



| SITE SUMMARY              |  |          |
|---------------------------|--|----------|
| PROJECT ADDRESS/LOCATION: | 408 JACKSON STREET<br>LA CROSSE, WI. 54601 |          |
| ZONING:                   | TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) |          |
| SITE/LOT AREA:            | 16,815 SF                                  | (0.4 AC) |
| REQUIRED SETBACKS         |  |          |
|                           | PARKING                                    | BUILDING |
| FRONT YARD                | 5'   | 0'       |
| SIDE YARD                 | 5'   | 4'       |
| REAR YARD                 | 5'   | 15'      |

#### CIVIL SHEET INDEX

C0-10 SITE DATA  
C1-30 PRE-CONSTRUCTION SWPPP  
C1-20 SWPPP DETAILS  
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C2-10 EXISTING SITE AND REMOVAL PLAN  
C3-10 SITE PLAN

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PROJECT

## ST. CLARE HEALTH MISSION CLINIC RENOVATION & EXPANSION

LA CROSSE WISCONSIN

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| FILE NAME           | 31139-CO-GENERAL |
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| DESIGNED BY         | ---              |
| REVIEWED BY         | ---              |
| ORIGINAL ISSUE DATE | --/--            |
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### SITE DATA

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 2011 ADJUSTMENT (NAD83(2011)) ON THE \_\_\_\_\_ COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

#### PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 2011 ADJUSTMENT (NAD83(2011)) ON THE \_\_\_\_\_ COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

#### TOPOGRAPHIC SURVEY

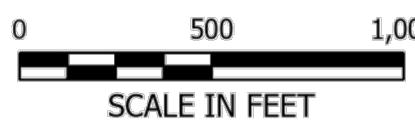
THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN MONTH YEAR BY COMPANY NAME.

**B.M. ELEVATION=XXXX.XX**

## LA CROSSE PROJECT LOCATION



### LOCATION MAP



#### PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS, AND CLARIFICATIONS ISSUED BY ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS, IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "DIGGERS HOTLINE" FOR UTILITY LOCATIONS A MINIMUM OF 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (811 OR 1-800-242-8511).

**DIGGERS HOTLINE**  
Dial 811 or (800)242-8511  
www.DiggersHotline.com

### SYMBOL LEGEND

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NOTE:  
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

### LINETYPE LEGEND

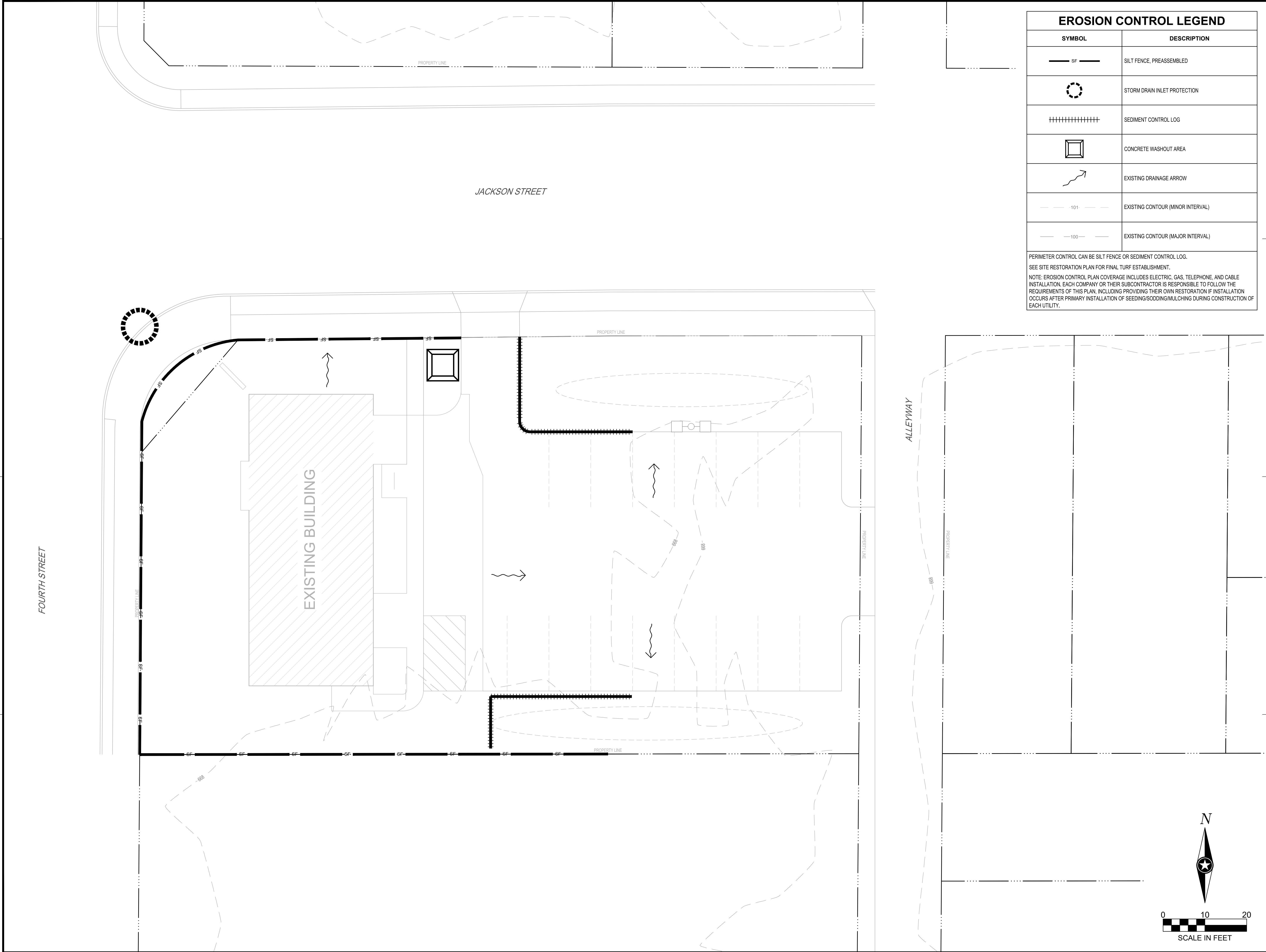
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NOTE:  
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

### ABBREVIATIONS

|        |                                 |       |                           |       |                                |
|--------|---------------------------------|-------|---------------------------|-------|--------------------------------|
| ADA    | AMERICANS WITH DISABILITIES ACT | GC    | GENERAL CONTRACTOR        | PSI   | POUNDS PER SQUARE INCH         |
| ADD    | ADDENDUM                        | GFE   | GARAGE FLOOR ELEVATION    | PVC   | POLYVINYL CHLORIDE             |
| AFF    | ABOVE FINISHED FLOOR            | GL    | GUTTER LINE               | PVMT  | PAVEMENT QUANTITY              |
| AGG    | AGGREGATE                       | GPM   | GALLONS PER MINUTE        | QTY   | QUANTITY                       |
| APPROX | APPROXIMATE                     | GV    | GATE VALVE                | R     | RADIUS                         |
| ARCH   | ARCHITECT                       | HDPE  | HIGH DENSITY POLYETHYLENE | RD    | REINFORCED CONCRETE PIPE       |
| BFE    | BASEMENT FLOOR ELEVATION        | HH    | HANDHOLE                  | REBAR | REINFORCING BAR                |
| BIT    | BITUMINOUS                      | HMA   | HOT MIX ASPHALT           | REM   | REMOVE                         |
| BLDG   | BUILDING                        | HORIZ | HORIZONTAL                | ROW   | RIGHT OF WAY                   |
| BM     | BENCHMARK                       | HR    | HOUR                      | RW    | RIGHT OF WAY                   |
| CAD    | COMPUTER-AIDED DESIGN           | HWL   | HIGH WATER LEVEL          | SAN   | SANITARY SCHEDULE              |
| CB     | CATCH BASIN                     | HWY   | HIGHWAY                   | SCH   | SCHEDULE                       |
| CFS    | CUBIC FEET PER SECOND           | HYD   | HYDRANT                   | SF    | SQUARE FOOT                    |
| CF     | CUBIC FOOT                      | I     | INVERT                    | SPEC  | SPECIFICATION                  |
| CI     | CAST IRON                       | ID    | INSIDE DIAMETER           | SQ    | SQUARE                         |
| CIP    | CAST IRON PIPE                  | IN    | INCH                      | STA   | STATION                        |
| CIP    | CAST IN PLACE CONCRETE          | INV   | INVERT                    | STM   | STORM                          |
| CIPC   | CONCRETE                        | IP    | IRON PIPE                 | SY    | SQUARE YARD                    |
| CJ     | CONTROL JOINT                   | IPS   | IRON PIPE SIZE            | T/C   | TOP OF CURB                    |
| CL     | CENTERLINE                      | JBOX  | JUNCTION BOX              | TEL   | TELEPHONE                      |
| CMP    | CORRUGATED METAL PIPE           | JT    | JOINT                     | TEMP  | TEMPORARY                      |
| CO     | CLEANOUT                        | LF    | LINEAR FEET               | THRU  | THROUGH                        |
| CONC   | CONCRETE                        | LIN   | LINEAR                    | TNHF  | TOP NUT OF FIRE HYDRANT        |
| CONST  | CONSTRUCTION                    | LPS   | LOW PRESSURE              | TRANS | TRANSFORMER                    |
| CONT   | CONTINUOUS                      | LS    | LUMP SUM                  | TV    | TELEVISION                     |
| CR     | COUNTY ROAD                     | LSO   | LOWEST STRUCTURAL OPENING | TW    | TOP OF WALL                    |
| CY     | CUBIC YARD                      | MAX   | MAXIMUM                   | TYP   | TYPICAL                        |
| C&G    | CURB AND GUTTER                 | MB    | MAIL BOX                  | UT    | UTILITY, UNDERGROUND TELEPHONE |
| DEMO   | DEMOLITION                      | MECH  | MECHANICAL                | VCP   | VITRIFIED CLAY PIPE            |
| DI     | DROP INTAKE                     | MH    | MANHOLE                   | W/O   | WITHOUT                        |
| DIA    | DIAMETER                        | MIN   | MINIMUM                   | W     | WITH                           |
| DIM    | DIMENSION                       | MISC  | MISCELLANEOUS             | YD    | YARD                           |
| DS     | DOWNSPOUT                       | NO    | NUMBER                    | YR    | YEAR                           |
| EA     | EACH                            | NTS   | NOT TO SCALE              |       |                                |
| ELEC   | ELECTRICAL                      | NWL   | NORMAL WATER LEVEL        |       |                                |
| ELEV   | ELEVATION                       | OC    | ON CENTER                 |       |                                |
| EMERG  | EMERGENCY OVERFLOW              | OCEW  | ON CENTER EACH WAY        |       |                                |
| EQ     | EQUAL                           | OH    | OVERHEAD                  |       |                                |
| EX     | EXISTING                        | OHHL  | ORDINARY HIGH WATER LEVEL |       |                                |
| FIG    | FORM GRADE                      | CHD   | OVERHEAD DOOR             |       |                                |
| FDC    | FIRE DEPARTMENT CONNECTION      | OZ    | OUNCE                     |       |                                |
| FDN    | FOUNDATION                      | PCC   | PORTLAND CEMENT CONCRETE  |       |                                |
| FES    | FINISHED FLOOR ELEVATION        | PED   | PEDESTAL, PEDESTRIAN      |       |                                |
| FPM    | FEET PER MINUTE                 | PERF  | PERFORATED                |       |                                |
| FPS    | FEET PER SECOND                 | PL    | PROPERTY LINE             |       |                                |
| FT     | FOOT, FEET                      | PP    | POLYPROPYLENE             |       |                                |
| FTG    | FOOTING                         |       |                           |       |                                |
| GA     | GALLON                          |       |                           |       |                                |
| GAL    | GALLON                          |       |                           |       |                                |
| GALV   | GALVANIZED                      |       |                           |       |                                |





EROSION CONTROL LEGEND

| SYMBOL | DESCRIPTION                       |
|--------|-----------------------------------|
|        | SILT FENCE, PREASSEMBLED          |
|        | STORM DRAIN INLET PROTECTION      |
|        | SEDIMENT CONTROL LOG              |
|        | CONCRETE WASHOUT AREA             |
|        | EXISTING DRAINAGE ARROW           |
|        | EXISTING CONTOUR (MINOR INTERVAL) |
|        | EXISTING CONTOUR (MAJOR INTERVAL) |

PERIMETER CONTROL CAN BE SILT FENCE OR SEDIMENT CONTROL LOG.

SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.

NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS PLAN, INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

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PROJECT

LA CROSSEWISCONSIN

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PROJECT NO.21-31139

FILE NAME31139-C1-SWPPP

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DESIGNED BY---

REVIEWED BY---

ORIGINAL ISSUE DATE-/-/-

CLIENT PROJECT NO.-

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PRE-CONSTRUCTIONSWPPP

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PROJECT  
**ST. CLARE  
HEALTH MISSION  
CLINIC  
RENOVATION &  
EXPANSION**

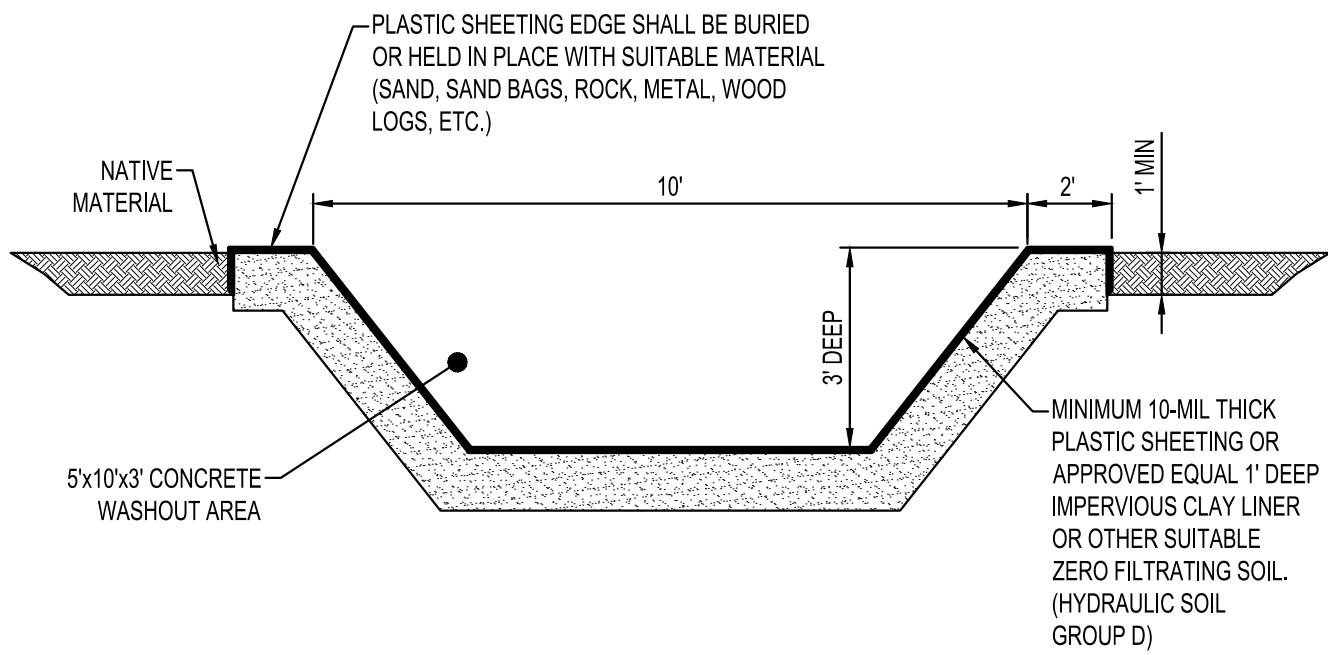
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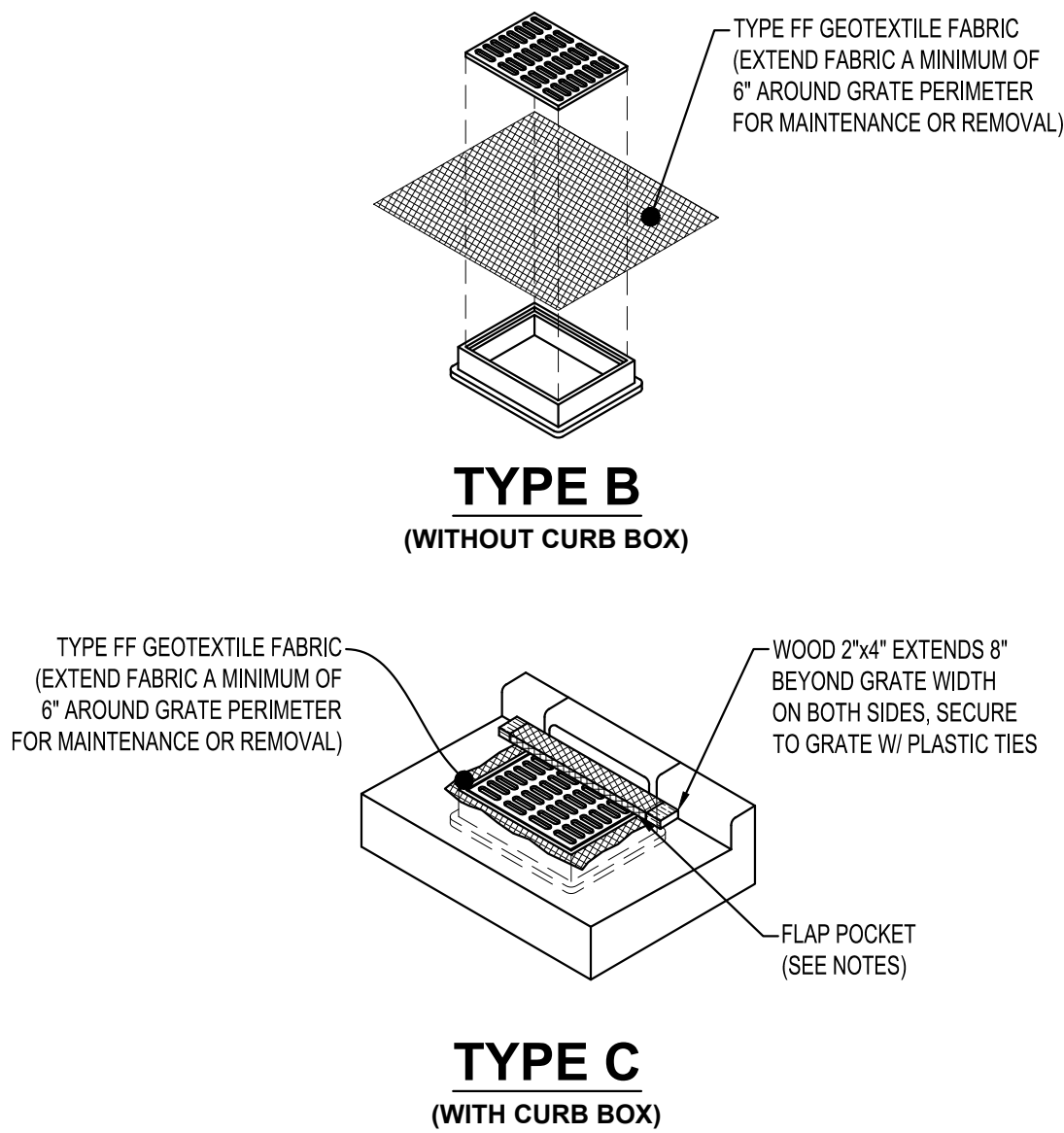
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**SWPPP DETAILS**

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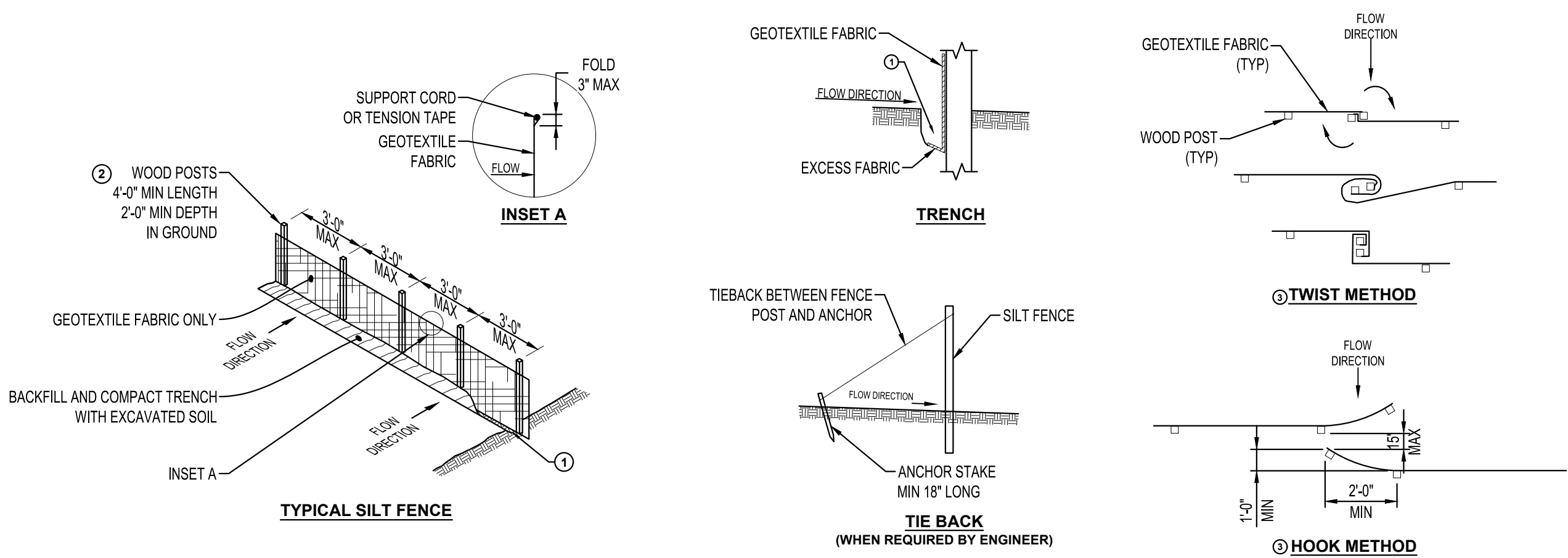
- NOTES:**
- CONCRETE WASHOUT LOCATION SHALL BE APPROVED BY ENGINEER.
  - SIZE OF EXCAVATION AND COMPACTED TRAP MUST BE COMMENSURATE WITH WASHOUT REQUIREMENTS FOR DAILY CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL INSTALL A SIGN INDICATING THE CONCRETE WASHOUT AREA.
  - CONTRACTOR SHALL MAINTAIN WASHOUT AREA TO REMOVE MATERIALS BEYOND 75% CAPACITY.
  - WASHOUT AREA SHALL NOT BE PLACED WITHIN 50' OF STORM DRAINS, OPEN DITCHES OR BODIES OF WATER.
  - CONTRACTOR SHALL INSPECT WASHOUT AREA AS NECESSARY TO PREVENT LEAKS AND OVER TOPPING.
  - WASHOUT AREA SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE.

CONCRETE WASHOUT  
NTS



- NOTES:**
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REBAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
  - WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

TYPES B & C  
INLET PROTECTION  
NTS



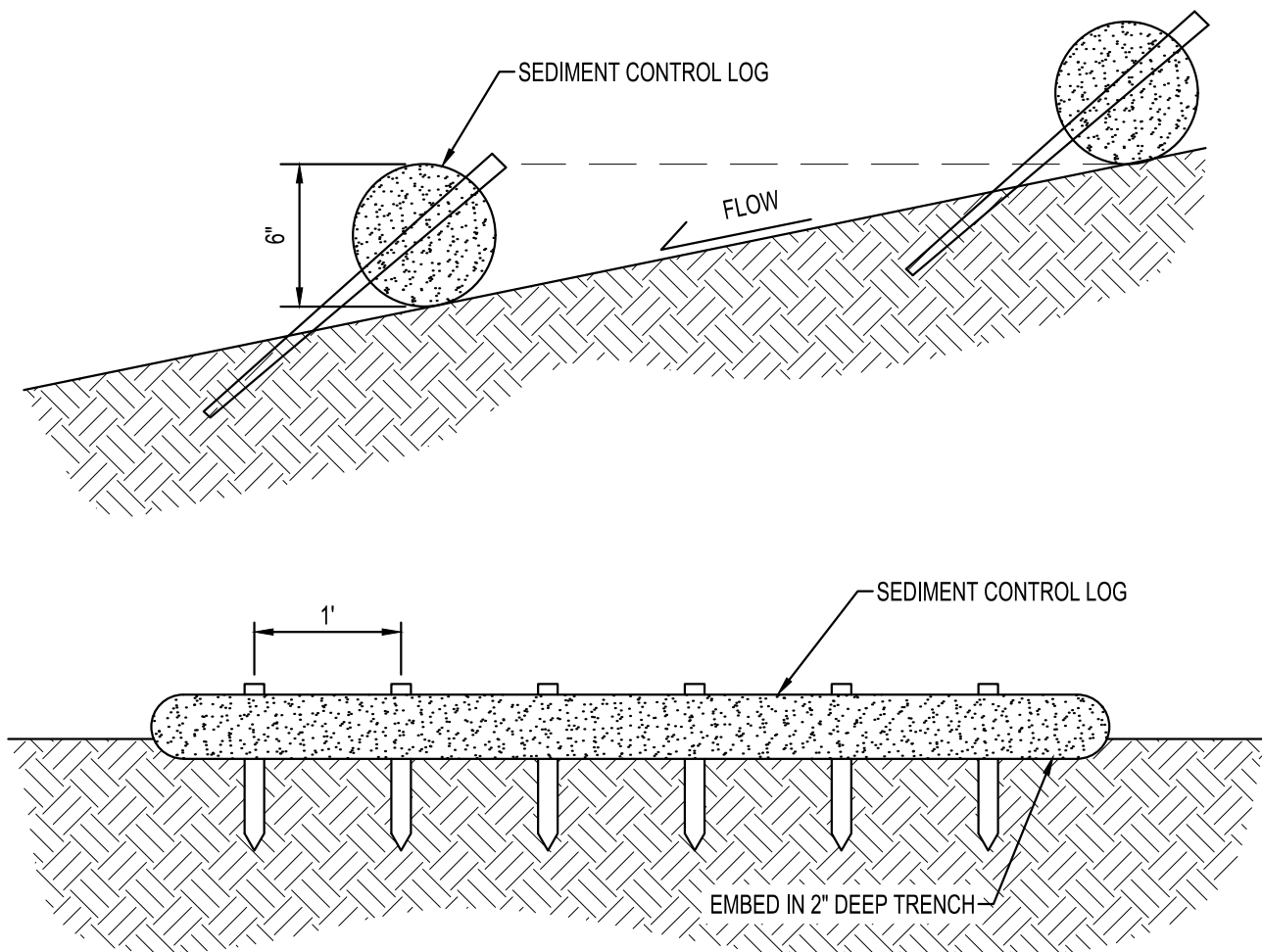
**KEY NOTES:**

- FOR MANUAL INSTALLATIONS, TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH, BACKFILL, AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POST SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS.
  - TWIST METHOD - OVERLAP THE END POSTS AND TWIST, OR ROTATE AT LEAST 180°.
  - HOOK METHOD - HOOK END OF EACH SILT FENCE LENGTH.

**NOTES:**

- ATTACH FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.
- ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.
- 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

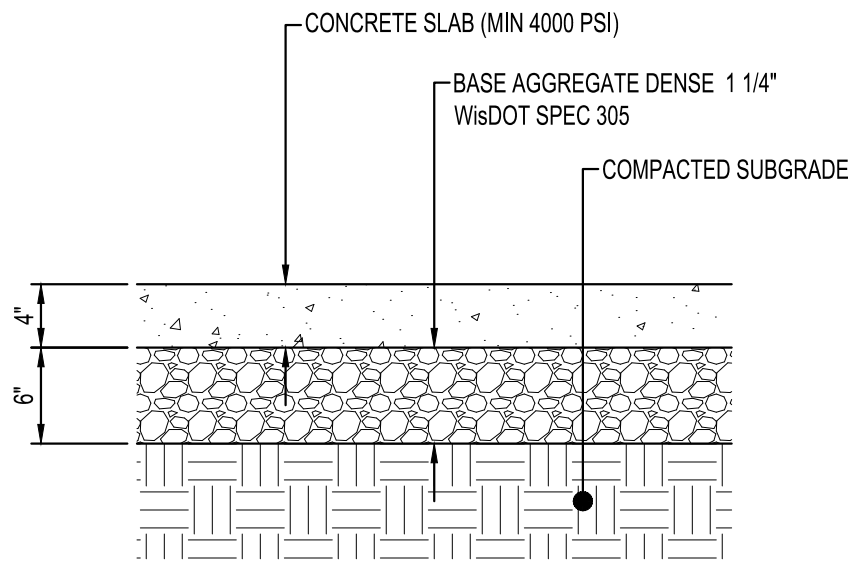
SILT FENCE  
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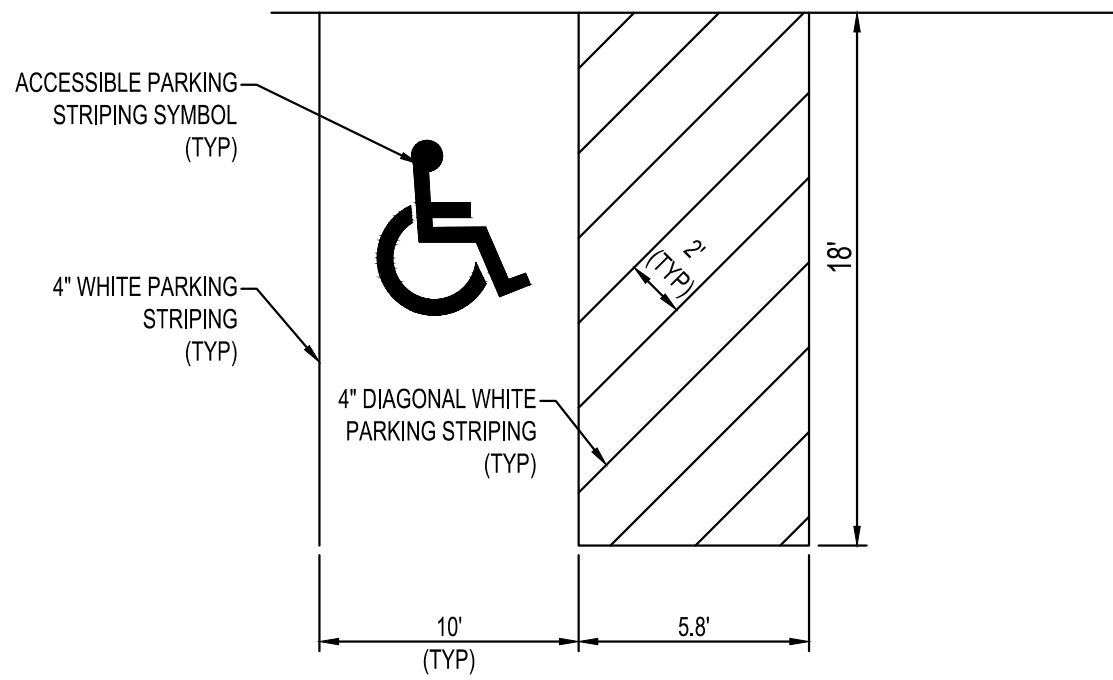
**NOTES:**

- SEDIMENT CONTROL LOGS TO BE 6' DIAMETER UNLESS OTHERWISE NOTED.
- STAKED INTO THE GROUND WITH WOOD STAKES.
- WOOD STAKES ARE A MINIMUM OF 2"x16" UNLESS PRECLUDED BY PAVED SURFACE OR ROCK.
- WOOD STAKES DRIVEN THROUGH BACK HALF OF SEDIMENT CONTROL LOG AT AN APPROXIMATE ANGLE OF 45° WITH THE TOP OF STAKE POINTING UP STREAM.
- WHEN MORE THAN ONE SEDIMENT CONTROL LOG IS NEEDED, OVERLAP ENDS A MINIMUM OF 6" AND STAKE

SEDIMENT CONTROL LOG STAKING  
NTS



CONCRETE WALK  
NTS



ACCESSIBLE PARKING AREA  
NTS



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PROJECT

ST. CLARE  
HEALTH MISSION  
CLINIC  
RENOVATION &  
EXPANSION

LA CROSSEWISCONSIN

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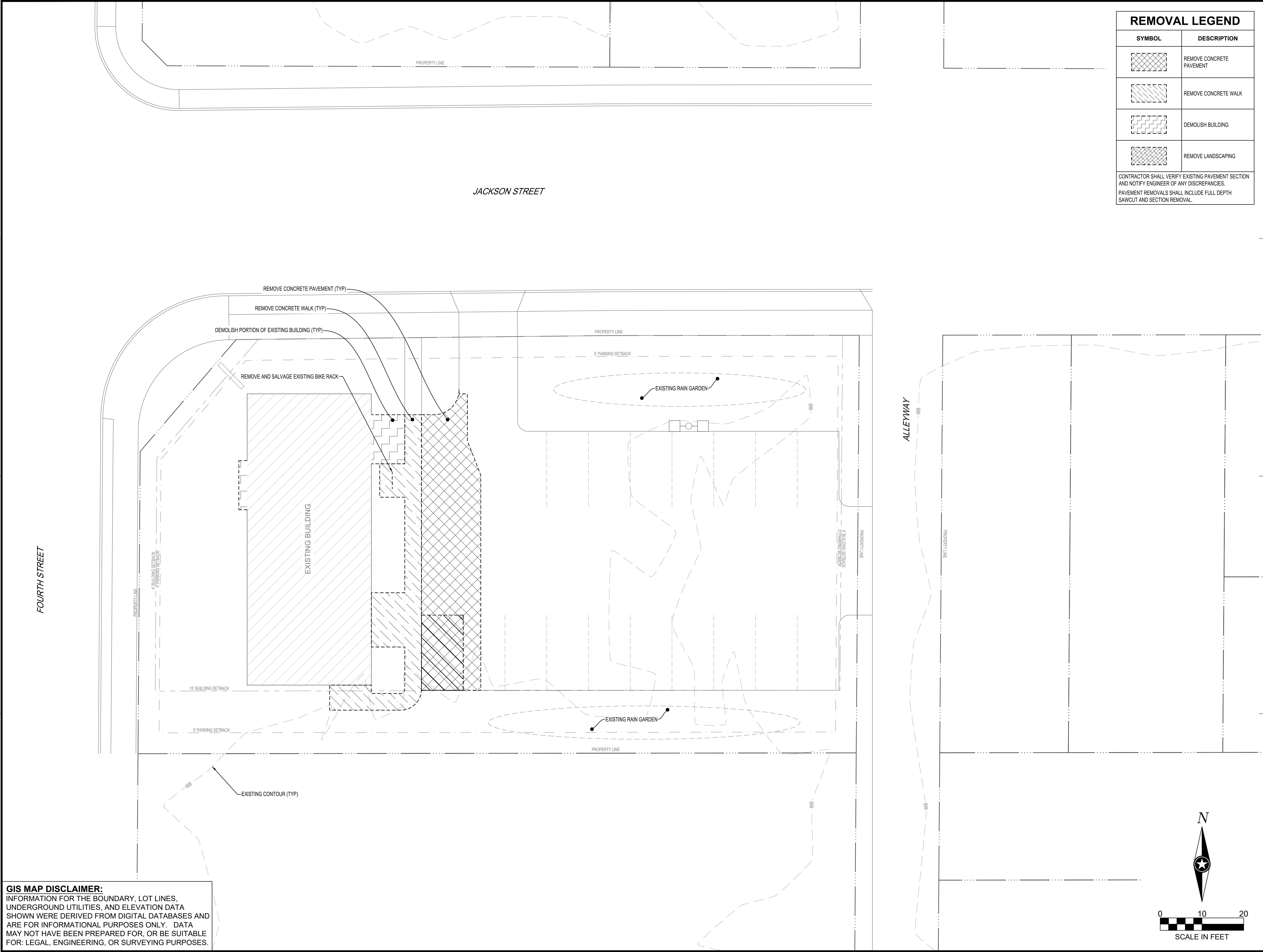
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REMOVAL LEGEND

| SYMBOL | DESCRIPTION              |
|--------|--------------------------|
|        | REMOVE CONCRETE PAVEMENT |
|        | REMOVE CONCRETE WALK     |
|        | DEMOLISH BUILDING        |
|        | REMOVE LANDSCAPING       |

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.



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PROJECT

ST. CLARE  
HEALTH MISSION  
CLINIC  
RENOVATION &  
EXPANSION

LA CROSSE      WISCONSIN

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TITLE

**EXISTING SITE AND  
REMOVAL PLAN**

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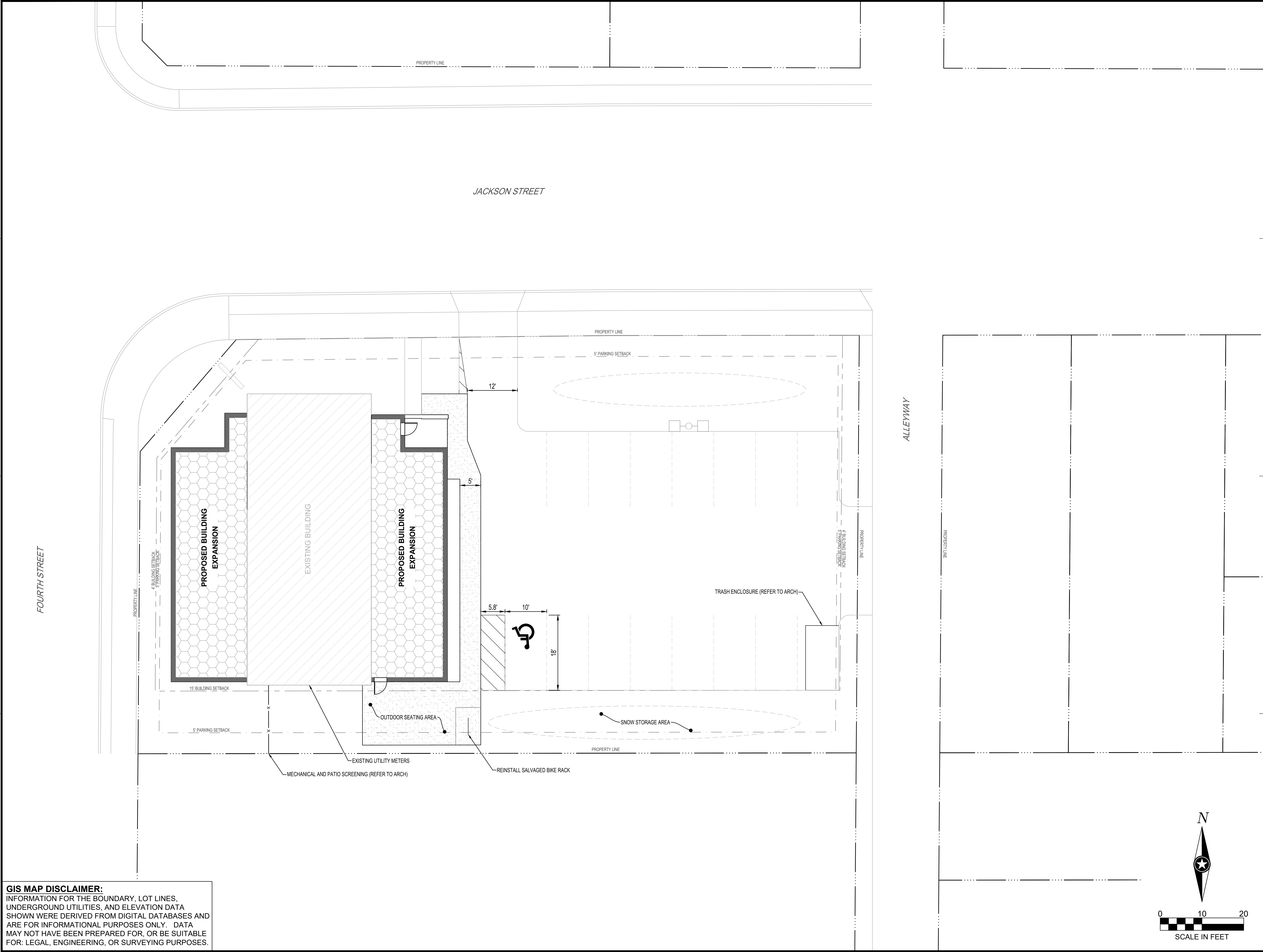
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SCALE IN FEET

PRELIMINARY NOT FOR CONSTRUCTION



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LA CROSSE WISCONSIN

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**SITE PLAN**

SHEET

**C3-10**

PRELIMINARY NOT FOR CONSTRUCTION