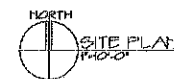
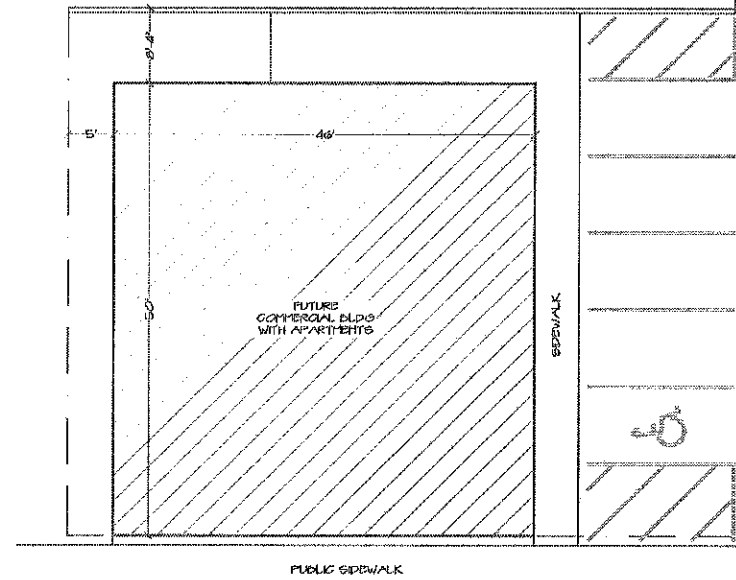
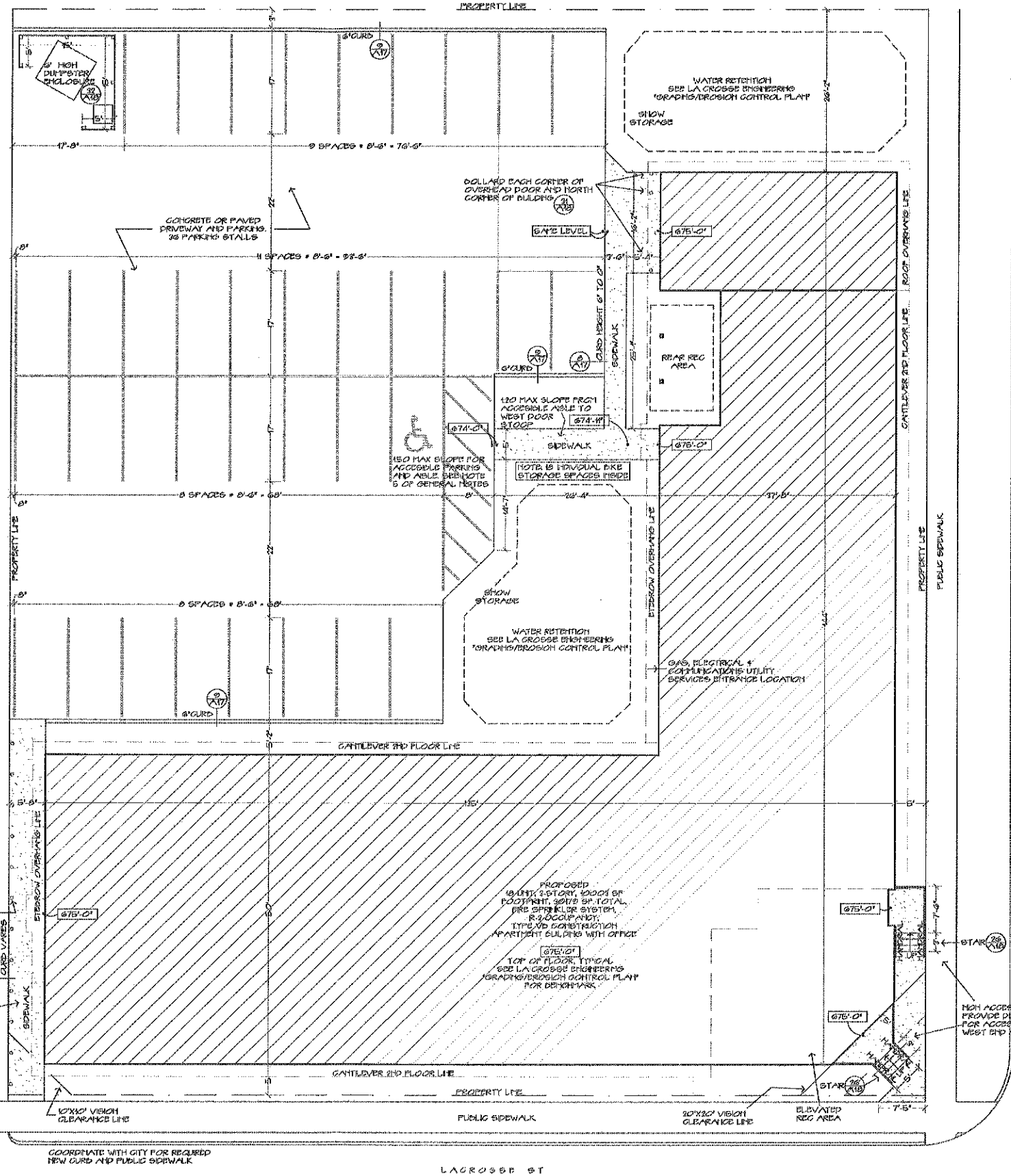


GENERAL NOTES:

1. ALL WORK MUST COMPLY WITH THE 2009 INTERNATIONAL CODE COUNCIL, SUITE OF BUILDING CODES, WISCONSIN AMENDMENTS AND CHARTERS 360.356 AND LOCAL CODES. THE BUILDING IS AN R-2 OCCUPANCY, TYPE I/II CONSTRUCTION WITH ITS DESIGN BASED ON ACP/SF GROUND SNOW LOAD, 20 LBS/100 SF WIND LOAD, EXPOSURE B, IMPORTANCE CATEGORY I (BOL), SEISMIC DESIGN CATEGORY A.
2. FENCES OR OTHER BARRIERS SHALL BE PROVIDED TO PROTECT AND PREVENT PUBLIC ENTRY TO PROJECT SITE AND TO RESTRICT CONSTRUCTION OPERATIONS TO DESIGNATED WORK/STORAGE AREAS.
3. EROSION CONTROL DEVICES SHALL BE PROVIDED AS REQUIRED BY DEPARTMENT OF NATURAL RESOURCES.
4. CONTACT DIGGERS HOTLINE AND LOCAL UTILITIES FOR LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION WORK.
5. ACCESSIBLE PARKING & ASLE SHALL HAVE A MAXIMUM SLOPE NO GREATER THAN 1/50. THE ACCESSIBLE PATH FROM PUBLIC SIDEWALK AND ACCESSIBLE PARKING ASLE THROUGH BUILDING ENTRANCE SHALL HAVE A VERTICAL CHANGE IN ELEVATION NO GREATER THAN 1/4". 1/2" DEVELOPED CHANGE IN ELEVATION NO GREATER THAN 1/2". A CONTINUOUS SLOPE NO GREATER THAN 1/20 OTHER THAN RAMP ASLE. A GROSS SLOPE NO GREATER THAN 1/50, A WIDTH NO LESS THAN 96". SURFACES OF ACCESSIBLE PATH AND PARKING SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESSIBLE PARKING SPACE WITH SIGNAGE CONFORMING WITH TRANS 202.07.
6. FIRE SPRINKLER SYSTEM CONTRACTOR SHALL DESIGN & PROVIDE ALL REQUIRED NFPA FOR FIRE PROTECTION SYSTEM SUBMITTALS FOR LOCAL & STATE APPROVAL.
7. FIRE ALARM SYSTEM CONTRACTOR SHALL DESIGN & PROVIDE ALL REQUIRED FIRE ALARM SUBMITTALS FOR LOCAL & STATE APPROVAL.

CITY OF LA CROSSE MULTI-FAMILY REQUIREMENTS
 APARTMENT BUILDING
 3-STORY, 10,000 SF FOOTPRINT, 30,000 SF TOTAL
 APARTMENTS: 100 2-BDR UNITS + 36 BEDROOMS TOTAL
 LOT AREA: 25,516 SF
 REQUIRED REAR YARD GREEN SPACE ALTERNATE (E-607) -
 5% OF LOT AREA = 1,276 SF
 ACTUAL REAR GREEN SPACE AREA = 3,820 SF
 EXCLUDES REC & HARD SURFACE AREAS
 REQUIRED RED SPACE AREA = 2,000 SF
 200 SF HARD-PAVED REAR YARD
 200 SF ELEVATED FRONT RED SPACE
 400 SF REAR YARD RED SPACE
 REQUIRED BLUE SPACE = 36/3
 = 12 SPACES OF 17X6 AREA
 INTERIOR STORAGE



SHEET INDEX

NO.	DESCRIPTION	DATE
01	GENERAL NOTES	4/18/2017
02	GENERAL NOTES	4/18/2017
03	PARTIAL FIRST FLOOR PLAN	4/18/2017
04	PARTIAL FIRST FLOOR PLAN	4/18/2017
05	PARTIAL SECOND FLOOR PLAN	4/18/2017
06	PARTIAL SECOND FLOOR PLAN	4/18/2017
07	PARTIAL THIRD FLOOR PLAN	4/18/2017
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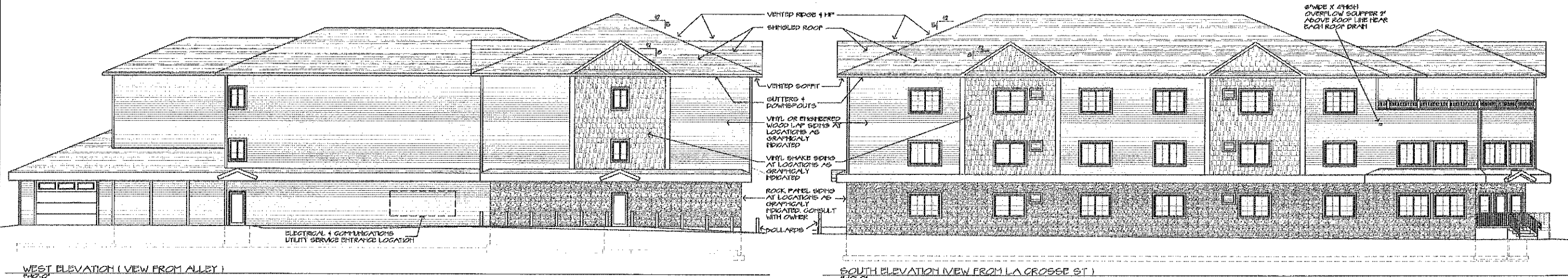
Architect
Parker Architecture
 2075 WEST WISCONSIN AVENUE
 FISH KILL, WI 53127-3400
 TEL: 414.480.4880

Owner / Project
Brett Sawyer
 La Crosse Street Apartments
 La Crosse, Wisconsin
 140501

Sheet Description
Site Plan

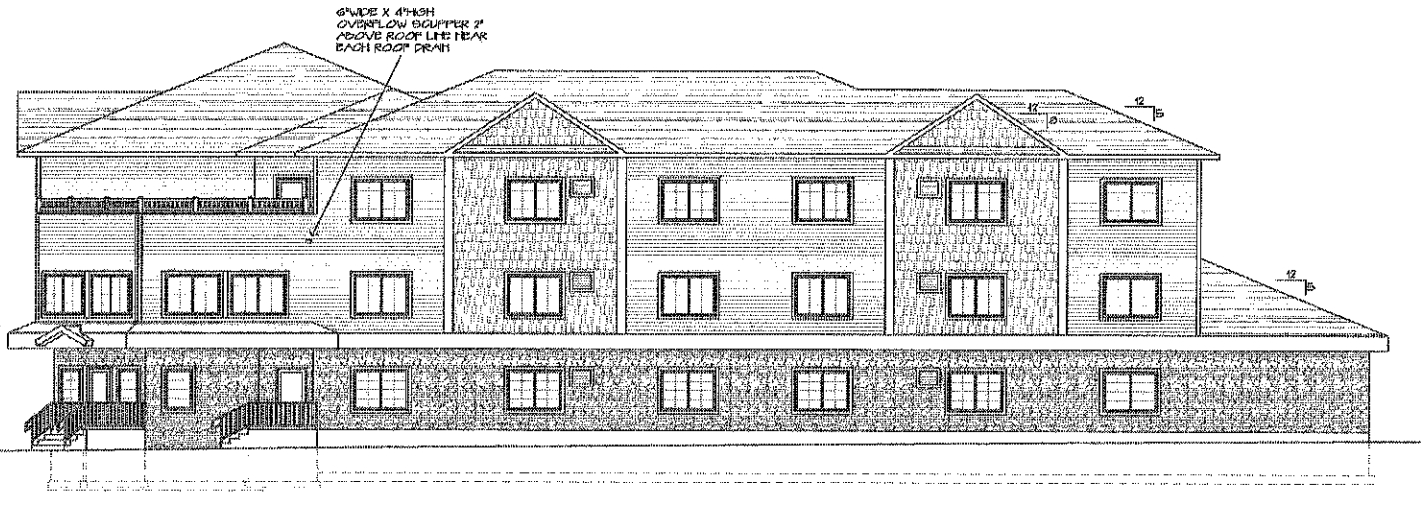
Sheet No. **C1**

Issue/Revision Date: 3/22/2017



WEST ELEVATION (VIEW FROM ALLEY)
P.10.2

SOUTH ELEVATION (VIEW FROM LA CROSSE ST)
P.10.2



EAST ELEVATION (VIEW FROM 4TH ST N)
P.10.2



NORTH ELEVATION
P.10.2

Architect
Parker Architecture
353.752.2777
www.parkerarch.com
100
1000
Tomlin, WI 53080-0000

Owner / Project

Brett Sawyer
La Crosse Street Apartments
La Crosse, Wisconsin

140501

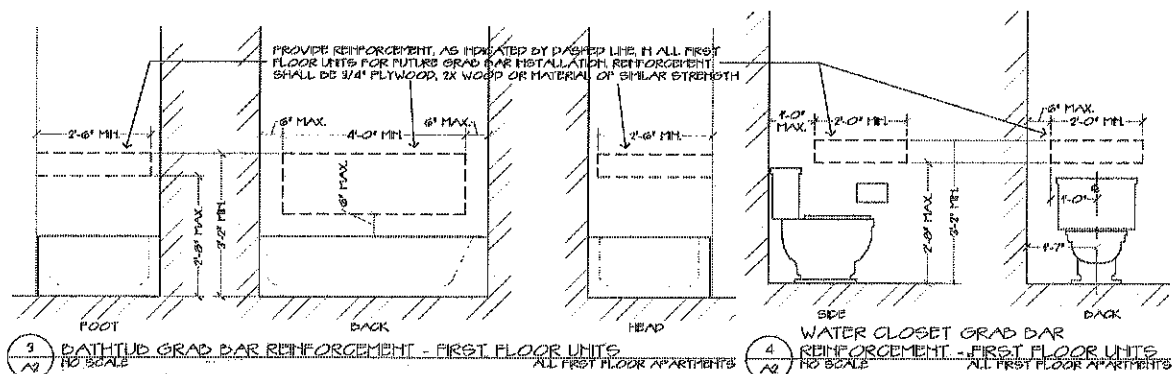
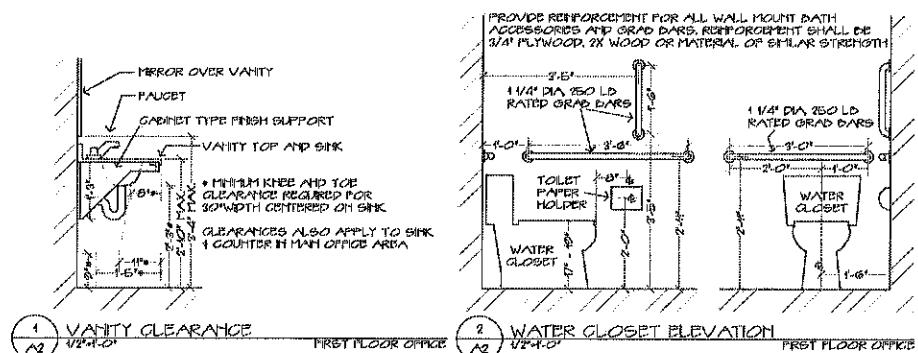
By:
BJS

Sheet Description
Elevations

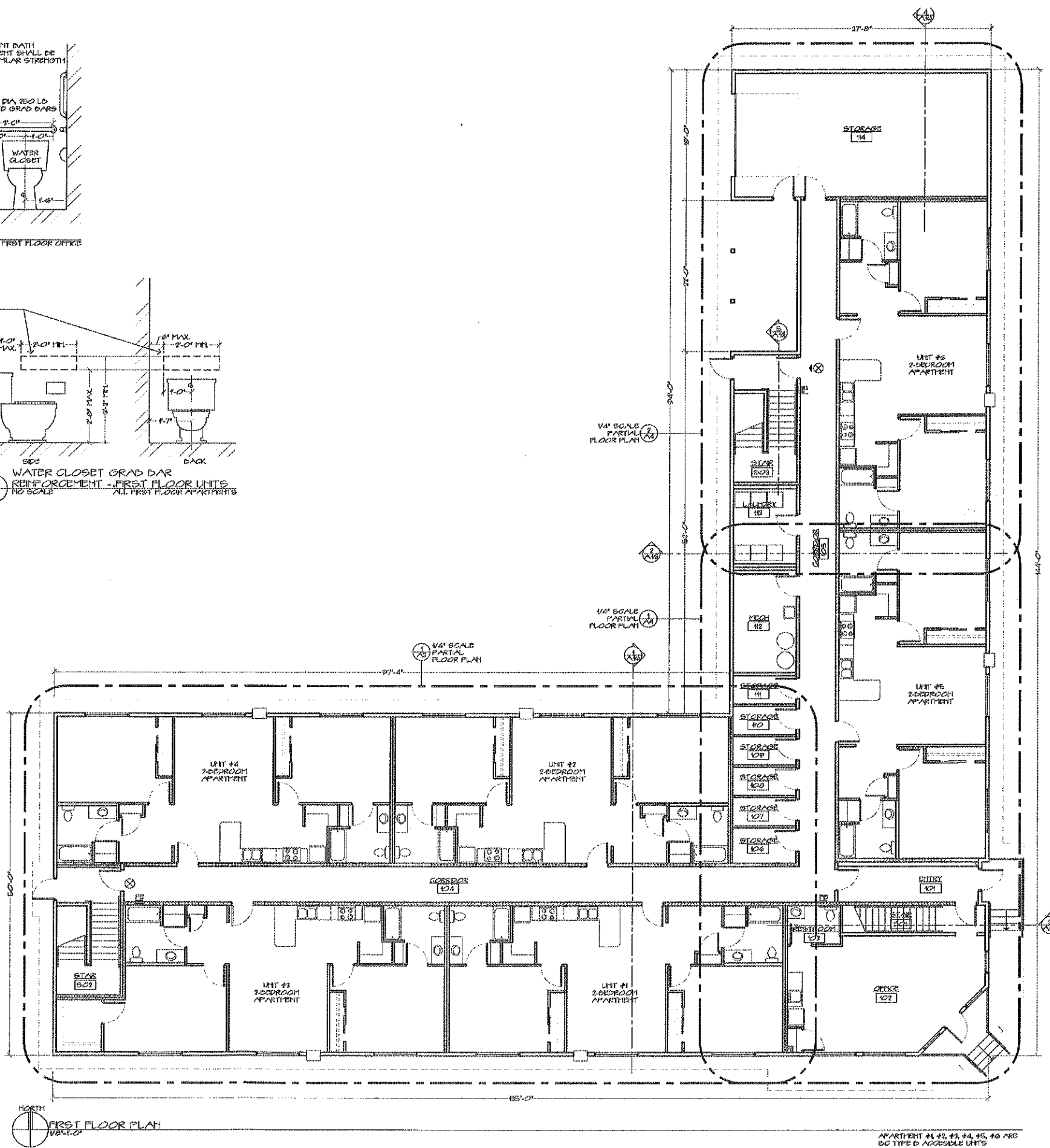
Issue / Revision Date
4/2017

Sheet No.

A1



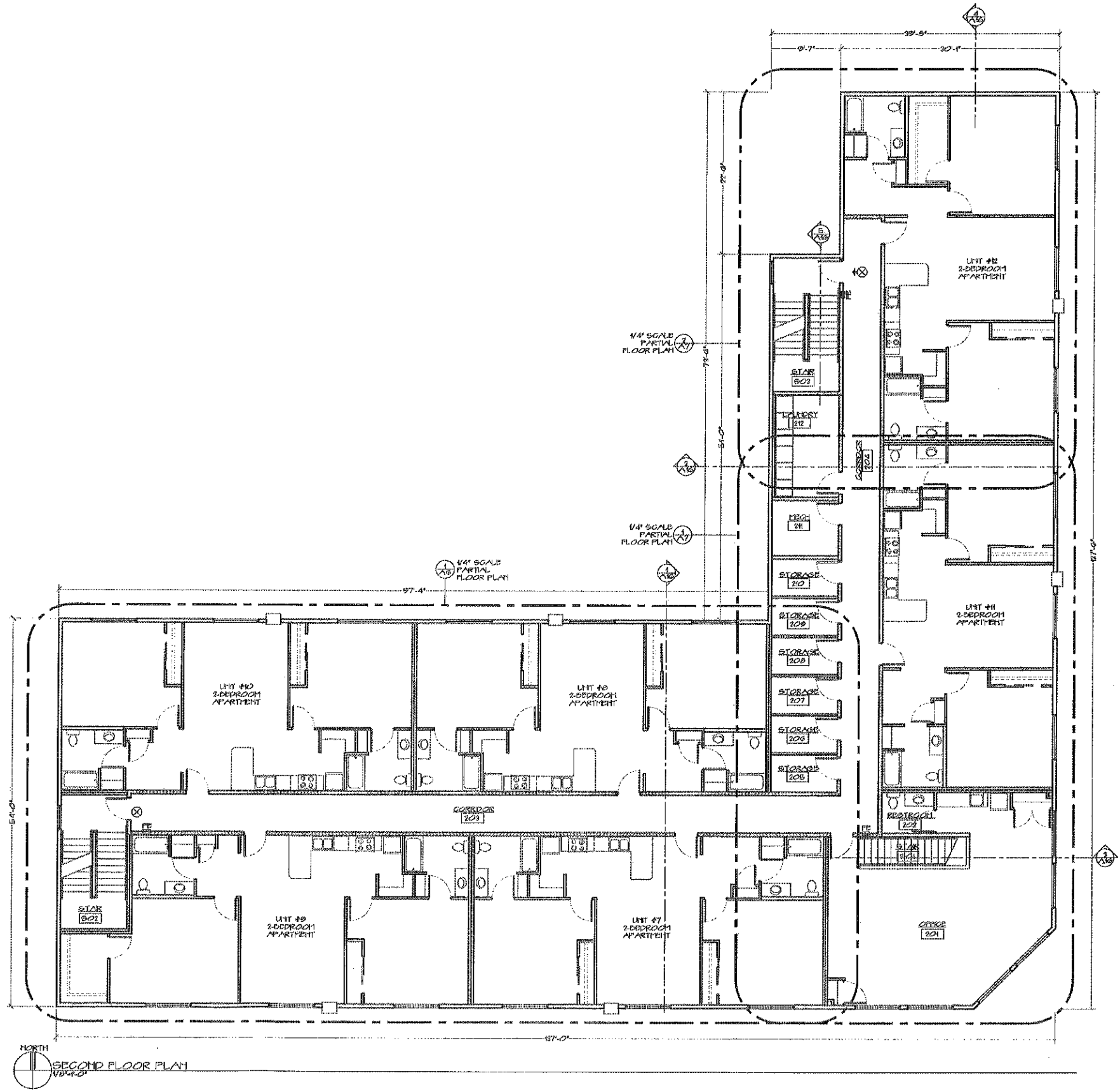
- FLOOR PLAN WALL LEGEND**
- 1-HOUR FIRE RATED 2X FIRE BARRIER WALLS (STAIR ENCLOSURES) SHALL EXTEND THROUGH FIRE RATED ASSEMBLY TO THE BOTTOM OF ROOF TRUSSES, SEE DETAIL. PROVIDE SOLID 2X FIRE BLOCKING IN WALL AT SECOND & THIRD FLOOR LINES.
 - 1-HOUR FIRE RATED 2X FIRE PARTITION WALLS (UNIT SEPARATION, CORRIDOR, LAUNDRY & MECH) NEED ONLY EXTEND TO BOTTOM OF ROOF OR FLOOR TRUSSES. FIRST & SECOND FLOOR FIRE PARTITIONS SHALL HAVE A DRAFTSTOP DIRECTLY ABOVE THEM IN THE FLOOR/CEILING SPACE.
 - 2X UNRATED STIPPLE WALLS
- FLOOR PLAN EMERGENCY DEVICE & EQUIPMENT LEGEND**
- ⊗ EXIT LIGHT POWERED BY LINE VOLTAGE WITH BATTERY BACKUP
 - FE FIRE EXTINGUISHER IN SEMI-RECESSED CABINET, ABC MULTIPURPOSE DRY CHEMICAL WITH MINIMUM 2-A RATING.
 - PROVIDE EMERGENCY LIGHTING AS DIRECTED BY LIGHTING DESIGNER



Architect
Parker Architecture
207 N. Main St., Suite 200
Tomah, WI 54687-8880

Owner / Project
Brett Sawyer
La Crosse Street Apartments
La Crosse, Wisconsin

140501
Overall First Floor Plan
Issue/Revision Date:
3/24/2017
Sheet No.
A2



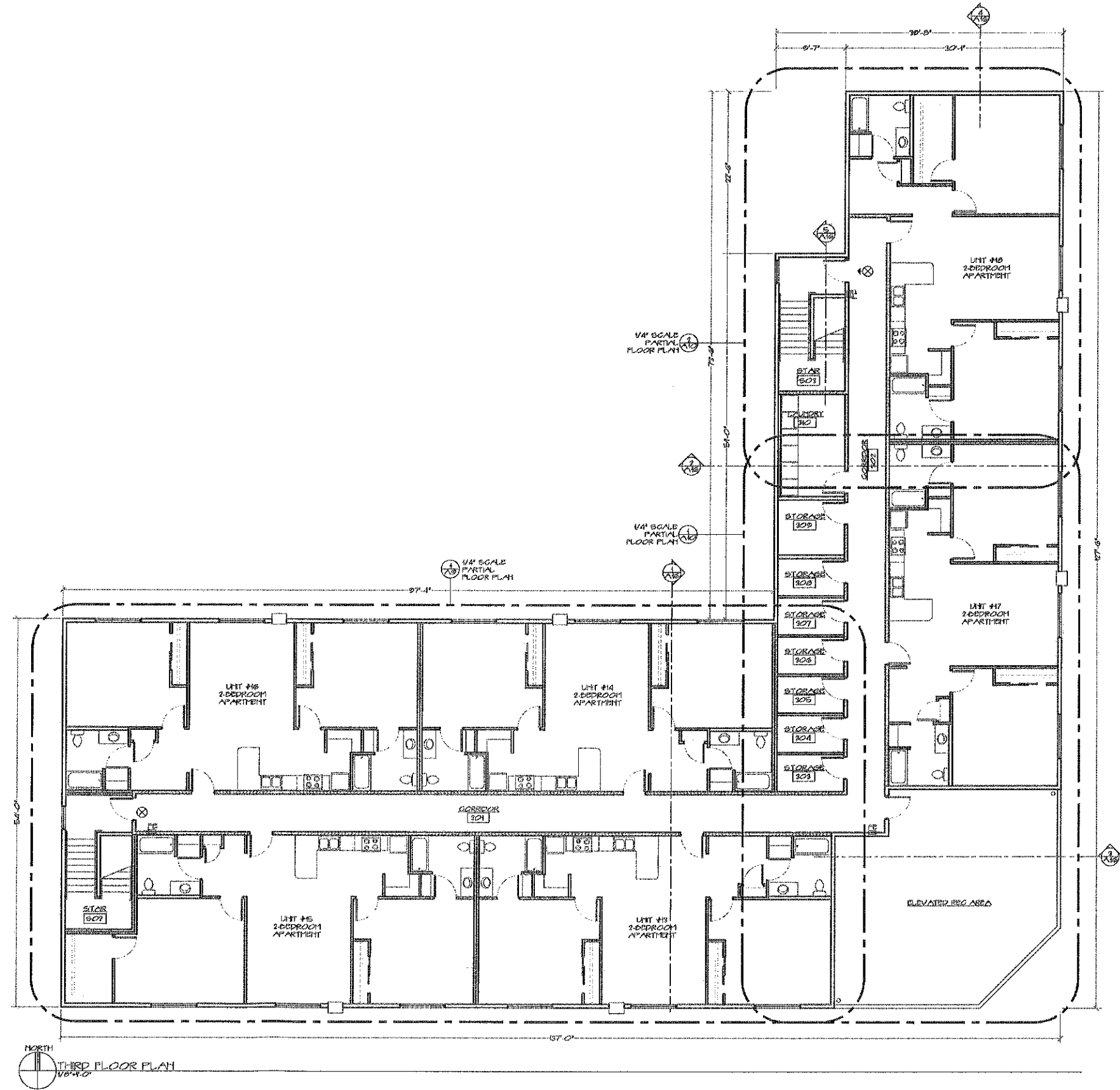
NORTH
SECOND FLOOR PLAN
1/24/16

Architect
Parker Architecture
Parker Architecture
1000 North
Milwaukee Avenue
P.O. Box 1000
Milwaukee, WI 53233
Phone: 414.224.4400
Fax: 414.224.4401

Owner / Project
Brett Sawyer
La Crosse Street Apartments
La Crosse, Wisconsin
140501

Sheet Description
Overall Second Floor Plan
Issue/Revision
02/16/16
02/16/16

Sheet No.
A5



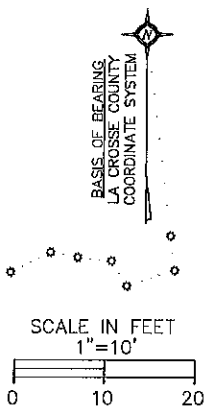
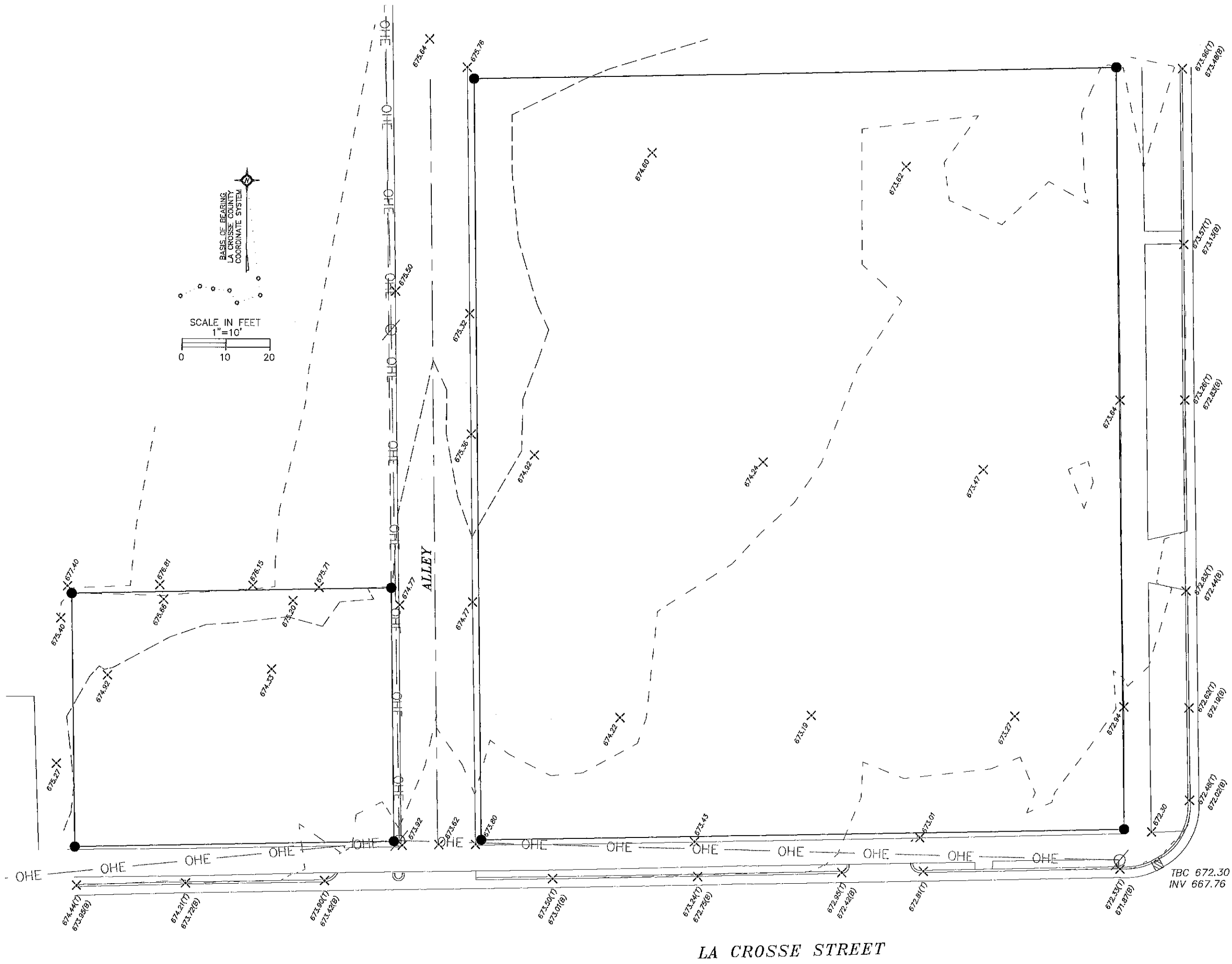
NORTH
THIRD FLOOR PLAN
V8-4.0

Architect
Parker Architecture
2724 North Lincoln Street
Fond Du Lac, WI 54601-4400
phone: 920.939.7700
parker@parkerarch.com

Owner / Project
Brett Sawyer
La Crosse Street Apartments
La Crosse, Wisconsin
140501

Sheet Description
Overall Third Floor Plan
Issue/Revision Date:
02/27/16

Sheet No.
A8

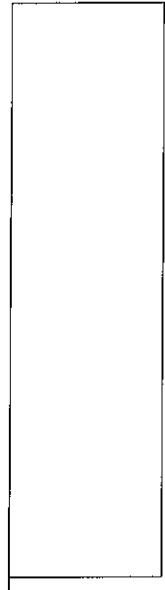


11th STREET NORTH

LA CROSSE STREET

TBC 672.30
INV 667.76

TNH=675.45

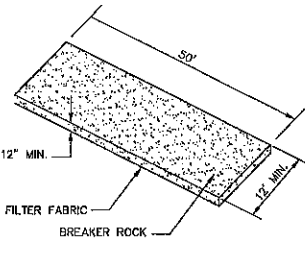


LA CROSSE
ENGINEERING & SURVEYING CO., INC.
Office: (608) 782-3433 Fax: (608) 782-3432
www.lacrosseinc.com

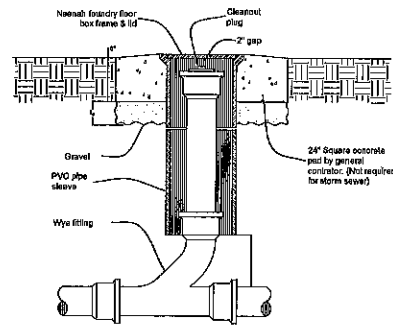
Brett Sawyer
CITY OF LA CROSSE
EXISTING CONDITIONS

DATE: 3/17/17
FILE: Sawyer
DRAWN BY: FJH

C-1

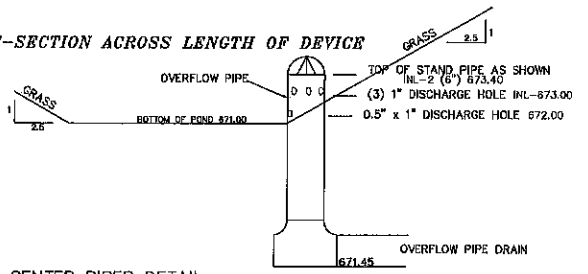


VEHICLE TRACKING CONTROL
NO SCALE



OUTDOOR CLEANOUT

CROSS-SECTION ACROSS LENGTH OF DEVICE



CENTER RISER DETAIL
NO SCALE

UTILITY NOTES

- The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the contractor or the representative. The contractor shall be responsible for determining the exact location of all existing utilities, whether shown on these plans or not, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and preserve any and all utilities. CALL DIGGERS HOTLINE (800)-242-8511.
- Field verify all locations and invert elevations prior to commencing work.
- All Sanitary Sewer piping shall be PVC meeting ASTM D-3034 SDR 26.
- Water Lines shall be Ductile Iron (3" or Greater), or shall be AWWA C900. Tracer wire for CSDD shall be a 1/8" stainless steel with poly coating, or approved equal. The tracer wire shall be securely grounded to the compression fitting at both the watermain and curb stop.
- It shall be the contractor's responsibility to arrange for any necessary inspections by local government that may be required.
- Contractor shall comply completely with the latest standards of OSHA Directives or any other agency having jurisdiction for excavation and trenching procedures. Contractor is responsible for complying with performance criteria as required by OSHA.
- All storm sewer piping shall have joints wrapped with EZ-Wrap by Press-Seal Gasket Corporation, or equal.
- See architectural plan for down spout locations. Connect to storm sewer as shown on architectural plan.

GRADING NOTES

- There may be underground utility installations within the project area that are not shown.
- It shall be the contractor's responsibility to arrange for any necessary inspections by local government that may be required.
- Contours shown are for finished surfaces, any adjustment to subgrade is the contractor's responsibility.
- All disturbed areas shall have a minimum of 4" topsoil.
- All finished grading shall provide for a smooth transition to ungraded areas.
- A temporary berm shall be constructed to divert storm runoff from entering disturbed areas from off-site.

EXCAVATION

The excavated area shall be stripped of topsoil (4"-5") and stored separately and used to establish finished grades.

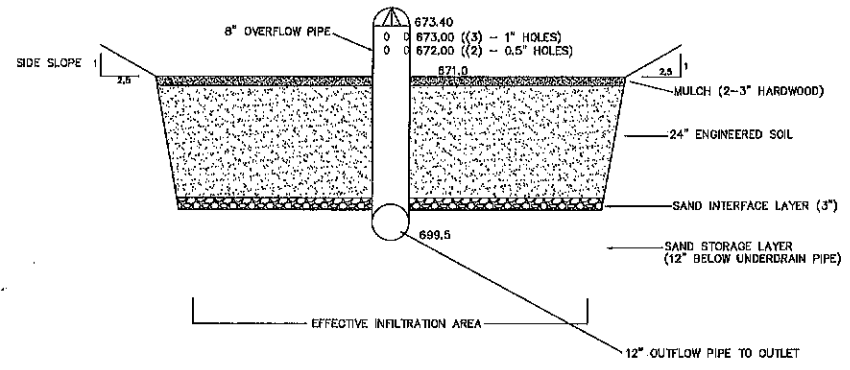
TOPSOIL REPLACEMENT, SEEDING, FERTILIZING & MULCHING

Topsoil shall be placed on the disturbed areas of the site. Immediately after shaping the topsoil, add lime to proper pH or 3 tons per acre, fertilizer of 400 lbs. per acre of 20-10-10 and work 3" deep using ordinary tillage methods. Seed with Annual Ryegrass (30 lbs./acre), Kentucky Bluegrass (30 lbs./acre), and Perennial Ryegrass (30 lbs./acre). The Grading Contractor is responsible for a guaranteed catch and shall re-seed as necessary, or as approved by owner.

- 1" of topsoil shall be placed in bottom of pond or in infiltration areas.
- Parking lot shall consist of 4" Bituminous Pavement and 8" compacted aggregate base over geotextile fabric. See Geotechnical Evaluation Report for more details.
- 8" Perforated pipe shall have a filter sock meeting Wisconsin Standards and Specifications for Highway and Structure Construction, Section 812.2.8(1-3), 2003 edition, or equivalent.
- BUILDING AND WASTE MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER.

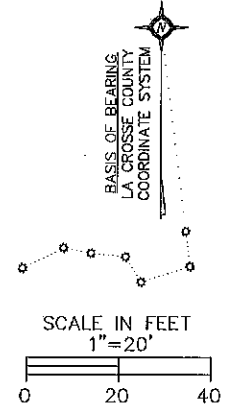
- Engineered soil shall be a homogeneous composition that is 75% sand and 25% compost meeting the following material requirements:
 - Soil: Fine aggregate content not exceeding ASTM C225.
 - Compost: Aerobically decayed organic waste meeting the following criteria:
 - Protable 50%-50% of the compost shall pass through a 0.75-inch screen.
 - Physical Characteristics - Less than 1% wood and glass, metal and plastic.
 - Organic Matter/Ash Content - At least 40% organic matter; less than 60% ash content.
 - Carbon to Nitrogen Ratio - 10:20-1 C:N ratio.
 - pH - Between 5 and 8.
 - Soil-like - Electrical conductivity below 10 dS/m (unless otherwise specified).
 - Moisture content - Between 35% and 50% by weight.
 - Stability - The compost shall be resistant to further decomposition and free of compaction, such as concrete and organic solids, in concentrations toxic to plant growth.
 - Seeds & Pathogens and noxious weeds shall be minimized.

NORTHEAST BIORETENTION DEVICE
CROSS-SECTION ACROSS WIDTH OF DEVICE



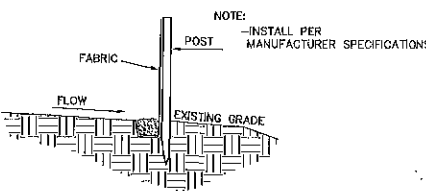
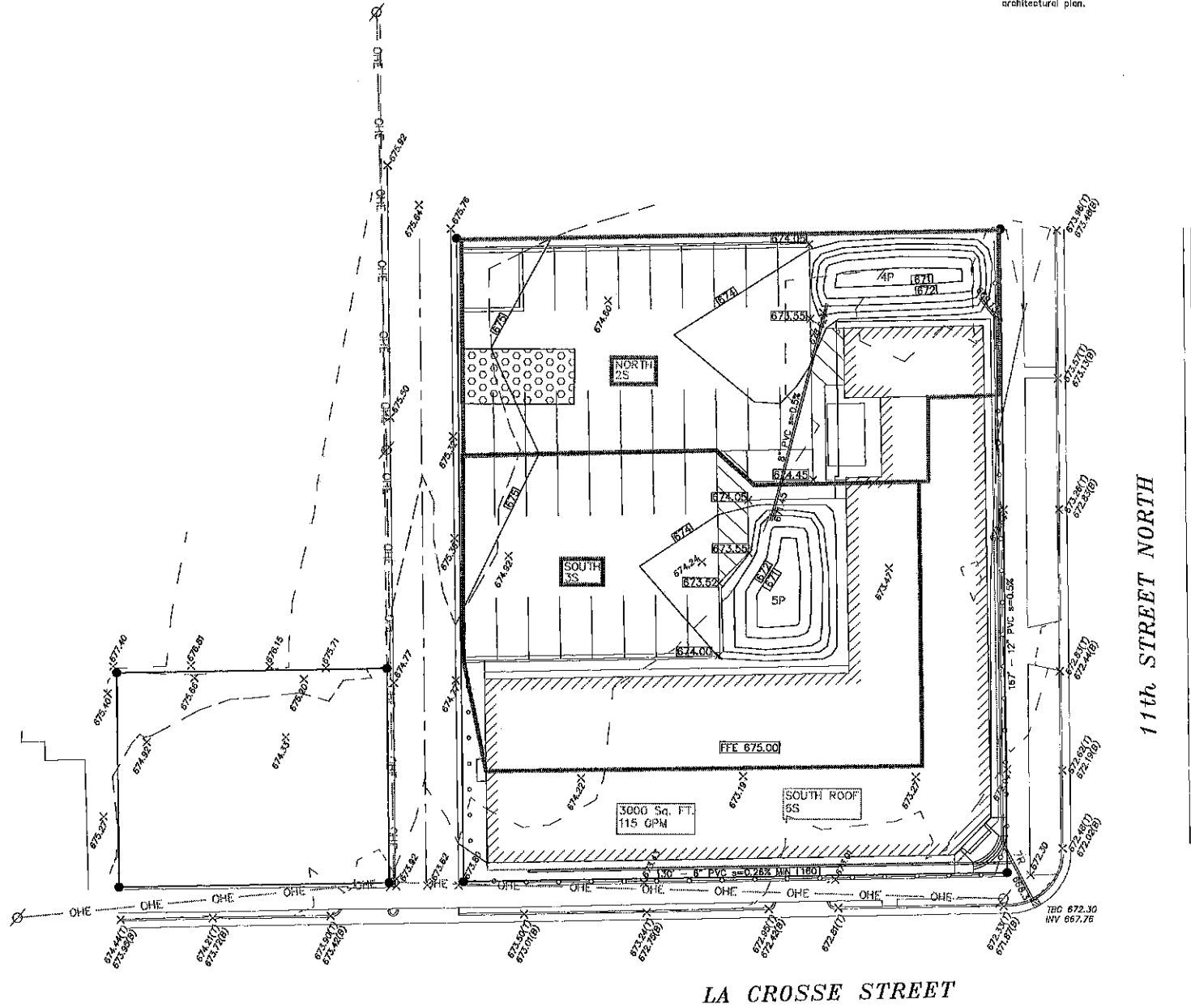
GENERAL NOTES - EROSION CONTROL

- 1.0 STANDARDS:**
- ALL WORK SHALL MEET THE STANDARDS OUTLINED IN WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS AND THE CITY OF CHALUSA SOIL EROSION CONTROL ORDINANCE FOR BOTH PERFORMANCE AND IMPLEMENTATION.
 - ADDITIONAL EROSION CONTROL FACILITIES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS.
 - SEDIMENT CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. SEDIMENT CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. SEDIMENT CONTROL STRUCTURES IN PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE.
 - SEDIMENT DEPOSITED IN ROAD DITCHES ADJACENT TO THIS SITE AS A RESULT OF THIS WORK SHALL BE REMOVED AS NECESSARY TO MAINTAIN EXISTING GRADES AND ELEVATIONS. VEGETATION SHALL BE ESTABLISHED WHEN SEDIMENT REMOVAL DESTROYS THE EXISTING VEGETATION. THE ESTABLISHMENT OF VEGETATION SHALL BE IN THE SAME MANNER AS SPECIFIED FOR SEEDING ELSEWHERE ON THIS PLAN.
 - SILT FENCE SHALL BE PLACED DOWN SLOPE OF ALL SOIL STOCK PILES DURING CONSTRUCTION IF LEFT MORE THAN SEVEN DAYS. STOCK PILES SHALL BE SEEDED AND MULCHED IF LEFT FOR MORE THAN 14 DAYS. SILT FENCE SHALL BE INSTALLED TO CONFORM WITH WDNR TECHNICAL STANDARD 1055.
 - STORM DRAIN INLET PROTECTION SHALL BE PROVIDED AROUND INLETS. STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AND CONFORM WITH WDNR TECHNICAL STANDARD 1060. TYPE "A" PROTECTION SHALL BE PROVIDED UNTIL CRUSHED AGGREGATE IS PLACED. TYPE "B" OR "C" SHALL BE UTILIZED ONCE AGGREGATE IS PLACED UNTIL FINAL PAVEMENT AND ESTABLISHMENT OF VEGETATION.
- 2.0 EXECUTION:**
- ALL DISTURBED AREAS SHALL TOPSOIL APPLIED, AND BE SODDED, MULCHED, AND FERTILIZED WITHIN 7 DAYS OF FINAL DISTURBANCE.
 - SEED SHALL BE PLANTED IN A MANNER THAT ALLOWS THE SEED TO BE WORKED INTO THE SOIL AND COME IN FIRM CONTACT WITH THE SOIL. SEEDING AND MULCHING SHALL BE ACCOMPLISHED USING THE FOLLOWING MATERIALS AND METHODS:
 - 4" OF TOPSOIL SHALL BE PLACED ON ALL AREAS WITHIN THE PROJECT LIMITS EXCEPT WHERE ANOTHER SURFACE TREATMENT IS SPECIFIED.
 - EROSION MAT SHALL BE USED IN PLACE OF MULCH WHERE SPECIFIED. EROSION MAT SHALL BE INSTALLED TO CONFORM WITH WDNR TECHNICAL STANDARD 1052.
 - SEED MIX SHALL BE "LO" "GRASSY" AND APPLIED AT A RATE OF 120 LBS./ACRE.
 - MULCHING WITH STRAW SHALL CONSIST OF EVENLY SPREADING (3) 40 LB. BALES OF CLEAN WHEAT OR OAT STRAW PER 1000 S.F. OF DISTURBED AREA COVERED.
 - A TEMPORARY BERM OR CHANNEL SHALL BE CONSTRUCTED ACROSS THE SLOPE TO COLLECT AND DIVERT RUNOFF FROM ENTERING OR EXITING DISTURBED AREAS. CONSTRUCTION SITE DIVERSION SHALL CONFORM WITH WDNR TECHNICAL STANDARD 1055.
 - A STONE TRACKING PAD SHALL BE PROVIDED AT EACH CONSTRUCTION ACCESS POINT. STONE TRACKING PAD SHALL CONFORM WITH WDNR TECHNICAL STANDARD 1057.
- 3.0 MAINTENANCE:**
- MAINTENANCE OF ALL INSTALLED EROSION AND SEDIMENT CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE OWNER. HOWEVER, THE INSTALLER SHALL PERFORM REQUIRED MAINTENANCE AT THE DIRECTION OF THE OWNER.
 - INSPECTING ALL EROSION AND SEDIMENT CONTROL DEVICES WEEKLY AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.5 INCHES OR GREATER.
 - FINISHED AREAS THAT HAVE BEEN DAMAGED OR ERODED SHALL BE RESTORED WITHIN SEVEN DAYS OF THE DAMAGE.
 - UNFINISHED AREAS THAT HAVE BEEN DAMAGED OR ERODED SHALL BE RESTORED WITHIN SEVEN DAYS OF THE DAMAGE.
 - STONE TRACKING CONTROL APRON SHALL BE REMOVED AND REPLACED WHEN VOIDS BECOME FILLED WITH SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT THE APRON DOES NOT FUNCTION.
 - SILT FENCES SHALL BE MAINTAINED IN A FUNCTIONING MANNER. FENCES SHALL NOT BE ALLOWED TO SAG, FALL DOWN, OR BECOME FILLED WITH SILT ON THE BACK SIDE. IF SILT BUILDS UP BEHIND A SILT FENCE IT SHALL BE REMOVED IMMEDIATELY, UNDER NO CIRCUMSTANCE SHALL SILT DEPOSITS BE ALLOWED TO REACH MORE THAN HALF THE HEIGHT OF THE FENCE. SILT FENCE SHALL BE INSTALLED TO CONFORM WITH WDNR TECHNICAL STANDARD 1055.
- 4.0 REMOVING CONTROL MEASURES:**
- SEDIMENT CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. SEDIMENT CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. CONTRACTOR SHALL REMOVE CONTROL MEASURES WHEN THE SITE HAS ESTABLISHED A VEGETATION COVER OR WHEN DIRECTED TO DO SO BY THE OWNER.



LEGEND:

- 2' DEPTH, ENGINEERED SOIL
- PROPOSED GRADE
- SILT FENCE
- EXISTING BURIED TELEPHONE
- EXISTING OVERHEAD ELECTRIC
- VEHICLE TRACKING PAD
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- SAW CUT, REMOVE AND REPLACE EXISTING ASPHALT, CURB AND GUTTER AS NECESSARY
- SILT SOCK, OR EQUIVALENT BIO-LOG OR INLET PROTECTION
- PROPOSED SANITARY CLEAN OUT
- LIGHT POLE
- PROPOSED 8" WATER VALVE
- 6"-9" RIP RAP OVER GEOTEXTILE FABRIC OR SCOUR STOP



TYPICAL SILT FENCE INSTALLATION
NO SCALE

LA CROSSE
ENGINEERING & SURVEYING CO., INC.
OFFICE: (800) 792-5457 FAX: (800) 792-5458
www.lacrosseengineering.com

Brett Sawyer
CITY OF LA CROSSE
GRADING/EROSION CONTROL PLAN

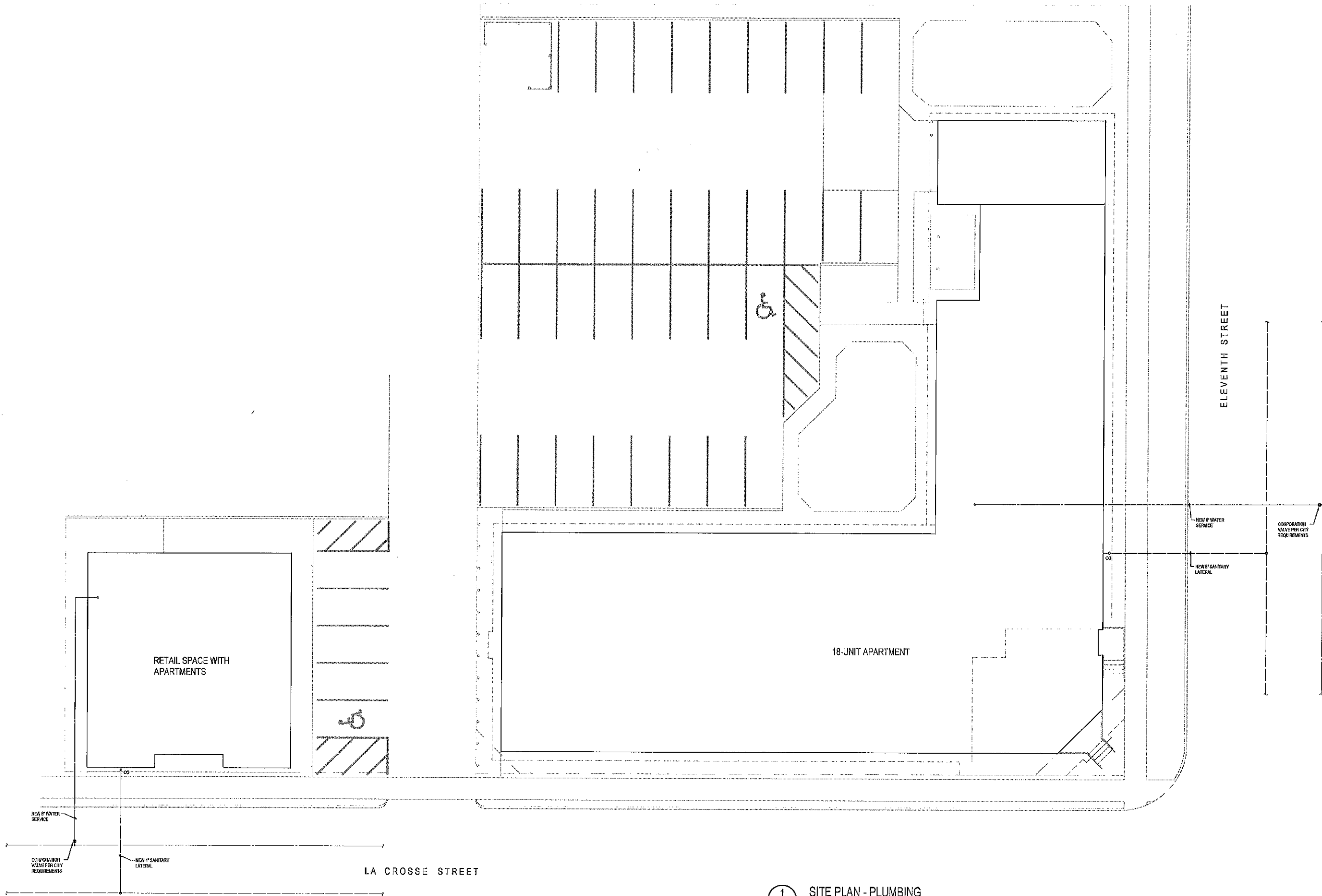
rev. 2/27/17
DATE: 11/17/16
FILE: Sawyer
DRAWN BY: FJH

CONSULTING ENGINEER:

PRSMITH CO.

4880 Kirkwood Drive
Wauwaukee, Wisconsin 53397
Phone: 608.846.4171
pete.smith@prsmithcompany.com

REVISIONS:



1
P1.0 SITE PLAN - PLUMBING
SCALE: 1"=10'-0"

PROJECT:
SAWYER DEVELOPMENT
LA CROSSE STREET & 11th STREET
LA CROSSE, WISCONSIN

PROJECT: 201710
 DRAWN BY: PRS
 DATE: MARCH XX, 2017

SITE PLAN - PLUMBING

PRELIMINARY
 MARCH 10, 2017

P1.0

OF X SHEETS

Abbreviation	Plant Species	Size	Qty.
Sh	Corsican Snowberry	#5 Cont.	14
Po	'Little Devil' Hibiscus	#5 Cont.	10
Aa	'Regent Saskatoon'	#5 Cont.	9
Ca 'IH'	'Ivory Halo' Dogwood	#5 Cont.	9
Ca 'ROD'	'Red Osier' Dogwood	#5 Cont.	6
DI	Northern Bush Honeyuckle	#5 Cont.	21
Am	'Autumn Magic' Black Chokeberry	#5 Cont.	4
Hv	Witchhazel	#5 Cont.	3
Total Shrubs = 76 (64 req.)			
Gr	'Skyline' Honeylocust	3" Cal.	1
Ov	Ironwood	3" Cal.	1
Ta	'Redmond' Linden	3" Cal.	1
Qm	Bur Oak	3" Cal.	1
Total Boulevard Trees = 4			
Al	'Autumn Brilliance' Serviceberry Tree	Multi-stem 8'	5
Ps	White Pine	8'	2
Pt	Quaking Aspen	8" Cal.	2
Ar	Speckled Alder	Multi-stem 8'	2
Pt SCA	Swedish Columnar Aspen	3" Cal.	3
Ca	Pagoda Dogwood	2" Cal.	1
Ta	'Redmond' Linden	3" Cal.	1
Total Trees = 16 (16 req.)			
Sh	Prairie Dropseed	#1 Cont.	64
Rp	Yellow Coneflower	#1 Cont.	28
Sp	Purple Coneflower	#1 Cont.	32
Ba	Blue False Indigo	#1 Cont.	12
Mf	Bee Balm	#1 Cont.	19
Vf	Ironweed	#1 Cont.	22
Al	Red Milkweed	#1 Cont.	15

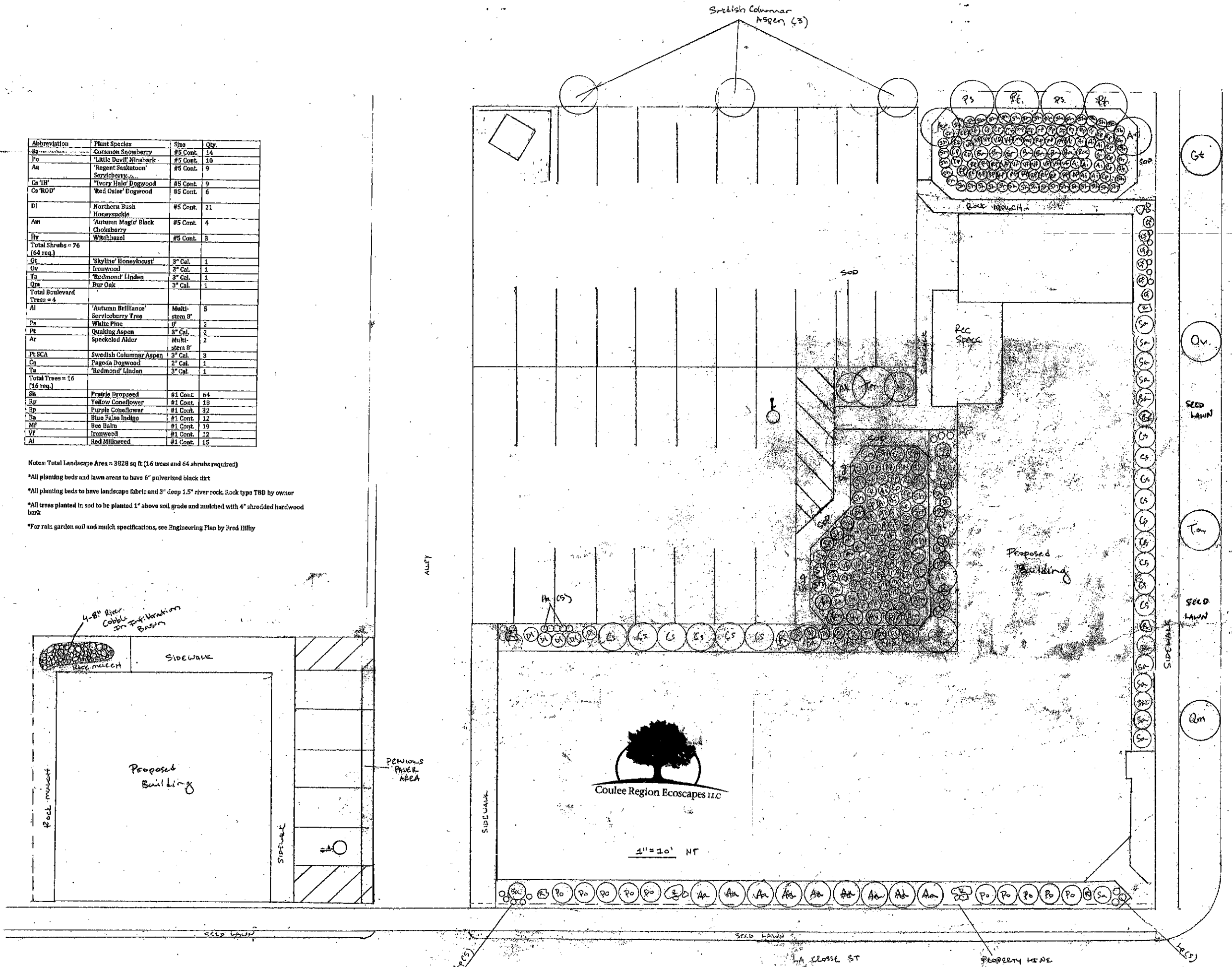
Notes: Total Landscape Area = 3828 sq ft. (16 trees and 64 shrubs required)

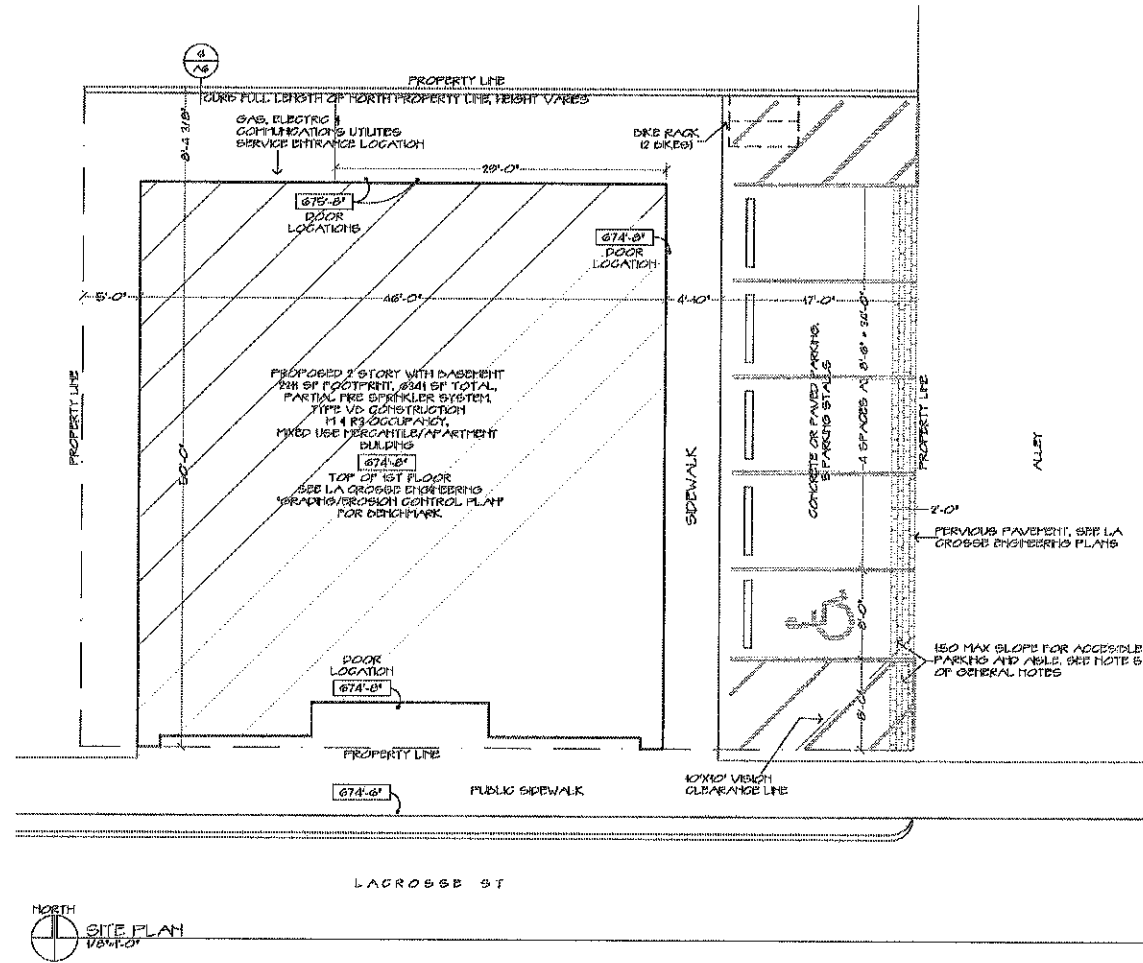
*All planting beds and lawn areas to have 6" pulverized black dirt

*All planting beds to have landscape fabric and 3" deep 1.5" river rock. Rock type TBD by owner

*All trees planted in, and to be planted 1' above soil grade and mulched with 4" shredded hardwood bark

*For rain garden soil and mulch specifications, see Engineering Plan by Fred Hilby





GENERAL NOTES:

1. ALL WORK MUST COMPLY WITH THE 2009 INTERNATIONAL CODE COUNCIL, STATE OF WISCONSIN AMENDMENTS BPC CHAPTERS 360-366 AND LOCAL CODES. THE BUILDING IS M 4 R-3 OCCUPANCY, TYPE VB CONSTRUCTION WITH ITS DESIGN BASED ON 20PSF GROUND SNOW LOAD, 20PSF WIND LOAD, ENCLOSED, EXPOSURE D, IMPORTANCE CATEGORY I BGL, SEISMIC DESIGN CATEGORY A.
2. FENCES OR OTHER BARRIERS SHALL BE PROVIDED TO PROTECT AND PREVENT PUBLIC ENTRY TO PROJECT SITE AND TO RESTRICT CONSTRUCTION OPERATIONS TO DESIGNATED WORK/STORAGE AREAS.
3. EROSION CONTROL DEVICES SHALL BE PROVIDED AS REQUIRED BY DEPARTMENT OF NATURAL RESOURCES.
4. CONTACT DIGGERS HOTLINE AND LOCAL UTILITIES FOR LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION WORK.
5. ACCESSIBLE PARKING & WALKS SHALL HAVE A SLOPE NO GREATER THAN 1:50. THE ACCESSIBLE PATH FROM PUBLIC SIDEWALK AND ACCESSIBLE PARKING ASLE THROUGH BUILDING ENTRANCE SHALL HAVE A VERTICAL CHANGE IN ELEVATION NO GREATER THAN 1/4". IF DEVELOPED CHANGE IN ELEVATION NO GREATER THAN 1/4", A CONTINUOUS SLOPE NO GREATER THAN 1:50 (OTHER THAN RAMP AREAS), A CROSS SLOPE NO GREATER THAN 1:50, A WIDTH NO LESS THAN 36". SURFACES OF ACCESSIBLE PATH AND PARKING SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESSIBLE PARKING SPACE WITH SIGNAGE COMPLY WITH TRS 200.07
6. FIRE SPRINKLER SYSTEM CONTRACTOR SHALL DESIGN & PROVIDE ALL REQUIRED NFPA 13 (DASHED LINE) & 1HR (SECOND FLOOR) FIRE PROTECTION SYSTEM SUBMITTALS FOR LOCAL & STATE APPROVAL.
7. FIRE ALARM SYSTEM CONTRACTOR SHALL DESIGN & PROVIDE ALL REQUIRED FIRE ALARM SUBMITTALS FOR LOCAL & STATE APPROVAL.

NO.	DESCRIPTION	DATE
1	PRELIMINARY	1/24/2017
2	REVISION	1/24/2017
3	ELEVATIONS	1/24/2017
4	BASED ON	1/24/2017
5	PROVISIONS	1/24/2017
6	SECTION 4	1/24/2017
7	SECTION 5	1/24/2017
8	SECTION 6	1/24/2017
9	SECTION 7	1/24/2017
10	SECTION 8	1/24/2017

Sheet Description

Preliminary

not for construction

Issue/Revision Date: 02/20/17

Sheet No. **C1**

Architect

Parker Architecture

4745 Herz Ave
Fond Du Lac, WI 54601-9600

PERMIT: 08032207

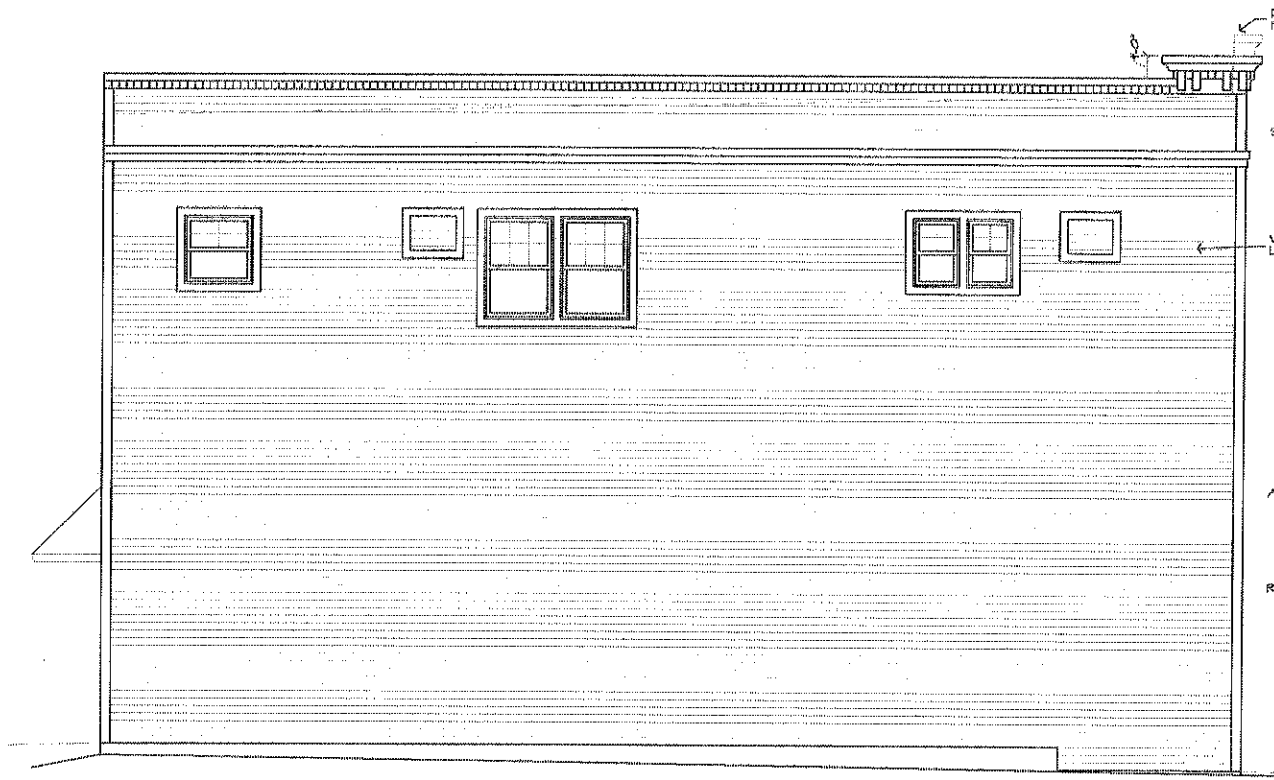
Owner / Project

Bret Sawyer

retail with apartments

La Crosse St, La Crosse, Wisconsin

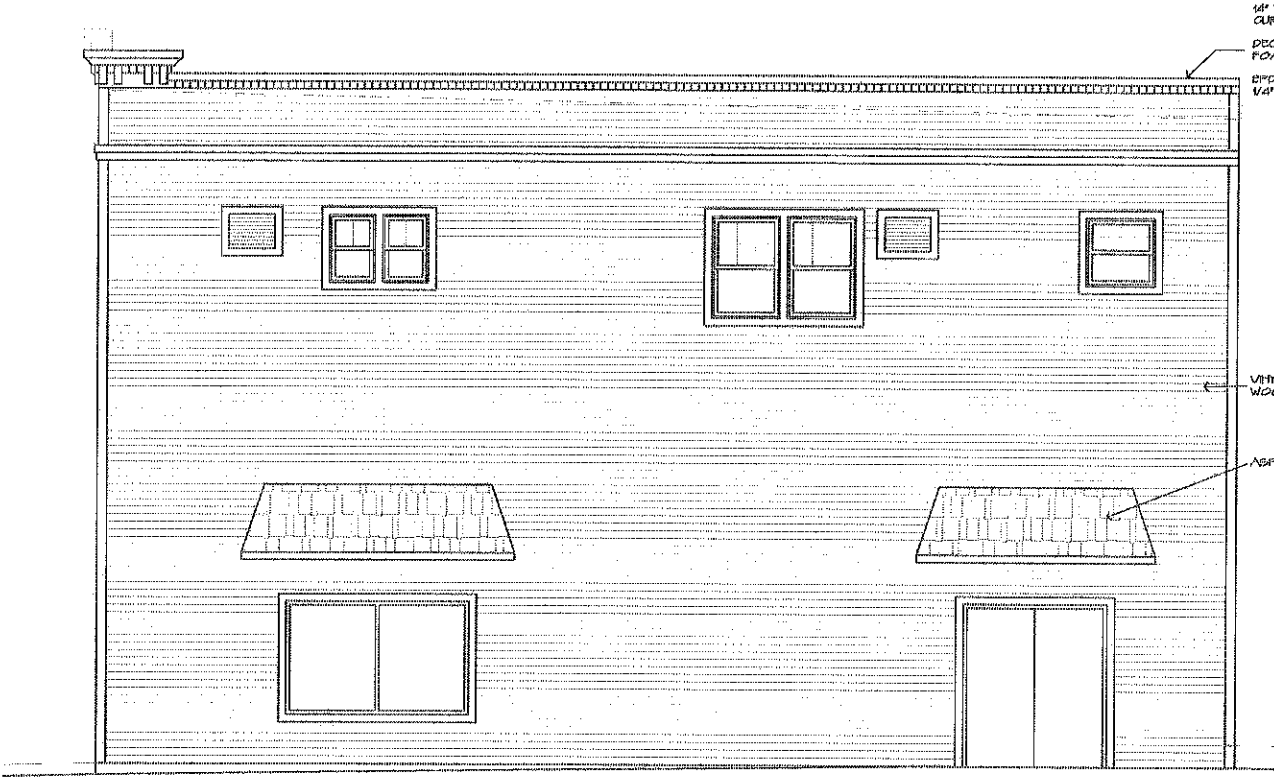
140502



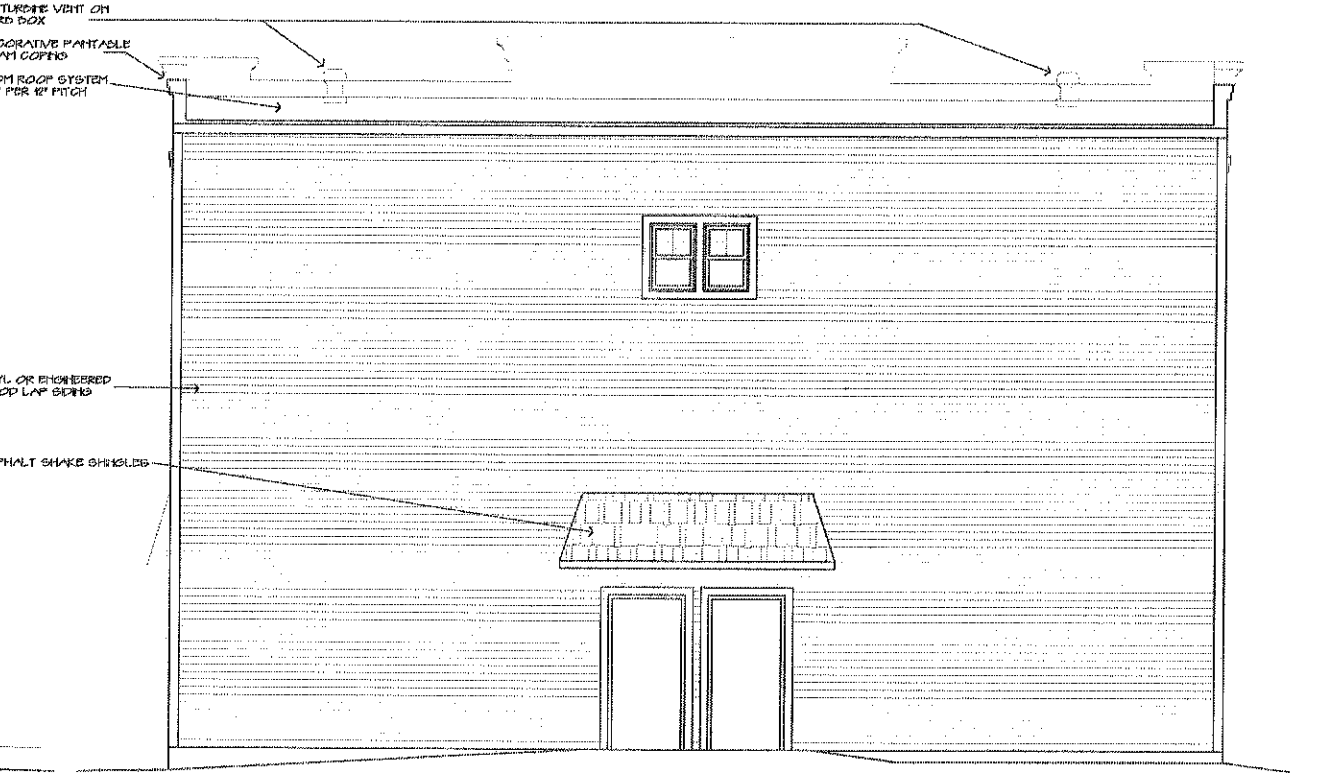
WEST ELEVATION
V4.1.0



SOUTH ELEVATION
V4.1.0



EAST ELEVATION
V4.1.0



NORTH ELEVATION
V4.1.0

Architect
Parker Architecture
 633.272.7777
 parker@parkerarch.com
 100
 100
 100
 100
 100
 100

Owner / Project

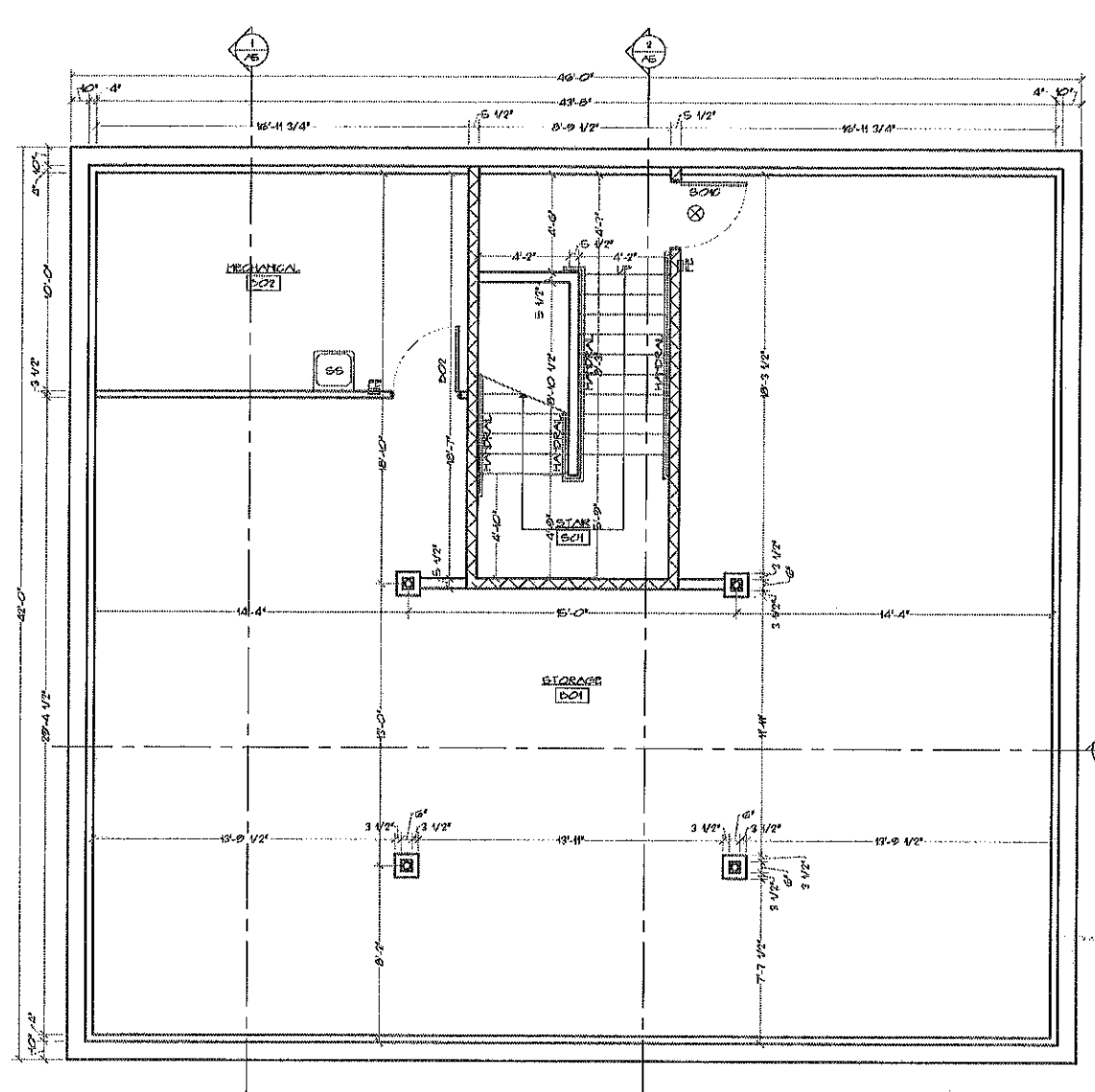
Brett Sawyer
 retail with apartments
 La Crosse St, La Crosse, Wisconsin

140502

Sheet Description
Preliminary
 not for construction
 Issue/Revision Date
 3/22/17

Sheet No.

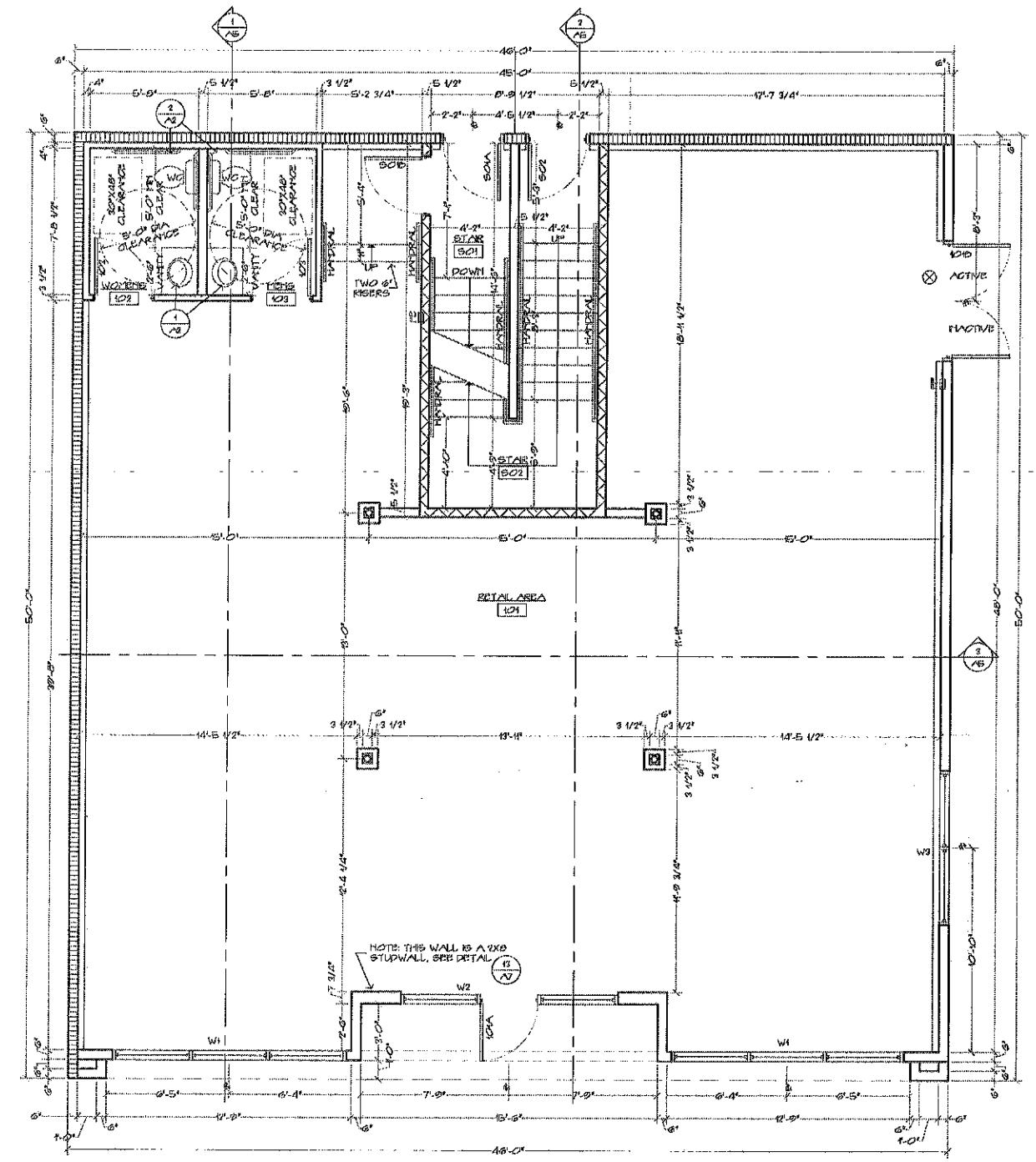
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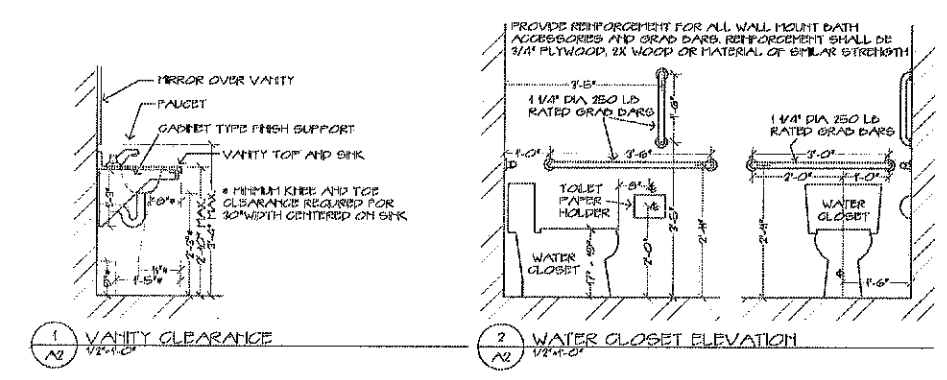
NORTH
BASEMENT FLOOR PLAN
V14.1-01

- FLOOR PLAN WALL LEGEND**
- 1-HOUR FIRE RATED EXTERIOR WALL
 - 1-HOUR FIRE RATED 2X FIRE BARRIER WALLS (STAIR ENCLOSURES) SHALL EXTEND FROM BASEMENT FLOOR THROUGH FIRE RATED ASSEMBLIES TO THE BOTTOM OF ROOF TRUSSES. SEE DETAIL. PROVIDE SOLID 2X FIRE BLOCKING IN WALL AT FIRST & SECOND FLOOR LEVELS.
 - 1-HOUR FIRE RATED 2X FIRE PARTITION WALLS (APARTMENT UNIT SEPARATIONS) NEED ONLY EXTEND TO BOTTOM OF ROOF TRUSSES.
 - 2X UNRATED STIPPLED WALLS

- FLOOR PLAN EMERGENCY DEVICE & EQUIPMENT LEGEND**
- EXIT LIGHT POWERED BY LINE VOLTAGE WITH BATTERY BACKUP
 - FIRE EXTINGUISHER IN 50% RECESSED CABINET, ADD MULTIPURPOSE DRY CHEMICAL WITH HEAVY 2-A RATING. PROVIDE EMERGENCY LIGHTING AS DIRECTED BY LIGHTING DESIGNER.



NORTH
FIRST FLOOR PLAN
V14.1-01



Architect
Parker Architecture
607 E. Taylor Ave.
Fond Du Lac, WI 54601-9880
Parker Architecture, Inc.
Parker Architecture, Inc.

Owner / Project
Brett Sawyer
retail with apartments
La Crosse St, La Crosse, Wisconsin

Sheet No.
A2

140502

not for construction

Issue/Revision Date: 3/22/17

ROOM FINISH SCHEDULE							
NO.	ROOM	FLOOR	BASE	WALLS	CEILING	HEIGHT	REMARKS
D01	STORAGE	SEALED CONCRETE	VINYL	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	8'-0"	-
D02	MECHANICAL	SEALED CONCRETE	VINYL	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	8'-0"	-
K01	RETAL	BY TENANT	BY TENANT	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	8'-0"	SUSPENDED CEILING BY TENANT
W01	WOMENS	CERAMIC TILE	4 CERAMIC	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	9'-0"	-
M01	MENS	CERAMIC TILE	4 CERAMIC	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	9'-0"	-
S01	STAR	CARPET	WOOD	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	VARIABLES	WOOD SKIRT BOARD AT STEPS
S02	STAR	CARPET	WOOD	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	VARIABLES	WOOD SKIRT BOARD AT STEPS
TYPICAL APARTMENT							
	FOYER	VINYL PLANKING	WOOD	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	9'-0"	-
	KITCHEN	VINYL PLANKING	WOOD	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	9'-0"	-
	LIVING ROOM	VINYL PLANKING	WOOD	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	9'-0"	-
	BEDROOM	CARPET	WOOD	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	9'-0"	-
	BATH	CERAMIC TILE	WOOD	SPR. GR. TAPE, TEXTURED & PAINTED	SPR. GR. TAPE, TEXTURED & PAINTED	9'-0"	-

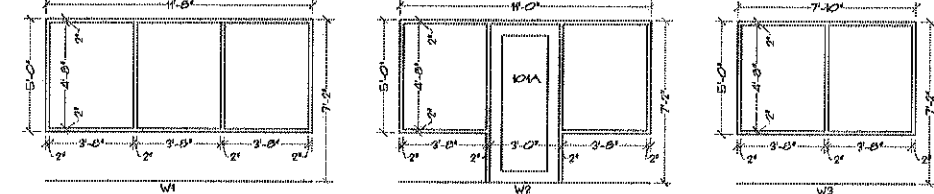
NOTES:
1. CLOSET, LINEN PANTRY, UTILITY FINISH SHALL BE THE SAME AS ADJACENT ROOM

DOOR SCHEDULE							
NO.	ROOM	SIZE	MATERIAL	FRAME	GLASS	HWY. FIRE RATING	REMARKS
D02	MECHANICAL	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	0	-
101A	ENTRY/EXIT	1 3/8"X7'-0"X7'-0"	ALUMINUM STOREFRONT	ALUM.	DOUBLE LOW E, ARGON FILLED, SAFETY	1	-
101B	ENTRY/EXIT	DEL. 1 3/8"X7'-0"X7'-0"	FLUSH INSULATED STEEL	STEEL	-	2 1/2	-
102	WOMENS	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	0	-
103	MENS	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	0	-
S01A	STAR/EXIT	1 3/8"X7'-0"X6'-0"	FLUSH INSULATED STEEL	STEEL	-	2	-
S01B	STAR/EXIT	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	5	60 MIN
S01C	STAR/EXIT	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	7	60 MIN
S02	STAR/EXIT	1 3/8"X7'-0"X6'-0"	FLUSH INSULATED STEEL	STEEL	-	3	-
TYPICAL APARTMENT							
D1	FOYER	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	0	60 MIN
D2	BEDROOM	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	0	-
D3	BATH	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	0	-
D4	BATH	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	0	-
D5	DALGOY	1 3/8"X7'-0"X6'-0"	INSULATED STEEL, FULL LITE	WOOD	DOUBLE LOW E, ARGON FILLED, SAFETY	4	-
D6	WALK-IN CLOSET	1 3/8"X7'-0"X6'-0"	FLUSH PREF. EMB. SOLID CORE OAK POCKET	WOOD	-	10	-
D7	UTILITY	1 3/8"X7'-0"X6'-0"	FLUSH PREFINISHED EMBOSSED SOLID CORE OAK	STEEL	-	0	-

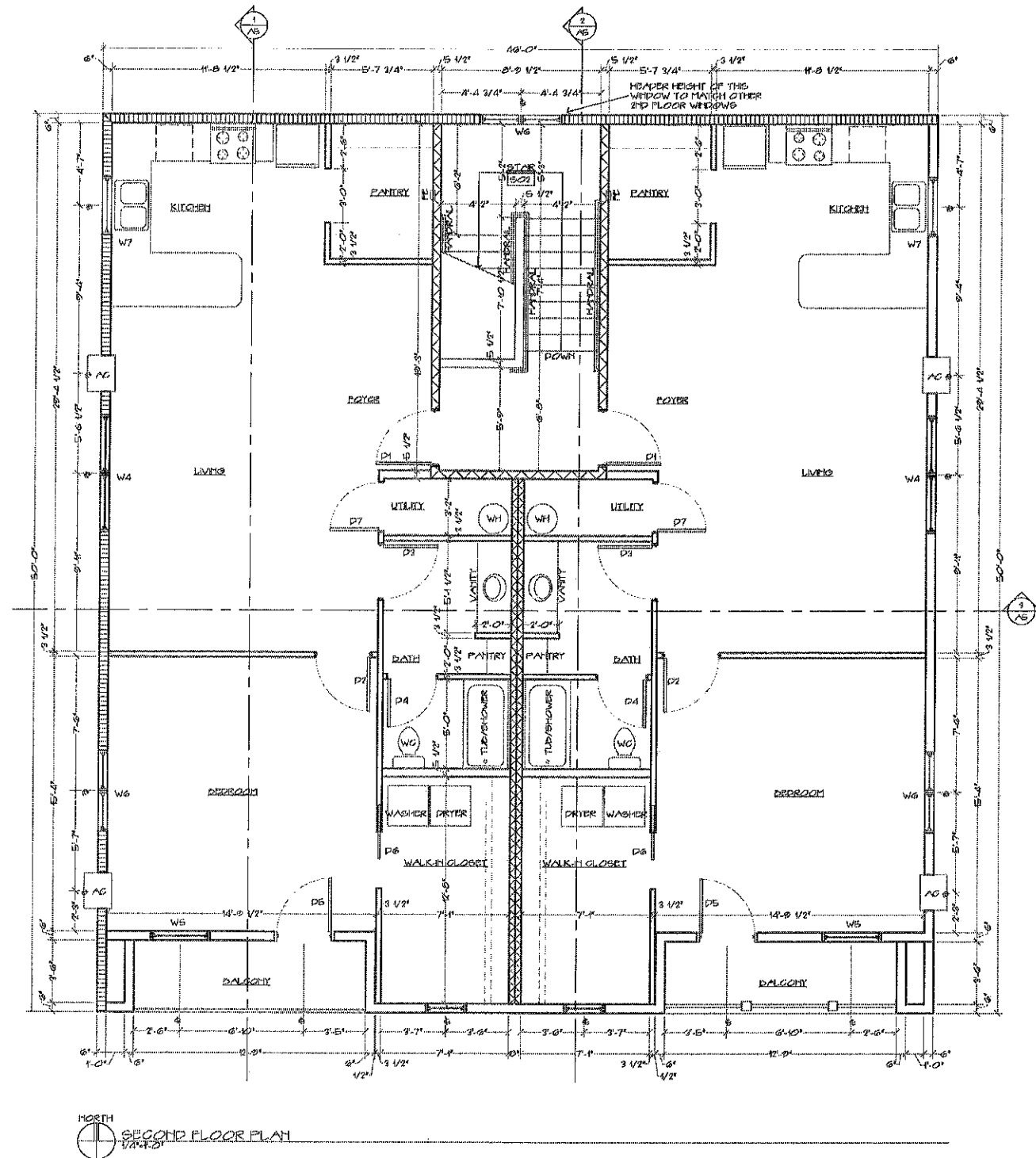
HARDWARE GROUPS
1. CONTINUOUS FLUSH HINGE, DEADBOLT WITH INTERIOR THUMBTURN PUSH BAR, FULL HANDLE, CLOSER, THRESHOLD & WEATHERSTRIPPING, ADA COMPLIANT.
2. 1 1/2" PR. BALL BEARING BUTT HINGES, LATCHSET WITH LEVER HANDLES, DEADBOLT WITH INTERIOR THUMBTURN, CLOSER, THRESHOLD & WEATHERSTRIPPING, ADA COMPLIANT.
3. 1 1/2" PR. BALL BEARING BUTT HINGES, KEYPAD LOCKSET WITH LEVER HANDLES, WALL DUMPER, CLOSER, THRESHOLD & WEATHERSTRIPPING.
4. 1 1/2" PR. BALL BEARING BUTT HINGES, PASSAGE LATCHSET, DEADBOLT, WALL DUMPER, CLOSER, THRESHOLD & WEATHERSTRIPPING.
5. 1 1/2" PR. BALL BEARING BUTT HINGES, KEYPAD LOCKSET, WALL DUMPER.
6. 1 1/2" PR. BALL BEARING BUTT HINGES, KEYPAD LOCKSET, DEADBOLT, SWEEP, DOOR STOP, PEEP VIEWER.
7. 1 1/2" PR. BALL BEARING BUTT HINGES, PASSAGE LATCHSET, WALL DUMPER.
8. 1 1/2" PR. BALL BEARING BUTT HINGES, PASSAGE LATCHSET, DOOR STOP.
9. 1 1/2" PR. BALL BEARING BUTT HINGES, PASSAGE LATCHSET, DOOR STOP.
10. POCKET DOOR TRACK AND HARDWARE.
11. 1 1/2" PR. BALL BEARING BUTT HINGES, TOP & BOTTOM BOLT PAK, CLOSER, THRESHOLD & WEATHERSTRIPPING.

WINDOW SCHEDULE					
NO.	ROOM	SIZE (NOTINAL)	DESCRIPTION	GLASS	REMARKS
W1	RETAL	11'-0" WIDE X 5'-0" HIGH	ALUMINUM STOREFRONT	DOUBLE INSULATED, LOW E, ARGON FILLED	-
W2	RETAL	11'-0" WIDE X 5'-0" HIGH	ALUMINUM STOREFRONT WITH DOOR 101A	DOUBLE INSULATED, LOW E, ARGON FILLED	-
W3	RETAL	7'-10" WIDE X 5'-0" HIGH	ALUMINUM STOREFRONT	DOUBLE INSULATED, LOW E, ARGON FILLED	-
W4	LINENS	DOUBLE 3'-0"X4'-6"	DOUBLE HUNG VINYL	DOUBLE INSULATED, LOW E, ARGON FILLED	-
W5	BEDROOM	3'-0" WIDE X 4'-6" HIGH	DOUBLE HUNG VINYL	DOUBLE INSULATED, LOW E, ARGON FILLED	-
W6	BEDRM/STAR	DOUBLE 2'-0"X3'-0"	DOUBLE HUNG VINYL	DOUBLE INSULATED, LOW E, ARGON FILLED	-
W7	KITCHEN	3'-0"X3'-0"	DOUBLE HUNG VINYL	DOUBLE INSULATED, LOW E, ARGON FILLED	-

NOTE:
1. APARTMENT WINDOWS SHALL MEET LIGHT & VENT REQUIREMENTS AS SCHEDULED BELOW
2. VERIFY WITH OWNER THAT ALL WINDOWS SHALL HAVE WOOD EXTENSION JAMBS AND CASINGS.
3. WINDOWS SHALL HAVE INTERNAL DECORATIVE GRIDS



NATURAL LIGHT & VENT REQUIREMENTS			
ROOM	AREA (SQ FT)	REQUIRED LIGHT (SQ FT)	REQUIRED VENT (SQ FT)
LIVING ROOM (WORST CASE)	220	22.4	4.2
BEDROOM (WORST CASE)	226	18.1	9.0



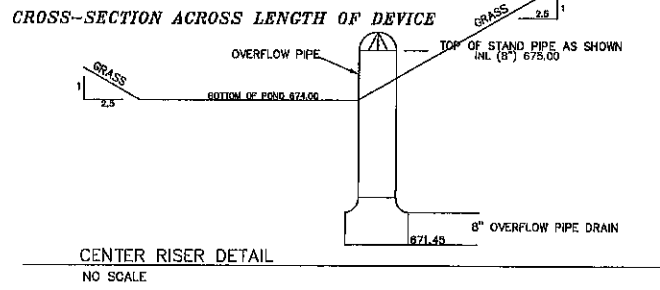
Architect
Parker Architecture
2724 Herz Ave
Fond Du Lac, WI 54601-1804
parkerarch.com

Owner / Project
Brett Sawyer
retail with apartments
La Crosse St. La Crosse, Wisconsin

140602

Sheet Description
Parker Architecture
not for construction
Issue/Revision Date
3/22/07

Sheet No.
A3

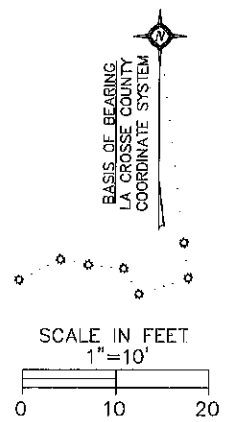
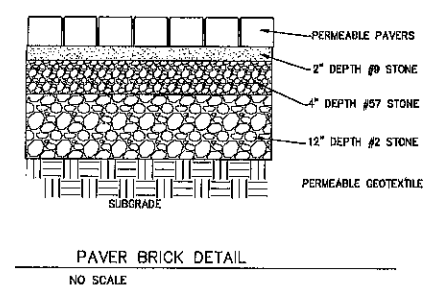
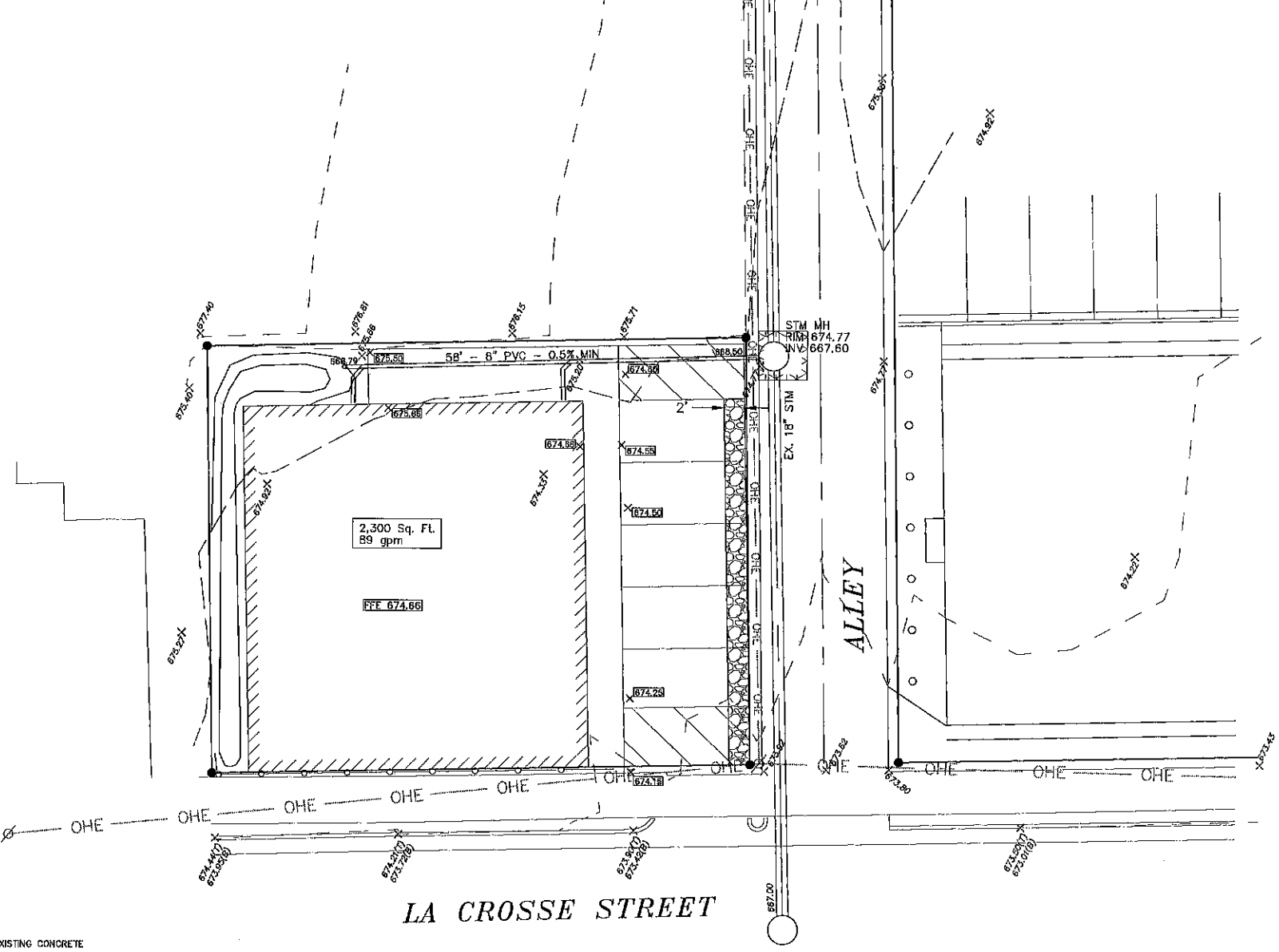


UTILITY NOTES

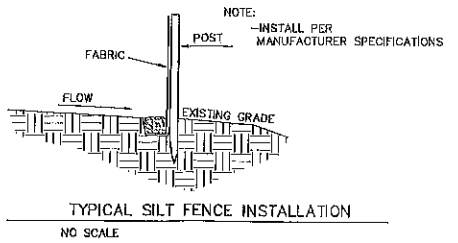
- The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the owner or its representatives, the contractor shall be responsible for determining the exact location of all existing utilities, whether shown on these plans or not, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and preserve any and all utilities. CALL DIGGERS HOTLINE (800)-242-8611.
- Field verify all locations and invert elevations prior to commencing work.
- All Sanitary Sewer piping shall be PVC meeting ASTM D-3034 SDR 26.
- Water Lines shall be Ductile Iron (3" or Greater), or shall be ANWVA C900. Tracer wire for C900 shall be a 1/8" stainless steel with poly coating, or approved equal. The tracer wire shall be securely grounded to the compression fitting at both the watermain and curb stop.
- It shall be the contractor's responsibility to arrange for any necessary inspections by local government that may be required.
- Contractor shall comply completely with the latest standards of OSHA Directives or any other agency having jurisdiction for excavation and trenching procedures. Contractor is responsible for complying with performance criteria as required by OSHA.
- All storm sewer piping shall have joints wrapped with EZ-Wrap by Press-Seal Gasket Corporation, or equal.
- See Architectural Plan for down spout locations.

GRADING NOTES

- There may be underground utility installations within the project area that are not shown.
 - It shall be the contractor's responsibility to arrange for any necessary inspections by local government that may be required.
 - Contours shown are for finished surfaces, any adjustment to subgrade is the contractor's responsibility.
 - All disturbed areas shall have a minimum of 4" topsoil.
 - All finished grading shall provide for a smooth transition to ungraded areas.
 - A temporary berm shall be constructed to divert storm runoff from entering disturbed areas from off-site.
- EXCAVATION**
- The excavated area shall be stripped of topsoil (4"-6") and stored separately and used to establish finished grades.
- TOPSOIL REPLACEMENT, SEEDING, FERTILIZING & MULCHING**
- Topsoil shall be placed on the disturbed areas of the site. Immediately after shaping the topsoil, add lime to proper pH or 3 tons per acre, fertilizer at 400 lbs. per acre of 20-10-10 and work 3" deep using ordinary tillage methods. Seed with Annual Ryegrass (30 lbs./acre), Kentucky Bluegrass (30 lbs./acre), and Perennial Ryegrass (30 lbs./acre). The Grading Contractor is responsible for a guaranteed catch and shall re-seed as necessary, or as approved by owner.
- 1" of topsoil shall be placed in bottom of pond or in infiltration areas.
 - Parking lot shall consist of 4" Bituminous Pavement and 8" compacted aggregate base over geotextile fabric. See Geotechnical Evaluation Report for more details.
 - 6" Perforated pipe shall have a filter sock meeting Wisconsin Standards and Specifications for Highway and Structure Construction, Section 612.2.8(1-3), 2003 edition, or equivalent.
 - BUILDING AND WASTE MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER.



- LEGEND:**
- 674.2 PROPOSED GRADE
 - SILT FENCE
 - EXISTING BURIED TELEPHONE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM MANHOLE
 - SAW CUT, REMOVE AND REPLACE EXISTING CONCRETE AS NECESSARY
 - PROPOSED SANITARY CLEAN OUT
 - LIGHT POLE
 - PROPOSED 8" WATER VALVE
 - PAVEMENT BRICK, SEE DETAIL



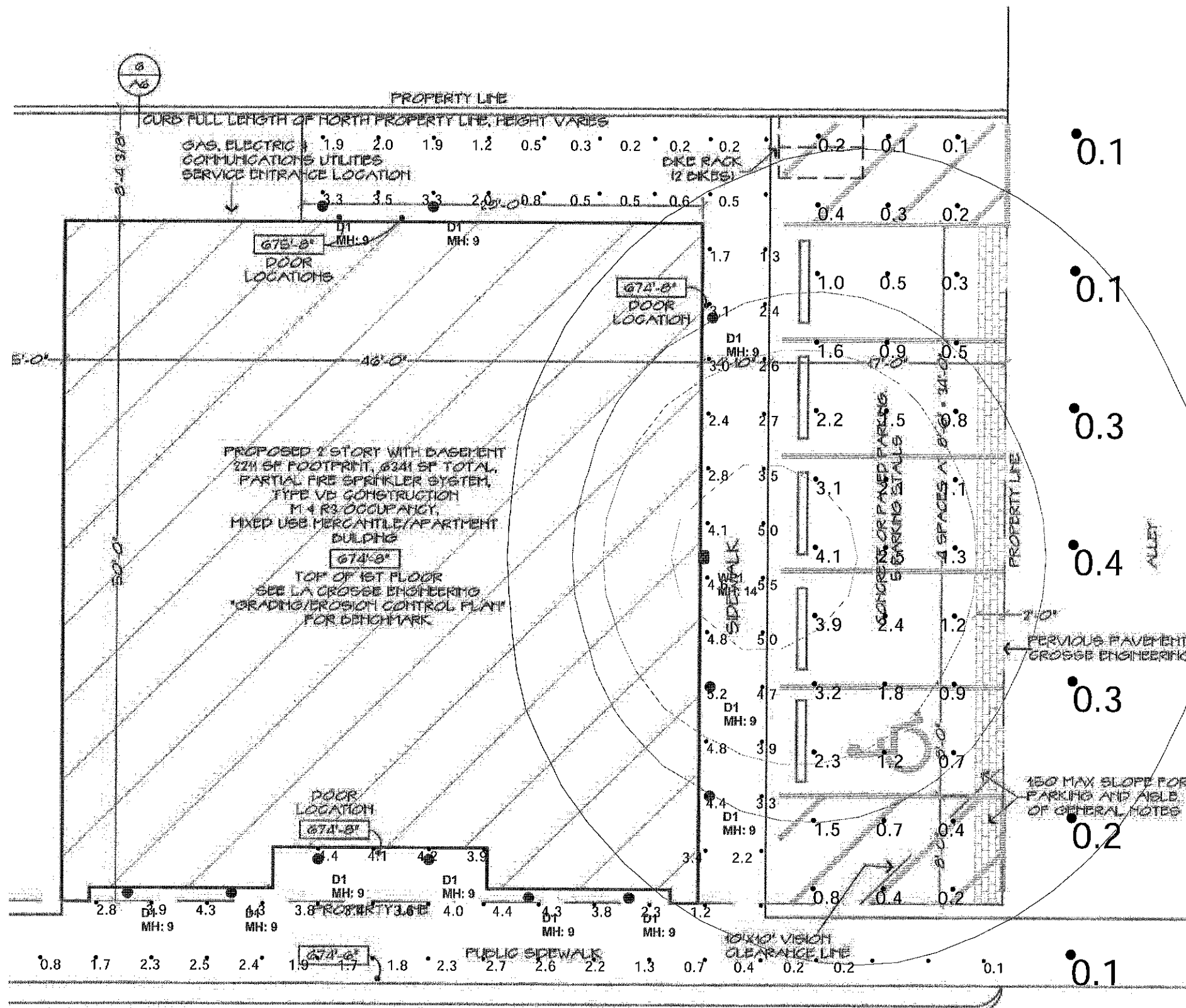
GENERAL NOTES - EROSION CONTROL

- 1.0 STANDARDS:**
- 1.1 ALL WORK SHALL MEET THE STANDARDS OUTLINED IN WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) CONSTRUCTION SITE EROSION AND SEDIMENT TECHNICAL STANDARDS AND THE CITY OF ONALASKA SOIL EROSION CONTROL ORDINANCE FOR BOTH PERFORMANCES AND IMPLEMENTATION.
 - 1.2 ADDITIONAL EROSION CONTROL FACILITIES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS.
 - 1.3 SEDIMENT CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. SEDIMENT CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. SEDIMENT CONTROL STRUCTURES IN PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE.
 - 1.4 SEDIMENT DEPOSITED IN ROAD DITCHES ADJACENT TO THIS SITE AS A RESULT OF THIS WORK SHALL BE REMOVED AS NECESSARY TO MAINTAIN EXISTING GRADES AND ELEVATIONS. VEGETATION SHALL BE ESTABLISHED WHEN SEDIMENT REMOVAL DESTROYS THE EXISTING VEGETATION. THE ESTABLISHMENT OF VEGETATION SHALL BE IN THE SAME MANNER AS SPECIFIED FOR SEEDING ELSEWHERE ON THIS PLAN.
 - 1.5 SILT FENCE SHALL BE PLACED DOWN SLOPE OF ALL SOIL STOCK PILES DURING CONSTRUCTION IF LEFT MORE THAN SEVEN DAYS. STOCK PILES SHALL BE SEED AND MULCHED IF LEFT FOR MORE THAN 14 DAYS. SILT FENCE SHALL BE INSTALLED TO CONFORM WITH WDNR TECHNICAL STANDARD 1056.
 - 1.6 STORM DRAIN INLET PROTECTION SHALL BE PROVIDED AROUND INLETS. STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AND CONFORM WITH WDNR TECHNICAL STANDARD 1050. TYPE "A" PROTECTION SHALL BE PROVIDED UNTIL CRUSHED AGGREGATE IS PLACED. TYPE "B" OR "C" SHALL BE UTILIZED ONCE AGGREGATE IS PLACED UNTIL FINAL PAVEMENT AND ESTABLISHMENT OF VEGETATION.
- 2.0 EXECUTION:**
- 2.1 ALL DISTURBED AREAS SHALL TOPSOIL APPLIED, AND BE SODDED, MULCHED, AND FERTILIZED WITHIN 7 DAYS OF FINAL DISTURBANCE.
 - 2.2 SEED SHALL BE PLANTED IN A MANNER THAT ALLOWS THE SEED TO BE WORKED INTO THE SOIL AND COME IN FIRM CONTACT WITH THE SOIL. SEEDING AND MULCHING SHALL BE ACCOMPLISHED USING THE FOLLOWING MATERIALS AND METHODS:
 - 2.2.1 4" OF TOPSOIL SHALL BE PLACED ON ALL AREAS WITHIN THE PROJECT LIMITS EXCEPT WHERE ANOTHER SURFACE TREATMENT IS SPECIFIED.
 - 2.2.2 EROSION MAT SHALL BE USED IN PLACE OF MULCH WHERE SPECIFIED. EROSION MAT SHALL BE INSTALLED TO CONFORM WITH WDNR TECHNICAL STANDARD 1052.
 - 2.2.3 SEED MIX SHALL BE "LO" "GRASSY" AND APPLIED AT A RATE OF 120 LBS/ACRE.
 - 2.2.4 MULCHING WITH STRAW SHALL CONSIST OF EVENLY SPREADING (3) 40 LB. BALES OF CLEAN WHEAT OR OAT STRAW PER 1000 SF. OF DISTURBED AREA COVERED.
 - 2.3 A TEMPORARY BERM OR CHANNEL SHALL BE CONSTRUCTED ACROSS THE SLOPE TO COLLECT AND DIVERT RUNOFF FROM ENTERING OR EXITING DISTURBED AREAS. CONSTRUCTION SITE DIVERSION SHALL CONFORM WITH WDNR TECHNICAL STANDARD 1068.
 - 2.4 A STONE TRACKING PAD SHALL BE PROVIDED AT EACH CONSTRUCTION ACCESS POINT. STONE TRACKING PAD SHALL CONFORM WITH WDNR TECHNICAL STANDARD 1057.
- 3.0 MAINTENANCE:**
- 3.1 MAINTENANCE OF ALL INSTALLED EROSION AND SEDIMENT CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE OWNER. HOWEVER, THE INSTALLER SHALL PERFORM REQUIRED MAINTENANCE AT THE DIRECTION OF THE OWNER.
 - 3.2 INSPECTING ALL EROSION AND SEDIMENT CONTROL DEVICES WEEKLY AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.5 INCHES OR GREATER.
 - 3.3 FINISHED AREAS THAT HAVE BEEN DAMAGED OR ERODED SHALL BE RESTORED WITHIN SEVEN DAYS OF THE DAMAGE.
 - 3.4 UNFINISHED AREAS THAT HAVE BEEN DAMAGED OR ERODED SHALL BE RESTORED WITHIN SEVEN DAYS OF THE DAMAGE.
 - 3.5 STONE TRACKING CONTROL APRON SHALL BE REMOVED AND REPLACED WHEN VOIDS BECOME FILLED WITH SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT THE APRON DOES NOT FUNCTION.
 - 3.6 SILT FENCES SHALL BE MAINTAINED IN A FUNCTIONING MANNER. FENCES SHALL NOT BE ALLOWED TO SAG, FALL DOWN, OR BECOME FILLED WITH SILT ON THE BACK SIDE. IF SILT BUILDS UP BEHIND A SILT FENCE IT SHALL BE REMOVED IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL SILT DEPOSITS BE ALLOWED TO REACH MORE THAN HALF THE HEIGHT OF THE FENCE. SILT FENCE SHALL BE INSTALLED TO CONFORM WITH WDNR TECHNICAL STANDARD 1050.
- 4.0 REMOVING CONTROL MEASURES:**
- 4.1 SEDIMENT CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. SEDIMENT CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. CONTRACTOR SHALL REMOVE CONTROL MEASURES WHEN THE SITE HAS ESTABLISHED A VEGETATION COVER OR WHEN DIRECTED TO DO SO BY THE OWNER.

LA CROSSE
ENGINEERING & SURVEYING, P.C., INC.
LA CROSSE COUNTY
COORDINATE SYSTEM
2025 S. 5th Street, La Crosse, WI 54601
Phone: (608) 785-3438 Fax: (608) 785-3438
www.lacrosseeng.com

Brett Sawyer
CITY OF LA CROSSE
GRADING/EROSION CONTROL PLAN

DATE: 3/21/17
FILE: Sawyer_com
DRAWN BY: FJH



GENERAL NOTES:

DRAWING SHOWING LOCATIONS OF EQUIPMENT, GEAR, LIGHTING, PIPING, ETC. ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT ACTUAL INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL EQUIPMENT, GEAR, LIGHTING, AND PIPING AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS AS REQUIRED. DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS.

ELECTRICAL CONTRACTOR SHALL COORDINATE ALL GEAR, LIGHTING, PIPING AND EQUIPMENT WITH WORK OF OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.

FINISH AND INSTALL ELECTRICAL PRODUCTS IN COMPLIANCE WITH LOCAL BUILDING CODES AND THE AUTHORITY HAVING JURISDICTION AND IN ACCORDANCE WITH GENERALLY ACCEPTED INDUSTRY STANDARDS AND PRACTICES AND MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.

CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IES STANDARDS AND GOOD PRACTICE. SOME OF THE DIFFERENCES BETWEEN THE MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCE, MEASUREMENT TECHNIQUES AND FIELD CONDITIONS. INPUT DATA USED TO GENERATE THE ATTACHED CALCULATIONS SUCH AS ROOM DIMENSIONS, REFLECTANCE, FURNITURE, AND ARCHITECTURAL ELEMENTS SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE REAL ENVIRONMENT CONDITIONS DO NOT MATCH THE INPUT DATA, DIFFERENCES WILL OCCUR BETWEEN THE MEASURED VALUES AND CALCULATED VALUES.

ELECTRICAL NOTES:

1. ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES, NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), NATIONAL ELECTRICAL CODE (NEC), AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
2. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUFACTURER'S PUBLISHED RECOMMENDATION. MAINTAIN ALL RECOMMENDED CLEARANCES AROUND EQUIPMENT.
3. COORDINATE ALL EQUIPMENT WITH HVAC, PLUMBING, STRUCTURAL MEMBERS, DOORS, AND OTHER POTENTIAL CONFLICTS. COORDINATE WORK WITH ALL OTHER TRADES.
4. ALL WIRING, INCLUDING CONTROL WIRING WILL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL PROVIDE CONTROLS, AND ALL MISCELLANEOUS EQUIPMENT TO MAKE THE ELECTRICAL POWER/LIGHTING/DATA/FIRE ALARM/SECURITY SYSTEM COMPLETELY OPERATIONAL, READY FOR THE OWNER'S USE.
5. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING, ADJUSTING AND CALIBRATION OF CONTROL SYSTEMS UNLESS SPECIFIED OTHERWISE.
6. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AN OPERATING AND MAINTENANCE MANUAL, CODE COMPLIANCE REPORT AND COPY OF THE STATE APPROVED ELECTRICAL PLAN TO THE BUILDING OWNER OR OPERATOR. THE OPERATING AND MAINTENANCE MANUAL SHALL INCLUDE BASIC DATA RELATING TO THE OPERATION AND MAINTENANCE OF ELECTRICAL SYSTEMS AND EQUIPMENT. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED. WHERE APPLICABLE, ELECTRICAL CONTROLS INFORMATION SUCH AS DIAGRAMS, SCHEMATICS, CONTROL SEQUENCE DESCRIPTIONS, AND MAINTENANCE AND CALIBRATION INFORMATION SHALL BE INCLUDED.
7. THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO INDICATE CAPACITY, SIZE, APPROXIMATE LOCATION AND GENERAL ARRANGEMENT, NOT THE SPECIFIC DETAILS OF CONSTRUCTION. ADDITIONAL OFFSETS, FITTINGS, ACCESSORIES, AND COORDINATION THAT MAY BE NEEDED FOR PROPER INSTALLATION AND ARE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
8. ANY ERRORS OR AMBIGUITIES IN THE PLANS AND/OR SPECIFICATIONS THAT ARE DISCOVERED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER BEFORE WORK IS STARTED. OMISSION OF PARTICULAR REFERENCE TO ANY ITEM NECESSARY FOR COMPLETE INSTALLATION AND PROPER OPERATION THEREOF SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING THE SAME AT NO EXTRA COST. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL PROJECT DOCUMENTS FOR INFORMATION PRIOR TO BID.
9. ALL WORKMANSHIP, MATERIALS, EQUIPMENT, AND ANY OTHER COMPONENTS REQUIRED FOR JOB COMPLETION SHALL COMPLY WITH ALL APPLICABLE CODES AND PROJECT SPECIFICATIONS.
10. ANY CHANGES TO MATERIALS SPECIFIED ON PLAN MUST BE APPROVED BY THE ELECTRICAL ENGINEER.
11. LIGHTING EQUIPMENT IS NOT TO BE USED FOR TEMPORARY LIGHTING DURING CONSTRUCTION.
12. POWER EQUIPMENT IS NOT TO BE USED FOR TEMPORARY POWER DURING CONSTRUCTION.
13. CLEAN FIXTURES AND EQUIPMENT AND LEAVE IN PROPER WORKING CONDITION AT THE TIME OF FINAL CLEAN-UP.

PLAN NOTES:

150 MAX SLOPE FOR PARKING AND AISLE @ OF GENERAL NOTES

Symbol	Tag	Qty	Label	Arrangement	LLF	Description
⊙	D1	11	DLED4R8Y	SINGLE	0.900	DLED4R8Y
⊙	WP1	1	SLIM37Y	SINGLE	0.900	SLIM37Y

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Alley	Illuminance	Fc	0.14	0.4	0.0	N.A.	N.A.
Parking	Illuminance	Fc	1.29	4.1	0.1	12.90	41.00
Sidewalk	Illuminance	Fc	2.94	5.5	0.1	29.40	55.00



#	DATE	COMMENTS

REVISIONS

DRAWN BY: ARON KEIL
APPROVED BY:
ISSUE DATE: 3/24/2017
REVIEW DATE:
PAPER SIZE: ARCH D (24"x36")
SCALE: 1" = 4'



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La Crosse St Office
Brett Sawyer - City LTG