



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Meeting Agenda

Heritage Preservation Commission

Thursday, July 28, 2022

6:00 PM

Council Chambers- Grandad Room- 400 La
Crosse Street

Members of the public may participate in the meeting in the following ways;

View and Speak:

Join the meeting: <https://call.lifesizecloud.com/4796124>

Click to call from Mobile (audio only)

United States: +1 (877) 422-8614,, 4796124#

View and Listen only

<https://stream.lifesizecloud.com/extension/4796124/c7d43560-fea7-4613-9625-63af875bee87>

Or you may attend in person at City Hall located at 400 La Crosse Street. Members of the public who would like to provide written comments on any agenda may do so by emailing acklint@cityoflacrosse.org, using a drop box outside of City Hall or mailing the Department of Planning, Development and Assessment, 400 La Crosse Street, La Crosse WI 54601. Questions, call 608-789-7512.

Call to Order

Roll Call

Approval of Minutes

1. Approval of the June 23, 2022 Meeting Minutes.

Agenda Items:

2. [22-0979](#) Review of a Certificate of Appropriateness for a new restroom facility located within Riverside Park.

Attachments: [Staff Report](#)

[Riverside Park Restroom Facility Plans](#)

3. [22-0980](#) Review of a Certificate of Appropriateness for a sign at 321 Main Street.

Attachments: [Staff Report](#)

[Proposed Sign](#)

[Sign Permit Application](#)

4. [22-0981](#) Review of a Certificate of Appropriateness for a sign located at 308 Main Street.

Attachments: [Staff Report](#)

[Proposed Sign Plan](#)

[Sign Permit Application](#)

5. [22-0982](#) Discussion and possible action on an amendment to the Historic Landmark Nomination Form.
Attachments: [Current Historic Landmark Nomination Form](#)
[Proposed Historic Landmark Nomination Form Guide Addition](#)
6. [22-0640](#) Nomination of the Charles Felber House- Sears Roebuck & Co Home, located at 2326 Madison Street, to be designated as a Local Historic Landmark.
Attachments: [Application](#)
[Email write up.pdf](#)
[Sears Roebuck Ad for Home](#)
7. Lost La Crosse Project Update
8. [22-0856](#) Discussion on the August 2021 Certificate of Appropriateness decision by the HPC regarding 123-125 3rd Street S.
Attachments: [8-26-21 Meeting Minutes.pdf](#)

Adjournment

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.

Heritage Preservation Commission Members

CM Mackenzie Mindel, David Riel, Laura Godden, John Satory, Janet Allen, Jennifer Morris, Monica Gorski



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0979

Agenda Date: 7/28/2022

Version: 1

Status: Agenda Ready

In Control: Heritage Preservation Commission

File Type: Review of Plans

Agenda Number: 2.

HERITAGE PRESERVATION COMMISSION REPORT
Certificate of Recommendation
Section 20-92

TO: Heritage Preservation Commission
FROM: Planning Staff
MEETING DATE: July 28, 2022

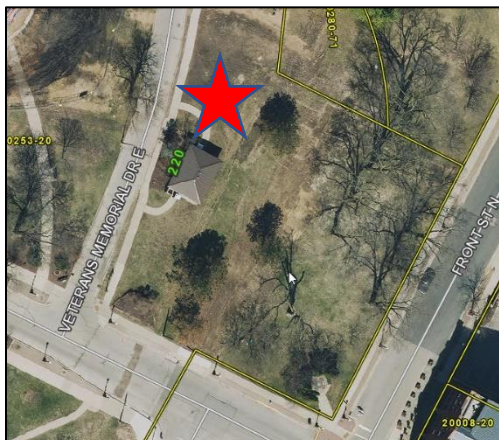
PROPOSAL: The applicant is proposing to demolish the existing restroom building in Riverside Park near the State St entrance and replace it with a new building.

PROPERTY OWNER:
City of La Crosse
Parks, Recreation, and Forestry
400 La Crosse Street
La Crosse, WI 54601

APPLICANT:
Same as above.

BACKGROUND: The HPC was given responsibility to review all exterior work that requires a permit from the City on Locally Designated Landmarks per Section 20-92 of the La Crosse Municipal Code.

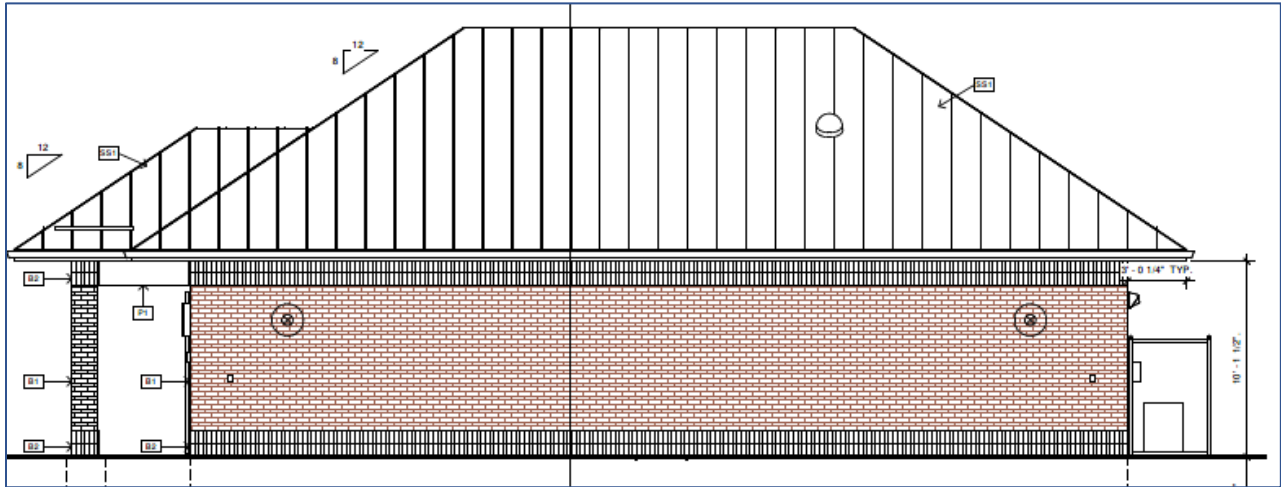
PROJECT DESCRIPTION: The applicant is proposing to demolish the existing restroom building (picture to the right) and replace it with new building. The new building will be constructed immediately to the north and will include more restrooms, a family restroom, water fountains, and a storage area with an overhead door. The new building is the product of a partnership between the City and the Friends of Riverside Park who have been working together to improve and increase the number of restrooms in the park as well as provide a storage space for yearly events that are held there. The new building is being located immediately to the north of the current building due to floodplain issues, proximity to public utilities, and so that the existing restrooms can still be used during construction of the new building.



The building will be brick with a metal seam roof.

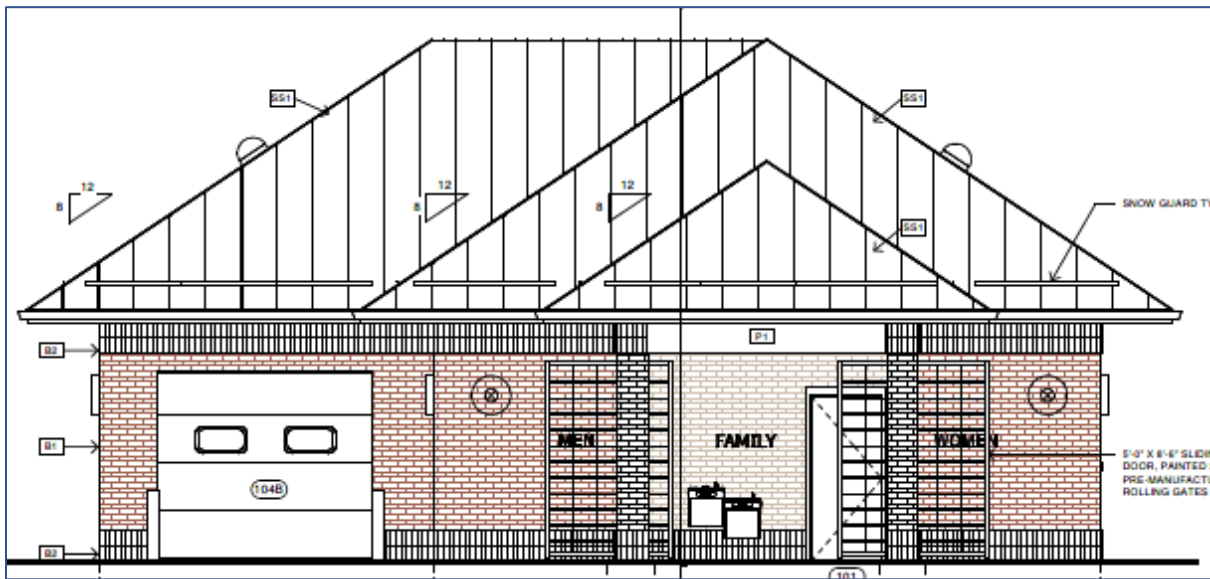
South Façade

The south façade (facing toward State St) consists of a solid brick façade with two exterior lights.



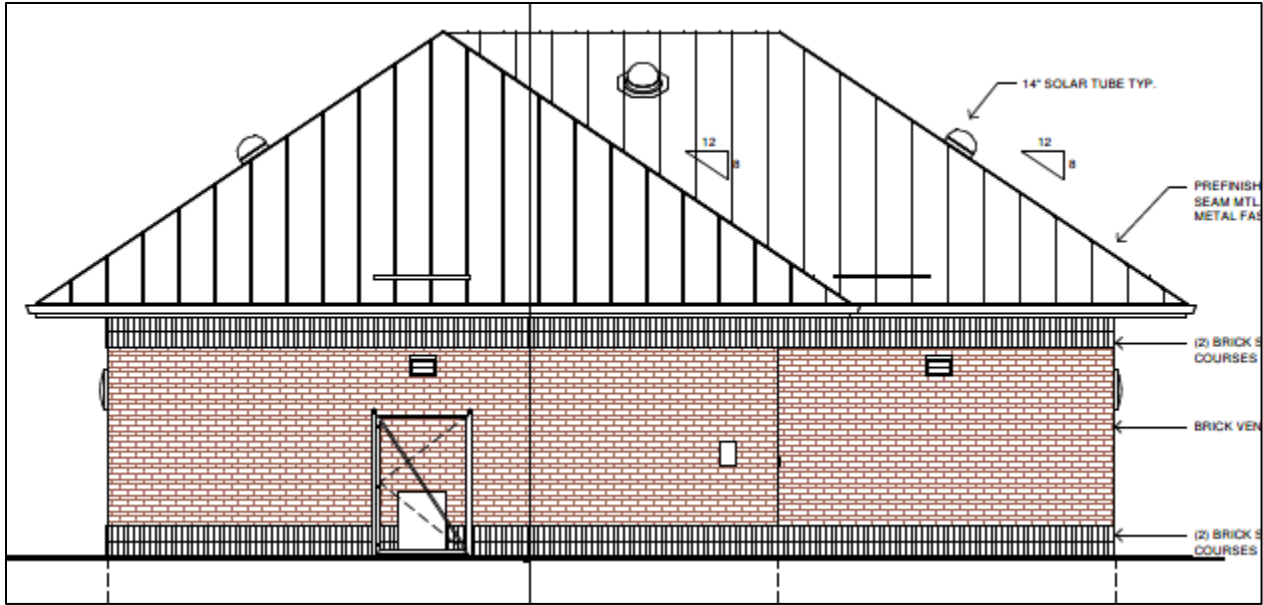
West Façade

The west façade (facing Veterans Memorial Dr) includes the main entrance to the restrooms and an overhead garage door to access the storage area. The main entrance to the restrooms is covered by a brick canopy with brick columns. The overhead door includes a section with two small windows and two bollards. The storage portion of the building is recessed back from the main entrance. Two exterior lights face Veterans Memorial Drive.



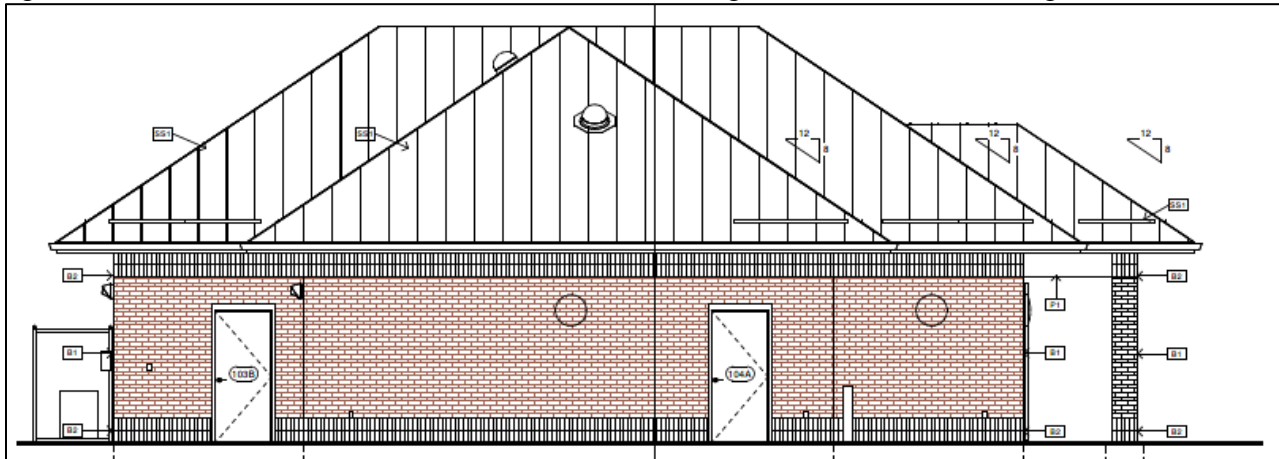
East Façade

The east façade (facing toward Front St) consists of a solid brick façade with two exterior lights. A chain link fence and gate surround the proposed outside air conditioning unit.



North Façade

The north façade consists of a solid brick wall with two exterior service doors and two exterior lights. One door is for the mechanical area of the building and one is for the storage area.



SEE ATTACHED PLANS FOR MORE INFORMATION.

ANALYSIS:

The proposed new restroom building is located in an area of Riverside Park that is also recognized as Spence Park which is considered the location of where Nathan Myrick established his log cabin and trading post. The proposed new building is larger in size but is built with materials that are complimentary to the park and provides a much more visually appealing aesthetic near the park's

main entrance. The building's location is not considered by staff to negatively impact the landscape of the park.

FINDING

The proposed new building is appropriate for the proposed location within Riverside Park as there has been a restroom facility there for some time.

RECOMMENDED ACTION BY STAFF:

This Certificate of Appropriateness is recommended for approval.

RIVERSIDE SOUTH TOILET BUILDING:

CITY OF LA CROSSE, WI

239 E Veterans Memorial Drive, LaCrosse, WI 54601

NEW STRUCTURE



SHEET INDEX

ARCHITECTURAL	
T1	TITLE SHEET
C100	SITE PLAN
C200	EROSION CONTROL PLAN
C300	GRADING PLAN
CC1	CODE COMPLIANCE PLAN
A1	PROPOSED FLOOR PLAN
A2	REFLECTED CEILING PLAN
A3	ROOF PLAN
A4	EXTERIOR ELEVATIONS
A5	BUILDING SECTION
A6	BUILDING SECTION
STRUCTURAL	
S0	GENERAL / STRUCTURAL NOTES
S1	FOUNDATION PLAN
S2	ROOF FRAMING PLAN
MECHANICAL	
SM-1	SCHEMATIC HVAC PLAN
PLUMBING	
P-1	UNDERFLOOR PLUMBING PLAN
P-2	FIRST FLOOR PLAN
P-3	WASTE AND VENT DIAGRAM
P-4	WATER PIPING DIAGRAM
P-5	SPECS AND PIPING CALC'S
ELECTRICAL	
SE-1	SCHEMATIC LIGHTING PLAN
SE-2	SCHEMATIC POWER PLAN
SE-3	PHOTOMETRICS

SCOPE OF WORK

THIS PROJECT CONSISTS OF A NEW 1,738 S.F. SINGLE STORY BUILDING USED FOR PUBLIC RESTROOMS.

THE OCCUPANCY TYPE IS B BUSINESS (AS IT IS AN ASSEMBLY OCCUPANCY WITH LESS THAN 49 OCCUPANTS).

THE BUILDING CONSTRUCTION TYPE IS II-B.

THE BUILDING CONSISTS OF A SLAB ON GRADE WITH CMU WALLS AND AN ENGINEERED WOOD ROOF TRUSS SYSTEM.

GENERAL NOTES

ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECTS FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

"TYP." SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS OTHERWISE NOTED, DETAILS ARE USUALLY KEYED AND NOTED "TYP." ONLY ONCE WHEN THEY FIRST OCCUR.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN AND ORDERLY CONDITION UPON THE COMPLETION OF HIS WORK ON A DAILY BASIS. ALL WASTE, RUBBISH AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROMPTLY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH FOR THE DURATION OF THE PROJECT.

CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A/10BC WITHIN 75' TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING DURING CONSTRUCTION.



ABBREVIATIONS

A	A.B. ANCHOR BOLT A.C. AIR CONDITIONING A.C.T. ACOUSTICAL CEILING TILE A.F.F. ABOVE FINISHED FLOOR ALUM. ALUMINUM ALT. ALTERNATE A.P. ACCESS PANEL APPROX. APPROXIMATE(LY) ASPH. ASPHALT	B	BD. BOARD BLDG. BUILDING BLKG. BLOCKING BM. BEAM, BENCH MARK B.O. BOTTOM OF BOT. BOTTOM BRG. BEARING B.S. BOTH SIDES BSMT. BASEMENT BTWN. BETWEEN	C	C.C. CENTER TO CENTER C.I.P. CAST IN PLACE CF. CUBIC FEET C.I. CONTROL JOINT CL. CENTERLINE CLG. CEILING CLR. CLEAR CLK. CAULKING CMU CONCRETE MASONRY UNIT CMNT. CEMENT CO. CLEAN OUT COLUMN. COLUMN CONC. CONCRETE CONTIN. CONTINUE, CONTINUOUS CONSTR. CONSTRUCTION CR. CURB RAMP CRPT. CARPET CT. CERAMIC TILE CTR. CENTER CY. CUBIC YARD	D	DBL. DOUBLE DET. DETAIL DIA. DIAMETER DIAG. DIAGONAL DIM. DIMENSION DIST. DISTANCE DN. DOWN DR. DOOR DRAIN DS. DOWN SPOUT DTL. DETAIL DW. DISH WASHER DWM. DRYWALL DWG. DRAWING DWLS. DOWELS	E	EA. EACH E.F. EACH FACE EIFS EXTERIOR INSULATION FINISH SYSTEM EL. ELEVATION ELEC. ELECTRIC(AL) ELEV. ELEVATOR, ELEVATION EPDM ETHYLENE, PROPYLENE, DIENE TERPOLYMER EPI. EXTRUDED POLYSTYRENE INSULATION EQ. EQUAL EQIP. EQUIPMENT E.W. EACH WAY EWC. ELECTRIC WATER COOLER EXH. EXHAUST EXIST. EXISTING EXP. EXPOSED, EXPANSION EXT. EXTERIOR	F	FAC. FIRE ACCESS CABINET F.D. FLOOR DRAIN F.E. FIRE EXTINGUISHER F.G. FIBERGLASS FIN. FINISH F.O. FINISH OPENING FRMG. FRAMING FLR. FLOOR FLUR. FLUORESCENT FBN. FOUNDATION FS. FAR SIDE FT. FOOT (FEET) FTG. FOOTING, FITTING FUT. FUTURE	G	G. GAS GA. GAUGE GALV. GALVANIZED G.B. GRAB BAR G.C. GENERAL CONTRACTOR GL. GLASS, GLAZING GYP. BD. GYPSUM WALL BOARD GYP. GYPSUM	H	H.B. HOSE BIB H.C. HOLLOW CORE HDR. HEADER HDWR. HARDWARE HGT. HEIGHT H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HTG. HEATING HVAC HEATING/VENTILATING/AIR CONDITIONING HW. HOT WATER H.W.S. HEATED WELDED STUDS HYD. HYDRANT	I	I.D. INSIDE DIAMETER I.E. INVERT ELEVATION I.F. INSIDE FACE IN. INCH INC. INCLUDE(D), INCLUDING INSUL. INSULATE(D), INSULATION INT. INTERIOR	J	JST. JOIST JT. JOINT	K	K.C.J. KEYED CONSTRUCTION JOINT KIT. KITCHEN K.O. KNOCKOUT KWY. KEYWAY	L	L. LENGTH L.V. LAVATORY LOC. LOCATE LF. LINEAR FOOT L.L. LINE LOAD L.L.H. LONG LEG HORIZONTAL L.L.V. LONG LEG VERTICAL L.T. WT. LIGHT WEIGHT	M	MAS. MASONRY MAX. MAXIMUM M.B. MACHINE BOLT MECH. MECHANICAL MEMB. MEMBRANE MEZZ. MEZZANINE MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS M.O. MASONRY OPENING M.T. METAL M.R. MOISTURE RESISTANT	N	N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL N.S. NEAR SIDE N.T.S. NOT TO SCALE	O	O.C. ON CENTER O.D. OUTSIDE DIAMETER O.F. OUTSIDE FACE O.H. OVERHEAD, OVERHANG O.P. OPENING OPP. OPPOSITE OSB. ORIENTATED STRAND BOARD	P	PART. PARTITION P.C.F. POUNDS PER CUBIC FOOT PED. PEDESTAL PERP. PERPENDICULAR PL. PLATE PLAM. PLASTIC LAMINATE PLAS. PLASTIC PLBG. PLUMBING PLF. POUNDS PER LINEAL FOOT PNL. PANEL POLY. POLYETHYLENE PROJ. PROJECT, PROJECTED PROP. PROPERTY PSF. POUNDS PER SQUARE FOOT PSI. POUNDS PER SQUARE INCH P.T. PRESSURE TREATED PNT. PAINTED PVC. POLYVINYL CHLORIDE PMT. PAVEMENT P.W.D. PLYWOOD	Q	Q.T. QUARRY TILE	R	R. RADIUS, RISER R.A. RETURN AIR R.D. ROOF DRAIN R.O.M. RANDOM RE. REFER TO REF. REFERENCE, REFRIGERATOR REINF. REINFORCING, REINFORCED, REINFORCEMENT REQD. REQUIRED REV. REVISE(D), REVISION RM. ROOM R.O. ROUGH OPENING RT. RIGHT RVL. REVEAL	S	S.A. SUPPLY AIR S.C. SOLID CORE SCHED. SCHEDULE SECT. SECTION SF. SQUARE FOOT SH. SHELF, SHELVING, SHOWER SHT. SHEET SHT. SHEET SIM. SIMILAR S.M.S. SHEET METAL SCREENS S.O.G. SLAB ON GRADE SPEC. SPECIFICATIONS SPKR. SPEAKER SQ. SQUARE S.S. STAINLESS STEEL S.T.C. SOUND TRANSMISSION COEFFICIENT STD. STANDARD STL. STEEL STRUCT. STRUCTURAL SUSP. SUSPENDED SY. SQUARE YARD SYM. SYMMETRICAL	T	T. TREAD T.G. TONGUE AND GROOVE T.B.B. TILE BACKER BOARD TBD. TO BE DETERMINED TELE. TELEPHONE THK. THICKNESS T.O. TOP OF T.O.L. TOP OF LEDGE T.O.F. TOP OF FOOTING T.O.S. TOP OF STEEL T.O.W. TOP OF WALL TYP. TYPICAL	U	U.H. UNIT HEATER U.N.O. UNLESS NOTED OTHERWISE	V	V.B. VAPOR BARRIER VCT. VINYL COMPOSITION TILE V.P.C. VINYL PANEL CEILING VERT. VERTICAL VT. VINYL TILE	W	W. WATER W. WITH WD. WOOD W.F. WIDE FLANGE WO. WITHOUT WP. WATERPROOFING W.P.C. WOOD PANEL CEILING W.SCT. WAINSCOT WT. WEIGHT WWF. WELDED WIRE FABRIC
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MATERIALS

EARTHWORK	EARTH
	GRAVEL - AGGREGATE BASE COURSE
	SAND, MORTAR, FIREPROOFING
CONCRETE	CONCRETE - CAST-IN-PLACE
	CONCRETE MASONRY UNIT (CMU)
MASONRY	BRICK MASONRY
	LIMESTONE, CUT STONE, PRECAST
METAL	STEEL
WOOD	WOOD - FINISH / MILL WORK
	WOOD - ROUGH
	WOOD - BLOCKING
	PLYWOOD
INSULATION	EIFS
	RIGID INSULATION
	SPRAY FOAM INSULATION
FINISHES	CERAMIC TILE
	MARBLE
	TERRAZZO
	COVER BOARD, PROTECTION BOARD
	COMPOSITE BOARD

SYMBOLS

	DETAIL NUMBER		WALL TYPE TAG
	DETAIL NUMBER		LEVEL LINE
	DETAIL NUMBER		SPOT ELEVATION
	DETAIL NUMBER		KEYNOTE TAG
	DETAIL NUMBER		DEMOLITION TAG
	ROOM NAME		STANDARD DIMENSION
	ROOM NUMBER		CENTERLINE DIMENSION
	EXISTING GRID IDENTIFICATION		REVISION CLOUD / TAG
	NEW GRID IDENTIFICATION		WINDOW TYPE / CURTAIN WALL TYPE
	TRUE NORTH		EXISTING CONDITIONS
	DRAWING TITLE / VIEW REFERENCE		NOT IN CONTRACT (NIC)

RIVERSIDE SOUTH
TOILET ROOMS

239 E Veterans Memorial Drive, LaCrosse, WI

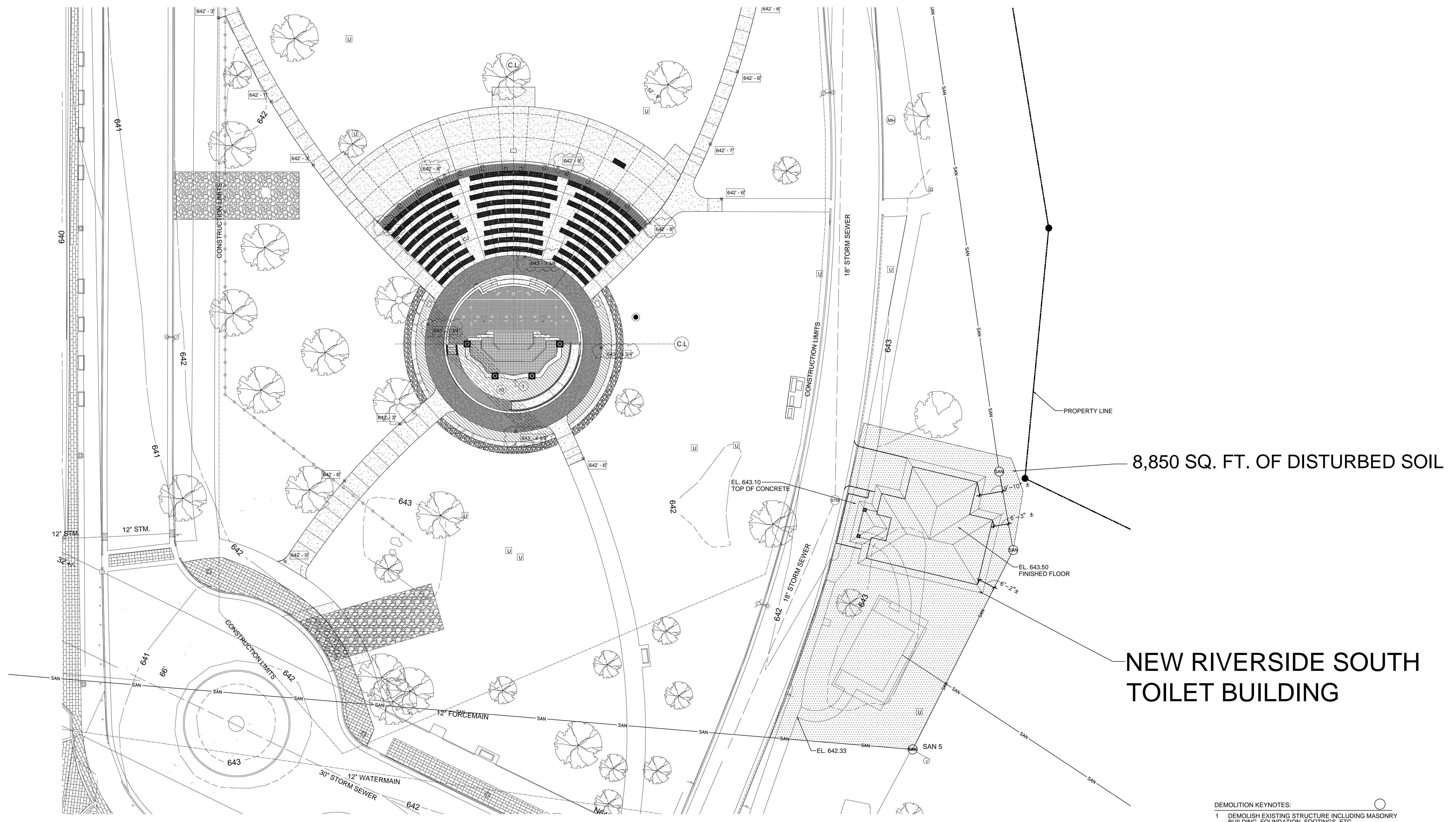
No.	Date	Description

TITLE SHEET

Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK
T1	
Scale	1/8" = 1'-0"

**RIVERSIDE SOUTH
 TOILET BUILDING**

LACROSSE, WI



8,850 SQ. FT. OF DISTURBED SOIL

NEW RIVERSIDE SOUTH
 TOILET BUILDING

- DEMOLITION KEYNOTES:
- 1 DEMOLISH EXISTING STRUCTURE INCLUDING MASONRY BUILDING, FOUNDATION, FOOTINGS, ETC.
 - 2 REMOVE ALL EXISTING WIRING, CONDUITS, DEVICES BACK TO SERVICE ENTRANCE. CAP AT JUNCTION BOX.
 - 3 REMOVE ALL FIXTURES AND PIPING FOR WATER & SEWER. CAP AND CLEAN AT WATER ENTRANCE.
 - 4 REMOVE ANY HVAC EQUIPMENT & VENTILATION COMPLETELY.
 - 5 REMOVE EXISTING SIDEWALKS AND WALKWAYS (PER PLAN)
 - 6 REGRADE TO MATCH EXISTING CONTOURS. RESEED THESE LAWN AREAS.

1 **SITE PLAN**
 C100 1" = 20'-0" NORTH

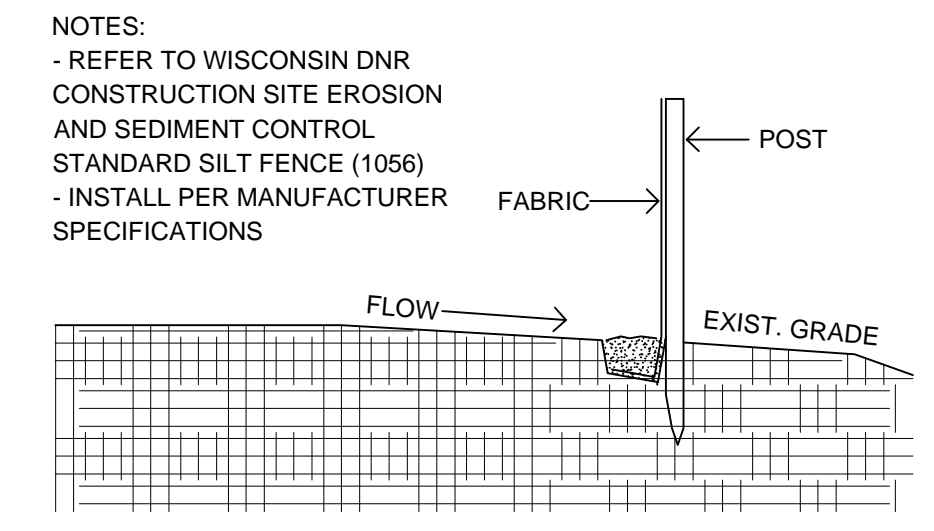
No.	Description	Date

Project Number 22-136.001
 Date 7/13/22
 Drawn By CHK
 Checked By CHK

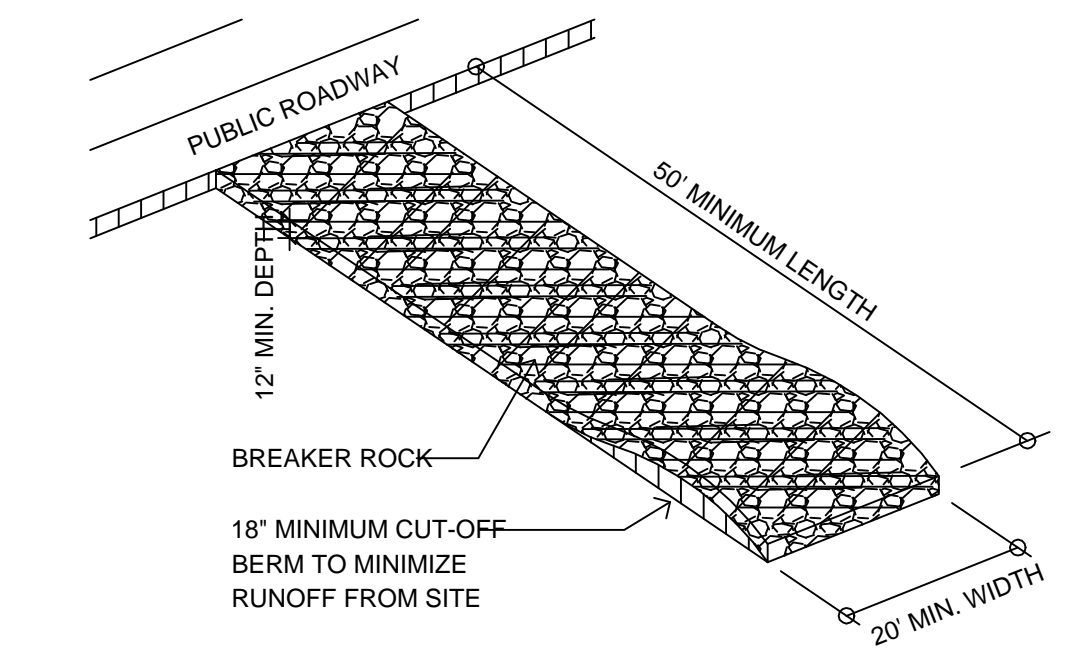
C100

Scale As indicated

**RIVERSIDE SOUTH
 TOILET BUILDING**
 LACROSSE, WI



2
C200 SILT FENCE DETAIL
 3/8" = 1'-0"

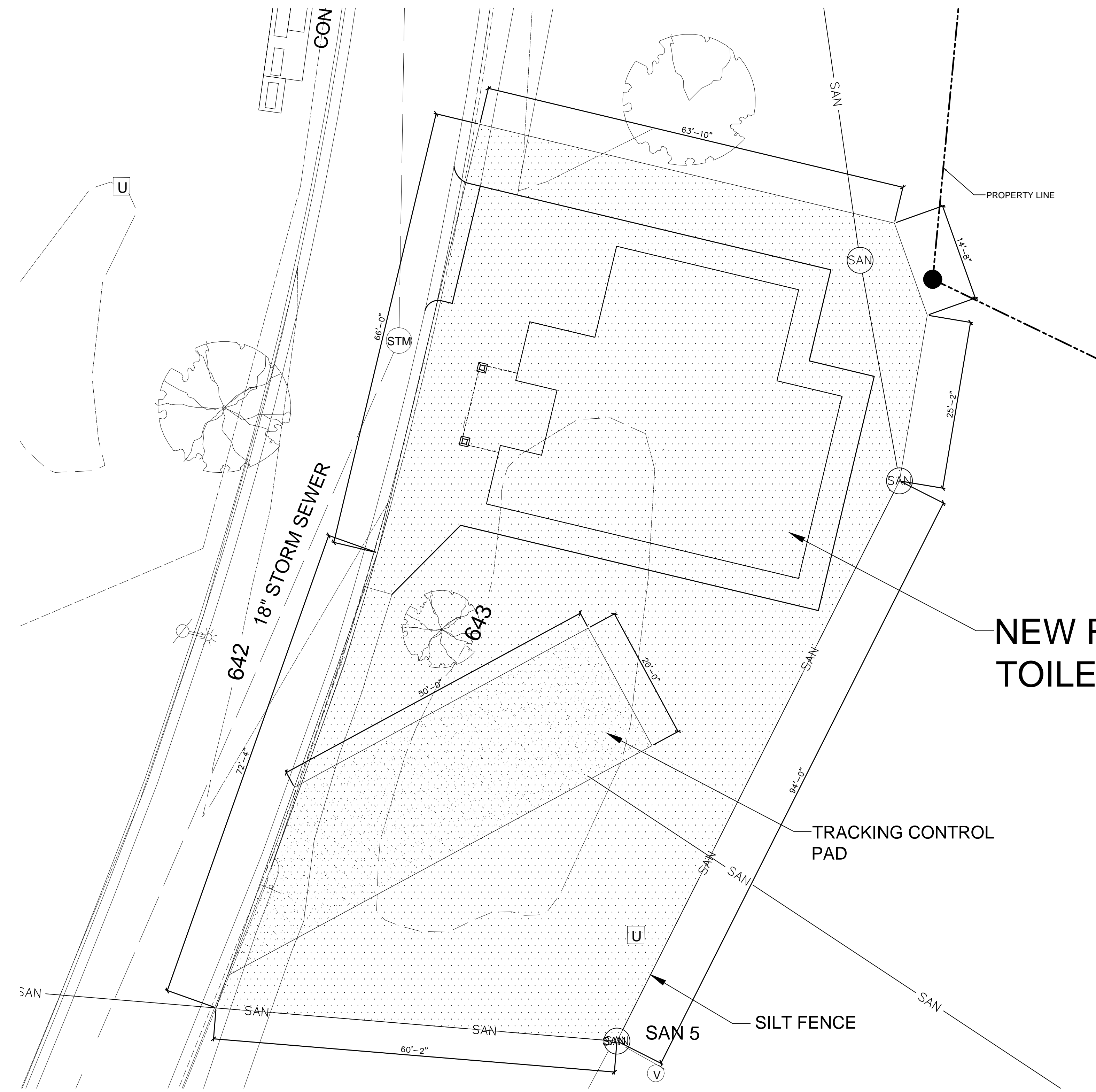


NOTES:
 -PLACE FILTER FABRIC (PROPEX 2002 OR EQUAL) UNDER BREAKER ROCK TO PREVENT MUD MIGRATION THROUGH ROCK.
 - ENTRANCE MUST BE MAINTAINED REGULARLY TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS. FUGITIVE ROCK WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.

3
C200 TRACKING CONTROL
 1/4" = 1'-0"

- GENERAL NOTES:
1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BID AND NOTIFY ARCHITECT OF DISCREPANCIES.
 2. PRIOR TO ANY EARTHWORK ACTIVITY, ALL EROSION CONTROL MEASURES SHALL BE INSTALLED, AND APPROPRIATE PERMITS SHALL BE OBTAINED.
 3. THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD, ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. CALL DIGGER'S HOTLINE (800) 242-8511.
 4. THE UNDERGROUND LOCATIONS OF THE PUBLIC UTILITIES WERE MARKED BY REPRESENTATIVES OF THOSE COMPANIES. THE LOCATIONS OF THE PRIVATELY OWNED UNDERGROUND UTILITIES WERE NOT MARKED.
 5. THERE MAY BE MORE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR ANY NECESSARY INSPECTIONS BY LOCAL GOVERNMENT THAT MAY BE REQUIRED.
 7. ANY AND ALL PARTIES UTILIZING VERTICAL DATUM SHALL ALWAYS CHECK INTO AT LEAST (2) BENCHMARKS TO AVOID MISTAKES DUE TO HYDRANT ADJUSTMENTS OR TRANSPOSITIONAL ERRORS.

- STORM WATER CONSTRUCTION POLLUTION PREVENTION NOTES:
1. SEDIMENT CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION.
 2. ALL DISTURBED AREAS SCHEDULED FOR LAWN SHALL HAVE TOPSOIL APPLIED, AND BE SEEDED AS SPECIFIED WITHIN 7 DAYS OF FINAL DISTURBANCE.
 3. SEED SHALL BE PLANTED IN A MANNER THAT ALLOWS THE SEED TO BE WORKED INTO THE SOIL AND COME IN FIRM CONTACT W/ THE SOIL.
 4. MAINTENANCE OF ALL INSTALLED EROSION AND SEDIMENT CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REMOVED WHEN NO LONGER NECESSARY.
 5. SILT FENCE SHALL BE PLACED DOWN SLOPE OF ALL SOIL STOCK PILES DURING CONSTRUCTION IF LEFT IN PLACE MORE THAN 7 DAYS. STOCK PILES SHALL BE SEEDED AND MULCHED IF LEFT FOR MORE THAN 14 DAYS.
 6. SEDIMENT DEPOSITED IN ROADS OR RIGHT OF WAY DITCHES ADJACENT TO THE SITE AS A RESULT OF THIS WORK SHALL BE REMOVED. VEGETATION SHALL BE REESTABLISHED WHEN SEDIMENT REMOVAL DESTROYS THE EXISTING VEGETATION.



**NEW RIVERSIDE SOUTH
 TOILET BUILDING**

- SHEET KEYNOTES:
1. SILT FENCE - SEE DETAIL 2/C200 FOR TYPICAL INSTALLATION
 2. VEHICLE TRACKING CONTROL - SEE DETAIL 3/C200
 3. PROVIDE CONCRETE WASHOUT FACILITY IN THIS GENERAL AREA
 4. RESEED ALL DISTURBED LAWN AREAS. HYDROSEED OR PROVIDE STRAW MULCH BLANKETS. BLEND NEW GROUND COVER INTO UNDISTURBED AREAS
 5. REPAIR CONCRETE SIDEWALK DAMAGE TO MATCH EXISTING CONDITIONS AFTER CONSTRUCTION IS COMPLETED
 6. REPAIR ANY DAMAGE TO CONCRETE CURB RESULTING FROM CONSTRUCTION TRAFFIC. MATCH EXISTING CONDITIONS

1
C200 EROSION CONTROL PLAN
 1" = 10'-0"

No.	Description	Date

Project Number 22-136.001
 Date 7/13/22
 Drawn By CHK
 Checked By CHK

C200

Scale As indicated

**RIVERSIDE SOUTH
 TOILET BUILDING**
 LACROSSE, WI

No.	Description	Date

Project Number 22-136.001

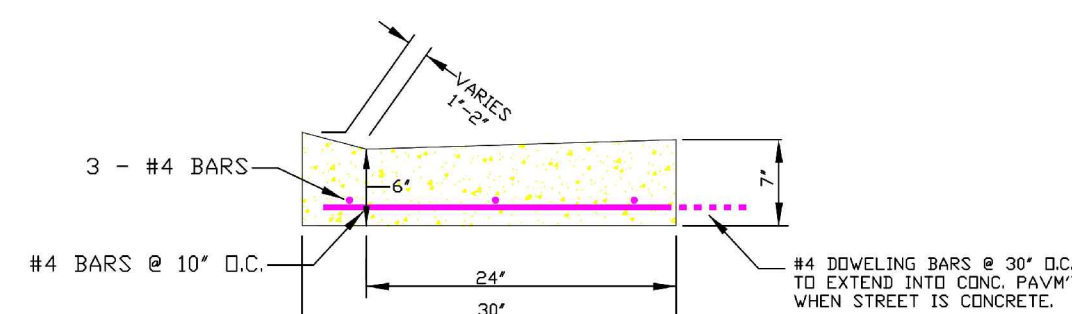
Date 7/25/22

Drawn By CHK

Checked By CHK

C300

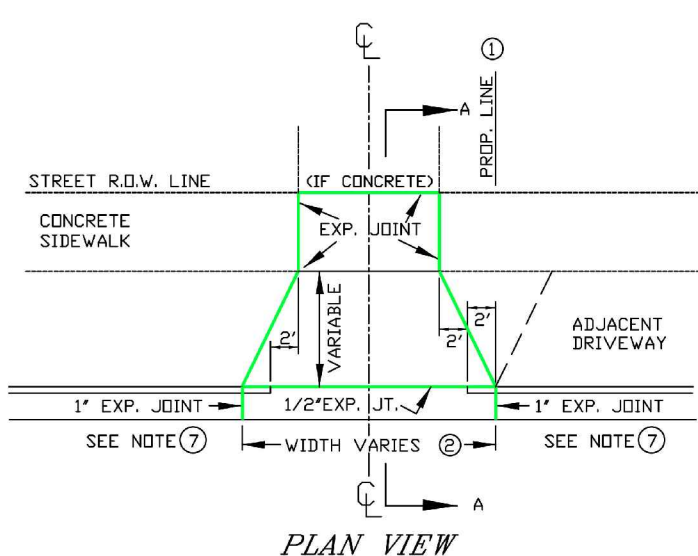
Scale As indicated



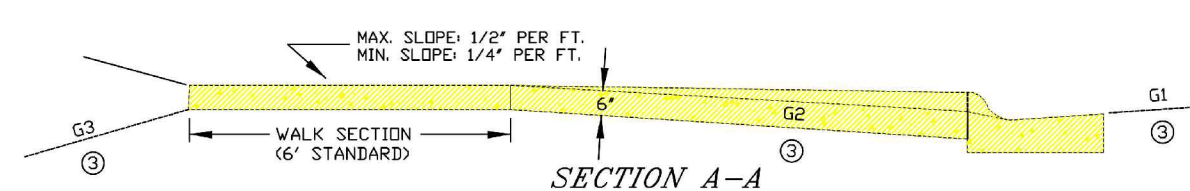
REINFORCED DRIVEWAY

*DRAWINGS
 NOT TO SCALE*

*DRAWINGS
 NOT TO SCALE*



PLAN VIEW



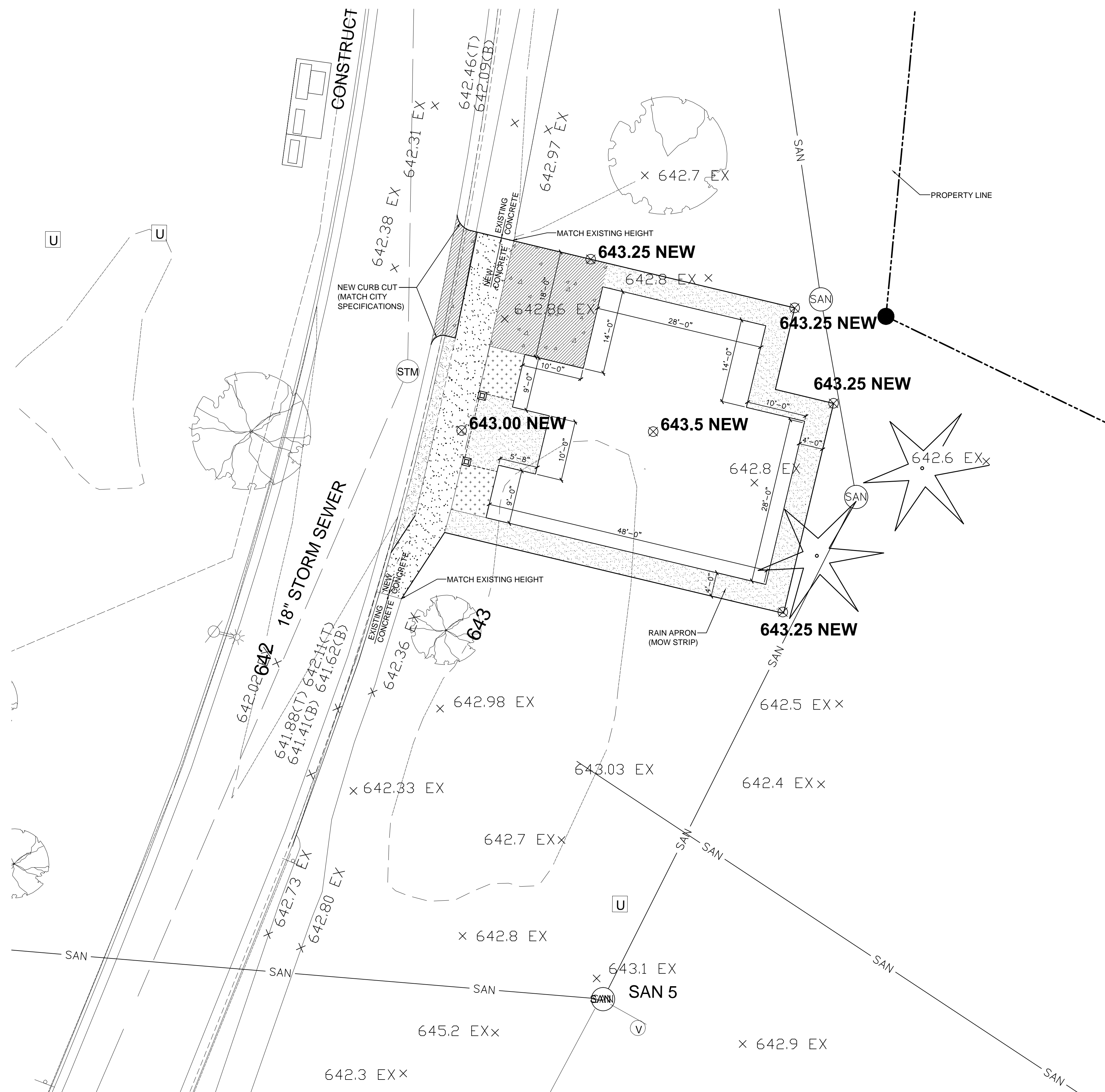
SECTION A-A

- ① DRIVE SECTION SHALL NOT OVERLAP PROPERTY LINE EXTENDED, EXCEPT WHERE PERMITTED BY THE ENGINEER, OR WHEN A JOINT DRIVEWAY AGREEMENT IS EXECUTED BY OWNERS OF ADJACENT PROPERTIES.
- ② MAX. DRIVEWAY WIDTH AT THE CURB AND SIDEWALK IS SET FORTH IN CITY ORDINANCE 5.03.
- ③ THE BREAKOVER ANGLE (CAUSE OF CARS BOTTOMING) BECOMES CRITICAL WHEN THE ALGEBRAIC DIFFERENCE OF GRADES (G1, G2, & G3) EXCEEDS 11%.
- ④ A REINFORCED DRIVE SECTION IS REQUIRED FOR CURB & GUTTER IN AREAS ZONED INDUSTRIAL OR COMMERCIAL.
- ⑤ BACK OF CURB TO FRONT OF CONC. SIDEWALK MUST BE CONCRETE, BRICK OR ASPHALTIC BITUMINOUS.
- ⑥ MECHANICAL COMPACTION OF SUBSOIL IN LAYERS LESS THAN 12" TO ACHIEVE MINIMUM COMPACTION OF 95% OF MAXIMUM DENSITY FROM MODIFIED PROCTOR IS REQUIRED. (INCLUDING STREET SIDE AFTER FORMS ARE REMOVED)
- ⑦ EXPANSION JOINT IS REQUIRED AT BOTH ENDS OF DRIVEWAY WHEN ONLY DRIVEWAY IS INSTALLED OR REPLACED. WHEN ENTIRE BLOCK OF CURB & GUTTER IS INSTALLED THE EXPANSION JOINT AT DRIVEWAY ENDS MAY BE OMITTED.

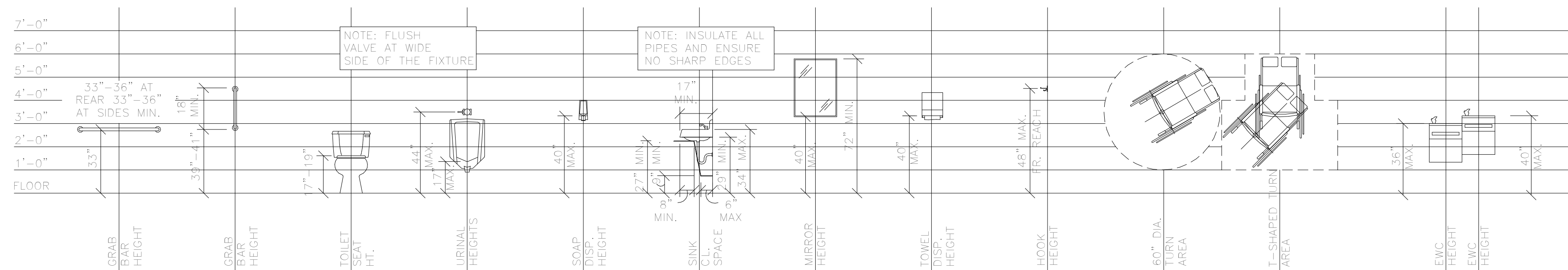
NOTE: TURNING OF 2' DIAMETER DRIVEWAY RETURNS IN LIEU OF DIMINISHING HEAD AS SHOWN IS PERMITTED IF DESIRED BY PROPERTY OWNER. INSTALLATION OF A DRIVEWAY BY REMOVING EXISTING CURB HEAD ONLY IS NOT ALLOWED. ENTIRE EXISTING C&G MUST BE REMOVED FOR NEW DRIVEWAYS. REMOVAL OF A MINIMUM 12" WIDTH OF BITUMINOUS TO INSTALL FRONT FORMS IS REQUIRED.

STANDARD DRIVEWAY DETAIL

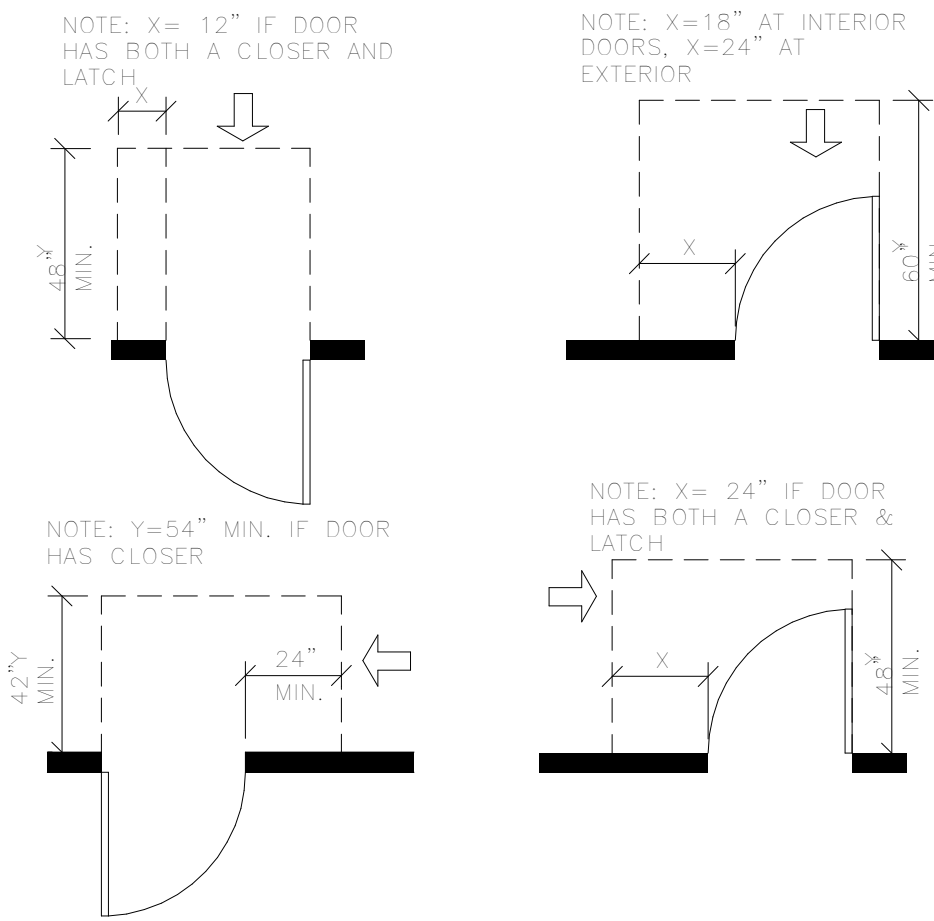
	CITY SIDEWALK SPECIFICATIONS 360 SQ. FT.
	STANDARD SIDEWALK 765 SQ. FT.
	CITY DRIVEWAY SPECIFICATIONS 362 SQ. FT.
	LANDSCAPING 95 SQ. FT.



1 GRADING PLAN NORTH
 C300 1" = 10'-0"

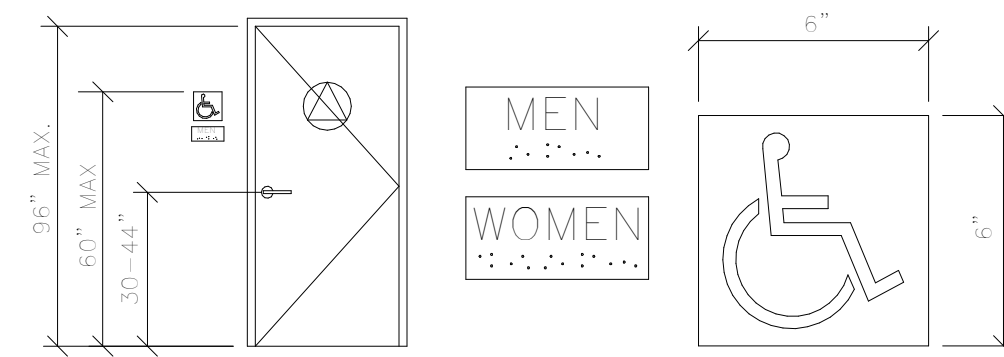


2 ACCESSIBLE MOUNTING HEIGHTS
NO SCALE



- ALL DOOR HANDLES SHALL BE LEVER TYPE, PUSH/PULL OR EQUIVALENT. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR AND INTERIOR DOORS.
- EXIT DOORS, AND TOILET ROOM DOOR TO BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE, FORCE OR NEED OF A KEY.
- PROVIDE DOOR STOPS FOR ALL INTERIOR DOORS, VERIFY WITH TENANT.
- ALL TOILET ROOM DOORS TO BE PROVIDED WITH SELF-CLOSERS.
- ALL RATED DOORS TO BE PROVIDED WITH SELF-CLOSERS.
- ALL EXTERIOR DOORS TO BE SELF-CLOSING WITH SECURITY HINGES AND HARDWARE.
- DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES WILL BE 5 SECONDS MINIMUM.
- FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE REQUIRED FORCE FOR APPROPRIATE ADMINISTRATIVE AUTHORITY. THE REQUIRED FORCE FOR PUSHING OPEN OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:
-INTERIOR HINGED DOOR: 5.0 LB (22.2 N) MAXIMUM.
-SLIDING/FOLDING DOOR: 5.0 LB (22.2 N) MAXIMUM.
-EXTERIOR HINGED DOOR: 5.0 LB (22.2 N) MAXIMUM.
- THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.
- THE BOTTOM 12 IN. OF ALL DOORS EXCEPT AUTOMATIC DOORS, POWER ASSISTED DOORS, AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- SALES AREA EXIT DOORS TO HAVE SIGNAGE ABOVE DOOR IN 1" HIGH LETTERS ON CONTRASTING BACKGROUND STATING: "THESE DOORS TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED".
- DOOR HARDWARE SHALL BE EASY TO GRASP AND SHALL NOT REQUIRE GRASPING, TIGHT PINCHING, OR TWISTING OF WRIST. ALL DOORS SHALL HAVE LEVER HARDWARE, PANIC RELEASES, OR PUSH-PULL PLATES CENTERED BETWEEN 34-44" A.F.F.

3 MANEUVERING CLEARANCE AT DOORS
NO SCALE



THE TOILET ROOM SHALL BE IDENTIFIED WITH TWO SIGN TYPES: ONE ON THE DOOR- 12" DIA. CIRCLE, 1/4" THICK W/ 1/4" THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE. (GENDER NEUTRAL)

A SYMBOL OF ACCESSIBILITY AND A TACTILE SIGN WHICH IS IN COMPLIANCE WITH IBC AND WHICH HAS A MIN. LETTER HEIGHT OF 5/8" AND A MAX. HEIGHT OF 2".

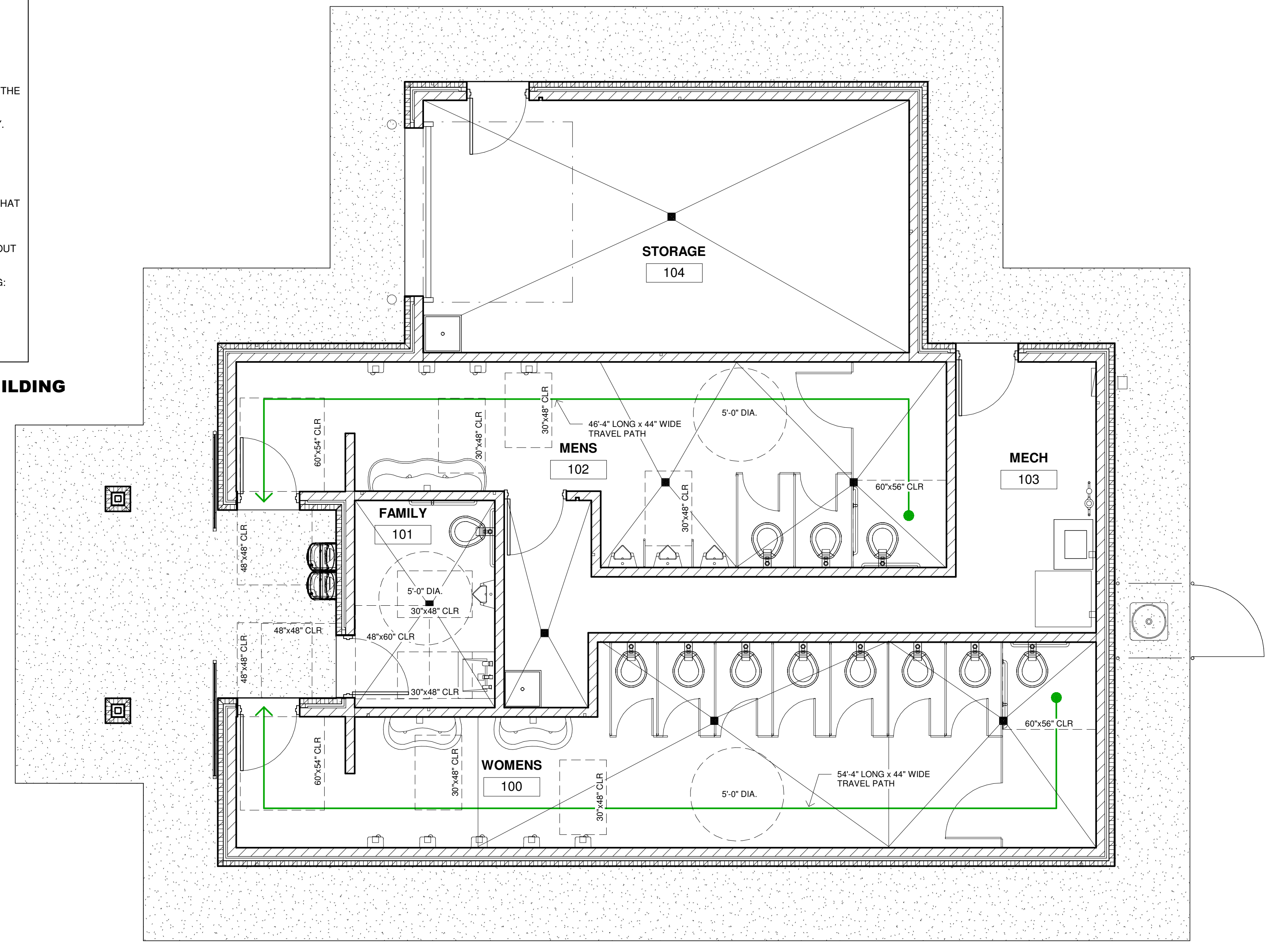
THE SYMBOL OF ACCESSIBILITY SHALL BE PLACED NOT LESS THAN 60" TO CENTER LINE OF SIGN, NOR MORE THAN 96" ABOVE THE FLOOR.

TACTILE SIGNS SHALL BE MOUNTED 60" TO THE CENTERLINE, ABOVE THE FLOOR ADJACENT TO THE LATCH SIDE OF THE DOOR.

4 TOILET ROOM SIGNAGE
NO SCALE

CODE DATA 1,736 SQUARE FEET - ONE STORY BUILDING
27,195 CUBIC FEET

- I. PROJECT SCOPE:
THIS IS A NEW CONSTRUCTION OF A ONE STORY BUILDING USED AS A PUBLIC RESTROOMS "B" BUSINESS CLASSIFIED BUILDING. THE BUILDING CONTAINS A MULTI-USE MEN'S AND WOMEN'S RESTROOM, FAMILY RESTROOM & ON-SITE STORAGE FOR BATHROOM SUPPLIES. THE CONSTRUCTION CONSISTS OF TYPE "IB" WITH SLAB ON GRADE WITH CMU WALLS AND A CERTIFIED WOOD TRUSS ROOF SYSTEM.
- II. GOVERNING CODES - STATE OF WISCONSIN - CITY OF LACROSSE
APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING ADOPTED CODES:
2015 IBC WITH 2018 WISCONSIN AMENDMENTS (SPS 362)
2015 IMC WITH 2018 WISCONSIN AMENDMENTS (SPS 364)
2009 WISCONSIN ELECTRIC CODE (SPS 316)
2018 WISCONSIN PLUMBING CODE (SPS 381-387)
2015 IECC WITH 2018 WISCONSIN AMENDMENTS (SPS 362)
2015 NFPA 101 LIFE SAFETY CODE
2015 INTERNATIONAL FIRE CODE
ACCESSIBILITY: 2009 ANSI 117.1 (IBC CHP 11)
- III. BUILDING CLASSIFICATIONS:
A. OCCUPANCY GROUP: -SEC. 300
-SEC. 304 - B - (BUSINESS) PUBLIC RESTROOMS
(AN ASSEMBLY PURPOSE SMALL BUILDING WITH AN OCCUPANCY LOAD OF LESS THAN 50 SHALL BE CLASSIFIED AS "B" OCCUPANCY)
B. CONSTRUCTION TYPE:
-TABLE 601- TYPE II B
C. SITE LOCATION
100 STATE STREET
LACROSSE, WI 54601
D. ALLOWABLE AREA (TABLE 506.2)
23,000 SQ. FT. ALLOWED FOR A "B" OCCUPANCY TYPE II-B CONSTRUCTION
E. ALLOWABLE BUILDING HEIGHT (TABLE 504.3)
55 FT. ALLOWED FOR A "B" OCCUPANCY TYPE II-B CONSTRUCTION
F. ALLOWABLE NUMBER OF STORIES (TABLE 504.4)
3 STORIES ALLOWED FOR A "B" OCCUPANCY TYPE II-B CONSTRUCTION
G. TOTAL OCCUPANT LOAD (TABLE 1004.1.2)
TOILET ROOMS 1,344 S.F. (1 PER 100 SQ FT = 14)
STORAGE 392 S.F. (1 PER 100 SQ FT = 4)
TOTAL OCCUPANTS 18 OCCUPANTS
H. EXITING (TABLE 1006.2.1)
ONE EXIT IS REQUIRED FOR A "B" OCCUPANCY WITH LESS THAN 49 OCCUPANTS
- IV. PLUMBING:
A. RESTROOM FACILITIES:
-SEC. 2902.1 - MINIMUM PLUMBING FACILITIES
-TABLE 2902.1 - GROUP B BUSINESS
MIN. PLUMBING FACILITIES REQUIRED - 18 PEOPLE
50% MALE = 9 MALES 50% FEMALE = 9 FEMALES
WATER CLOSETS - 1 PER 25 WATER CLOSETS - 1 PER 25
REQUIRED: 1 REQUIRED: 1
PROVIDED: 6 (3 TOILETS & 3 UNNALS) PROVIDED: 8
LAVATORIES - 1 PER 40 LAVATORIES - 1 PER 40
REQUIRED: 1 REQUIRED: 1
PROVIDED: 3 PROVIDED: 4
(1) MOP SINK PROVIDED
(1) DRINKING FOUNTAIN PROVIDED
** 1 ADDITIONAL WATER CLOSET & ONE LAV ARE PROVIDED FOR THE FAMILY RESTROOM IN ADDITION TO ABOVE**



1 CODE COMPLIANCE PLAN
1/4" = 1'-0"

No.	Date	Description

CODE COMPLIANCE PLAN

Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK

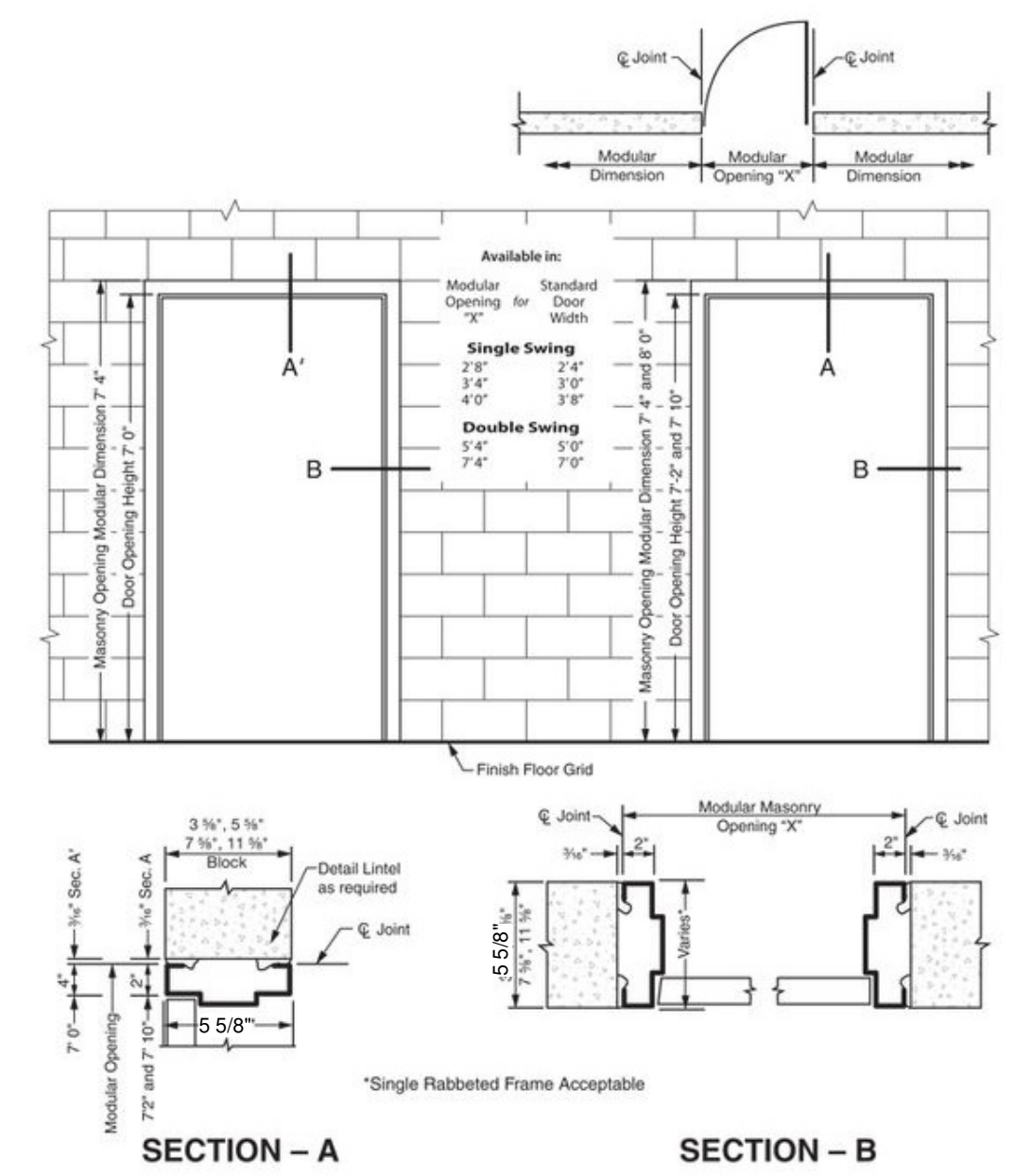
CC1
Scale As indicated

No.	Date	Description

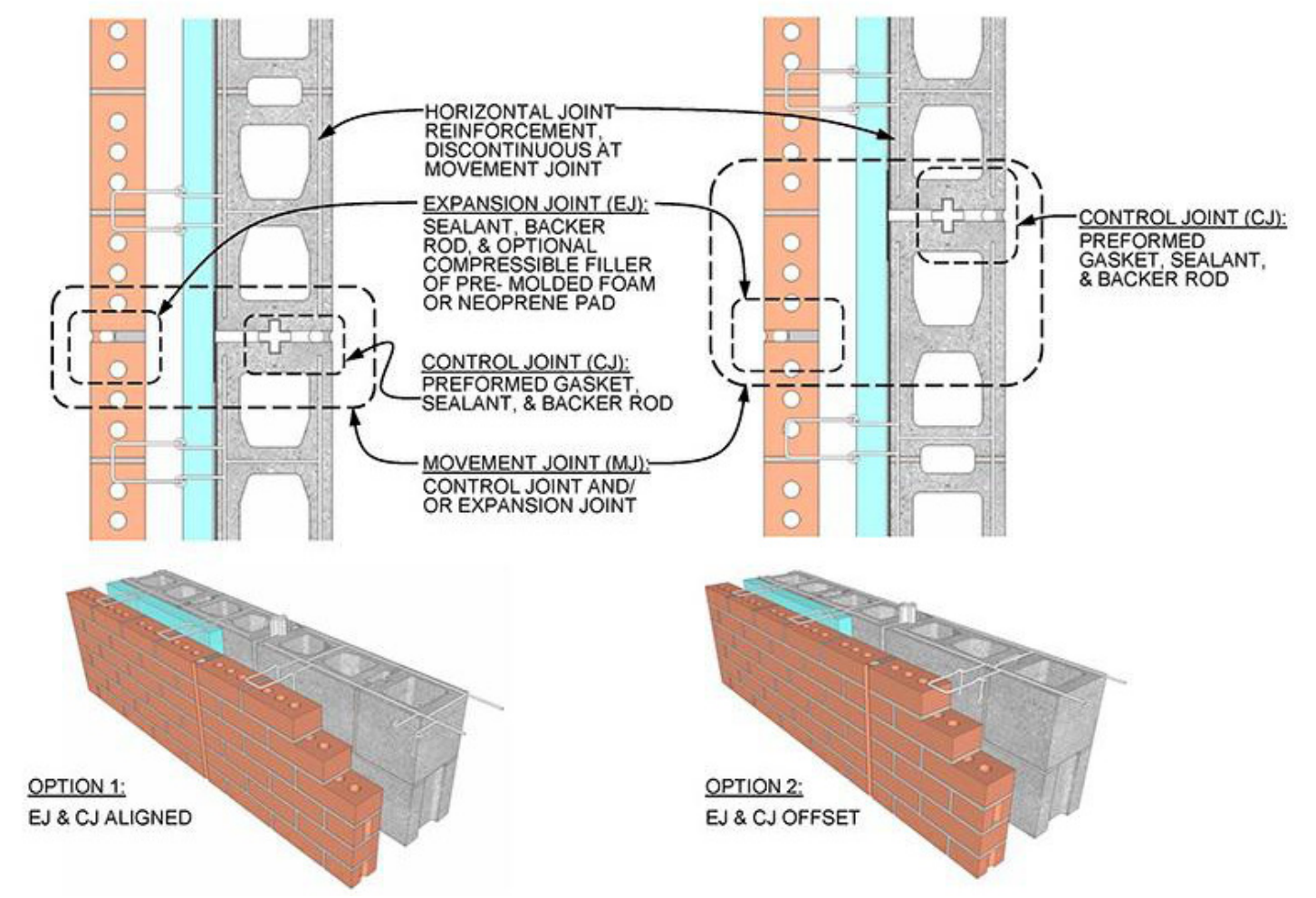
Project Number
Date 07/22/22
Drawn By TRB
Checked By CHK

A1
Scale As indicated

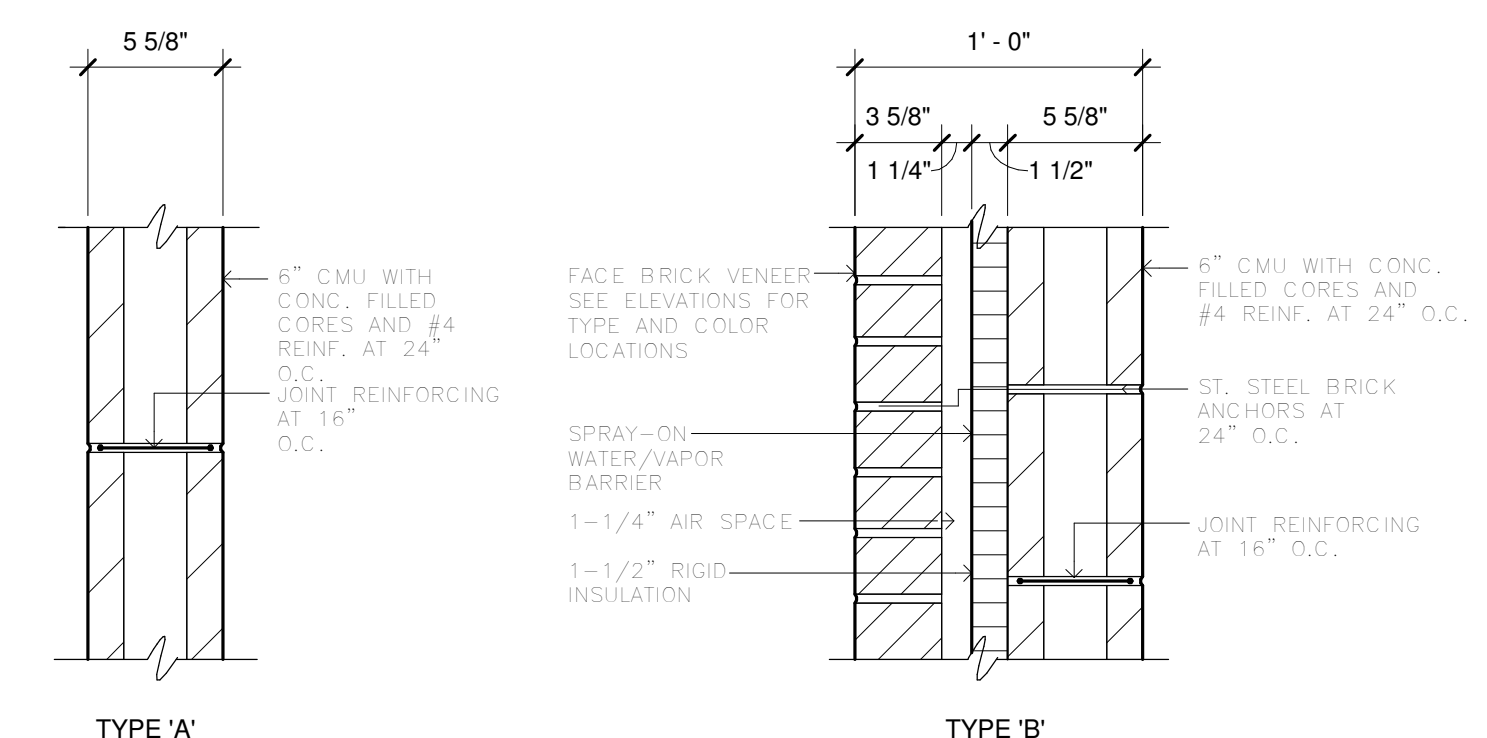
DOOR SCHEDULE									
Mark	Width	Height	Door Type	Frame Type	Frame Material	Finish	Head Detail	Jamb Detail	Description
100	3' - 0"	7' - 0"	HM	HM	HM	PAINT	H2/A1	J2/A1	INSULATED
102	3' - 0"	7' - 0"	HM	HM	HM	PAINT	H2/A1	J2/A1	INSULATED
101	3' - 0"	7' - 0"	HM	HM	HM	PAINT	H2/A1	J2/A1	INSULATED
103A	3' - 0"	7' - 0"	HM	HM	HM	PAINT	H1/A1	J1/A1	INSULATED
103B	3' - 0"	7' - 0"	HM	HM	HM	PAINT	H2/A1	J2/A1	INSULATED
104A	3' - 0"	7' - 0"	HM	HM	HM	PAINT	H2/A1	J2/A1	INSULATED
104B	9' - 0"	8' - 0"	STL				H3/A1	J3/A1	OVERHEAD DOOR



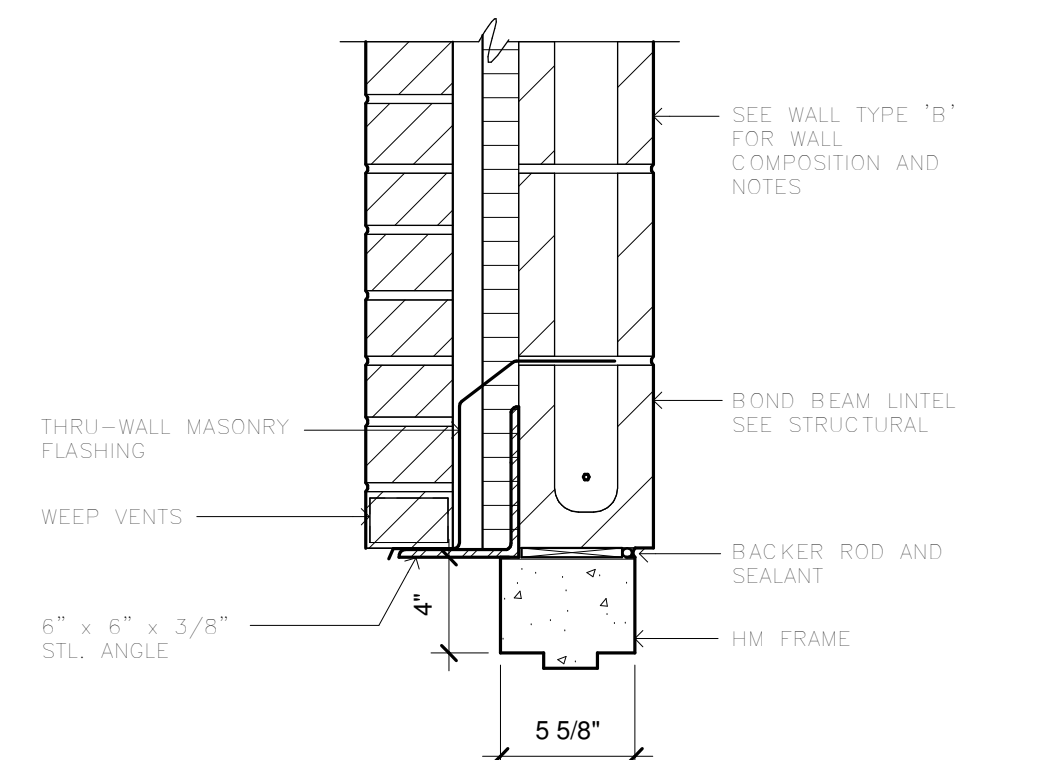
4 TYP. INT. DOOR DETAILS H1 & J1
1 1/2" = 1'-0"



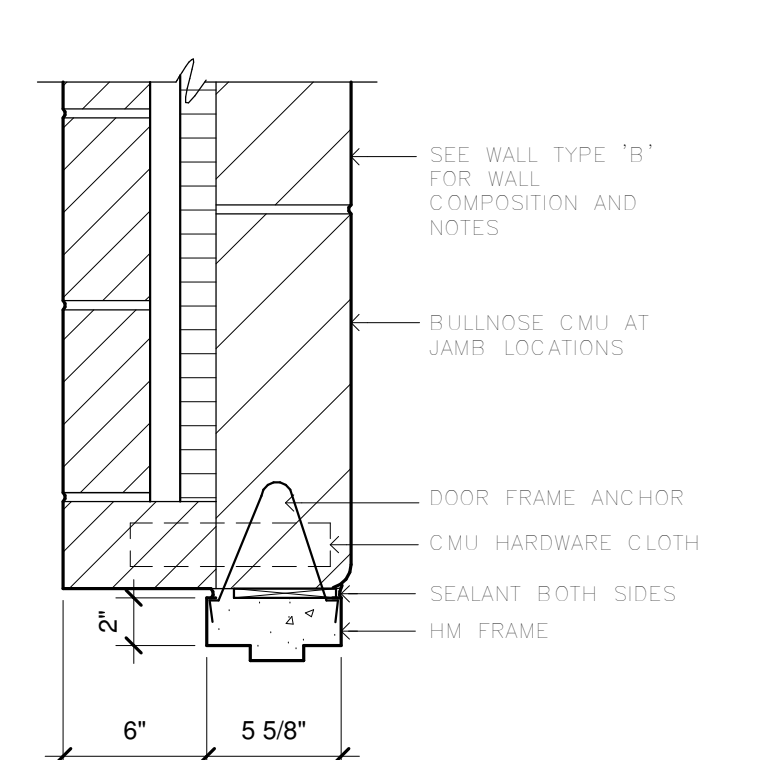
2 CONTROL JOINT DETAILS
NO SCALE



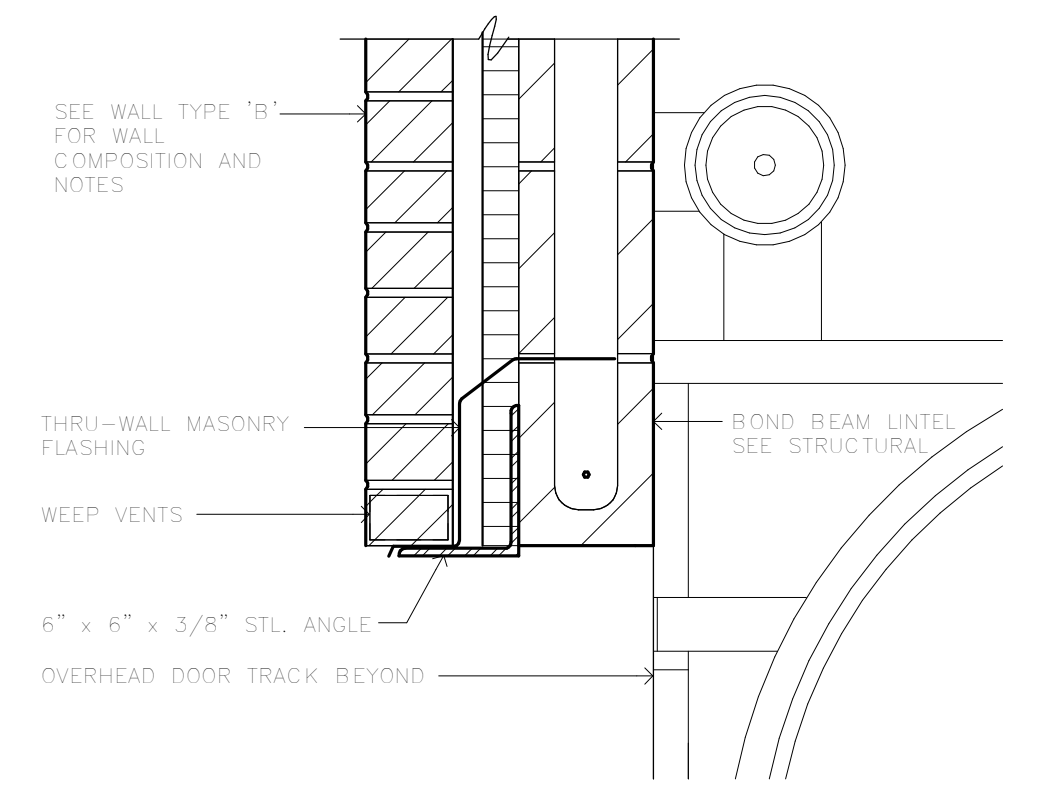
3 WALL TYPES
1 1/2" = 1'-0"



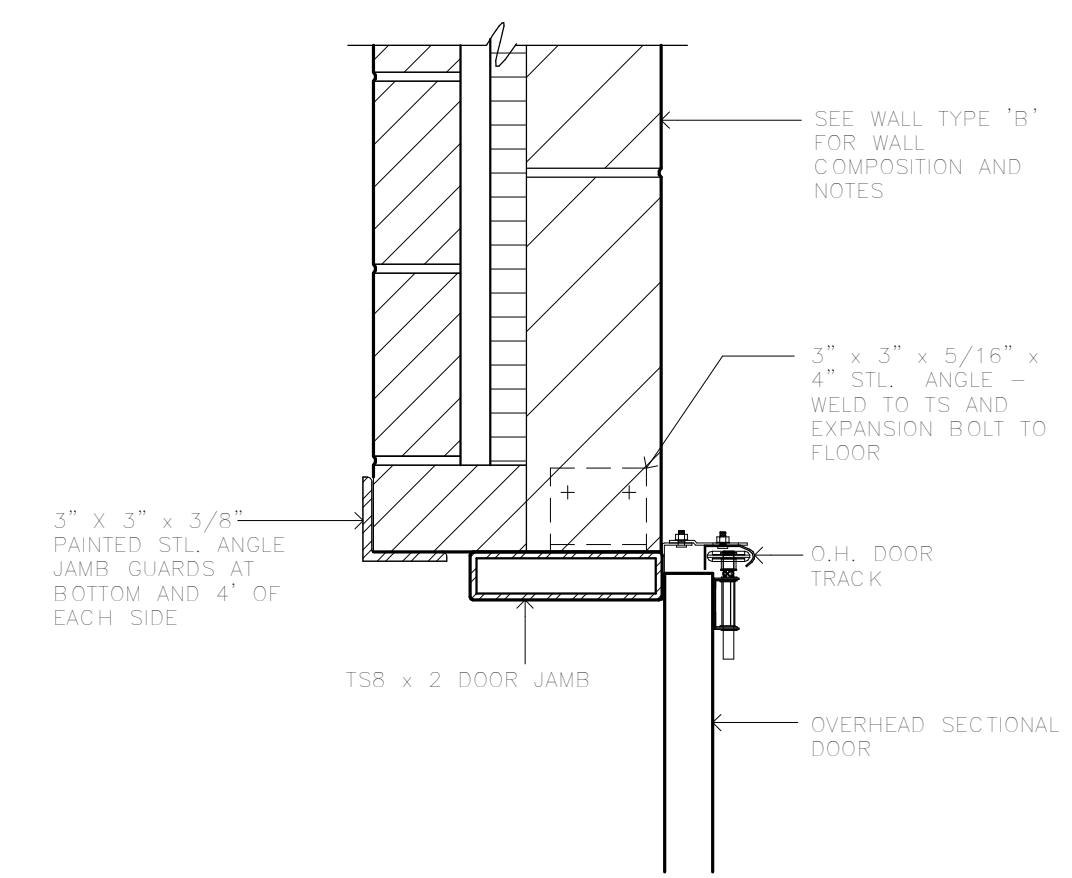
2H TYP. EXT. DOOR HEAD DETAIL
1 1/2" = 1'-0"



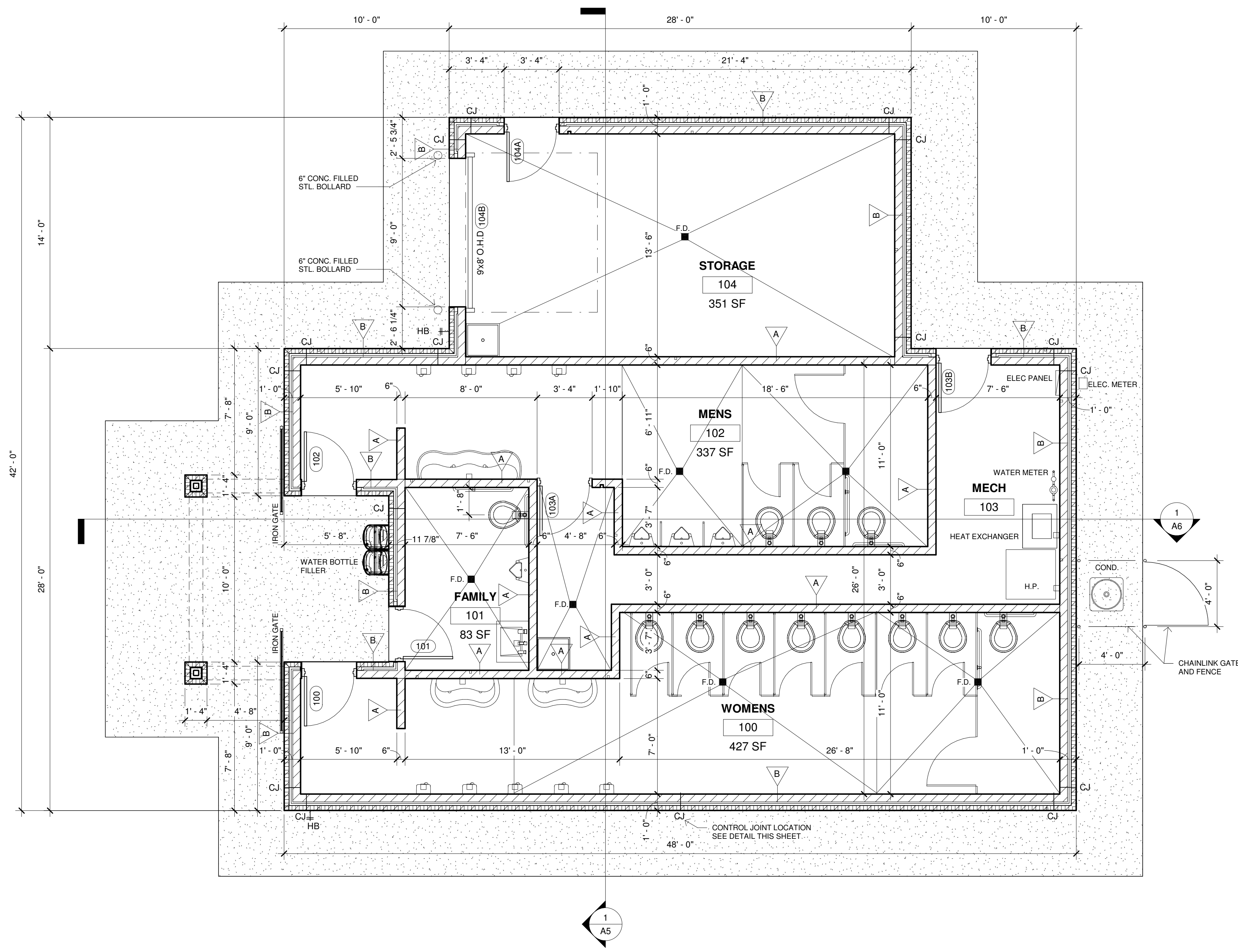
2J TYP. EXT. DOOR JAMB DETAIL
1 1/2" = 1'-0"



3H OH DOOR HEAD DETAIL
1 1/2" = 1'-0"



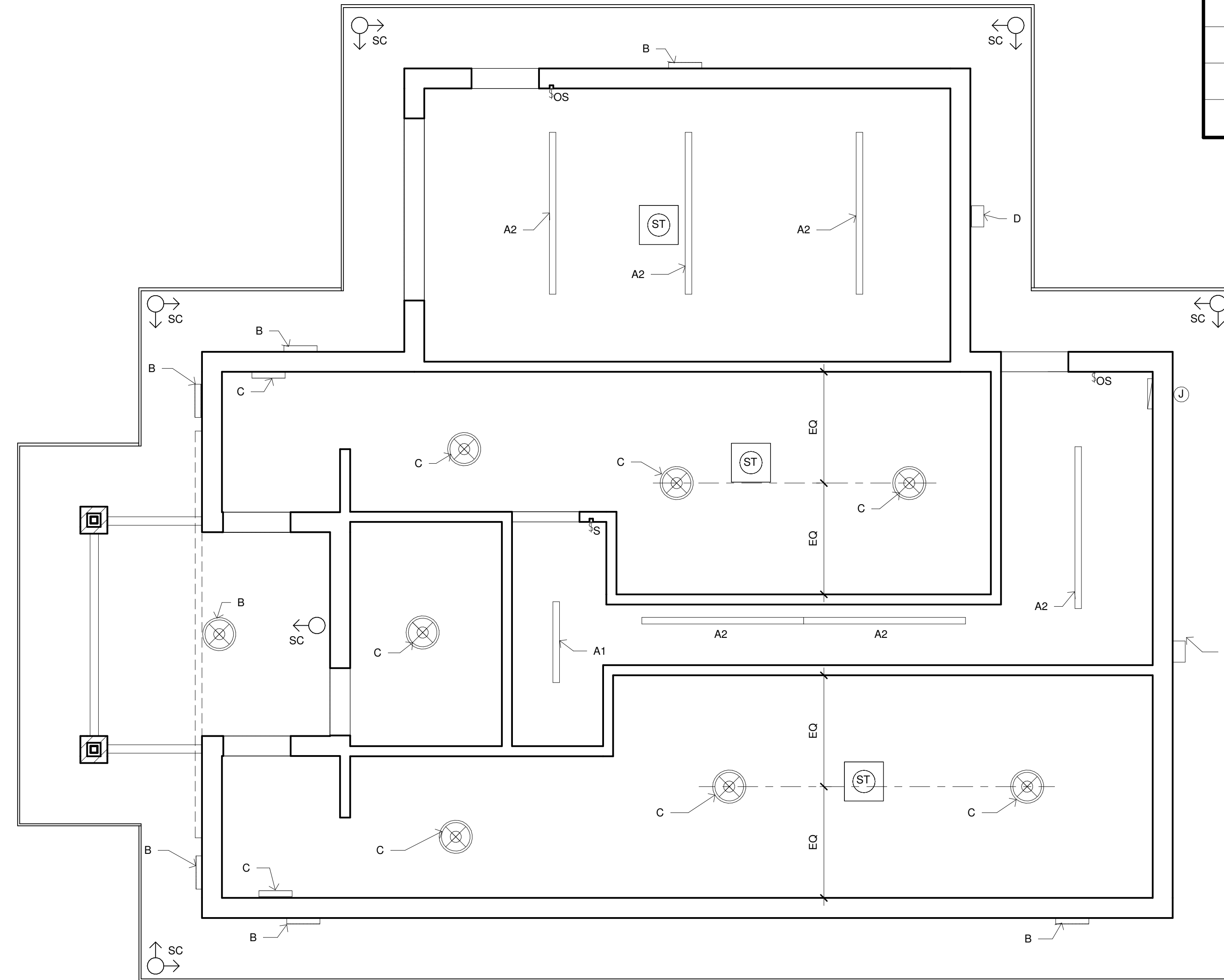
3J OH DOOR JAMB DETAIL
1 1/2" = 1'-0"



1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

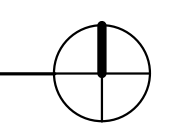


**RIVERSIDE SOUTH
 TOILET ROOMS**
 239 E Veterans Memorial Drive, LaCrosse, WI



ELECTRICAL FIXTURE SCHEDULE		
A1		4' - LED STRIP SURFACE MOUNT-WALL
A2		8' - LED STRIP SURFACE MOUNT - WALL/ CEILING
B		LED H.O. DOME FIXTURE
C		LED DOME FIXTURE
D		WALL PACK
ST		14" SOLAR TUBE
SC		SECURITY CAMERA

1 REFLECTED CEILING PLAN
 1/4" = 1'-0"



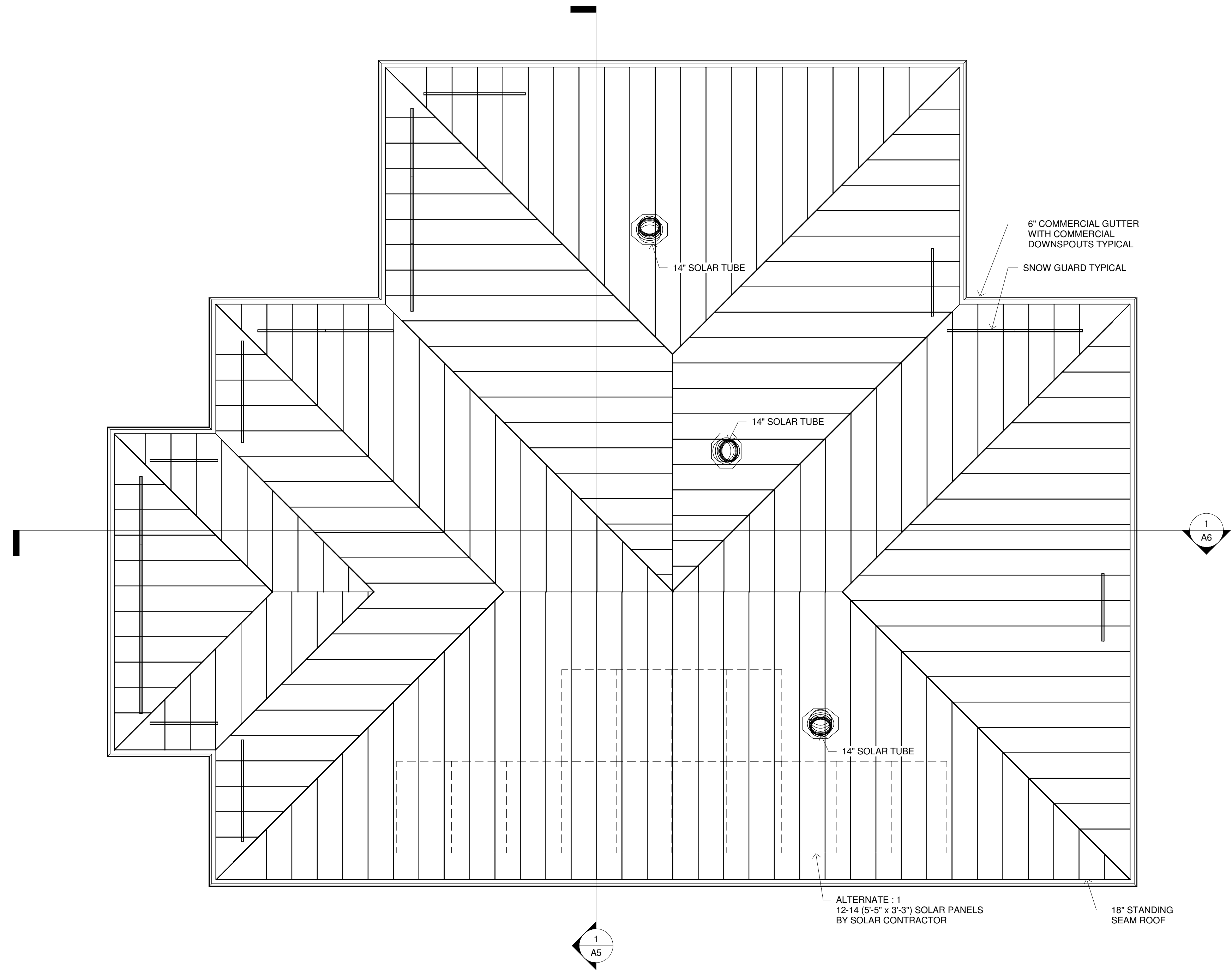
No.	Date	Description

REFLECTED CEILING PLAN

Project Number
 Date 07/22/22
 Drawn By TRB
 Checked By CHK

A2
 Scale 1/4" = 1'-0"

**RIVERSIDE SOUTH
 TOILET ROOMS**
 239 E Veterans Memorial Drive, LaCrosse, WI



1 ROOF PLAN
 1/4" = 1'-0"

No.	Date	Description

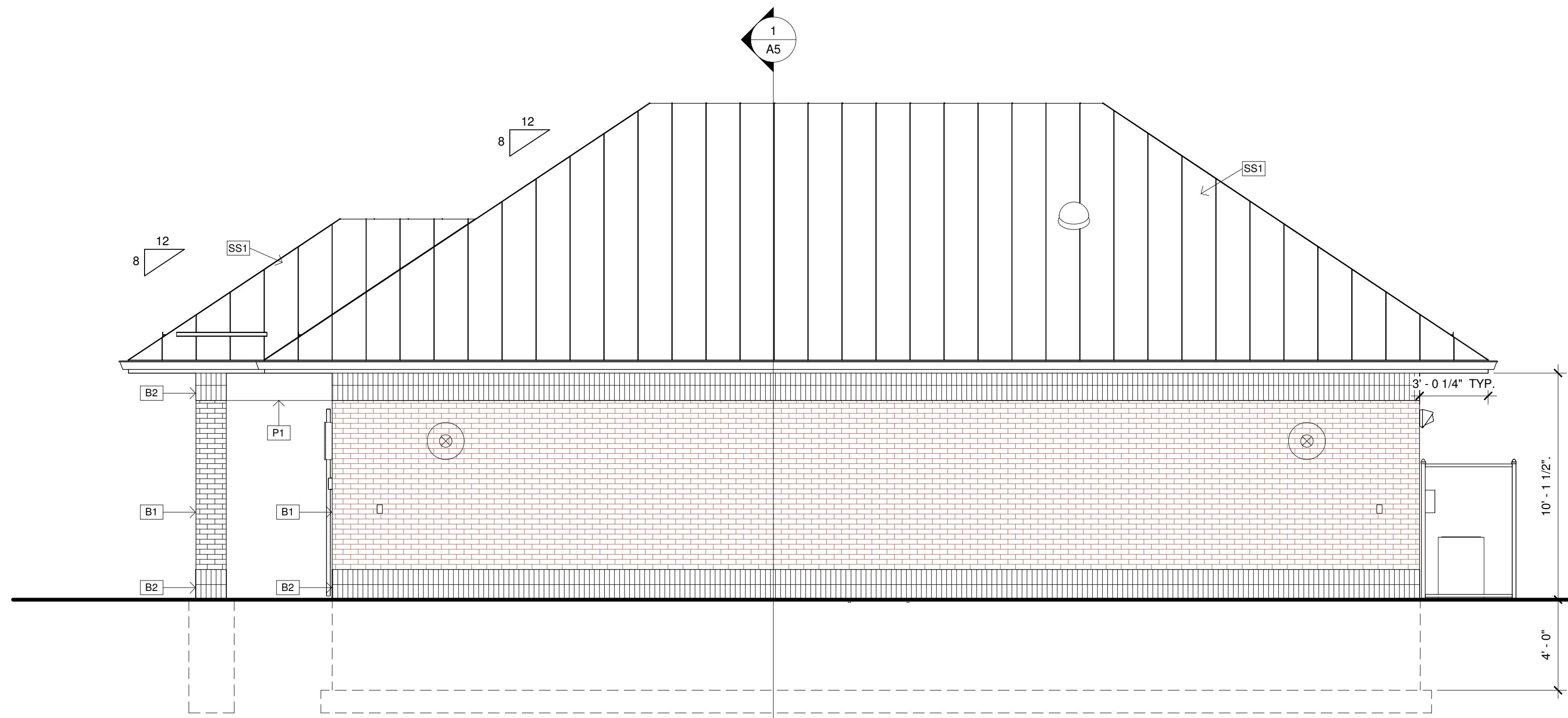
ROOF PLAN

Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK

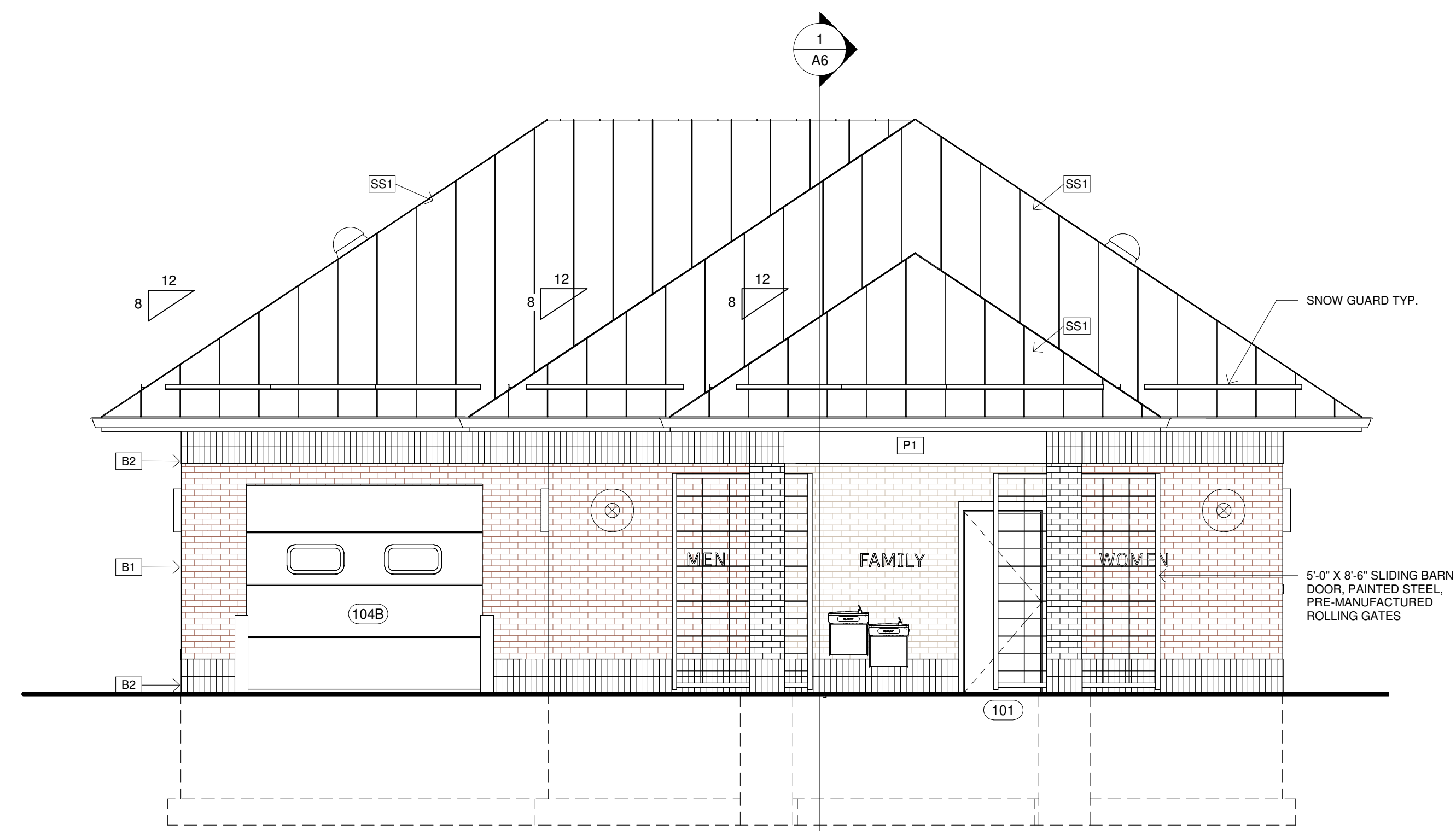
A3

Scale 1/4" = 1'-0"

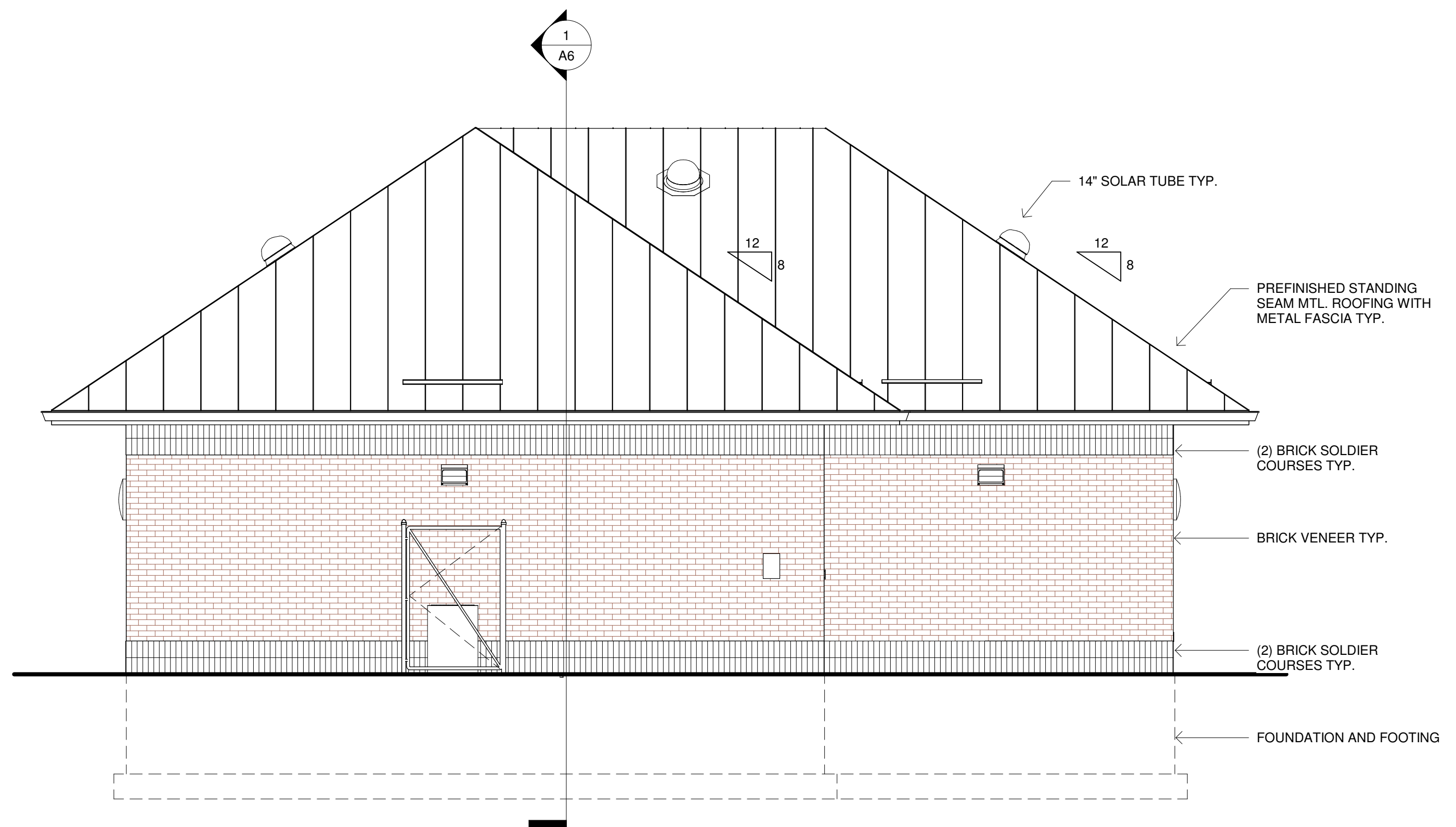
**RIVERSIDE SOUTH
 TOILET ROOMS**
 239 E Veterans Memorial Drive, LaCrosse, WI



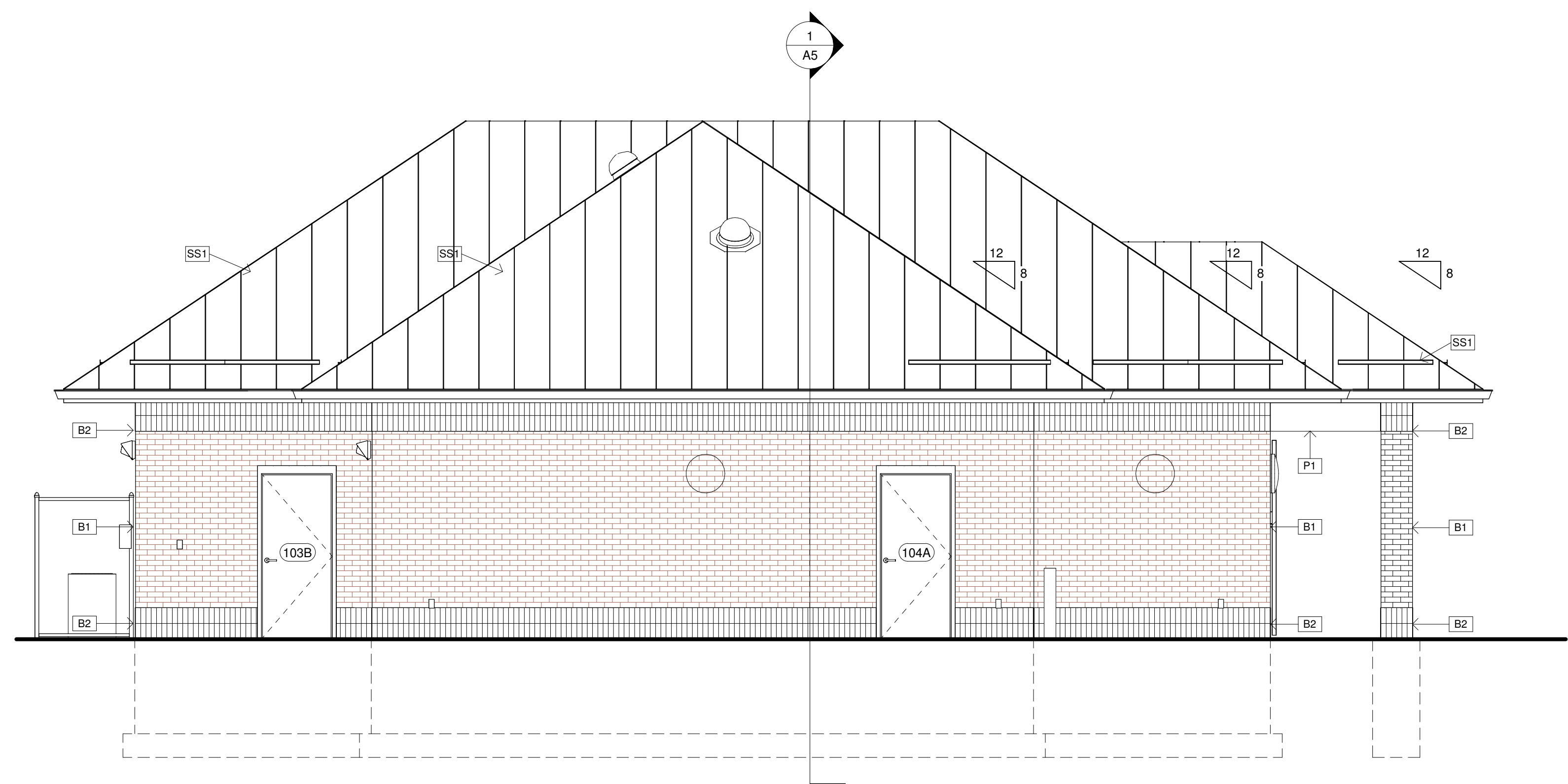
2 SOUTH EXTERIOR ELEVATION
 1/4" = 1'-0"



1 WEST EXTERIOR ELEVATION
 1/4" = 1'-0"



3 EAST EXTERIOR ELEVATION
 1/4" = 1'-0"



4 NORTH EXTERIOR ELEVATION
 1/4" = 1'-0"

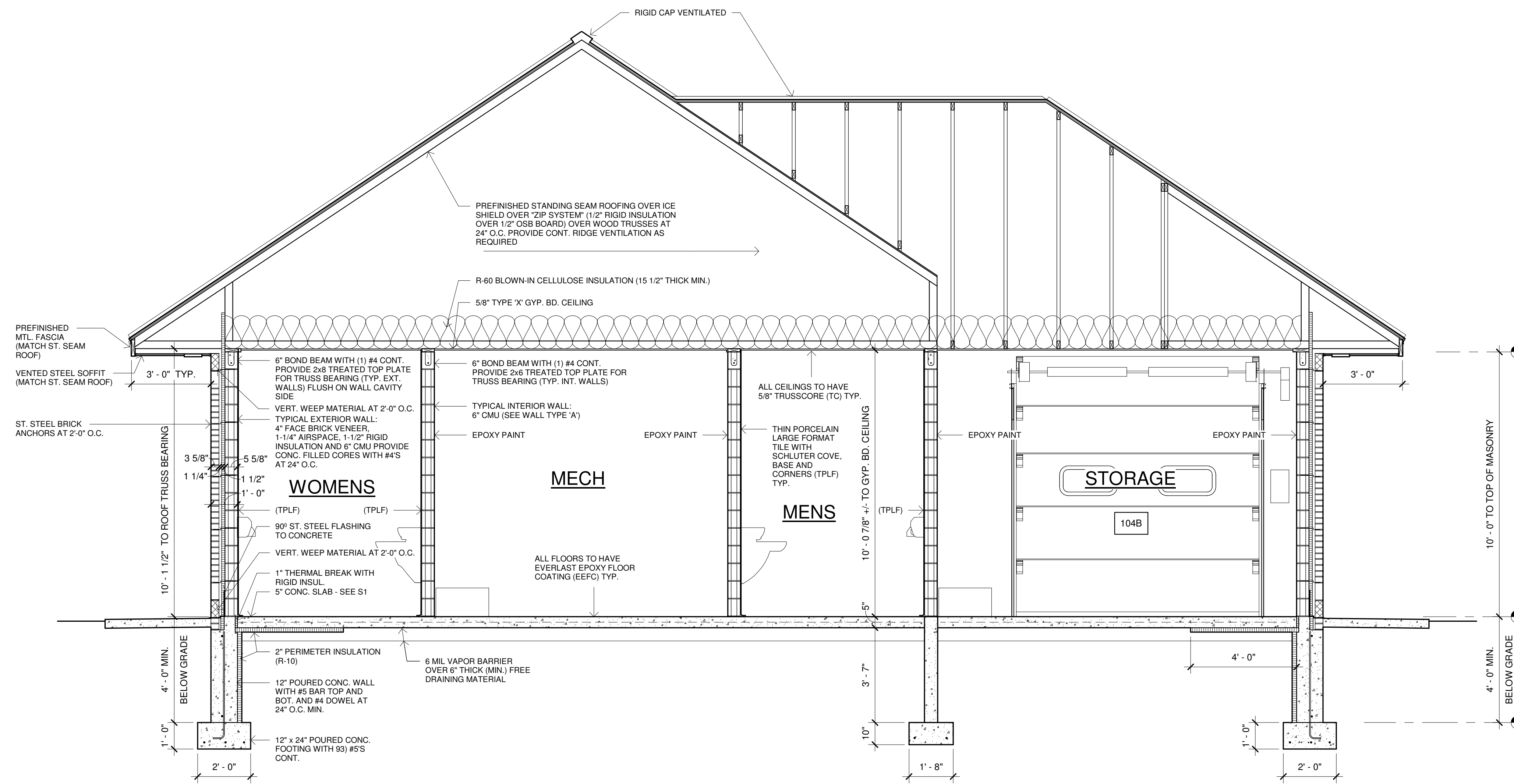
- 14" SOLAR TUBE TYP.
- PREFINISHED STANDING SEAM MTL. ROOFING WITH METAL FASCIA TYP.
- (2) BRICK SOLDIER COURSES TYP.
- BRICK VENEER TYP.
- (2) BRICK SOLDIER COURSES TYP.
- FOUNDATION AND FOOTING

No.	Date	Description

EXTERIOR ELEVATIONS

Project Number
 Date 07/22/22
 Drawn By TRB
 Checked By CHK

A4
 Scale 1/4" = 1'-0"



1. NORTH / SOUTH BUILDING SECTION
 3/8" = 1'-0"

**RIVERSIDE SOUTH
 TOILET ROOMS**
 239 E Veterans Memorial Drive, LaCrosse, WI

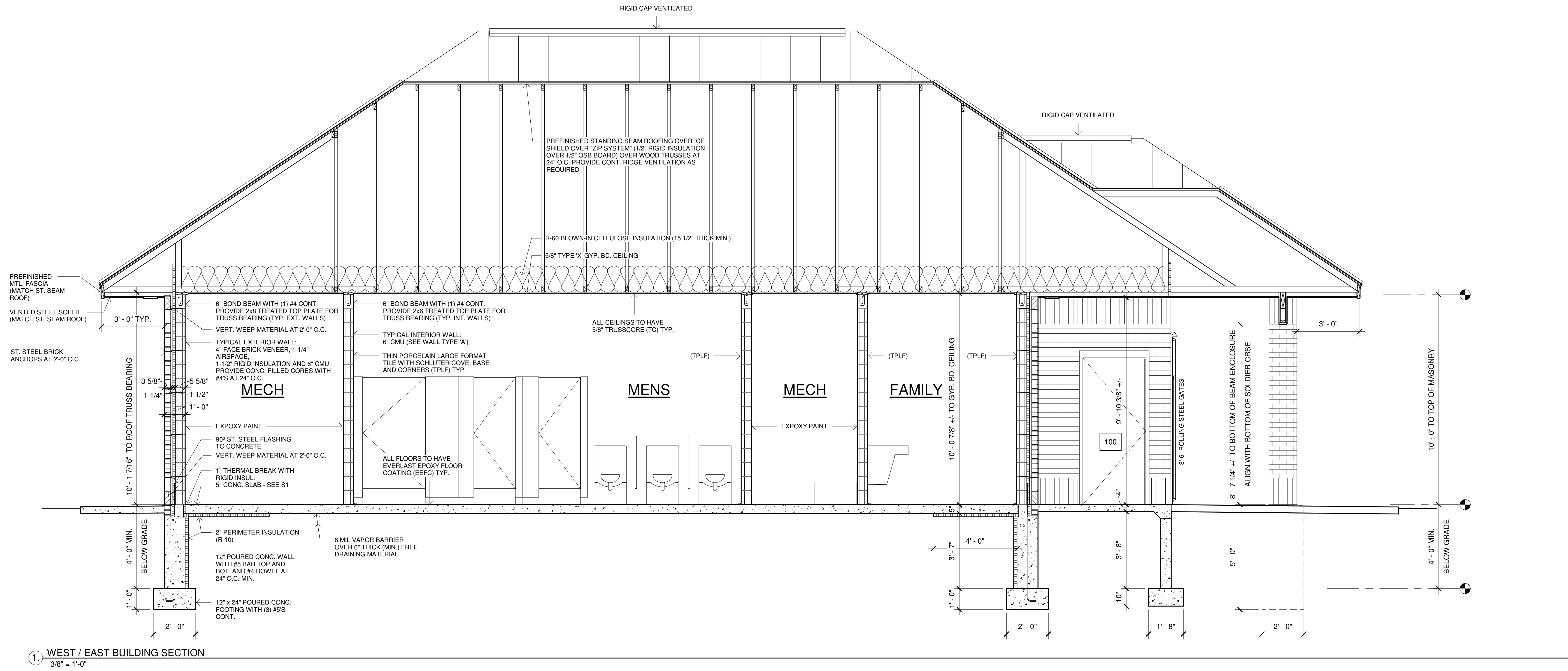
No.	Date	Description

BUILDING SECTION

Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK

A5
 Scale 3/8" = 1'-0"

**RIVERSIDE SOUTH
 TOILET ROOMS**
 239 E Veterans Memorial Drive, LaCrosse, WI



No.	Date	Description

BUILDING SECTION

Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK

A6
 Scale 3/8" = 1'-0"

GENERAL REQUIREMENTS

NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES

ALL MATERIALS AND WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 WISCONSIN COMMERCIAL BUILDING CODE INCLUDING LOCAL ORDINANCES AND AMENDMENTS

ALL MATERIAL SHALL BE FURNISHED AS SHOWN HEREIN UNLESS THE OWNER OR ENGINEER OF RECORD APPROVES EQUAL ALTERNATIVES

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ENGINEER OF RECORD. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SHORING. OBSERVATION VISITS TO THE SITE BY THE ENGINEER OF RECORD AND/OR THE ENGINEER'S REPRESENTATIVE (S) SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OF THE CONSTRUCTION PROCEDURES

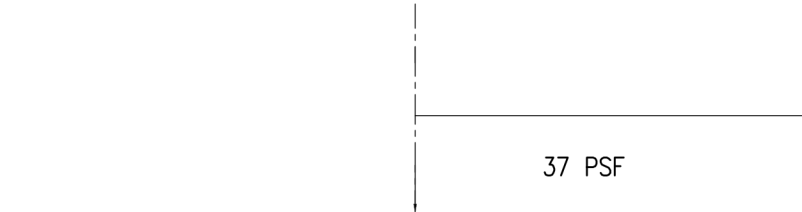
DESIGN LOADS

DEAD:	ROOF DEAD LOAD	=	21 PSF (12 TOP, 7 BOT)	
SNOW:	GROUND SNOW LOAD (Pg)	=	40 PSF	
	IMPORTANCE FACTOR (Ia)	=	1.0	
	THERMAL FACTOR (Ct)	=	1.2	
	EXPOSURE FACTOR (Ce)	=	1.0	
	SLOPE FACTOR (Cs)	=	1.0	
	SLOPED ROOF SNOW LOAD (Ps)	=	33.6 PSF	
	UNBALANCE SNOW LOAD	=	SEE DIAGRAM BELOW	
LIVE:	DRIFT SNOW LOAD	=	N/A	
	SLIDING SNOW LOAD	=	N/A	
LIVE:	ROOF LIVE LOAD	=	20 PSF (NOT REDUCIBLE)	
	BASIC WIND SPEED	=	115 MPH	
WIND:	EXPOSURE CATEGORY	=	C	
	IMPORTANCE FACTOR (Iw)	=	1.0	
	TOPOGRAPHIC FACTOR (Kzt)	=	1.0	
	WIND DIRECTIONALITY FACTOR (Kz)	=	1.0	
	INTERNAL PRESSURE COEFFICIENT (GCp)	=	±0.18	
	ENCLOSED BUILDING COMPONENT AND CLADDING DESIGN PRESSURE	=	SEE CHART BELOW	
	USE GROUP	=	II	
	SITE CLASS	=	D	
	DESIGN CATEGORY	=	A	
	IMPORTANCE FACTOR	=	1.0	
SEISMIC:	SPECTRA RESPONSE COEF. Sds	=	0.0565	
	SPECTRA RESPONSE COEF. Sd1	=	0.0576	
	ANALYSIS PROCEDURE - MINIMUM LATERAL FORCE	=		
	RESISTING SYSTEM - BEARING WALL SYSTEM	=	13	
	RESPONSE MODIFICATION COEF.	=	2.0	
	OVERSTRENGTH FACTOR	=	2.5	
	DEFLECTION AMPLIFICATION FACTOR	=	3.75	
	LOADS TO BE APPLIED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2018 WISCONSIN COMMERCIAL BUILDING CODE			

CHART CC

BUILDING AREA	TRIBUTARY AREA SQ. FT.			
	10	20	50	100
INTERIOR WALL (4)	-31.88	-30.36	-28.62	-27.31
CORNER WALL (5)	-39.10	-36.47	-32.89	-30.36
INTERIOR ROOF (1)	-26.73	-25.98	-25.00	-24.25
EDGE ROOF (2)	-46.53	-42.80	-37.88	-34.15
CORNER ROOF (3)	-68.80	-64.33	-58.42	-53.95
EDGE ZONE STRIP WIDTH (FT)	4.2			

MIRROR ABOUT RIDGE FOR WORSE CASE



UNBALANCED SNOW LOAD

DESIGN METHOD

2018 WISCONSIN COMMERCIAL BUILDING CODE (IBC 2015 AMENDED)

BUILDING CODE REQUIREMENT FOR STRUCTURAL CONCRETE (ACI 318-14)

BUILDING CODE REQUIREMENT FOR MASONRY STRUCTURES AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530-13)

SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS (AISC 360-10)

STEEL DECK INSTITUTE (SDI), SPECIFICATIONS FOR ROOF AND FLOOR DECK, LATEST EDITION

NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS 15)

NATIONAL DESIGN STANDARDS FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION (TFP 1-14)

ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1-09)

DESIGN CRITERIA

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE (f'c) AT 28 DAYS SHALL BE:	
SLAB-ON-GRADE	4000 PSI (MAX 3/4" AGGREGATE)
FOOTINGS	3500 PSI (MAX 1 1/2" AGGREGATE)
FOUNDATION WALLS	4000 PSI (MAX 3/4" AGGREGATE)
WALLS	4000 PSI (MAX 3/4" AGGREGATE)
TOPPING	5000 PSI (MAX 3/8" AGGREGATE)
GROUT FOR BASE PLATES	4000 PSI
MINIMUM COMPRESSIVE STRENGTH OF MASONRY (f'm) AT 28 DAYS SHALL BE:	
TYPE M OR S MORTAR	1500 PSI
CONCRETE GROUT	3000 PSI

REINFORCING STEEL SHALL BE:
NON WELDABLE Fy = 60 KSI (ASTM A615, GRADE 60)
WELDABLE MARKED AS GRADE 60W

STRUCTURAL STEEL SHALL BE:	
W SHAPES	Fy = 50 KSI (ASTM A992)
HSS RECT.	Fy = 46 KSI (ASTM 500, GRADE B)
HSS ROUND	Fy = 42 KSI (ASTM 500, GRADE B)
PIPES	Fy = 35 KSI (ASTM A53, GRADE B)
PLATES AND MISC.	Fy = 36 KSI (ASTM A36)
WELDING ELECTRODES	E70XX (AWS D1.1-04)

WOOD MEMBERS SPECIES AND GRADES ARE TO BE CALLED OUT ON PLANS AND SHALL HAVE THE FOLLOWING STRENGTHS:

SPF #2	Fb = 875 PSI Fv = 135 PSI E = 1,400,000 PSI
SPF MSR 1650	Fb = 1650 PSI Fv = 135 PSI E = 1,500,000 PSI
SYP #1	Fb = 1,850 PSI Fv = 175 PSI E = 1,700,000 PSI
LVL	Fb = 2950 PSI Fv = 285 PSI E = 2,900,000 PSI

SPECIAL INSPECTIONS

THE FOLLOWING ELEMENTS OF CONSTRUCTION SHALL REQUIRE SPECIAL INSPECTION PER IBC 2015 SECTION 17. CONTRACTOR TO FURNISH INSPECTION UNLESS INSTRUCTED OTHERWISE BY THE CONSTRUCTION CONTRACT.

SOILS
FOUNDATION
CONCRETE
MASONRY
STRUCTURAL STEEL

1. SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR INSPECTION BY A CITY/COUNTY INSPECTOR. SPECIALLY INSPECTED WORK WHICH IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE CITY/COUNTY INSPECTOR IS SUBJECT TO REMOVAL OR EXPOSURE.

2. THE SPECIAL INSPECTORS MUST BE CERTIFIED BY THE CITY/COUNTY TO PERFORM THE TYPES OF INSPECTIONS SPECIFIED.

3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE SPECIAL INSPECTOR OR INSPECTION AGENCY AT LEAST ONE WORKING DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION. A WORK PERFORMED WITHOUT REQUIRED SPECIAL INSPECTION IS SUBJECT TO REMOVAL.

4. SUBMIT WRITTEN REPORTS WITHIN TWO DAYS OF TESTING TO ENGINEER OF RECORD

FOUNDATIONS

FOUNDATIONS SHALL NOT BE PLACED PRIOR TO CONFIRMATION OF THE SOIL TYPE AT A DEPTH OF THE FOOTING ELEVATION. THE CONTRACTOR SHALL PROVIDE TEST HOLE REPORT TO THE ENGINEER OF RECORD. THE SOIL BEARING CAPACITY IS PRESUMED TO BE 2,000 PSF. SOIL TYPE IS PRESUMED TO BE SAND

COMPLETE NORMAL CLEARING AND GRUBBING OPERATION OVER THE ENTIRE BUILDING PAD AREA. THE BUILDING PAD AREA IS DEFINED AS AN AREA EXTENDING A MINIMUM OF 5 FEET BEYOND THE PROPOSED BUILDING LINES

REMOVE UNSUITABLE MATERIAL BELOW FOUNDATION. THE DEPTH OF THE REMOVAL IS DICTATED BY THE UNSUITABLE SOILS ENCOUNTERED SUCH AS SILT, ORGANIC MATTER SUCH AS ROOTS AND VEGETATION, AND RANDOM FILL MATERIALS SUCH AS WOOD, TINS, ASPHALT, MUCK, ETC.

FILL MATERIALS REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 12 INCHES AND COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557, LATEST EDITION) AT OPTIMUM MOISTURE CONTENT WITHIN A DISTANCE OF 5 FEET BEYOND ALL FOOTING EDGES

SIX INCHES MINIMUM GRANULAR MATERIAL TO BE PLACED UNDER THE FLOOR SLAB

CONCRETE

TRANSIT MIXED CONCRETE SHALL CONFORM TO ASTM C94, SPECIFICATION FOR READY-MIXED CONCRETE

THE WATER CEMENT RATIO SHALL BE KEPT TO A MINIMUM AND CONCRETE SLUMP SHALL NOT EXCEED 4 INCHES WHEN TESTED IN ACCORDANCE WITH ASTM C143

CONCRETE SHALL HAVE THE REQUIRED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS WHEN TESTED ACCORDING TO ASTM C39

PORTLAND CEMENT SHALL CONFORM TO ASTM C150 - SPECIFICATION FOR PORTLAND CEMENT

FINE AND COURSE AGGREGATES SHALL CONSIST OF CLEAN HARD STRONG AND DURABLE INERT MATERIAL FREE OF INJURIOUS AMOUNTS OF DELETERIOUS SUBSTANCES AND CONFORM TO ASTM C33 - SPECIFICATION FOR CONCRETE AGGREGATES

MIXING WATER SHALL BE FREE OF ANY ACID, ALKALI, OIL OR ORGANIC MATERIAL THAT MAY INTERFERE WITH THE SETTING OF THE CEMENT

ALL EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED. THE ENGINEER OF RECORD SHALL APPROVE ALL ADMIXTURE

REINFORCING BARS TO BE WELDED SHALL BE IDENTIFIED AS GRADE 60W

WELDED WIRE FABRIC SHALL CONFORM TO THE MOST CURRENT ASTM STANDARD

REINFORCING SHALL HAVE THE MINIMUM COVER REQUIREMENTS AS INDICATED IN ACI 318-14 WITH THE FOLLOWING MINIMUM VALUES:
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3"
EXPOSED TO EARTH OR WEATHER: #5 AND SMALLER = 1 1/2"
#6 AND LARGER = 2"

ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED, IN ACCORDANCE WITH ACI DETAILING MANUAL, LATEST EDITION (SP-66)

ALL REINFORCING SHALL BE SUPPORTED IN FORMS, SPACED WITH NECESSARY ACCESSORIES AND SHALL BE SECURELY WIRED TOGETHER IN ACCORDANCE WITH CRSI "REINFORCING BAR DETAILING" (LATEST EDITION)

ALL CONCRETE SHALL CURE A MINIMUM OF 7 DAYS. IF FORMS ARE REMOVED BEFORE THE END OF THE CURING PERIOD, COAT SURFACES WITH LIQUID CURING COMPOUND

SAW CUTTING OF CONTROL JOINTS IS TO BE PERFORMED AS SOON AS CONDITIONS PERMIT, BUT NO MORE THAN 12 HOURS AFTER THE CONCRETE IS Poured

PROVIDE STANDARD HOOKED DOWELS IN WALL FOOTINGS WITH EQUAL SIZE AND SPACING AS VERTICAL WALL STEEL, UNLESS NOTED OTHERWISE

ALL CONCRETE SLABS SHALL BE REINFORCED AS INDICATED ON THE DRAWINGS. FIBER REINFORCED CONCRETE MAY BE USED IN THE FLOOR SLABS IN ADDITION TO THE REQUIRED REINFORCING AT DOSAGE RATES ACCORDING TO SUPPLIERS

USE NON-SHRINK, NON-METALLIC GROUT UNDER BASE PLATES

DIMENSIONS OF THE FINISHED PRODUCT SHALL BE WITHIN THE LIMITS RECOMMENDED BY ACI 117

THE CONCRETE CONTRACTOR SHALL COORDINATE ALL OTHER TRADES FOR SIZE AND LOCATION OF ALL OPENINGS IN WALLS AND FLOORS. ALL OPENINGS IN STRUCTURAL CONCRETE SHALL BE DETAILED OR APPROVED BY THE ENGINEER

CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED

- NOTES: 1) NORMAL WEIGHT CONCRETE
2) CLEAR COVER > BAR DIAMETER
3) MINIMUM SPACING S >= BAR DIA.
W/STRUPS
4) MINIMUM SPACING S >= 2" BAR DIA.
W/O STRIRRUPS
5) f'c = 3000 PSI , Fy = 60,000 PSI
6) FOR TOP BARS MULTIPLY BY 1.3
7) UNCOATED REINFORCING BARS

BAR SIZE	MIN. LAP LENGTH (INCHES)
3	22
4	28
5	36
6	43
7	63
8	72

WOOD TRUSSES

WOOD TRUSSES SHALL BE FABRICATED BY AN AUTHORIZED TRUSS MANUFACTURER IN ACCORDANCE WITH THE DESIGN(S) AS PREPARED BY THE ENGINEER OF RECORD

FIVE BOUND SETS OF ENGINEERING DRAWINGS, SHOWING CONFORMANCE TO THE DESIGN LOADS AND CODE DEFLECTION CRITERIA AND INDICATING MEMBER SIZES SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR DESIGN CONCEPT APPROVAL. DESIGN CALCULATIONS AND DRAWINGS ARE TO BE PREPARED BY AND BEAR THE SEAL AND SIGNATURE OF A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED

DESIGN STANDARDS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE NDS 2015 AND THE LATEST "DESIGN SPECIFICATION FOR METAL PLATE CONNECTION TO WOOD TRUSSES"

BOTTOM CHORD AND WEB BRACING REQUIREMENTS ARE TO BE DETERMINED BY THE TRUSS MANUFACTURER. BRACING TO BE INSTALLED BY THE GENERAL CONTRACTOR. CONSULT TRUSS MANUFACTURER FOR SIZE, LOCATION AND NAILING REQUIREMENTS BEFORE BIDDING

AT ALL ENDS OF THE BUILDING AND AT INTERVALS ALONG THE LENGTH OF THE BUILDING, AS DETERMINED BY THE TRUSS MANUFACTURER, "X" BRACING SHALL BE INSTALLED ALONG LATERALLY BRACED WEBS

ALL TRUSS SPANS ARE TO BE FIELD VERIFIED PRIOR TO FABRICATION OF TRUSSES

CONTRACTOR IS RESPONSIBLE FOR ERECTION PROCEDURE OF ROOF TRUSSES. ROOF TRUSSES TO BE ERECTED AND BRACED PER THE LATEST BCSP STANDARDS

ROOF FRAMING PLAN IS A SCHEMATIC ONLY. TRUSS MANUFACTURER IS TO PREPARE A TRUSS SETTING PLAN FOR CONTRACTOR'S USE IN FIELD

MASONRY

MASONRY UNITS FOR HOLLOW UNIT MASONRY CONSTRUCTION SHALL CONFORM TO ASTM C90

CONCRETE BRICK SHALL CONFORM TO ASTM C55, STANDARD SPECIFICATION FOR CONCRETE BUILDING BRICK

MORTAR SHALL BE TYPE "M" OR "S", FRESHLY PREPARED AND UNIFORMLY MIXED, CONFORMING TO ASTM 270

GROUT AND MORTAR FOR REINFORCED MASONRY SHALL CONFORM TO ASTM 476

CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED

WIRE OR METAL ANCHORS WHICH SERVE AS TIES IN MULTI-WYTHE MASONRY WALLS OR VENEER WALLS, SHALL BE CORROSION RESISTANT METAL OR COATED WITH A CORROSION RESISTANT METAL

HORIZONTAL REINFORCEMENT, TRUSS TYPE 9GA GALVANIZED, SHALL BE PLACED 16" ON CENTER MINIMUM

ALL VERTICAL STEEL TO BE FULLY GROUTED SOLID

GROUTING THE CELLS OF MASONRY UNITS SHALL BE PERFORMED IN LOW LIFTS

CONTROL JOINTS TO BE LOCATED AS SHOWN ON PLAN. SEE TYPICAL CONTROL JOINT DETAIL

BOND BEAM AT TOP OF WALL IS TO BE CONTINUOUS WITH CONTINUOUS STEEL

INTERMEDIATE BOND BEAMS ARE TO BE DISCONTINUOUS WITH STEEL JOINT AT CONTROL JOINT

STRUCTURAL STEEL

ALL STRUCTURAL STEEL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF ASTM AND SHALL BE FABRICATED AND ERECTED ACCORDING TO AISC SPECIFICATIONS

STEEL FABRICATOR/SUPPLIER SHALL DESIGN CONNECTIONS TO RESIST REACTIONS CALCULATED FROM THE UNIFORM LOAD CONSTANTS SHOWN IN THE AISC BEAM TABLES UNLESS REACTIONS ARE NOTED ON THE DRAWINGS OR SHOWN FULLY DETAILED ON THE CONSTRUCTION DOCUMENTS. CONNECTIONS SHALL BE SHOP WELDED AND FIELD BOLTED UNLESS NOTED OTHERWISE ON THE DRAWINGS. PROVIDE AN MINIMUM OF TWO (2) BOLTS FOR EACH CONNECTION AND USE MINIMUM 3/4" DIAMETER BOLTS AND 3/8" MINIMUM THICKNESS PLATES

ALL SHOP AND FIELD BOLTED CONNECTIONS SHALL USE A325 BOLTS AND NUTS, UNLESS OTHERWISE NOTED. AISC INSTALLATION PROCEDURES FOR A325 BOLTS AND NUTS MUST BE FOLLOWED

WELDING SHALL CONFORM TO THE LATEST EDITION OF AWS D1.1. ALL WELDING SHALL BE PERFORMED BY APPROVED CERTIFIED WELDERS

NO HOLES, OTHER THAN THOSE SPECIFICALLY DETAILED, SHALL BE ALLOWED THROUGH STRUCTURAL STEEL MEMBERS

THE STEEL FABRICATOR SHALL SUBMIT FOUR BOUND SETS OF ERECTION/SHOP DRAWINGS TO THE ENGINEER OF RECORD FOR DESIGN CONCEPT APPROVAL

FABRICATE ALL BEAMS WITH THE MILL CHAMBER UP

STRUCTURAL WOOD CONSTRUCTION

STRUCTURAL WOOD SHALL BE VISUALLY GRADED IN ACCORDANCE WITH ASTM D245. WOOD SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY A RECOGNIZED INSPECTION AGENCY

ALL WOOD SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15% PRIOR TO INSTALLATION

ALL WOOD PERMANENTLY EXPOSED TO THE WEATHER, IN CONTACT WITH EXTERIOR, IN CONTACT WITH THE GROUND, SHALL HAVE A PRESERVATIVE TREATMENT EQUAL TO 0.4 P.C.F. RETENTION OF PRESSURE INJECTED CCA

NO WOOD MEMBER SHALL BE CUT, NOTCHED, OR DRILLED WITHOUT SPECIFIC WRITTEN APPROVAL OF THE ENGINEER OF RECORD

ALL JOISTS AND RAFTERS SHALL BE SUPPORTED BY DIRECT END BEARING ON BEAMS, PARTITIONS, OR JOIST HANGERS. ALL ROOF AND FLOOR TRUSSES MUST BE LOCATED ABOVE WALL STUDS

DO NOT EMBED WOOD MEMBERS IN CONCRETE UNLESS THEY ARE TREATED PLYWOOD SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, STAGGER ALL JOINTS

PLYWOOD SHALL BE CAPABLE OF SUPPORTING DESIGN LOADS AT REQUIRED SUPPORT SPACING AND BEAR APPROPRIATE GRADING STAMP FROM AMERICAN PLYWOOD ASSOCIATION

PLYWOOD SHEAR WALL SHALL BE FASTENED TO SUPPORTS WITH 10d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, UNLESS OTHERWISE NOTED

PLYWOOD DIAPHRAGM SHALL BE FASTENED TO SUPPORTS WITH 10d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, UNLESS OTHERWISE NOTED

USE COMMON WIRE NAILS UNLESS NOTED OTHERWISE

ALL BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM A307. USE STEEL WASHERS BETWEEN HEAD OF BOLT OR LAG SCREW AND WOOD. USE STEEL WASHERS BETWEEN NUT AND WOOD

ALL FASTENERS USED FOR PRESERVATIVE TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL

ALL NAILING SHALL CONFORM TO TABLE 2304.9 OF IBC 2015, UNLESS NOTED OTHERWISE

LAP ALL DOUBLE TOP PLATES A MINIMUM OF FOUR FEET AND FASTEN TOGETHER WITH MINIMUM TWELVE 10d NAILS

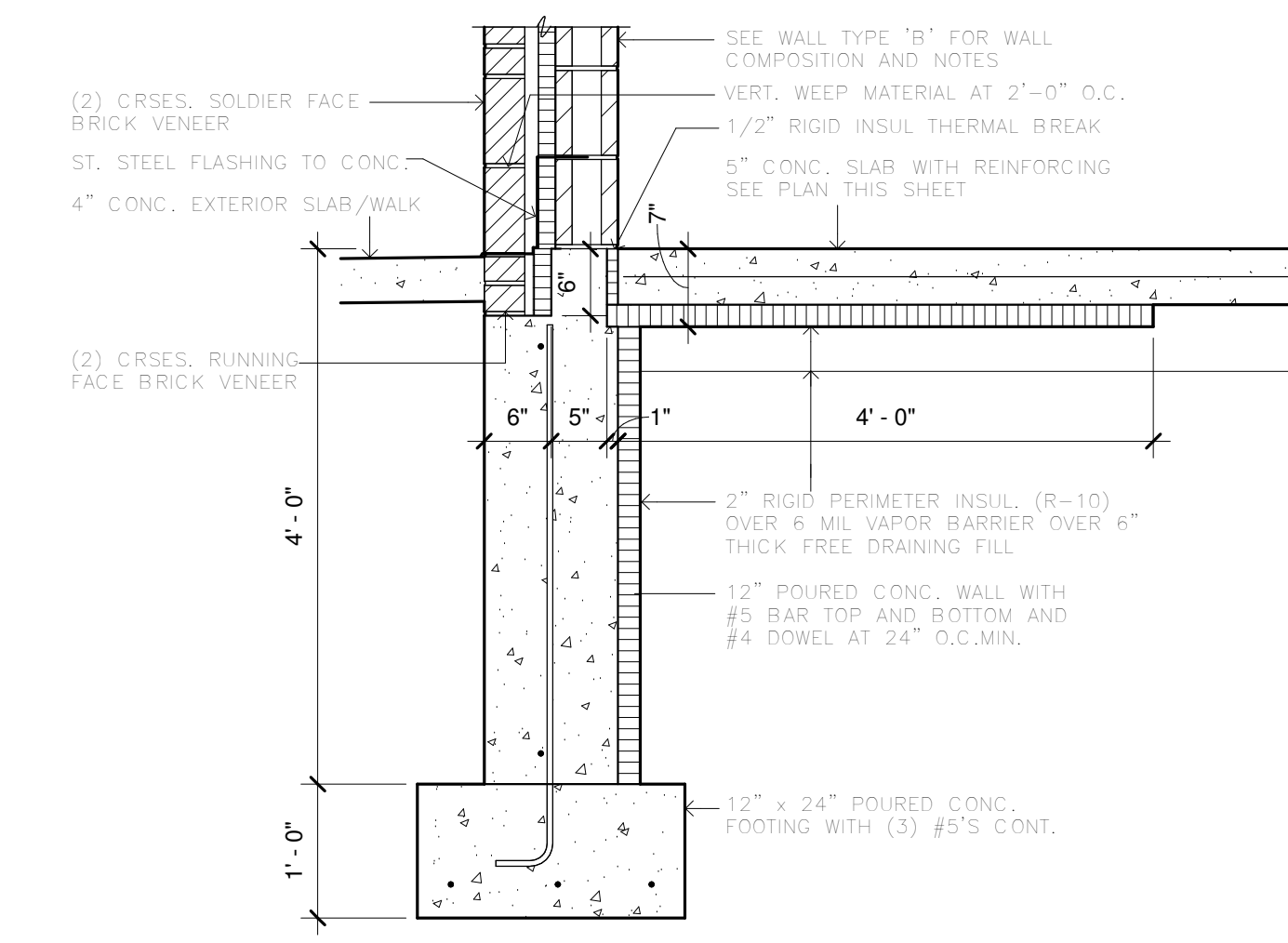
No.	Date	Description

GENERAL / STRUCTURAL NOTES

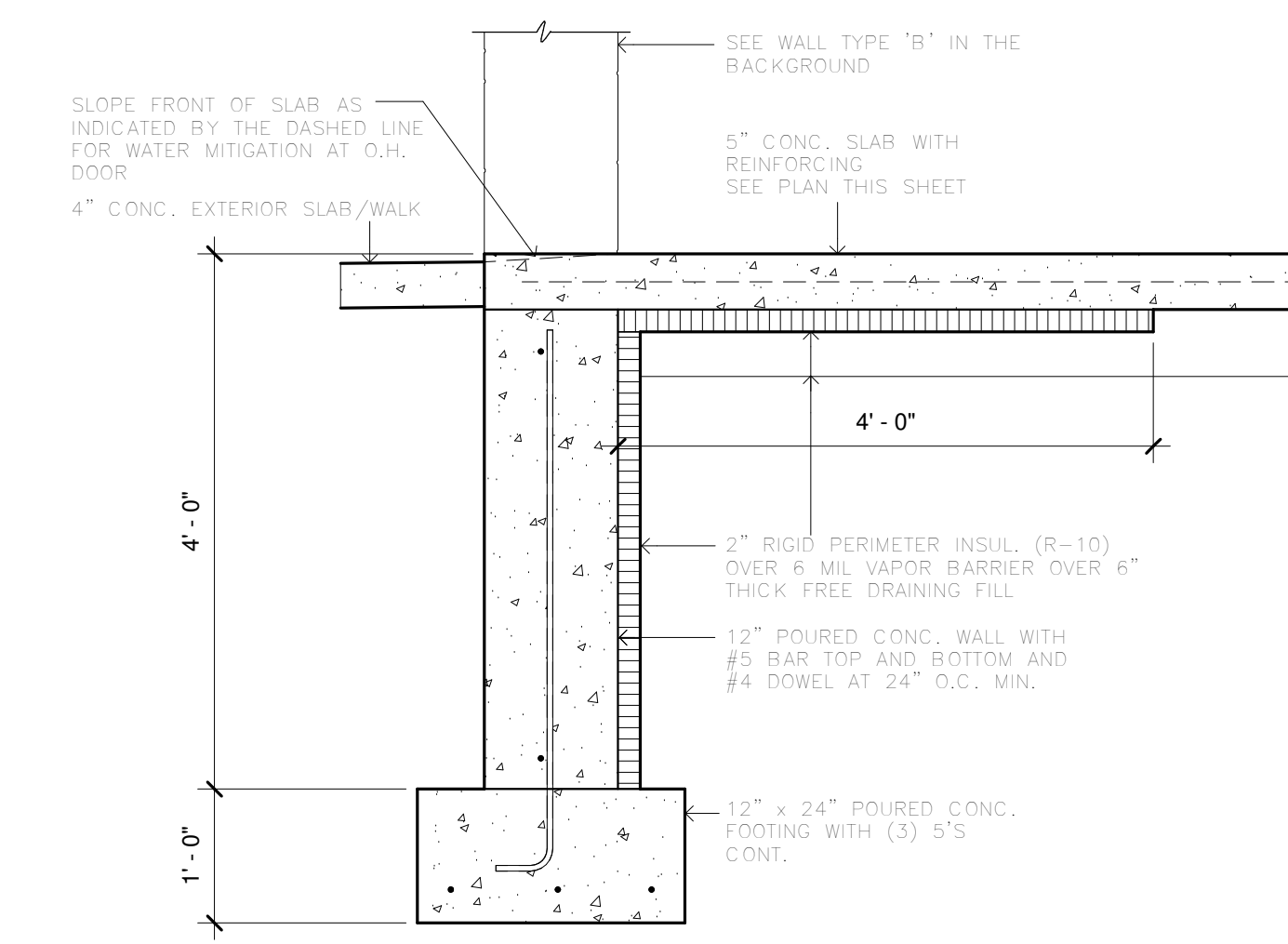
Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK

SO
Scale

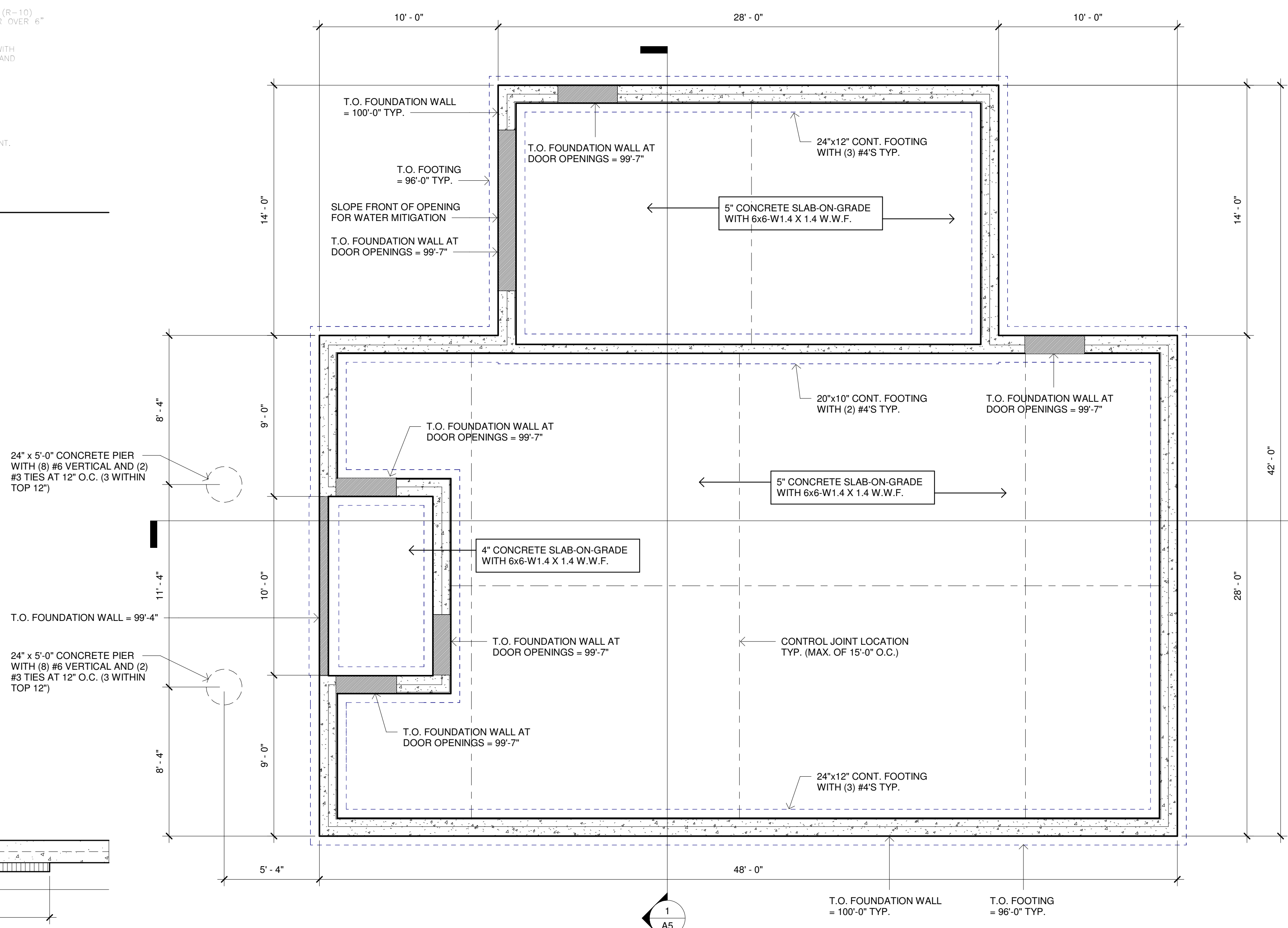
**RIVERSIDE SOUTH
TOILET ROOMS**
239 E Veterans Memorial Drive, LaCrosse, WI



2 TYP. FOUNDATION WALL AND FOOTING
3/4" = 1'-0"



3 TYPICAL WALL AT DOOR DETAIL
3/4" = 1'-0"



1 FOUNDATION PLAN
1/4" = 1'-0"

- GENERAL FOUNDATION NOTES:**
1. ALL CMU WALLS TO HAVE #4 BAR AT 48" O.C. IN FULLY GROUTED CELLS.
 2. ALL CMU WALLS TO HAVE 8" BOND BEAM ALONG TOP COURSE WITH #4 CONT. BAR.
 3. ALL CMU WALLS TO HAVE FULLY GROUTED VERTICAL CELLS AT ALL ENDS AND OPENINGS.
 4. ALL CMU WALLS TO HAVE 9GA. LADDER REINFORCING AT 16" O.C.

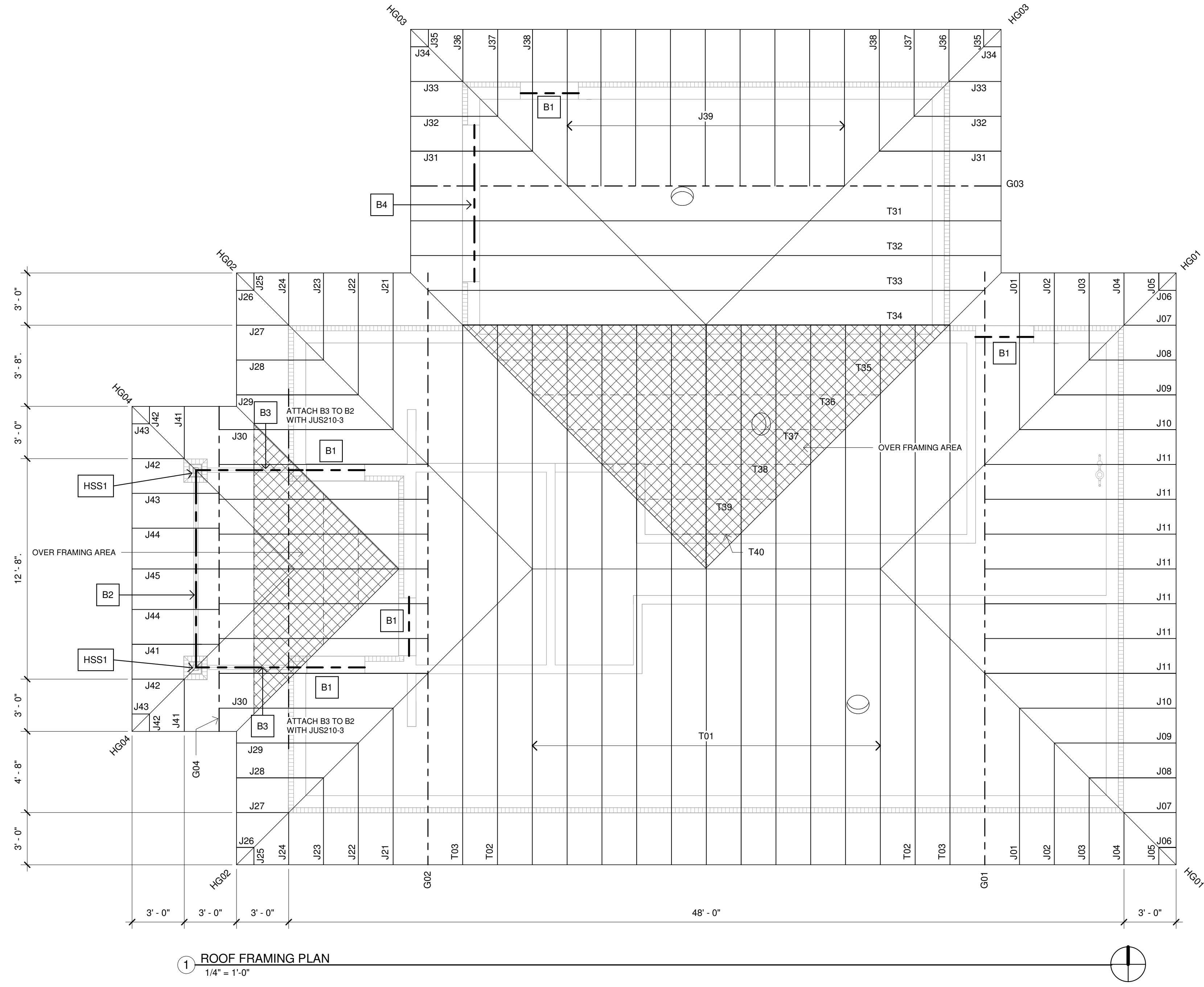
No.	Date	Description

FOUNDATION PLAN

Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK

S1
Scale As indicated

**RIVERSIDE SOUTH
 TOILET ROOMS**
 239 E Veterans Memorial Drive, LaCrosse, WI



1 ROOF FRAMING PLAN
 1/4" = 1'-0"

- GENERAL ROOF FRAMING NOTES:**
1. ALL SLOPES SHOWN ARE 8/12 PITCH.
 2. TOP OF PLATE BEARING = 10'-1 1/2" A.F.F.
 3. ALL OVERHANGS ARE 4'-0" (UNO).
 4. ALL TRUSSES TO BE ATTACHED TO TREATED TOP PLATE WITH SIMPSON H3.
 5. ALL GIRDER TRUSSES TO BE ATTACHED TO TREATED TOP PLATE WITH (2) SIMPSON H3'S.
 6. ALL TREATED TOP PLATES TO BE ATTACHED TO CMU WITH 1/2" ADHESIVE ANCHORS (6" EMBED) AT 24" O.C.
 7. ALL BRICK LINTEL SUPPORTS TO BE A MIN. ANGLE 4x4x3/8" WITH 8" BEARING ON EACH END. HORIZONTAL LENGTH MAY BE INCREASED DEPENDENT ON AIR GAP.

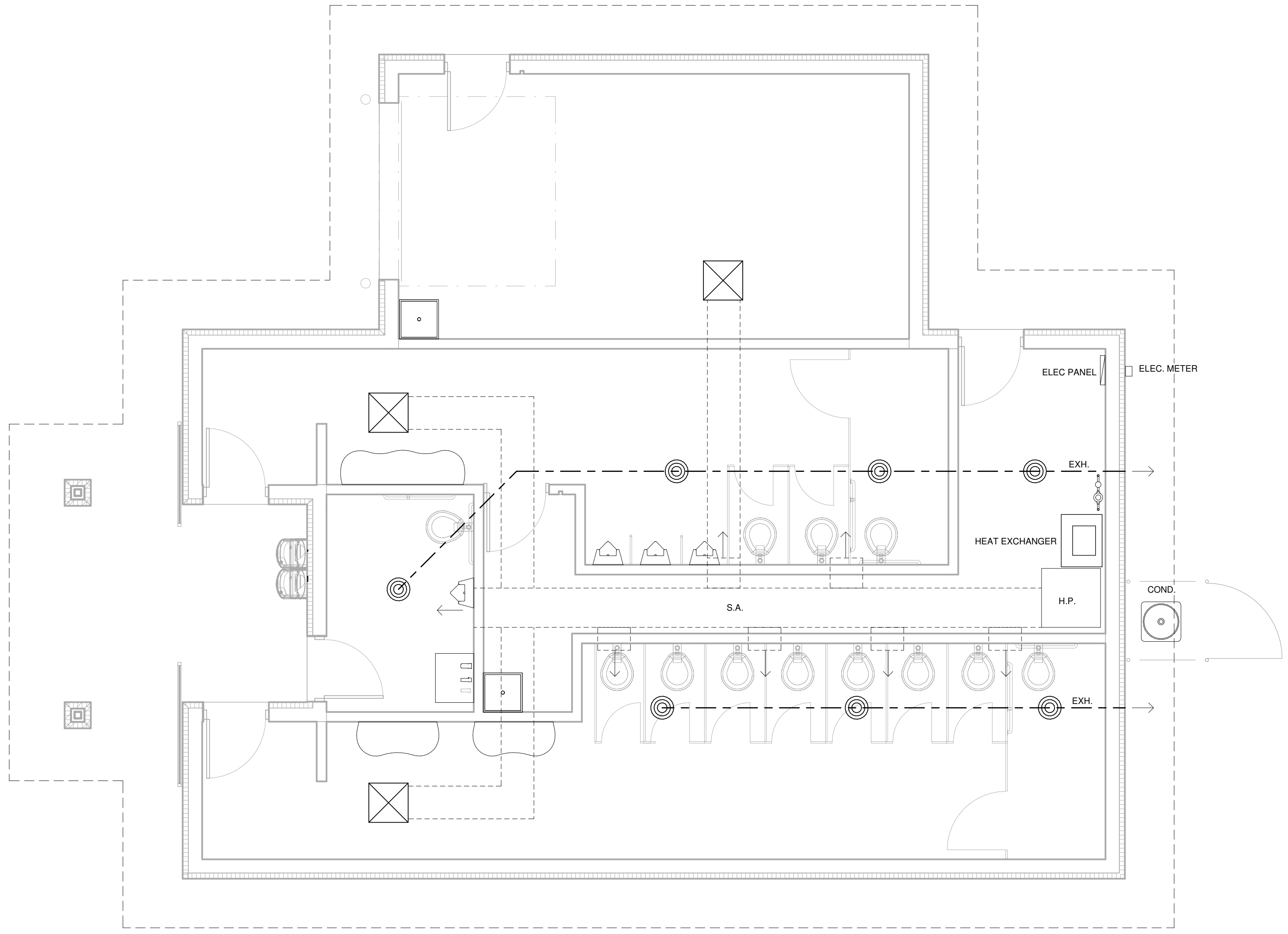
ROOF FRAMING SCHEDULE	
B1	8" BOND BEAM WITH (1) #5 BAR
B2	3-PLY 2x10 SYP, #1
B3	3-PLY 2x10 SYP, #1 - BEAR ON CMU WITH A SGNLLE TREATED TOP PLATE AND ATTACH WITH (2) SIMPSON H3'S
B4	24" DEEP BOND BEAM WITH (1) #5 BAR
HSS1	HSS 4x4x1/4" ENTRY COLUMN. PROVIDE 1/4" BENT PLATE (5"x6"x9") STEEL AT TOP TO 200 AMP PANELDER B2 WITH 9/2) 1/2" A307 BOLTS EACH END. J-BONIDE 10"x10"x3/8" BASE PLATE WITH (4) 9/16" DIA. HOLES FOR ATTACHMENT TO PIER WITH (4) 1/2" X 12" ANCHOR BOLTS. ALL WELDS TO BE 3/16" FILLET MIN. ALL AROUND.

No.	Date	Description

ROOF FRAMING PLAN

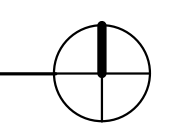
Project Number
 Date 07/22/22
 Drawn By TRB
 Checked By CHK

S2
 Scale 1/4" = 1'-0"



THESE DRAWINGS ARE SCHEMATIC ONLY.
 MECHANICAL CONTRACTOR IS RESPONSIBLE
 FOR PERMIT AND CONSTRUCTION DRAWINGS.

① SCHEMATIC HVAC PLAN
 1/4" = 1'-0"

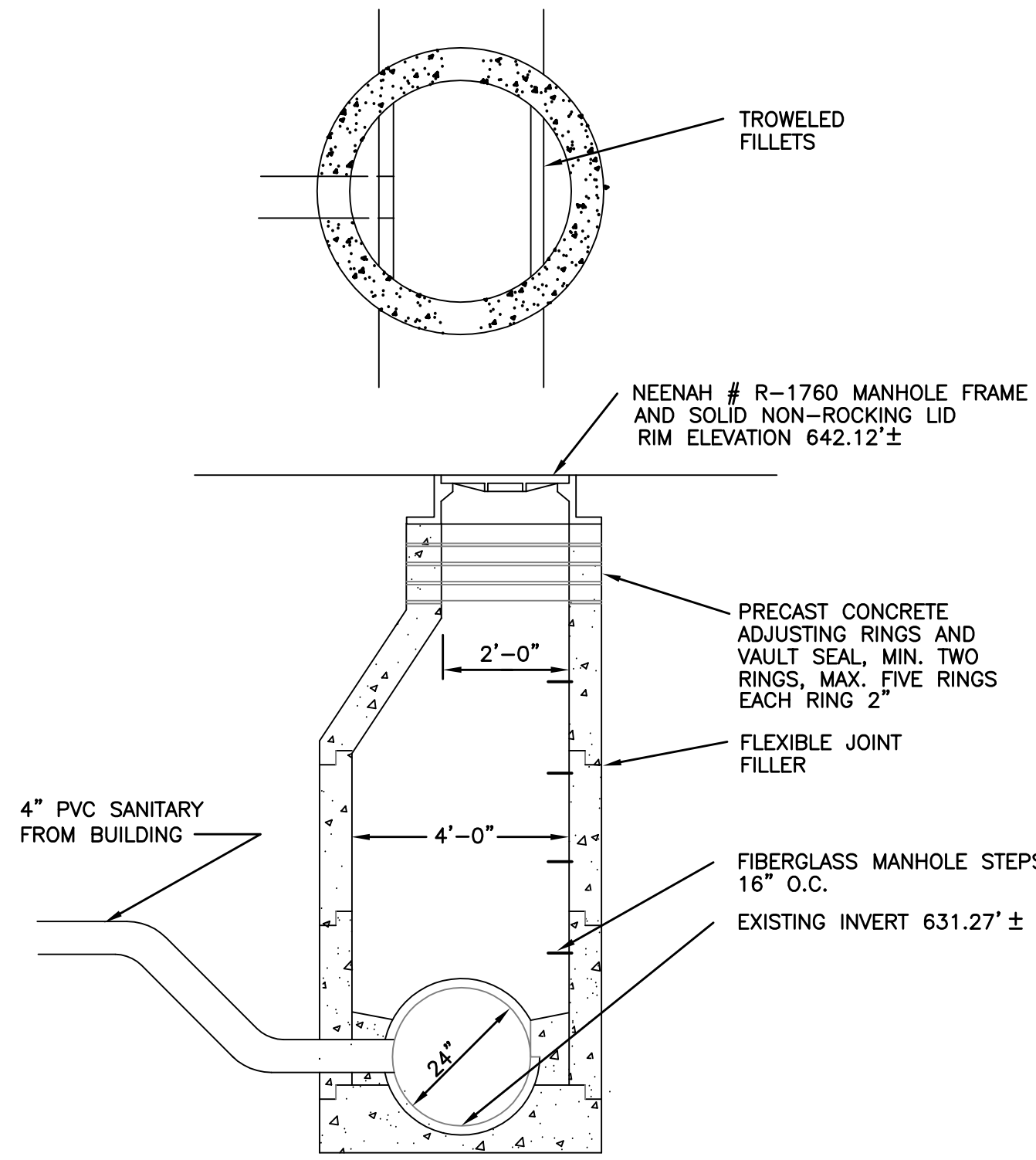


No.	Date	Description

SCHEMATIC HVAC
 PLAN

Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK

SM-1
 Scale 1/4" = 1'-0"



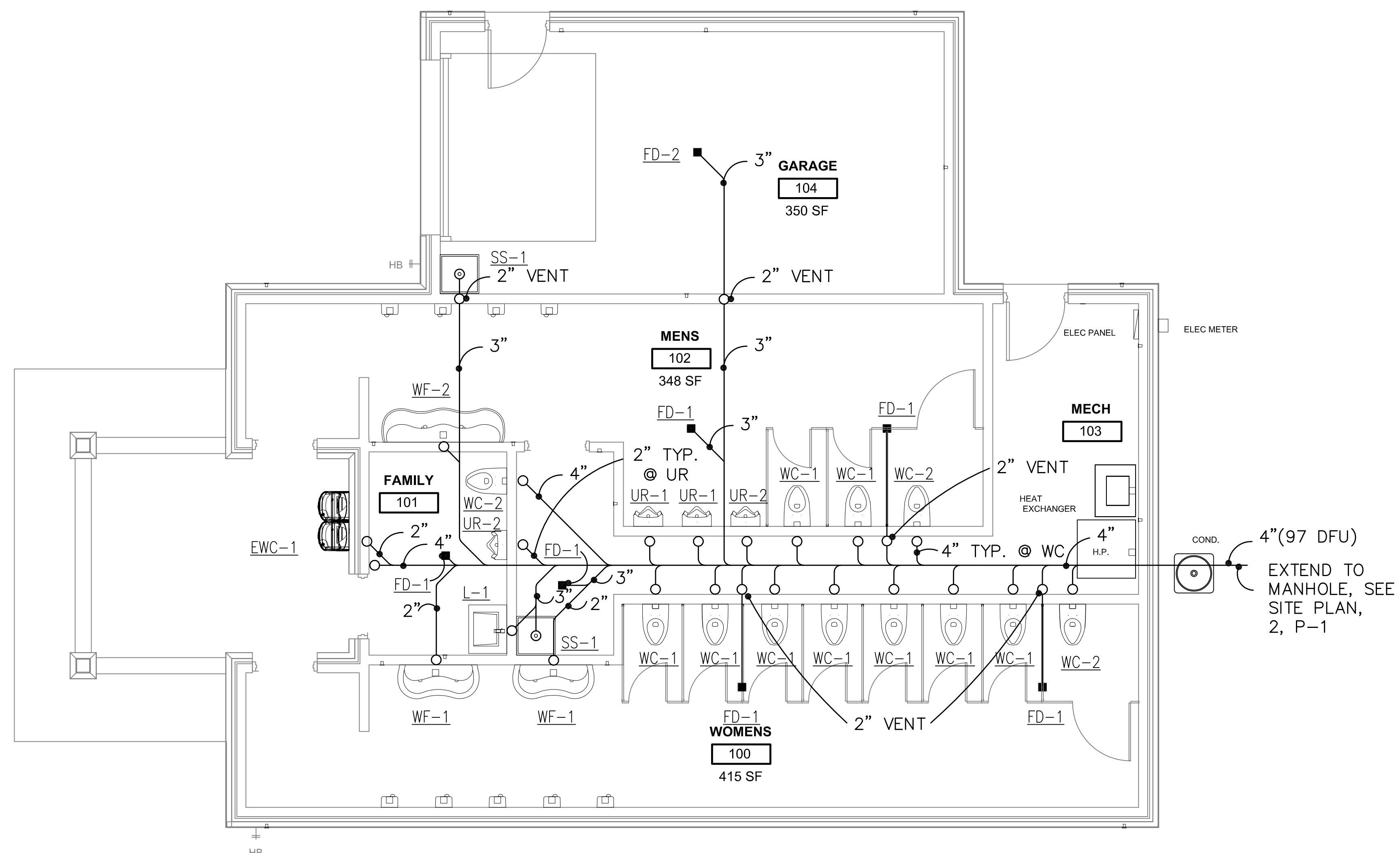
3 EXISTING MANHOLE DETAIL
NO SCALE

PLUMBING FIXTURE SCHEDULE										ALL FIXTURES WILL BE SUPPLIED BY OWNER, GC INSTALLED (ALL FIXTURES, ACCESSORIES, TOILET PARTITIONS, ETC)	
PLAN NUMBER	FIXTURE DESCRIPTION	RIM HEIGHT	MANUFACTURER AND MODEL	MATERIAL	TRIM	VALVE	CONNECTIONS				REMARKS
							WASTE	VENT	CW	HW	
WC-1	WALL HUNG WATER CLOSET	15"	KOHLER K-4329	VITREOUS CHINA	SLOAN CX-8158-1.28-GR-OR FLUSH VALVE	STOP	4"	2"	1"		3,4
WC-2	ADA WALL HUNG WATER CLOSET	17"	KOHLER K-4329	VITREOUS CHINA	SLOAN CX-8158-1.28-GR-OR FLUSH VALVE	STOP	4"	2"	1"		1,3,4
L-1	WALL HUNG LAVATORY	34"	KOHLER K-126432 20"x18"	VITREOUS CHINA	SLOAN EAF-150-BAT FAUCET	STOP	1½"	1½"	½"	½"	6
UR-1	WALL HUNG URINAL	24"	KOHLER K-4960-ER	VITREOUS CHINA	SLOAN CX-8198-.25-PB-OR FLUSH VALVE	STOP	2"	1½"	¾"		5
UR-2	ADA WALL HUNG URINAL	17"	KOHLER K-4960-ER	VITREOUS CHINA	SLOAN CX-8198-.25-PB-OR FLUSH VALVE	STOP	2"	1½"	1"		5
WF-1	WASHFOUNTAIN		BRADLEY S93-709 2 PERSON	WHITE SAND, TERREON	SENSOR OPERATED	STOP	2"	1½"	½"	½"	
WF-2	WASHFOUNTAIN		BRADLEY S93-710 3 PERSON	WHITE SAND, TERREON	SENSOR OPERATED	STOP	2"	1½"	½"	½"	
SS-1	SERVICE SINK		MUSTEE 63M 24"x24"	FIBERGLASS	CHICAGO 911 W/VB	STOP	2"	1½"	½"	½"	
EWC-1	WATER COOLER		ELKAY LZ00TLBWSK WATER COOLER	STAINLESS STEEL		STOP	1½"	1½"	½"		7
HB-1	HOSE BIBB		WOODFORD MODEL 67	C P BRASS		STOP			¾"		
FD-1	FLOOR DRAIN		SIOUX CHIEF 863-3NR	PVC			3"				
FD-2	FLOOR DRAIN		SIOUX CHIEF 852-4NR	PVC	SEDIMENT BUCKET		4"				
CO-1	FLOOR CLEANOUT		SIOUX CHIEF 852- NR	PVC							2

- REMARKS:
- GRAB BARS BY GENERAL CONTRACTOR.
 - SEE PLAN FOR SIZE
 - FURNISH AND INSTALL ZURN Z-1208-H44 NO-HUB VERTICAL CLOSET CARRIER.
 - BEMIS 9400SSCT WHITE SELF RISING OPEN FRONT SEAT LESS COVER.
 - FURNISH AND INSTALL ZURN Z-1222 URINAL CARRIER.
 - FURNISH AND INSTALL ZURN Z-1231 CONCEALED ARM FLOOR SUPPORTED LAVATORY CARRIER.
 - WITH BOTTLE FILLER, HANDS FREE, FILTERED.

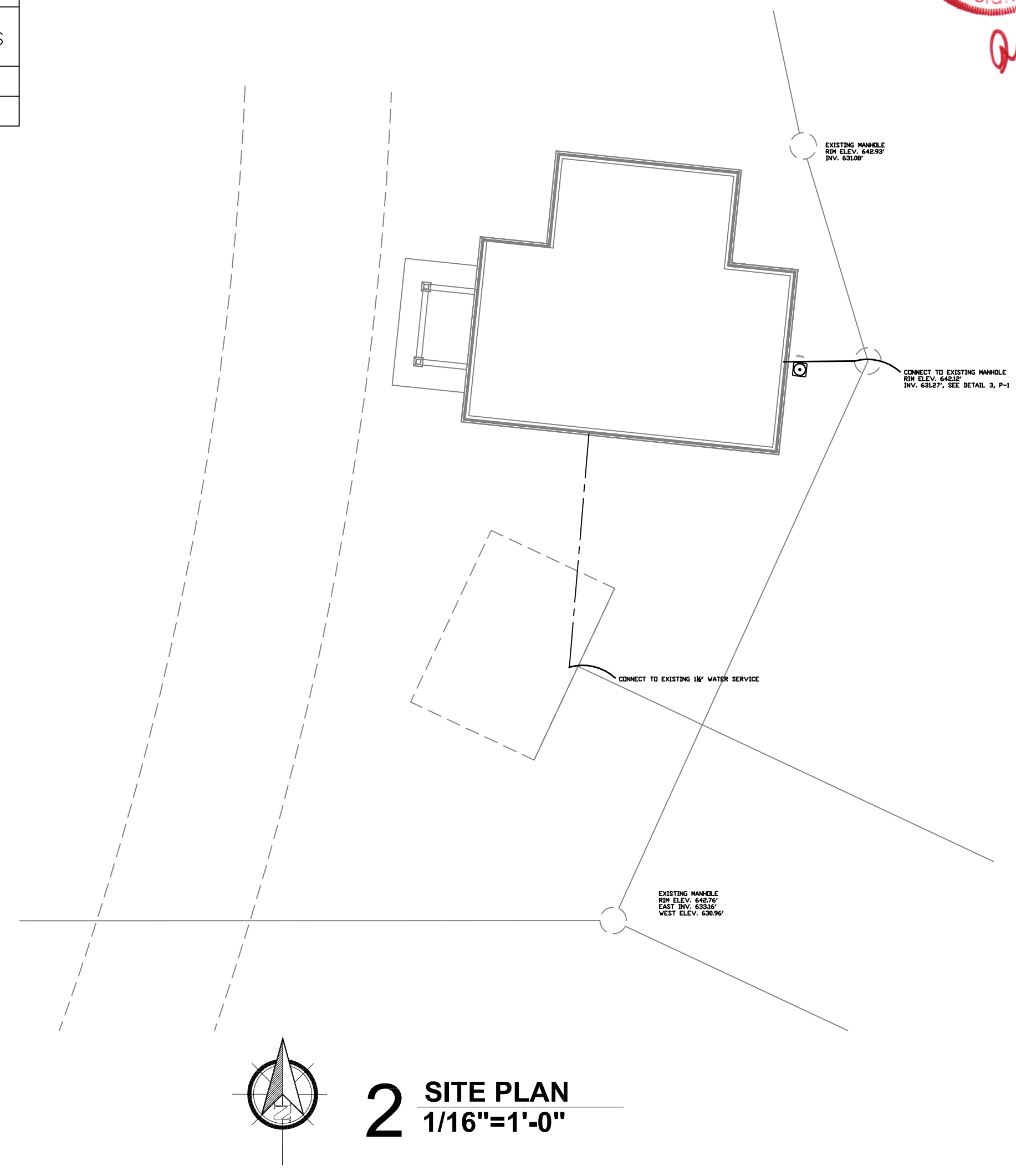
WATER HEATER SCHEDULE										(BASED ON A.O. SMITH)	
PLAN MARK	VOLUME GALLONS	INPUT MBH	RECOVERY GPM	°F TEMPERATURE RISE	FUEL	MODEL NUMBER	REMARKS	ELECTRICAL REQUIREMENTS			REMARKS
								DRAW	VOLTS	PHASE	
WH-1	100	199	8	45	NAT.	AT10-540HX3-N	1,2,3,4	10 AMPS	120	1	

- REMARKS:
- INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - FURNISH AND INSTALLED BY PLUMBING CONTRACTOR.
 - FURNISH AND INSTALL POUNDS TO INCHES GAS REGULATOR.
 - FURNISH AND INSTALL 3" PVC INTAKE AND VENT THRU ROOF.



NOTE:
REFER TO WASTE AND

1 UNDERFLOOR PLAN
1/4"=1'-0"



2 SITE PLAN
1/16"=1'-0"

- ### SHEET INDEX
- P-1 UNDER FLOOR PLAN, SITE PLAN, SCHEDULES, AND DETAIL
 - P-2 FIRST FLOOR PLAN AND DETAIL
 - P-3 WASTE AND VENT DIAGRAM
 - P-4 WATER PIPING DIAGRAM
 - P-5 SPECIFICATIONS AND PIPING CALCULATIONS

MIDWEST
Design & Development, LLC
N5560 CTH ZM, Suite 3 Onalaska, WI 54650
PH: 608-785-2760

UNDER FLOOR PLAN,
SITE PLAN, DETAILS,
AND SCHEDULES

RIVERSIDE SOUTH
TOILET ROOMS
LaCrosse, WI

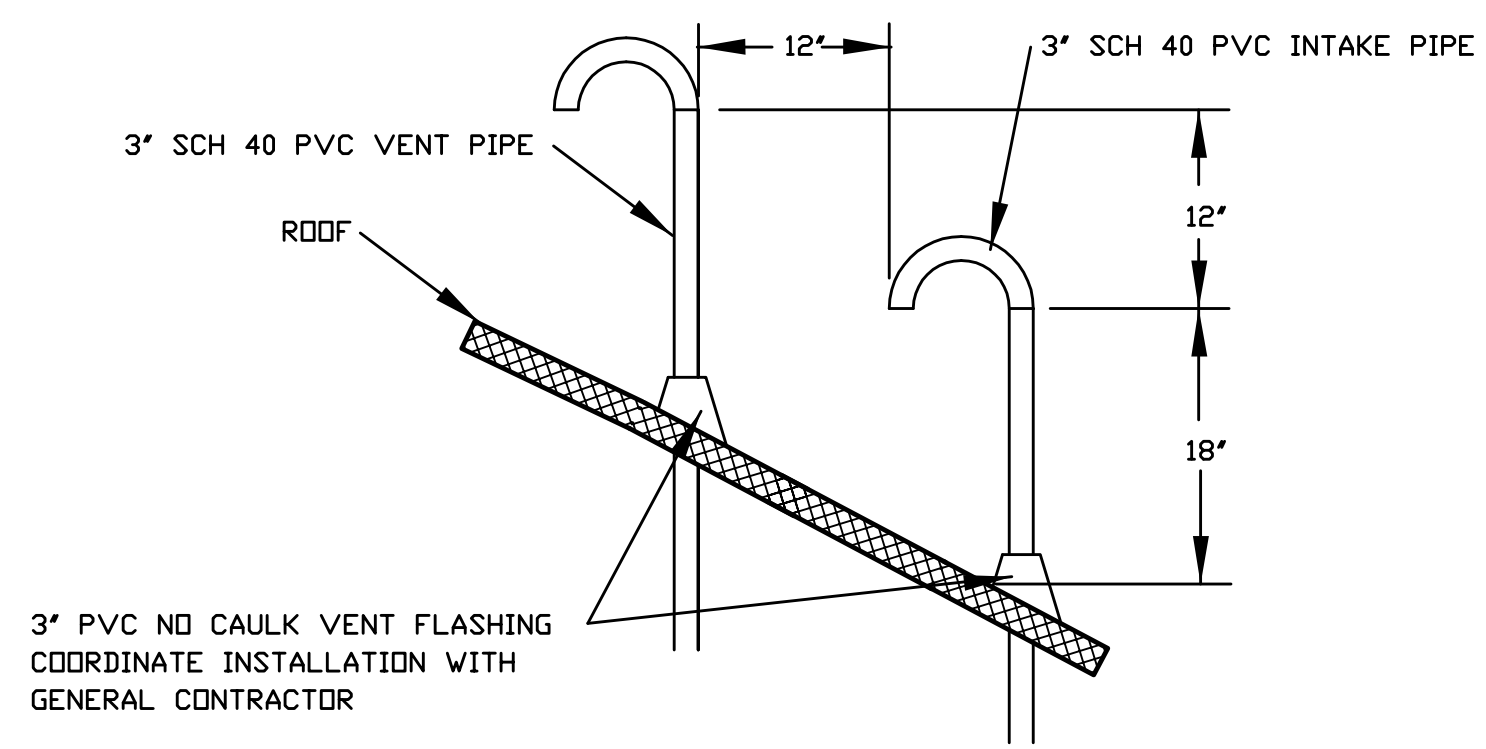
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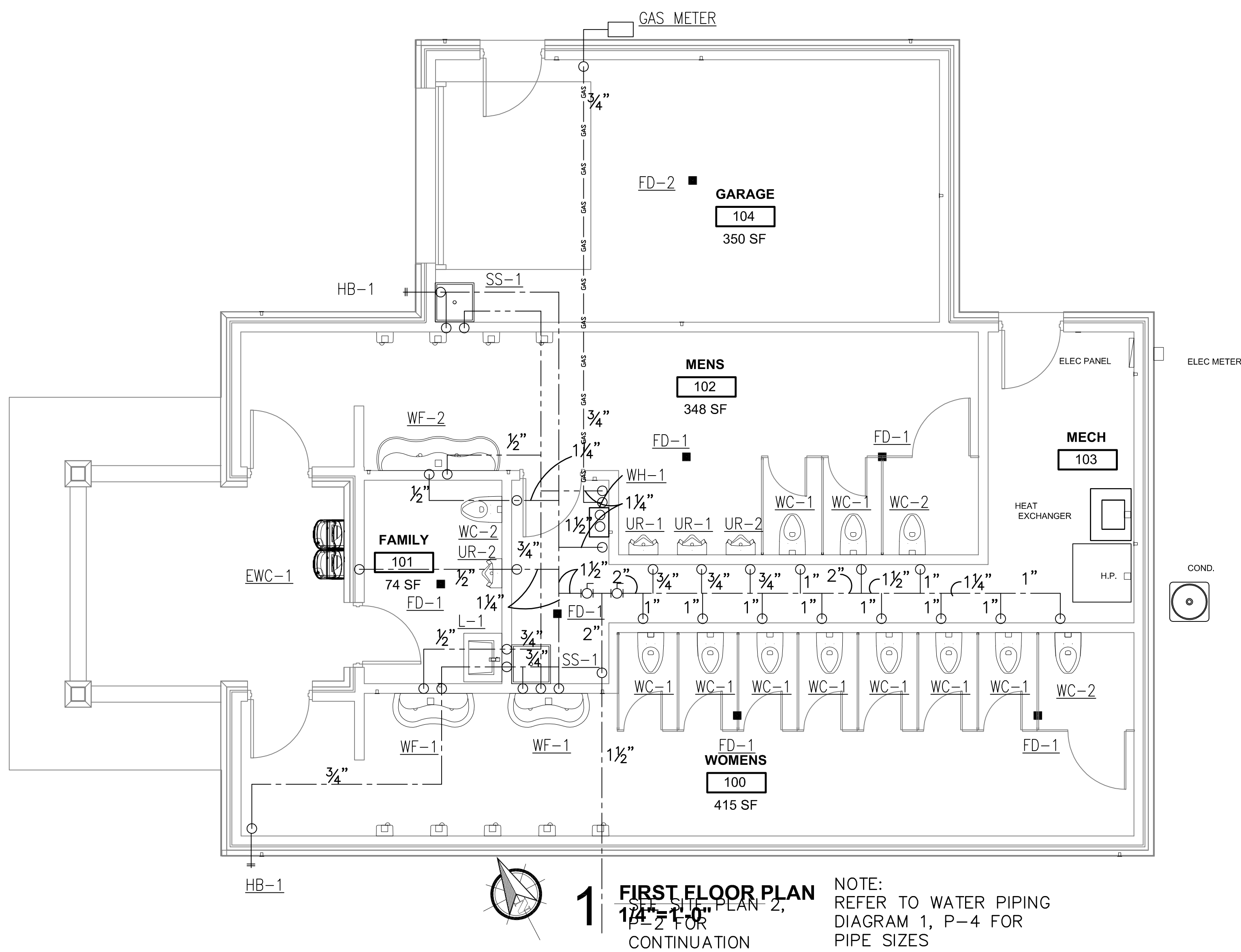
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P-1
Scale

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2 WATER HEATER VENT AND INTAKE THROUGH ROOF DETAIL
NO SCALE



1 FIRST FLOOR PLAN
1/4" = 1'-0"
CONTINUATION
NOTE: REFER TO WATER PIPING DIAGRAM 1, P-4 FOR PIPE SIZES

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FIRST FLOOR PLAN
AND DETAILS

RIVERSIDE SOUTH
TOILET ROOMS
LaCrosse, WI

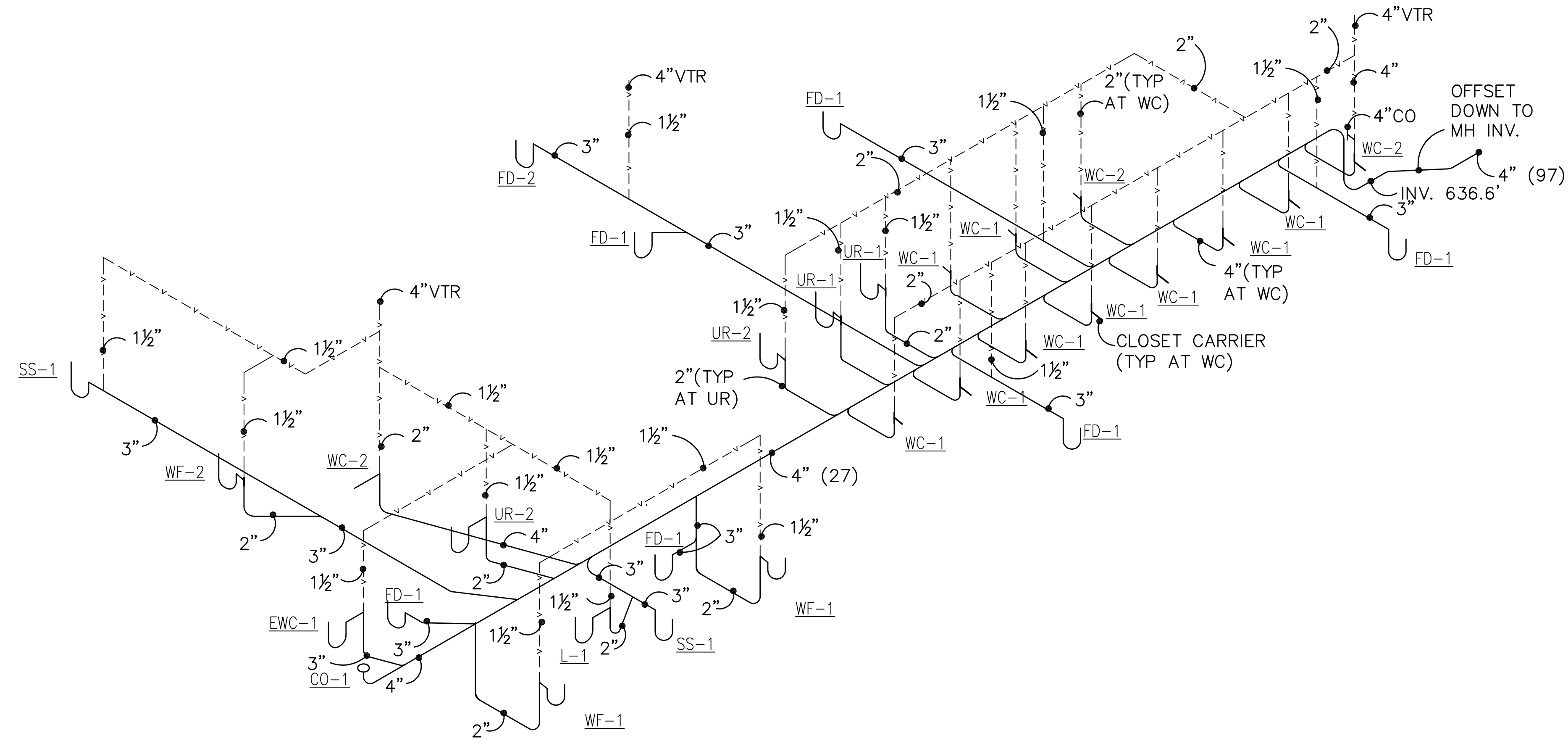
1 6-14-22 PERMIT SET

No.	Date	Description

Project Number
Date
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P-2

Scale



1 WASTE AND VENT DIAGRAM

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WASTE AND VENT
 DIAGRAM

**RIVERSIDE SOUTH
 TOILET ROOMS**
 LaCrosse, WI

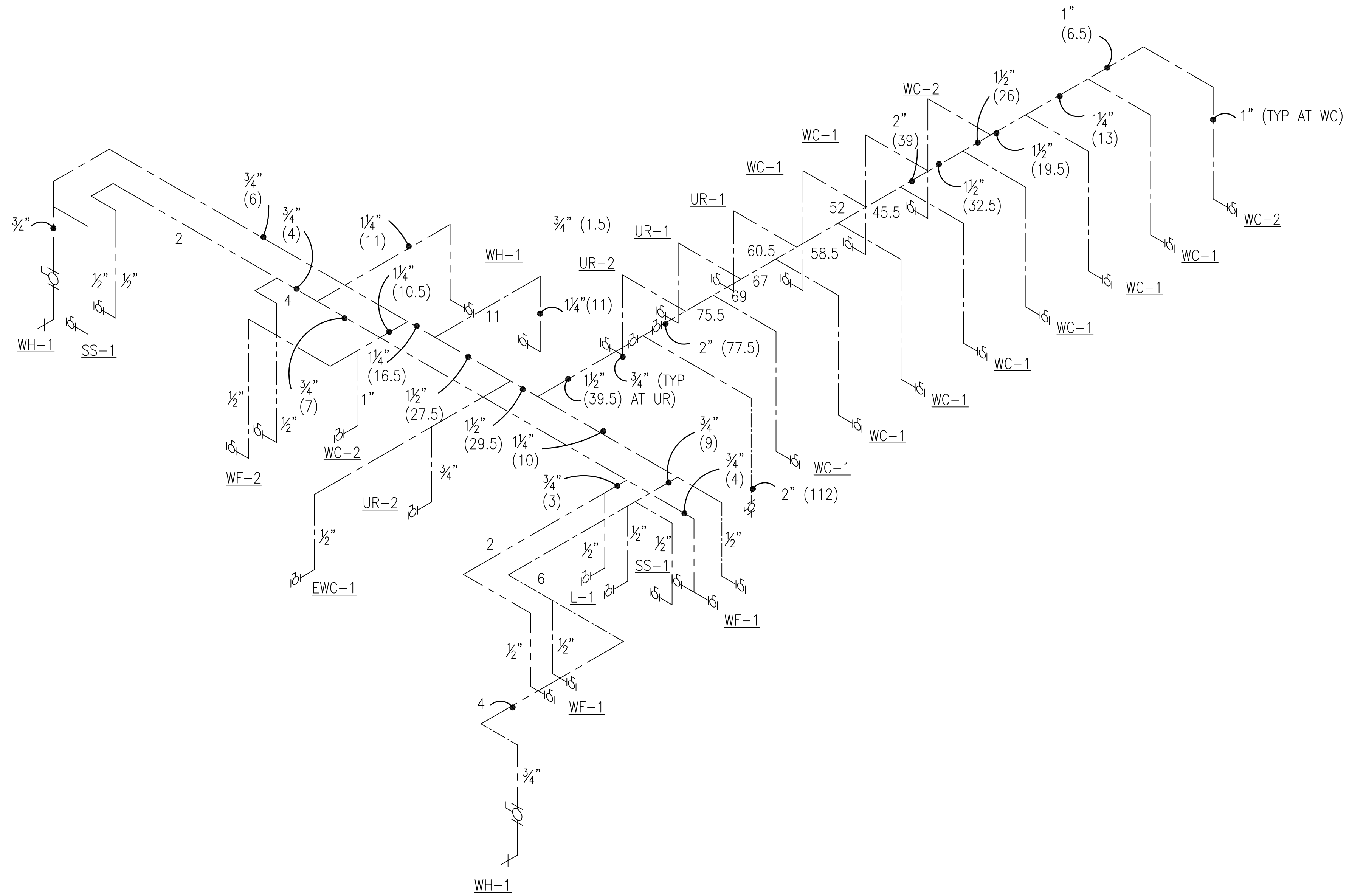
1 6-14-22 PERMIT SET

No.	Date	Description

Project Number
 Date
 Drawn By
 Checked By

P-3

Scale



1 WATER PIPING DIAGRAM



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WATER PIPING
 DIAGRAM

RIVERSIDE SOUTH
 TOILET ROOMS
 LaCrosse, WI

1 6-14-22 PERMIT SET

No.	Date	Description

Project Number

Date

Drawn By

Checked By

P -4

Scale

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SECTION 15000 – PLUMBING GENERAL PROVISIONS

PART 1. GENERAL

- 1.01 SCOPE
 A. Any General Provisions distributed by the Architect shall apply to all Sections of Division 15.
 B. Provide all materials, labor, services and incidentals necessary for the completion of this Division of the Work.
 C. The requirements of Section 15000 apply to all Sections of Division 15.

- 1.02 CODES AND STANDARDS
 A. Comply with the latest applicable Codes and Standards as set forth by the following:

AMCA	Air Moving and Conditioning Association
ANSI	American National Standards Institute
ASME	American Society of Mechanical Engineers
ASTM	American Society for Testing and Materials
DNR	Department of Natural Resources
EPA	U.S. Environmental Protection Agency
NEC	National Electric Code
NFPA	National Fire Protection Association
SMACNA	Sheet Metal and Air Conditioning Contractors National Association
UL	Underwriters Laboratories

- B. Comply with and pay fees for all required permits and inspections.
 C. Where drawings and specifications call for materials or workmanship in excess of these requirements, drawings and specifications shall govern.

1.03 DELIVERY, STORAGE AND HANDLING

- A. Cover and protect all materials and equipment stored at Project Site from weather. Support above ground on temporary bases.
 B. Cover all mechanical products and control devices from damage, dust, plaster and other construction debris. After installation is completed or while storing inside building, wrap and enclose all fixtures, equipment and control devices with canvas or heavy mill plastic, secured with wire or cord. Fixtures may be protected with the factory applied heavy paper or carton they are shipped in. Do not remove protection device until room or area is cleaned and free of dust and debris.

PART 2. PRODUCTS

2.01 MATERIALS, FIXTURES AND EQUIPMENT

- A. Provide all new materials and equipment to complete Work, unless otherwise specified.
 B. All pipe sizes are I.D. unless otherwise indicated.
 C. All duct sizes are clear inside dimensions.

2.02 PRODUCT BID APPROVAL

- A. Submit Bid based on materials and equipment of manufacturers specified. Catalog numbers of base manufacturer establishes quality required. Other manufacturers listed may be bid without prior approval of Engineer, providing quality of product is equal to base specification.
 1. All items specified shall be the latest type or model produced by manufacturer specified. If descriptive specification or model number is obsolete, substitute current product.
 B. Whenever a product of a manufacturer other than the Base Specification is furnished, the respective Mechanical Contractor shall include in his Bid, any additional costs for labor and/or materials required to adapt the substituted equipment variations, to the original system design. This includes full compensation to other Trades for changes required in their work. Variations include, but are not limited to:
 1. Additional breaching, piping extensions, stack revisions, etc. for changes in location of boiler outlets.
 2. Additional piping or ductwork extensions for equipment tapping variations.
 3. Additional structural support for heavier equipment.
 4. Changes in sizes of roof curbs, equipment supports and equipment pads.
 5. Added cost for changes in electrical work; larger motors, wiring, disconnects, starters, lighting relocation, etc. When motors are varied from Base Specification, an additional shop drawing of equipment shall be submitted to the Electrical Contractor, with changes noted thereon.
 6. Drawings shall be submitted to Engineer for approval, when variations require extensive piping, ductwork or system revisions.

2.03 GUARDS

- A. All equipment having belt-driven motors shall include OSHA-approved belt guards.
 B. All motor shafts shall have OSHA-approved guards.
 C. Guards shall be sheet steel, cast iron, expanded metal or wire mesh. Include access hole for speed measurement.

2.04 STEEL SUPPORT AND HANGERS

- A. Steel angle or pipe supports for floor mounted equipment and steel hangers for suspended equipment, including supplemental beams or angles mounted to building structure, will be furnished and installed by respective Mechanical Contractor; designed to carry total supported weight.

PART 3. EXECUTION

3.01 INSTALLATION

- A. Piping, ducts and similar items are shown on Project Drawings in approximate position desired; do not scale.
 B. Determine exact location at Project Site by preliminary layout of systems (electrical, mechanical, structural, etc.) and resolve all conflicts.
 C. Install exposed piping parallel to building lines, at uniform grade and at sufficient distance from walls to allow proper connections to risers and drops.
 D. Close openings and open ends of all piping and ductwork during construction to exclude dust, debris and vandalism.
 E. Seal openings around piping, pipe sleeves and ducts penetrating walls, floors and ceilings; including areas above suspended ceilings, as follows:
 1. Required fire rated penetrations:
 a. Fire-resistant acoustic material, or
 b. Grade "FS 1900" fire stop "Flame Safe" putty, or
 c. 3M "Fire Barrier" Caulk #CP-25, or #CP25WB, or
 d. "Chase Foam" CTC PR-855 fire resistant silicone foam sealant, or
 e. "ProSet" piping penetration systems.
 2. Sound rated and return air zone penetration, that are not a required fire rated assembly:
 a. Fiberglass blanket insulation.
 F. Exterior walls and floors on grade:
 1. Thicoalk or equal waterproofing caulking.
 2. Penetrations such as exterior walls, attics, roofs, etc., separating heated from unheated spaces (to prevent freezing temperatures from infiltrating into pipe spaces):
 a. Rock Wool safing insulation in fire-rated areas.
 b. Fiberglass blanket insulation in non-fire-rated areas.
 G. No piping shall be permitted to be installed in, enter or pass through spaces dedicated for electrical switchboards, panelboards, distribution boards, etc. Dedicated spaces extend from floor to structural ceiling with a width and depth that of the electrical equipment plus the working space in front of same with a width matching the equipment but not less than 30 inches, a depth of 36 inches and a height to at least 75 inches above floor. (Sections 110-16 and 384-4 of NFPA 70.)

3.04 ADJUSTMENTS

- A. Adjust all specialty items, dampers and controls to normal operating position.
 B. Start and operate all mechanical equipment and systems prior to occupancy by Owner.
 C. Lubricate all motors, bearings and similar items, prior to completion of project and before operating equipment.
 D. All motor belt drives shall be checked for proper alignment, belt tension and fan RPM.
 E. All mechanical couplings shall be checked for alignment.

3.05 ACCESSIBILITY

- A. All access panels to valves, dampers, controls and equipment in walls or above unaccessible ceilings, will be furnished by the general contractor.
 B. Provide access to all concealed mechanical equipment or accessories requiring same, not indicated on Architectural Drawings.
 C. Size of panels shall be larger than the devices requiring access, but shall be not less than 6" square for wall panels and not less than 12" square for ceiling panels. Where the openings must allow adequate room for a person to pass through, a 24" X 24" panel shall be provided.
 D. Construction of panels shall comply with the following:
 1. For Masonry, Tile or Wallboard Surfaces - 16 gage steel frame with 1" wide flange, 16 gage steel panels, concealed hinges, screwdriver operated cam lock, baked enamel prime coat. Panel shall be Milcor Style M, or approved equal.
 2. For Acoustical Tile Ceilings - Flangeless construction of even tile module, 16 gage steel frame, 18 gage recessed door panel for receiving acoustic tile, continuous hinge, flush screwdriver operated cam latch, white prime coat finish; Milcor Style A or approved equal. Access panels will not be required in accessible type ceilings.
 3. For Plastered Ceilings or Walls - Concealed flange, recessed door panel to receive plaster by others; 16 gage galvanized steel frame, 18 gage galvanized steel panel, 3,4 gage galvanized steel latch continuous hinges, flush latch, white prime coat finish; Milcor Type B or approved equal.

3.06 CLEAN-UP

- A. Remove all dust, plaster and construction debris from ductwork, piping, fixtures and equipment prior to painting or occupancy by Owner.
 B. Touch-up paint on all mechanical equipment which has rusted or has had finish marred during construction. Replace if satisfactory repair cannot be made.
 C. Pipe system cleansing, sterilizing and other cleaning is specified in appropriate Sections of this Division.

3.07 MAINTENANCE DATA AND OPERATING INSTRUCTIONS

- A. Deliver to the Owner, through the Architect/Engineer maintenance and operating instructions, with replacement parts list for all fixtures and equipment.
 B. Include a complete lubrication schedule for all mechanical equipment, with type of lubricant and frequency recommended.
 C. Instruct and demonstrate to the Owner or his representative, the operation and servicing (normal maintenance) of all equipment and systems provided.

PART 4. ELECTRICAL WORK

- 4.01 Furnish electric motors with mechanical equipment. Motors shall conform to the standard specifications of the IEEE, bearing nameplate of manufacturer, with current and operating characteristics noted thereon.

- A. Motors shall conform to the latest N.E.M.A. Standards.
 B. Motor horsepower voltage and phase is indicated on equipment schedules or under equipment specification.
 C. Motors up to 1/2 H.P., will be standard type.
 D. Motors shall have service factors of not less than 1.15.
 E. Mechanical equipment with motors 3/4 horsepower or larger, (rated greater than 1,000 watts), shall have power factors of at least 90 percent. Motors shall be Baldor Super E or equal, energy efficient Type 1.
 F. Receive, unload, set and align all separately shipped motors; adjust and align drive and adjust belt tension.

- 4.02 Electrical characteristics for motors shall be as follows:

A. Motors 3/4 horsepower and smaller:		
Voltage Rating	Operating Range	Phase
120 Volt	103.5V - 125.6 V	Single

- 4.04 Disconnect switches for mechanical equipment will be furnished by others, except that some mechanical equipment may include a built-in disconnect switch.

- 4.05 Wiring of electric motors and starters furnished in connection with mechanical work, including mounting of starters furnished under Division 15, will be done by electrical contractor.

- 4.06 Interconnecting wiring for boiler controls and/or temperature controls shall be furnished and installed complete under Division 15, Mechanical.

- A. All line voltage wiring shall be installed in EMT conduit.
 B. All low voltage wiring in boiler rooms and mechanical equipment rooms shall be installed in EMT conduit.
 C. Low voltage wiring installed above suspended ceilings may be run "loose" if adequately securely at 4' intervals to insulated piping or structural members. All low voltage cable installed in ceiling plenums shall be "Plenum-Rated" for installation in an air distribution plenum.

- 4.07 Complete wiring diagrams for all mechanical equipment, systems and controls shall be provided under Division 15, Mechanical.

- 4.08 All wiring done in connection with mechanical systems and equipment shall be installed to meet the requirements of Division 16, Electrical.

END SECTION 15000

SECTION 15400 – PLUMBING SYSTEMS

1.01 PIPE AND PIPEFITTINGS

- A. All pipe and pipe fittings shall be new and of materials as scheduled below:
Water distribution piping: Seamless copper tube, Type L, hard temper (ASTM B-88) with wrought solder joint or "Pro Press" pressure fittings (ANSI B16.22).
Sanitary drainage and vent piping: Polyvinyl Chloride (PVC), schedule 40 DWV (ASTM D-2685) with glue joints.
 B. Any other pipe or pipefitting material approved for its respective use by the State of Wisconsin, Department of Health may be used in lieu of the scheduled materials. It shall be the contractor's responsibility to ensure that a substitute material meets all applicable building codes and to re-size or re-design the piping distribution system as required.

1.02 PIPING SUPPORT DEVICES

- A. Pipe hangers shall be rated for the load to be carried. Include all supplemental angles, channels, plates, etc. of adequate size and design, where supports shall be required between building structural members. Water distribution piping may be grouped on trapeze hangers.
 B. No dissimilar support shall come in contact with copper or PEX piping; use rubber isolator between plastic or copper pipe and pipe clamp.
 C. Horizontal steel pipe shall be supported as below:
 D. Horizontal lines of copper tubing and PEX shall be supported as below:

<u>Nom. Tubing Size</u>	<u>Rod Diameter</u>	<u>Maximum Spacing</u>
Up to 1-1/4 inch	3/8 inch	5 feet

 E. Horizontal PVC piping (polyvinyl chloride) shall be supported on plastic supports and hangers or on steel padded split ring or clevis hangers as follows:

	Maximum Spacing (feet)
<u>Pipe Size</u>	<u>SCH_40</u>
1/2 thru 1-1/4	3
1-1/2 thru 2	3
3 and over	4

 F. Vertical sections of PVC piping shall be secured and supported at sufficiently close intervals to keep the system in alignment and to adequately support the weight of the pipe and its contents.

1.03 VALVES

- A. All valves shall be new and of type and materials as scheduled below:
Isolation and service valves Two-piece bronze body ball valve, full port, rated for 600 PSI WOG, NIBCO model S-585-70 or equal. (Gate valves will not be allowed.)
Swing-type check valve: NIBCO Model T-413 (or S-413), bronze body, removable check assembly, 200 PSI W.O.G.
Ring-type check valve: NIBCO Model T-480 (or S-480), bronze body, two-piece body with spring actuated TFE seat, 250 PSI W.O.G.
 B. Use ball valves for isolating branches or equipment. Install valves as indicated, full size of piping. Install valves in piping to isolate all equipment. All valves shall be accessible.

1.04 PIPE INSULATION

- A. All hot and cold water mains shall be insulated with ARMACELL AP/Armaflex flexible elastomeric insulation. Fittings shall be fabricated with mitered and glued fittings. (Underground cold water piping is not required to be insulated.) Insulation shall be continuous into wall cavities to final fixture stop valve.
 B. Insulation thickness shall be as follows:
 Cold water piping - 3/4" (except 1/2" on 1/2" piping)
 Hot water piping - 1" (except 1/2" on 1/2" piping)
 Rain leader piping - 1 1/2"
 D. Insulation shall meet surface burning characteristics as follows:
 Flame Spread less than 25
 Smoke Developed less than 50

1.05 WATER DISTRIBUTION PIPING SYSTEM

- A. Flushing: Upon completion of the water distribution system, test all valves to insure their full opening and flush out the system progressively by opening building outlets and permitting the flow to continue from each until the water runs clear.
 B. At completion of all piping, fill system with sanitizing solution per Wisconsin Department of Commerce requirements and circulate for a minimum of 24 hours. Rinse thoroughly after sanitizing solution with clean water. Certify system has been cleaned and submit certificate to Owner. Obtain water test for coliform bacteria from an independent testing laboratory and submit test report to Owner.

1.07 DRAINS AND CLEANOUTS

- A. CLEANOUTS: Cleanouts shall be as follows:
 Floor: Use PVC glue-on cleanout fitting with threaded plug and polished metal ring and cover. Plug shall be brass. Metal ring shall be flush with finished floor material.
 B. Floor drains are scheduled on the Drawings.

1.08 PLUMBING FITTINGS AND SPECIALTIES

- A. In general, fittings and specialties are scheduled on the Drawings.

1.09 PLUMBING FIXTURES AND ACCESSORIES

- A. Refer to Schedule on Drawings.

FIXTURE WATER AND SANITARY TOTAL LOADS

	WATER		SANITARY
WC-1	9 X 6.5	= 58.5	9 X 6.0 = 54
WC-2	3 X 6.5	= 19.5	3 X 6.0 = 18
UR-1	2 X 2.0	= 4	2 X 2.0 = 4
UR-2	2 X 2.0	= 4	2 X 2.0 = 4
WF-1	1 X 3.0	= 3	1 X 3.0 = 3
WF-2	2 X 2.0	= 4	2 X 2.0 = 4
L-1	1 X 1.0	= 1	1 X 1.0 = 1
SS-1	2 X 2.0	= 4	2 X 3.0 = 6
EWC-1	1 X 2.0	= 2	1 X 2.0 = 2
HB-1	2 X 4.0	= 8	
FD-1	6 X 3.0	= 18	
FD-2	1 X 3.0	= 3	
TOTAL		= 125 SFU	= 97 DFU

WHOLE BUILDING WATER CALCULATION WORKSHEET

Information Needed for Water Service Sizing.

- 75 Demand of building in gallons per minute.
 - 80 Low pressure at main in street (or at external pressure tank).
 - 6' Difference in elevation from main to meter (or external pressure tank to building control valve).
 - 1.5" Size of water meter (if applicable).
 - 100' Developed length from main to meter (or external pressure tank to building control valve).
- You Must First Find the Available Pressure After the Water Meter (or at building control valve). To obtain this pressure, you must:
- 19 Find pressure loss due to friction in 1.5 inch diameter water service.
 - 174 Find pressure loss due to elevation, main to meter (or external pressure tank to building control valve). Multiply the difference in elevation by .434 psi/Ft.
 - 11 Find pressure loss due to meter. (from manufacturer or AWWA).
 - 483 Subtract the loss due to friction (Step 6), loss due to elevation (Step 7), and loss due to meter (Step 8), from the low main pressure (or low pressure at external pressure tank)(Step 2). This calculation is the available pressure after the water meter (or at the building control valve). This answer is entered in Line B. below.

Information Needed for Water Distribution Sizing

Using the following formula, find the pressure available for uniform loss (psi/100' of pipe).

$$A = \frac{B - (C + D) \times E}{F}$$

WHERE:

$$A = \frac{31.56}{4.34} = 7.27 \text{ Pressure available for uniform loss (psi/100' of pipe).}$$

$$B = 48.3 \text{ Available pressure after water meter (at the building control valve or internal pressure tank) and Tank. (See Step 9, above).}$$

$$C = 15 \text{ Pressure needed at controlling fixture.}$$

$$D = 1.74 \text{ Difference in elevation between water meter (building control valve or internal pressure tank) and controlling fixture in feet } \underline{4} \times .434 \text{ psi/ft.}$$

$$E = \frac{0}{44} \text{ Pressure loss due to water softeners, water treatment devices, instantaneous water heaters, and backflow preventers which serve the controlling fixture. Conventional water heaters usually do not have a pressure loss.}$$

$$F = \frac{66}{4.34} \text{ Developed length from water meter (building control valve or internal pressure tank) to controlling fixture in feet } \underline{44} \times 1.5$$

With pressure available for uniform loss, go to applicable table for distribution sizing.

HVAC & Plumbing Designer
ALP DESIGN
 812 JANICE COURT
 LA CROSSE, WISCONSIN
 TELEPHONE : 608-790-2852
 E-MAIL : arnie-alpdesign@charter.net



MIDWEST
 Design & Development, LLC
 N5560 CTH ZM, Suite 3 Onalaska, WI 54650
 PH: 608-785-2760

PLUMBING SPECIFICATIONS AND WATER PIPING CALCS

RIVERSIDE SOUTH TOILET ROOMS

LaCrosse, WI

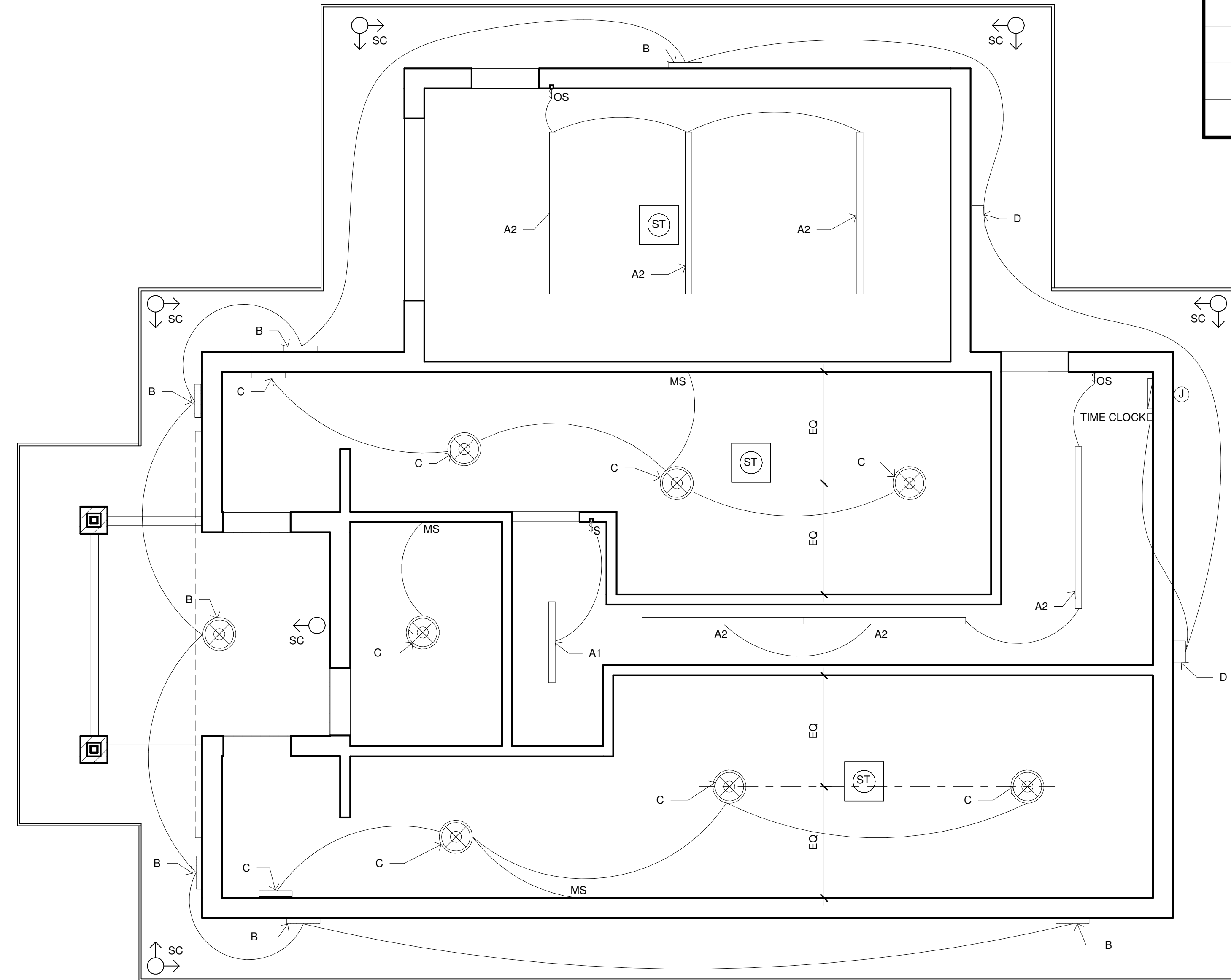
1 6-14-22 PERMIT SET

No.	Date	Description

Project Number
 Date
 Drawn By
 Checked By

P-5

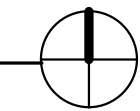
Scale



ELECTRICAL FIXTURE SCHEDULE		
A1		4' - LED STRIP SURFACE MOUNT-WALL
A2		8' - LED STRIP SURFACE MOUNT - WALL/ CEILING
B		LED H.O. DOME FIXTURE
C		LED DOME FIXTURE
D		WALL PACK
ST		14" SOLAR TUBE
SC		SECURITY CAMERA

THESE DRAWINGS ARE SCHEMATIC ONLY.
 ELECTRICAL CONTRACTOR IS RESPONSIBLE
 FOR PERMIT AND CONSTRUCTION DRAWINGS.

1 SCHEMATIC LIGHTING PLAN
 1/4" = 1'-0"



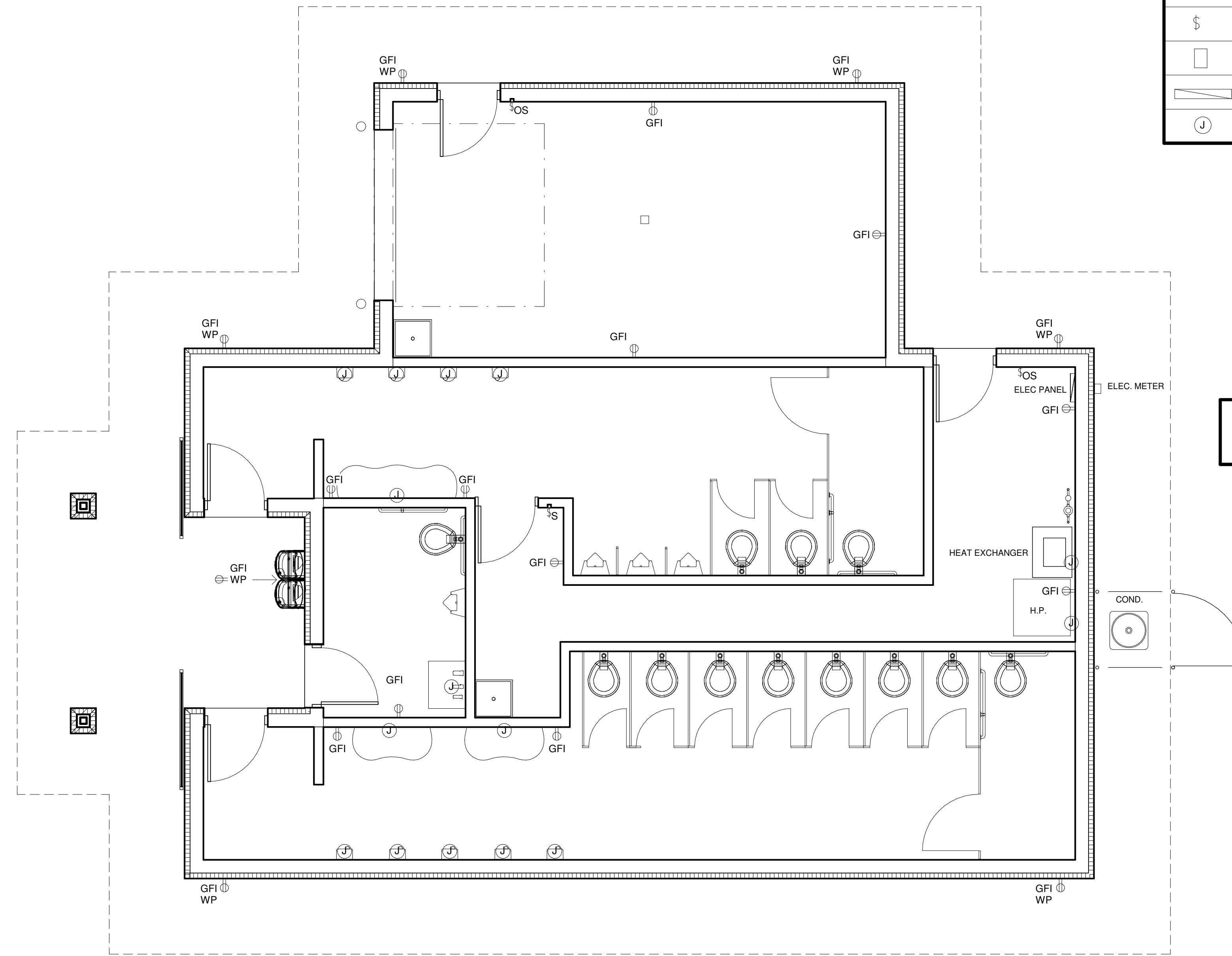
No.	Date	Description

SCHEMATIC
 LIGHTING PLAN

Project Number
 Date 07/22/22
 Drawn By TRB
 Checked By CHK

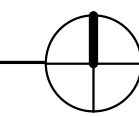
SE-1
 Scale 1/4" = 1'-0"

ELECTRICAL DEVICE SCHEDULE	
	DUPLEX RECEPTACLE
	GROUND FAULT INTERCEPTOR RECEPTACLE
	GROUND FAULT INTERCEPTOR RECEPTACLE WEATHER-PROOF
	OCCUPANCY SENSOR
	SWITCH
	ELECTRICAL METER
	200 AMP PANEL
	J-BOX



THESE DRAWINGS ARE SCHEMATIC ONLY.
 ELECTRICAL CONTRACTOR IS RESPONSIBLE
 FOR PERMIT AND CONSTRUCTION DRAWINGS.

1 SCHEMATIC POWER PLAN
 1/4" = 1'-0"

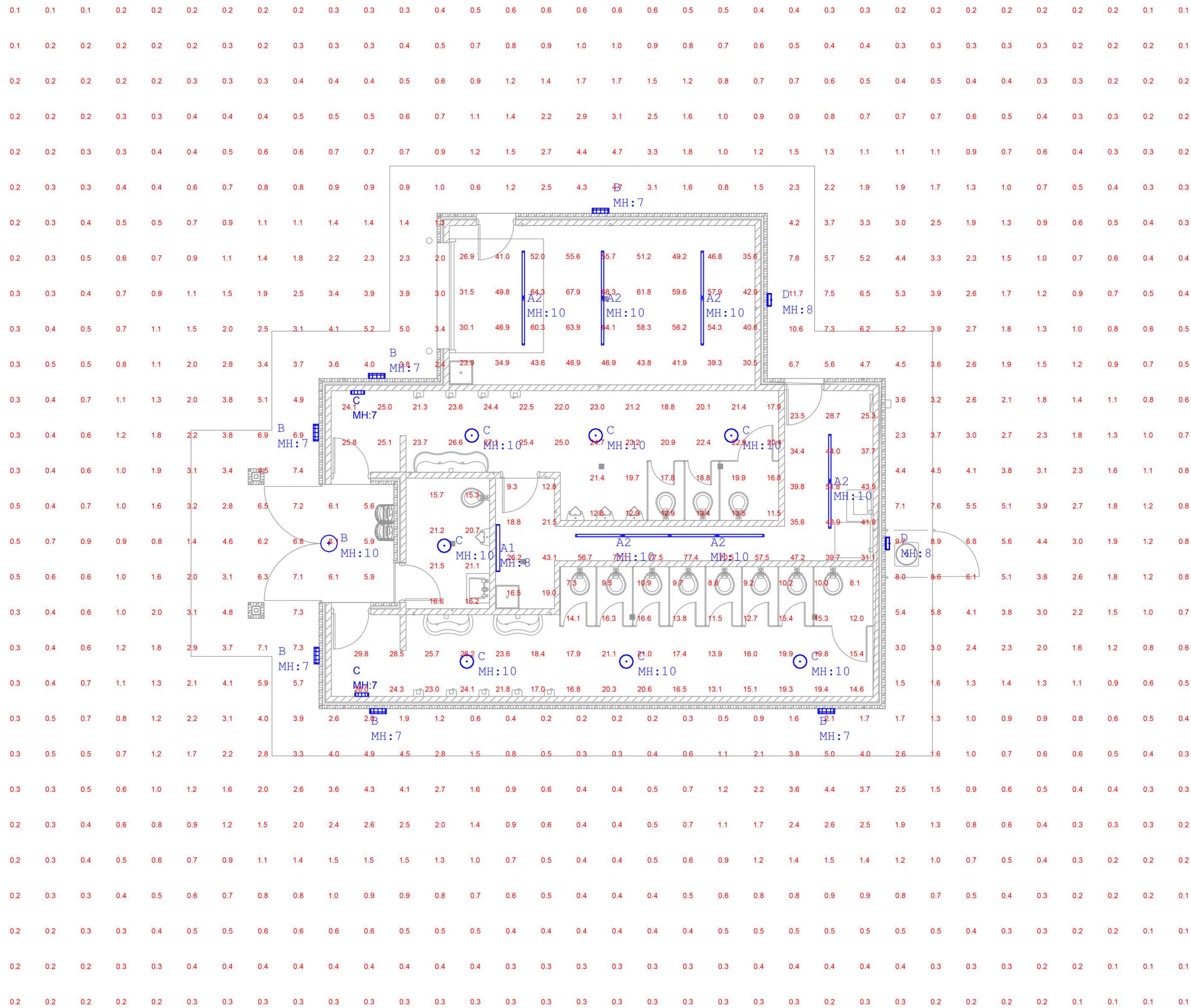


No.	Date	Description

SCHEMATIC POWER PLAN

Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK

SE-2
 Scale 1/4" = 1'-0"



Luminaire Schedule						
QTY	TYPE	MFR	PART NUMBER	LLF	Lum. Watts	Total Watts
1	A1	Lithonia	CSS L48 ALO3 MVOLT SWW3 80CRI @ 4000LM	0.900	36	36
6	A2	Lithonia	CSS L96 ALO4 MVOLT SWW3 80CRI @ 8000LM	0.900	72	432
7	B	Luminaire	ARV17 (trim) (drivers) 25W xxK MVOLT CLP (finish)	0.900	25.7	179.9
9	C	Luminaire	ARV17 (trim) (drivers) 40W xxK MVOLT CLP (finish)	0.900	42.9	386.1
2	D	Lithonia	TWX2 LED ALO xxK MVOLT PE (finish)	0.950	22	44

Calculation Summary						
AREA	AVG	MAX	MIN	AVG/MIN	MAX/MIN	
100 Womens_Workplane	17.04	29.8	7.3	2.33	4.08	
101 Family_Workplane	18.54	21.5	15.3	1.21	1.41	
102 Mens_Workplane	20.79	27.1	11.5	1.81	2.36	
103 Mech_Workplane	39.70	77.5	9.3	4.27	8.33	
104 Garage_Workplane	48.46	68.3	23.9	2.03	2.86	
Exterior_At Grade	1.43	11.7	0.1	14.30	117.00	

1 LIGHTING CALCULATIONS
3/16" = 1'-0"

No.	Date	Description

PHOTOMETRICS

Project Number	
Date	07/22/22
Drawn By	TRB
Checked By	CHK

SE-3
Scale 3/16" = 1'-0"



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0980

Agenda Date: 7/28/2022

Version: 1

Status: Agenda Ready

In Control: Heritage Preservation Commission

File Type: Review of Plans

Agenda Number: 3.

HERITAGE PRESERVATION COMMISSION REPORT
Certificate of Appropriateness- Downtown Commercial Historic District.
Section 115-320(d)(2)

TO: Heritage Preservation Commission
FROM: Planning Staff
MEETING DATE: July 28, 2022

PROPOSAL: The applicant is proposing to attach a 7ft x 3.33ft sign to the existing canvas awning on the exterior façade of the property located at 321 Main Street.

PROPERTY OWNER:
Batavian Building LLC
N5578 Frontage Rd
Onalaska, WI 54650

APPLICANT:
La Crosse Sign Group
Aaron Foster

BACKGROUND: The Downtown Commercial Historic District was established by Ordinance in April 2016 along with design standards that are specific to the styles of architecture found within. The local district designation of the Downtown Commercial Historic District was created to encourage preservation of the historic resources of the district, which was named to the National Register of Historic Places in 1994. The design standards and review procedures are used to guide preservation, rehabilitation, new construction, relocation and demolitions. Plans or requests must be approved by the Heritage Preservation Commission prior to any building/demolition permit being issued. In determining whether to issue a Certificate of Appropriateness for Demolition, the HPC shall:

1. Consider factors such as whether the structure is of historical significance, the state of repair of the building, and whether denial of a permit would create a significant economic hardship for the owner.
2. Issue the certificate only if the owner can demonstrate that the building is structurally unsound and/or that denial of a demolition permit would create a significant economic hardship for the owner.

PROJECT DESCRIPTION: The applicant is proposing to install a non-lit, 7ft x 3.33ft sign to the face of the existing awning that faces Main Street. The sign will be attached to the awning with screws through the fabric directly to the awning framework. The sign will be aluminum with a vinyl sign face. The sign is for the existing business which is River City Galleries.



SEE ATTACHED PLANS FOR MORE INFORMATION

ANALYSIS:

Design standards for signs are:

Signs . In historic commercial buildings, signs were typically mounted above storefronts flush with the façade, or projected perpendicularly from the façade. Signs were also placed in windows and appeared on awnings. All of these sign types are appropriate if designed with suitable materials and dimensions. Signs shall be placed where they would have historically been placed, and shall not cover significant architectural features or ornamentation.

- a. Sign installation shall be reversible - that is, it should leave no trace on the building after the sign is removed.
- b. Sign colors shall be compatible with those of the building; a limited palette of no more than four colors should be used.
- c. Traditional materials (wood and metal) are appropriate, while plastic is not. Neon signs may be used with the approval of the HPC. Other composite material may be approved by the Heritage Preservation Commission.
- d. Modern back-lit fluorescent signs, animated signs, awnings, or electronic billboards and signs with changeable letters are prohibited.
- e. Small free-standing or wall-mounted signs may be used to identify rear entrances or parking areas.
- f. Wayfinding, directional, or upcoming event signs that maintain the historic character of the Downtown may be approved by the Heritage Preservation Commission.
- g. All proposed signs must receive a sign permit from the Fire Department - Division of Fire Protection and Building Safety in accordance with [section 111-36](#) of the Municipal Code

The proposed sign is proposed to be installed without physically impairing any significant architectural features. It will not visually impair any portion of the storefront. It is an aluminum sign face with a composite material for the sign face. It will not be lit in any way.

FINDING: The proposed sign is in conformance with the Downtown Historic District Design Standards.

RECOMMENDED ACTION BY STAFF: This Certificate of Appropriateness is recommended for approval with the condition that it is approved by the Community Risk Management Department.

ACM Panel with Printed Vinyl Graphics



Approved by: _____ Date: _____ Landlord: _____ Date: _____

*Colors on sketch are only a representation, actual color of finished product may differ from this sketch.
 *To make the best use of standard sized materials and control costs the size of the finished product may vary slightly.

This artwork is copyright La Crosse Sign Group and may not otherwise be used without permission. It is the property of La Crosse Sign Group and must be returned to them upon request.

lacrossesign.com



1450 Oak Forest Drive • Onalaska, WI 54650 • 608-781-1450
 2242 Mustang Way • Madison, WI 53718 • 608-222-5353
 2502 Melby Street • Eau Claire, WI 54703 • 715-835-6189

DESIGN	SALES	FILE
Drawing by: Chris Clark	Job Name: River City Gallery	Version Number:
Sign Type: ACM Panel	Job Address: 321 Main St.	Job File Location:
Date Created: 6-3-2022	La Crosse, WI 54601	S:\R\River City Gallery\La Crosse\
Last Modified:	Consultant: Jeff Brezinka	117278 Awning Sign\Design
Scale: 3/16"=1'	Job Number: 117278	

COLOR KEY

- ① Digital Print
- ② White
- ③
- ④
- ⑤



La Crosse Fire Department

Division of Community Risk Management

inspection@cityoflacrosse.org (P) 608.789.7530 (F) 608.789.7589

<http://www.cityoflacrosse.org/your-government/departments/fire-department>



Revision 5/27/2021

SIGNS

When do I obtain a sign permit?

A Sign permit is required for signs placed on awnings, canopies and walls. Also, a sign permit is required for ground, projecting and suspended signs.

Data Requirements:

- Completed and signed Application for Building Permit.
- 2 colored pictures of the sign (indicating size of sign)
- For ground signs a site plan showing the location of the sign and structural calculations for footings for signs over 15' in height.
- For wall signs, size of wall, location of sign and information on where the sign faces (road or parking).
- For awning and canopy signs, indicate size of awning or canopy, and their location on the building.
- For suspended and projecting signs, height above the sidewalk (if applicable) and location on building.

How long does it take to get my permit?

Permits are reviewed on a first come, first serve basis. Inspectors are allowed 10 business days to complete. They may take longer depending on circumstances. For an additional cost you can EXPEDITE your application, moving it to the forefront.

How much does a permit cost?

Building Permit Fees can be found on the City website at this link: <https://www.cityoflacrosse.org/fire/fees/buildings>.

What do I do with the card I received with the building permit?

The yellow permit card should go in a window or where it can be seen from the street.

When must I call for building inspections?

Inspections are required:

- After excavation, before placing concrete.
- When the project is complete.

Frequently encountered issues:

Following is a list of frequent problems or errors we encounter:

- Excavation full of water/mud
- Excavation not to a minimum 48" depth
- Foundation backfilled before inspection
- Permit holder forgets to call us for required inspection, especially the required final inspection

The property owner is responsible for correct placement of structures upon a parcel of land to comply with the building and zoning law. The back edge of the City sidewalk is usually located on a property line.

Be sure to call Digger's Hotline prior to digging. The number is 1-800-242-8511.



La Crosse Fire Department

Division of Community Risk Management

inspection@cityoflacrosse.org (P) 608.789.7530 (F) 608.789.7589
http://www.cityoflacrosse.org/your-government/departments/fire-department



Revision 5/27/2021

APPLICATION FOR *BUILDING* PERMIT

Application Number _____ Date _____ Parcel Number: _____

OWNER INFORMATION

Name:			
Address of Above: Street		City	State Zip Code
Phone:	Cell:	Fax:	Email:

CONTRACTOR INFORMATION

Name:			
Address of Above: Street		City	State Zip Code
Phone:	Cell:	Fax:	Email:

PROJECT INFORMATION

Project Address:		
Construction Cost: \$	Description of Work: <small>If Demolition include intended use of land after demolition</small>	
Project Type: <input type="checkbox"/> Building <input type="checkbox"/> Addition <input type="checkbox"/> Sign <input type="checkbox"/> Alteration/Remodel <input type="checkbox"/> Demolition		
Architect/Engineer Name:	Architect/Engineer Phone:	Level of Alteration (per IEBC):

PROPERTY INFORMATION

Zoning:	Nbr. Dwling Units:	Flood Plain: <input type="checkbox"/> Yes <input type="checkbox"/> No	Fire Limits: <input type="checkbox"/> Yes <input type="checkbox"/> No	Archaeological District: <input type="checkbox"/> Yes <input type="checkbox"/> No
Building Construction Type:		Occupancy Type:		

FEE INFORMATION

Copies: \$	Plan Review: \$	Permit: \$	Record Mtce: \$	Other: \$	Total: \$
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IT IS HEREBY AGREED between the applicant, as owner, owner's agent or servant, and the City of La Crosse that for and in consideration for the premises and of the permit to construct, erect, alter, move, raze, or install and the occupancy of a building or property as above described, to be issued and granted by Fire Prevention and Building Safety of the City of La Crosse, that the work thereon will be done in accordance with the descriptions set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter, move, raze or install and occupy in strict compliance with the ordinances of the City of La Crosse, and to obey any and all lawful orders of Fire Prevention and Building Safety of the City of La Crosse and State of Wisconsin laws relating to the construction, alteration, repairs, removal and safety buildings and other structures and permanent building equipment.

Agent/Contractor: (Print) *[Signature]* (Sign) _____ (Date) (WI Cred/Qual)

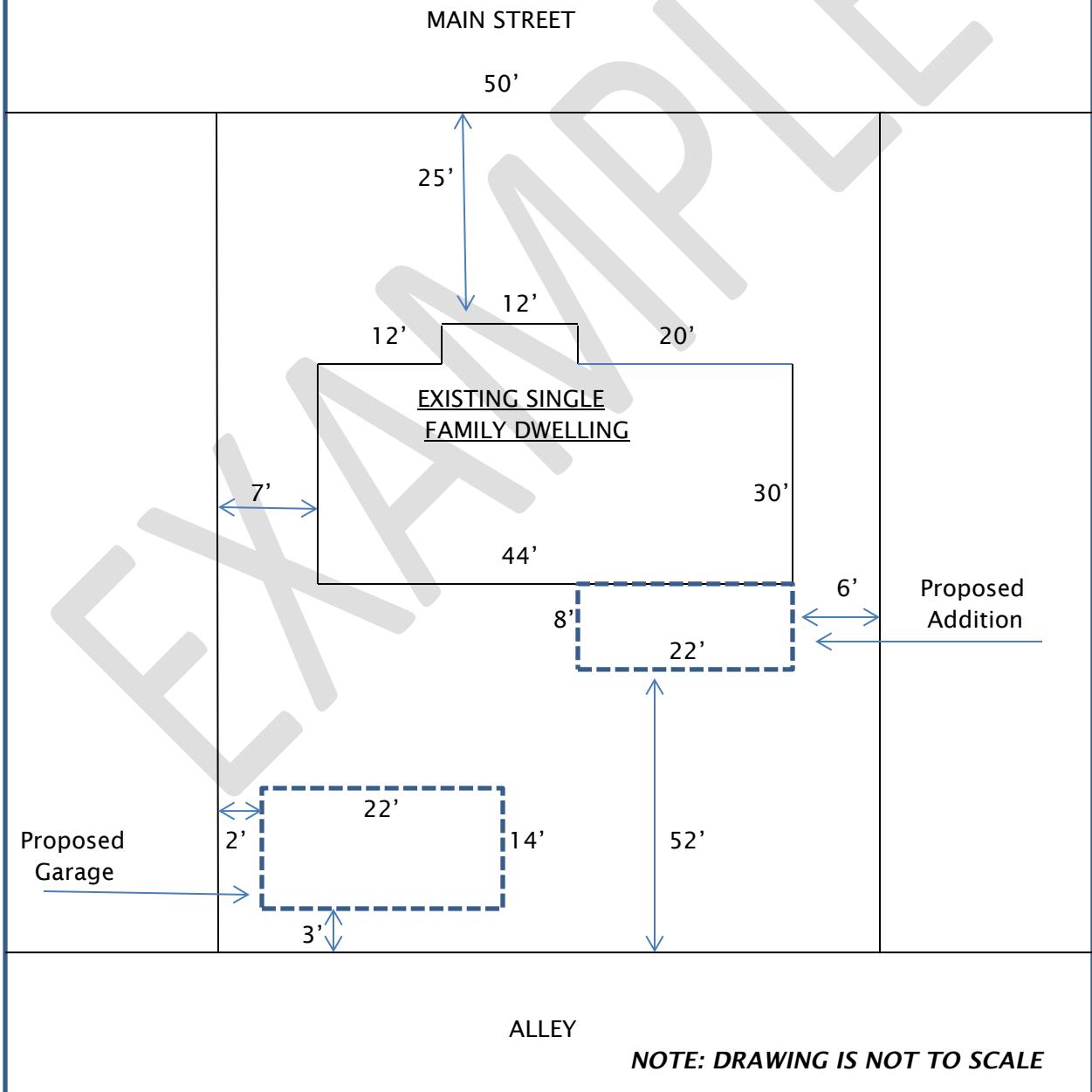
Owner: (Print) _____ (Sign) _____ (Date)

OFFICE USE ONLY

Application Approved:	Inspector:	Date:
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EXAMPLE PLOT PLAN
COMMUNITY RISK MANAGEMENT
CITY OF LA CROSSE
www.cityoflacrosse.org

This sample plot plan has been designed to assist you in preparing a similar plot plan of your own premises, when necessary to obtain a building permit, or when required by the Board of Zoning and Appeals, Board of Housing Appeals, or Board of Building Appeals. Plot plans for larger buildings shall go into more detail.





City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0981

Agenda Date: 7/28/2022

Version: 1

Status: Agenda Ready

In Control: Heritage Preservation Commission

File Type: Review of Plans

Agenda Number: 4.

HERITAGE PRESERVATION COMMISSION REPORT
Certificate of Appropriateness- Downtown Commercial Historic District.
Section 115-320(d)(2)

TO: Heritage Preservation Commission
FROM: Planning Staff
MEETING DATE: July 28, 2022

PROPOSAL: The applicant is proposing to replace the wall sign on the Main Street façade of the property located at 308 Main Street.

PROPERTY OWNER:
AIRAM Group LLC
2102 31st St S
La Crosse, WI 54601

APPLICANT:
La Crosse Sign Group
Aaron Foster

BACKGROUND: The Downtown Commercial Historic District was established by Ordinance in April 2016 along with design standards that are specific to the styles of architecture found within. The local district designation of the Downtown Commercial Historic District was created to encourage preservation of the historic resources of the district, which was named to the National Register of Historic Places in 1994. The design standards and review procedures are used to guide preservation, rehabilitation, new construction, relocation and demolitions. Plans or requests must be approved by the Heritage Preservation Commission prior to any building/demolition permit being issued. In determining whether to issue a Certificate of Appropriateness for Demolition, the HPC shall:

1. Consider factors such as whether the structure is of historical significance, the state of repair of the building, and whether denial of a permit would create a significant economic hardship for the owner.
2. Issue the certificate only if the owner can demonstrate that the building is structurally unsound and/or that denial of a demolition permit would create a significant economic hardship for the owner.

PROJECT DESCRIPTION: The applicant is proposing to remove the existing sign art (coffee grinders) and lettering and install a wall sign constructed out of black aluminum panels with painted acrylic letters. The panels sign will span the length of the building and be mounted to the existing plywood backing that is located between the storefront and second story windows which is 44 inches in height.

SEE ATTACHED PLANS FOR MORE INFORMATION

Existing Sign



Proposed Sign



ANALYSIS:

Design standards for signs are:

Signs . In historic commercial buildings, signs were typically mounted above storefronts flush with the façade, or projected perpendicularly from the façade. Signs were also placed in windows and appeared on awnings. All of these sign types are appropriate if designed with suitable materials and dimensions. Signs shall be placed where they would have historically been placed, and shall not cover significant architectural features or ornamentation.

- a. Sign installation shall be reversible - that is, it should leave no trace on the building after the sign is removed.
- b. Sign colors shall be compatible with those of the building; a limited palette of no more than four colors should be used.
- c. Traditional materials (wood and metal) are appropriate, while plastic is not. Neon signs may be used with the approval of the HPC. Other composite material may be approved by the Heritage Preservation Commission.
- d. Modern back-lit fluorescent signs, animated signs, awnings, or electronic billboards and signs with changeable letters are prohibited.
- e. Small free-standing or wall-mounted signs may be used to identify rear entrances or parking areas.

- f. Wayfinding, directional, or upcoming event signs that maintain the historic character of the Downtown may be approved by the Heritage Preservation Commission.
- g. All proposed signs must receive a sign permit from the Fire Department - Division of Fire Protection and Building Safety in accordance with [section 111-36](#) of the Municipal Code

The proposed sign is proposed to be installed to an existing wood backing that will not physically impairing any significant architectural features nor visually impair any portion of the storefront. It is constructed of aluminum and acrylic which is a composite material. The sign is non-illuminated, it will be lit at night from existing light fixtures.

FINDING: The proposed sign is in conformance with the Downtown Historic District Design Standards.

RECOMMENDED ACTION BY STAFF: This Certificate of Appropriateness is recommended for approval with the condition that it is approved by the Community Risk Management Department.



Approved by: _____ Date: _____ Landlord: _____ Date: _____

lacrossesign.com



**La Crosse
Sign Group**

1450 Oak Forest Drive • Onalaska, WI 54650 • 608-781-1450
2242 Mustang Way • Madison, WI 53718 • 608-222-5353
2502 Melby Street • Eau Claire, WI 54703 • 715-835-6189

DESIGN

Drawing by: Chris Clark
Sign Type: Channel Letters
Date Created: 2-19-2021
Last Modified:
Scale: 3/16"=1'

SALES

Job Name: Grounded
Job Address: 308 Main St.
La Crosse, WI 54601
Consultant: Kyle S.
Job Number: 111938

FILE

Version Number:
Job File Location:
S:\G\Grounded Patio Cafe\
111938 Wall Sign Rebrand\
Design

COLOR KEY

- 1 ■ Burgandy
- 2 ■ Black
- 3 ■ White

*COLORS ON SKETCH ARE ONLY A REPRESENTATION. ACTUAL COLOR OF FINISHED PRODUCT MAY DIFFER.



La Crosse Fire Department

Division of Community Risk Management

inspection@cityoflacrosse.org (P) 608.789.7530 (F) 608.789.7589

<http://www.cityoflacrosse.org/your-government/departments/fire-department>



Revision 5/27/2021

SIGNS

When do I obtain a sign permit?

A Sign permit is required for signs placed on awnings, canopies and walls. Also, a sign permit is required for ground, projecting and suspended signs.

Data Requirements:

- Completed and signed Application for Building Permit.
- 2 colored pictures of the sign (indicating size of sign)
- For ground signs a site plan showing the location of the sign and structural calculations for footings for signs over 15' in height.
- For wall signs, size of wall, location of sign and information on where the sign faces (road or parking).
- For awning and canopy signs, indicate size of awning or canopy, and their location on the building.
- For suspended and projecting signs, height above the sidewalk (if applicable) and location on building.

How long does it take to get my permit?

Permits are reviewed on a first come, first serve basis. Inspectors are allowed 10 business days to complete. They may take longer depending on circumstances. For an additional cost you can EXPEDITE your application, moving it to the forefront.

How much does a permit cost?

Building Permit Fees can be found on the City website at this link: <https://www.cityoflacrosse.org/fire/fees/buildings>.

What do I do with the card I received with the building permit?

The yellow permit card should go in a window or where it can be seen from the street.

When must I call for building inspections?

Inspections are required:

- After excavation, before placing concrete.
- When the project is complete.

Frequently encountered issues:

Following is a list of frequent problems or errors we encounter:

- Excavation full of water/mud
- Excavation not to a minimum 48" depth
- Foundation backfilled before inspection
- Permit holder forgets to call us for required inspection, especially the required final inspection

The property owner is responsible for correct placement of structures upon a parcel of land to comply with the building and zoning law. The back edge of the City sidewalk is usually located on a property line.

Be sure to call Digger's Hotline prior to digging. The number is 1-800-242-8511.



La Crosse Fire Department

Division of Community Risk Management

inspection@cityoflacrosse.org (P) 608.789.7530 (F) 608.789.7589
http://www.cityoflacrosse.org/your-government/departments/fire-department



Revision 5/27/2021

APPLICATION FOR *BUILDING* PERMIT

Application Number _____ Date _____ Parcel Number: _____

OWNER INFORMATION					
Name:					
Address of Above: Street		City		State	Zip Code
Phone:	Cell:	Fax:	Email:		
CONTRACTOR INFORMATION					
Name:					
Address of Above: Street		City		State	Zip Code
Phone:	Cell:	Fax:	Email:		
PROJECT INFORMATION					
Project Address:					
Construction Cost: \$		Description of Work: <small>If Demolition include intended use of land after demolition</small>			
Project Type: <input type="checkbox"/> Building <input type="checkbox"/> Addition <input type="checkbox"/> Sign <input type="checkbox"/> Alteration/Remodel <input type="checkbox"/> Demolition					
Architect/Engineer Name:		Architect/Engineer Phone:		Level of Alteration (per IEBC):	
PROPERTY INFORMATION					
Zoning:	Nbr. Dwling Units:	Flood Plain: <input type="checkbox"/> Yes <input type="checkbox"/> No	Fire Limits: <input type="checkbox"/> Yes <input type="checkbox"/> No	Archaeological District: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Building Construction Type:			Occupancy Type:		
FEE INFORMATION					
Copies: \$	Plan Review: \$	Permit: \$	Record Mtce: \$	Other: \$	Total: \$

IT IS HEREBY AGREED between the applicant, as owner, owner's agent or servant, and the City of La Crosse that for and in consideration for the premises and of the permit to construct, erect, alter, move, raze, or install and the occupancy of a building or property as above described, to be issued and granted by Fire Prevention and Building Safety of the City of La Crosse, that the work thereon will be done in accordance with the descriptions set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter, move, raze or install and occupy in strict compliance with the ordinances of the City of La Crosse, and to obey any and all lawful orders of Fire Prevention and Building Safety of the City of La Crosse and State of Wisconsin laws relating to the construction, alteration, repairs, removal and safety buildings and other structures and permanent building equipment.

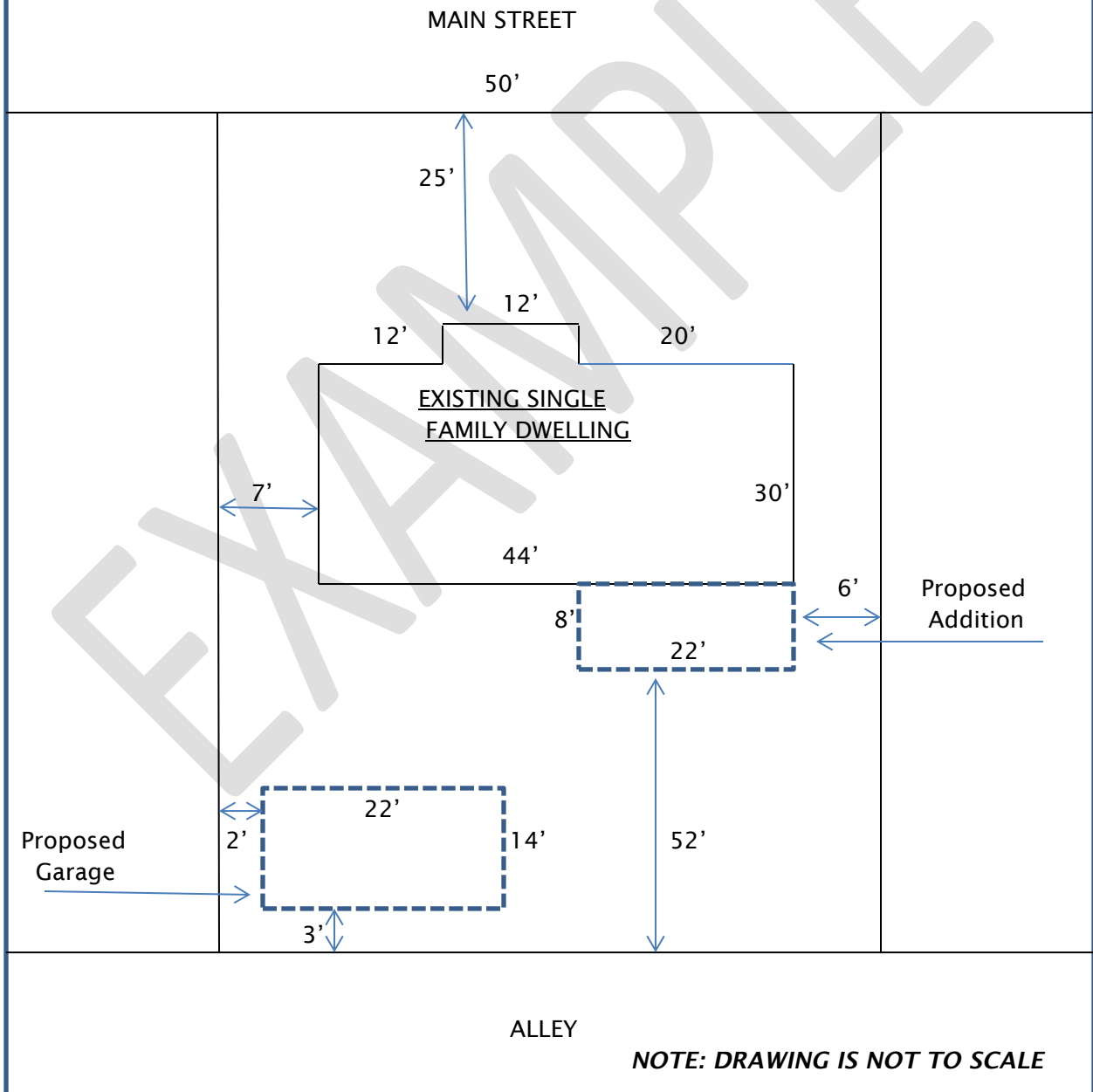
Agent/Contractor: (Print) *[Signature]* (Sign) _____ (Date) (WI Cred/Qual)

Owner: (Print) _____ (Sign) _____ (Date)

OFFICE USE ONLY		
Application Approved:	Inspector:	Date:

EXAMPLE PLOT PLAN
COMMUNITY RISK MANAGEMENT
CITY OF LA CROSSE
www.cityoflacrosse.org

This sample plot plan has been designed to assist you in preparing a similar plot plan of your own premises, when necessary to obtain a building permit, or when required by the Board of Zoning and Appeals, Board of Housing Appeals, or Board of Building Appeals. Plot plans for larger buildings shall go into more detail.





City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0982

Agenda Date: 7/28/2022

Version: 1

Status: Agenda Ready

In Control: Heritage Preservation Commission

File Type: General Item

Agenda Number: 5.



CITY OF LA CROSSE HERITAGE PRESERVATION COMMISSION

Historic Landmark Nomination Form

1. What is the historic name of the Landmark or Landmark District?

2. What is the current name of the Landmark or Landmark District?(If applicable)

3. Property Address: _____

4. OWNERSHIP

- a. Owner(s): _____
- b. Street: _____
- c. City, State, Zip Code: _____ Phone: (____)____ - _____
- d. Email: _____ Parcel ID#: _____

5. NOMINATED BY (If different):

- a. Name: _____
- b. Street: _____
- c. City, State, Zip Code: _____ Phone: (____)____ - _____
- d. Email: _____

6. CLASSIFICATION AND USE (Check all that apply):

Proposed Designation (choose one)

- Landmark District
- Landmark

If it is a Landmark, choose a category (definitions can be found on the instructions page)

- Historic Structure
- Historic Site
- Historic Object

Present Use

- Agriculture
- Industrial
- Religious
- Commercial
- Military
- Scientific
- Educational
- Museum
- Transportation
- Entertainment
- Park
- Government
- Private Residence(s)
- Other _____

Condition:

- | | |
|------------------------------------|---------------------------------------|
| <input type="checkbox"/> Excellent | <input type="checkbox"/> Deteriorated |
| <input type="checkbox"/> Good | <input type="checkbox"/> Ruins |
| <input type="checkbox"/> Fair | <input type="checkbox"/> Other |

Has the property been nominated previously? Yes No

When? _____

What was the outcome? _____

Is the proposed Landmark or District on the National Register? Yes No

When? _____

7. SIGNIFICANCE:

Section 20.90 of the *Municipal Code of Ordinances* lists 4 criteria that a district, site, structure or object may be designated under.

Please check one or more of the listed criteria that apply to this Property:

- Associated with events or person(s) who have made a significant contribution to the history, heritage, or culture of the City of La Crosse, the County of La Crosse, the State of Wisconsin, or the United States.
- It embodies the distinguishing characteristics of an architectural type or specimen, inherently valuable for a study of a period, style or method of construction or of indigenous material or craftsmanship.
- It is representative of the notable work of a master builder, designer or architect whose individual work is significant in the development of the City of La Crosse, the County of La Crosse, the State of Wisconsin, or the United States.
- It exemplifies or reflects the broad cultural, political, economic or social history of the nation, state, or community.

8. HISTORIC OVERVIEW/ANALYSIS (See attached instructions for analysis outline):

Please attach the analysis as a separate document containing the following sections:

A. Existing Physical Description

- a. Write a physical description of the nominated property or district in its current state.
- b. If it has been altered over time, indicate the date(s) and nature of the alterations.
- c. Include additional information as applicable.

B. Narrative History

- a. Provide a complete narrative history of the district, structure, site, or object.
- b. If known, include the year it was built, the architecture style, and the name of the architect or builder.
- c. Include references to source material that are listed in the bibliography.

C. Additional Information

- a. Include any additional information that helps support the claim of criteria (Section 7) made in this document; or is otherwise deemed useful for the purposes of evaluation.

D. Bibliography

- a. Include a list of all sources consulted.
- b. Include copies of relevant source materials with the nomination form.

9. PHOTOGRAPHS:

Include photos, as applicable, of the nominated district, structure, site, or object as follows:

A. Current photographs

- a. Exterior photographs are required.
- b. Interior photographs if available and relevant to its historic significance.

B. Historic photographs

- a. Interior and exterior if available.

Each photograph must be labeled with the street address of the building(s) and the month and year the photograph was taken.

Designation of property will require affixing a plaque to said property and that the plaque will be the sole property of the City of La Crosse. While not required, the signature of the property owner assures the Heritage Preservation Commission that designation and installation of a plaque are supported.

Signature of Property Owner

Date

Signature of Nominator

Date

When completed, submit application to the City of La Crosse Planning Department, 400 La Crosse Street, La Crosse WI.

PLEASE NOTE: It is the responsibility of the nominator to provide the Heritage Preservation Commission and its Staff with information sufficient to fairly evaluate the nomination. **Incomplete nomination forms will not be accepted. A fee, in the amount stated in the Schedule of Fees and Licenses table in Section 25.01 of the Municipal Code, must be included.**

No permit to demolish all or part of the structure will be issued while the nomination is pending review by the Heritage Preservation Commission. A nomination is considered pending once a completed nomination has been submitted to the Planning and Development Department.

INSTRUCTIONS FOR FILLING OUT THE NOMINATION FORM

1. Indicate the historic name of the property if it is currently known by a different name.
2. Indicate the current name of the property, if it is different than the historic name.
3. Indicate the street address for the property. For districts, attach a separate sheet listing the street address of each property included in the nomination and a clear street map of the area showing the boundaries of the proposed district.
4. Indicate the owner of the property and his or her mailing address and phone number. For districts, attach a separate sheet listing the owner of each property and his or her mailing address.
5. Indicate the nominator of the property and his or her contact information including mailing address, phone number, and email address.
6. Check the classification and use as indicated. Check the current condition of the property. Indicate whether or not the property has been previously nominated. Indicate whether or not the property is on the National Register of Historic Places.
 - a. **“Landmark District”** or Historic Overlay District is an area designated by the Common Council on recommendation of the Commission composed of one or more improvements or sites that is of special character or special historic interest or value as part of the development, heritage or cultural characteristics of the city, state or nation and which has been designated as a Historic District.
 - b. **“Historic Structure”** means any improvement which has a special character or special historic interest or value as part of the development, heritage, or cultural characteristics of the City, state or nation and which has been designated as a historic structure.
 - c. **“Historic Site”** means any parcel of land whose historic significance is due to a substantial value in tracing the history of aboriginal people, or upon which a historic event has occurred, and which has been designated as a historic site under this section, or an improvement parcel, or part thereof, on which is situated a historic structure and any abutting improvement parcel used as and constituting part of the premises on which the historic structure is situated.
 - d. **“Historic Object”** means a material thing of historic significance for functional, aesthetic, cultural or scientific reasons that may be, by nature or design, moveable yet related to a specific setting or environment.
7. Select, as applicable, one or more of the four listed criteria that applies to the nominated property or district.
8. Write a **Historical Overview/Analysis** of the nominated property or district that supports the claim of criteria made in section 7. Attach to the nomination form a document that includes:
 - A. An existing physical description of the structure, district, site, or object. Include the following information as applicable:
 - architectural style(s)
 - arrangement of architectural elements

- building materials
 - method(s) of construction
 - visual character
 - street pattern
 - density
 - type and arrangement of buildings
 - topography
- B.** A narrative history of the structure, district, site, or object. Include the following information when available:
- History of the development of the area;
 - Circumstances which brought the structure, district, site, or object into being;
 - Biographical information on architects, builders, developers, artisans, planners, or others who created or contributed to the structure, district, site, or object;
 - Contextual background on building type(s) and/or style(s);
 - Importance of the structure, district, site, or object in the larger community over the course of its existence.
 - **Include references** to consulted sources, listed in the bibliography, as necessary. Where any historical information is uncertain or disputed, reference sources directly in the text.
- C.** Any additional information that contributes support to the argument being made for the significance of the structure, district, site, or object; as selected in section 7 of the nomination form.
- D.** A bibliography consisting of all consulted source material used in the preparation of the Historical Overview/Analysis. Copies of major supporting documents should accompany the bibliography. Such documents may include, but are not limited to:
- Historic and contemporary maps;
 - Historic or contemporary texts describing the subject property or district;
 - Historic or contemporary texts describing people, places, or events that comprise the historic context of the subject property or district.
 - Oversized materials (such as architectural drawings) and materials too fragile to copy may be accepted.
- 9.** Clear photographs of the nominated buildings or districts should accompany the nomination form. The applicant shall include photographs of all elevations of an individual building and its setting, or the front elevation of each building in a district. In case of closely spaced buildings or row houses, several buildings may be included in one photograph. Each photograph must be labeled with the street address of the building(s) and the month and year the photograph was taken. A current exterior photograph of the structure, district, site, or object must accompany the nomination form.



Historic Landmark Nomination Guide

La Crosse Heritage Preservation Commission

Researching Your Property

Below is a list of documents that will enrich and support your Historic Landmark Nomination. Including these documents will establish the historic importance of your property.

Obituaries: Many people say “I wouldn’t even know where to begin researching”. Obituaries of previous owners or occupants are a great place to start your research, as they basically provide a person’s life story. From this one source you can easily learn a person’s date of birth, where they were born, who their parents were, their education and employment, when they were married, how many children they had, etc. Obituaries can help confirm or deny other evidence and provide leads to other relevant data.

City Directories: La Crosse City Directories from 1866-1924 are available online at the La Crosse Public Library Archives website, located here:
<https://archives.lacrosselibrary.org/local-history/city-and-county-directories/>

Similar to a phone book, City Directories will list your property street address as it appeared that year. As you begin your search, be aware that some street numbers *and* street names may have changed from what they originally were (i.e. Liberty Street was Berlin Street prior to WW2). City Directories were printed approximately every two years, so they will give you an approximate year of construction (though it may be off by a year or two). City Directories will also list the names of occupants and their profession. Usually the occupant(s) are also the owners of the property, but this isn’t always the case. To confirm the owner and date of construction, cross-reference Property Tax Records.

Property Tax Records: La Crosse Property Tax Records are hand-written ledgers available in-person at the La Crosse Public Library Archives. For a given year, Property Tax Records list the legal owner(s) of a property, including the value of the land, the value of the improvement (i.e. house or building) the total value, the tax amount paid and the owners signature. An individual would be taxed on a home at the end of the year, but only if the structure was finished and habitable. If 1915 Tax Records only list a value for the land *and* no improvement, but 1916 lists a value for the land *and* the improvement, the home was considered built in 1916. The values listed can also help you determine the year major alterations were performed if they significantly increased the value.



Historic Landmark Nomination Guide

La Crosse Heritage Preservation Commission

Water Tap Records: La Crosse Water Tap Records usually consist of two documents, an Application to Connect Water Lines and a Plumbers Return. These documents also provide the owners name, the property address at the time the applications were completed and the dates the work was performed.

Sanborn Fire Insurance Maps: Sanborn Fire Insurance Maps were very accurate, hand-drawn maps used to document buildings for fire insurance purposes. Maps visually depict the shape and scale of a structure when built and detail if the structure had a wood frame, brick or metal siding on a wood frame or if the structural support was solid brick walls or concrete block. Maps after 1906 are currently available in-person at the La Crosse Public Library Archives and the UWL Murphy Library Area Research Center (ARC). Sanborn Fire Insurance Maps are also available on the Wisconsin Historical Society website for the following years at these locations:

1884:

<http://content.wisconsinhistory.org/cdm/compoundobject/collection/maps/id/6442/rec/7>

1887:

<http://content.wisconsinhistory.org/cdm/compoundobject/collection/maps/id/6465/rec/6>

1891:

<http://content.wisconsinhistory.org/cdm/compoundobject/collection/maps/id/6504/rec/1>

1906:

<http://content.wisconsinhistory.org/cdm/compoundobject/collection/maps/id/6615/rec/2>

Historic Photos:

The La Crosse Public Library Archives and UWL Murphy Library Area Research Center (ARC) have a literal treasure trove of historic photography which are separated in different collections. Some collection are just photos of entire blocks (i.e. the entire 1400 block of Cass Street), other collections might be photos of individual properties (i.e. just 1434 Cass Street). You can also potentially find photos of the original owners of your property, or other historically relevant photos. For example, if the original owner of your property was a doctor, he or she may appear in a collection of medical photography.



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0640

Agenda Date: 5/26/2022

Version: 1

Status: Referred

In Control: Heritage Preservation Commission

File Type: Application

Agenda Number: 6.



CITY OF LA CROSSE HERITAGE PRESERVATION COMMISSION

Historic Landmark Nomination Form
(Adopted 7-6-2017)

1. What is the historic name of the Landmark or Landmark District? *Block 1
Cargill / Brayton Addition Lot 3*

2. What is the current name of the Landmark or Landmark District?(If applicable)

3. Property Address: *2326 Madison St., LaCrosse*

4. OWNERSHIP

- a. Owner(s): *Ann Servais (ANN M. SERVAIS)*
- b. Street: *2326 Madison St.*
- c. City, State, Zip Code: *LaCrosse* Phone: *(608) 780-1675*
- d. Email: *alanmel@yahoo.com* Parcel ID#:

5. NOMINATED BY (If different):

- a. Name:
- b. Street: *Same as above.*
- c. City, State, Zip Code: Phone: () -
- d. Email:

6. CLASSIFICATION AND USE (Check all that apply):

Proposed Designation (choose one)

- Landmark District
- Landmark

If it is a Landmark, choose a category (definitions can be found on the instructions page)

- Historic Structure
- Historic Site
- Historic Object

Present Use

- Agriculture
- Industrial
- Religious
- Commercial
- Military
- Scientific
- Educational
- Museum
- Transportation
- Entertainment
- Park
- Government
- Private Residence(s)
- Other

Condition:

- Excellent
- Good
- Fair
- Deteriorated
- Ruins
- Other

Has the property been nominated previously? Yes No *Not that I am aware*

When? _____

What was the outcome? _____

Is the proposed Landmark or District on the National Register? Yes No

part of When? *Wisconsin Historical Register*

7. SIGNIFICANCE:

Section 20.90 of the *Municipal Code of Ordinances* lists 4 criteria that a district, site, structure or object may be designated under.

Please check one or more of the listed criteria that apply to this Property:

Associated with events or person(s) who have made a significant contribution to the history, heritage, or culture of the City of La Crosse, the County of La Crosse, the State of Wisconsin, or the United States.

It embodies the distinguishing characteristics of an architectural type or specimen, inherently valuable for a study of a period, style or method of construction or of indigenous material or craftsmanship.

It is representative of the notable work of a master builder, designer or architect whose individual work is significant in the development of the City of La Crosse, the County of La Crosse, the State of Wisconsin, or the United States.

It exemplifies or reflects the broad cultural, political, economic or social history of the nation, state, or community.

8. HISTORIC OVERVIEW/ANALYSIS (See attached instructions for analysis outline):

Please attach the analysis as a separate document containing the following sections:

A. Existing Physical Description

- a. Write a physical description of the nominated property or district in its current state.
- b. If it has been altered over time, indicate the date(s) and nature of the alterations.
- c. Include additional information as applicable.

B. Narrative History

- a. Provide a complete narrative history of the district, structure, site, or object.
- b. If known, include the year it was built, the architecture style, and the name of the architect or builder.
- c. Include references to source material that are listed in the bibliography.

C. Additional Information

- a. Include any additional information that helps support the claim of criteria (Section 7) made in this document; or is otherwise deemed useful for the purposes of evaluation.

D. Bibliography

- a. Include a list of all sources consulted.
- b. Include copies of relevant source materials with the nomination form.

9. PHOTOGRAPHS:

Include photos, as applicable, of the nominated district, structure, site, or object as follows:

A. Current photographs

- a. Exterior photographs are required.
- b. Interior photographs if available and relevant to its historic significance.

B. Historic photographs

- a. Interior and exterior if available.

Each photograph must be labeled with the street address of the building(s) and the month and year the photograph was taken.

Designation of property will require affixing a plaque to said property and that the plaque will be the sole property of the City of La Crosse. While not required, the signature of the property owner assures the Heritage Preservation Commission that designation and installation of a plaque are supported.

Signature of Property Owner

Date

Signature of Nominator

Date

When completed, submit application to the City of La Crosse Planning Department, 400 La Crosse Street, La Crosse WI.

PLEASE NOTE: It is the responsibility of the nominator to provide the Heritage Preservation Commission and its Staff with information sufficient to fairly evaluate the nomination. **Incomplete nomination forms will not be accepted. A fee, in the amount stated in the Schedule of Fees and Licenses table in Section 25.01 of the Municipal Code, must be included.**

No permit to demolish all or part of the structure will be issued while the nomination is pending review by the Heritage Preservation Commission. A nomination is considered pending once a completed nomination has been submitted to the Planning and Development Department.

Acklin, Tim

From: Ann Servais <alanmel@yahoo.com>
Sent: Wednesday, February 16, 2022 6:33 AM
To: Acklin, Tim
Subject: Fw: Sears Home Builder Catalogs

*** **CAUTION:** This email originated from an external sender. **DO NOT** click links or open attachments unless you recognize the sender and know the content is safe. ***

Hi Tim, Sorry this has taken me so long to get to you but I have been without a computer for 3 years.

Below are some of the links that we found about my home - San Jose.

I will send the Historic Landmark Nomination Form to you through snail mail along with the ad in the Home Builders Catalog which is the catalog that the Sears Homes were sold out of.

Under #7 to answer under significance:

My home is a catalog home from the sears Roebuck and Co. "home builders catalog" and was only in the Catalog for 3 years. The design in the catalog shows a stucco exterior but whoever built my home in La Crosse used brick. Some of the brickwork is very unique I believe to this area.

Below is information from "Ask the Tribune" about 2326:

Question: What is the history and architecture of the house at 2326 Madison St., in La Crosse? It has a rather unique entrance that looks like it could have once been a part of a church or something?

ANSWER: This house first appears in the City tax records and water tap records in 1929. Tax records indicate it was the first house built on the block and the first owner was Charles Felber, President of the ER Barron Co. Felber owned several lots in the Cargill and Brayton subdivision where this house is located. Mr. Felber did not live in the house. His obit states that his permanent residence was in Miami, FL since 1922. After Mr. Felber died in 1930, the house was sold to Charles Moore who rented the house to others. The La Crosse City Directories show that Reinhold and Katharine Schultz lived in the home from 1932 - 1948. Reinhold was superintendent of the local state employment office and served with other civil service agencies. Several other renters lived in the house through 1955. No obit was located for Charles Moore, cemetery records indicate he was buried in the mausoleum in Oak Grove in 1944. Myrtle Moore, daughter to Charles owned the property until 1955. Tax records show the house was then purchased by Raymond and Angeline Becker in 1956. The Beckers were the first family who both lived and owned the house.

There were approximately 360 homes sold from the Sears Roebuck, Co., (Home Builders Catalog). Some kits were never purchased and some are very rare. The house I purchased on 2326 Madison is rare. Basically, it was in the catalog for sale from 1928, 1929 and 1930. There were 7 San Jose's built in the United States- 4 of them were stucco and 3 were brick. But a few years ago one of those brick houses were demolished and now there are only 2 brick San Jose's. One of them is my house located at 2326 Madison Street., La Crosse. One of the interesting facts about these catalog homes is that the kits were sold out of the catalog but the buyers had to have their own lots to build on. If the home owners ever defaulted on their monthly payments, Sears could seize the house AND the lot. That's interesting to think that around the depression time a company could do that to homeowners, but that was a different world back then. The floor plans are basically the same inside except for a little tweaking here and there and some of the information about my house is puzzling as to why the interior used brick for the fire place, etc. The last link on this page (searshouseseeker) has many pics of the San Jose and my house is in that link as well. Unfortunately, the city of La Crosse archive department doesn't have the "Home Builders Catalog" but there are 2 found in Wisconsin. One being at the Wisconsin Historical Library in Madison, WI and the other is located at Parkside college in Kenosha, WI.

Thanks Tim for your help with this. Again, I will be sending you my request for Historical Landmark Nomination Form through snail mail. If you require any of the tax record information or anything else I was able to find at the library, please let me know and i can drop them off one day.

Have a great day and we will talk soon.

Ann Servais
alanmel@yahoo.com
608-780-1675

----- Forwarded Message -----

From: Jenny DeRocher <jderocher@lacrosselibrary.org>
To: alanmel@yahoo.com <alanmel@yahoo.com>
Sent: Tuesday, January 11, 2022, 01:51:47 PM CST
Subject: Sears Home Builder Catalogs

Try this link for full catalogs: <https://www.searshouseseeker.com/2015/07/catalogs-online-sears-radford-gordon.html>

This link for limited resources about Sears catalogs: <http://www.searsarchives.com/>

Perhaps this catalog from 1936 is of interest: <https://dahp.wa.gov/sites/default/files/ModernHomessears1936.small.pdf>

More information specifically on San Jose model:

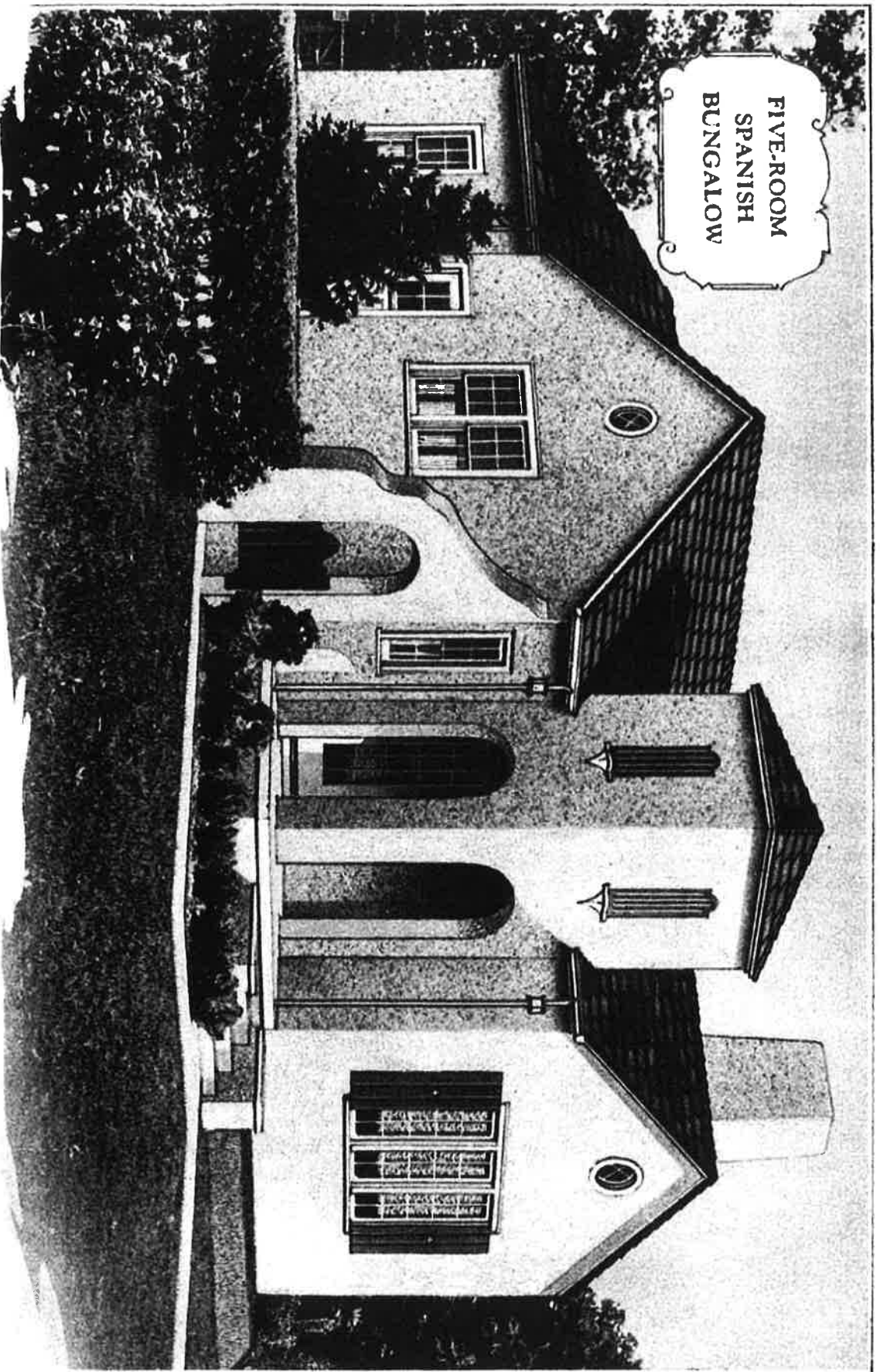
<https://searshomes.org/index.php/2012/04/30/do-you-know-the-way-to-san-jose/>

<https://www.searshouseseeker.com/2020/03/a-pretty-sears-san-jose-in-brigantine.html>

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Jenny DeRocher [she/her] | MLIS
Public History Librarian | (608) 789-7135
La Crosse Public Library Archives | 800 Main St.
archives.lacrosselibrary.org





Can be built on a lot 33 feet wide
24'-0"

Honor Bill
The San Jose
No. P3268 "Already Cut" and Fitted
\$2,138⁰⁰

THE SAN JOSE bungalow architecture is derived from the time when old Spain ruled our Southern Pacific Coast. It is another example of combining the beautiful Spanish mission lines, with the latest idea in a splendid floor plan. Adaptable to any section of the country, it offers every modern comfort possible in a design of this kind. There is a double saving in its sturdy "Honor Bill" construction, and our factory-to-you system. The rooms are carefully planned, providing ample space. The house-work is a pleasurable duty. The exterior is sided with stucco, the roof is shingled, and the eaves are shortened. Among the attractive features are the tower with its grilled windows, the louvre in the gables, batten shutters that serve as a decoration to the French windows, and swinging gate in the arched passageway that leads to the side entry.

The Vestibule. A French door welcomes you into the hospitable San Jose. A coat closet is at the left, another door leads to the kitchen, so that the busy housewife can greet callers without the need of going through the living room, and to the right is a plastered arch opening to the living room.

The Living Room. Floor space, 14 feet 3 inches by 17 feet 5 inches. In the center of the right wall is a mantel and fireplace, with a high sash on either side. Here, the book lover comes into his own, for next to the fireplace are book shelves. Triple French windows provide light and ventilation. Plenty of wall space for a piano, and the usual customary furniture.

The Dining Room is entered from the living room through a plastered arch wide opening. Here, a bay, with a triple window on the right wall, give this room a pleasing air. Floor space, 13 feet 5 inches by 10 feet 4 inches.

The Kitchen. To the left of the dining room is a swinging door that connects with the delightful kitchen. At your right is a built-in cupboard, and close by is space for a work table. At the left is space for a cabinet, and directly opposite is space for a range. A double window is directly above the space for sink. A door leads to the side entry, which has space for refrigerator, stairs to basement, and door to stoop.

The Bedrooms. A central hall, immediately off the dining room, connects with the two bedrooms and bathroom. Each bedroom has two windows, with cross ventilation, and a clothes closet.

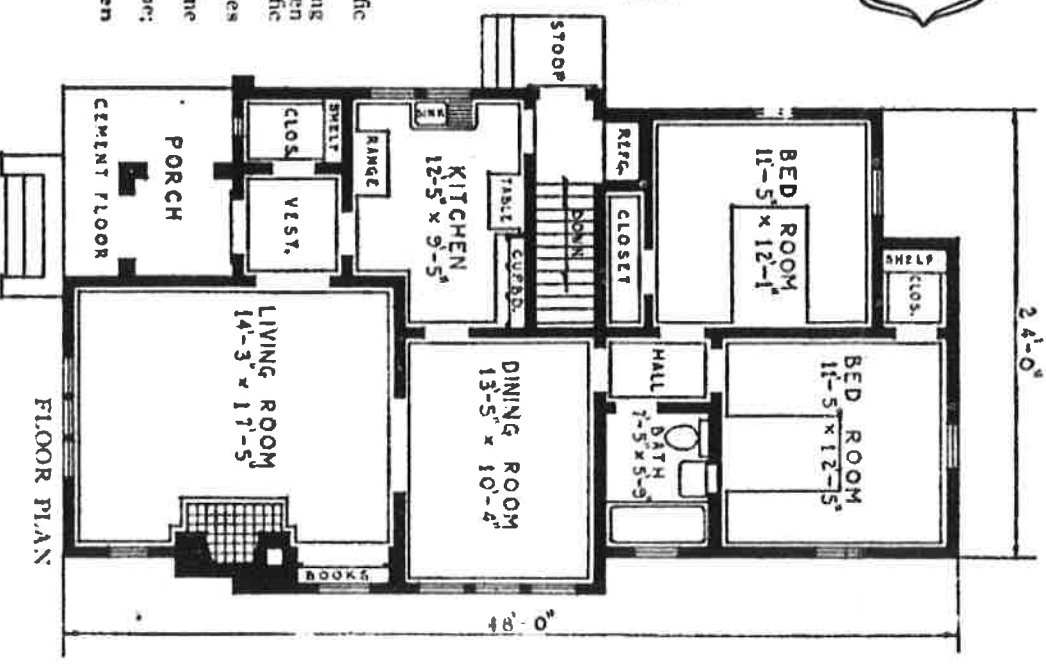
The Bathroom is laid out so that all plumbing fixtures can be roughed-in on one wall, thereby saving installation expense. It has a built-in medicine cabinet, and is lighted by a window.

The Basement. Room for heating plant, laundry and storage. Height of Ceilings, First floor, 8 feet 6 inches from floor to ceiling. Basement, 7 feet from floor to joists.

What Our Price Includes

At the price quoted we will furnish all material to build this five-room bungalow, consisting of:

- Lumber: Lath; Roofing, Best Grade Clear Red Cedar Shingles; Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock;
 - Flooring: $1\frac{1}{2}$ "x2 $\frac{1}{4}$ "-inch Clear Oak, Living Room, Dining Room and Vestibule; $1\frac{1}{2}$ "x2 $\frac{1}{4}$ "-inch Clear Maple, Kitchen and Bathroom; $1\frac{1}{2}$ "x2 $\frac{1}{4}$ "-inch Clear Douglas Fir or Pacific Coast Hemlock, Balance of Rooms;
 - Finishing Lumber, High Grade Millwork (see pages 104 and 105);
 - Interior Doors, Two-Cross Panel Design of White Pine With Fir Panels;
 - Trim, Back Band Style, of Beautiful Grain Yellow Pine; Windows of California Clear White Pine;
 - Medicine Case; Mantel; Book Shelves; Kitchen Cabinet;
 - Shutters; Eaves Trough and Down Spout;
 - Heavy Water-Proof Building Paper;
 - Sash Weights;
 - Narcissus Design Hardware (see page 116);
 - Metal Lath;
 - Paint for Three Coats Outside Trim;
 - Shallac and Two Coats Varnish, Interior Trim and Doors;
 - Wood Filler and Two Coats of Varnish for Oak Floors;
 - Two Coats of Varnish for Maple and Douglas Fir or Pacific Coast Hemlock Floor.
- We guarantee enough material to build this house. Price does not include cement, brick, plaster or stucco. See description of "Honor Bill" Houses on pages 12 and 13.
- For prices of Plumbing, Heating, Wiring and Electric Fixtures or Shades see pages 138 and 139.



OPTIONS

- Sheet Plaster and Plaster Finish to take the place of wood lath, \$123.00 extra. See page 140.
 - Storm Doors and Windows, \$65.00 extra.
 - Screen Doors and Windows, galvanized wire, \$35.00 extra.
 - Oriental Slate Surfaced Shingles, in place of Wood Shingles for roof, \$30.00 extra.
 - 4-In-1 Style Oriental Asphalt Slate Surface Strip Shingles, guaranteed for 17 years, instead of Wood Shingles for roof, \$23.00 extra.
 - Oak Trim and Doors for Living Room and Dining Room, \$67.00 extra.
- For prices of Plumbing, Heating, Wiring and Electric Fixtures or Shades see pages 138 and 139.

For Our Easy Payment Plan See Page 144—For Our Information Blank See Page 141

"Homes from Catalog"
"Home Builders Catalog"



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 22-0856

Agenda Date: 6/23/2022

Version: 1

Status: Agenda Ready

In Control: Heritage Preservation Commission

File Type: General Item

Agenda Number: 8.



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Meeting Minutes - Final

Heritage Preservation Commission

Thursday, August 26, 2021

6:00 PM

Southside Neighborhood Center 1300 6th St S

In efforts to reduce the spread of COVID-19, the Heritage Preservation Commission meeting will be conducted through video conferencing. You may participate in the meeting with the following links.

<https://call.lifesizecloud.com/4796124>

or

Click to call from Mobile (audio only)

United States: +1 (877) 422-8614,, 4796124#

Or you may attend in person at the Southside Neighborhood Center located at 1300 6th Street S.

To view and listen to the meeting only please use the following link:

<https://stream.lifesizecloud.com/extension/4796124/c7d43560-fea7-4613-9625-63af875bee87>

Call to Order

The meeting was called to order at 6:00pm.

Roll Call

Present: 4 - John J. Satory, Laura Godden, Jennifer Morris, Mackenzie Mindel

Excused: 3 - Terence R. Collins, David Riel, Janet Allen

Approval of Minutes

1. Approval of the May 22, 2021 Meeting Minutes.

John Satory moved to approve both the April and July meeting minutes with the correction to the July meeting minutes to change May 2021 minutes to April 2021 minutes and to the caption on the agenda that says "Approval of the May 22, 2021 Meeting Minutes" to April. Jennifer Morris seconded. The motion passed 4-0 by voice vote.

2. Approval of the July 22, 2021 Meeting Minutes.

Agenda Items:

3. [21-1260](#) Review of a Certificate of Recommendation for the property located at 429 7th

Street N. (Hixon House)

Staff provided an overview of the project, The La Crosse County Historical Society is proposing new signage at the Hixon House. John Satory moved to approve the application as submitted. Laura Godden seconded. CM Mindel asked if there was any signs being replaced or if they were all new. Staff stated that there is a new sign face being replaced on the sign in the front yard but it was not a reviewable component of the project by the Commission. Peggy Derrick, Executive Director for the La Crosse County Historical Society stated that she is available for questions. The application was approved 4-0 by voice vote.

4. [21-1261](#)

Review of a Certificate of Appropriateness for the property located at 123-125 3rd Street S. (Downtown Historic District)

Staff provided an overview of the project. The applicant is proposing to stabilize an interior wall so that it can be used as an exterior wall once the adjacent building is demolished. CM asked if Dan Miller, the contractor, had anything else to add. John Satory expressed his desire to at least try and save the facade of the adjacent building and also asked why the proposed cinder block wall could not be located on the inside of the building. CM Mindel stated that the Commission was not reviewing or acting on an effort to preserve the facade. They were reviewing and acting only on the work being proposed on the wall. Dan Miller stated that, due to the current condition of the wall and the way it was failing, placing the new wall on the inside would not structurally be able to support it. It had to be located on the exterior in order to prevent the wall from buckling in on itself. CM Mindel asked Dan Miller if the exterior of the wall could be brick. Dan Miller said it could be. Laura Godden asked if there were going to be any windows. Dan Miller said at this time it is just a wall. The concrete block is being used for structural reasons. The brick would be used for cosmetic purposes. Brick is much more expensive than the proposed stucco look. Laura Godden stated that when the Club Tucan building is removed the vacant space is much more prominent and should be brick. CM Mindel asked what the cost difference was. Dan Miller stated that it would be twice as much than the stucco option. Jennifer Morris stated that she felt it was important to move forward with this so we can protect the building that is not being torn down. Laura agreed but stated that the exterior should include brick due to the large vacant opening that will be created. Jennifer stated that the applicant cited cost as it being prohibited. John Satory stated that they are tearing down a building in the historic Downtown and that shouldn't matter. They can at least build a brick exterior wall. CM Mindel asked staff what it would mean if they denied it. Staff stated that the applicant could appeal the decision to the Common Council. Staff also added that it would be important to make sure that the Commission states very clear reasons for denial. CM Mindel asked if the cost estimate stated earlier for brick as for brick veneer or whole brick. Dan Miller stated that it was for brick veneer. John Satory moved to deny the application. The motion failed due to a lack of a second. Laura Godden moved to approve the application with the condition that brick or brick veneer is used on the exterior of the wall. Jennifer Morris seconded. The motion passed 3-1. John Satory voting no.

5. [21-1105](#)

Review of a Certificate of Appropriateness for the property located at 924 Cass Street. (10th & Cass District)

Staff reminded the Commission that this item was referred from last month if the applicant had not reached out to staff with updated information. Staff

informed the Commission that the applicant had not reach out to them and requested that the item be referred again for 30 days. Jennifer Morris moved to approve the application as submitted. John Satory seconded. Laura Godden moved to refer the item for 30 days also giving staff the authority to approve if provided the required information. John Satory seconded. The motion passed 4-0 by voice vote.

6. Update on 2022 Capital Budget Items.

Staff informed the Commission that the Lost La Crosse project was not recommended to stay in the 2022 CIP Budget. The requested item to prepare National Register Nominations was recommended to stay in the 2022 CIP Budget. Staff stated that the Commission could use this funding as a match for a Certified Local Government Grant for more funding for nominations.

Adjournment

The chair adjourned the meeting at 6:58pm.

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.