

From the desk of David E. Olson

May 15, 2017

To: Property owners required to be provided notice of rezoning petition

**From: David E. & Elaine M. Olson
1219 Madison Street
LaCrosse, WI 54601**

Re: Information on proposed rezoning at 225-227-231 21st Street No.

Dear Neighbor:

My wife and I have owned the property at 225-227 21st Street No. since 1971. We have owned the property at 231 21st Street No. since July 30, 1993.

We are seeking this rezoning to ensure our family can continue to rent our property with the quality housing we offer for rent at our various locations. According to the city assessor the property at 231 21st St. No. was built in 1888. With its cubbyhole bedrooms and general layout it does not lend itself to the modern rental market or suitability as single family owner occupied housing. The current building at 225-227 21st St. No. was built in 1981 and is still relevant in today's rental housing market. However, in the event of some disaster such as a fire it would be more practical to rebuild combining both properties into one development.

Since Marvin Wanders has applied for a large area across the street (see Map attached) to be rezoned from R-1 single family to TND General in order to develop 24 townhouses on the site our family felt that now is the time to develop a plan to transition our buildings into today's market conditions. We are applying for the same type of rezoning as Marvin Wanders is. Our hope is to develop our properties in a way which blends our future site plan in harmony with both the neighborhood and the Wanders project.

In the many years we have owned these properties in this neighborhood we have witnessed many changes. When this area was rezoned back in the late 1980's to R-1 Single Family the City's plan was to protect the neighborhood from student rentals expanding into this side of the campus area. While this goal may have had merit back then, in reality what has happened is these older buildings in this area have been sold to landlords and converted into student rentals because they are neither desirable as owner occupied homes nor is it financially feasible to tear these buildings down and replace them with single family dwellings.

When we were given the list of properties within 200 feet of 225-227-231 21st St. No. we discovered that out of 40 pieces of property, 27 were rentals and only 13 appeared to be

owner occupied residences. None of those 13 residences physically abut either of our two properties.

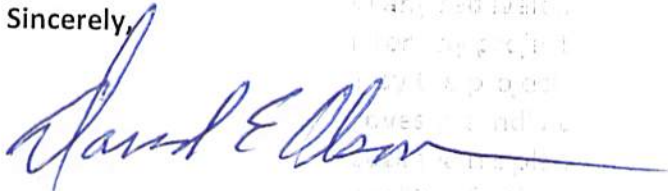
TND General Zoning was developed by the City many years after this area was rezoned in 1989 to R-1 Single Family. TND zoning classification gives the neighbors a voice and the City Council final control in how any redevelopment takes place. That is because the developer needs to get final approval for any project before the building permit can be issued to begin construction. This happens by the project developer applying to City for and receiving TND Specific Zoning which approves the individual project. Marvin Wanders has met with the neighborhood group and outlined his plans to them. It appears that the time could be right to protect the neighborhoods a little further away from the UWL campus by redeveloping the aging and outdated rental properties that border the UWL footprint with modern new housing compatible with the neighborhood.

Our family would like to be at the forefront of this future development of the area but before we would attempt to acquire any additional properties or invest in any design or architectural work we need to know that our neighbors are on board with us. Our family does not anticipate any immediate construction on these properties. This initial rezoning will simply permit us to move forward with future planning.

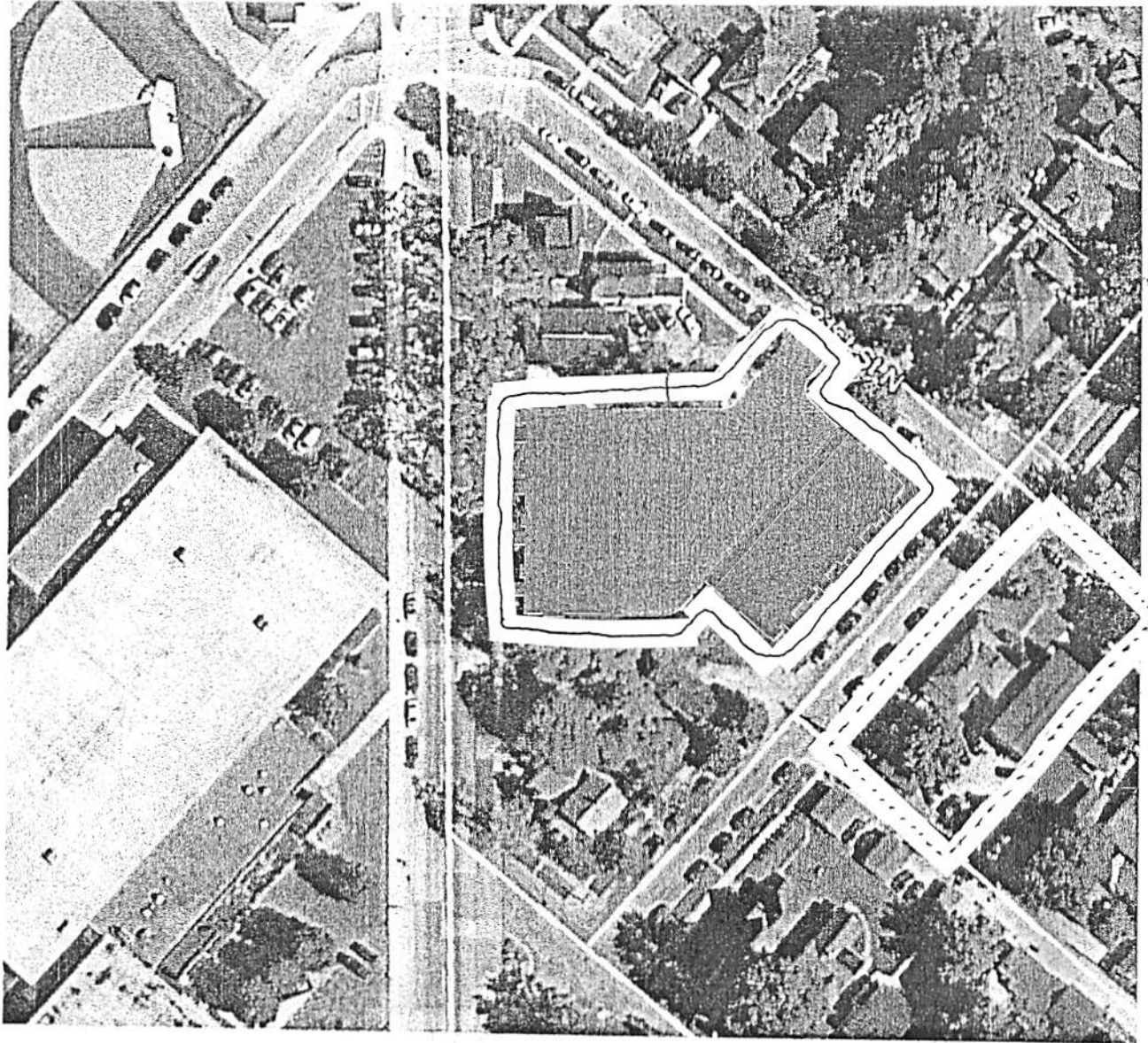
If you have any questions or concerns please feel free to call us at 608 782-0808.

Thank you.

Sincerely,



David E. Olson & family



□ = 360 REAL ESTATE PROPOSED TND REZONING

□ = OLSON FAMILY PROPOSED TND REZONING