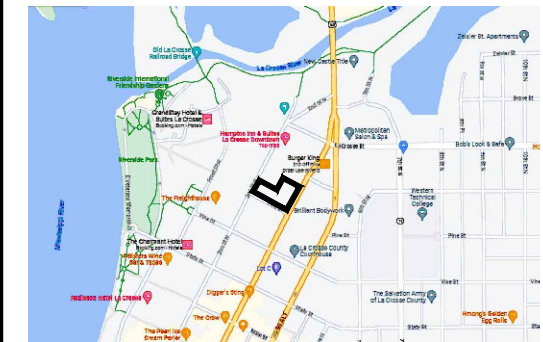


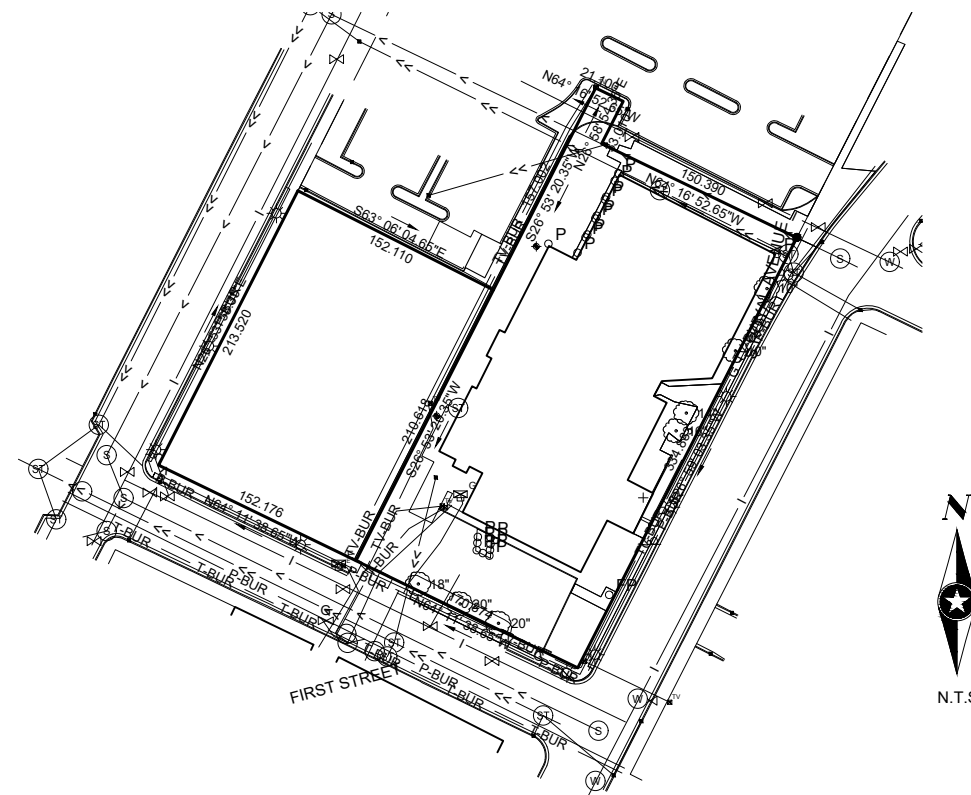
CITY OF LA CROSSE, WISCONSIN

CHALMER'S APARTMENTS

INDEX	
Sheet Number	Sheet Title
T0.01	TITLE SHEET
C1.01	GRADING & EROSION CONTROL PLAN
C2.01	UTILITY PLAN
D3.01	EROSION CONTROL DETAILS



PROJECT LOCATION



EXISTING	
	RIGHT OF WAY
	PERMANENT EASEMENT
	PROPERTY LINE
	HORIZONTAL CONTROL POINT
	BENCHMARK
	SURVEY MARKER
	SOIL BORING
	SANITARY SEWER AND MANHOLE
	FORCE MAIN AND LIFT STATION
	SANITARY SEWER SERVICE & CLEANOUT
	WATER MAIN, HYDRANT, VALVE AND MANHOLE
	WATER SERVICE AND CURB STOP BOX
	STORM SEWER, MANHOLE AND CATCH BASIN
	CULVERT AND APRON ENDWALL
	GAS MAIN, VALVE, VENT AND METER
	HANDHOLE
	BURIED FIBER OPTIC CABLE AND MANHOLE
	BURIED PHONE CABLE, PEDESTAL AND MANHOLE
	BURIED TV CABLE, PEDESTAL AND MANHOLE
	BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
	OVERHEAD WIRE, POLE AND GUY WIRE
	LIGHT POLE
	TRAFFIC SIGNAL
	STREET NAME SIGN
	SIGN (NON STREET NAME)
	RAILROAD TRACKS
	DECIDUOUS AND CONIFEROUS TREE
	BUSH / SHRUB AND STUMP
	EDGE OF WOODED AREA
	WETLAND
	BUILDING
	FENCE (UNIDENTIFIED)
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	ELECTRIC WIRE FENCE
	WOOD FENCE
	WOVEN WIRE FENCE
	PLATE BEAM GUARDRAIL
	CABLE GUARDRAIL
	POST / BOLLARD
	RETAINING WALL
PROPOSED	
	STREET CENTERLINE
	RIGHT-OF-WAY
	PERMANENT EASEMENT
	TEMPORARY EASEMENT
	CONSTRUCTION LIMITS
	SANITARY SEWER, BULKHEAD AND MANHOLE
	FORCE MAIN
	SANITARY SERVICE AND CLEANOUT
	WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
	WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
	WATER SERVICE AND CURB STOP BOX
	STORM SEWER, MANHOLE AND CATCH BASIN
	CULVERT AND APRON ENDWALL
	DRAIN TILE
	DITCH / SWALE
	RIPRAP
	STREET NAME SIGN
	SIGN (NON STREET NAME)
	RETAINING WALL

NOTE:
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D.
THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE
GUIDELINES OF CI/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE
COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT
811 BEFORE COMMENCING EXCAVATION.



Know what's below.
Call before you dig.

CITY OF LA CROSSE, WISCONSIN

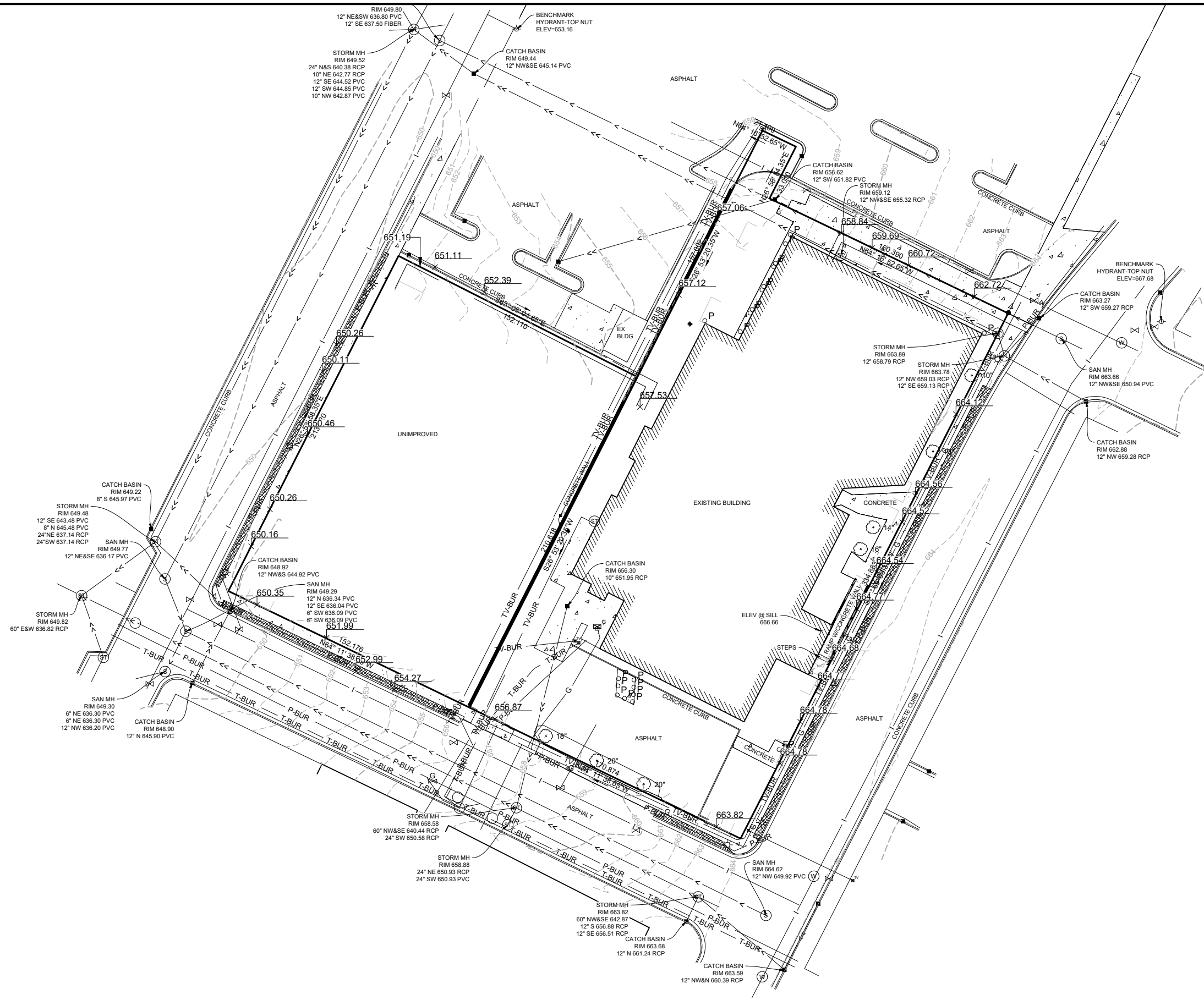
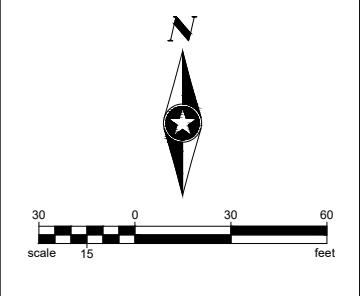


PHONE: 608.620.6199
6808 ODANA ROAD,
SUITE 200
MADISON, WI 53719-1137
www.sehinc.com

PROJECT NO.

CHALM 172741

T0.01
of 7



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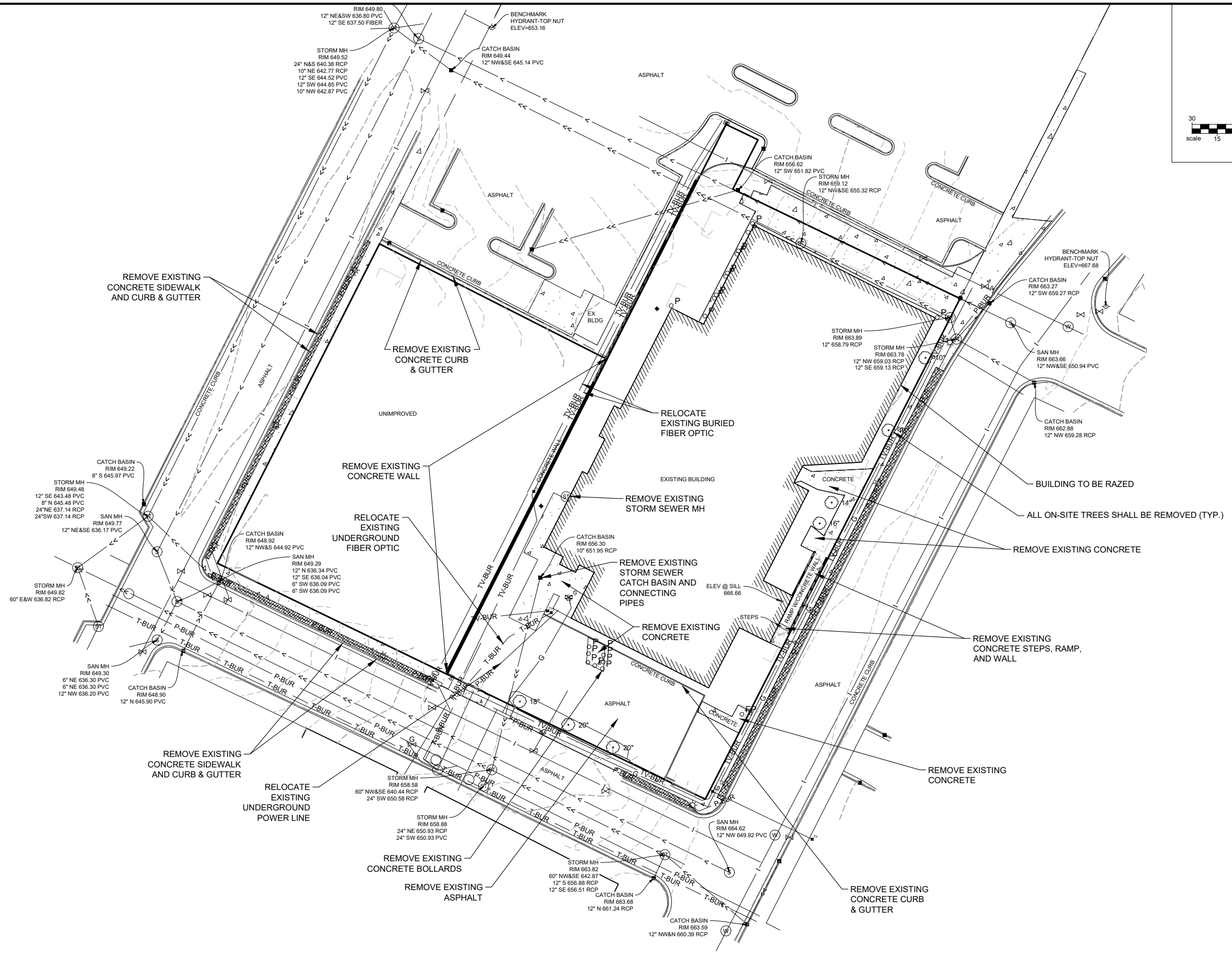
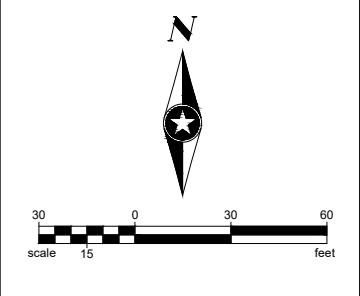
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LICENSE PROFESSIONAL UNDER THE LAWS OF THE STATE OF IOWA.

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CHALMER'S APARTMENTS
 LA CROSSE, WI

EXISTING CONDITIONS

C1.01
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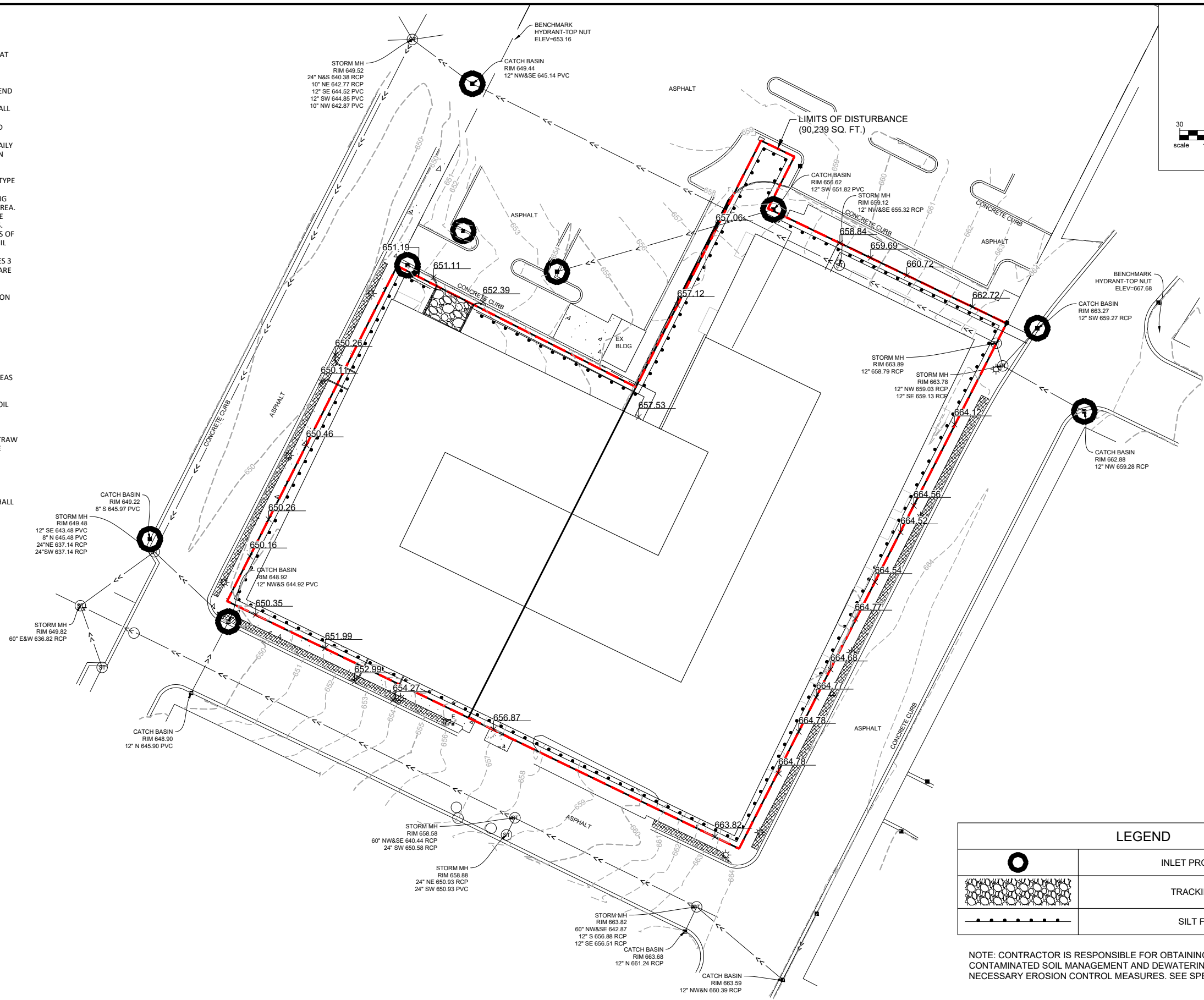
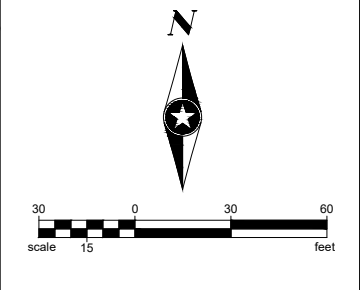
CHALMER'S APARTMENTS
LA CROSSE, WI

REMOVALS PLAN

C1.02
of 7

EROSION CONTROL:

1. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE "WISCONSIN STORMWATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS".
2. SEDIMENT CONTROL MEASURES MAY NEED TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
3. INSPECT AND MAINTAIN ALL SEDIMENT CONTROL STRUCTURES WEEKLY AND AFTER SITE RECEIVES 1/2" OR MORE OF RAIN IN A 24-HOUR PERIOD TO ENSURE PROPER WORKING CONDITION. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH DAY.
4. INSPECT SEDIMENT CONTROL STRUCTURES FOR INTEGRITY AFTER ANY SIGNIFICANT RAINFALL OF 1/2" OR MORE. **CORRECT ANY DAMAGED STRUCTURES IMMEDIATELY.**
5. DO NOT REMOVE ANY SEDIMENT/EROSION CONTROL MEASURES UNTIL THE AREAS SERVED HAVE 80% OR MORE ESTABLISHED VEGETATIVE COVER AS DETERMINED BY THE ENGINEER.
6. ALL TRACKED SOIL ON ADJACENT STREETS FROM THIS PROJECT MUST BE CLEANED ON A DAILY BASIS, MINIMUM. CONTRACTORS ARE REQUIRED TO USE THE TRACKING DRIVE SHOWN ON PLAN FOR ACCESS TO AND FROM THE SITE.
7. ALL SIDE SLOPES 5:1 OR STEEPER SHALL BE RESTORED WITH CLASS I - TYPE 'A' EROSION MATTING, AND ALL AREAS OF CONCENTRATED FLOW SHALL BE RESTORED WITH CLASS II - TYPE 'B' CHANNEL MATTING, UNLESS OTHERWISE NOTED.
8. PREVENT OVERLAND FLOW FROM LEAVING ANY PORTION OF THE WORK SITE BY INSTALLING SEDIMENT LOGS OR SILT FENCING PARALLEL TO THE SLOPE DOWNHILL FROM THE WORK AREA.
9. ALL DISTURBANCE SHALL BE SEEDED AND MATTED WITHIN 7 DAYS OF COMPLETION OF THE GRADING. GRASS MUST BE ESTABLISHED WITHIN 90 DAYS OF SEEDING IF SEASON ALLOWS.
10. STABILIZE ALL NON-ACTIVE STOCKPILES WITH TEMPORARY SEED & MULCH WITHIN 14 DAYS OF INACTIVITY. INSTALL SILT FENCING AROUND ALL DOWN SLOPE AND SIDE SLOPES OF TOPSOIL STOCKPILES. STOCKPILES NOT SHOWING ADEQUATE VEGETATION BY NOV 1 SHOULD BE DORMANT SEEDED AND COVERED WITH A WISDOT PAL TYPE A SOIL STABILIZER (FOR SLOPES 3 FEET HORIZONTAL TO 1 FOOT VERTICAL OR FLATTER) OR EROSION CONTROL MAT IF THEY ARE INACTIVE.
11. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 14 DAYS OF INACTIVITY. THIS MAY BE DONE USING TEMPORARY AND/OR PERMANENT RESTORATION TECHNIQUES, DEPENDING ON PROGRESS OF GRADING ACTIVITIES OF THE AREA(S). THIS INCLUDES AREAS OF SITE DEVELOPMENT AND UTILITY CONSTRUCTION.
12. SEDIMENT CONTROL FOR UTILITY CONSTRUCTION
 - A. PLACE EXCAVATED TRENCH MATERIAL ON HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER UTILITY INSTALLATION.
13. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MAINTAINING CONTAMINATED SOIL MANAGEMENT AND DEWATERING PERMITS. SEE SPECIFICATIONS.
14. RUNOFF FROM AREAS ADJACENT TO THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS WHERE POSSIBLE.
15. ALL LAND DISTURBANCE ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE IN ACCORDANCE WITH THE CONTROL PLAN TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ONE TIME.
16. CUTS AND FILLS SHALL BE PLANNED AND CONSTRUCTED TO MINIMIZE THE LENGTH AND STEEPNESS OF SLOPES.
17. SEDIMENT SHALL BE CONTAINED ON-SITE THROUGH THE USE OF FILTER FABRIC FENCES, STRAW BALE FENCES, SEDIMENT BASINS, OR OTHER METHODS APPROVED BY ACCEPTANCE OF THE EROSION AND SEDIMENT CONTROL PLAN BY COMMUNITY RISK MANAGEMENT.
18. EARTH STORAGE PILES SHOULD BE LOCATED NO CLOSER THAN 25 FEET FROM DRAINAGE CHANNELS OR ROADWAYS AND NO CLOSER THAN 100 FEET FROM PERENNIAL WATERS OR WETLANDS.
19. EARTH STORAGE PILES LOCATED CLOSER THAN 25 FEET TO A ROADWAY OR DRAINAGE CHANNEL OR LOCATED CLOSER THAN 100 FEET TO PERENNIAL WATERS AND WETLANDS SHALL REQUIRE SILT FENCES OR OTHER SUITABLE MEANS IF LEFT MORE THAN FIVE DAYS. EARTH STORAGE PILES LOCATED ON SLOPES OF 12 PERCENT OR GREATER SHALL MEET THE REQUIREMENTS OF SUBSECTION (D)(9)B. OR RUNOFF SHALL BE CONTAINED WITHIN A SILT FENCE OR OTHER APPROVED MEASURE.



LEGEND	
	INLET PROTECTION
	TRACKING PAD
	SILT FENCE

NOTE: CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MAINTAINING CONTAMINATED SOIL MANAGEMENT AND DEWATERING PERMITS AND PROVIDING NECESSARY EROSION CONTROL MEASURES. SEE SPECIFICATIONS.

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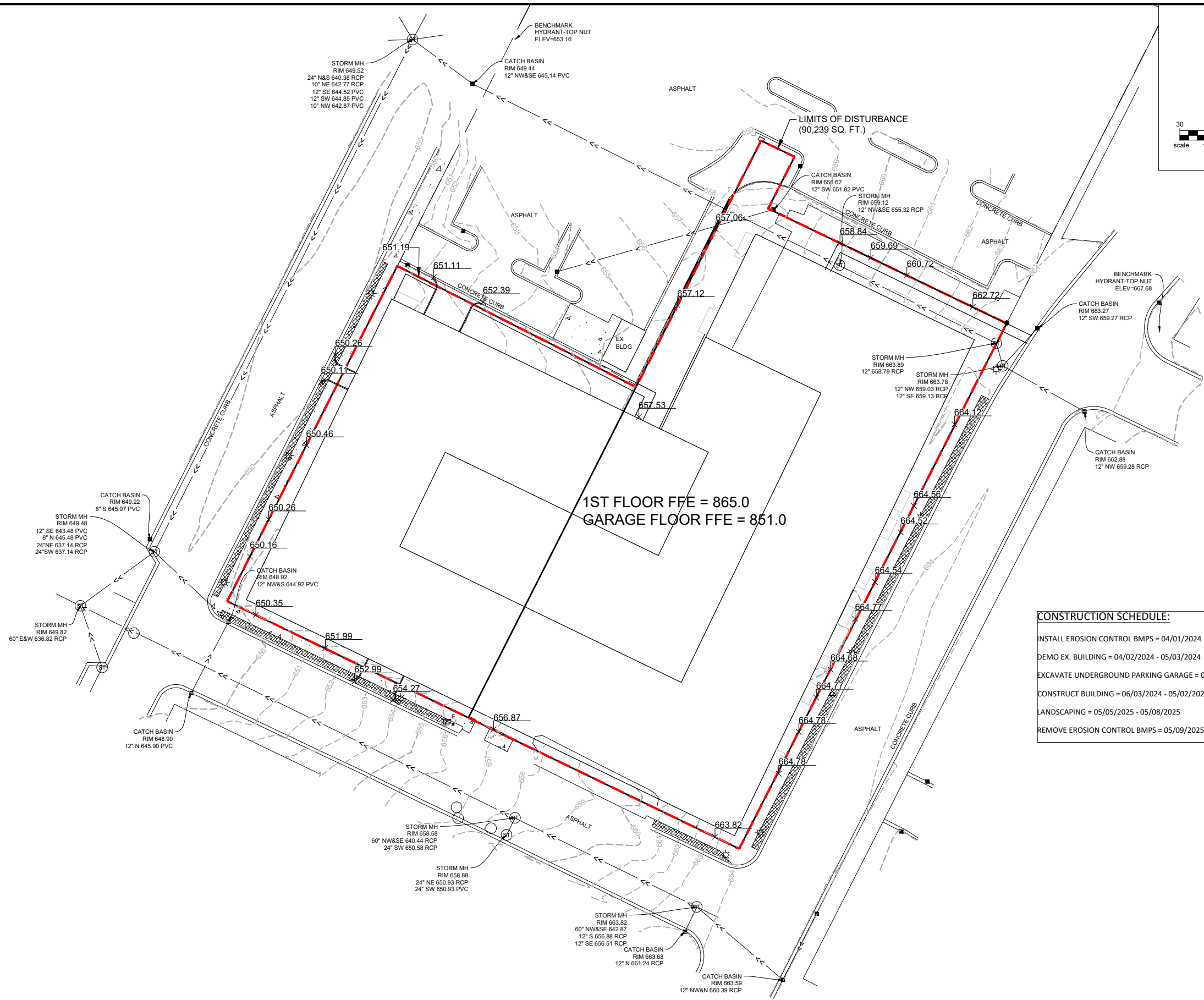
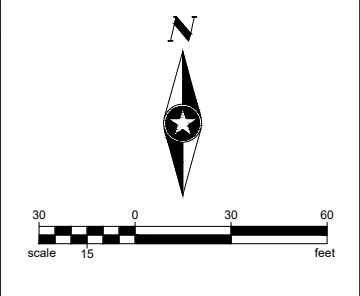
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CHALMER'S APARTMENTS
 LA CROSSE, WI

EROSION CONTROL PLAN

C1.03
 of 7



CONSTRUCTION SCHEDULE:

- INSTALL EROSION CONTROL BMPs = 04/01/2024
- DEMO EX. BUILDING = 04/02/2024 - 05/03/2024
- EXCAVATE UNDERGROUND PARKING GARAGE = 05/07/2024 - 05/31/2024
- CONSTRUCT BUILDING = 06/03/2024 - 05/02/2025
- LANDSCAPING = 05/05/2025 - 05/08/2025
- REMOVE EROSION CONTROL BMPs = 05/09/2025

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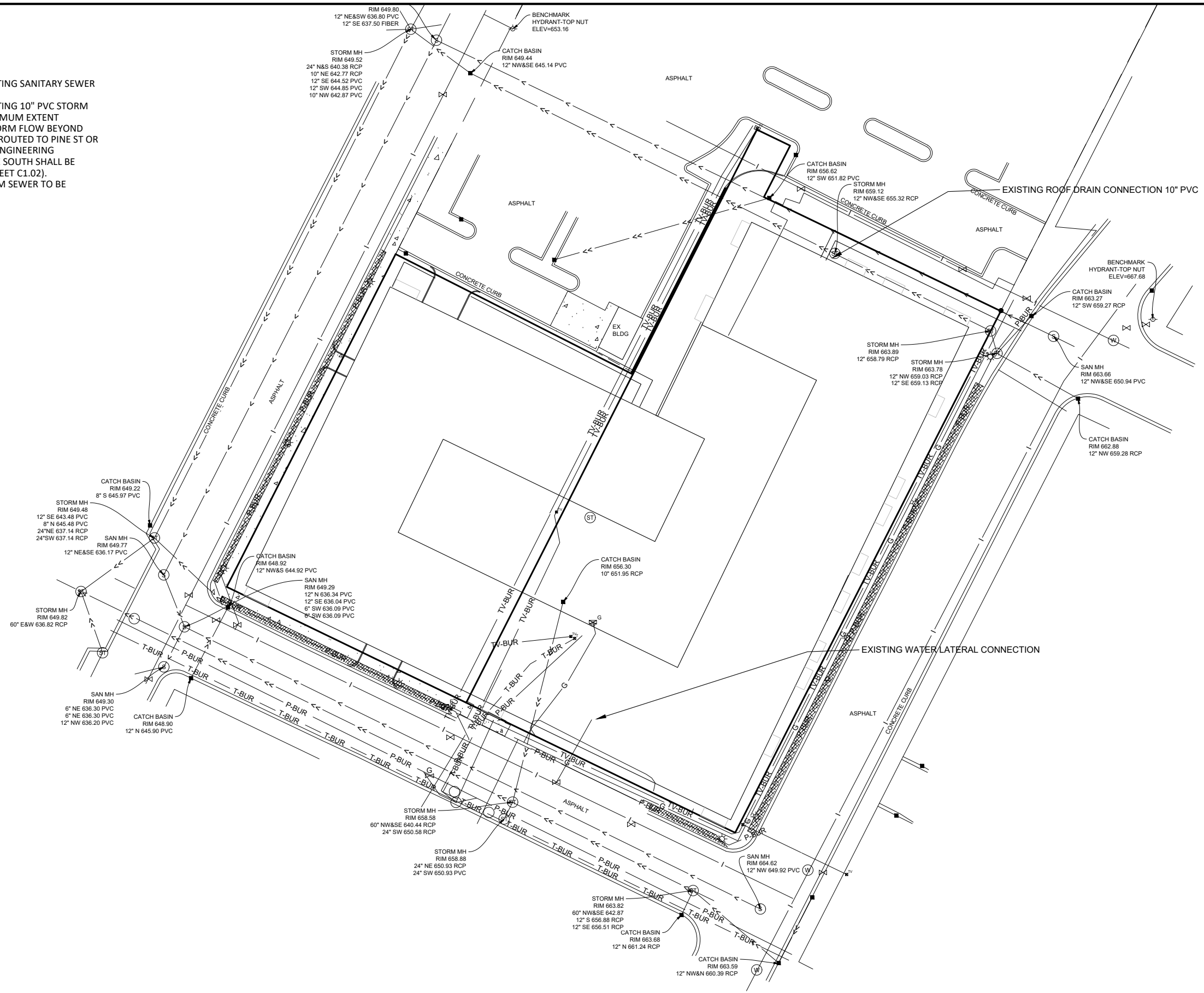
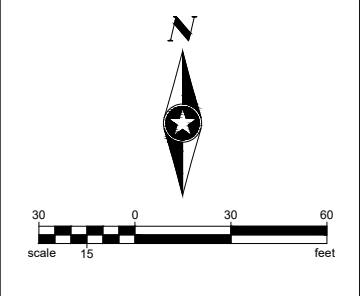
CHALMER'S APARTMENTS
LA CROSSE, WI

GRADING PLAN

C1.04
of 7

UTILITY NOTES:

1. PROPOSED BUILDING SHALL UTILIZE EXISTING SANITARY SEWER LATERAL(S) AND WATER SERVICE(S).
2. PROPOSED BUILDING SHALL UTILIZE EXISTING 10" PVC STORM SEWER LATERAL TO THE NORTH TO MAXIMUM EXTENT PRACTICABLE. ADDITIONAL ROOFTOP STORM FLOW BEYOND CAPACITY OF EXISTING LATERAL WILL BE ROUTED TO PINE ST OR 2ND ST BASED ON PREFERENCE OF CITY ENGINEERING
3. EXISTING STORM SEWER LATERAL TO THE SOUTH SHALL BE REMOVED, PER THE REMOVALS PLAN (SHEET C1.02).
4. UNDERGROUND PARKING GARAGE STORM SEWER TO BE DESIGNED BY OTHERS.



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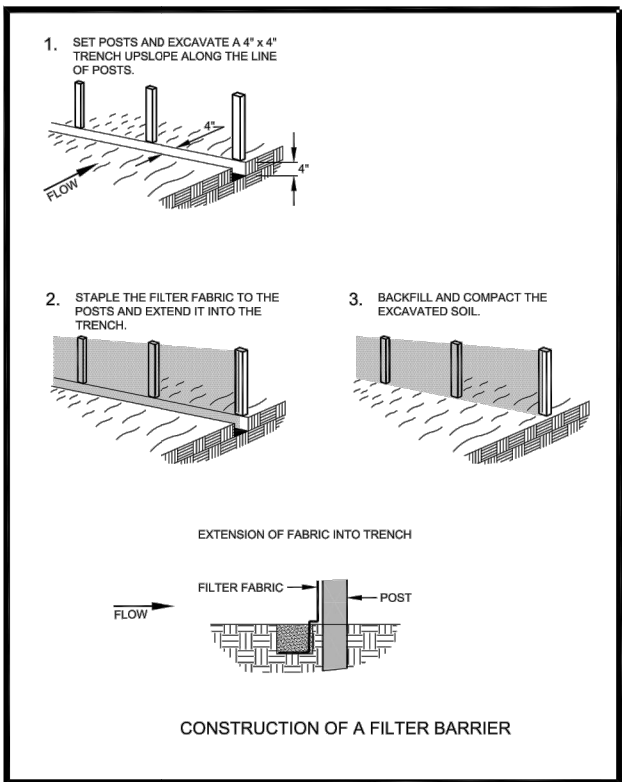
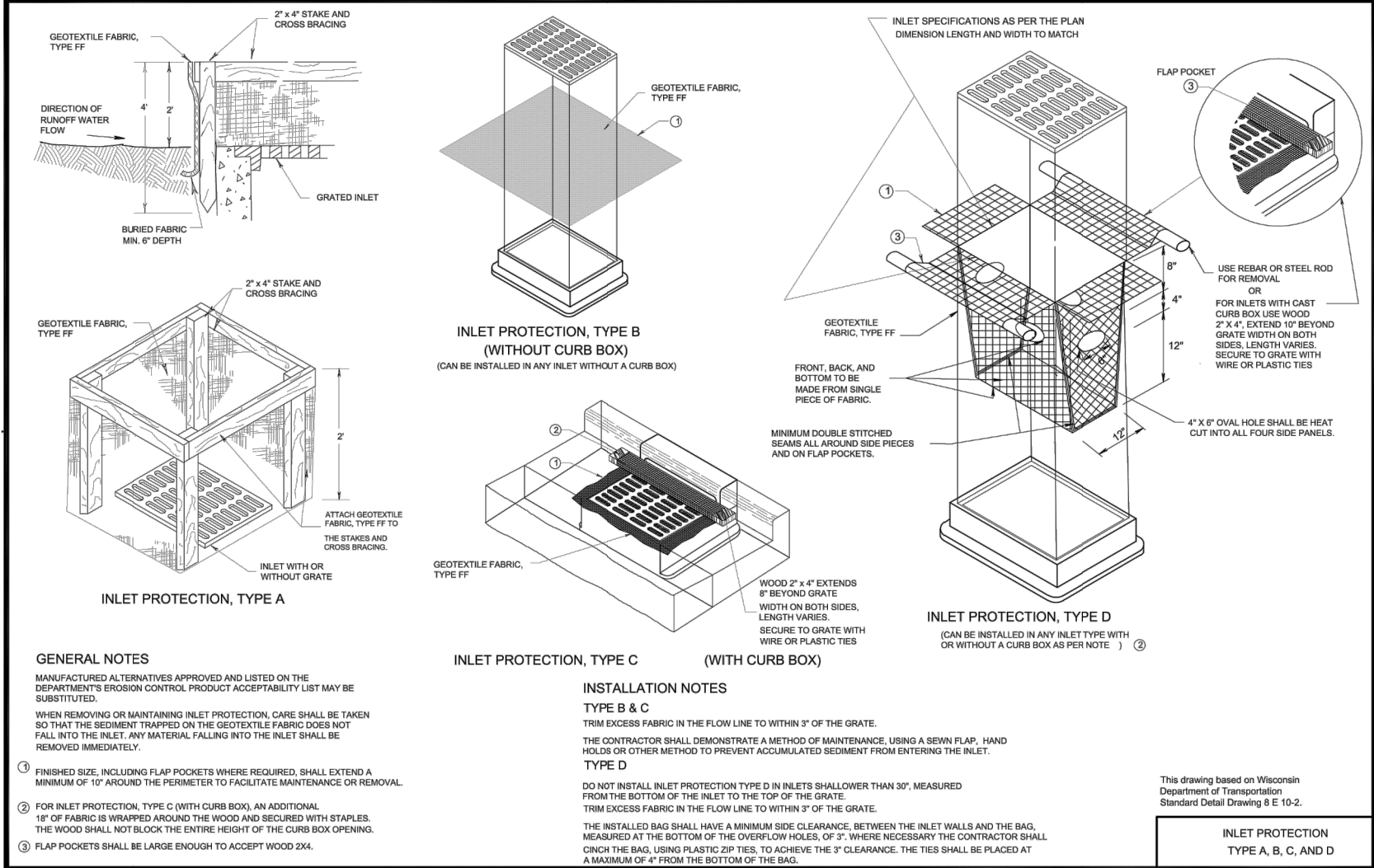
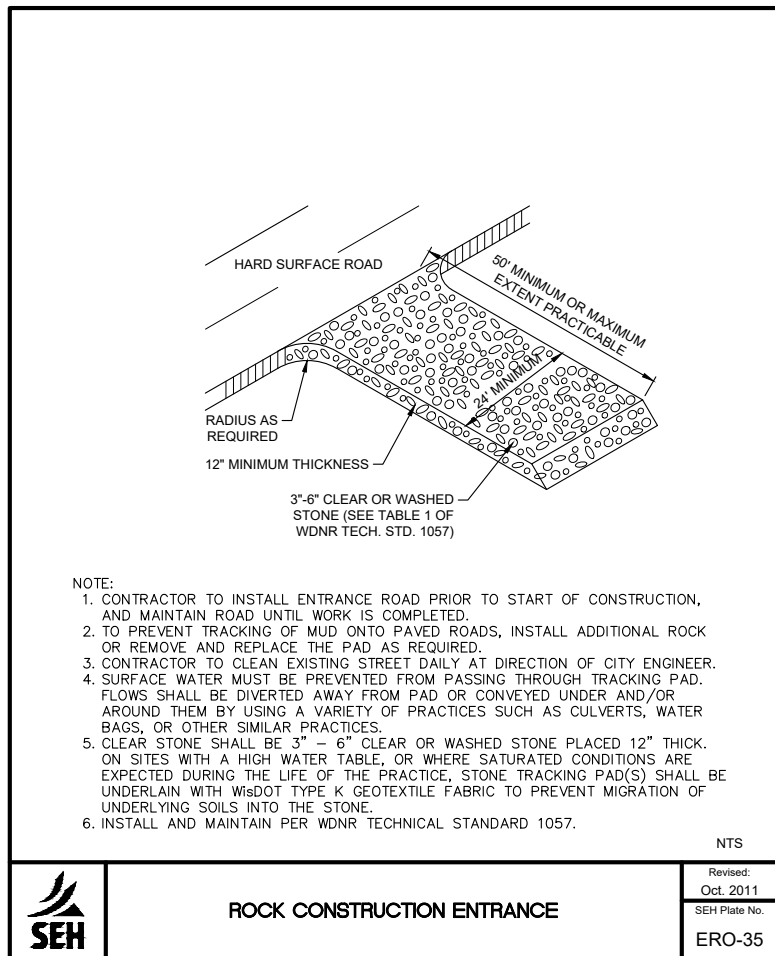
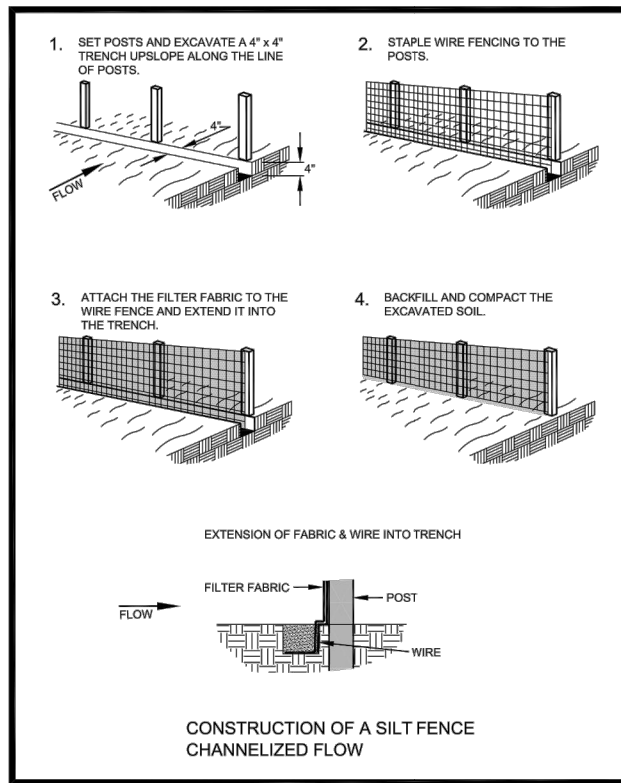
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CHALMER'S APARTMENTS
 LA CROSSE, WI

UTILITY PLAN

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 of 7



EDF #	DWG NAME: EROSION-CONTROL DWG		
PROJECT No.	EROSION CONTROL DETAILS		
LOCATION	D-1-2		
RESOLUTION	DATE		
ENGINEERING DEPT.			
City of La Crosse, Wis.			
FIELD BOOK	SURVEYED	BY	DATE
NUMBER	DRAWN	PRELIMINARY	
	CHECKED	FINAL	JMC 2/20/09
PAGE	APPROVED		
	REVISIONS		
SHEET NO.	TOTAL SHEETS		

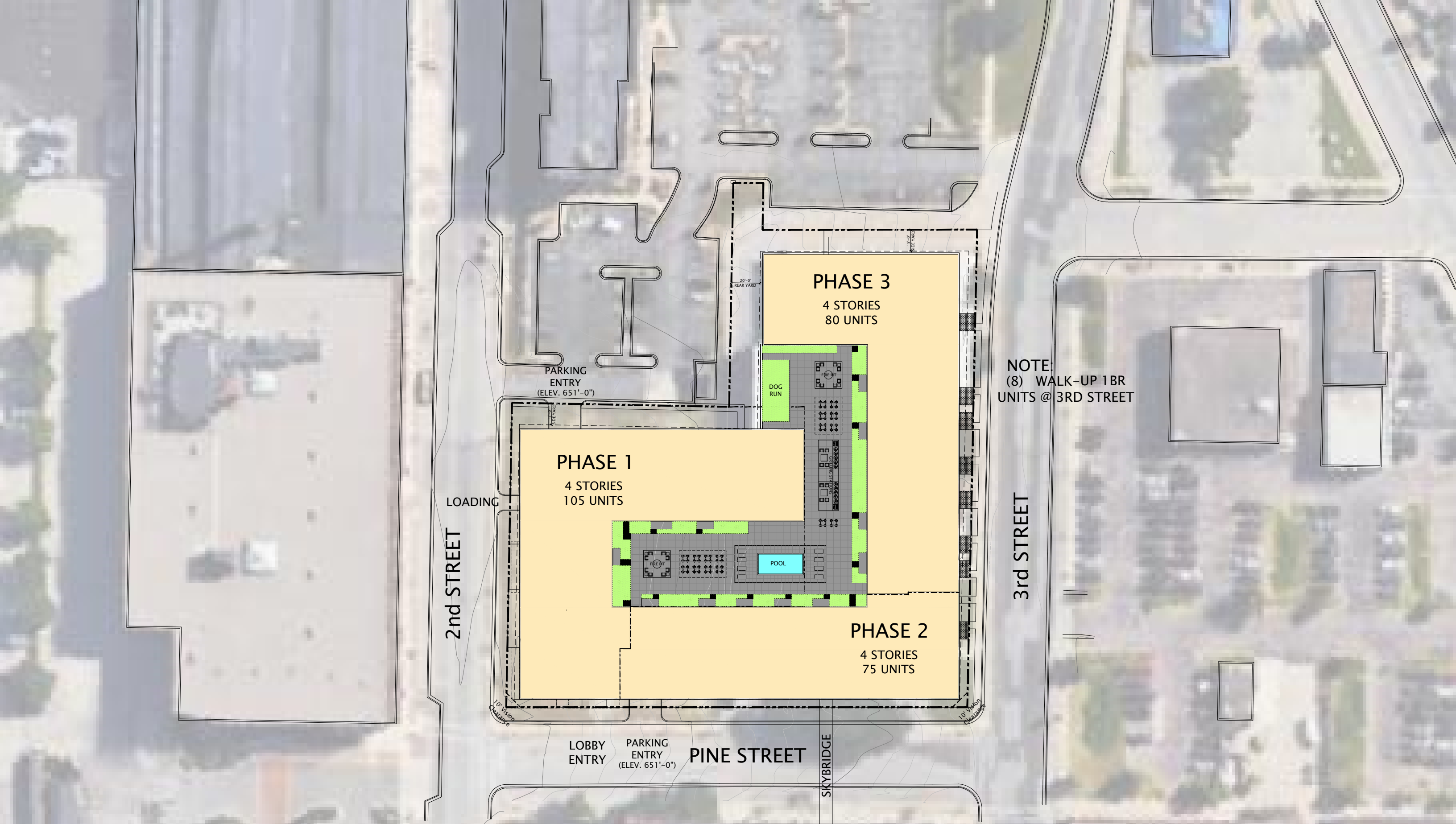
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Designed By	JLS
Checked By	--



CHALMER'S APARTMENTS
LA CROSSE, WI

EROSION CONTROL DETAILS



- Executive Studio Unit
- Studio Unit
- 1BD Unit
- 1BD+ Unit
- 2BD Unit
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

PHASE 1
25 UNITS

PHASE 3
20 UNITS

PHASE 2
19 UNITS



SKYBRIDGE ABOVE

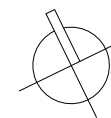


JLA
ARCHITECTS

CHALMER'S APARTMENTS

CONCEPT 2ND FLOOR PLAN

SEPTEMBER 8, 2023
1"=50' @ 11x17



T. Wall Enterprises
Development, LLC

- Executive Studio Unit
- Studio Unit
- 1BD Unit
- 1BD+ Unit
- 2BD Unit
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

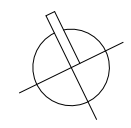
PHASE 1
26 UNITS

PHASE 3
20 UNITS

PHASE 2
19 UNITS



SKYBRIDGE ABOVE

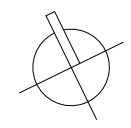


- Executive Studio Unit
- Studio Unit
- 1BD Unit
- 1BD+ Unit
- 2BD Unit
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

PHASE 1
27 UNITS

PHASE 3
20 UNITS

PHASE 2
18 UNITS

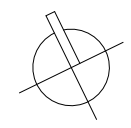


- Executive Studio Unit
- Studio Unit
- 1BD Unit
- 1BD+ Unit
- 2BD Unit
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

PHASE 1
27 UNITS

PHASE 3
20 UNITS

PHASE 2
19 UNITS





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THE CHALMERS RESIDENCES

DESIGN INTENT IMAGERY

JUNE 2, 2023



T. Wall Enterprises LLC
Creating Places Where People Interact

