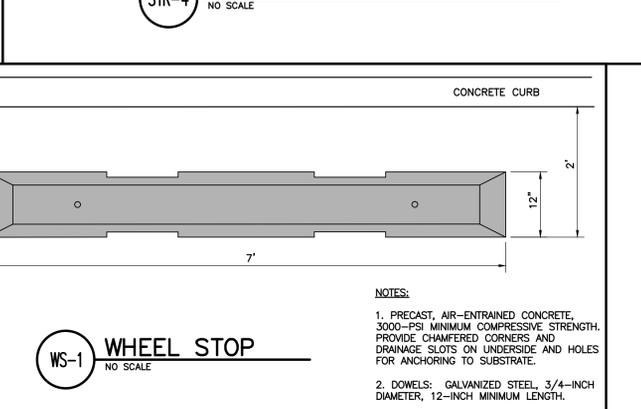
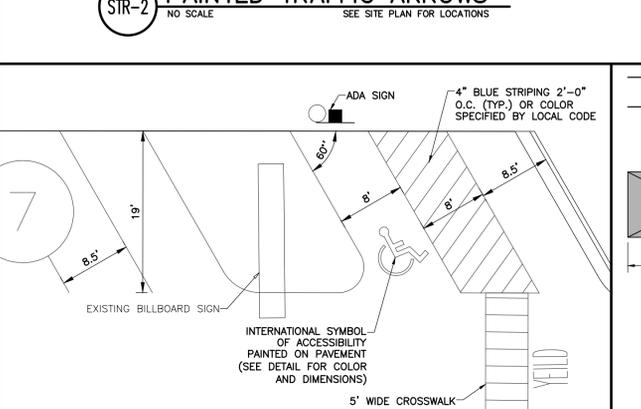
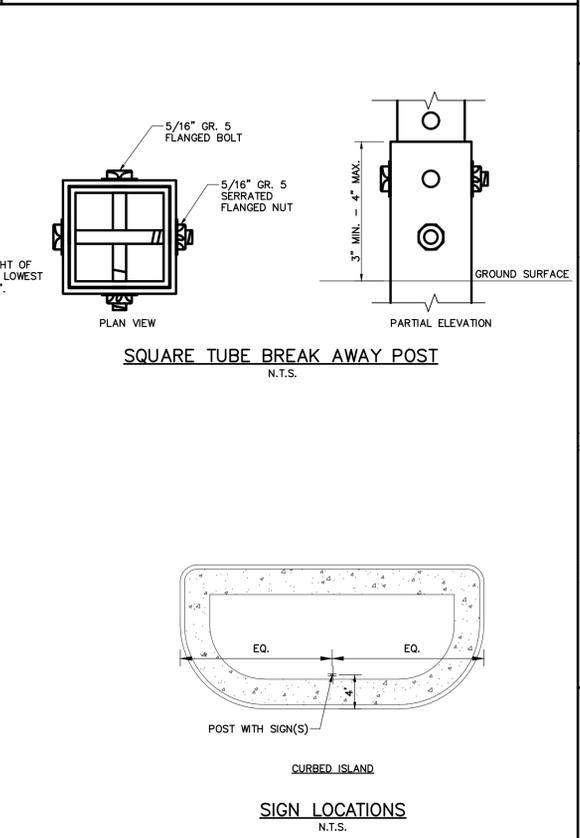
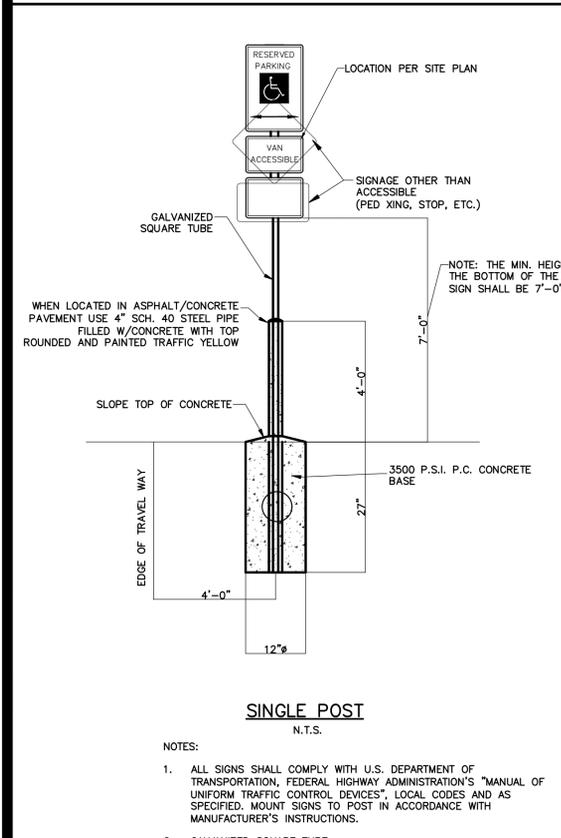
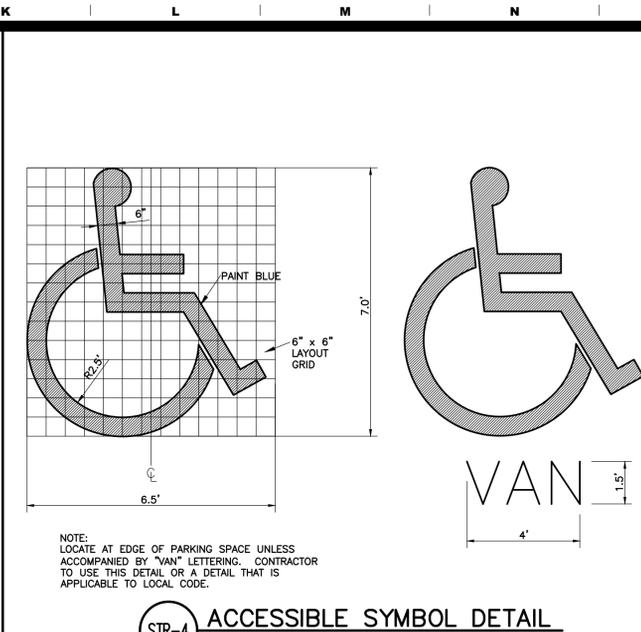
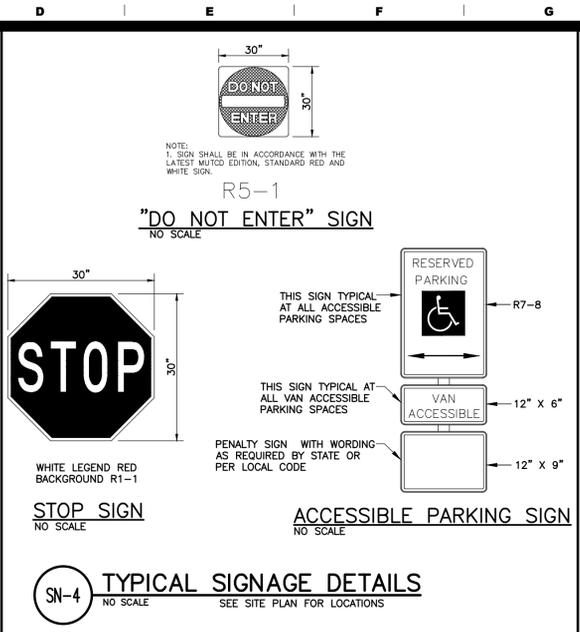
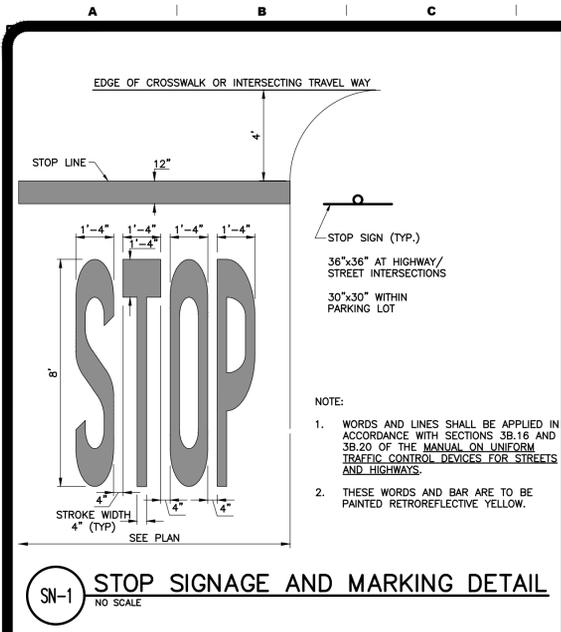
LANDSCAPE NOTES:

- GENERAL:**
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
 - The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
 - underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 - It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - State the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
 - Provide single-stem trees unless otherwise noted in plant schedule.
 - All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock."
 - It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owner's Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 - 10.0M bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
 - Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
 - All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
- 13.** Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
14. Landscape contractor shall kill & remove all existing weeds within the project site.
15. All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
16. Landscape contractor shall be in compliance with all federal, state and local laws/regulations relating to insect infestation and/or plant diseases.
17. All substitutions of plant material shall be submitted to Owner for approval.
- PRUNING:**
- Lightly prune trees at time of planting. Prune only the crossover limbs, intermediate leaders and/or any broken branches. Some interior limbs and lateral branches may be pruned. However, do not remove the terminal buds of branches.
 - Severed or damaged limbs shall be removed immediately and disposed of properly.
 - All pruning shall comply with ANSI A300 standards.
- INSURANCE:**
- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.
- MULCH:**
- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
 - No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Filter fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent overlaps.
 - Edge all beds with spaced-out curve unless otherwise noted.
- MAINTENANCE:**
- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials, and annuals for a period of 12 months after acceptance.
 - Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
 - Watering of seeded or sowed lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.
- SIGHT TRIANGLES:**
- No landscape material or other obstructions shall be placed or be maintained within the sight triangle area so as not to impede the vision between a height of three (3) inches (30") and ten feet (10') above the adjacent street or paving surfaces.
 - Sight triangles at the intersection of a public street and a private access way (except for a single family residence) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle area.
- TOPSOIL:**
- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian agtopnum peat moss as per planting details. Ratio-111 topsoil mix to a depth of 4" minimum and grade smooth.
 - Provide a soil analysis, as requested, made by independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
 - Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for protection all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
 - Landscape Contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operation and before application of shredded bark mulch.
 - Initial sitation controls prior to commencement of any grading operation, inspect and maintain all siltation fences on a weekly basis until vegetation is established.
- MISC. MATERIAL:**
- Provide stakes and deadman of sound, new designed, free of knots, and winter freezing. Additionally, only 3-ply tying material shall be used.
 - Tree wrap tape shall be 4" minimum, neoprene to prevent borer damage and winter freezing. Additionally, only 3-ply tying material shall be used.
- TURF:**
- All disturbed lawn areas to be seeded with a mixture of turf-type fescue (300# per acre and bluegrass (10# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. are areas more than one square foot per any 50 square feet shall be replaced.
 - Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND Irrigation system is operating.
 - Granular or pellet fertilizer containing 50% water-insoluble slow release nitrogen, phosphorus and potassium in a 12-12-12 composition.
 - The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners; approval prior to seeding and/or sod installation.
 - Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut to a uniform thickness of 1". No broken pieces, irregular pieces or torn pieces will be accepted.
 - Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
 - All sod shall be placed a maximum of 24 hours after harvesting.
- EROSION CONTROL BLANKET (Where applicable):**
- All seeded areas on slopes greater than 4:1 shall receive an erosion control blanket which shall consist of loose straw mat and anchor pins as manufactured by Northern American Green, DS 75 or approved equal. Install per manufacturer's recommendations.
- PLUG PLANTING NOTES:**
- All plugs to be 4-1/2" deep X 2" diameter minimum.
 - Plugs are to be planted in a hole dug with a trowel, spade or planting bar such that the hole is of a minimum diameter and depth to accommodate the plug and its roots, without damage.
 - Plugs shall be spaced in a triangulated layout approximately 24" on center. Plugs shall be planted through erosion control blanket where appropriate.
 - Obtain plugs from a reputable nursery.
 - Water plugs upon completion of planting so that soil is moist but not saturated.
 - If planting is delayed more than six hours after delivery, store plugs in the shade, protect from weather and mechanical damage and keep them moist and cool. All plugs shall be planted within 24 hours after delivery.
- WARRANTY:**
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
 - Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
 - Only one replacement per tree or shrub shall be provided at the end of the warranty, unless loss is due to failure to comply with the warranty.
 - Lawn establishment periods will be in effect once the lawn has been mowed three times. Plant establishment periods shall commence on the date of acceptance and 100% completion.
 - Written guarantee shall be provided to the owner per conditions outline in #1 above.

PRELIMINARY DRAWING
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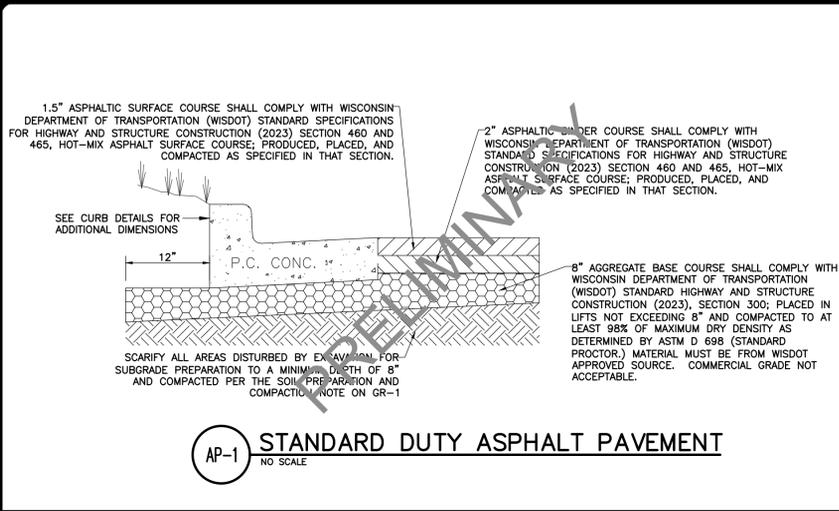
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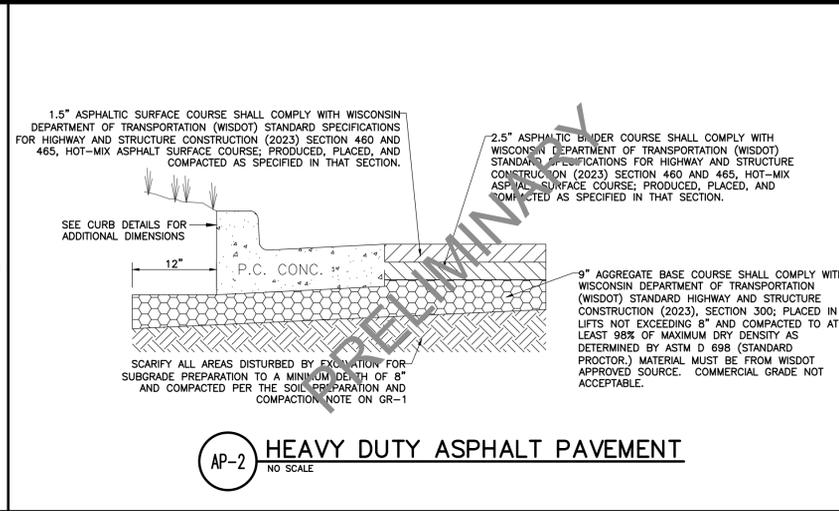
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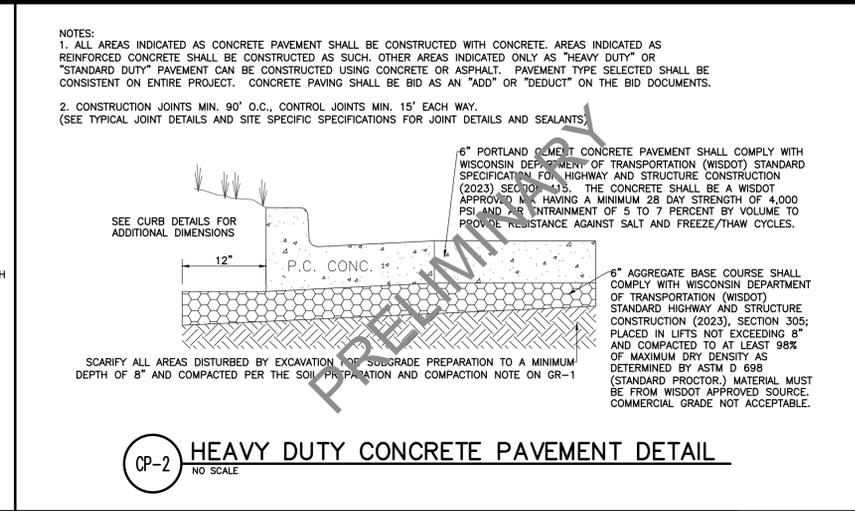
DTL-1



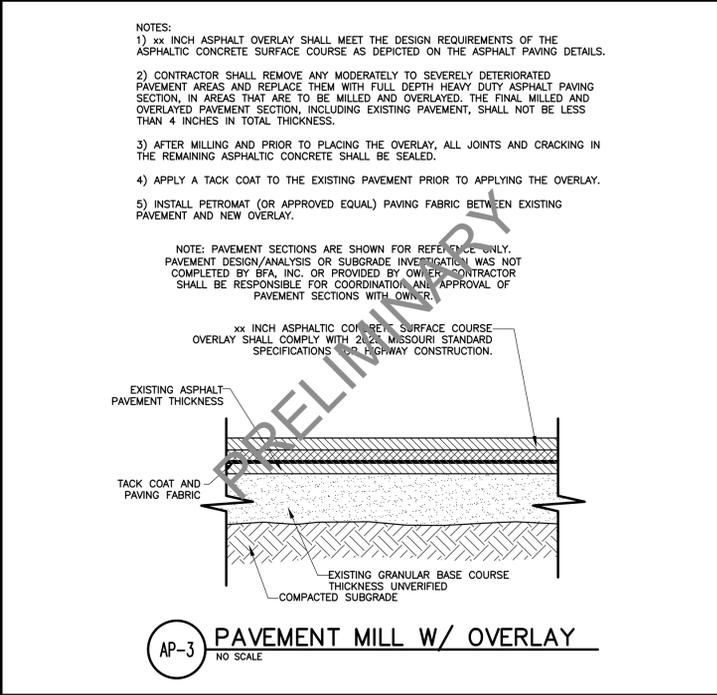
AP-1 STANDARD DUTY ASPHALT PAVEMENT
NO SCALE



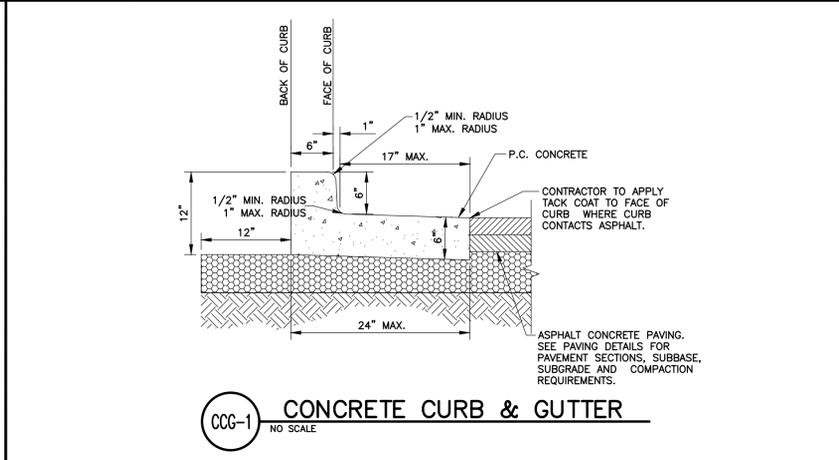
AP-2 HEAVY DUTY ASPHALT PAVEMENT
NO SCALE



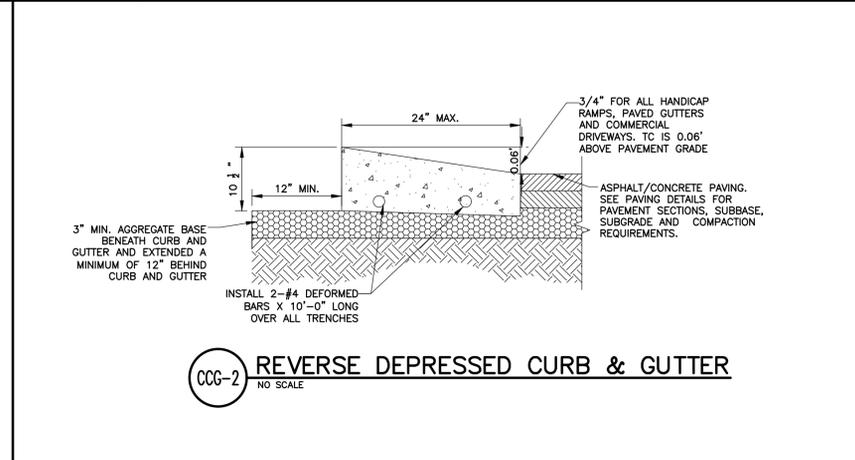
CP-2 HEAVY DUTY CONCRETE PAVEMENT DETAIL
NO SCALE



AP-3 PAVEMENT MILL W/ OVERLAY
NO SCALE



CCC-1 CONCRETE CURB & GUTTER
NO SCALE



CCC-2 REVERSE DEPRESSED CURB & GUTTER
NO SCALE

NOTES:
1. ALL AREAS INDICATED AS CONCRETE PAVEMENT SHALL BE CONSTRUCTED WITH CONCRETE. AREAS INDICATED AS REINFORCED CONCRETE SHALL BE CONSTRUCTED AS SUCH. OTHER AREAS INDICATED ONLY AS "HEAVY DUTY" OR "STANDARD DUTY" PAVEMENT CAN BE CONSTRUCTED USING CONCRETE OR ASPHALT. PAVEMENT TYPE SELECTED SHALL BE CONSISTENT ON ENTIRE PROJECT. CONCRETE PAVING SHALL BE BID AS AN "ADD" OR "DEDUCT" ON THE BID DOCUMENTS.
2. CONSTRUCTION JOINTS MIN. 90' O.C., CONTROL JOINTS MIN. 15' EACH WAY. (SEE TYPICAL JOINT DETAILS AND SITE SPECIFIC SPECIFICATIONS FOR JOINT DETAILS AND SEALANTS)

- NOTES:
1) xx INCH ASPHALT OVERLAY SHALL MEET THE DESIGN REQUIREMENTS OF THE ASPHALTIC CONCRETE SURFACE COURSE AS DEPICTED ON THE ASPHALT PAVING DETAILS.
2) CONTRACTOR SHALL REMOVE ANY MODERATELY TO SEVERELY DETERIORATED PAVEMENT AREAS AND REPLACE THEM WITH FULL DEPTH HEAVY DUTY ASPHALT PAVING SECTION, IN AREAS THAT ARE TO BE MILLED AND OVERLAYED, THE FINAL MILLED AND OVERLAYED PAVEMENT SECTION, INCLUDING EXISTING PAVEMENT, SHALL NOT BE LESS THAN 4 INCHES IN TOTAL THICKNESS.
3) AFTER MILLING AND PRIOR TO PLACING THE OVERLAY, ALL JOINTS AND CRACKING IN THE REMAINING ASPHALTIC CONCRETE SHALL BE SEALED.
4) APPLY A TACK COAT TO THE EXISTING PAVEMENT PRIOR TO APPLYING THE OVERLAY.
5) INSTALL PETROMAT (OR APPROVED EQUAL) PAVING FABRIC BETWEEN EXISTING PAVEMENT AND NEW OVERLAY.

NOTE: PAVEMENT SECTIONS ARE SHOWN FOR REFERENCE ONLY. PAVEMENT DESIGN/ANALYSIS OR SUBGRADE INVESTIGATION WAS NOT COMPLETED BY BFA, INC. OR PROVIDED BY OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND APPROVAL OF PAVEMENT SECTIONS WITH OWNER.

xx INCH ASPHALTIC CONCRETE SURFACE COURSE OVERLAY SHALL COMPLY WITH 2023 MISSOURI STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

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LEAWOOD, KS 66211

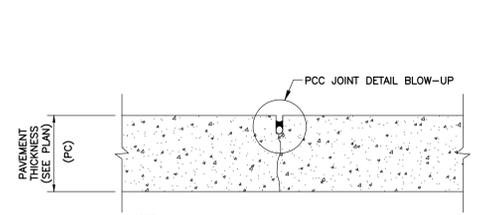
REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

DRAWN	B.L.F.
CHECKED	J.B.S.
DATE	07/12/24
SCALE	NONE
JOB No.	8306
SHEET NAME	DETAIL SHEET 2

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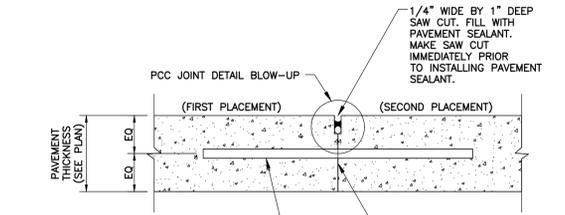
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DTL-2



NOTE:
1. PROVIDE CONTRACTION JOINTS AT SPACING OF 12'-0" O.C., MAXIMUM EACH WAY WITH NO SECTION OF PAVING BEING LESS THAN 5'-0" WIDE.

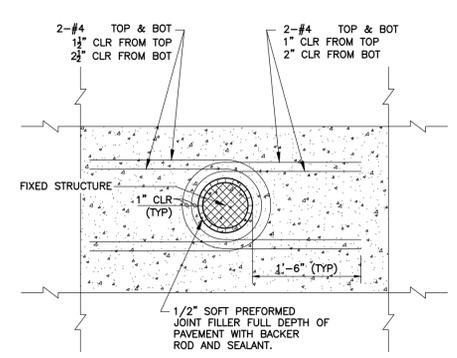
CONTRACTION JOINT



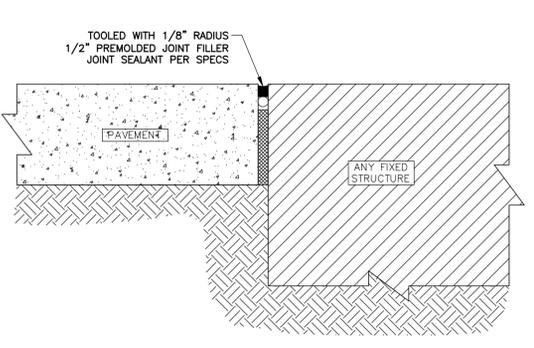
3/4" DIAMETER DOWEL FOR 6" THICK PAVEMENTS AND 1/2" DIAMETER DOWEL FOR 4" OR 5" THICK PAVEMENTS. DOWELS TO BE 10" LONG CENTERED WITH JOINT SPACED AT 18" ON CENTER. DOWEL TO BE INSTALLED IN FORM WITH AN APPROVED ALIGNMENT DEVICE. LIGHTLY OIL FULL LENGTH OF DOWEL.

APPLY CURING COMPOUND TO SLAB FACE AT A COVERAGE RATE OF 300 SF MAX PER GALLON TO ACT AS A BOND BREAKER AT LEAST 48 HOURS PRIOR TO PLACING NEW SLAB.

CONSTRUCTION JOINT

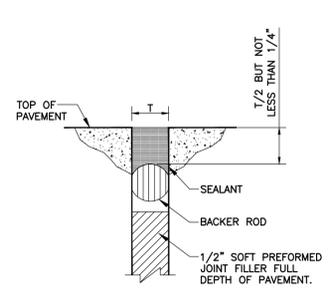


USES: MANHOLES, LIGHT POLE BASES AND BOLLARDS



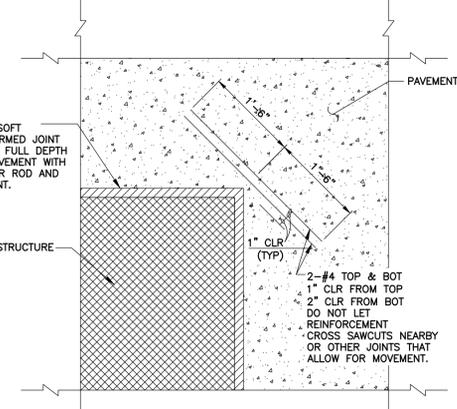
ISOLATION JOINT TO BE USED FOR FIXED STRUCTURES SUCH AS BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP INLETS, MANHOLES, LIGHT POLE BASES AND BOLLARDS. PAVEMENT IS NOT CONSIDERED A FIXED STRUCTURE.

ISOLATION JOINT



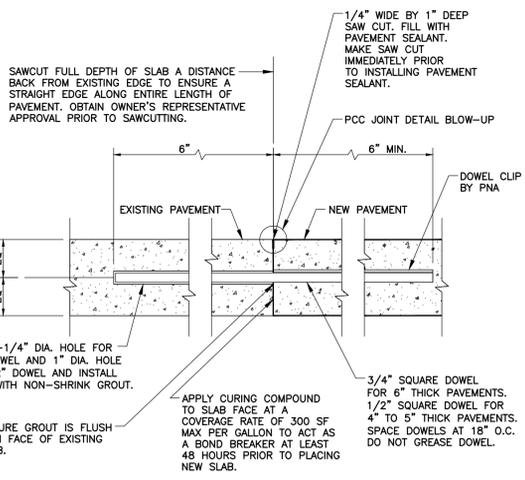
BACKER ROD AND SEALANT SECTION AT FIXED STRUCTURE

CJ-2 ISOLATION JOINT DETAILS
NO SCALE



USES: BUILDINGS, RETAINING WALLS/DOCK WALLS AND DROP INLETS

TYPICAL RECTANGULAR FIXED STRUCTURE PLAN DETAIL



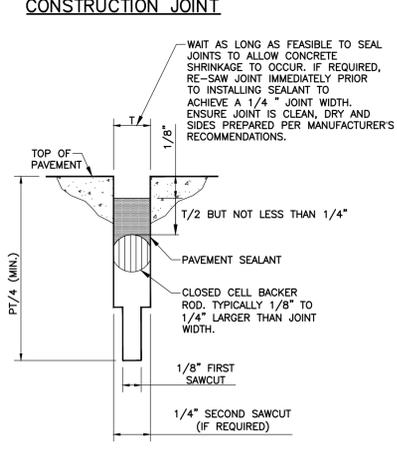
DRILL 1-1/4" DIA. HOLE FOR 3/4" DOWEL AND 1" DIA. HOLE FOR 1/2" DOWEL AND INSTALL DOWEL WITH NON-SHRINK GROUT. ENSURE GROUT IS FLUSH WITH FACE OF EXISTING SLAB.

APPLY CURING COMPOUND TO SLAB FACE AT A COVERAGE RATE OF 300 SF MAX PER GALLON TO ACT AS A BOND BREAKER AT LEAST 48 HOURS PRIOR TO PLACING NEW SLAB.

3/4" SQUARE DOWEL FOR 6" THICK PAVEMENTS. 1/2" SQUARE DOWEL FOR 4" TO 5" THICK PAVEMENTS. SPACE DOWELS AT 18" O.C. DO NOT GREASE DOWEL.

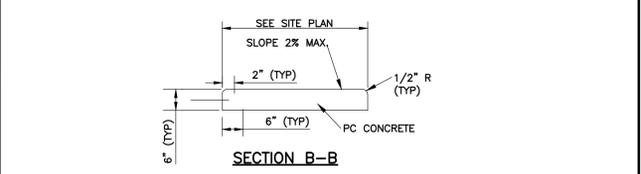
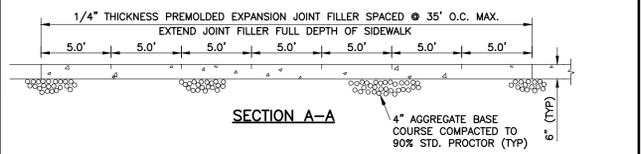
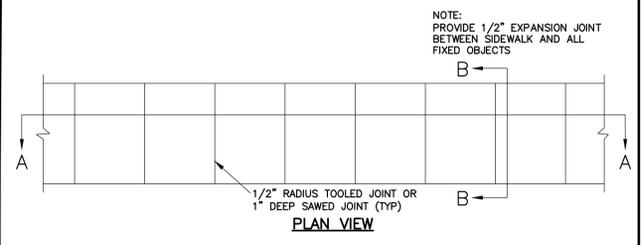
CONSTRUCTION JOINT TO EXISTING PAVEMENT

CJ-1 CONCRETE JOINT DETAILS
NO SCALE

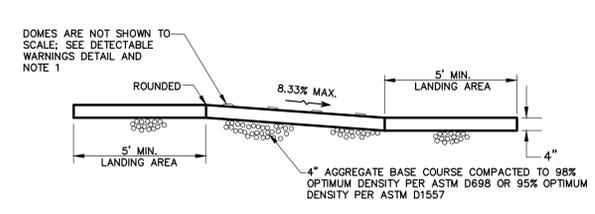
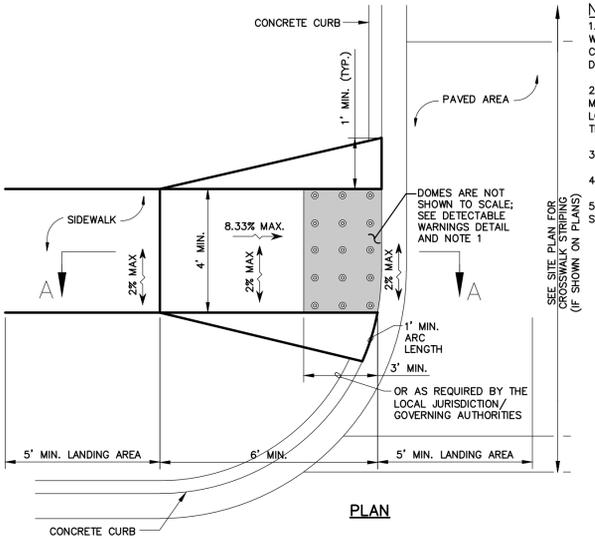


NOTES:
1. ENSURE JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.
2. INSTALL CLOSED CELL BACKER ROD AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
3. INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH.
4. JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.

JOINT DETAIL BLOW-UP (TYP.)

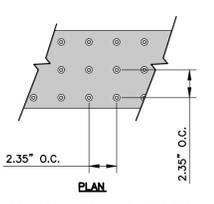
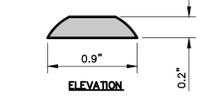


CS-1 CONCRETE SIDEWALK DETAIL
NO SCALE



CS-2 ADA RAMP IN SIDEWALK DETAIL
NO SCALE

NOTES:
1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.
2. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
3. CONSTRUCT PER A.D.A. STANDARDS.
4. REFER TO PLANS FOR ADJACENT SLOPES.
5. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1:50.



NOTE: PREFABRICATED PANELS PER A.D.A. ACCESSIBILITY GUIDELINES SECTION 4.29.2 & 4.29.2 SHALL BE USED.

DETECTABLE WARNINGS DETAIL

PRELIMINARY DRAWING

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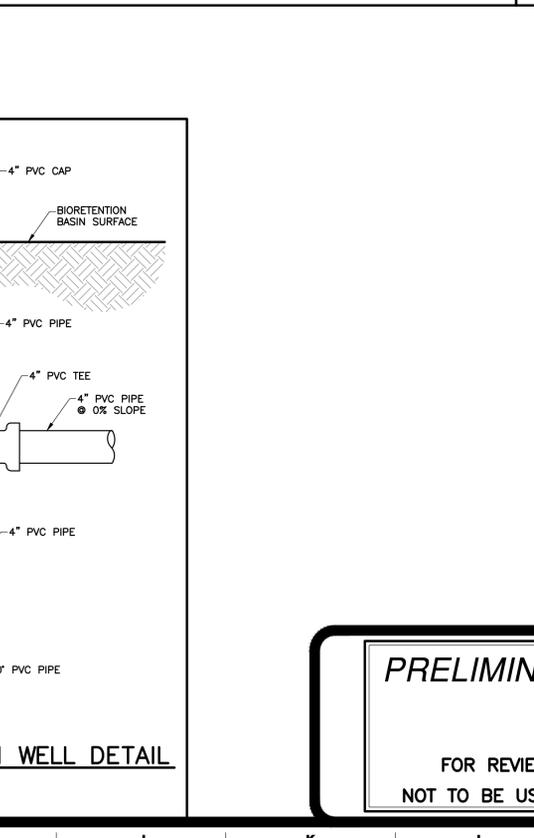
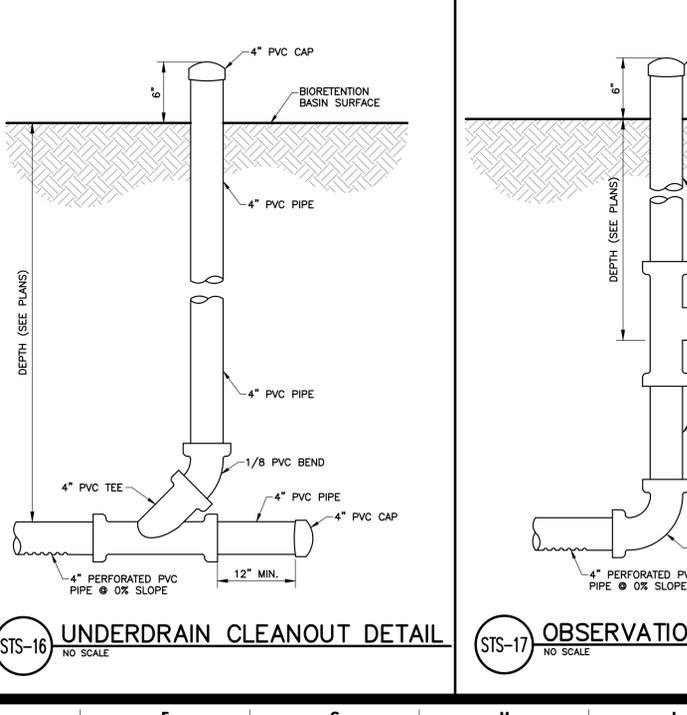
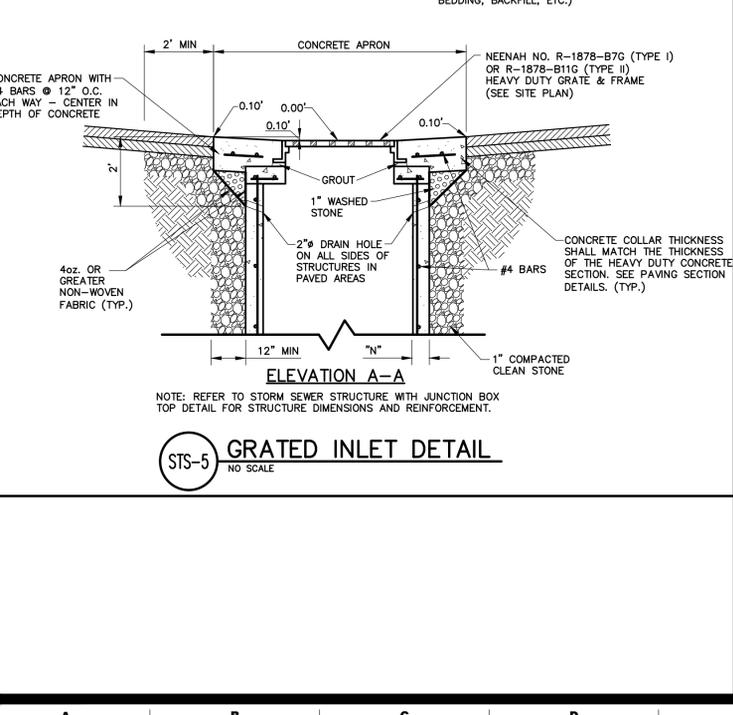
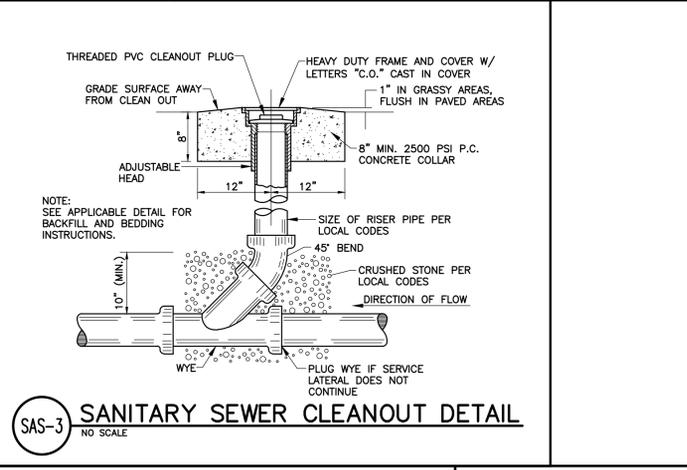
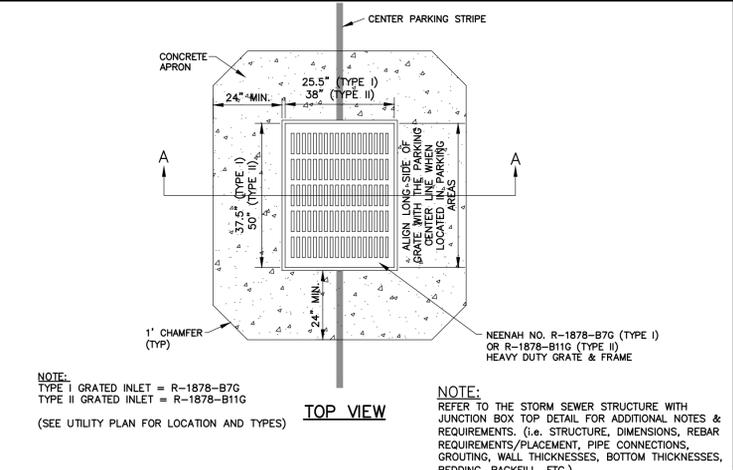
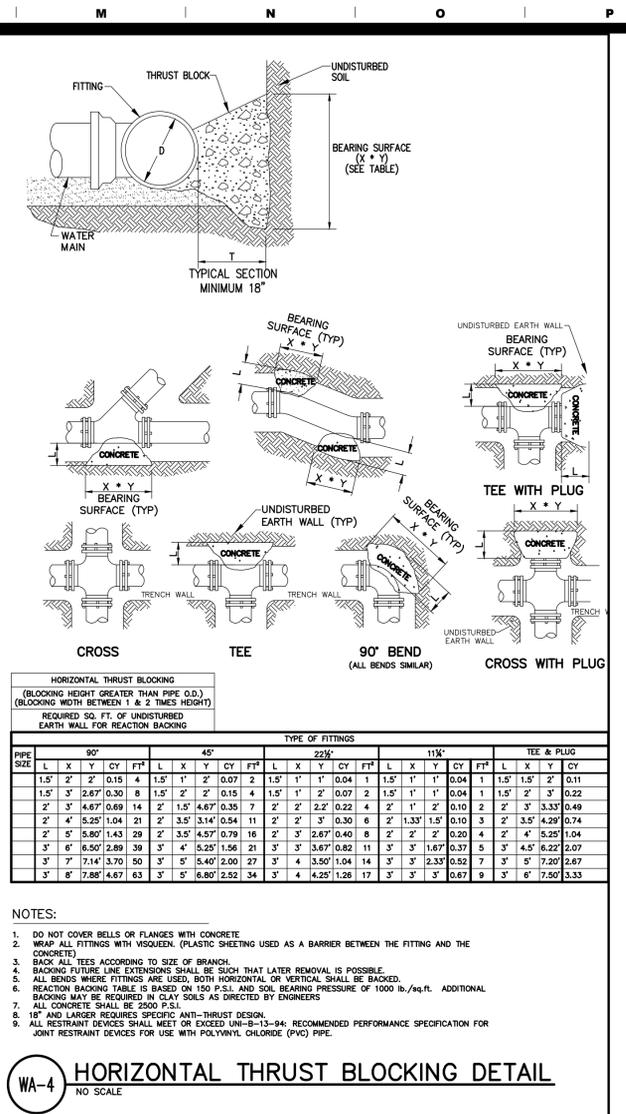
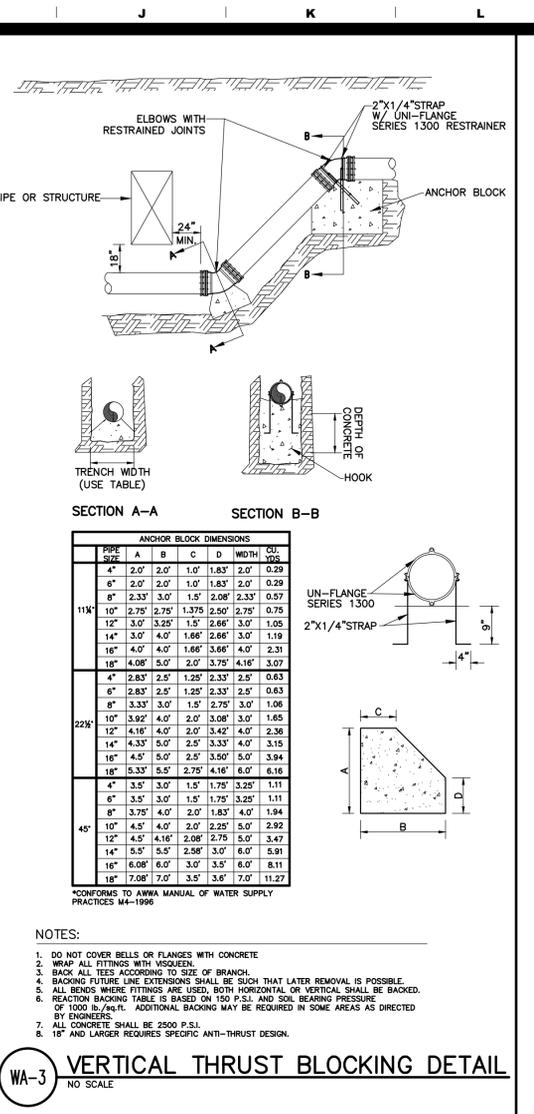
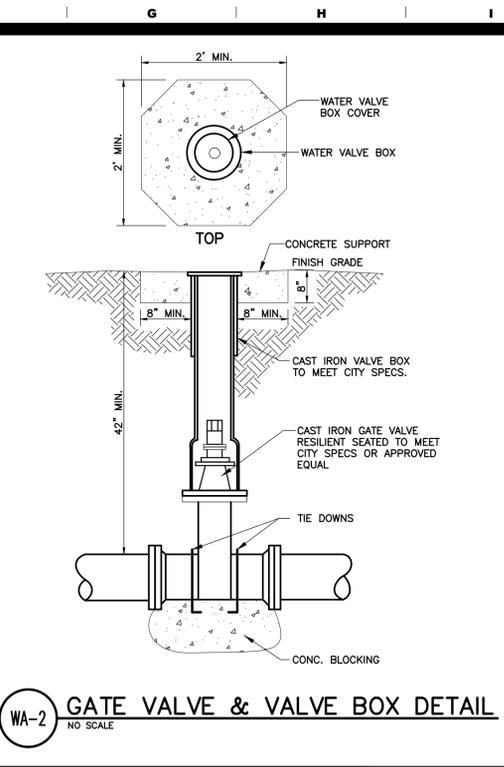
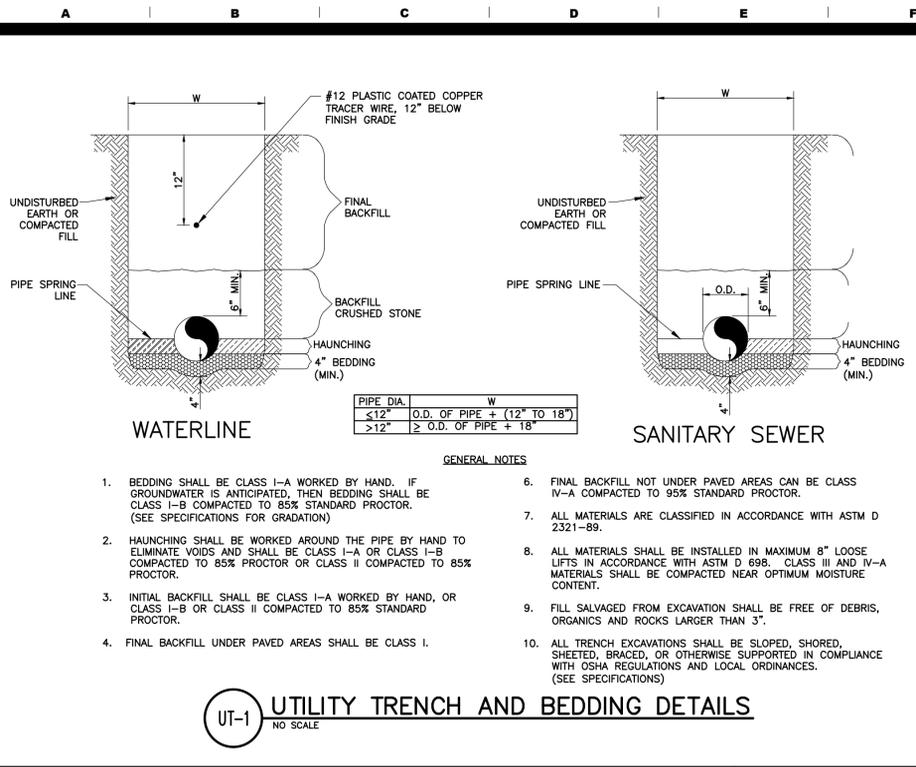
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LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

DRAWN B.L.F.
CHECKED J.B.S.
DATE 07/12/24
SCALE NONE
JOB No. 8036
SHEET NAME DTL-3
DETAIL SHEET 3

DTL-3



Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

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CHECKED J.B.S.
DATE 07/12/24
SCALE NONE
JOB No. 8036
SHEET NAME DETAIL SHEET 4

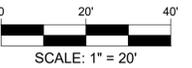
DTL-4

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS

NO.	DATE	BY	APP.
1			
2			
3			
4			

PRE DEVELOPMENT DRAINAGE AREA MAP



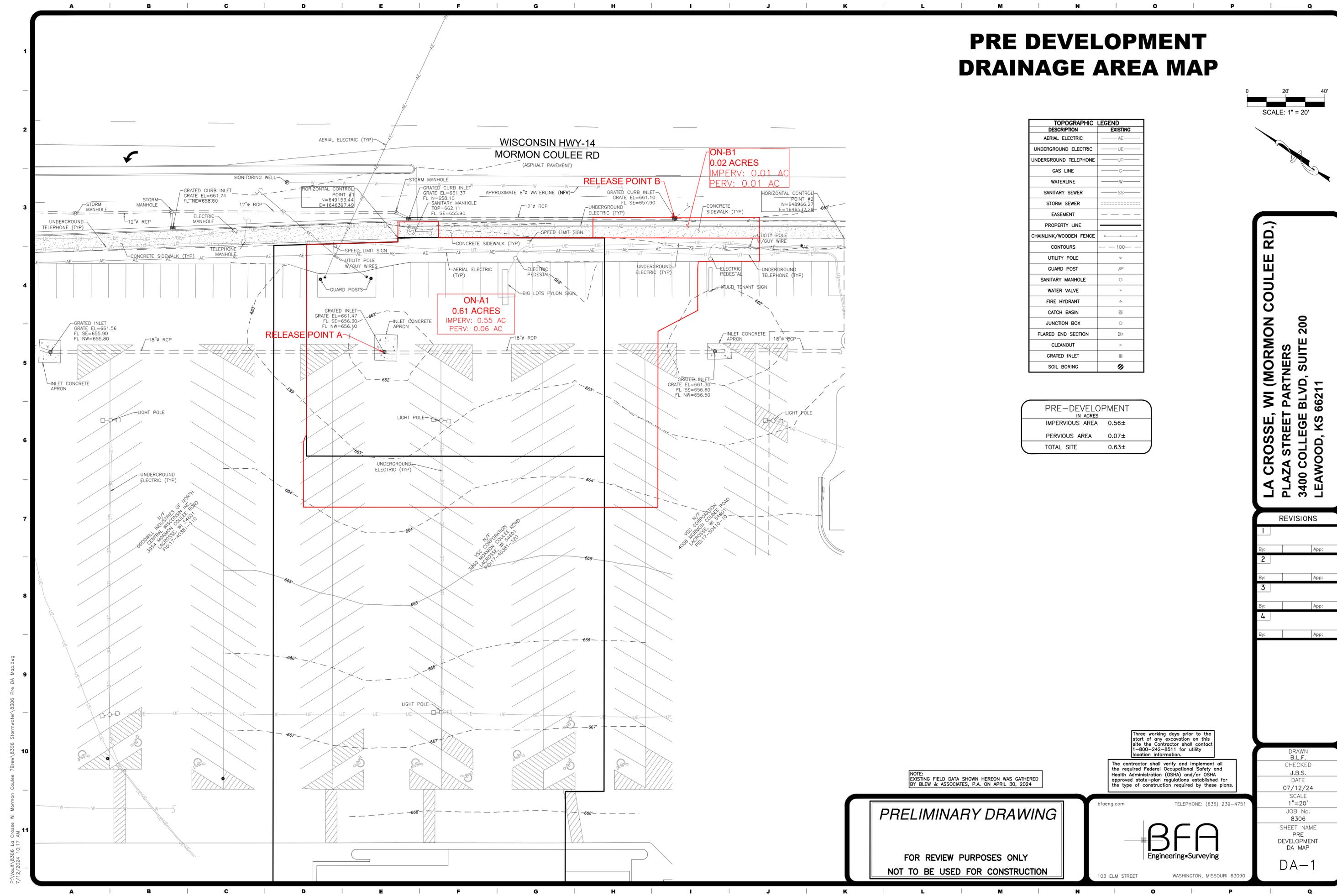
TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	AE
UNDERGROUND ELECTRIC	UE
UNDERGROUND TELEPHONE	UT
GAS LINE	G
WATERLINE	W
SANITARY SEWER	SS
STORM SEWER	-----
EASEMENT	---
PROPERTY LINE	---
CHAINLINK/WOODEN FENCE	--- ---
CONTOURS	---100---
UTILITY POLE	○
GUARD POST	⊥
SANITARY MANHOLE	○
WATER VALVE	•
FIRE HYDRANT	•
CATCH BASIN	⊞
JUNCTION BOX	○
FLARED END SECTION	▷
CLEANOUT	•
GRADED INLET	⊞
SOIL BORING	⊙

PRE-DEVELOPMENT	
IN ACRES	
IMPERVIOUS AREA	0.56±
PERVIOUS AREA	0.07±
TOTAL SITE	0.63±

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

DRAWN	B.L.F.
CHECKED	J.B.S.
DATE	07/12/24
SCALE	1"=20'
JOB No.	8306
SHEET NAME	PRE DEVELOPMENT DA MAP
DA-1	



ON-A1
0.61 ACRES
IMPERV: 0.55 AC
PERV: 0.06 AC

ON-B1
0.02 ACRES
IMPERV: 0.01 AC
PERV: 0.01 AC

RELEASE POINT B

RELEASE POINT A

NOTE:
 EXISTING FIELD DATA SHOWN HEREON WAS GATHERED
 BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.
 The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

PRELIMINARY DRAWING

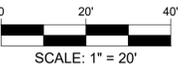
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103 ELM STREET WASHINGTON, MISSOURI 63090

P:\Vault\8306 La Crosse WI Mormon Coulee 7Brew 8306 Stormwater\8306 Pre DA Map.dwg
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POST DEVELOPMENT DRAINAGE AREA MAP



TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	AE
UNDERGROUND ELECTRIC	UE
UNDERGROUND TELEPHONE	UT
GAS LINE	G
WATERLINE	W
SANITARY SEWER	SS
STORM SEWER	ST
EASEMENT	E
PROPERTY LINE	PL
CHAINLINK/WOODEN FENCE	CF
CONTOURS	100
UTILITY POLE	UP
GUARD POST	GP
SANITARY MANHOLE	SM
WATER VALVE	WV
FIRE HYDRANT	FH
CATCH BASIN	CB
JUNCTION BOX	JB
FLARED END SECTION	FES
CLEANOUT	CO
GRADED INLET	GI
SOIL BORING	SB

POST DEVELOPMENT	
	IN ACRES
IMPERVIOUS AREA	0.49±
PERVIOUS AREA	0.14±
TOTAL SITE	0.63±

LA CROSSE, WI (MORMON COULEE RD.)
PLAZA STREET PARTNERS
3400 COLLEGE BLVD, SUITE 200
LEAWOOD, KS 66211

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

DRAWN	B.L.F.
CHECKED	J.B.S.
DATE	07/12/24
SCALE	1"=20'
JOB No.	8306
SHEET NAME	POST DEVELOPMENT DA MAP
DA-2	

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY BLEW & ASSOCIATES, P.A. ON APRIL 30, 2024

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-242-8511 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

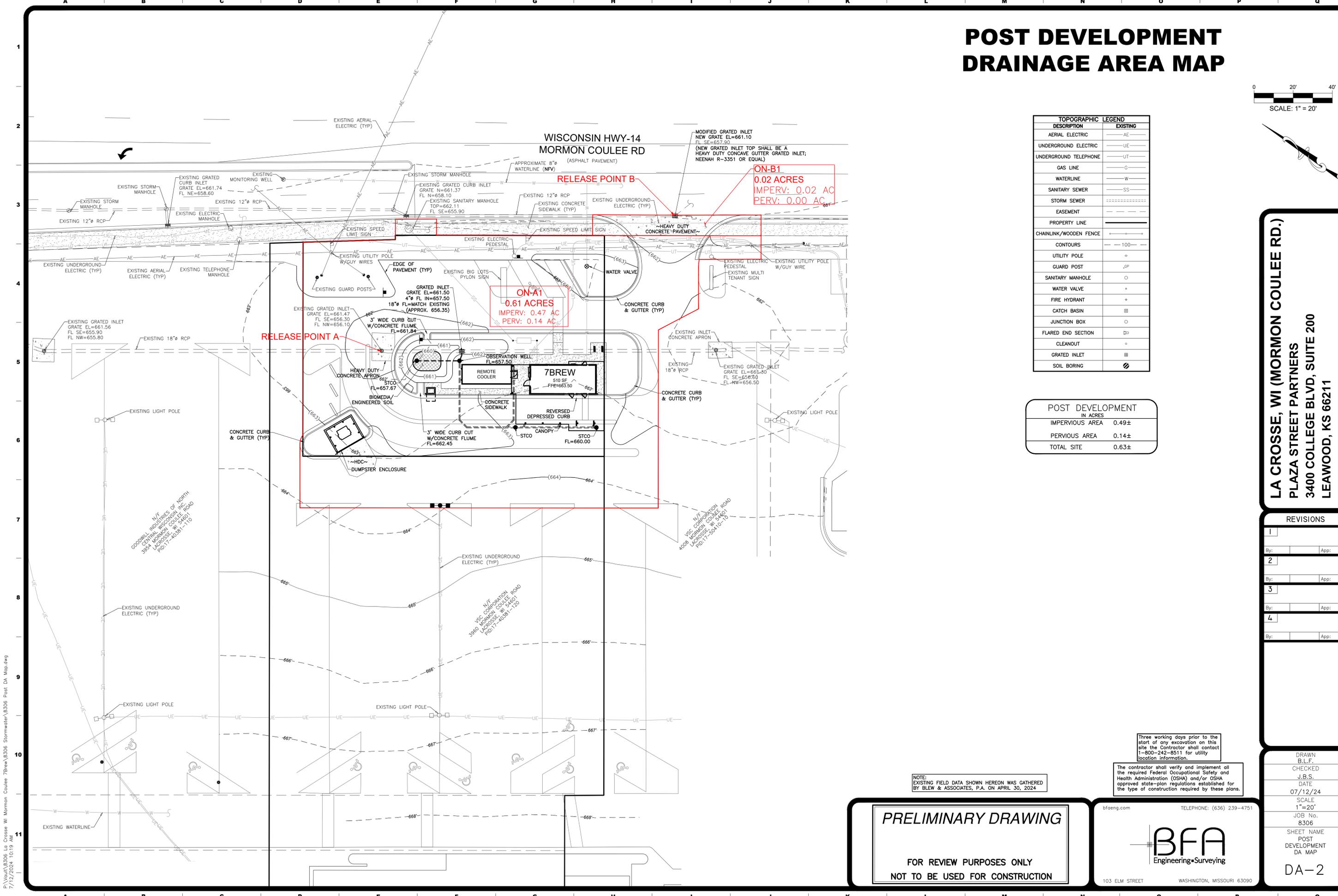
PRELIMINARY DRAWING

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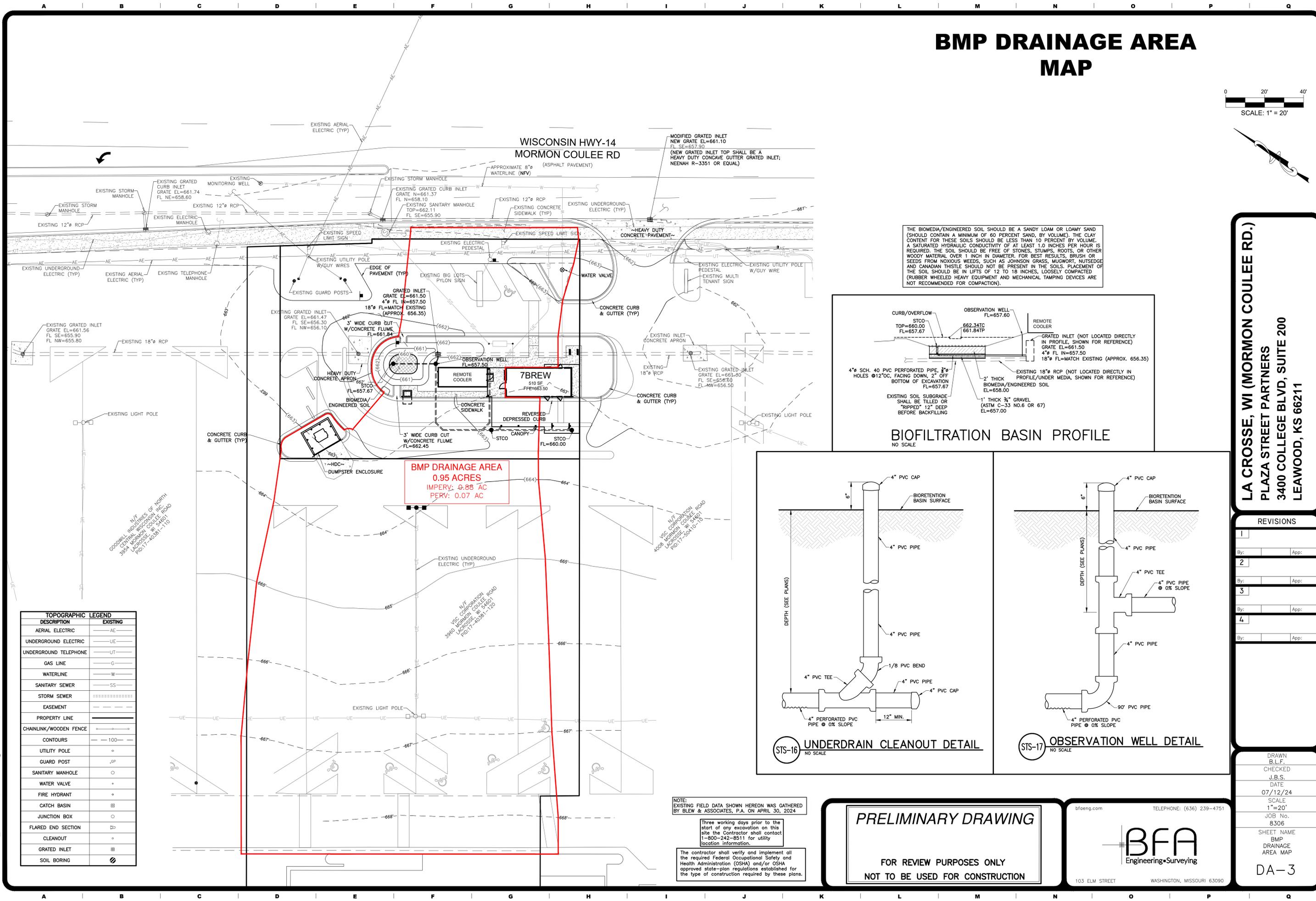
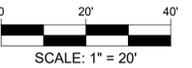
BFA
Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

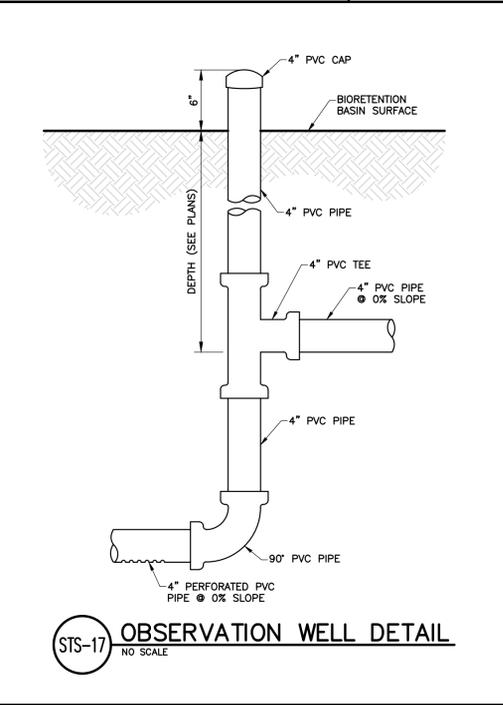
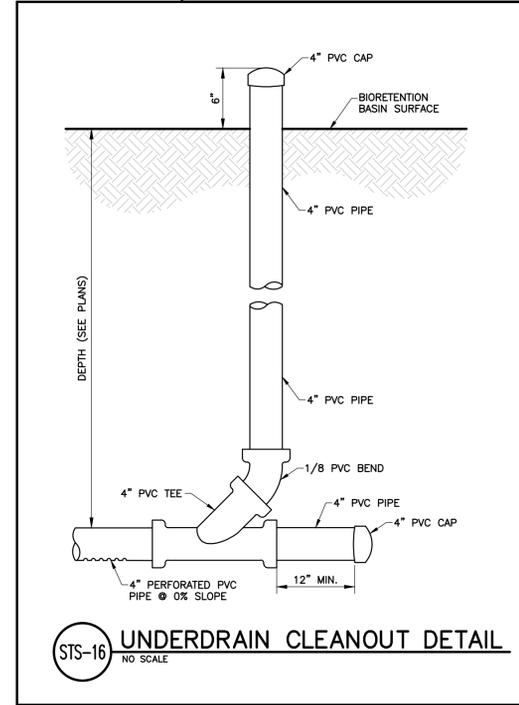
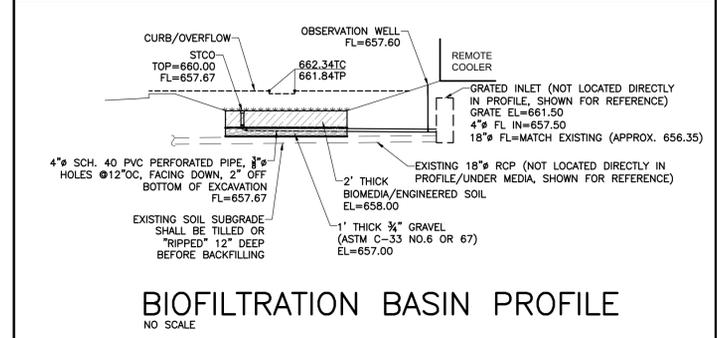


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BMP DRAINAGE AREA MAP



THE BIOMEDIA/ENGINEERED SOIL SHOULD BE A SANDY LOAM OR LOAMY SAND (SHOULD CONTAIN A MINIMUM OF 60 PERCENT SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 10 PERCENT BY VOLUME. A SATURATED HYDRAULIC CONDUCTIVITY OF AT LEAST 1.0 INCHES PER HOUR IS REQUIRED. THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1 INCH IN DIAMETER. FOR BEST RESULTS, BRUSH OR SEEDS FROM NOXIOUS WEEDS, SUCH AS JOHNSON GRASS, MUGWORT, NUTSEDGE AND CANADIAN THISTLE SHOULD NOT BE PRESENT IN THE SOILS. PLACEMENT OF THE SOIL SHOULD BE IN LIFTS OF 12 TO 18 INCHES, LOOSELY COMPACTED (RUBBER WHEELED HEAVY EQUIPMENT AND MECHANICAL TAMPING DEVICES ARE NOT RECOMMENDED FOR COMPACTION).



TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	AE
UNDERGROUND ELECTRIC	UE
UNDERGROUND TELEPHONE	UT
GAS LINE	G
WATERLINE	W
SANITARY SEWER	SS
STORM SEWER	SS
EASEMENT	---
PROPERTY LINE	---
CHAINLINK/WOODEN FENCE	---
CONTOURS	100
UTILITY POLE	o
GUARD POST	oP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CATCH BASIN	o
JUNCTION BOX	o
FLARED END SECTION	o
CLEANOUT	o
GRADED INLET	o
SOIL BORING	o

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SHEET NAME BMP DRAINAGE AREA MAP
DA-3