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CONTACT INFORMATION

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 Impact Seven

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UNITS	
1 BEDROOM	14
2 BEDROOMS	16
3 BEDROOMS	20
TOTAL UNITS	50
PARKING	
SURFACE PARKING	15
(AT COMMUNITY CENTER LOT)	39
TOTAL	54
BICYCLE PARKING	
REQUIRED RESIDENT SPACES	
(1 space per 3 BEDROOMS=106 BEDROOMS)	36
TOTAL REQUIRED SPACES	36
TOTAL AVAILABLE SPACES	36
STORAGE	
INDOOR RESIDENT SPACES	
LEVEL 1 (3'X6'X8" STORAGE LOCKERS)	14
LEVEL 2 (3'X6'X8" STORAGE LOCKERS)	36
TOTAL	50

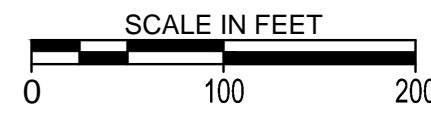
Garden Terrace – Multifamily Apartments & Community Center

LA CROSSE, WISCONSIN



CITY OF
LA CROSSE, WI

LOCATION MAP



PROJECT ADDRESS / LOCATION:
733 KANE STREET
LA CROSSE, WI 54603

SECTION/TOWNSHIP/RANGE
SEC 29 / TWP 16 / R 7

LA CROSSE, WISCONSIN

SITE SUMMARY			
ZONING:	PLANNED DEVELOPMENT		
SITE/LOT AREA:	52,048 SQ. FT / 1.19 AC.		
PARKING REQUIREMENTS (1 STALL PER UNIT)			
TYPE	UNIT / AREA	TOTAL STALLS	STALLS PROVIDED
PARKING STALLS		42	40
HANDICAP STALLS		2	2
TOTAL:			42
SETBACKS			
	PARKING	BUILDING	
FRONT YARD	-	25 FT	
SIDE YARD	-	6 FT	
REAR YARD	-	15-30 FT	
CORNER	-	6 FT	

PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "DIGGER'S HOTLINE" FOR UTILITY LOCATIONS. MINIMUM 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (811 OR 1-800-242-8511).



SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LA CROSSE STANDARD SPECIFICATIONS, CURRENT EDITION, WISDOT STANDARD SPECIFICATIONS, 2017 EDITION, WISDOT CONSTRUCTION AND MATERIALS MANUAL, CURRENT EDITION, WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES STATE PLUMBING CODE, CURRENT EDITION, AND STANDARD SPECIFICATION FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, 6th EDITION, UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 2011 ADJUSTMENT (NAD83(2011)) ON THE LA CROSSE COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN 9/16, 1/17, 11/17, & 4/18 BY ISG.

B.M. ELEVATION= 644.08

TYP NUT OF FIRE HYDRANT LOCATED ON THE NORTHEAST CORNER OF THE INTERSECTION OF KANE ST AND HAGAR ST

LEGEND

EXISTING	
---	CITY LIMITS
---	SECTION LINE
---	QUARTER SECTION LINE
---	RIGHT OF WAY LINE
---	PROPERTY / LOTLINE
---	EASEMENT LINE
---	ACCESS CONTROL
---	WATER EDGE
---	WETLAND BOUNDARY
---	WETLAND / MARSH
---	FENCE LINE
---	CULVERT
---	STORM SEWER
---	SANITARY SEWER
---	SANITARY SEWER FORCEMAIN
---	WATER
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	UNDERGROUND TV
---	OVERHEAD UTILITY
---	UNDERGROUND FIBER OPTIC
---	990 CONTOUR (MAJOR)
---	989 CONTOUR (MINOR)
---	DECIDUOUS TREE
---	CONIFEROUS TREE
---	TREE LINE
---	MANHOLE/STRUCTURE
---	CATCH BASIN
---	HYDRANT
---	VALVE
---	CURB STOP
---	POWER POLE
---	UTILITY PEDESTAL / CABINET
PROPOSED	
---	LOT LINE
---	RIGHT OF WAY
---	EASEMENT
---	CULVERT
---	STORM SEWER
---	STORM SEWER (PIPE WIDTH)
---	SANITARY SEWER
---	SANITARY SEWER (PIPE WIDTH)
---	WATER
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TV
---	1015 CONTOUR
---	MANHOLE
---	CATCH BASIN
---	HYDRANT
---	VALVE

CIVIL SHEET INDEX

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MILWAUKEE | MADISON | TUSCON | CHICAGO



Garden Terrace - Multifamily Apartments & Community Center

733 Kane Street
La Crosse, WI 54603

Owner
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 17-19647

ISSUED FOR:
60% CONSTRUCTION DOCUMENT
PROGRESS SET 4/20/2018

REVISION FOR:
NO. DESCRIPTION DATE

GARDEN TERRACE
MULTIFAMILY APARTMENTS &
COMMUNITY CENTER

DRAWN BY CLF
CHECKED BY KBR

SITE DATA PLAN

C0-10

PRELIMINARY NOT FOR CONSTRUCTION



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**GARDEN TERRACE
MULTIFAMILY APARTMENTS &
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**EROSION CONTROL PLAN
(EXISTING CONDITIONS)**

C1-10

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION

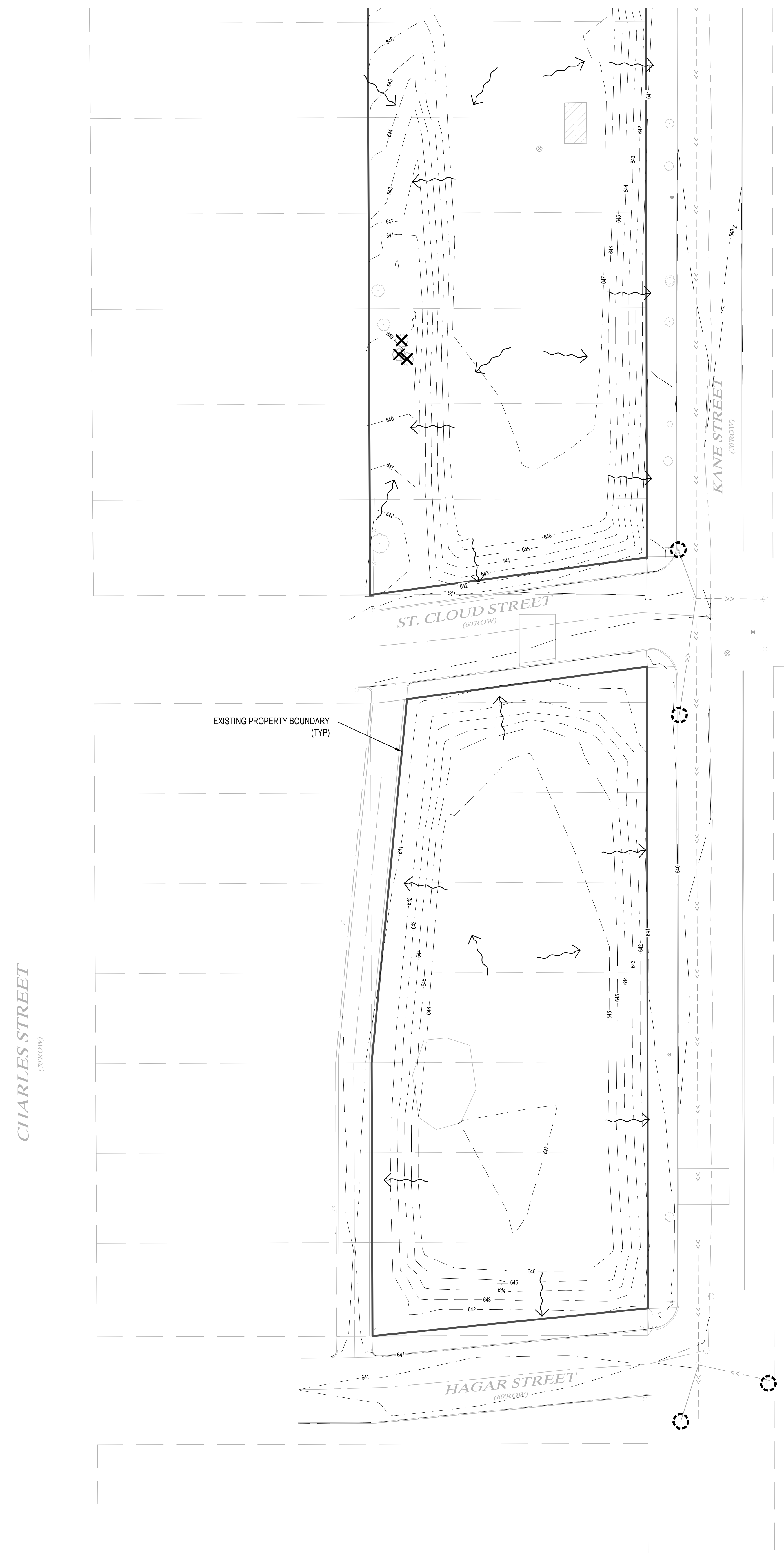
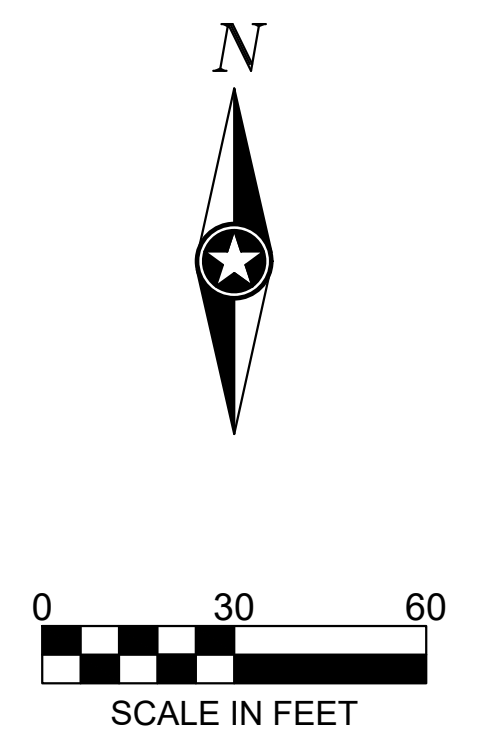
EROSION CONTROL LEGEND			
SYMBOL	DESCRIPTION	UNITS	QUANTITY
	PERIMETER CONTROL	LF	1,750
	EXISTING STORM DRAIN INLET PROTECTION	EACH	SEE C1-10
	STABILIZED CONSTRUCTION EXIT	EACH	1
	EXISTING DRAINAGE ARROW		
	PROPOSED DRAINAGE ARROW		
	EXISTING CONTOUR (MINOR INTERVAL)		
	EXISTING CONTOUR (MAJOR INTERVAL)		

QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.

THE QUANTITIES SHOWN ARE TOTAL FOR THE ENTIRE PROJECT NOT SPECIFIC TO THIS SHEET.

SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT

NOTE: SWPPP COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS SWPPP INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.





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**GARDEN TERRACE
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EROSION CONTROL PLAN
(PROPOSED CONDITIONS)

C1-20

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION

EROSION CONTROL LEGEND			
SYMBOL	DESCRIPTION	UNITS	QUANTITY
— PC —	*PERIMETER CONTROL	LF	1,750
⊙	EXISTING STORM DRAIN INLET PROTECTION	EACH	SEE C1-10
○	PROPOSED STORM DRAIN INLET PROTECTION	EACH	3
⊞	STABILIZED CONSTRUCTION EXIT	EACH	2
↗	EXISTING DRAINAGE ARROW		
↗	PROPOSED DRAINAGE ARROW		
--- 101 ---	EXISTING CONTOUR (MINOR INTERVAL)		
--- 100 ---	EXISTING CONTOUR (MAJOR INTERVAL)		
--- 101 ---	PROPOSED CONTOUR (MINOR INTERVAL)		
--- 100 ---	PROPOSED CONTOUR (MAJOR INTERVAL)		

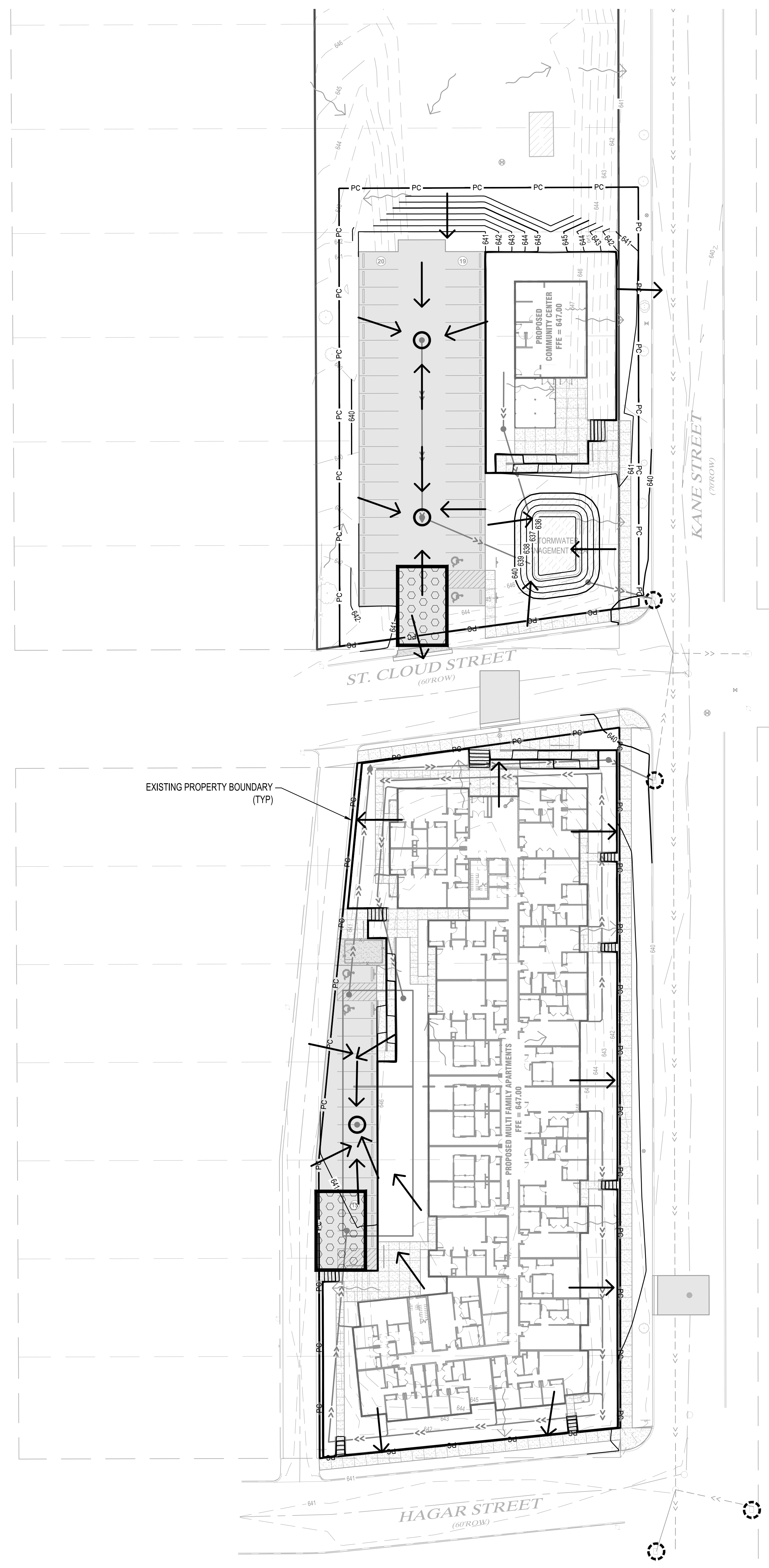
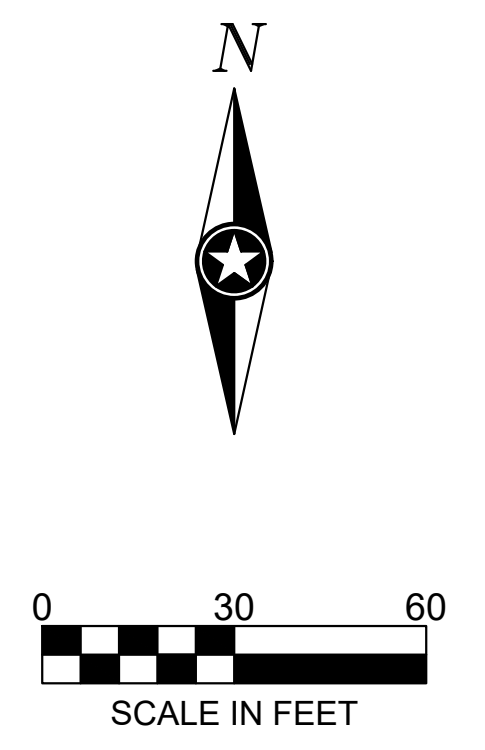
* PERIMETER CONTROL CAN BE S/LT FENCE, BIO-ROLL OR WOOD MULCH.

QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.

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**EROSION CONTROL PLAN
NOTES**

STORM WATER POLLUTION PREVENTION PLAN NOTES:

GENERAL PROJECT INFORMATION:

PROJECT NARRATIVE:

This project consists of the construction of a 21,574 sq ft apartment building, bituminous pavement, concrete pavement, concrete sidewalks, curb & gutter, retaining walls, stormwater management area, storm service, sanitary service, and water service, along with all the necessary grading, paving, utilities, erosion control, site restoration, and any incidental items.

RESPONSIBLE PARTIES:

Contractor and Owner are required to apply for and receive a Wisconsin Pollution Discharge Elimination System (WPDES) Stormwater Construction Permit from the WDNR at least 14 working days prior to beginning work.

Contractor and owner shall identify a person knowledgeable and experienced in the application of erosion prevention and sediment control BMP's who will oversee the implementation of the Erosion Control Plan according to WDNR requirements.

Company: Contact Person: Phone:

Address:

Company: Contact Person: Phone:

Address:

Owner shall identify the entity responsible for the long term Operation and Maintenance of the storm water management system.

Company: Contact Person: Phone:

PROJECT AREAS:

Total project size (disturbed area) = 1.31 acres
Minimum area requiring WDNR permit = 1.00 acres

****PROJECT DOES REQUIRE A WPDES PERMIT****

Existing area of impervious surface = 0.01 acres
Post construction area of impervious surface = 1.04 acres

Total new impervious surface area created = 1.03 acres

Minimum area of new impervious surface created requiring permanent storm water management = 1.00 acres

RECEIVING WATERS:

Surface waters which will receive storm water from the site within 1 mile (aerial radius measurement) of project boundary. Include waters shown on USGS 7.5 minute quad and all waters identified in Appendix A of the permit.

Name of Water Body	Type (ditch, pond, wetland, lake, etc.)	Appendix A Special or Impaired Water?
La Crosse River	River	None
Black River	River	None
Richmond Bay	Lake	None

Additional BMP's together with enhanced runoff controls are required for discharges to Special or Impaired waters within 1 mile of the site. (See Appendix A)

SOIL TYPES:

Sand
Silty Sand
Clayey Sand

CONSTRUCTION ACTIVITY NOTES:

EROSION PREVENTION:

Construction of silt fence and all other erosion control measures shall be complete before other construction activity occurs. Use phased construction wherever practical and establish turf as soon as possible to minimize sediment transport.

Turf establishment or temporary seeding or mulching of all exposed soil not being actively worked should be practiced following the table below:

Type of Slope or Disturbance Area	Time Area can Remain Open Without Being Actively Worked	
	Normal Water	WATER-TYPE
Sleeper than 3:1	14 days	7 days
10:1 to 3:1	14 days	7 days
Flatter 10:1	14 days	7 days
Ditches	1 day	1 day
Pipe Ends	1 day	1 day
Within 200 Feet of Surface Water	1 day	1 day

Temporary cover during construction is incidental.

Pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours after connection to a surface water.

All exposed soils shall be seeded or sodded at the earliest possible time to prevent/reduce erosion.

A. Seeding shall be Wisdot seed mixture #40 for all seeding areas. Seeding shall be in accordance with WisDOT Specification Section 630.

B. Sodding shall be applied according to WisDOT Specification Section 631.

C. Temporary mulching shall be applied at a rate of 2 tons/acre. Mulch shall be disc anchored.

Additional erosion prevention measures may be found at the Wisconsin Department of Natural Resources Best Management Practices.

SEDIMENT CONTROL PRACTICES:

Construction of silt fence and all other erosion control measures shall be complete prior to land disturbing activities occur.

Inlet erosion protection shall be installed and maintained until turf or pavement has been established.

The contractor shall be responsible to control erosion from leaving the construction zone. All eroded material that leaves the construction zone shall be collected by the contractor and returned to the site at the contractor's expense.

Contractor shall maintain a 50-foot natural buffer or use redundant sediment controls near surface waters if a buffer is not feasible.

Contractor shall take the necessary steps to minimize soil compaction and preserve topsoil on site.

All streets must be swept within 24 hours when any tracking occurs.

Silt fence or other effective erosion control measures must be installed around the perimeter of any soil stockpiled, including temporary stockpiles, at this location or any other on the project site. Stockpiles cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.

Perimeter control shall be installed along the back of curb immediately following curb installation at all locations with positive drainage to parking lot and/or streets, and remaining until stabilization is achieved. This shall be accomplished through the use of silt fence. (Biorolls, Rock logs, or other methods approved by the engineer prior to installation shall also be placed acceptable)

CONSTRUCTION ACTIVITY NOTES:

DEWATERING AND BASIN DRAINING:

Dewater sediment-laden water to sedimentation basins if possible, or use other BMP's to prevent erosion when discharging to surface waters. Use appropriate energy dissipation measures on all discharges.

Dewatering practices cannot cause nuisance conditions, erosion or in receiving channels or inundation of wetlands resulting in adverse impacts.

POLLUTION PREVENTION:

All solid waste collected from the construction site must be disposed in accordance with all applicable regulations.

All hazardous materials (oil, gasoline, fuel, paint, etc) must be properly stored to prevent spills, leaks, or other discharge. Storage areas shall provide secondary containment and a hazardous materials spill kit. Equipment fueling and maintenance shall occur in a designated, contained area. Storage and disposal of hazardous waste must be in compliance with all applicable regulations. All runoff containing any hazardous material must be properly collected and disposed. No engine degreasing shall be allowed on site.

All sanitary wastes must be collected from portable units on site by a licensed sanitary waste management contractor. The units must be secured and shall be maintained on a regular basis as needed to prevent overflowing.

Emergency Spill Plan – The Contractor is responsible for all construction personnel to be informed of the manufacturers' recommended spill cleanup methods, and the location of that information and cleanup supplies. The Contractor shall modify the SWPPP as required within seven calendar days of knowledge of the release to: provide a description of the release, the circumstances leading to the release, and the date of the release. Plans must identify measures to prevent the reoccurrence of such releases. If a spill occurs, the following steps shall be followed:

1. Observe the safety precautions associated with the spilled material. Stop the source of the spill, if you can do so safely. Call 911 if fire or public safety hazards are created.
2. Contain the spilled material. Dirt, sand, or any semi-impermeable material may be used to create a containment structure to prevent the material from flowing.
3. Report the spill to Wisconsin's Spill Hotline at (800) 943-0003.
4. Clean up the spilled material and dispose of the wastes properly.

The contractor is responsible for monitoring air pollution and ensuring it does not exceed levels set by local, state, or federal regulations. This includes dust created by work being performed on the site. Air pollution and dust control correction is considered incidental to the unit bid prices for which work is being performed. Additional dust control measures may be required by the Engineer.

Concrete washout off site: All liquid and solid wastes generated by concrete washout must be contained and not have the opportunity to come in contact with the surface waters or ground water. This includes ditches, slopes to ditches, curb and gutter, storm sewer systems, and ponds. All excess water and concrete must leave the site within the concrete trucks. Liquid and solid wastes must be disposed of properly.

INSPECTION AND MAINTENANCE:

The Permittees must routinely inspect the construction site once every seven (7) days during active construction and within 24 hours of a rainfall event greater than 0.5 inches in a 24 hour period.

All inspections performed during construction must be recorded and records retained with the erosion plan in accordance with the Permit. Contractor is responsible for keeping a record of all rainfall data & erosion control maintenance until final establishment of turf.

Erosion control and other BMP's must be replaced, repaired, or supplemented when they reach 33% design load.

FINAL STABILIZATION:

The Contractor must ensure final stabilization of the site. The Contractor must submit a Notice of Termination when the site has undergone final stabilization and all stormwater discharges associated with the construction site activities that require to have WPDES coverage have ceased.

All temporary erosion control measures and BMP's must be removed as part of the final site stabilization.

The storm water permit further defines final stabilization and its requirements.



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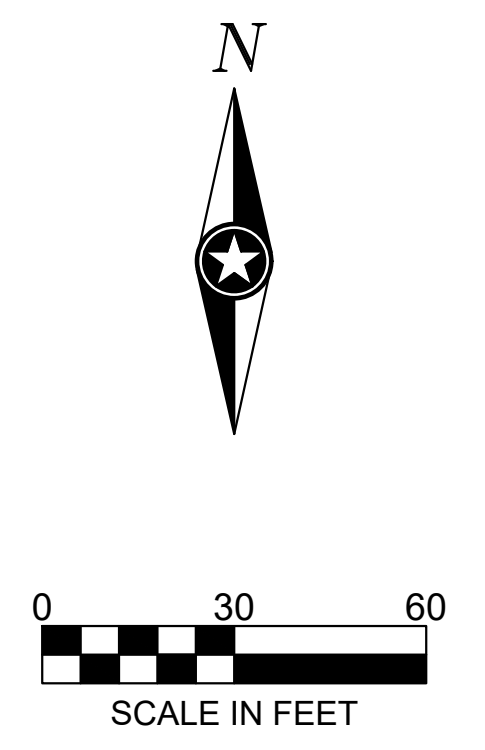
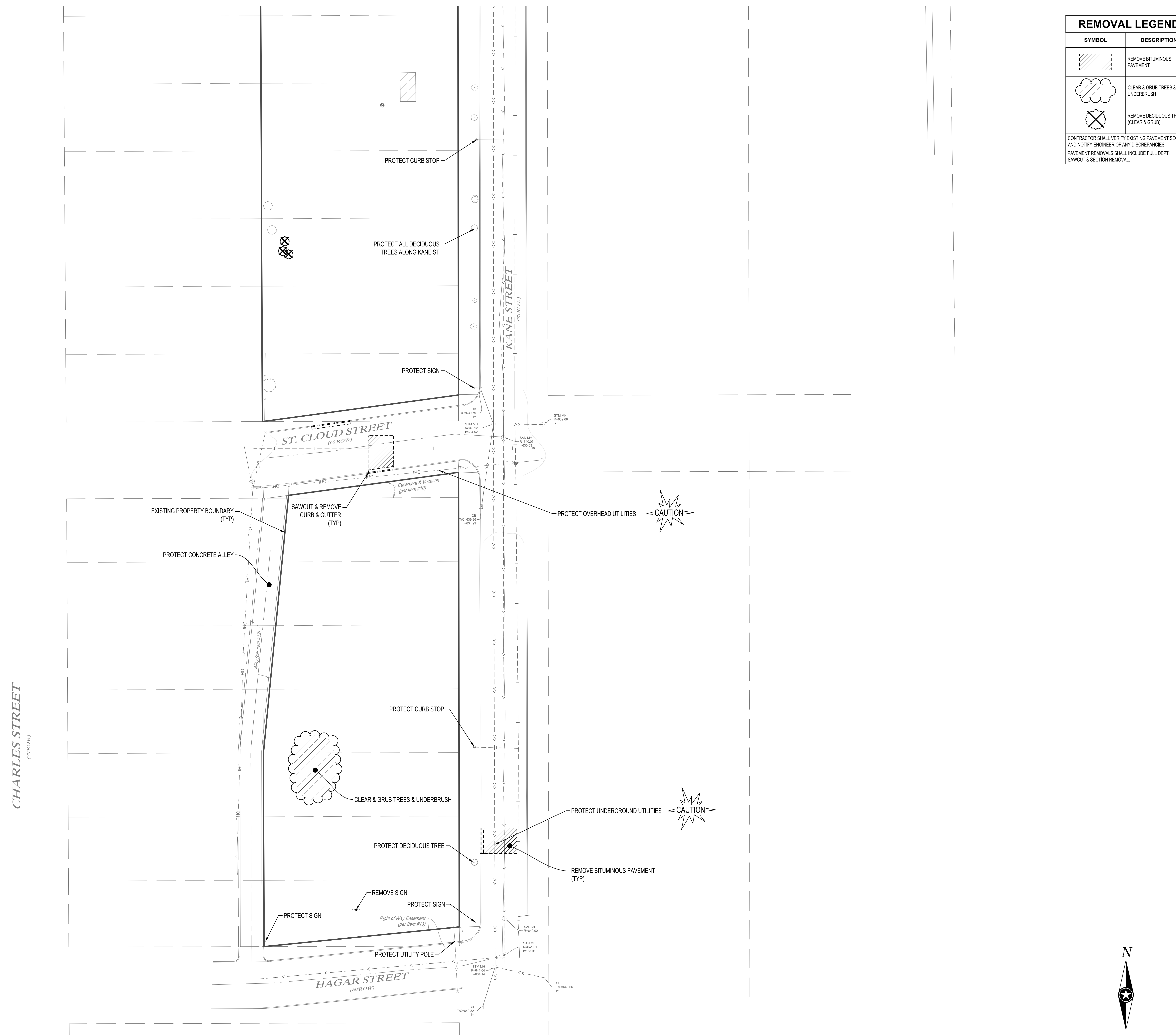
EXISTING SITE &
REMOVAL PLAN

C2-10

PRELIMINARY NOT FOR CONSTRUCTION

REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	CLEAR & GRUB TREES & UNDERBRUSH
	REMOVE DECIDUOUS TREE (CLEAR & GRUB)

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT & SECTION REMOVAL.





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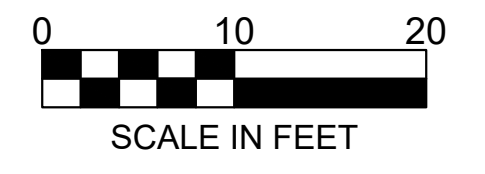
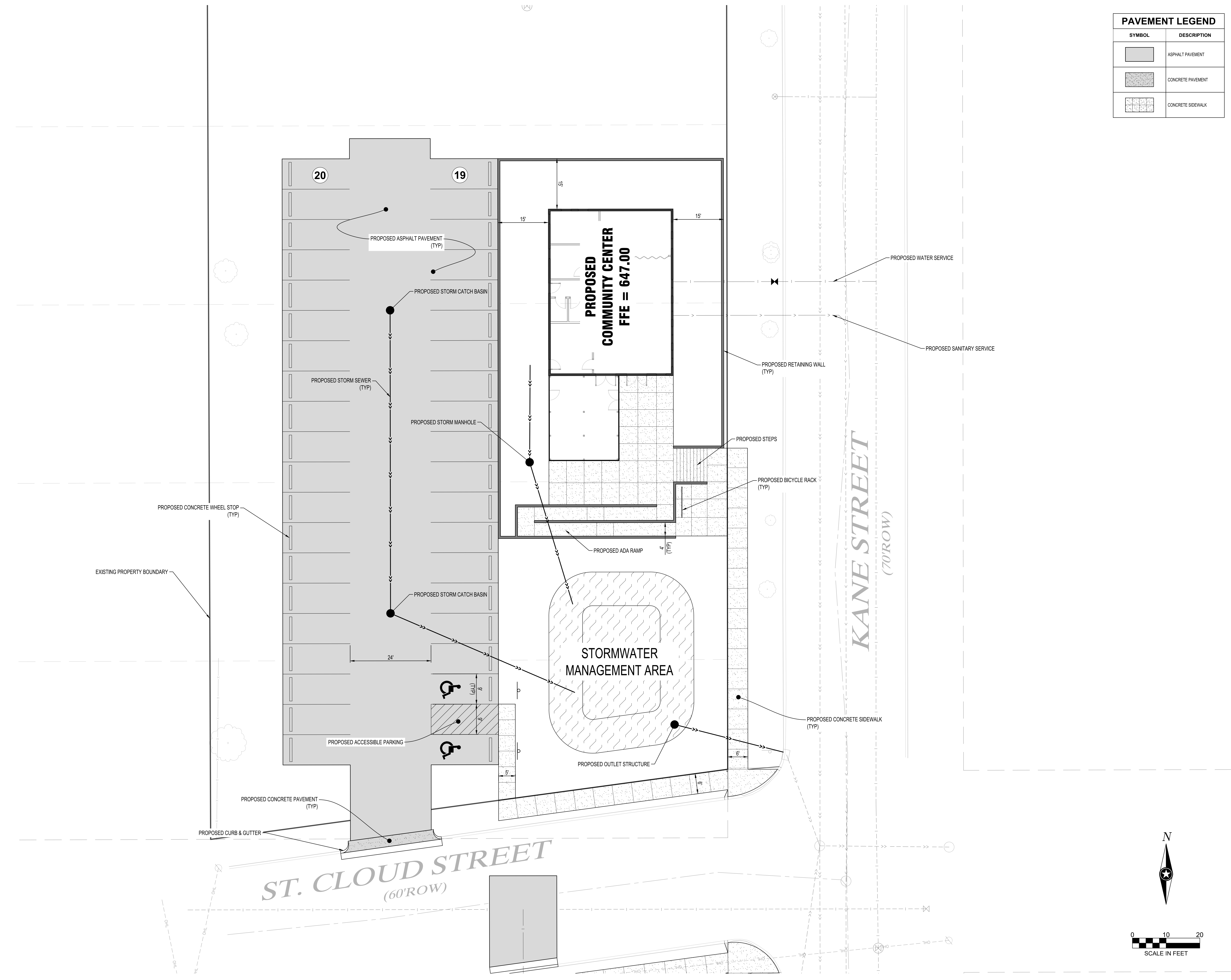
**GARDEN TERRACE
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COMMUNITY CENTER**

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CHECKED BY KBR

PROPOSED SITE &
UTILITY PLAN -
COMMUNITY CENTER

C3-11

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK



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OVERALL GRADING PLAN

C4-10

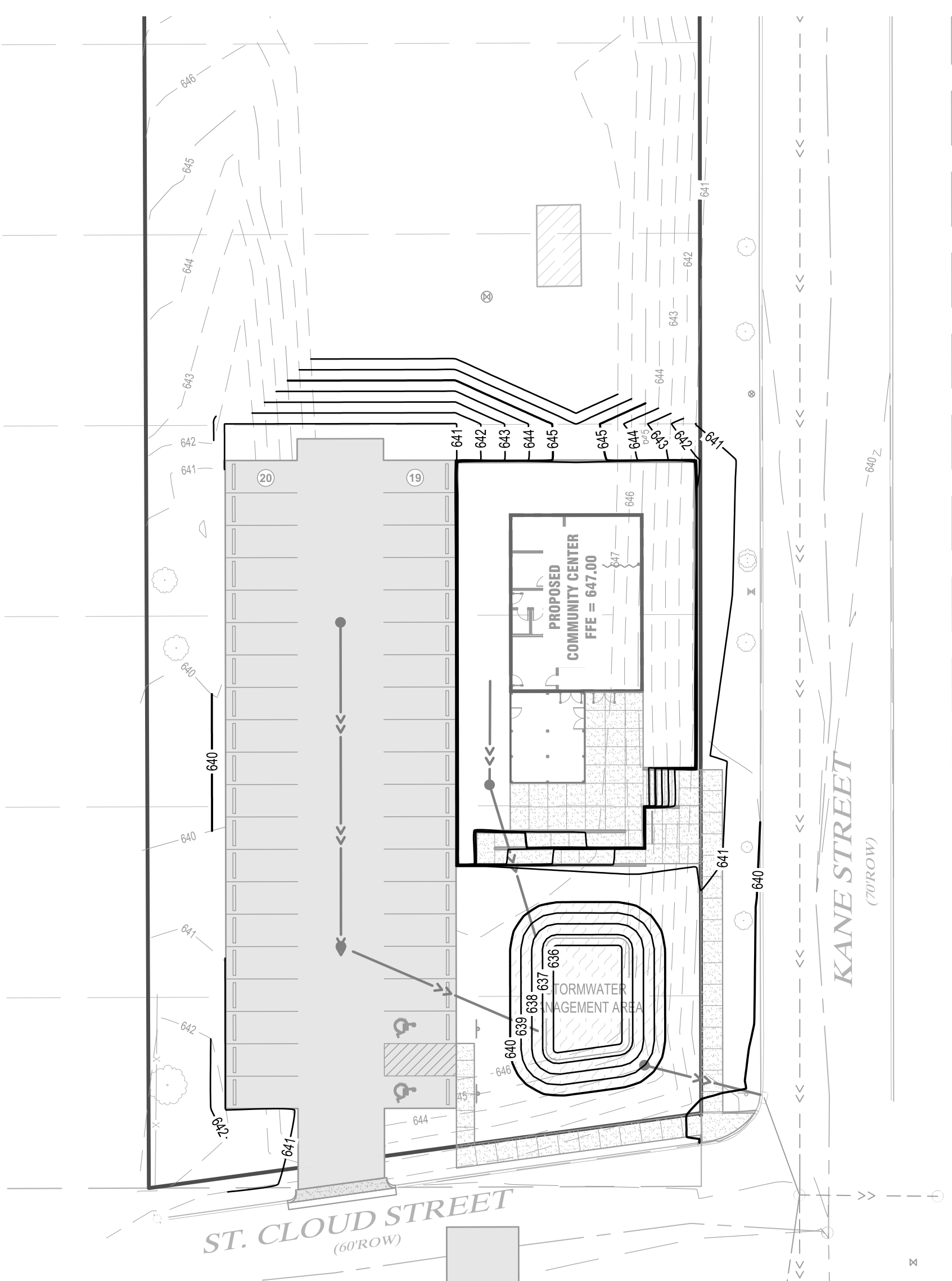
GRADING LEGEND	
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)

GENERAL GRADING NOTES

EXCAVATED MATERIAL SHALL BE COMPACTED TO 100% PROCTOR DENSITY FOR THE UPPER 3' AND 95% PROCTOR DENSITY BELOW 3' IN ALL BUILDING PADS. REFER TO THE QUALITY COMPACTION METHOD IN ALL OTHER AREAS.

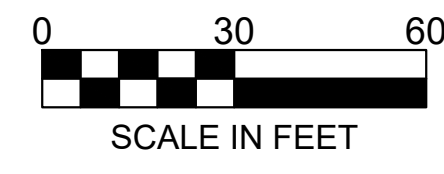
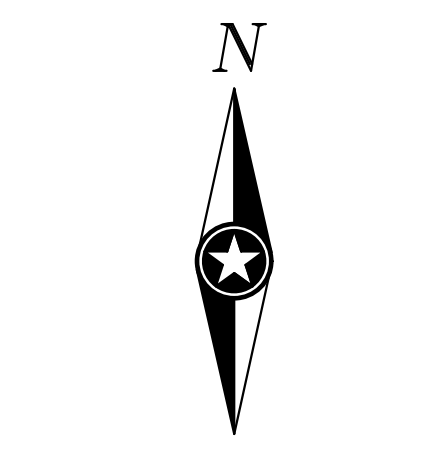
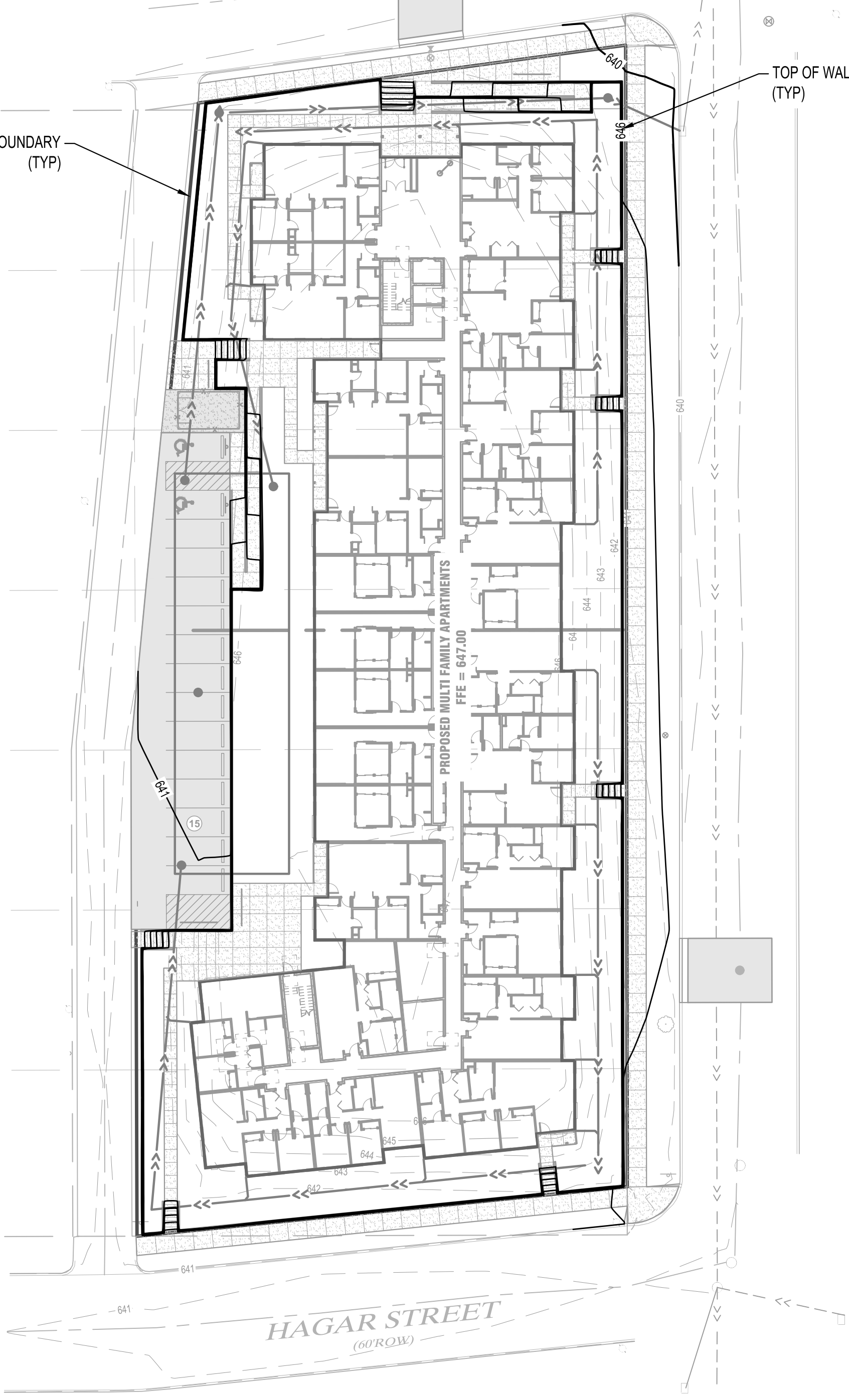
PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED.

CHARLES STREET
(PROPOSED)



EXISTING PROPERTY BOUNDARY (TYP)

TOP OF WALL ELEVATION (TYP)



PRELIMINARY NOT FOR CONSTRUCTION



**Garden Terrace -
Multifamily Apartments
& Community Center**

733 Kane Street
La Crosse, WI 54603

Owner
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 17-19647

ISSUED FOR:
60% CONSTRUCTION DOCUMENT
PROGRESS SET 4/20/2018

REVISION FOR:
NO. DESCRIPTION DATE

**GARDEN TERRACE
MULTIFAMILY APARTMENTS &
COMMUNITY CENTER**

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CHECKED BY KBR

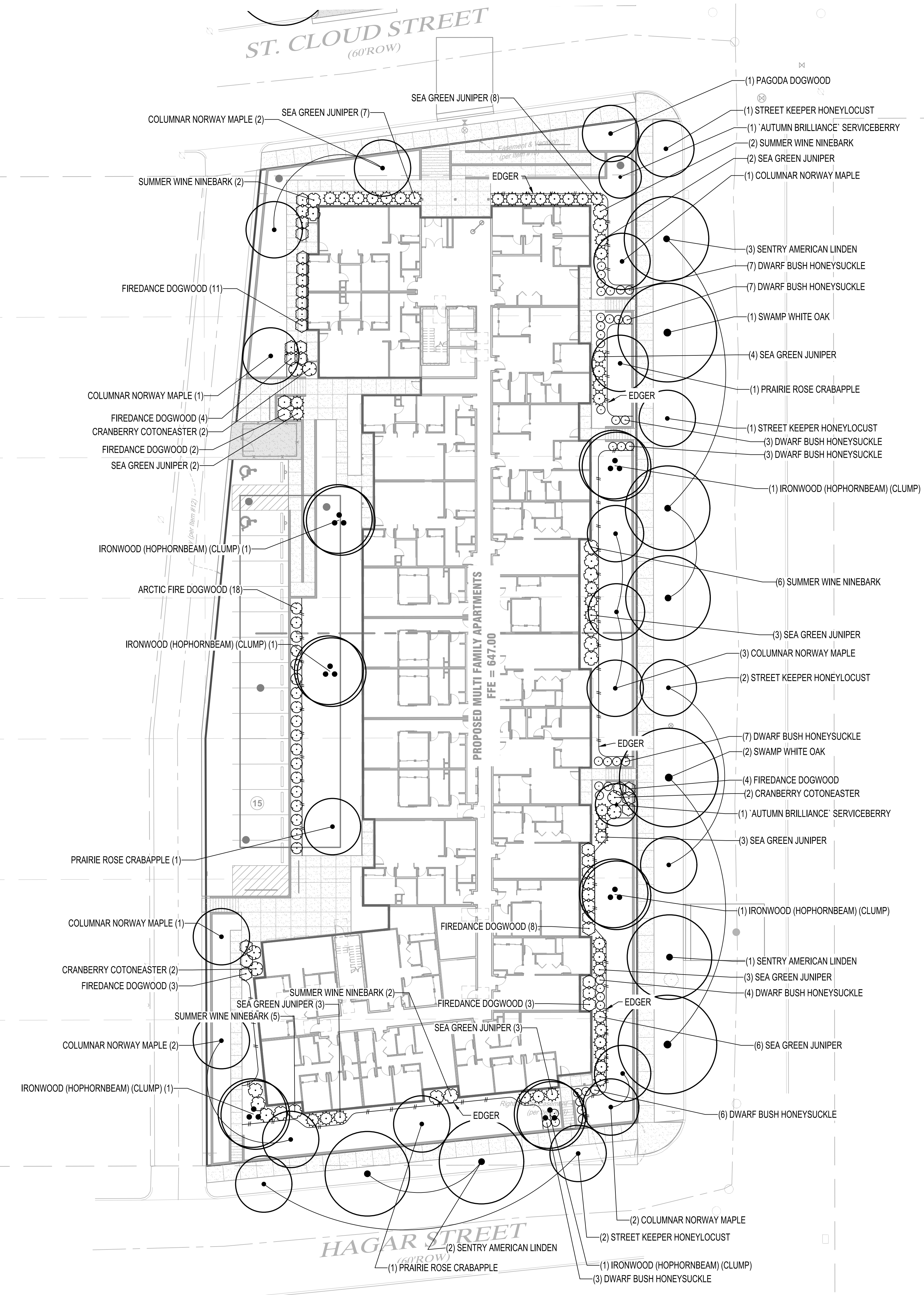
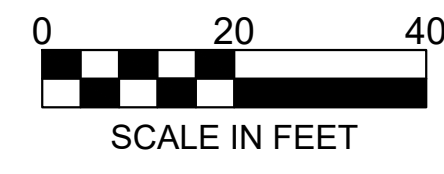
PLANTING PLAN - MULTI
FAMILY APARTMENTS

C5-10

PRELIMINARY NOT FOR CONSTRUCTION

PLANT SCHEDULE

OVERSTORY	QTY	APT.	COMM CTR.	COMMON NAME	SIZE	ROOT	NOTE
●	13	12	1	Columnar Norway Maple Acer platanoides 'Columnare'	3" cal. DBH	B & B	
●	11	6	5	Sentry American Linden Tilia americana 'Sentry'	2-1/2" Cal	B & B	
●	9	6	3	Street Keeper Honeylocust Gleditsia triacanthos 'Draves'	2-1/2" Cal	B & B	
●	7	3	4	Swamp White Oak Quercus bicolor	2-1/2" Cal	B & B	
UNDERSTORY	QTY	APT.	COMM CTR.	COMMON NAME	SIZE	ROOT	NOTE
●●●	11	6	5	Ironwood (Hophornbeam) (clump) Ostrya virginiana	8" Ht	B & B	Clump
●	1	1		Pagoda Dogwood Cornus alternifolia	1-1/2" Cal	B & B	Single-trunk
●	7	3	4	Prairie Rose Crabapple Malus x 'Prairie Rose'	1-1/2" Cal	B & B	
●	6	2	4	'Autumn Brilliance' Serviceberry Amelanchier x grandiflora 'Autumn Brilliance'	2" Cal. DBH	B & B	
CON.SHRUBS	QTY	APT.	COMM CTR.	COMMON NAME	SIZE	ROOT	NOTE
☼	64	44	20	Sea Green Juniper Juniperus chinensis 'Sea Green'	24" Ht.	Cont	
DEC.SHRUBS	QTY	APT.	COMM CTR.	COMMON NAME	SIZE	ROOT	NOTE
●	18	18		Arctic Fire Dogwood Cornus stolonifera 'Arctic Fire'	24" Ht.	Cont	
●	17	6	11	Cranberry Cotoneaster Cotoneaster apiculatus	16" Ht	Cont	
●	59	40	19	Dwarf Bush Honeysuckle Diervilla lonicera	24" Ht.	Cont	
●	50	35	15	Firedance Dogwood Cornus sericea 'Balladeline'	24" Ht.	Cont	
●	21	17	4	Summer Wine Ninesbark Physocarpus opulifolius 'Summer Wine'	24" Ht.	Cont	





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Owner
Impact Seven
2961 Decker Drive
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PROJECT NUMBER 17-19647

ISSUED FOR:
60% CONSTRUCTION DOCUMENT
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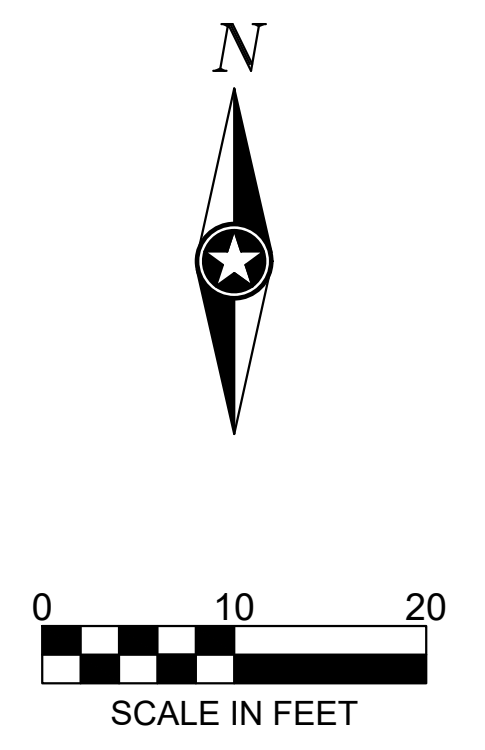
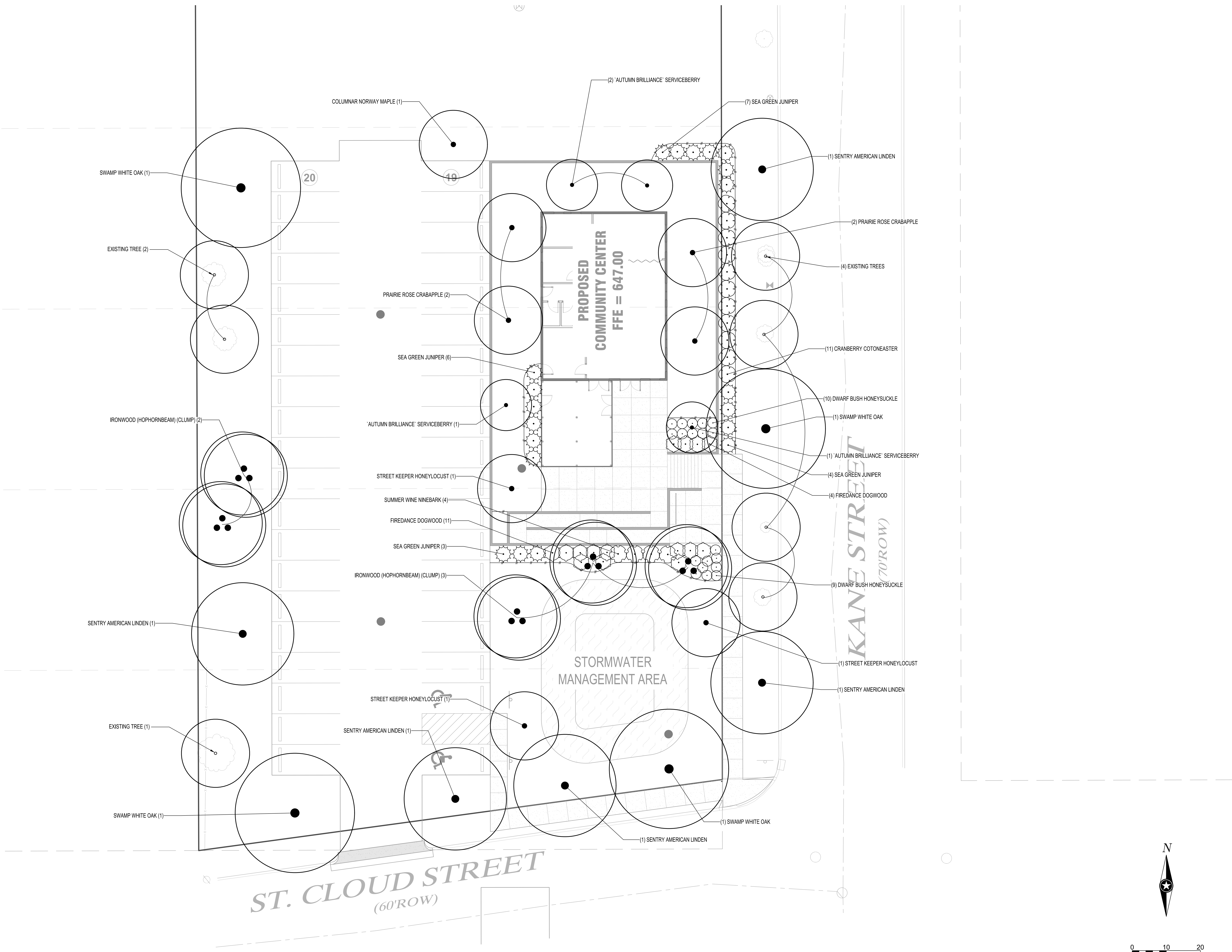
**GARDEN TERRACE
MULTIFAMILY APARTMENTS &
COMMUNITY CENTER**

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CHECKED BY KBR

PLANTING PLAN -
COMMUNITY CENTER

C5-11

PRELIMINARY NOT FOR CONSTRUCTION





**Garden Terrace -
Multifamily Apartments
& Community Center**

733 Kane Street
La Crosse, WI 54603

Owner
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 17-19647

ISSUED FOR:
60% CONSTRUCTION DOCUMENT
PROGRESS SET 4/20/2018

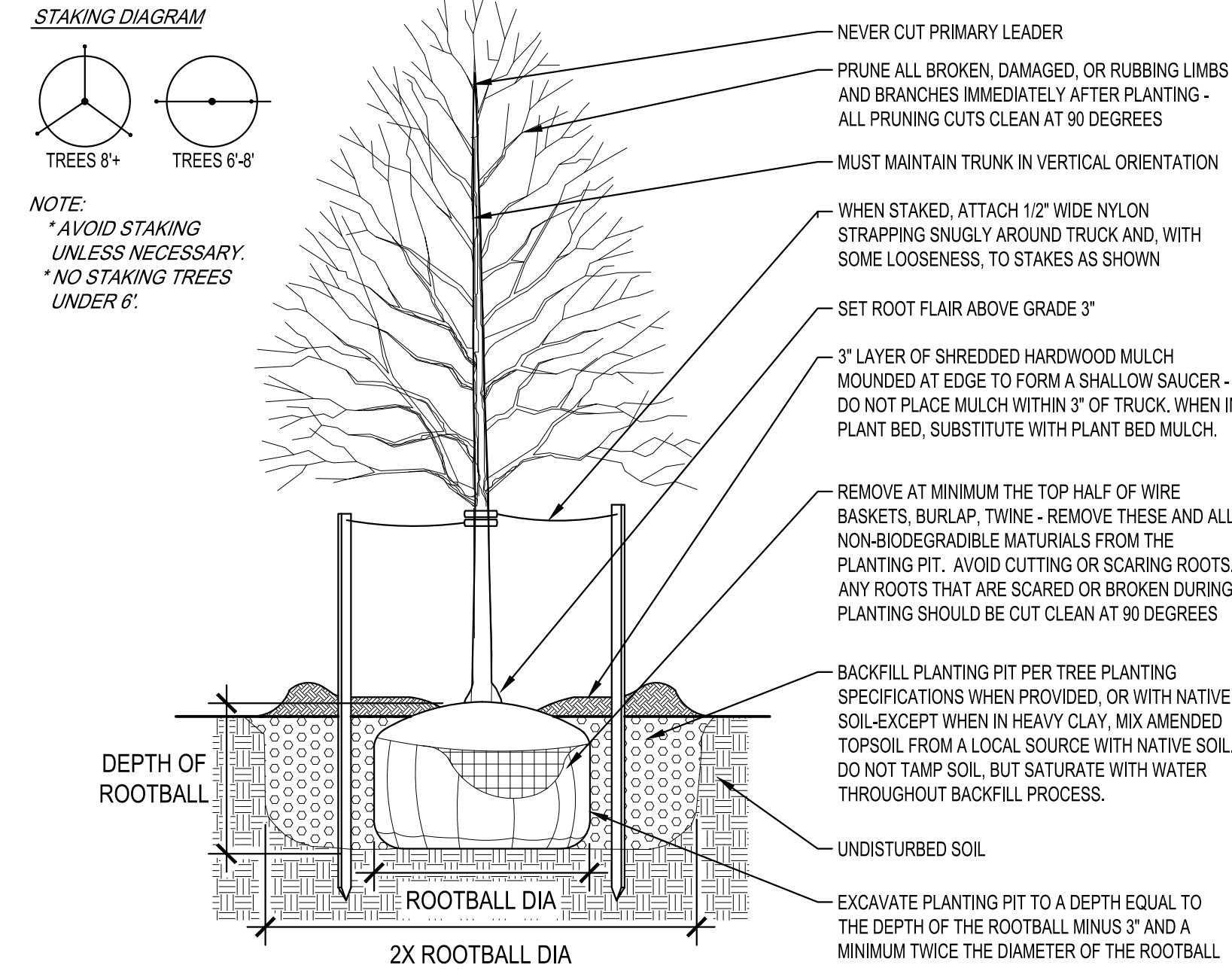
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NO. DESCRIPTION DATE

**GARDEN TERRACE
MULTIFAMILY APARTMENTS &
COMMUNITY CENTER**

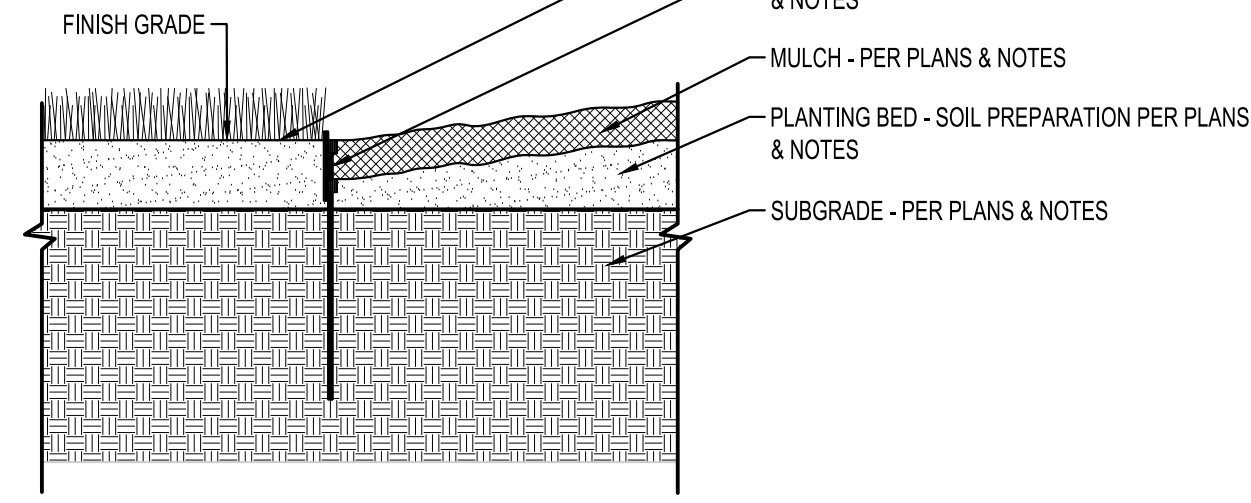
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NOTES & DETAILS

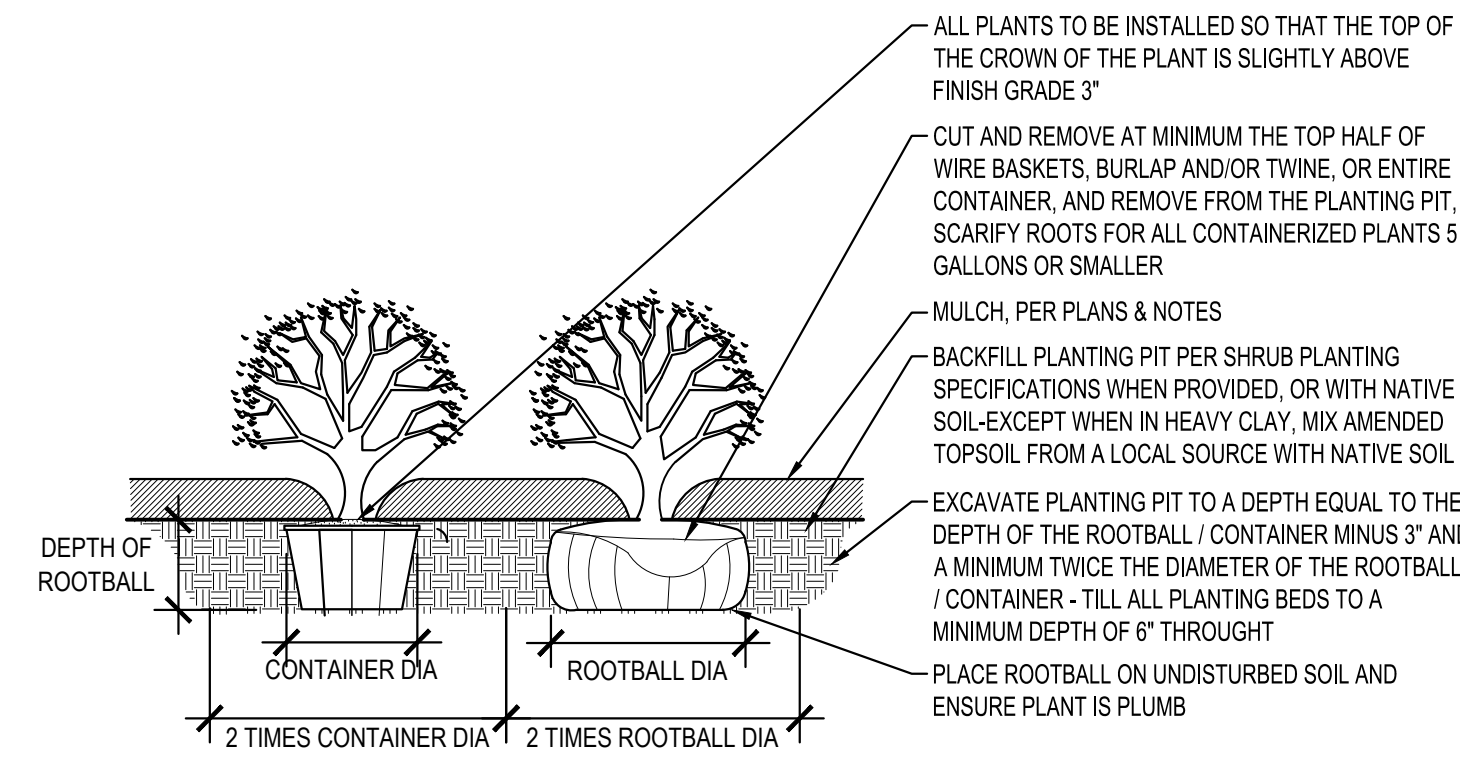
PRELIMINARY NOT FOR CONSTRUCTION



TREE PLANTING DETAIL
NO SCALE



LANDSCAPE EDGING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

GENERAL PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- LAWN AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL BE COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- REFER TO PLANTING DETAILS PLAN FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES. REFER TO SPECIFICATIONS FOR MIX TYPE.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- OWNER RESERVES THE RIGHT TO REVISE QUANTITIES TO SUIT BUDGET LIMITATIONS. CONTRACTOR'S UNIT BID PRICES SHALL PREVAIL FOR ANY CHANGES IN QUANTITIES.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, WASHINGTON, D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES. ALL TREES SHALL HAVE A STRONG CENTRAL LEADER.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING BED EDGING - USE 18" x 4" METAL EDGING IN ALL AREAS WHERE PLANTING BED MEETS LAWN AREAS OR WHERE INDICATED. USE 12" METAL SPIKES AS INSTRUCTED BY MANUFACTURER.
- PROVIDE SHREDDED HARDWOOD MULCH, NATURAL COLOR, SURROUNDING ALL PROPOSED TREES TO A 3-INCH MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC, IF LOCATED WITHIN A PLANT BED, SUBSTITUTE THIS MULCH WITH THE MULCH CALLED FOR WITHIN THAT PLANT BED. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- PROVIDE SHREDDED HARDWOOD MULCH, NATURAL COLOR, IN ALL PLANTING BEDS 3-INCH MINIMUM DEPTH. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
- ALL TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE SOODED. SOD SECTIONS SHALL BE NO SMALLER THAN 24" X 36" STAKED IN PLACE WITH BIODEGRADABLE SOD STAKES WHEN SLOPE IS STEEPER THAN 5:1 OR WHEN CONDITIONS REQUIRE.
- FOR PLANT, SHRUB, AND TREE LOCATIONS, CONTRACTOR IS PERMITTED TO USE DISCRETION AS NECESSARY TO AVOID DRIVEWAYS, UTILITIES, OR OTHER CONFLICTS. THE TOTAL NUMBER OF PLANTS, INCLUDING SHRUBS AND TREES SHALL MEET CITY CODE.
- INDICATED QUANTITIES ARE ESTIMATES AND SHOULD BE CONFIRMED BY THE CONTRACTOR/BIDDER.

**Garden Terrace -
Multifamily Apartments**

733 Kane Street
La Crosse, WI 54603
Impact La Crosse, LLC
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 162624

ISSUED FOR:
CITY REVIEW SET 04-27-218

REVISION FOR:
NO. DESCRIPTION DATE

**CITY REVIEW SET - NOT
FOR CONSTRUCTION**

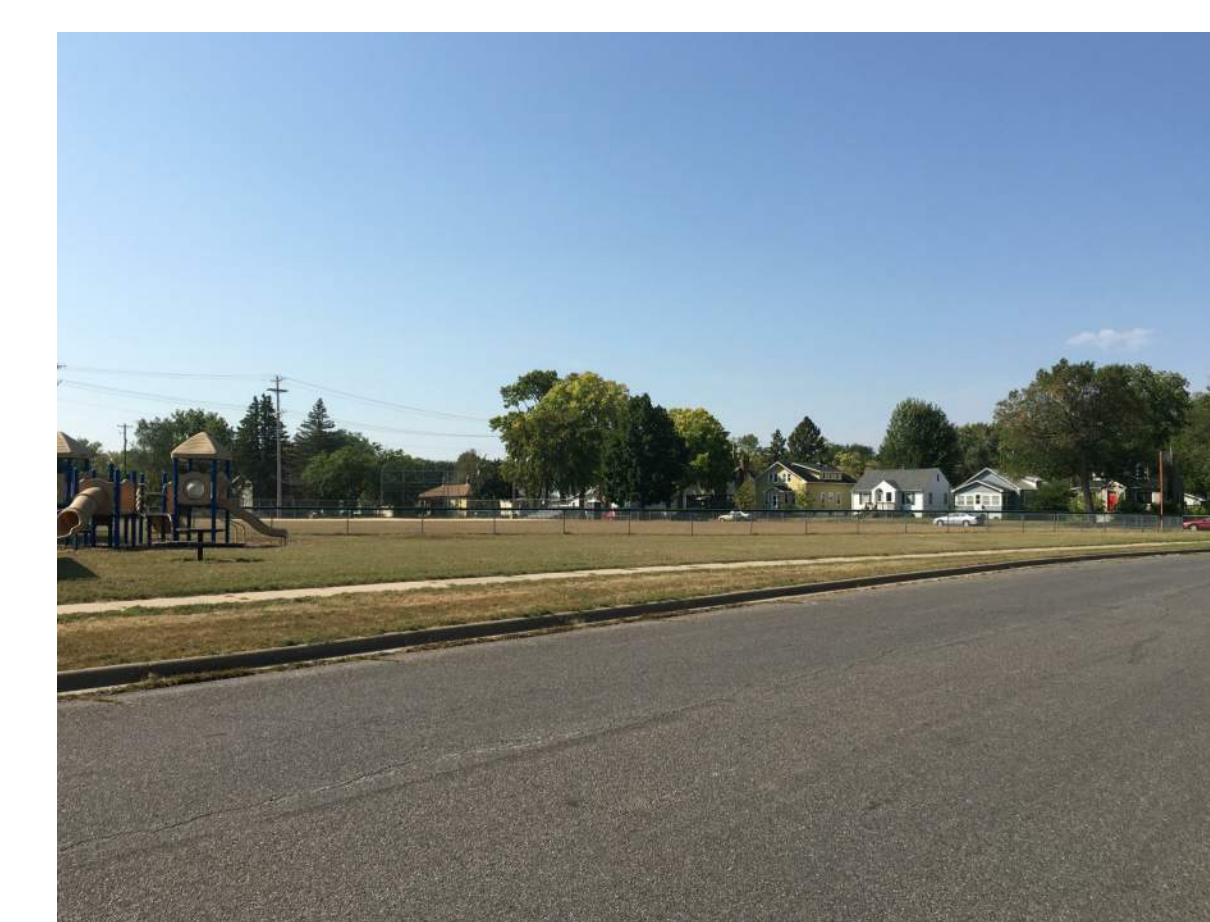
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OVERALL SITE PLAN

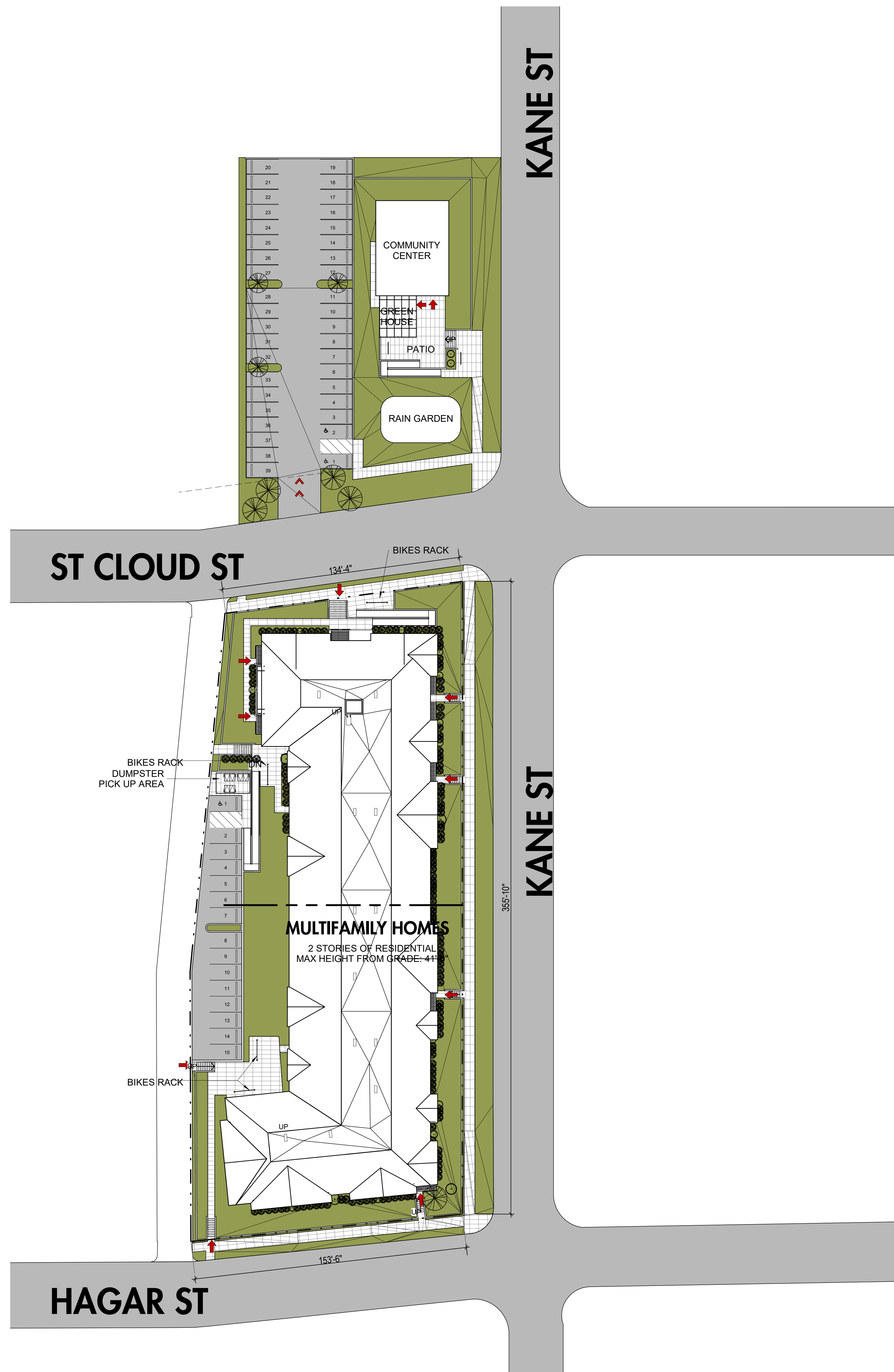
A002



VICINITY PLAN



SITE PHOTOS



1 OVERALL SITE PLAN
SCALE: 1" = 30'-0"



PLAN NORTH

**Garden Terrace -
Multifamily Apartments**

733 Kane Street
La Crosse, WI 54603
Impact La Crosse, LLC
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 162624

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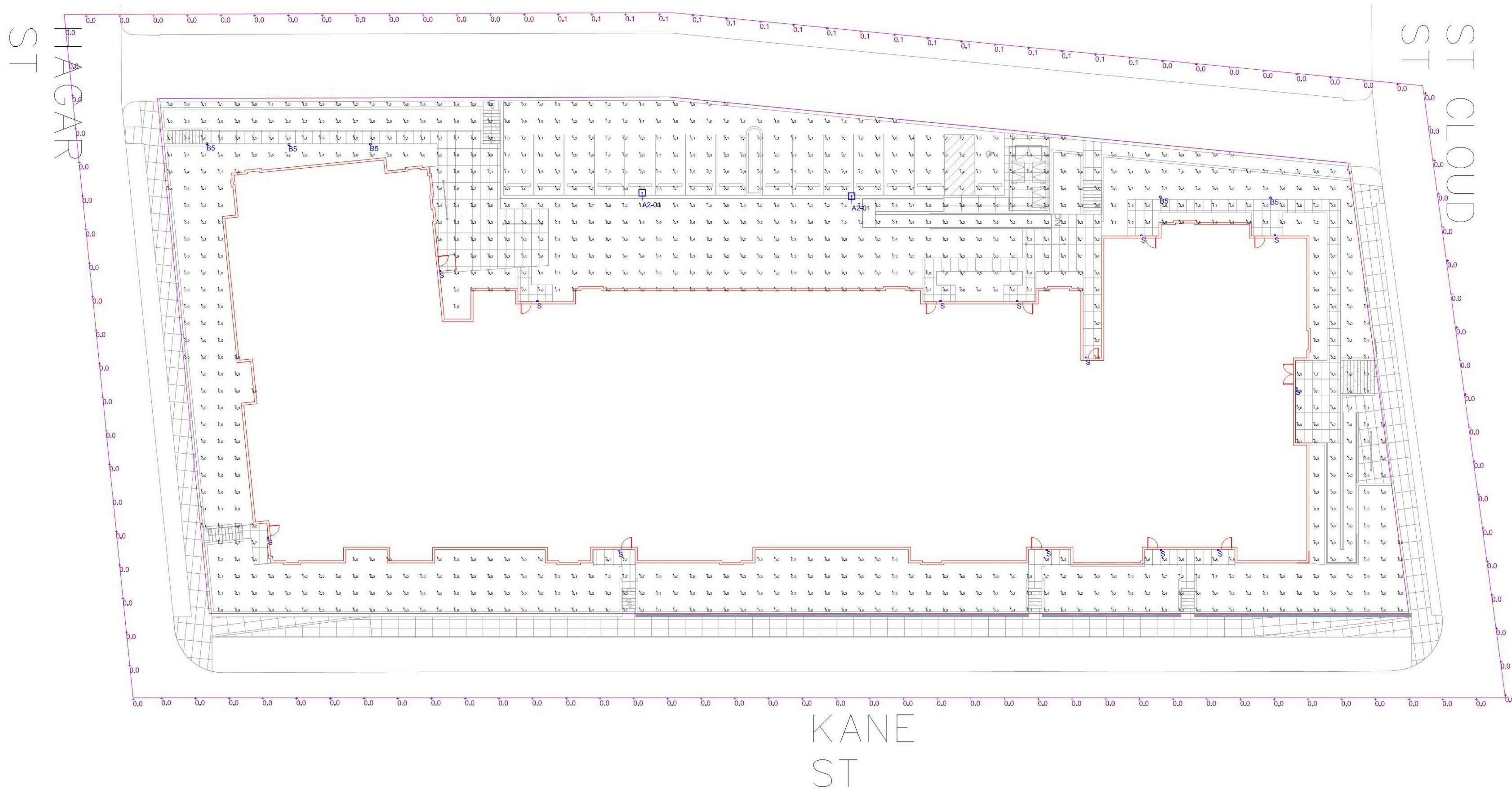
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FOR CONSTRUCTION**

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**MULTIFAMILY
APARTMENTS -
LIGHTING PLAN**



Luminaire Schedule							
Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens
2	A2-01	SINGLE	0.980	McGRAW-EDISON + GLEON-AF-01-L-LED-E1-T2	59	118	6116
5	B5	SINGLE	0.900	PWY-EDG-5M-P4-02-E-JUL-xxK	21,3	106,5	1779
13	S	SINGLE	0.900	KUZCO + EW7024-GH	28,7	373,1	1571

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
25' FT OFF PROP LINE	ILLuminance	Fc	0.02	0.1	0.0	N.A.	N.A.
SITE	ILLuminance	Fc	0.83	7.9	0.0	N.A.	N.A.
PARKING AREA	ILLuminance	Fc	1,72	2,8	0,6	2,87	4,67

**Garden Terrace -
Community Center**

800 Kane Street
La Crosse, WI
Impact La Crosse, LLC
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 162624.00

ISSUED FOR: CITY REVIEW SET DATE: 04-27-2018

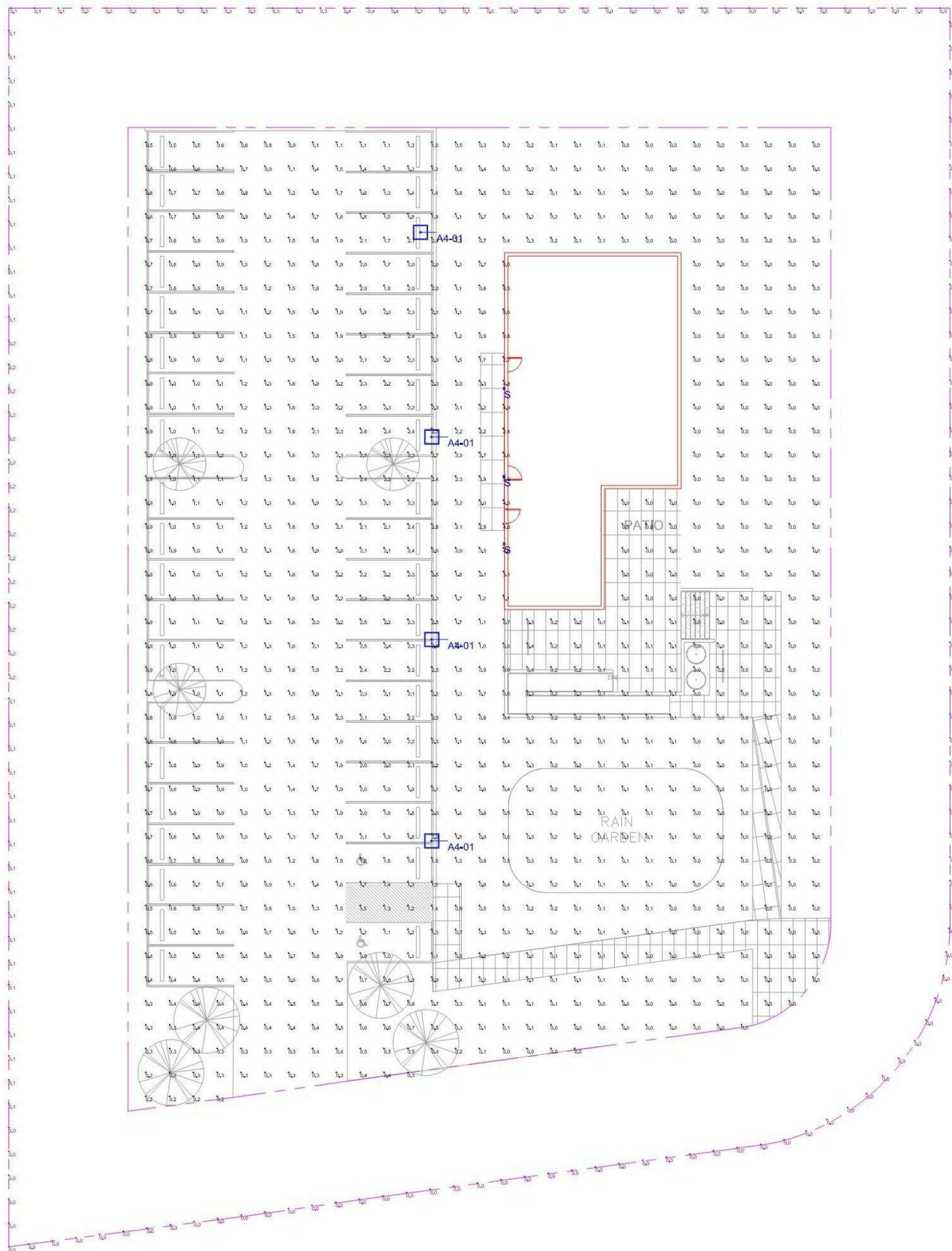
REVISION FOR: NO. DESCRIPTION DATE

**CITY REVIEW SET - NOT
FOR CONSTRUCTION**

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**COMMUNITY
CENTER - LIGHTING
PLAN**

A004B



Luminaire Schedule							
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	Total Watts
4	A4-01	SINGLE	6270	59	0.980	McGRAW-EDISON + GLEON-AF-01-LED-E1-T4FT(20'POLE 3' BASE	236
3	S	SINGLE	1571	28.7	0.900	KUZCO + EW7024-GH	86,10001

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
25 FT OFF PROP LINE	Illuminance	Fc	0.06	0.4	0.0	N.A.	N.A.
SITE	Illuminance	Fc	0.81	5.0	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.44	2.7	0.4	3.60	6.75

McGraw-Edison

DESCRIPTION

The Galeon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and ULcUL Listed for wet locations.

Garden Terrace	Type
Type A4-01/A2-01 GLEON-AF-01-LED-E1-T4FT-STD FINISH-WM	
Comments	Date
Prepared by	

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy wall, die-cast aluminum end caps enclose heat sinks. A unique, patented interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 5A/7.5A 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galeon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) drive option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 300mA and 1200mA drive currents (nominal).

Mounting
STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic.RAL and custom color matches available.

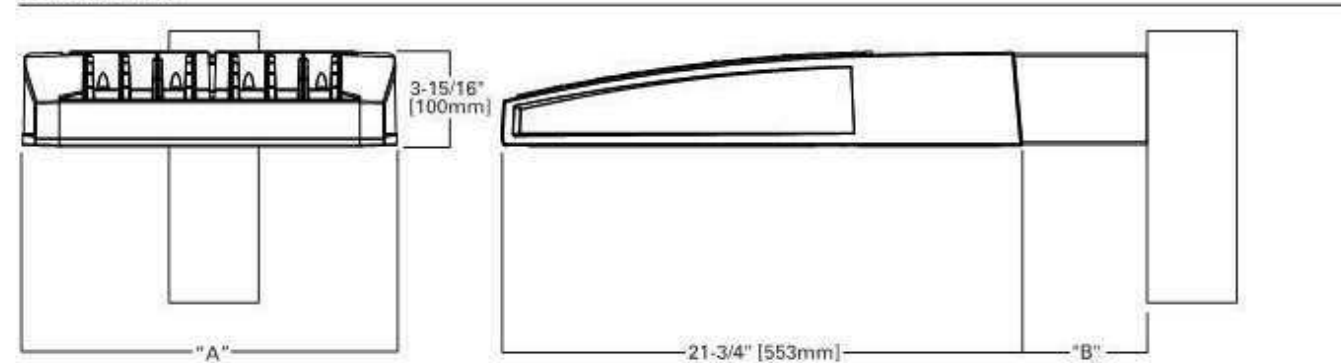
Warranty
Five-year warranty.



GLEON LED

1-10 Light Squares
Solid State LED
AREA/SITE LUMINAIRE

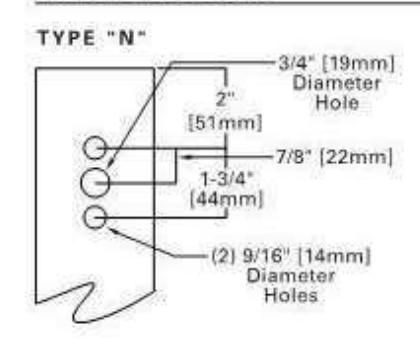
DIMENSIONS



DIMENSION DATA

Number of Light Squares	7/8" Width (24mm)	1 1/8" Standard Arm Length (178mm)	1 3/8" Optional Arm Length (264mm)	Weight with Arm (lbs.)	EPA with Arm (Sq. Ft.)
1-4	15 1/2" (394mm)	13" (330mm)	13" (330mm)	23 (10.5 kgs.)	0.36
5-6	21 5/8" (549mm)	17" (430mm)	17" (430mm)	44 (20.0 kgs.)	1.00
7-8	27 5/8" (702mm)	17" (430mm)	17" (430mm)	54 (24.5 kgs.)	1.07
9-10	33 3/4" (857mm)	17" (430mm)	17" (430mm)	63 (28.6 kgs.)	1.12

DRILLING PATTERN



NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° in a single pole. 2. EPA calculated with optional arm length.



www.designlights.org



CERTIFICATION DATA
ULcUL Wet Location Listed
803 3003
LWV/LMB0 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

TD600020EN
2016-09-26 15:31:55

ORDERING INFORMATION

Product Family	Light Engine	Number of Light Squares*	Lamp Type	Voltage	Distribution	Color [SPECIFY]	Mounting
GLEON-Galley	AP-1A Drive Current	01-1 02-2 03-3 04-4 05-5 06-6 07-7 08-8 09-9 10-10	LED-Solid State Light Emitting Diodes	ET-120-277V 247-277V 480-480V*†	T2-Type II T2B-Type II Roadway T3-Type II T3B-Type II Roadway T4FT-Type IV Forward Throw T4FT-Type IV Forward Throw T5-Type V Narrow T5M-Type V Square Medium T5W-Type V Square Wide SL2-Type II w/Spill Control SL3-Type II w/Spill Control SL4-Type IV w/Spill Control SLB-90° Spill Light Eliminator Left SLR-90° Spill Light Eliminator Right AFL-Automotive Frontline	AP-Grey BZ-Bronze BK-Black OP-Optic Platinum GM-Graphite Metallic WW-White	IBank-Arm for Round or Square Pole EA-Extended Arm MA-Mass Arm Adapter* WM-Vault Mount CM-Curtain Mount Arm (Standard Length)* GM-Quick Mount Arm (Extended Length)*

Options (Add as Suffix)

7036-70 CH 3000K**
8036-80 CH 3000K**
7056-70 CH 5000K**
7066-70 CH 6000K**
600-Drive Current Factory Set to Nominal 600mA**
900-Drive Current Factory Set to Nominal 900mA**
1200-Drive Current Factory Set to Nominal 1200mA**
F-Single Fuse (120, 277 or 347V) Must Specify Voltage
FF-Double Fuse (208, 240 or 480V) Must Specify Voltage)
2L-Line Circuitry
DIM-External 0-10V Dimming Leads
Pulsonic Type Photocell (120, 208, 240 or 277V. Must Specify Voltage)
PER7-NEMA 7 Pole Twoflick Photocell Receptacle
R-NEMA Twoflick Photocell Receptacle
AHD180-After Hours Dim, 18 Hours**
AHD240-After Hours Dim, 24 Hours**
AHD360-After Hours Dim, 36 Hours**
AHD540-After Hours Dim, 54 Hours**
AHD720-After Hours Dim, 72 Hours**
ME-DIM-L80-Motion Sensor for Dimming Operation, Maximum 8' Mounting Height**
ME-DIM-L20-Motion Sensor for Dimming Operation, 8' - 20' Mounting Height**
ME-DIM-L40-Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range)**
ME-X-L80-Bi-Level Motion Sensor, Maximum 8' Mounting Height**
ME-X-L40-Bi-Level Motion Sensor, 8' - 20' Mounting Height**
ME-X-L20-Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range)**
MS-L80-Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height**
MS-L40-Motion Sensor for ON/OFF Operation, 8' - 20' Mounting Height**
MS-L20-Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range)**
LWR-L-LuminaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height**
LWR-L-LuminaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height**
LMO-Optics Rotated 90° Left
RMO-Optics Rotated 90° Right
MT-Factory Installed Mesh Top
TH-Tool-less Door Hardware
LDF-Light Square Trim Plate Painted to Match Housing**
HSA-Factory Installed House Side Shade**
CE-CE Marking**

Accessories (Order Separately)

OA-RA1016-NEMA Photocell Multi Tap - 105-285V
OA-RA1027-NEMA Photocell - 480V
OA-RA1201-NEMA Photocell - 347V
OA-RA1034-Photocell Shorting Cap
OA-RA1014-120V Photocell
MA1020-10V Surge Module Replacement
MA1036-XX-Single Tenon Adapter for 2-3/8" O.D. Tenon
MA1037-XX-Single Tenon Adapter for 2-3/8" O.D. Tenon
MA1180-XX-Single Tenon Adapter for 2-3/8" O.D. Tenon
MA1181-XX-Single Tenon Adapter for 2-3/8" O.D. Tenon
MA1182-XX-Single Tenon Adapter for 3-1/2" O.D. Tenon
MA1183-XX-Single Tenon Adapter for 3-1/2" O.D. Tenon
MA1184-XX-Single Tenon Adapter for 3-1/2" O.D. Tenon
MA1185-XX-Single Tenon Adapter for 3-1/2" O.D. Tenon
FSB-100-Wireless Configuration Tool for Occupancy Sensor**
GLEON-MT-Field Installed Mesh Top for 1-4 Light Squares
GLEON-MT2-Field Installed Mesh Top for 5-10 Light Squares
GLEON-MT3-Field Installed Mesh Top for 7-8 Light Squares
GLEON-DM-Quick Mount Arm Kit
GLEON-UM-Quick Mount Arm Kit
LH/HSS-Field Installed House Side Shade**

NOTES:
1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WPFS3003EN for additional support information.
2. DesignLights Consortium™ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
3. Standard 480V CCT and minimum 90 CRI.
4. Not compatible with extended arm (EA) or extended quick mount arm (QMA).
5. Requires the use of an internal line-to-line transformer when combined with sensor option. Not available in combination with the HA high ambient and sensor option or 1A.
6. Only for use with 480V Wye systems. For NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
7. May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
8. Factory installed.
9. Maximum 8 light squares.
10. Maximum eight squares.
11. Extended lead times apply. Use detailed EB files for 3000K, 4000K and 6000K when performing layouts. These files are published on the Galeon luminaire product page on this website.
12. Extended lead times apply. Use detailed EB files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galeon luminaire product page on this website.
13. Lamps standard. See EB files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galeon luminaire product page on this website.
14. Not available with HA option.
15. In combination with ME, MS, X or MA-DIM is 347V or 480V. In AF-01 through AF-06 requires a large housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
16. Requires the use of F photocell or the PER7 or R photocell receptacle with photocell application. See After Hours Dim supplemental guide for additional information.
17. 0°C lumen maintenance derating factors for 6000K, 4000K and 3000K are available.
18. The FSB-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
19. Approximate 40' detection diameter at 20' mounting height.
20. Approximate 60' detection diameter at 40' mounting height.
21. Approximate 80' detection diameter at 60' mounting height.
22. Replace X with number of Light Squares operating in low output mode.
23. Luminaire orient sensors factory installed only mounting-recess components: RT-DM-1, SF-DM-1 and RT-DM-1 in appropriate quantities. See www.eaton.com/lighting for LuminaWatt application information.
24. Not available with house side shade (HSS).
25. Only for use with R/L, S/L, S/R and A/L applications. The Light Square trim plate is painted black when the HSS option is selected.
26. CE is not available with the LWR, MS, MS-X, MS-DIM, R or PER7 options. Available in 120-277V only.
27. CE is required for each Light Square.



Eaton
121 Highway 78 South
Parsippany, NJ 07054
P: 732-586-6800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

TD600020EN
2016-09-26 15:31:55

THE EDGE® PWY-EDG-2M
Pathway Luminaire - Type II Medium

Product Description
Double die-cast aluminum luminaire housing mounts directly to 4" (102mm) diameter pole without visible mounting hardware for clean appearance. Pole mounts to rugged die cast aluminum internal flange secured by (3) 3/8-16 anchor bolts (provided). Note: T45 Torx 3/8" socket required for head installation. Top mounted LEDs for superior optical performance and light control.

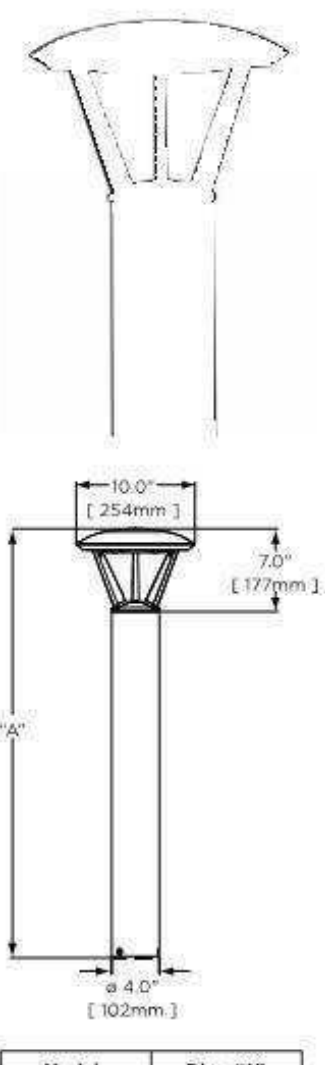
Performance Summary

- Utilizes BetaLED® Technology
- Patented NanoOptic® Product Technology
- Made in the U.S.A. of U.S. and imported parts
- CRI: Minimum 70 CRI
- CCT: 5700K (+/- 500K) Standard, 4000K (+/- 300K)
- Warranty: 10 years on luminaire, 10 years on Colorfast DeltaGuard® finish*
- EPA and Weight: Reference EPA and Weight spec sheet

Accessories

- Field Installed Accessories
- XA-XBPBRV
 - XA-XBPBBK
 - XA-XBPBRWH
 - XA-XBPBRBZ
 - XA-XBPBRP
 - Refer to Kit
 - *-User for replacement of existing bolts

Garden Terrace
Type B5
PWY-EDG-5M-P4-02-E-UL-xxK



Model	Min. Pole Dia.
Landscape-13	1 3/8" (35mm)
Landscape-16	1 7/8" (45mm)
Pathway	3" (76mm)
Pathway	4" (102mm)
Pedestrian	3" (76mm)

EW7024

SPECIFICATION SHEET

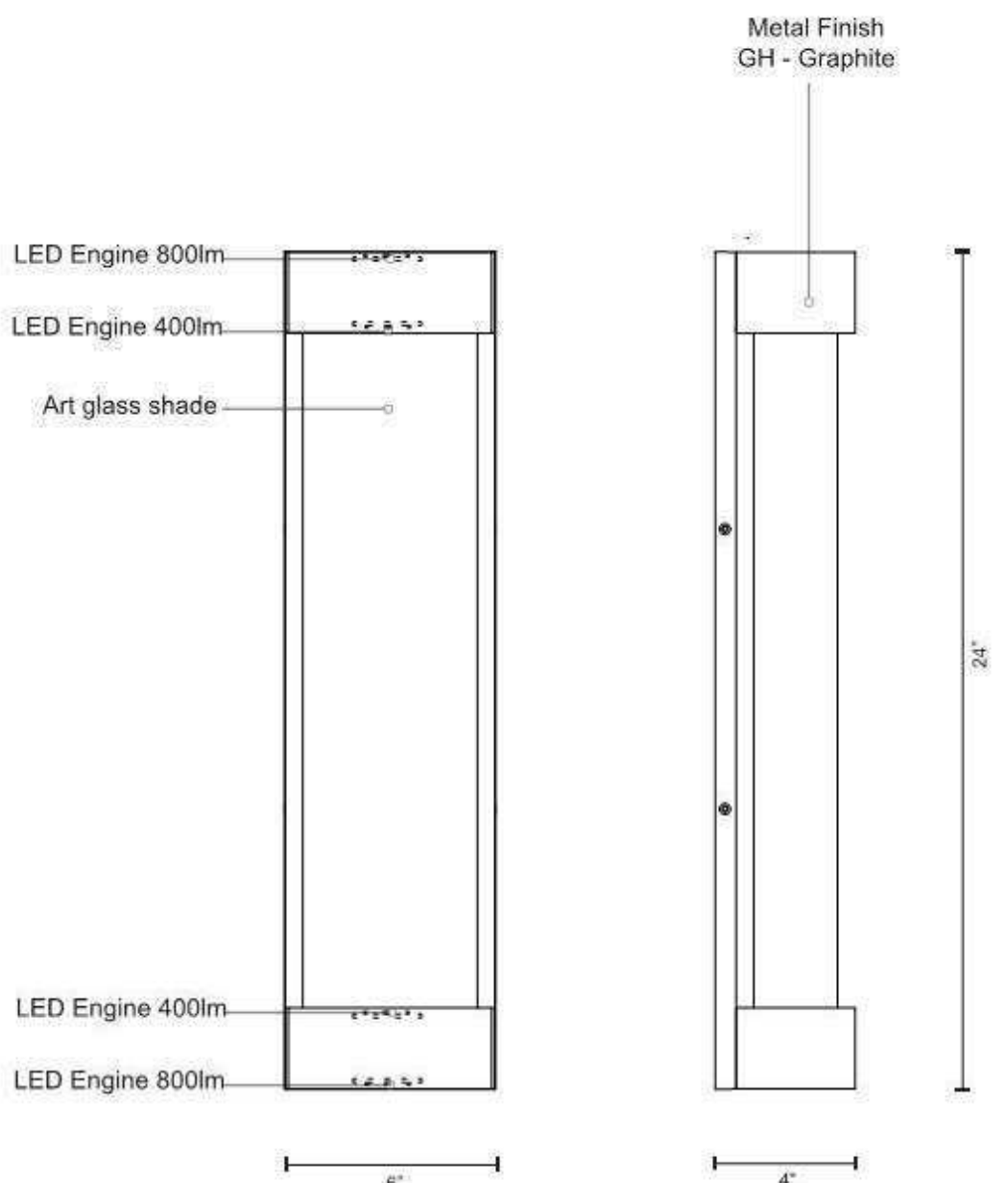
- Sophisticated LED technology meets modern outdoor wall sconces
- Formed aluminum with art glass shade, lit from both sides
 - Graphite metal finish
 - Dimmable with ELV dimmer (Not included)
 - Custom options available

Color Temp 3000K
CRI (Ra) >90
Dimming 100% - 10%
Rated Life 50,000 hours

Voltage	Watt	LED Lumens	Delivered Lumens	Finish(es)
120V	28W	2400lm		GH - Graphite

*Subject to testing confirmation

Garden Terrace
Type S
KUZCCO + EW7024-GH



EW7024-GH

* Available with P3, P4 and P8 mounting options.
* Available with P1, P3, P4 and P8 mounting options.
* See www.eaton.com/lighting for warranty terms.



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CHECKED BY: Checker

SCHEDULED FIXTURES

A005

**Garden Terrace -
Multifamily Apartments**

733 Kane Street
La Crosse, WI 54603
Impact La Crosse, LLC
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 162624

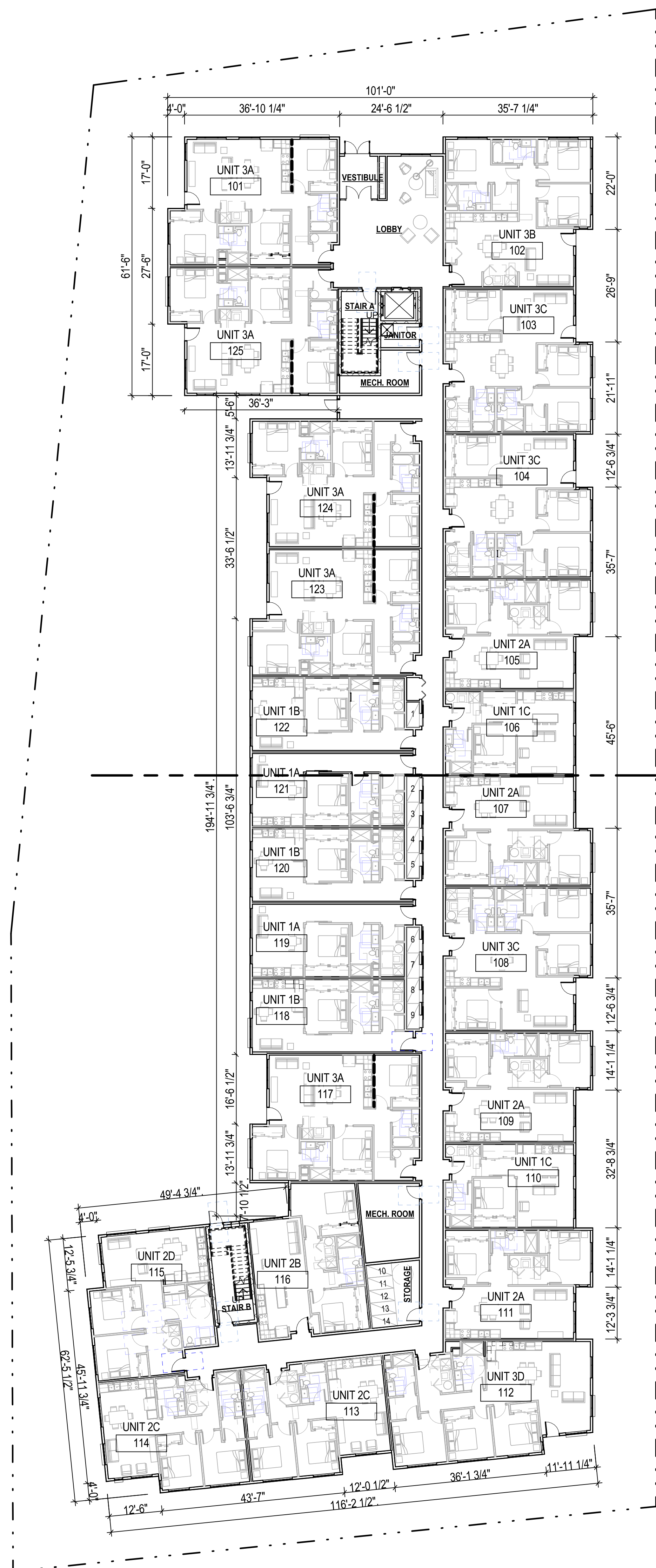
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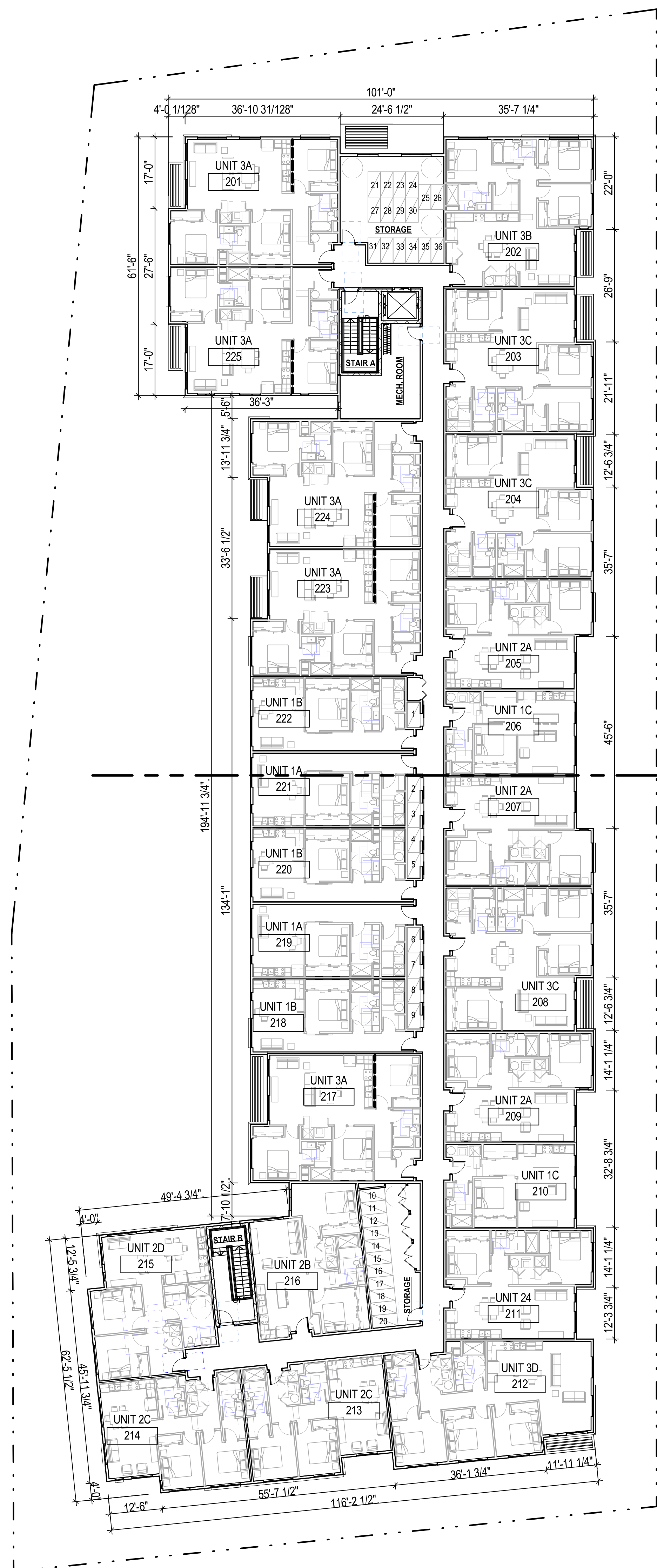
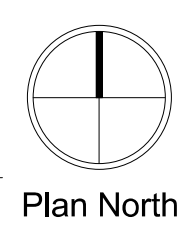
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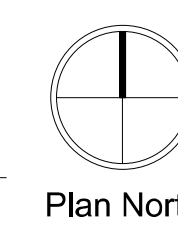
**MULTIFAMILY
APARTMENTS -
OVERALL FLOOR
PLANS**

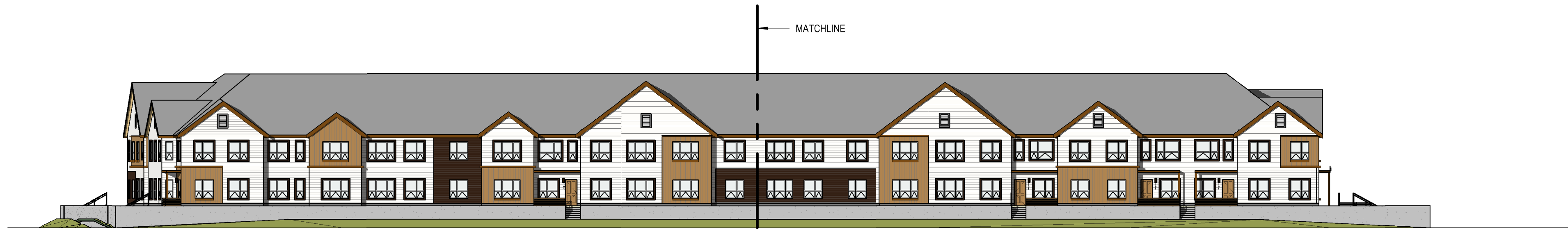


1 LEVEL 1 OVERALL PLAN
SCALE: 1/16" = 1'-0"



2 LEVEL 2 OVERALL PLAN
SCALE: 1/16" = 1'-0"





1 OVERALL EAST ELEVATION
SCALE: 3/64" = 1'-0"



3 EAST ELEVATION SOUTH
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION NORTH
SCALE: 1/8" = 1'-0"

**Garden Terrace -
Multifamily Apartments**

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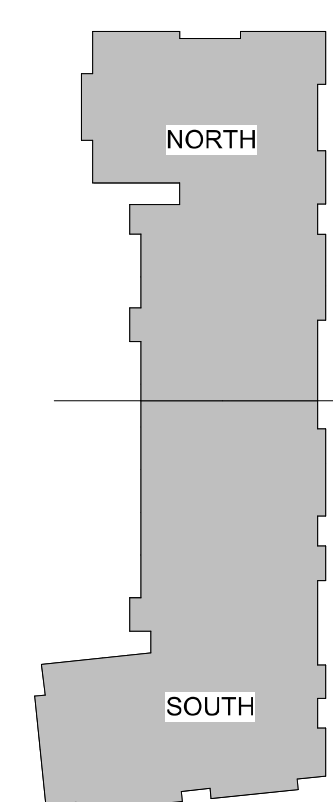
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**MULTIFAMILY
APARTMENTS -
BUILDING
ELEVATIONS**



**Garden Terrace -
Multifamily Apartments**

733 Kane Street
La Crosse, WI 54603
Impact La Crosse, LLC
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2961 Decker Drive
Rice Lake, WI 54868

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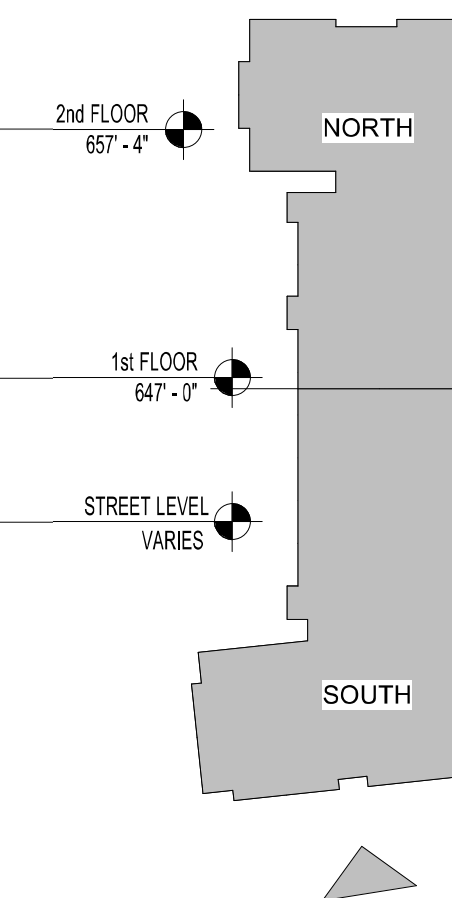
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**MULTIFAMILY
APARTMENTS -
BUILDING
ELEVATIONS**

A401



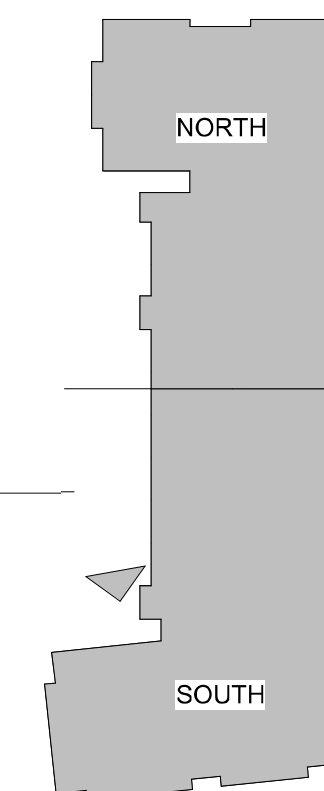
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



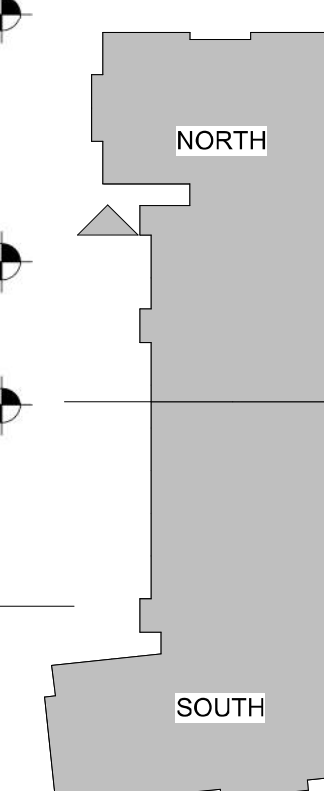
4 INTERIOR SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

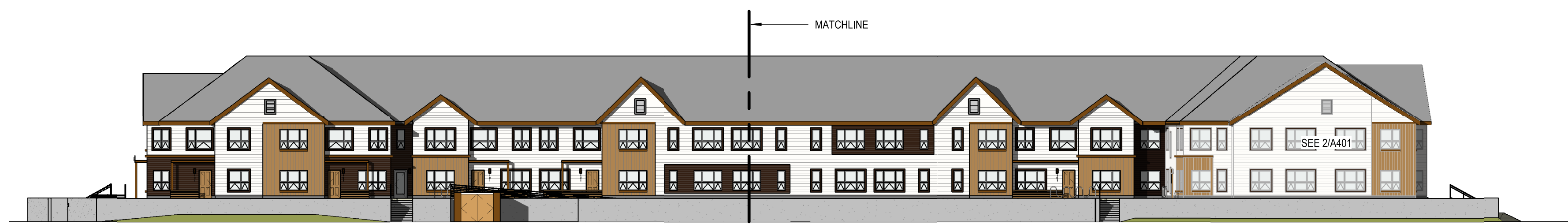


3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 INTERIOR NORTH ELEVATION
SCALE: 1/8" = 1'-0"





1 OVERALL WEST ELEVATION
SCALE: 3/64" = 1'-0"



2 WEST ELEVATION NORTH
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION SOUTH
SCALE: 1/8" = 1'-0"

**Garden Terrace -
Multifamily Apartments**

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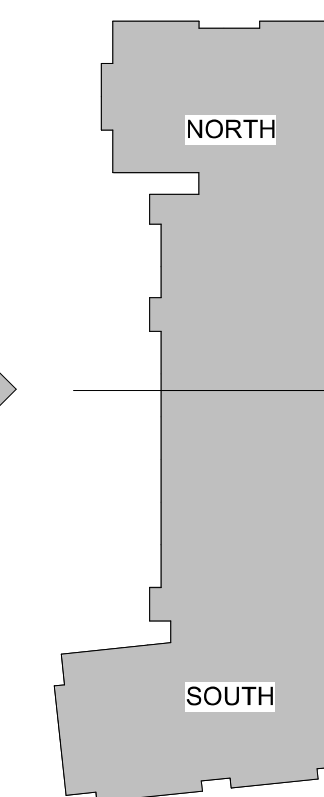
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**MULTIFAMILY
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BUILDING
ELEVATIONS**



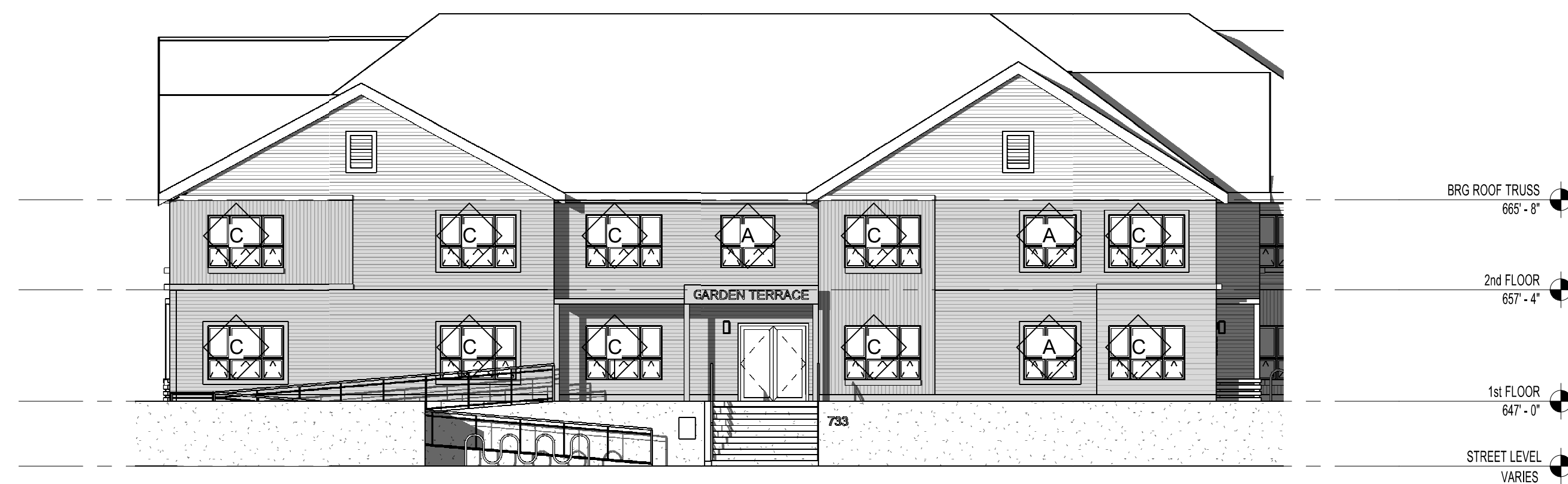


**Garden Terrace -
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Impact La Crosse, LLC
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Rice Lake, WI 54868

PROJECT NUMBER 162624

2 OVERALL EAST ELEVATION - street facing facade 20% study
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION - STraCAT - street facing facade 20% study
SCALE: 3/32" = 1'-0"



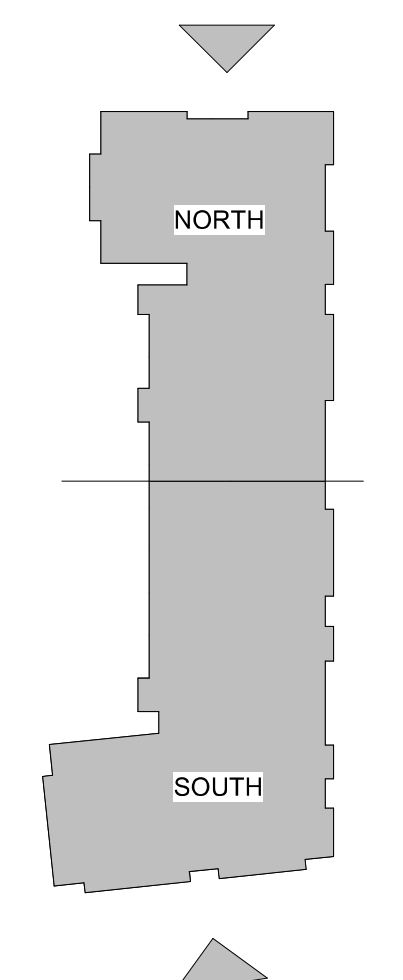
3 SOUTH ELEVATION - street facing facade 20% study
SCALE: 3/32" = 1'-0"

**WINDOWS / DOOR AREA ON STREET FACADE 20% MINIMUM
REQUIREMENT**

EAST ELEVATION			
TOTAL WALL		6090.09 sf	
window / door area minimum requirement		20%	1218.018 sf
WINDOW TYPE	SF	UNITS	TOTAL
TYPE A	30	32	960 sf
TYPE B	12	6	72 sf
TYPE C	42	14	588 sf
TYPE D	36	4	144 sf
UNIT DOOR	22.43	4	89.72 sf
LOBBY DOOR	54.61		0 sf
TOTAL AREA WINDOWS/DOOR		1853.72 sf	

SOUTH ELEVATION			
TOTAL WALL		2292 sf	
window / door area minimum requirement		20%	458.4 sf
WINDOW TYPE	SF	UNITS	TOTAL
TYPE A	30	12	360 sf
TYPE B	12	3	36 sf
TYPE C	42	8	336 sf
TYPE D	36	0	0 sf
UNIT DOOR	22.43	1	22.43 sf
LOBBY DOOR	54.61	0	0 sf
TOTAL AREA WINDOWS/DOOR		754.43 sf	

NORTH ELEVATION			
TOTAL WALL		1848.74 sf	
window / door area minimum requirement		20%	369.748 sf
WINDOW TYPE	SF	UNITS	TOTAL
TYPE A	30	3	90 sf
TYPE B	12	0	0 sf
TYPE C	42	10	420 sf
TYPE D	36	0	0 sf
UNIT DOOR	22.43	0	0 sf
LOBBY DOOR	47.2	0	0 sf
TOTAL AREA WINDOWS/DOOR		510 sf	



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**MULTIFAMILY
APARTMENTS -
STREET FACING
FACADES STUDY -
DESIGN REVIEW
CHECKLIST - K.7**

GENERAL NOTES - FLOOR PLANS

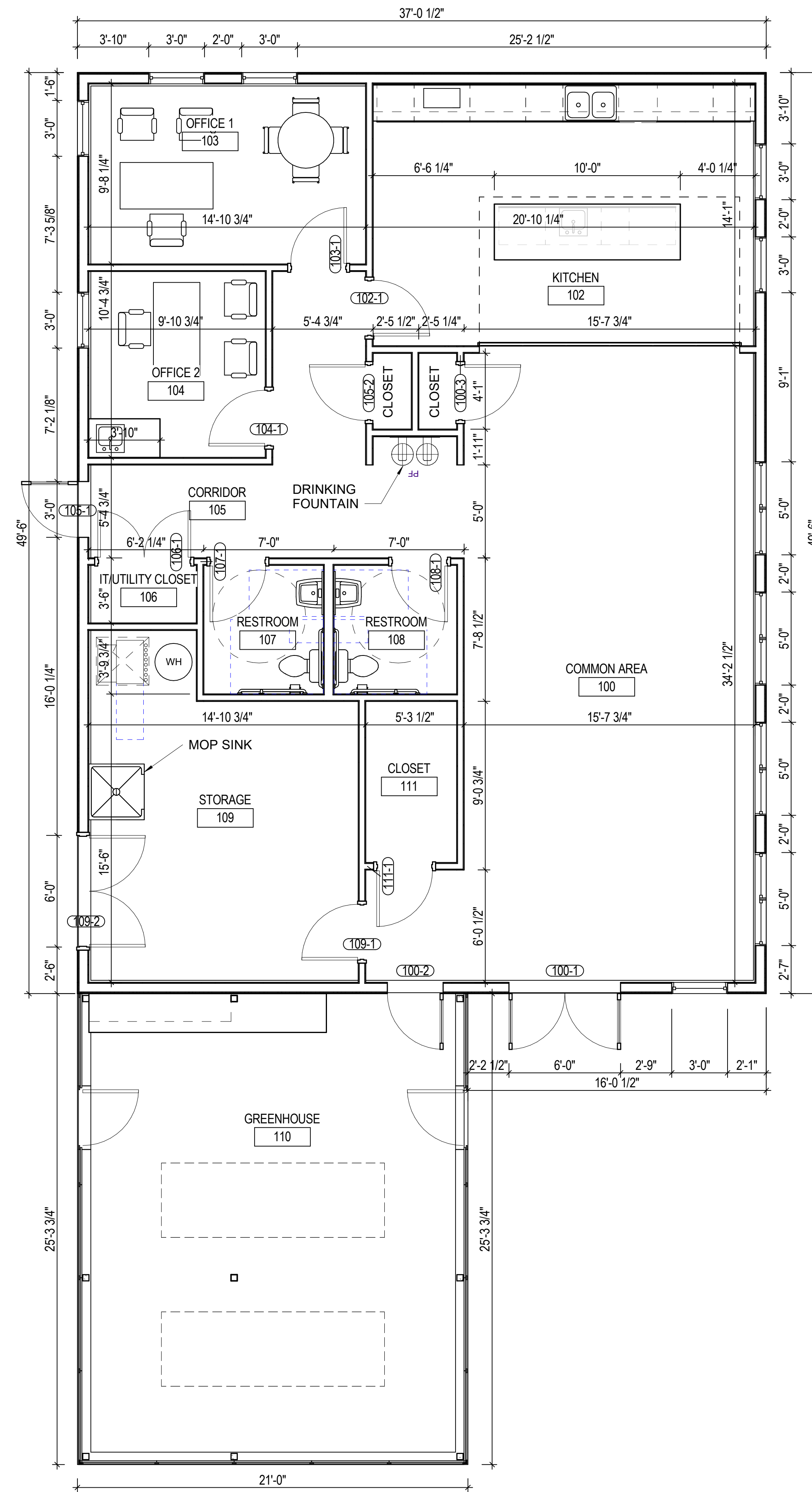
1. 616.5' CIVIL = 616'-6" ARCHITECTURAL.
2. DIMENSIONS AT BUILDING EXTERIOR, MASONRY VENEER ARE MEASURED TO EXT. F.O. MASONRY.
3. DIMENSIONS AT BUILDING EXTERIOR, NON-MASONRY VENEER ARE MEASURED TO EXT. F.O. WOOD STUD FRAMING.
4. DIMENSIONS AT BUILDING INTERIOR ARE MEASURED TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. SEE UNIT PLANS FOR DWELLING UNIT INFORMATION.
6. SEE FINISH SCHEDULE AND PLANS FOR FINISH INFORMATION.

CLUB HOUSE FINISH SCHEDULE

ROOM NAME	FLOORS	BASE	WALLS	CEILING	REMARKS
OFFICE	CPT	PFW	GYP, PT-X	SUS GYP, PT-X	
RESTROOM	SC	RB	GYP, PT-X	SUS GYP, PT-X	
COMMON AREA	SC	RB	GYP, PT-X		
KITCHEN	SC	RB	GYP, PT-X		
GREEN ROOM	SC	RB	GYP, PT-X		

FINISH ABBREVIATIONS

FLOORS:	CPT= CARPET CT= CERAMIC TILE LVT= LUXURY VINYL TILE SV= SHEET VINYL SC= SEALED CONCRETE RF= RUBBER FLOORING (STAIR TREADS, RISERS & LANDING)
BASE:	PFW= PRE-FINISHED WOOD PAINTED RB= RESILIENT BASE
WALLS:	GYP= GYPSU WALL BOARD PAINTED PT= PAINT
CEILING:	SUS GYP= SYSPENDED GYPSUM CEILING ACT= ACOUSTICAL TILE CEILING



**Garden Terrace -
Community Center**

800 Kane Street
La Crosse, WI
Impact La Crosse, LLC
Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

PROJECT NUMBER 162624.00

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**COMMUNITY
CENTER - FIRST
FLOOR PLAN**

1 Level 1 - CC
SCALE: 1/4" = 1'-0"



A100

**Garden Terrace -
Community Center**

800 Kane Street
La Crosse, WI
Impact La Crosse, LLC
Impact Seven
2961 Decker Drive
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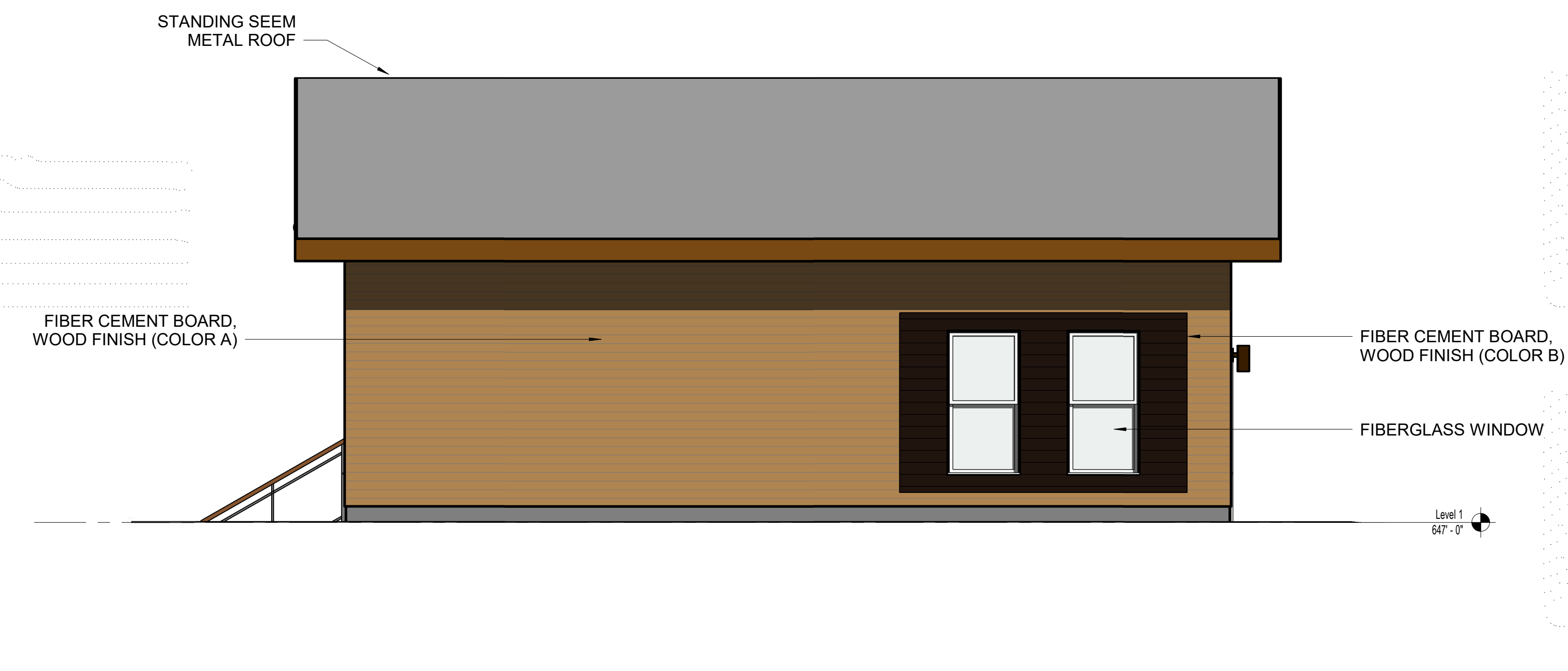
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**COMMUNITY
CENTER - BUILDING
ELEVATIONS**

A400



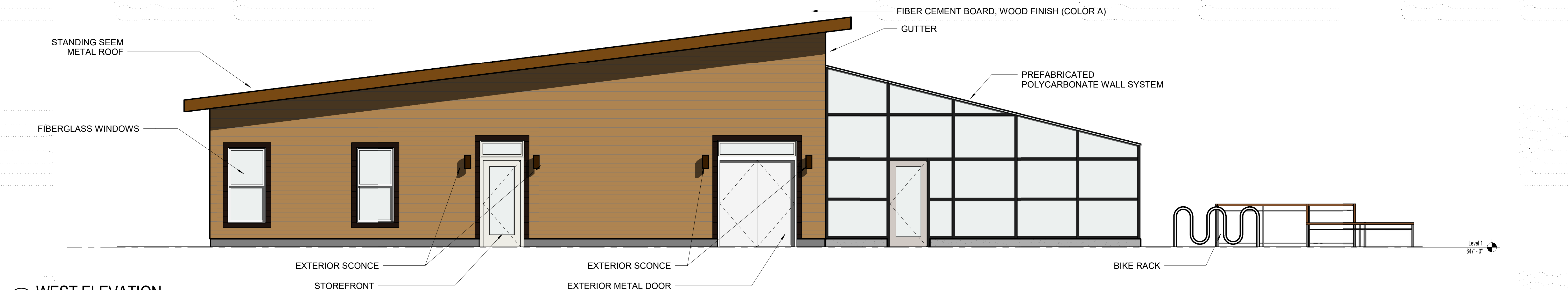
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

WINDOWS / DOOR AREA ON STREET FACADE 20% MINIMUM REQUIREMENT

EAST ELEVATION		
TOTAL WALL		664.15 sf
window / door area minimum requirement	20%	132.83 sf

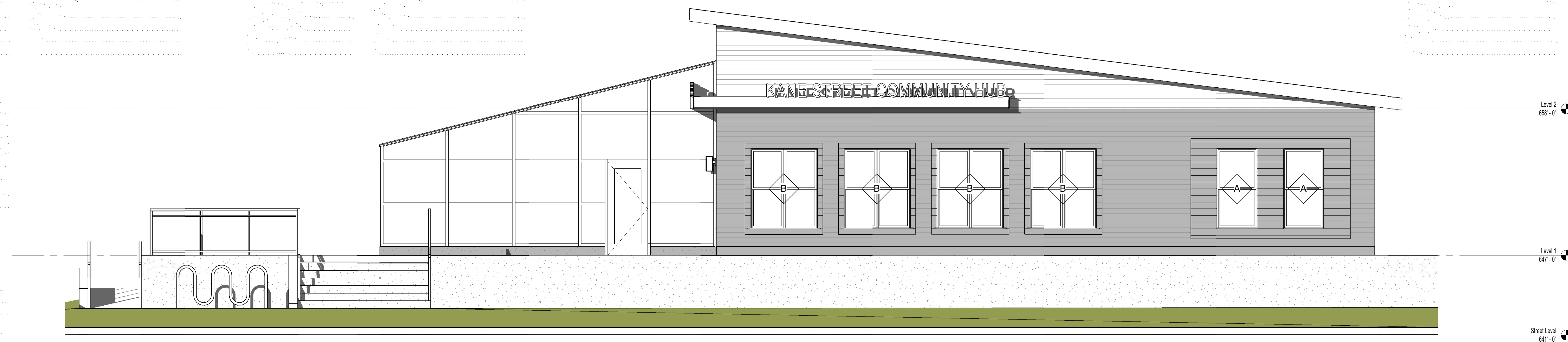
WINDOW TYPE	SF	UNITS	TOTAL
TYPE A	18	2	36 sf
TYPE B	29.95	4	119.8 sf
STOREFRONT	289.21	1	289.21 sf
TOTAL AREA WINDOWS/DOOR			445.01 sf

SOUTH ELEVATION		
TOTAL WALL		426.58 sf
window / door area minimum requirement	20%	85.316 sf

WINDOW TYPE	SF	UNITS	TOTAL
TYPE A	18	1	18 sf
ENTRY DOOR	51.72	1	51.72 sf
STOREFRONT	291.01	1	291.01 sf
TOTAL AREA WINDOWS/DOOR			360.73 sf



2 SOUTH ELEVATION - street-facing facade 20% study
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION - street-facing facade 20% study
SCALE: 1/4" = 1'-0"

Garden Terrace -
Community Center

800 Kane Street
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Impact Seven
2961 Decker Drive
Rice Lake, WI 54868

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COMMUNITY
CENTER - STREET
FACING FACADE
STUDY- DESIGN
REVIEW CHECKLIST-
K.7