

PLANNING NOTES

14,750	SF	BUILDING
9,190	SF	CONCRETE
7,950	SF	PERVIOUS
10,395	SF	PARKING LOT AREA
5,120	SF	COMMUNITY REC SPACE-GARAGE ROOF
5,800	SF	TOTAL GREEN SPACE
1,450	SF	5' SIDEYARD GREEN SPACE
4,350	SF	GREEN SPACE NOT COUNTING SIDEYARD -39% OF TOTAL PARKING AREA

OFF STREET PARKING

STALLS	REQ'D	PROV
ADA	40	48
ADA	2	2
VAN	1	2

SNOW STORAGE IN GREEN SPACE
BICYCLE PARKING IN GARAGES
OUTDOOR REC SPACE ON GARAGE ROOF
DUMPSTER LOCATIONS SCREENED WITH TREES-SEE LANDSCAPE PLAN

GENERAL NOTES

PROJECT SITE:
LOTS 4,5,6,9 & A PORTION OF THE VACATED ALLEY
BLOCK 2, 1ST ADDITION TO SPIERS ADDITION
SW-SW, SECTION 33, T16N-R7W
LA CROSSE, WI

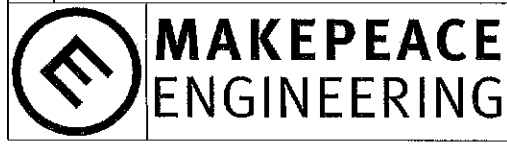
ALL WORK SHALL COMPLY WITH: WISDOT 2017 STANDARD SPECIFICATIONS
CITY OF LA CROSSE ORDINANCES

PROJECT OWNERS:
360 REAL ESTATE, LLC
MARVIN WANDER 608.317.4678

1243 BADGER STREET
LA CROSSE, WI 54601

RECEIVING STREAM:
LA CROSSE RIVER

TOTAL AREA	0.73 ACRES
DISTURBED AREA	0.73 ACRES
PROPOSED IMPERVIOUS	0.56 ACRES



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ONALASKA, WI 54650
608.797.1025

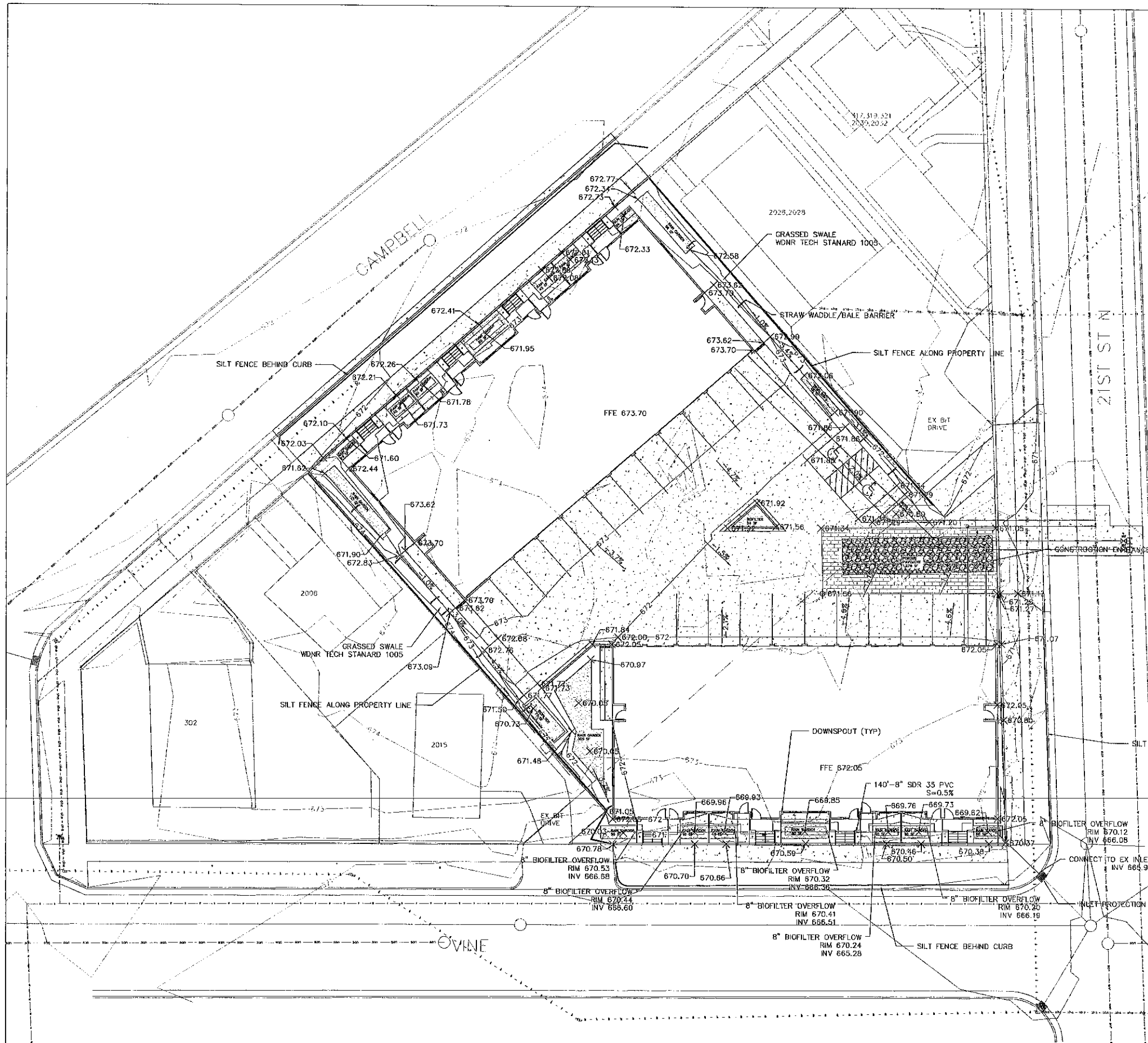
CAMPBELL STREET APTS
360 REAL ESTATE
LA CROSSE, WI

08/25/2017

SITE PLAN

DATE	REVISION	DESCR.
09/07/2017	1	CITY COMMENTS

C101



- EROSION CONTROL & GRADING NOTES**
1. THE PROJECT IS NOT GREATER THAN ONE ACRE. AN NPDES PERMIT IS NOT REQUIRED.
 2. EROSION CONTROL MUST MEET CITY OF LA CROSSE STANDARDS.
 3. THIS EROSION CONTROL PLAN HAS BEEN PREPARED AS A GUIDE. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED. CONTRACTOR SHALL MAINTAIN, MODIFY, AND IMPLEMENT AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS & METHODS.
 4. DOWN-SLOPE SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE OR GRADING, AND SHALL REMAIN AND BE MAINTAINED TO ENSURE PROPER FUNCTION UNTIL SLOPED AREAS ARE STABILIZED AND SITE IS 100% VEGETATED.
 5. CONTRACTOR SHALL ADJUST THE APPROPRIATE STRUCTURAL AND NON-STRUCTURAL BMP'S BASED ON CONSTRUCTION PROGRESS. CONTRACTOR SHALL PROVIDE APPROPRIATE PLANNING AND MEASURES TO PREVENT POLLUTION FROM CONSTRUCTION SITE OPERATIONS INCLUDING BUT NOT LIMITED TO MATERIALS, STAGING, WASTE, WASHOUT AREAS, EQUIPMENT FUELING AND MAINTENANCE, AND SPILL PREVENTION AND CONTROL.
 6. A COPY OF THIS EROSION CONTROL PLAN SHALL BE KEPT ON-SITE DURING ALL LAND DISTURBING CONSTRUCTION ACTIVITIES.
 7. STOCKPILES SHALL BE STABILIZED WITH COVER CONTROL AND PERIMETER PROTECTION WITHIN 7 DAYS.
 8. ALL EXPOSED SOILS SHALL BE STABILIZED WITHIN 7 DAYS OF GRADING COMPLETION.
 9. ADJACENT STREETS AND ROADWAYS SHALL BE SWEEPED TO KEEP THEM FREE OF SEDIMENT. ANY SEDIMENT DEPOSITED ON PUBLIC STREETS, ORIGINATING FROM THE PROJECT SITE, SHALL BE REMOVED IMMEDIATELY.
 10. TEMPORARY COVER ON DISTURBED AREAS SHALL INCLUDE SEED MIX COVER CROP AND MID-TERM STABILIZATION SEED FROM WISDOT STANDARD SPECIFICATIONS. ALL SLOPES >20% OR >5% SHALL INCLUDE DISK ANCHORED MULCH.
 11. PIPE OUTLETS MUST INCLUDE ENERGY DISSIPATION DEVICES WITHIN 24 HOURS OF BEING PUT INTO SERVICE.
 12. THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAR FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.
 13. UNLESS INDICATED OTHERWISE, ALL DISTURBED AREAS WHICH ARE NOT FINISHED WITH ASPHALT, CONCRETE, BIOFILTER PLANTING, OR OTHER PLANTS AS INDICATED ON THE LANDSCAPE PLAN SHALL BE FINISHED WITH LAWN TURF. PERMANENT LAWN COVER SHALL INCLUDE MINIMUM 4" TOPSOIL, SEED MIX AND MULCH SHALL BE PER WISDOT STANDARD SPECIFICATIONS.
 14. SLOPES STEEPER THAN 3:1 SHALL BE SEEDED AND PROTECTED WITH EROSION CONTROL BLANKETS. BLANKETS SHALL MEET WISCONSIN PALS LIST.
 15. ALL PROPOSED SURFACE ELEVATIONS SHOWN ARE TO FINISHED GRADE UNLESS NOTED OTHERWISE. PROPOSED ELEVATIONS ARE PROVIDED TO PROMOTE POSITIVE DRAINAGE TOWARD INLETS AND BIOFILTERS. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TOWARD INLETS.

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POST-CONSTRUCTION STORM WATER MANAGEMENT

BUILDING 14,750 SF
 CONCRETE 9,190 SF
 PERVIOUS 7,950 SF
 TOTAL 31,890 SF

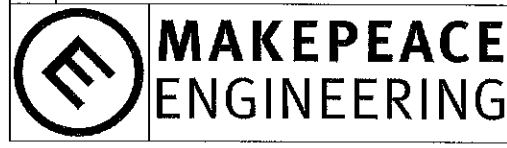
REQUIREMENTS

1. 80% OF PARKING LOT RUNOFF SHALL DRAIN TO INFILTRATION DEVICE
2. MINIMUM INFILTRATION AREA 10% OF PARKING AREA = 950 SF
3. 100% INFILTRATION OF 2-YEAR STORM

POROUS PAVEMENT 1,276 SF
 RAIN GARDEN 1,130 SF
 BIOFILTER 211 SF
 TOTAL 2,617 SF = 8% OF TOTAL AREA



- ROOF LEADER/DOWNSPOUT
- ▣ CONSTRUCTION ENTRANCE
WISDOT STANDARD DETAIL 8E14
- SILT FENCE
WISDOT STANDARD DETAIL 8E9
- ▣ INLET PROTECTION
WISDOT STANDARD DETAIL 8E10
- BALE BARRIER/DITCH CHECK
WISDOT STANDARD DETAIL 8E8



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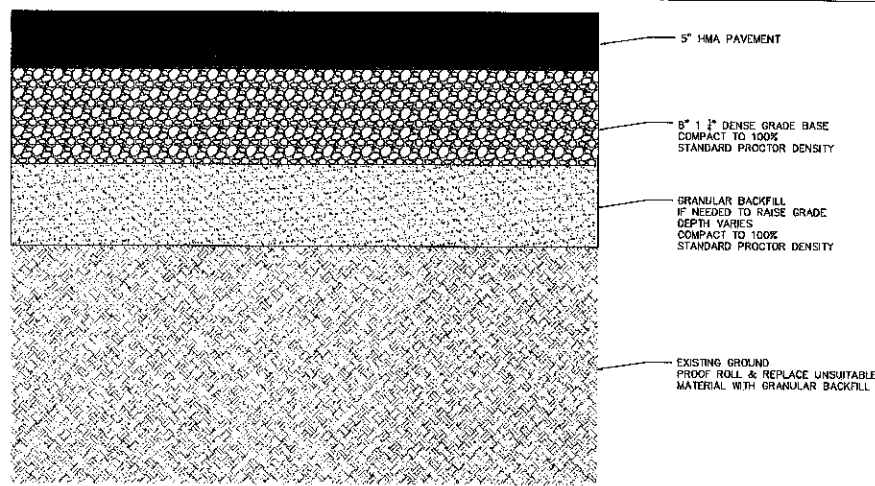
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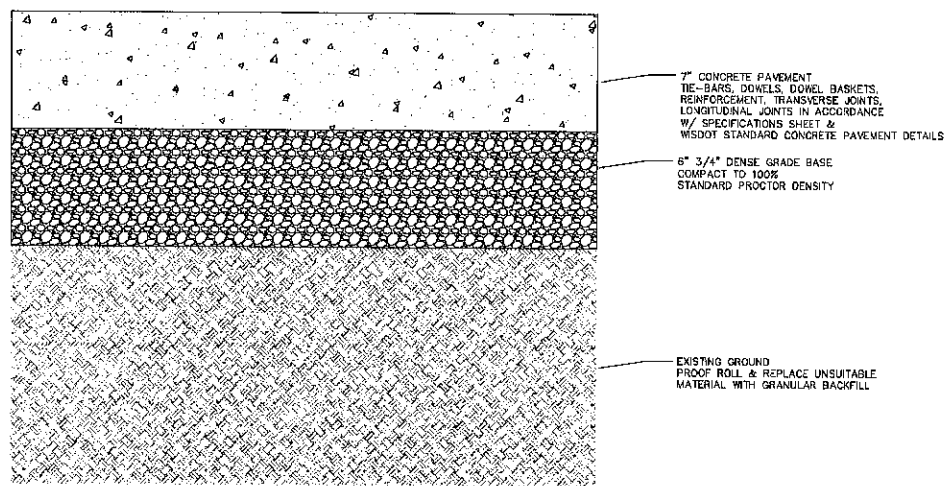
GRADING PLAN

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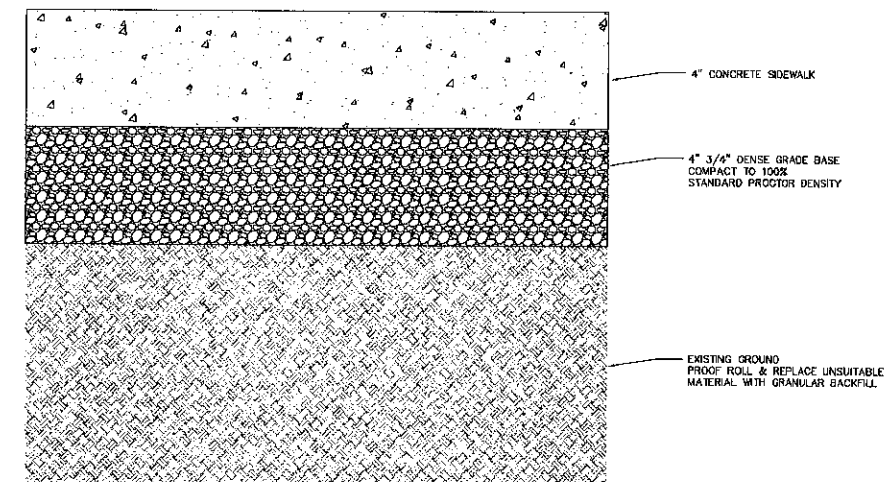
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HMA PAVEMENT



CONCRETE PAVEMENT



SIDEWALK

-CONSTRUCT IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 1008.
 -BASE AND SUBBASE SHALL BE INSTALLED IN 6" LIFTS AND COMPACTED WITH APPROPRIATE VIBRATORY EQUIPMENT UNTIL ACHIEVING 100% STANDARD PROCTOR DENSITY.
 -CONSTRUCTED POROUS PAVEMENT SHALL BE CAPABLE OF INFILTRATING 100 INCHES/HOUR WHEN FIRST CONSTRUCTED.
 -OWNER RESERVES THE RIGHT TO TEST PERFORMANCE UPON COMPLETION.

SEE SITE PLAN FOR SPECIFIC ADJACENT MATERIAL.

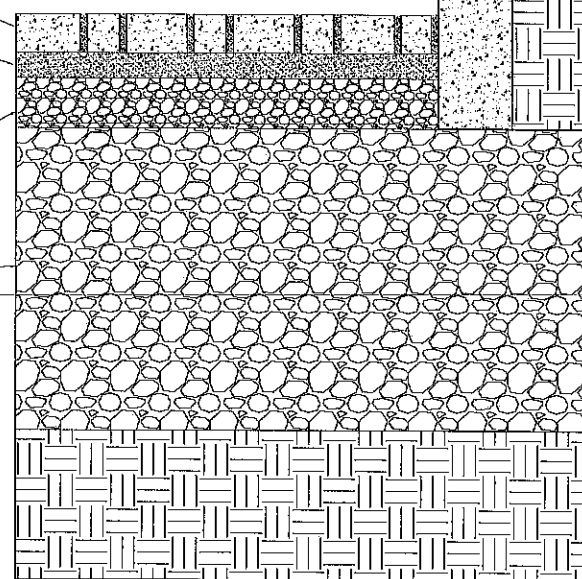
POROUS PAVERS OR POROUS PAVEMENT

2" BEDDING FOR PAVERS -ASTM GRADATION NO. 8

2" BASE FOR PAVEMENT -ASTM GRADATION NO. 57

4" BASE -ASTM GRADATION NO. 57

24" SUBBASE -ASTM GRADATION NO. 2



POROUS PAVEMENT

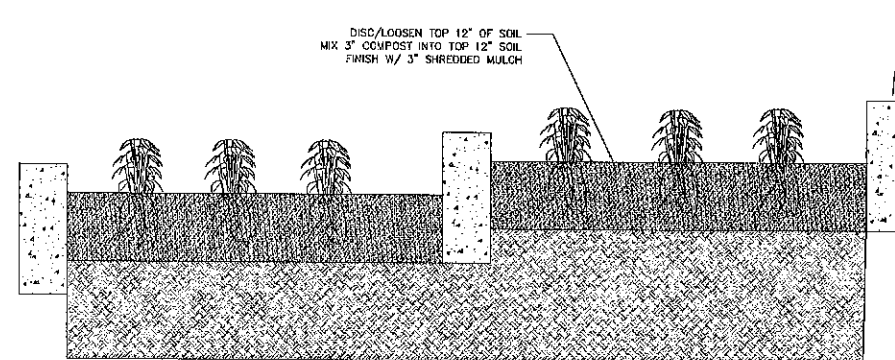
TYPE SAS GEOTEXTILE FABRIC AROUND SUBBASE/STORAGE LAYER

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CONSTRUCT RAIN GARDEN IN ACCORDANCE WITH WDMR MANUAL "RAIN GARDENS, A HOW-TO MANUAL FOR HOMEOWNERS"
 -PROVIDED AS CONCEPT ONLY. ACTUAL INSTALLATION DETAILS FOR ADJACENT MATERIALS VARY AND ARE SHOWN ON THE SITE PLAN.
 -PLANT W/ ORNAMENTAL/DECORATIVE RAIN GARDEN PLANTS ACCORDANCE WITH WDMR HOW-TO MANUAL.
 -PLANT SELECTION SHALL BE BASED ON NATIVE SOIL CONDITIONS.
 -SELECTED PLANTS SHALL BE APPROVED BY OWNER PRIOR TO PLANTING.

ADJACENT MATERIALS, SLOPE, & ELEVATION VARIES. SEE SITE PLAN.

DISC/LOOSEN TOP 12" OF SOIL
 MIX 3" COMPOST INTO TOP 12" SOIL
 FINISH W/ 3" SHREDDED MULCH



RAIN GARDEN

CONSTRUCT BIOPILTER IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 1004
 -PROVIDED AS CONCEPT ONLY. ACTUAL INSTALLATION DETAILS FOR ADJACENT MATERIALS VARY AND ARE SHOWN ON THE SITE PLAN.
 -PLANT WITH NATIVE DECORATIVE GRASSES AND PLANTS.
 -PLANT SELECTION SHALL BE BASED ON ENGINEERED SOIL COMPOSITION AS WELL AS NATIVE SOIL CONDITIONS BENEATH THE ENGINEERED SOIL LAYER.
 -SELECTED PLANTS SHALL BE APPROVED BY OWNER PRIOR TO PLANTING.

ADJACENT MATERIALS, SLOPE, & ELEVATION VARIES. SEE SITE PLAN.

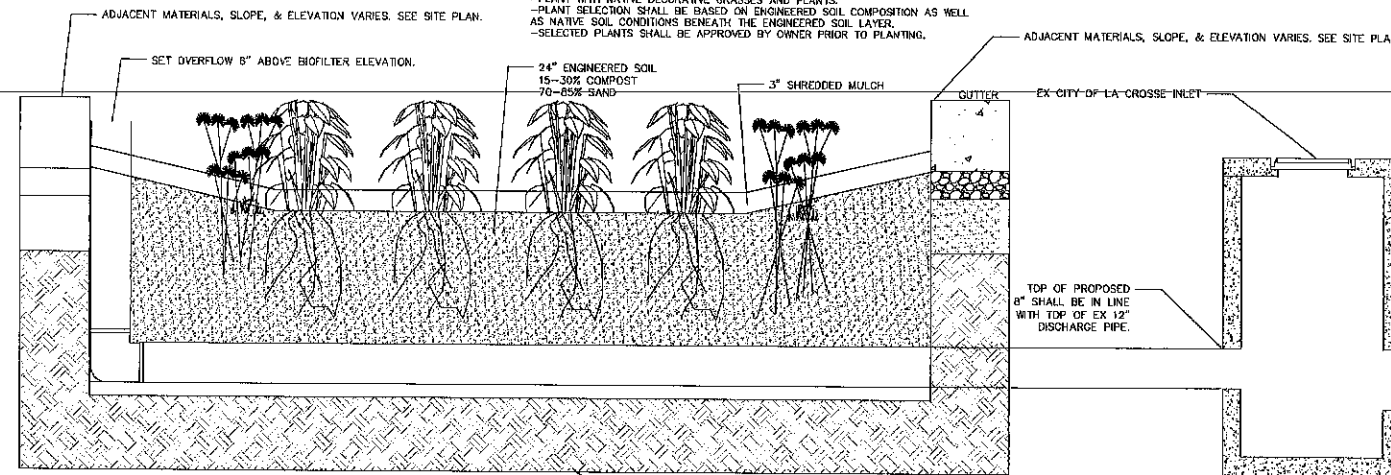
ADJACENT MATERIALS, SLOPE, & ELEVATION VARIES. SEE SITE PLAN.

SET OVERFLOW 6" ABOVE BIOPILTER ELEVATION.

24" ENGINEERED SOIL
 15-30% COMPOST
 70-85% SAND

3" SHREDDED MULCH

EX-CITY-OF-LA-CROSSE INLET



BIOPILTER

CONCEPTUAL DRAWING ONLY. SHOWN OUT OF PROJECTION.

TOP OF PROPOSED 8" SHALL BE IN LINE WITH TOP OF EX 12" DISCHARGE PIPE.



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