

MEMORIAL POOL REPORT FOR THE CITY OF LA CROSSE

1901 Campbell Road
La Crosse, Wisconsin

8 November 2017 ARCHITECTURAL REPORT



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BUILDING DOCUMENTATION

Project Team

River Architects, Inc.

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Water Technology, Inc.

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Public Input Group

Jay Odegaard - City of La Crosse Parks & Recreation
Chris Kahlow - Heritage Preservation Commission
Jessica Olson - Heritage Preservation Commission
Barb Janssen - Memorial Pool Input Group
Kraig Brownell - Memorial Pool Input Group
John Jolley - Memorial Pool Input Group
Jacob Sciammas - Memorial Pool Input Group
Jaqueline Marcou - Memorial Pool Input Group

Condition of the existing building is taken from a visual inspection by River Architects, Inc. and Water Technology, Inc.

Pool

The existing pool is a 9,900 square foot concrete shell in a cross formation with original art-deco marble walls, although the wall panels have been patched throughout the years. The painted concrete floor of the pool has visible cracking in all areas. The concrete decking surrounding the pool also shows cracking and is uneven in many spots due to settling.

The current pool does not meet ADA requirements as there is currently no ADA access to the pool or accessible facilities.

The existing pool deck is enclosed by a multi-height fence with a gate on the south-east. Because of the extent of the proposed work as well as to bring visual continuity, this fence will need to be replaced.

Pool Mechanical Systems

Due to age and use, all of the mechanical equipment should be replaced. Also, the mechanical room (basement of pool house) is supported by a steel framework that is corroded and deteriorated. The supporting column bases are also fractured.

Pool House

A visual inspection of the exterior brick walls of the pool house shows that areas of the original mortar used on the building are in need of re-pointing. There are also multiple areas of staining that would need to be cleaned. Existing doors and windows would need to be inspected and replaced if needed. Cracking is also evident in the exterior and some of the brick may need to be replaced as part of a tuck-pointing/re-pointing project. The roof of the pool house also shows evidence of leaking.

The main concern of the existing pool house is that it does not meet ADA code for multiple items including, but not limited to, door widths, shower stalls, toilet stalls, sanitary fixture count, and entry counter.

Asbestos and lead abatement will also need to be handled by a certified contractor.

Pool House Mechanical Systems

Visual inspection of the electrical system shows corrosion and would need to be further inspected by a certified electrician. The current water heater is corroded and undersized for the facility services.

CODE AND ANALYSIS

General

The building code to which an existing building is upheld is dependent on the extent of changes being made. This scope of work means that the project shall comply to the Wisconsin Building Code utilizing the International Existing Building Code and the ANSI Accessibility Code. For this report the building has been assessed using the 2009 building codes, which were in effect at the time of review.

Accessibility

A minimum of one exit from the building shall be accessible. The building should be made accessible to primary functions, unique features, and services. At least one of each type of fixture in each accessible toilet room or locker room shall be accessible.

Plumbing

The number of required plumbing fixtures is based on the square footage of the surface area of the pool(s). Below is the fixture count for the pool sizes. The current pool is 9,900 sq. ft., while the new concepts are to be between 7,500 sq. ft and 8,999 sq. ft. of pool surface water:

PLUMBING FIXTURE REQUIREMENTS

Pool Size 7,500-8,999 sq. ft.

Water Closet	= 12
<i>Men</i>	= 4
<i>Women</i>	= 8
Lavatories	= 5
<i>Men</i>	= 2
<i>Women</i>	= 3
Showers	= 10
<i>Men</i>	= 5
<i>Women</i>	= 5
Drinking Fountains	= 2

Existing Pool Size

Pool Size 9,000-9,999 sq. ft.

Water Closet	= 15
<i>Men</i>	= 5
<i>Women</i>	= 10
Lavatories	= 7
<i>Men</i>	= 3
<i>Women</i>	= 4
Showers	= 12
<i>Men</i>	= 6
<i>Women</i>	= 6
Drinking Fountains	= 2

Unisex or family facilities can replace fixtures from either gender facilities.

DESIGN/PLANNING

Concepts For Restoration & Renovation

For this design study we were given a program that included ADA compliant men's and women's locker rooms, 2 family changing rooms, admissions area with storage nearby, guard room with clear sightlines of the pool, a wet classroom that works off the pool deck, concessions, and a mechanical room for pool equipment. The locally historic nature of the project meant keeping as much of the existing pool house and the symmetrical feeling of the site as possible. Based on the feedback from the Memorial Pool Committee, we have two designs for your consideration.

Concept 'A'

Concept A is a restoration design that keeps the pool house exterior intact, although with the addition of the mechanical building the site loses the symmetrical feel that is so special to the overall site.

Site Plan 'A'

Site Plan 'A' shows the pool house in the existing footprint with a two pool option within the existing pool layout. Directly to the west of the pool house is the new 1,500 square foot mechanical accessory building. This building would need access from the exterior for chemical deliveries as well as from the pool deck to allow employee access.

To the North of the mechanical building is a small play area and a turf area with movable seating for sun lounging. This location of the play area would allow for shade from the mechanical building as well as close proximity to the shallow area of the pool.

Located on the East property line is exterior seating, a covered seating area, and sunshades. The exterior seating would allow guardians to watch children for such activities as swimming lessons without needing

to pay an admission fee. The covered seating would be where food and drinks can be consumed safely. Putting these spaces on the East property line would also provide a visual block to the parking lot and bring the visual focus back into the Memorial Pool site.

Pool Design 'A'

This pool design keeps the overall cross design of the existing pool, although it has been divided into two separate pools. The southern pool is a shallow pool that can be utilized as an activity area for younger children. The northern pool is a deeper pool with two activity wells on the east and west wings. This means that the center section can be used for six standard length lap lanes while the activity wells can be used for diving, climbing wall, or other equipment.

There are many advantages of separating the two pools. In the event of a fecal incident, only the pool with the incident would need to be shut down for decontamination, allowing the second pool to continue with all activities. Swimmers are also able to be separated by swimming competency which can increase safety. The two pools could also be run at different temperatures which, depending on usage and how it is maintained, could result in an operational cost savings.

The two-pool option does have disadvantages as well. If a parent/guardian has children of different swimming competency, they may be uncomfortable watching multiple children in separate pools. Also, two pools will necessitate duplication of mechanical equipment as well as a larger mechanical space, though some of the mechanical equipment can be used for both pools. This would mean a larger initial construction cost as well.

In order to maintain ADA accessibility for this option, 3 accessible entries would be needed - 1 for the shallow pool and 2 for the deep pool.

Floor Plan 'A'

Floor Plan 'A' keeps all of the exterior walls of the existing pool house as well as a very similar overall layout. The entry remains as the 3 large overhead doors immediately followed by the admissions desk. From there a patron would enter one of the locker rooms or family changing rooms. These rooms would be ADA compliant with the correct fixture count for the new smaller pool size. Behind the admissions desk is a storage room, a mechanical room that would support the pool house building only, and the guard room with direct access and sightlines to the pool deck.

In the east wing, the concessions has a large window that works directly off of the pool deck in close proximity to a covered seating area. Mirrored on the west wing, the wet class has direct access and sightlines to the pool deck.

Concept 'B'

Concept B is a renovation design that maintains as much of the existing facade as possible while including all program into the pool house with a small addition. This design maintains the symmetry of the site and building, although the pool house would lose one facade.

Site Plan 'B'

Site Plan 'B' shows the renovated pool house with a small addition and a single pool option that keeps the historical feel of the existing pool.

In the south-west corner of the pool deck is a small play area and a turf area with movable seating for sun lounging with permanent sunshades between the two. This location of the play area would give it some privacy from the public parking as well as close proximity to the shallow area of the pool.

Located on the East property line is exterior seating, a covered seating area, and sunshades. The exterior seating would allow guardians to watch children for such activities as swimming lessons without needing to pay an admission fee. The covered seating would be where food and drinks can be consumed safely. Putting these spaces on the East property line would also provide a visual block to the parking lot and bring the visual focus back into the Memorial Pool site.

Pool Design 'B'

This pool design also keeps the overall cross design of the existing pool in a single pool option, although the sides have been shortened and slightly widened. The southern section of the pool is a shallow area that can be utilized as an activity area for younger children. The middle section is a slightly deeper area that has been modified to 6 standard length lap lanes. And the northern section would house the activity well for diving boards and a climbing wall.

The advantage of a single pool option is that less resources are needed to run a single pool compared to two pools - only 2 ADA accessible entries are required into the single pool option and the number of required lifeguards is reduced. The required mechanical space can be reduced as equipment does not need to be duplicated.

The disadvantage is that if an incident that required decontamination were to occur, the entire pool would need to be shut down. The pool would also be the same temperature throughout, so any of heating of the water would require more energy and thus cost.

Floor Plan 'B'

Floor Plan 'B' keeps the east, south, and west historic facades, but does include a 9'-9" addition to the north facades of the east and west wings. In this scheme the center section of the plan features the public

areas of the program: admissions, concessions, and wet classroom that share a large storage room.

The west wing of the plan would now house both the men's, and women's locker rooms and the family changing rooms. There would also be a small mechanical room to house the mechanical equipment needed for the pool house.

The east wing of the plan would house the guard room with access and clear sightlines to the pool and pool deck. This wing would also house the mechanical space for the pool equipment as it would have easy access from the parking lot as well as for the guards. The mechanical space shown is sized for equipment to support a single pool option.

After reviewing the previous two concepts, the public input committee voted to move forward with Concept B.

Concept 'C'

River Architects was then hired for an additional study to look at an historical restoration of Memorial Pool.

Because of the locally historic nature, the design shown utilizes the existing structural walls as well as keeping all new plumbing fixtures on new interior walls. This method of restoration will keep the historic exterior walls intact. With the pool house being renovated within the existing footprint, the mechanical space required for the pool will need to be accommodated in an accessory building on the site.

Site Plan 'C'

Site Plan - Restoration shows the renovated pool house in the existing footprint with a single pool option that keeps the historical feel of the existing pool. Directly to the west of the pool house is

the new 1,200 square foot mechanical accessory building. This building would need access from the exterior for chemical deliveries as well as from the pool deck to allow employee access.

To the North of the mechanical building is a small play area and a turf area with movable seating for sun lounging. This location of the play area would allow for shade from the mechanical building as well as close proximity to the shallow area of the pool.

Located on the East property line is exterior seating, a covered seating area, and sunshades. The exterior seating would allow guardians to watch children for such activities as swimming lessons without needing to pay an admission fee. The covered seating would be where food and drinks can be consumed safely. Putting these spaces on the East property line would also provide a visual block to the parking lot and bring the visual focus back into the Memorial Pool site.

Pool Design 'C'

This pool design keeps the overall cross design of the existing pool in a single pool option, although the sides have been shortened and slightly widened. The southern section of the pool is a shallow area that can be utilized as an activity area for younger children. This southern edge is not where the existing pool edge is because a 15' separation must be maintained from the pool house structure. The middle section is a slightly deeper area that has been modified to 6 standard length lap lanes. And the northern section would house the activity well for diving boards and a climbing wall.

Floor Plan 'C'

Floor Plan - Restoration keeps all of the exterior walls of the existing pool house as well as a very similar overall layout. The entry remains as the 3 large overhead doors immediately followed by

the admissions desk. From there a patron would enter one of the locker rooms or exit onto the pool deck to access the family changing rooms. These renovated rooms would be ADA compliant with the correct fixture count for the new smaller pool size. Connected to the admissions desk is the concessions area, which would allow for only one employee to manage both. These rooms also have direct access to a large storage room as well. With direct access and sightlines to the pool, the guard room is opposite to the admissions.

OPINION OF ESTIMATED COST - CONCEPT 'A'

The Opinion of Estimated Cost is based on information obtained from construction cost guides, construction costs from similar projects, and the judgement of the author. It is not a bid, and it is possible that actual bids may vary considerable from this Opinion of Estimated Cost. Rapidly changing construction material prices may not be reflected in construction cost guides. In addition, it is difficult to anticipate the cost impact of concealed existing conditions.

<u>ITEM/Description</u>	<u>COST</u>
A. SITE WORK	480,385
1. Demolition	25,000
2. Excavation	25,000
3. Grading	11,200
4. Tracking Pad	1,000
5. Erosion Control	1,350
6. Concrete Sidewalks	49,125
7. Concrete Pool Deck	196,650
8. Street & Sidewalk Repair	18,500
9. Pool Deck Drains	30,000
10. Brick & Stone Landscape Walls	32,000
11. Site Benches	11,900
12. Fencing	32,500
13. Landscaping	25,000
14. Sod	20,160
15. Bike Racks	9,000
16. Lighting	42,000
B. PARKING LOT	70,000
1. Asphalt	70,000
2. Curbs & Gutters	3,300
C. POOL RENOVATIONS	2,846,135
1. Demolition	191,985
2. Pool Shell & Finishes	1,501,815
3. Mechanical	689,535
4. Program Equipment	423,800
5. General Equipment	39,000
D. POOL HOUSE RESTORATION & MECHANICAL BUILDING CONSTRUCTION	963,999
1. Demolition	28,000
2. Asbestos Abatement	10,000
3. Lead Abatement	5,000
4. Fill Lower Level & Concrete Slab	23,500
7. Tuckpointing/Cleaning Masonry	34,500
8. Structural Repairs	25,000
9. Rough Carpentry	48,000
10. Finish Carpentry	32,500
12. Roof Membrane & Insulation	48,360
14. Roof Skylights	21,000
15. Doors	18,000
16. Repaint Overhead Doors	256
17. Windows	5,500
18. Plaster Finish	45,000
19. Tiling	56,190
20. Painting	23,500
21. Joint Sealers	4,000
22. Flooring	33,800

23.	Casework & Countertops	25,000	
24.	Equipment	24,995	
25.	Electrical	38,500	
26.	Plumbing	90,675	
27.	HVAC	28,500	
28.	Security & Cameras	15,000	
29.	Foundations	40,625	
30.	Concrete Slab	14,063	
31.	Masonry	34,250	
32.	Building Insulation	19,125	
33.	Roof Structure	36,625	
34.	Roof Membrane & Insulation	22,500	
35.	Roof Drains	500	
36.	Doors	3,400	
37.	Painting	40,625	
38.	Electrical	31,800	
39.	Plumbing	27,200	
40.	HVAC	8,550	
F.	COVERED SEATING AREA		162,219
1.	Foundation & Concrete Walls	22,580	
2.	Concrete Paving	13,680	
3.	Masonry - Wall	30,600	
4.	Structural Steel	31,400	
5.	Wood Roof Decking	7,000	
6.	Rough Carpentry	15,000	
7.	Roofing	9,800	
8.	Sheet Metal Flashing	800	
9.	Gutters	336	
10.	Downspouts	228	
11.	Painting	4,800	
12.	Staining	1,995	
13.	Tables & Chairs	10,500	
14.	Lighting	13,500	
G.	PLAY AREA		50,450
1.	Rubber Surface	15,450	
2.	Play Equipment	35,000	
H.	SUNSHADES		99,664
1.	Foundations	11,640	
2.	Masonry Wall	21,600	
3.	Carpentry	15,500	
4.	Structural Steel	34,524	
5.	Painting	5,400	
6.	Lounger Seating	11,000	
I.	UTILITIES		53,500
1.	Storm Sewer	11,000	
2.	Water Service	14,000	
3.	Electrical Service	28,500	

J.	CONSTRUCTION SUBTOTAL	4,726,352
1.	Add lines A-I	
K.	GENERAL CONDITIONS	330,845
1.	7% of line J	
L.	CONSTRUCTION CONTINGENCY	505,720
1.	10% of line J + line K	
M.	A/E FEE	556,292
1.	10% of line J + line K + line L	
N.	TOTAL PROJECT COST ESTIMATE	\$6,119,209

OPINION OF ESTIMATED COST - CONCEPT 'B'

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<u>ITEM/Description</u>	<u>COST</u>	
A. SITE WORK		480,385
1. Demolition	25,000	
2. Excavation	25,000	
3. Grading	11,200	
4. Tracking Pad	1,000	
5. Erosion Control	1,350	
6. Concrete Sidewalks	49,125	
7. Concrete Pool Deck	196,650	
8. Street & Sidewalk Repair	18,500	
9. Pool Deck Drains	30,000	
10. Brick & Stone Landscape Walls	32,000	
11. Site Benches	11,900	
12. Fencing	32,500	
13. Landscaping	25,000	
14. Sod	20,160	
15. Bike Racks	9,000	
16. Lighting	42,000	
B. PARKING LOT		70,000
1. Asphalt	70,000	
2. Curbs & Gutters	3,300	
C. POOL RENOVATIONS		2,549,945
1. Demolition	152,978	
2. Pool Shell & Finishes	1,343,610	*Cost of new pool
3. Mechanical	596,057	shell, additional
4. Program Equipment	418,300	\$180,000
5. General Equipment	39,000	
D. POOL HOUSE RENOVATIONS		838,897
1. Demolition	28,000	
2. Asbestos Abatement	10,000	
3. Lead Abatement	5,000	
4. Foundations	47,120	
5. Concrete Slab	28,913	
6. Masonry	25,120	
7. Tuckpointing/Cleaning Masonry	34,500	
8. Structural Repairs	25,000	
9. Rough Carpentry	48,000	
10. Finish Carpentry	32,500	
11. Building Insulation	13,210	
12. Roof Membrane & Insulation	48,360	
13. Roof Drains	750	
14. Roof Skylights	24,500	
15. Doors	24,000	
16. Overhead Doors	9,000	
17. Windows	8,000	
18. Plaster Finish	98,568	

19.	Tiling	56,190	
20.	Painting	11,737	
21.	Joint Sealers	4,000	
22.	Flooring	33,800	
23.	Casework & Countertops	25,000	
24.	Equipment	24,995	
25.	Electrical	28,500	
26.	Plumbing	90,675	
27.	HVAC	38,500	
28.	Security & Cameras	15,000	
E.	COVERED SEATING AREA		162,219
1.	Foundation & Concrete Walls	22,580	
2.	Concrete Paving	13,680	
3.	Masonry - Wall	30,600	
4.	Structural Steel	31,400	
5.	Wood Roof Decking	7,000	
6.	Rough Carpentry	15,000	
7.	Roofing	9,800	
8.	Sheet Metal Flashing	800	
9.	Gutters	336	
10.	Downspouts	228	
11.	Painting	4,800	
12.	Staining	1,995	
13.	Tables & Chairs	10,500	
14.	Lighting	13,500	
F.	PLAY AREA		50,450
1.	Rubber Surface	15,450	
2.	Play Equipment	35,000	
G.	SUNSHADES		176,188
1.	Foundations	22,580	
2.	Masonry Wall	43,200	
3.	Carpentry	15,500	
4.	Structural Steel	69,048	
5.	Painting	10,860	
6.	Lounger Seating	15,000	
H.	UTILITIES		53,500
1.	Storm Sewer	11,000	
2.	Water Service	14,000	
3.	Electrical Service	28,500	
I.	CONSTRUCTION SUBTOTAL		4,381,584
1.	Add lines A-H		
J.	GENERAL CONDITIONS		306,711
1.	7% of line I		
K.	CONSTRUCTION CONTINGENCY		468,829
1.	10% of line I + line J		
G.	A/E FEE		515,712
1.	10% of line I + line J + line K		
H.	TOTAL PROJECT COST ESTIMATE		\$5,672,836

OPINION OF ESTIMATED COST - CONCEPT 'C'

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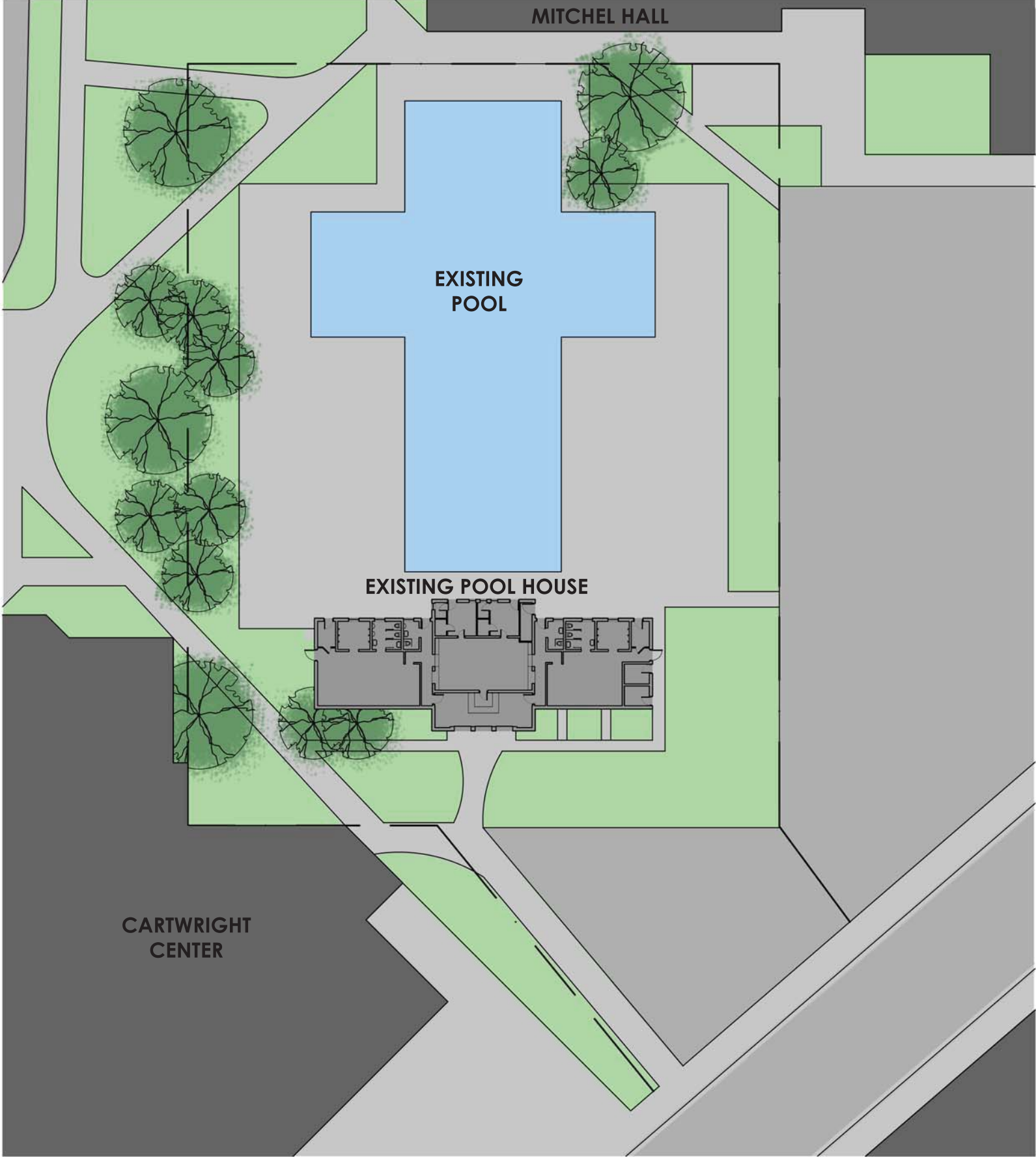
ITEM/Description		COST	
A.	SITE WORK	480,385	
1.	Demolition	25,000	
2.	Excavation	25,000	
3.	Grading	11,200	
4.	Tracking Pad	1,000	
5.	Erosion Control	1,350	
6.	Concrete Sidewalks	49,125	
7.	Concrete Pool Deck	196,650	
8.	Street & Sidewalk Repair	18,500	
9.	Pool Deck Drains	30,000	
10.	Brick & Stone Landscape Walls	32,000	
11.	Site Benches	11,900	
12.	Fencing	32,500	
13.	Landscaping	25,000	
14.	Sod	20,160	
15.	Bike Racks	9,000	
16.	Lighting	42,000	
B.	PARKING LOT	70,000	
1.	Asphalt	70,000	
2.	Curbs & Gutters	3,300	
C.	POOL RENOVATIONS	2,592,795	
1.	Demolition	152,978	
2.	Pool Shell & Finishes	1,386,460	*Cost of new pool shell, additional
3.	Mechanical	596,057	\$180,000
4.	Program Equipment	418,300	
5.	General Equipment	39,000	
D.	POOL HOUSE RESTORATION & MECHANICAL BUILDING CONSTRUCTION	917,436	
1.	Demolition	28,000	
2.	Asbestos Abatement	10,000	
3.	Lead Abatement	5,000	
4.	Lower Level Restoration	18,500	
7.	Tuckpointing/Cleaning Masonry	34,500	
8.	Structural Repairs	25,000	
9.	Rough Carpentry	48,000	
10.	Finish Carpentry	32,500	
12.	Roof Membrane & Insulation	48,360	
14.	Roof Skylights	21,000	
15.	Doors	18,000	
16.	Repaint Overhead Doors	256	
17.	Windows	5,500	
18.	Plaster Finish	45,000	
19.	Tiling	56,190	
20.	Painting	23,500	
21.	Joint Sealers	4,000	
22.	Flooring	33,800	

23.	Casework & Countertops	25,000	
24.	Equipment	24,995	
25.	Electrical	38,500	
26.	Plumbing	90,675	
27.	HVAC	28,500	
28.	Security & Cameras	15,000	
29.	Foundations	32,500	
30.	Concrete Slab	11,250	
31.	Masonry	27,400	
32.	Building Insulation	15,300	
33.	Roof Structure	29,300	
34.	Roof Membrane & Insulation	18,000	
35.	Roof Drains	500	
36.	Doors	3,400	
37.	Painting	32,500	
38.	Electrical	31,800	
39.	Plumbing	27,200	
40.	HVAC	8,550	
F.	COVERED SEATING AREA		162,219
1.	Foundation & Concrete Walls	22,580	
2.	Concrete Paving	13,680	
3.	Masonry - Wall	30,600	
4.	Structural Steel	31,400	
5.	Wood Roof Decking	7,000	
6.	Rough Carpentry	15,000	
7.	Roofing	9,800	
8.	Sheet Metal Flashing	800	
9.	Gutters	336	
10.	Downspouts	228	
11.	Painting	4,800	
12.	Staining	1,995	
13.	Tables & Chairs	10,500	
14.	Lighting	13,500	
G.	PLAY AREA		51,800
1.	Rubber Surface	16,800	
2.	Play Equipment	35,000	
H.	SUNSHADES		99,664
1.	Foundations	11,640	
2.	Masonry Wall	21,600	
3.	Carpentry	15,500	
4.	Structural Steel	34,524	
5.	Painting	5,400	
6.	Lounger Seating	11,000	
I.	UTILITIES		53,500
1.	Storm Sewer	11,000	
2.	Water Service	14,000	
3.	Electrical Service	28,500	

J.	CONSTRUCTION SUBTOTAL	4,427,799
	1. Add lines A-I	
K.	GENERAL CONDITIONS	309,946
	1. 7% of line J	
L.	CONSTRUCTION CONTINGENCY	473,774
	1. 10% of line J + line K	
M.	A/E FEE	521,152
	1. 10% of line J + line K + line L	
N.	TOTAL PROJECT COST ESTIMATE	\$5,732,671

APPENDIX: Plans

Existing Site Plan
Existing Floor Plan
Site Plan 'A'
Pool Design 'A'
Floor Plan 'A'
Site Plan 'B'
Pool Design 'B'
Floor Plan 'B'
Site Plan 'C'
Pool Design 'C'
Floor Plan 'C'
Elevations 'C'
Elevations 'C'



EXISTING SITE PLAN

1" = 40'-0"

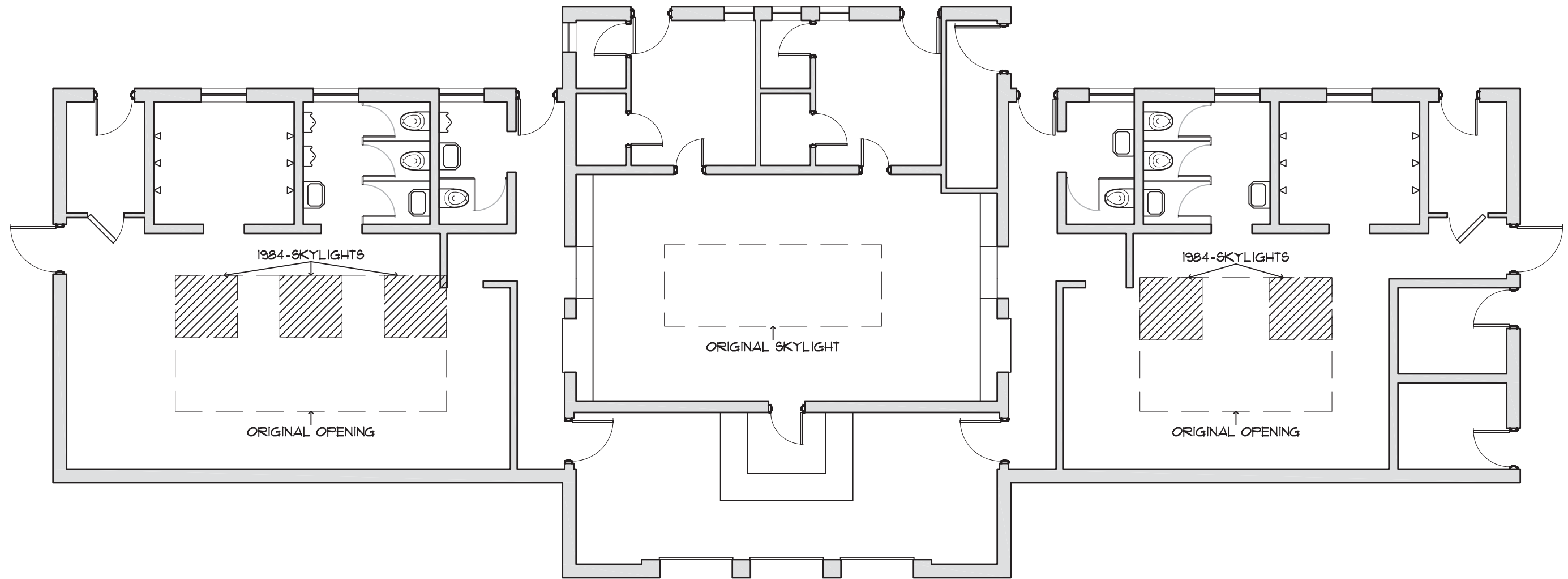


river ARCHITECTS
740 7th Street North La Crosse, WI 54601-3308 Tel 608 785-2217

MEMORIAL POOL

RA# 1460

11-3-2017



EXISTING FLOOR PLAN

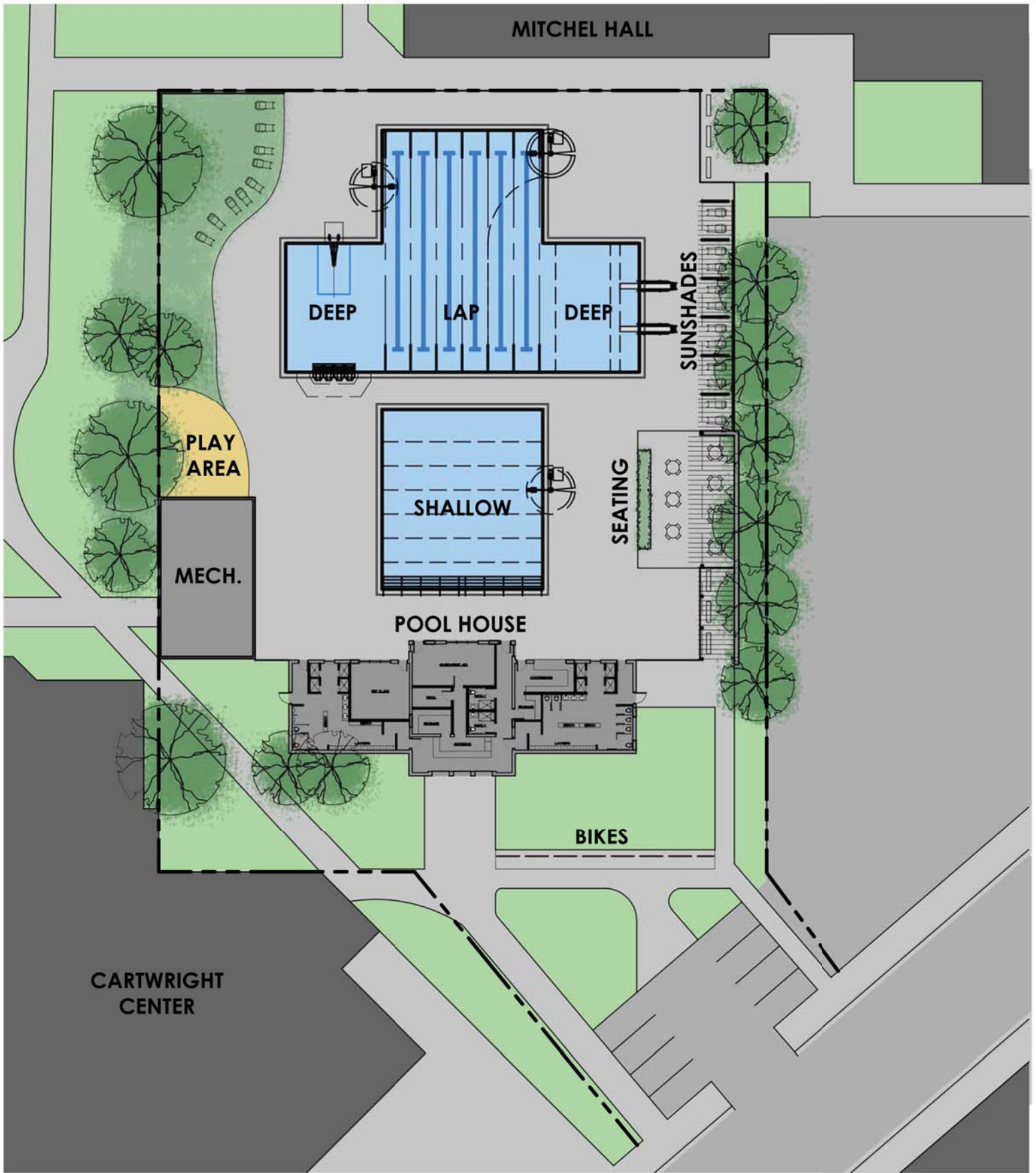
1/8" = 1'-0"



MEMORIAL POOL

RA# 1460

10-20-2017



SITE PLAN 'A'
1" = 40'-0"



river ARCHITECTS

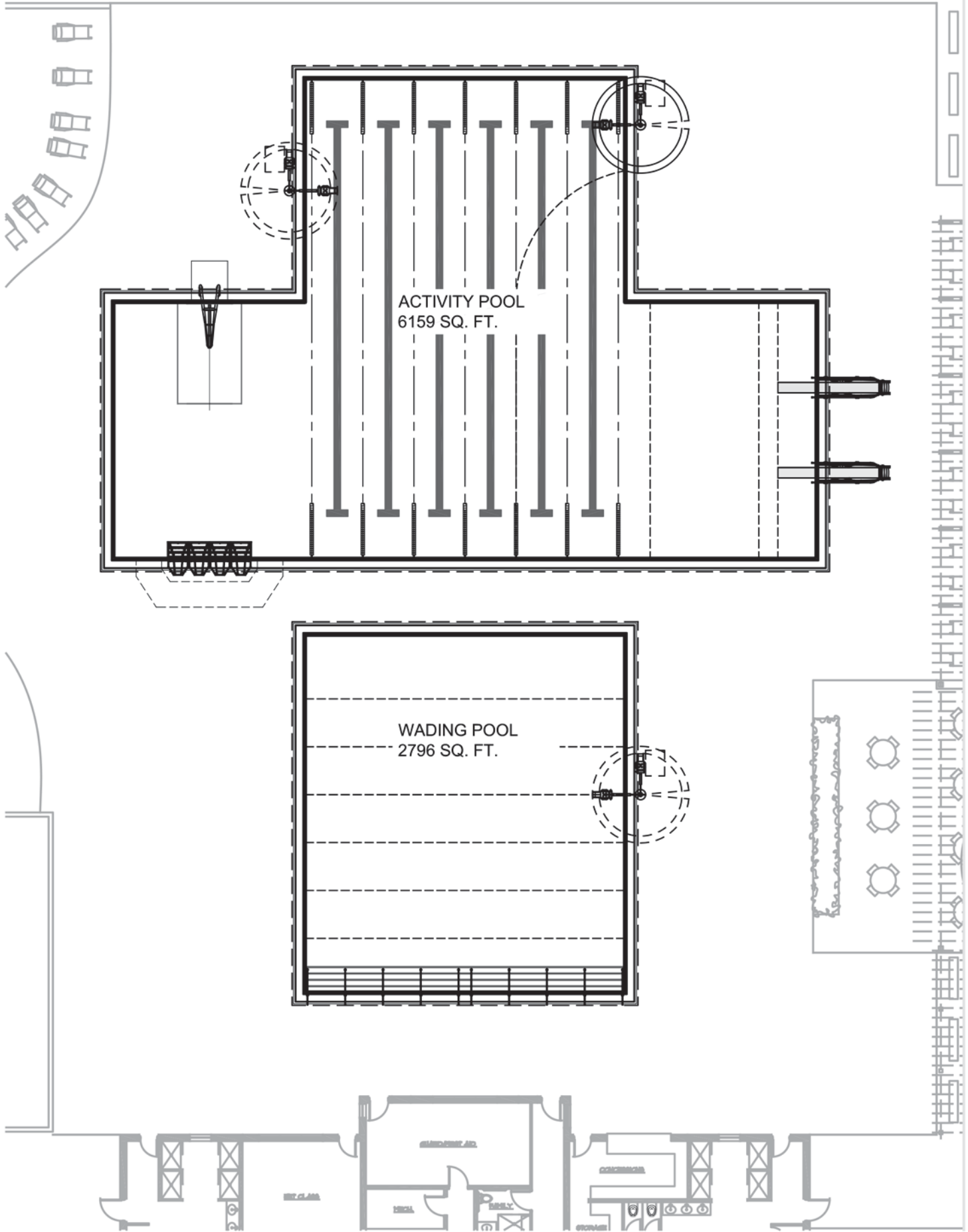
740 7th Street North La Crosse, WI 54601-3308 Tel 608 785-2217

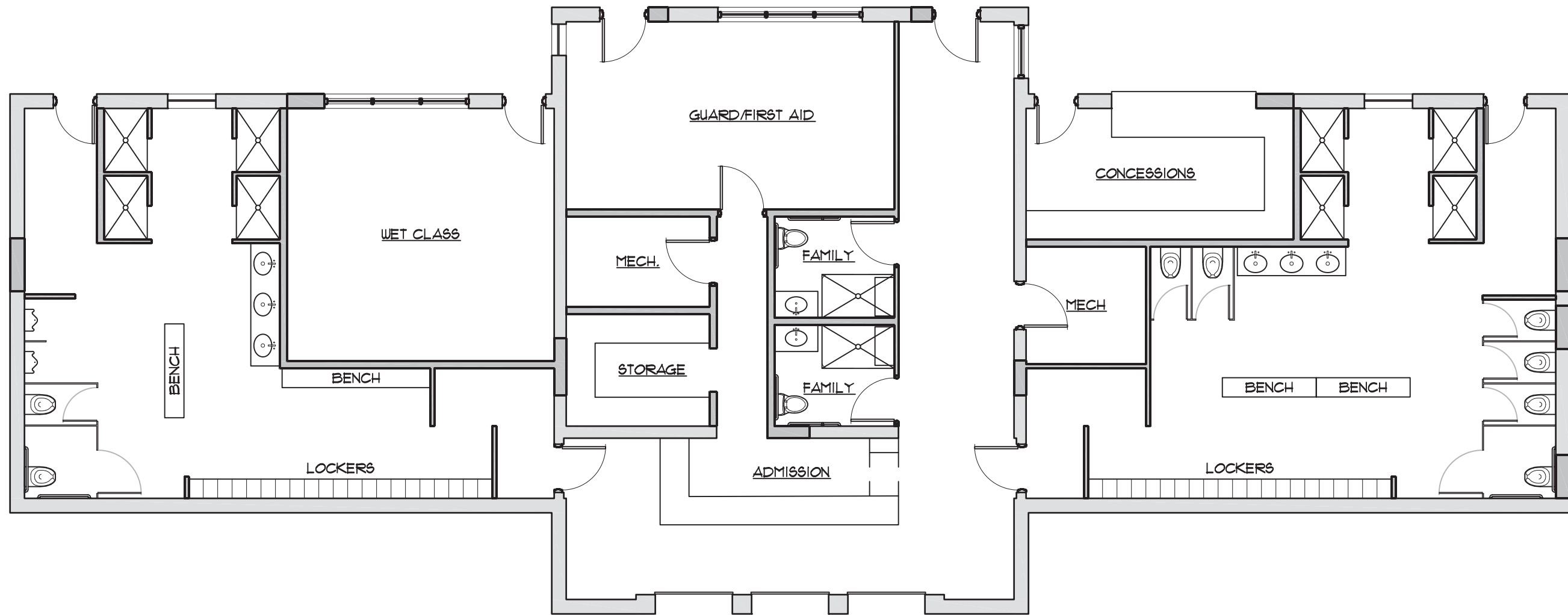
MEMORIAL POOL

RA# 1460

9-13-2017

POOL DESIGN 'A'





EXISTING CONSTRUCTION

NEW CONSTRUCTION

POOL SIZE = 8,999 SQ. FT. MAX

FLOOR PLAN 'A'

1/8" = 1'-0"



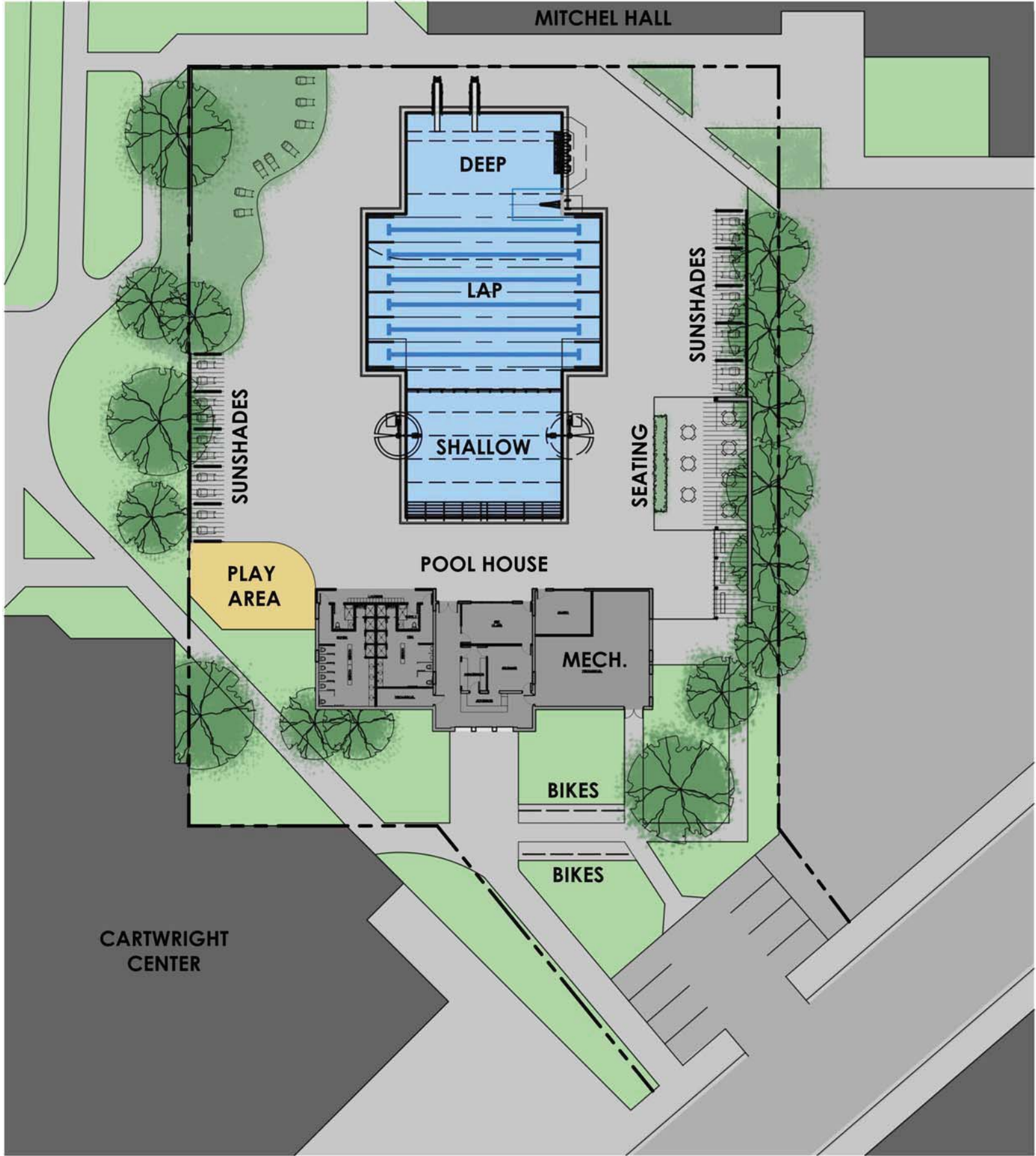
riverARCHITECTS

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MEMORIAL POOL

RA# 1460

9-13-2017



SITE PLAN 'B'
 1" = 40'-0"

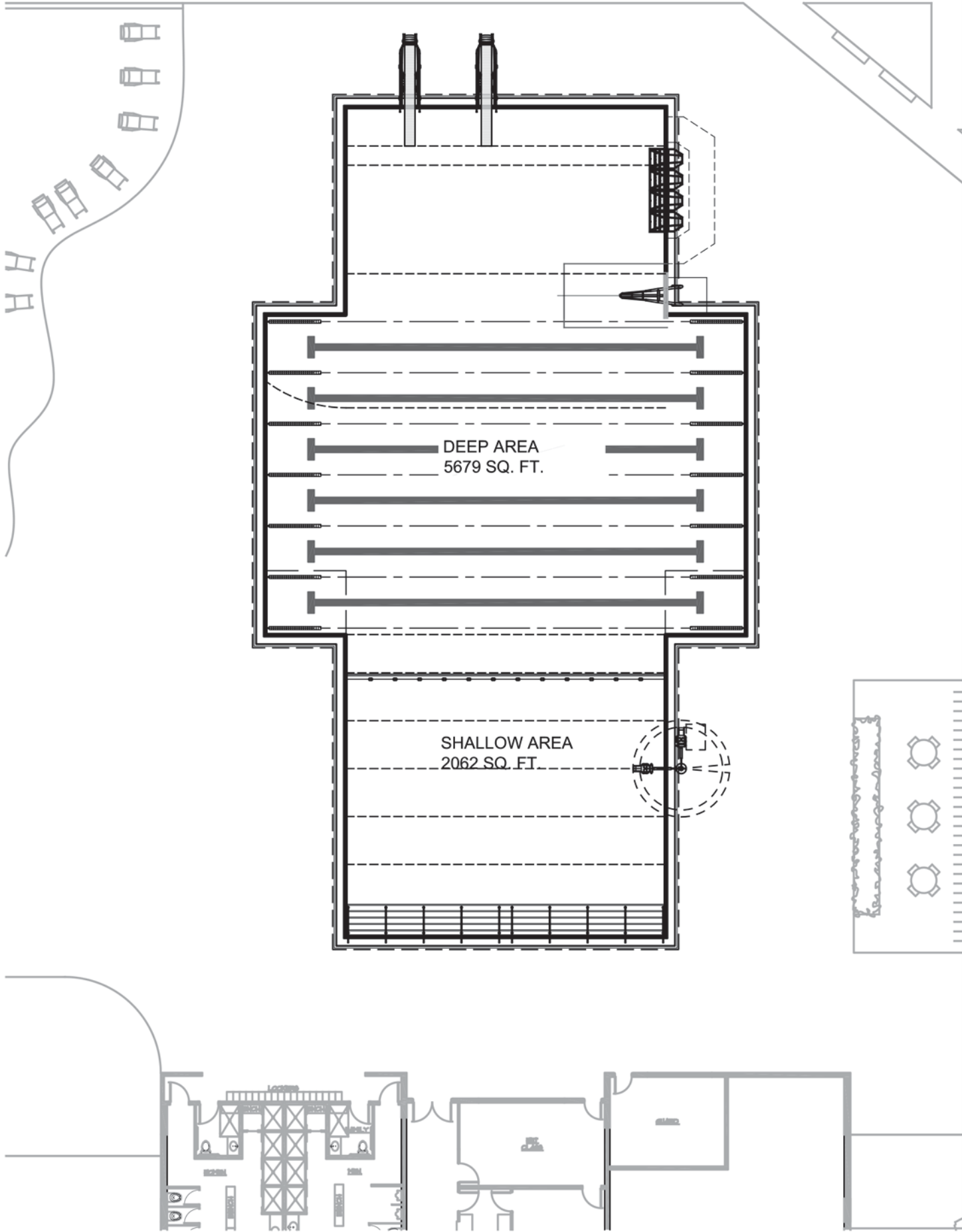


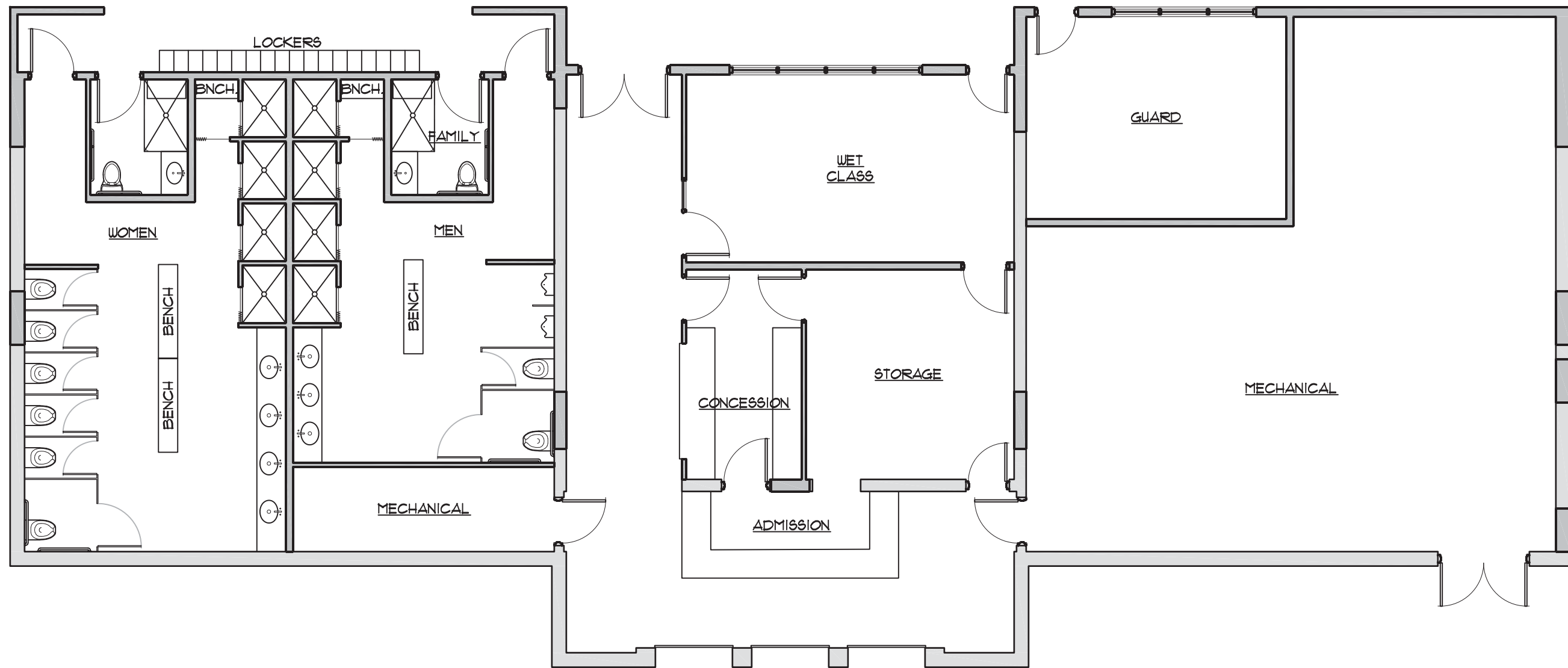
river ARCHITECTS
 740 7th Street North La Crosse, WI 54601-3308 Tel 608 785-2217

MEMORIAL POOL
 RA# 1460

9-15-2017

POOL DESIGN 'B'





EXISTING CONSTRUCTION

NEW CONSTRUCTION

POOL SIZE = 8,999 SQ. FT. MAX

FLOOR PLAN 'B'

1/8" = 1'-0"



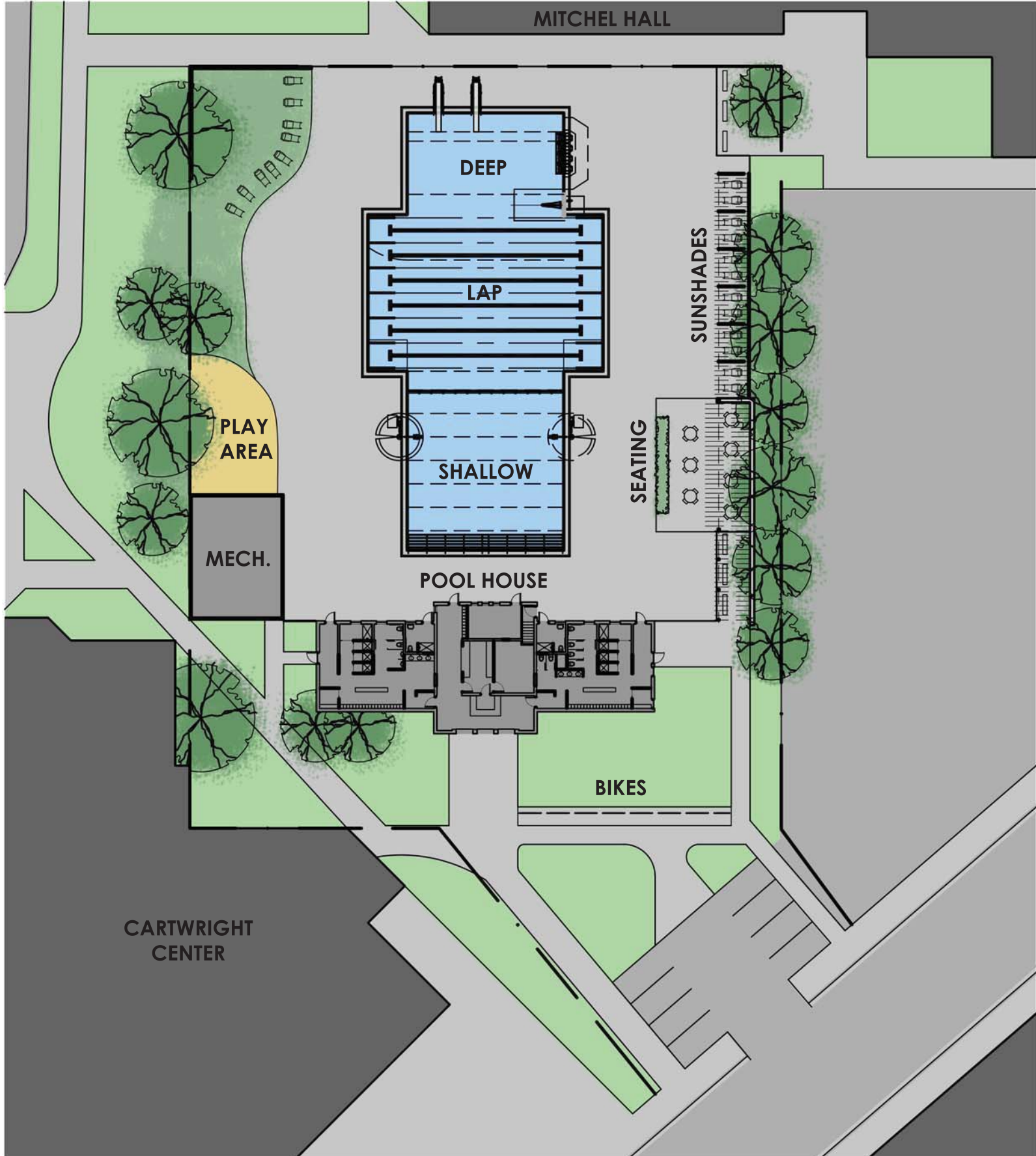
riverARCHITECTS

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MEMORIAL POOL

RA# 1460

9-15-2017



SITE PLAN 'C'
 1" = 40'-0"

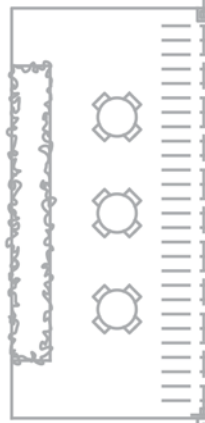
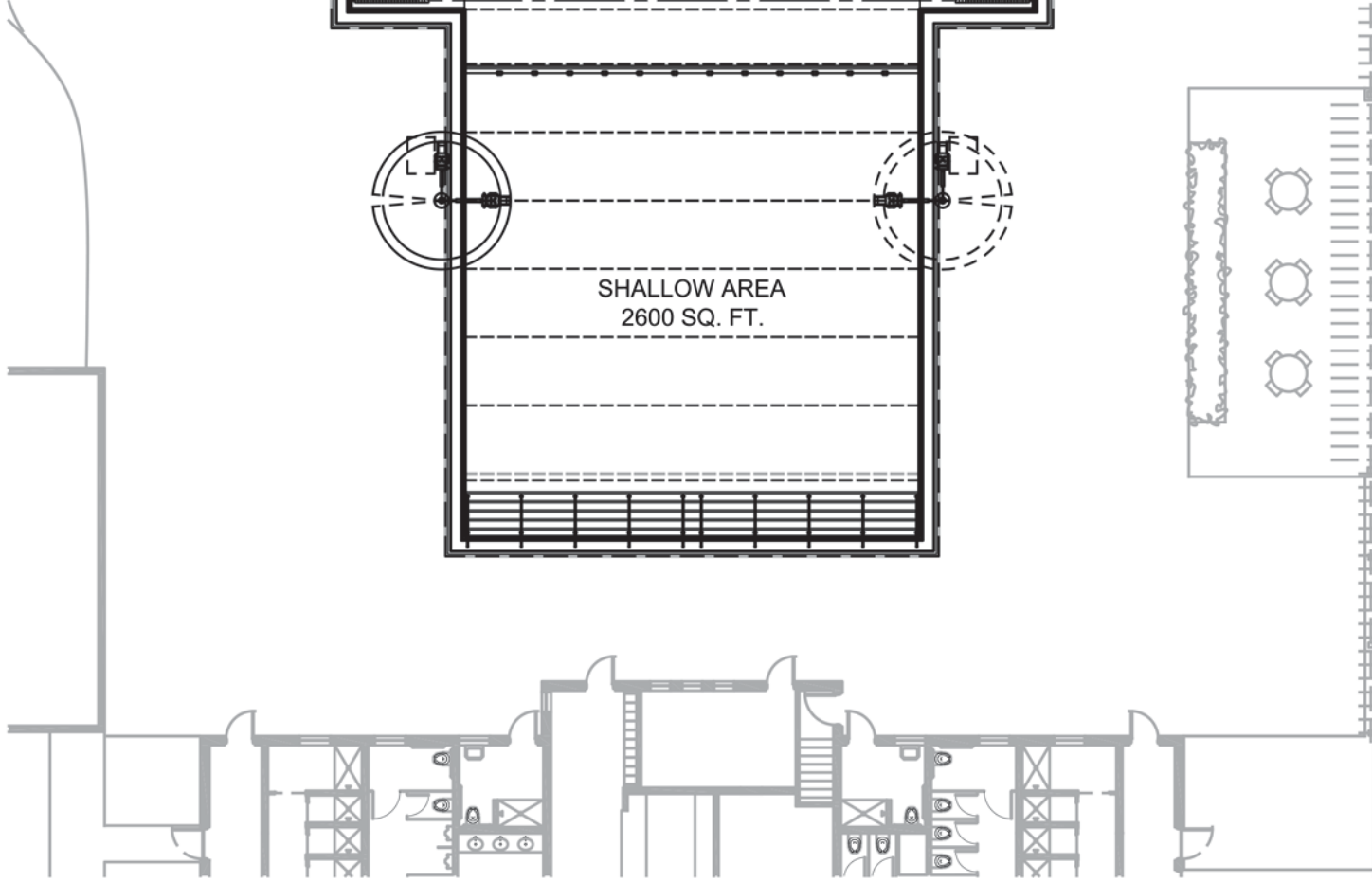
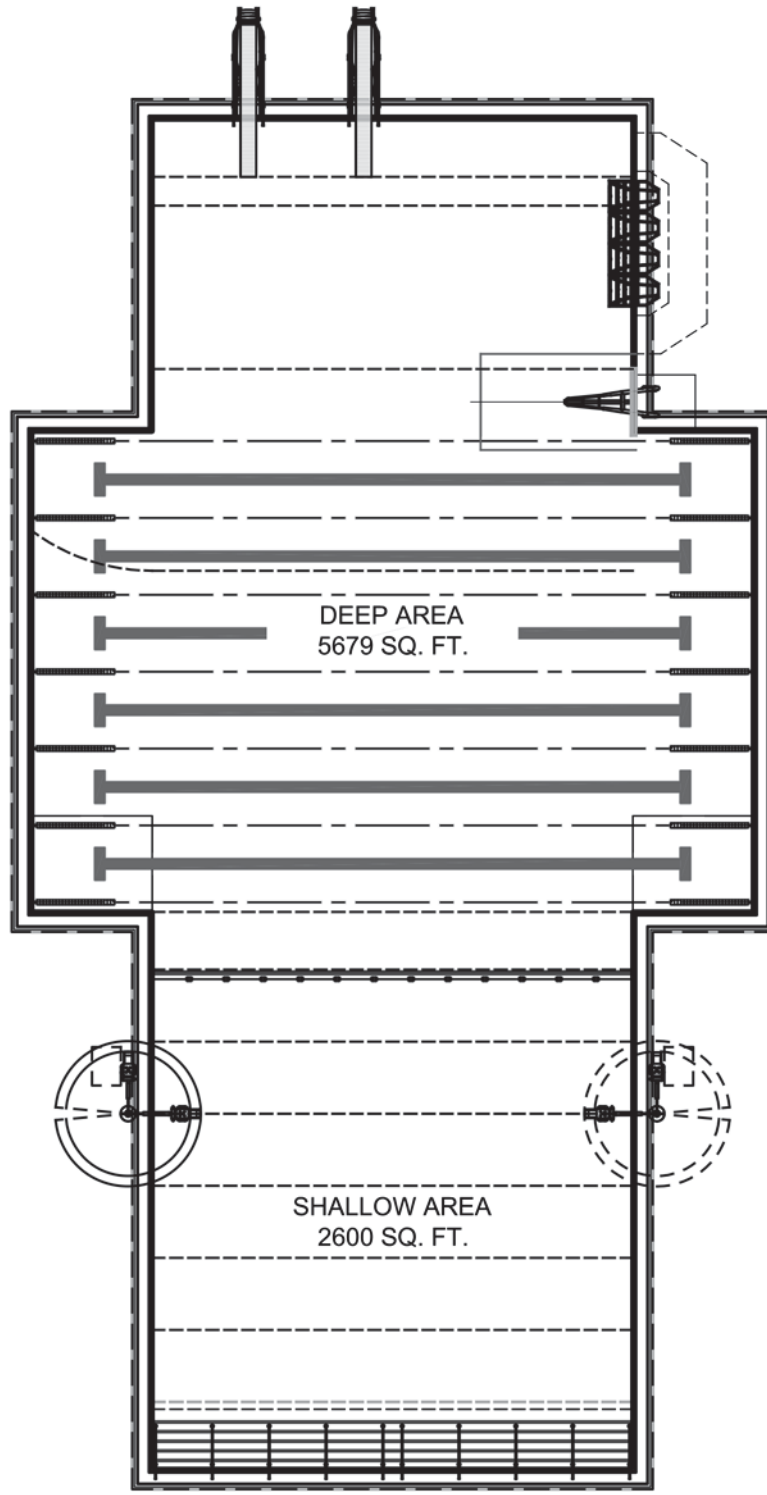


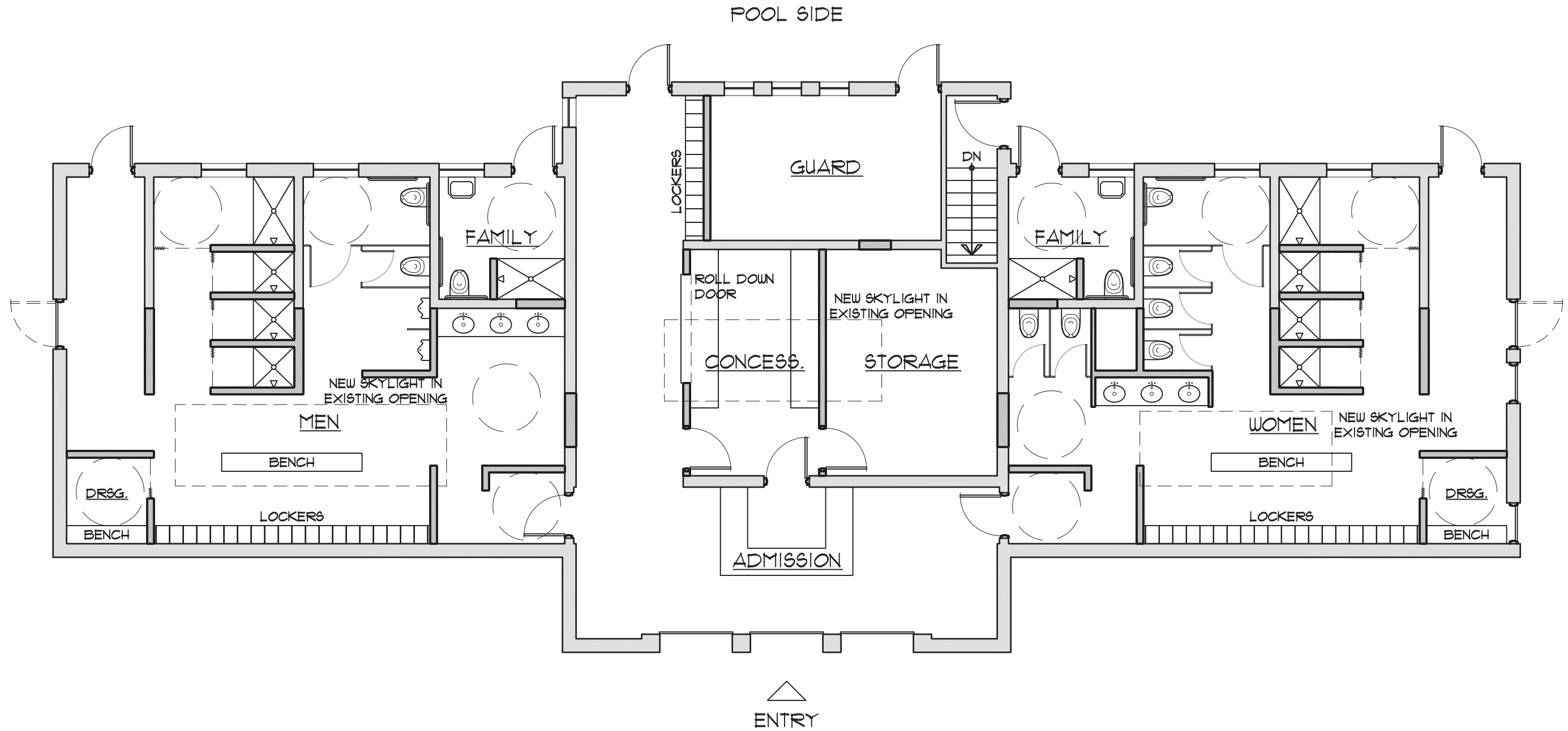
river ARCHITECTS
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MEMORIAL POOL
 RA# 1460

11-3-2017

POOL DESIGN 'C'





- EXISTING CONSTRUCTION
- NEW CONSTRUCTION

POOL SIZE = 8,999 SQ. FT. MAX

FLOOR PLAN 'C'

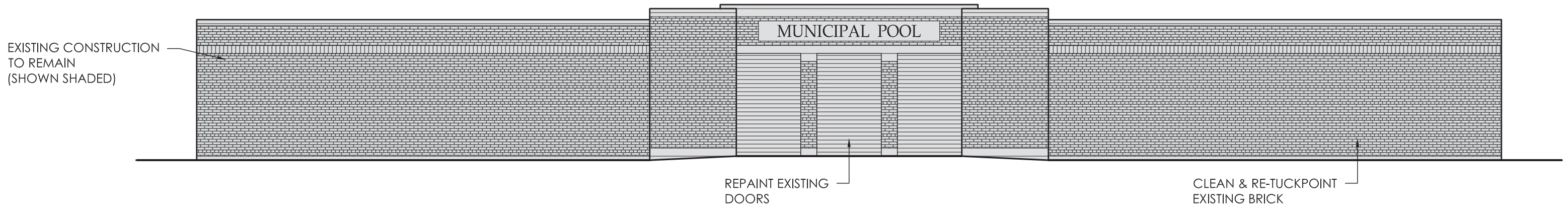
1/8" = 1'-0"



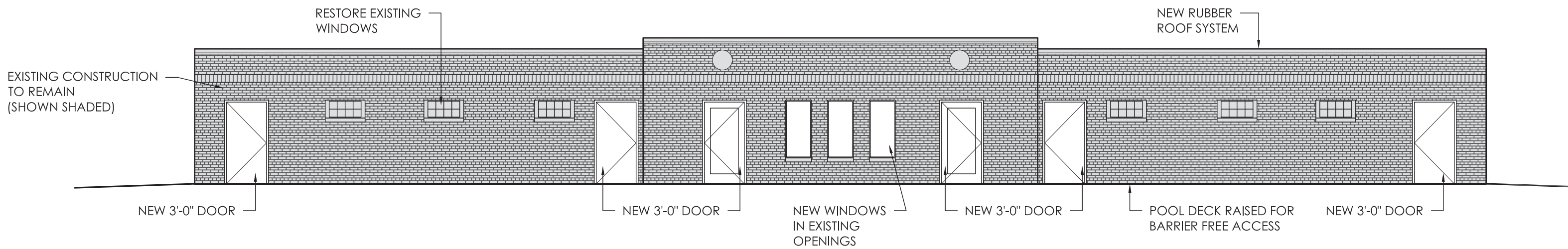
MEMORIAL POOL

RA# 1460

11-3-2017



SOUTH ELEVATION



NORTH ELEVATION

ELEVATIONS 'C' - NORTH & SOUTH

1/8" = 1'-0"

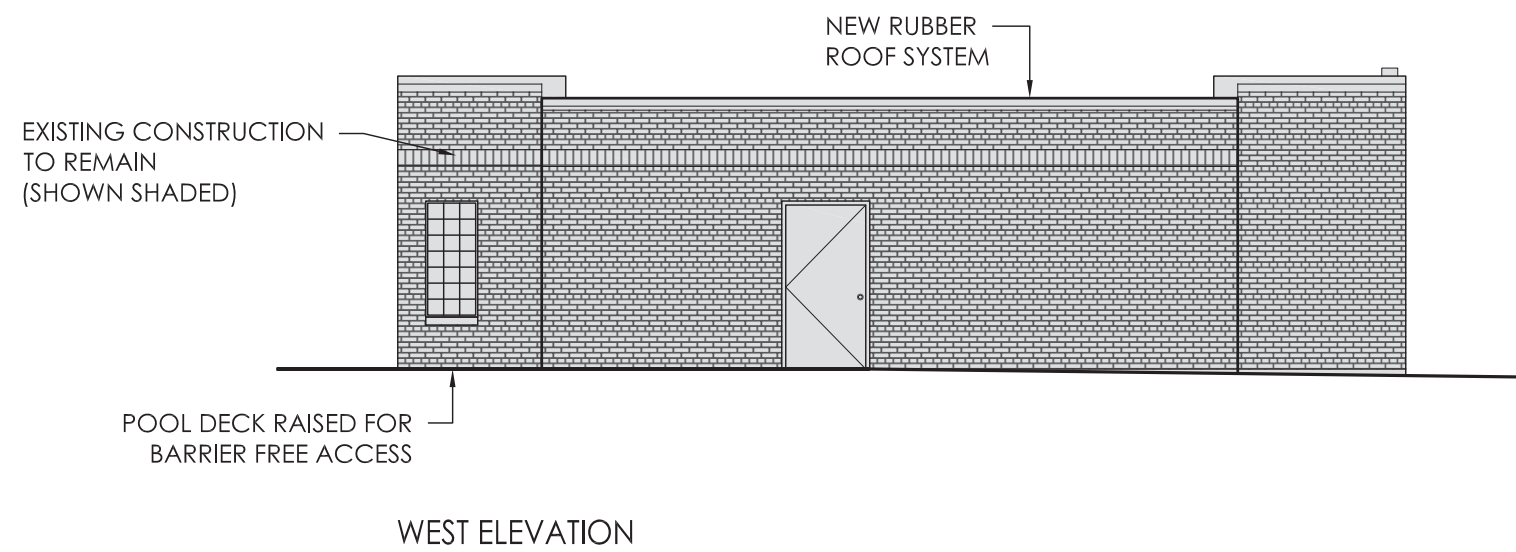
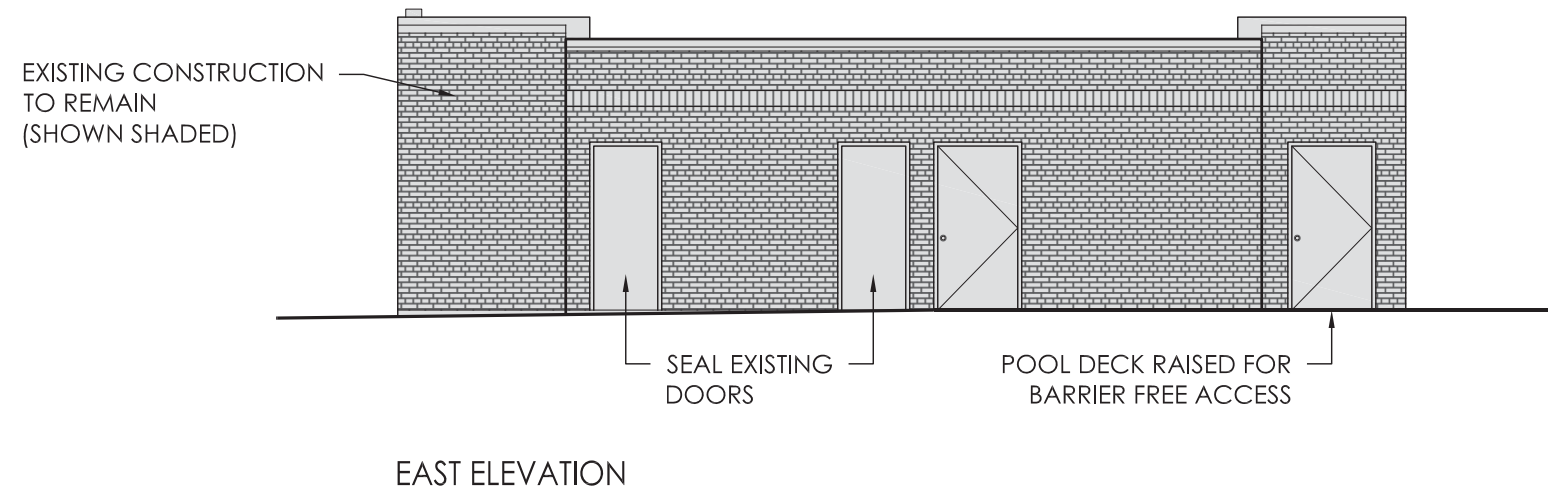
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MEMORIAL POOL

RA# 1460

11-3-2017



ELEVATIONS 'C' - EAST & WEST

$\frac{1}{8}'' = 1'-0''$

riverARCHITECTS

740 7th Street North La Crosse, WI 54601-3308 Tel 608 785-2217

MEMORIAL POOL

RA# 1460

11-3-2017

Minutes Of Meeting For **LaCrosse**

Date & Time August 16,2017
Place Of Meeting River Architects' Office

Present: Kraig Brownell, Chris Kahlow, Jacob Sciammas, Jessica Olson, Barb Janssen, John Jolley, Matt Freeby

Prepared By: Matt Freeby

Date Prepared: Thursday, August 24, 2017

Note: The following items shall be recorded as a part of the above project record and acted upon as noted unless Water Technology, Inc. is promptly directed to proceed otherwise.

Items Discussed:

The overall goal of the study is to explore the options and to select the best design that meets the needs, program and overall budget. It was discussed that the committee would recommend one final design to the Park and Recreation Department.

This is a neighborhood pool and should be very simple in design. "Not alot of toys".

Pool and bathhouse have both been designated as historic by local committee.

Major concern is that the historic value of pool and bathhouse has not been fairly evaluated.

- Wants to put forward one solution – one that mimics existing.

Can outdoor showers count toward fixture counts?

September 29 information required / October 2nd is City finance meeting.

1. Pool responsive to all ages – laps, lessons
2. Heated / Solar Panels
3. Replicate existing (preserve as much as possible)
4. Middle school age and up
5. Sustainable is important.
6. Use LEED Principals
6. Historic preservation
7. Veteran's designation
8. Multi-cultural magnet

Program:

Site:

- Use every inch of the property
- Exterior Exercise Area
- Exterior Viewing Area
- Parking – bicycles, handicapped

Minutes Of Meeting For LaCrosse

- No additional vehicle parking required
- Signage (visibility)
- Lighting (historic)
- Preserve bus stop
- Sand volleyball if the sized of the lot will allow
- Aesthetic fencing
- Historic Connection to Veteran's Field

Deck:

- Shade
- Moveable shade
- Green space / landscaping
- Concessions / must compliment local business
- Sound system
- Wifi
- Yoga / fitness area
- Birthday / group location
- Fire pit
- Use entire parcel – every inch of the property
- Fitness area
- Deck showers
- Dry play (kids)
- Picnic area
- Berms
- Chess / checkers
- Queing (pre-entry)
- Outside fence viewing / bench

Building:

- Toilets / showers (not 4 season)
- Admissions
- Staff office / first aid
- Basket service vs Lockers were discussed
- Family change
- Concessions
- Open air wet classroom
- Mechanical space
- Storage
- Guard Room
- Wet Classroom

Pool:

- Lessons
 - o Infant to Adults
 - o All Red Cross offerings
- Diving boards – 1M & 3M, if possible
- Laps (6 lane – more if possible) (SCY)
- Slides (platform height 6' or less) (Non-guarded)
- Volleyball, basketball
- Log rolling
- Kids Play

Minutes Of Meeting For **LaCrosse**

- Climbing wall
- Open water
- Slack line
- No zero-depth entry
- Shallow water (24")
- Night swimming
- Competition (not required)
- ADA Access

Next Meeting: August 28th, 1-3 PM @ River Architects

MEETING NOTES – August 28, 2017

PRESENT:

Barb Janssen, Chris Kahlow, Jackie Marcou, Jay Odegaard, Kraig Brownell, Jacob Sciammas, Jessica Olson, Matt Freeby, Mike Swinghamer, Alyssa Frank

ITEMS REVIEWED AND DISCUSSED

1. Update from Chris regarding the Heritage Preservation Commission (HPC). The recommendations made by the HPC not binding as this is a local historical site. They are recommending that the site and building retain the feeling of the old Memorial Pool, hopefully by retaining the pool house.
2. Mike gave a quick update on the state of the existing pool house. The building has some major issues such as the following:
 - a. The original structure was open air and has been enclosed in subsequent renovations
 - b. The roof is leaking, leading to water damage in the building. This necessitates a new roof.
 - i. Because the roof was added later and the walls are non-structural, a new roof would mean new structural components (columns, joists, ect.)
 - c. Steel joists above the mechanical area are rusting and require significant work and due to access considerations and size restraints, the mechanical equipment should be relocated, the lower level should be filled and a new concrete floor poured.
 - d. Steel lintels and beams are rusting and would need to be replaced.

There would need to be a lot of restructuring renovating to update the existing pool house, but it is possible.

3. The pool concrete walls are most likely in good condition, however, depending on the new design of the pool, more investigation may need in specific areas.
4. Paragon has given a quote of \$4,200 to conduct a full survey including utilities, topography, and easements and are able to start immediately.
 - a. It was agreed that Mike will contact Paragon to start the surveying.
5. Site Plan options were reviewed
 - a. The symmetry of the existing Memorial Pool should be maintained to keep the original feel of the site.
 - b. There should be an area(s) with seating provided outside the fenced area for parents to sit while still being able to view the pool.
 - c. If a sand volleyball court were to be included, it would be through a partnership between UWL and the City of La Crosse and be located on UWL Property.
 - i. It would not fit on the current site.

- d. If the new mechanical space were to be located on the north-east corner of the property, it would save on some of the piping costs of the large pipes and fittings connecting the pumps to the pool(s).
 - i. The utilities most likely come in from the southern property line, but would be verified on the Paragon survey.
 - ii. The chemicals would be delivered on the south edge of the property and would need to be hauled to the mechanical space unless a deal is made with UWL to utilize their adjacent parking lot.
 - iii. This location would keep the noise away from the locker rooms and public space, but would be further for employees to monitor.
6. Floor Plans were reviewed
- a. The question was raised as to if the pool house can be returned to being open air.
 - i. Because of visibility from the surrounding taller buildings and the privacy needed, this is not recommended.
 - b. The number of fixtures in the locker rooms is dictated by the surface area of the pool.
 - i. There can be showers on the pool deck, but they do not lower the fixture count of the showers needed within the pool house.
 - c. The committee would like to explore options that house the mechanical space in the pool house either in the main space or an addition.
 - i. Because the mechanical space needs to be 8 feet below grade, an attached addition would need the existing foundations to be restructured and underpinned. Costly, but do-able.
 - d. The committee would be willing to sacrifice some of the program (concession, wet classroom) if the mechanical space can be included.
 - e. The option to have the lockers exterior of the locker rooms is good for visibility and security. Another option would be to include a locker kiosk not attached to the existing pool house.
 - f. **NEXT STEPS:** River Architects will create a cost estimate and square footages for two concepts; an historical concept that maintains the shell of the existing pool house, and a hybrid concept that maintains the front façade of the pool house but has a new layout behind.
7. Pool Designs were reviewed
- a. Matt recommends dividing the current pool into 2 pools
 - i. Allow for the pools to be regulated at different temperatures
 - ii. Only one pool would need to be shut down in case of fecal accident
 - iii. Easier separation of pool uses for programming
 - iv. There is a cost increase as some of the mechanicals would need to be duplicated and the mechanical space would be larger.

- b. **NEXT STEPS:** Water Technology will create a cost estimate for two concepts; Pool Option A (two pools) at the 7,500 – 8,999 square foot range and a modified ISG concept (single pool) at the 7,500 – 8,999 square foot range.
8. The next meeting date and time will be coordinated via email.

Note: This constitutes our understanding of the issues presented. Contact River Architects, Inc. via phone at (608) 785-2217, or e-mail a.frank@river-architects.com if there are any discrepancies.

MEETING NOTES – September 13, 2017

PRESENT:

Barb Janssen, Chris Kahlow, Jessica Olson, Jay Odegaard, Jacob Sciammas, Kraig Brownell, Jackie Marcou, Mike Swinghamer, Alyssa Frank, Matt Freeby (via phone)

ITEMS REVIEWED AND DISCUSSED

1. Paragon Survey
 - a. Reviewed initial survey and property line is located where we have been showing it.
2. Reviewed Floor Plan A – 2 building option
 - a. Would preserve all existing exterior walls of the historic building.
 - b. Would prefer the lockers to be exterior of the locker rooms.
 - c. The Guard Room and Wet Classroom are larger in this plan.
 - d. The mechanical equipment for the pool cannot fit inside the existing footprint with all other programming needs.
3. Reviewed Floor Plan B – 1 building option
 - a. Would preserve the symmetry of the site and as much of the historic pool house as possible.
 - b. Would keep the historic front and side façades, but add a small addition to the north side of the pool house.
 - i. Mechanical room size shown based on the smaller approximated need for the 1 pool option.
 - ii. May shrink the pool to meet 15' building clearance depending on pool option.
 - c. Addition would allow pool mechanical room to be included in the pool house.
 - d. The open central area needs to be studied for potential other program spaces.
 - e. Would prefer larger Guard Room and Wet Classroom similar to the sizes in Floor Plan A.
 - f. The adjacency of the admissions and concessions would require only 1 staff.
4. Pool Design 1 – 2 Pool option
 - a. Would keep more of the existing pool shape and the deep areas in the 'wings'.
 - b. Separate pools would allow for two temperature settings which could lead to operational savings.
 - c. Four activity areas would allow for more diverse programming.
 - d. 2 pools would require 3 accessible means of egress; shown in this plan as 3 lifts (2 for the activity pool, 1 for wading pool).

5. Pool Design 2 – 1 Pool option

- a. Historically, this site had only 1 pool and this design would follow that in as much of the existing pool shape as possible.
- b. Would cost less in upfront construction and mechanical equipment costs
- c. One pool would allow for easier guarding with less staff.
- d. Would require 2 accessible means of egress; only 1 lift shown in this plan, but another lift or different means of egress would be required.

6. Moving forward

- a. Continue to look at pool house Floor Plan B without the covered seating area and switching the mechanical area to the west side of the building.
 - i. An updated floor plan will be emailed to committee by Wednesday, September 20th.
- b. Continue to look at Pool Design 2 – 1 pool option.

Note: This constitutes our understanding of the issues presented. Contact River Architects, Inc. via phone at (608) 785-2217, or e-mail a.frank@river-architects.com if there are any discrepancies.