



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Meeting Agenda

Commercial/Multi-Family Design Review Committee

Friday, October 4, 2024

9:00 AM

Virtual via Zoom

The meeting is conducted through video conferencing.

Members of the public will be able to attend the meeting via video conferencing with the link below.

Join Zoom Meeting

Click this link (or typing the URL in your web browser address bar):

<https://cityoflacrosse-org.zoom.us/j/82799188943?pwd=pAMS3MbJusyBqR9mjCiK3jH6cAP0rk.1>

Meeting ID: 827 9918 8943

Passcode: 212646

Dial by your location

1 312 626 6799

If you wish to speak please provide written comments by emailing acklint@cityoflacrosse.org, using a drop box outside of City Hall or mailing the Department of Planning, Development, and Assessment at 400 La Crosse St, WI 54601.

Call to Order

Agenda Items:

1. [24-1316](#) Review of plans for the building addition located at 1331 Clinton Street. (Boys and Girls Club)
Attachments: [Preliminary Plans 10-4-24](#)
2. [24-1317](#) Review of plans for the mixed-use development located at 1513 Market Street.
Attachments: [Preliminary Plans 10-4-24](#)

Adjournment

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.



City of La Crosse, Wisconsin

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400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 24-1316

Agenda Date:

Version: 1

Status: Agenda Ready

In Control: Commercial/Multi-Family Design Review Committee

File Type: Review of Plans

Agenda Number: 1.



COMMERCIAL DEVELOPMENT DESIGN STANDARDS APPLICATION

Planning Department - Phone 608.789.7512 - Fax 608 789.7318

<http://www.cityoflacrosse.org>

Planning@cityoflacrosse.org

Permit No.:
Date:
Parcel No.:

STATUS:

OWNER

Name: Boys & Girls Clubs of Greater La Crosse Inc - Contact: Brian Fukuda			
Address: 1331 Clinton Street			
City: La Crosse			
Phone: 608-881-7789	Cell:	Fax:	E-mail: brian.fukuda@bgclax.org

ARCHITECT
CONTRACTOR

Name: Vantage Architects			
Address: 750 N. Third Street, Suite F			
City: La Crosse			
Phone: 608-784-2729	Cell:	Fax:	E-mail: jw@vantagearchitects.com

PROJECT

Check One:	<input type="checkbox"/> Building	<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Alteration/Remodel
Description of Work:			
New <i>Life & Workforce Readiness Center</i> Addition to The Boys & Girls Club Terry Erickson Center on the east side of the property. The 2-Story addition is approximately 16,000 SF. Site work will include a new parking lot on the east which encompasses sharing property with the school district, refer to site plan. Exterior finishes on the new addition will match/compliment existing building finishes.			
Pre-application Meeting Date:			
Applying for Exception: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (Include \$300 Check for Public Notification)			

PROPERTY

Project Address: 1331 Clinton Street	
Zoning District: PS - Public & Semi Public	Parcel Number: 17-10146-30
Address: 1331 Clinton Street	Address same as property owner's address: <input checked="" type="checkbox"/>
City: La Crosse	State: WI Zip Code: 54603

OFFICIAL
USE ONLY

Date Received:	Review Date:
Exception Check: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Required Information: <input type="checkbox"/> Site Plan <input type="checkbox"/> Architecture Plan <input type="checkbox"/> Landscape Plan <input type="checkbox"/> Building Elevations & Materials <input type="checkbox"/> Exterior Light Diagram <input type="checkbox"/> LEED Checklist <input type="checkbox"/> Photos	

The applicant agrees that all design aspects and maintenance plans are in accordance with the requirements of Section 15.47 of the Code of Ordinances for the City of La Crosse. Application, the checklist, and seven (7) sets of required information must be submitted to the City Inspection Department prior to review and acceptance.

(PRINT) Architect/Engineer Name

(Print) Owner Name

Signature (Architect/Engineer)

Date

Signature (Owner)

Date



September 25, 2024

City of La Crosse Planning Department

Re: Preliminary Commercial Development Standards review - Boys and Girls Club Work Force Readiness Center

We have designed the site plan and associated green space, hard surface, parking, building access, fire lanes, ADA access, storm water management, and storm water BMPs in accordance with City ordinance requirements AS IF THE BGC OWNED ALL OF THE LAND BEING DEVELOPED. They do not. The project is being supported by the La Crosse School District and the District owns a significant portion of the land being used for parking, access, and storm water BMPs. The District parcel will have a recycle, refuse, and storage area that will be for the support of the BGC facility as well.

We understand that this probably complicates how this project will fit in to the typical project mold and there may be zoning issues as well. The District has provided verbal assurances that the District will work with and cooperate in providing necessary cross agreements and/or easements necessary to bring the project into acceptance.

As part of the City's preliminary review, we are asking for specific direction and additional assurances that the project, as envisioned in this preliminary review submittal, is an approvable project knowing that all aspects of the storm water will likely be comingled across parcel lines as well as ownership lines.

We are also asking for feedback as to what specific agreements the City will require to be put into place in order to get final site plan approval and building permit.

We envision the following agreements and easements:

1. A joint development agreement which defines who owns and who maintains the improvements proposed on the District property as well as shared improvements on the BGC site.
2. Cross-access and cross-parking agreements.
3. Easement for storm water discharge from the BGC onto District property.
4. Easement for storm water BMPs on District property.
5. Easement for storm pipe systems on District property.
6. Easement for a fire lane crossing from BGC property onto District property.
7. Easement for trash/recycle area and storage area on District property.
8. Easement for the relocation, reconstruction, and maintenance of the City water main that is currently in the area of the proposed building that will cross on and within both properties.
9. Separate Long Term Management Agreement for the storm water BMPs

Sincerely,

Jeffrey S. Moorhouse, ASLA PLA
President

CIVIL ENGINEERING LANDSCAPE ARCHITECTURE SURVEYING

632 Copeland Avenue La Crosse, WI 54603 Tel. 608.781.3110 Fax 608.781.3197 www.paragon-assoc.biz

DESIGN REVIEW CHECKLIST

The checklist must be completed in full by the applicant prior to submission. Completed elements should be checked. Any elements that do not apply to your site or you are requesting an exception on, check the corresponding column and include notes. Items in italics are recommended actions but not required.

YES NO N/A NOTES

PARKING LOT DESIGN AND PARKING STANDARDS

C.2	No parking stall may be closer to the street than the building setback line or the building on the same parcel, whichever is farther from the street unless the applicant can demonstrate that there are no practical alternatives related specifically to the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.3	All points of ingress and egress will be evaluated by the City Traffic Engineer to determine if ingress and egress should be allowed directly to the street or via an alley.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.4	Parking areas shall be separated from primary buildings by a landscaped buffer.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.5	Minimum setback for parking stalls and drives is five (5) feet from all property lines with the exception of the alley (in order to accommodate landscaping or drainage swales). Parking for adjacent properties may be combined into continuous paved lots, eliminating the required setback at the shared property line, provided that 100% of the lost green space is replaced elsewhere on the parcel (e.g. with a 10' setback along the opposite lot line).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note: new parking lot is shared property with school district
C.6	A parking lot for more than 12 vehicles shall incorporate at least 288 square feet of planting islands at least 8 feet in width (face of curb to face of curb). Planting islands may be either parallel to parking spaces or perpendicular to the parking spaces. As parking lot size increase, and additional planting island is required at the ratio of one planting island for every 20 automobile parking spaces. No less that 5 percent of the islands shall be interior to the parking lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.7	Landscaping buffers, green space, and planting islands must total a minimum of 10 percent of the lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.8	Buffers, setbacks, and planting islands are encouraged to be used for stormwater infiltration.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.9	All approaches, parking and vehicular circulation areas shall be paved and graded for proper stormwater management. The use of pervious pavement for stormwater infiltration is highly encouraged.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.10	For structures not needing approval by the Wisconsin Department of Commerce, parking spaces shall not be less than 8.5 feet in width and 17 feet in length. The full dimensions of this rectangle must be maintained in angled parking designs. Drive aisle widths vary depending upon the angle of parking space. The following minimum standards apply and shall be consistent with requirements of the City Engineering Department adopted standards: 45 degrees – 12'10" aisle 55 degrees – 13'7" aisle 65 degrees – 15'4" aisle 75 degrees – 17'10" aisle 90 degrees – 22' aisle	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.11	Where maximums on parking ratios exist, parking surfaces and drive aisles shall be permitted to be increased in size by no more than five percent (5%), provided at least twenty-five percent (25%) of the parking lot and pedestrian sidewalks consist of paving blocks (plastic or concrete honeycomb grid) planted with grass.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.12	Parking lots shall be located on the same lot as the principal structure (unless it can be demonstrated that shared parking will be beneficial to multiple property owners and does not result in a "gap tooth" effect on a block face).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note: new parking lot is shared property with school district

DESIGN REVIEW CHECKLIST

	YES	NO	N/A	NOTES
C.13 Raised curbs, parking blocks or stops, decorative bollards and/or fences, trees and/or shrubs shall be utilized along the edge(s) of parking lots to prevent motor vehicles from parking on green space buffers, outdoor recreation space, bike parking areas, sidewalks and side and front yards. In the event the original protective measures are inadequate to preventing inappropriate parking, additional measures shall be taken.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.14a Parking lot snow storage area(s) shall be designated in the parking lot and/or green space buffers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.14b Snow storage areas shall not be located near parking lot entrances and impede driver vision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.14c If these green space buffer(s) are no longer capable of storing snow, the property owner shall arrange for the excess snow to be removed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.14.d To the greatest extent possible, melting snow or ice should not drain over sidewalks or across neighboring properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.15 Light-colored and/or reflective surface coating should be considered to reduce the "heat island" effect of traditional asphalt parking lots.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.16 Environmentally-friendly paving materials and methods are encouraged, including but not limited to using recycled asphalt tires and roofing shingles as part of the mix or base.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
C.17 Porous paving materials such as paving blocks with decorative gravel, or properly spaced cobbles, brick, and natural stone with grass planted in between in small clusters and methods that reduce stormwater runoff are encouraged.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
C.18 The off-street parking provisions for all commercial development shall be in conformance with 15.04(G). Required off-street parking space, including access drives and aisles, shall not cover more than seventy-five percent (75%) of the lot area in which such off-street parking space is permitted.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

PEDESTRIAN CIRCULATION

D.2 There shall be a paved pedestrian route from the sidewalk or street to the main building entrance, and from the parking area to the nearest building entrance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D.3 Pedestrian routes shall be paved with concrete. Bituminous material shall not be allowed for pedestrian routes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D.4 Porous paving materials and methods that reduce stormwater runoff is encouraged.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

BUILDING MECHANICAL SERVICE ELEMENTS

E.2 The design and location of the following items shall be indicated on building and/or site plans, illustrated with spec sheets as appropriate, and submitted with the Design Standards Checklist:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2a utility meters	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2b building mechanicals	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2c trash and recycling containers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2d bicycle parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Note: bicycle parking is located at existing parking area and not shown on new site plan
E.2e outdoor seating areas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.2f solar and wind facilities review - are we showing roof locations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.2g dish antennas (not permitted to hang off the side of buildings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.2h transformers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2i back-up generators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
E.3	Service areas, utility meters, and building mechanicals shall not be located on the street side of the building, nor on the side wall closer than 10 feet to the street side of the building. The location of emergency back-up generators and transformers shall be coordinated between the City, developer and the utility company. Screening of meters, generators, transformers, and mechanicals is required when visible from the street with an approved screen device. Screening materials shall match building materials. Cable, conduit and phone line shall not be visible on the exterior with the exception of conduit running directly to the meter/utility boxes at the time of initial occupancy. Mailboxes are permitted within 10 feet of the front of the building if not visible from the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.4	Trash and recycling containers, including cans and dumpsters, shall have covers and be screened so as not to be visible from the street or from neighboring properties. Screening shall be one foot higher than the container but no higher than six feet; however, roofed enclosures may exceed this limit.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.5	If a building owner chooses to provide a trash receptacle and/or a smoking materials receptacle, the receptacle(s) shall be decorative if located at the entrance that faces a public street. These receptacles shall be screened from view and/or designed to fit with the architecture and materials of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.6a	High energy gas appliances shall have the air intakes and exhaust vents located on the sides or rear of the building where they do not interfere with any sidewalks, are not likely to be blocked or damaged by pedestrian traffic, snow or the removal of snow, and away from any trees or shrubs that would be harmed by the exhaust heat and gases.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.6b	Window-mounted air conditioners shall not be permitted.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.6c	PTAC air conditioner/heat pump units must be designed into the architecture of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.6d	If heat pumps or air conditioners are located on the ground, they shall be on one side or the rear of the building and screened with evergreens or decorative screening that matches or complements the exterior siding of the building, such that proper clearances are maintained for the manufacturer's warranty.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.6e	If heat pumps or air conditioners are located on the roof, they shall be placed, painted and/or screened so as to minimize the visual impact to the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.7a	Bicycle parking using bike racks specifically designed for bike parking shall be provided at one (1) space per 10 automobile parking spaces or one (1) space per 20 employees, whichever is greater, and should be located near building entries, shall not interfere with pedestrian circulation, and shall be well-lit. Bikes are not permitted to be stored, locked or chained on decks, patios, fences or any other exterior location other than a bike rack specifically designed for bike parking.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Note: bicycle parking is located at existing parking area and not shown on new site plan. Based on existing and new proposed parking spaces (65 total), 7 bike parking spaces are required. There are 14 existing bike parking spots on site.
E.7b	Bicycle parking (to accommodate four bicycles) shall be nominally at least nine (9) by six (6) feet or fifty-four (54) square feet and increase by the same ratio to accommodate the number of bike spaces.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.7c	The base for bike racks should be concrete to ensure their stability; however, the remaining bicycle parking area shall be porous paving materials (paving blocks with decorative gravel or wood mulch, or properly spaced cobbles, brick, and natural stone with grass planted in between in small clusters) to reduce stormwater runoff but shall not result in standing water. If an area for bike parking is designed using these standards, then up to 100 percent of the space taken for the bike parking shall count as green space.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
LANDSCAPING OPEN SPACE & PLANTINGS					
F.2	A landscape design and planting plan shall be prepared and submitted for all buildings. Landscape plans for developments shall be prepared and signed by a Landscape Architect, nurseryman, or professional site planner with educational training or work experience in land analysis and site plan preparation prior to submittal to the City.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.2a	No building permit shall be issued until the required landscaping plan has been submitted and approved, and no certificate of occupancy shall be issued until the landscaping is completed as certified by an on-site inspection by the Building Inspector, Planning Staff, or other designated official, unless a financial guarantee acceptable to the City has been submitted.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.2b	Landscape surety. The owner shall provide the City with a cash deposit, bond, or approved letter of credit to guarantee the proper installation and growth of all landscape improvements proposed in the approved landscape plan. Said surety may remain in effect for two full growing seasons. A growing season shall be considered a period from May 1 to September 30. The first year, the amount of the surety will be equal to 100% of the estimated cost of plant material, installation and tree preservation. Once installation has been completed per the approved landscape plan and verified by the City, 75% of the surety will be reimbursed back to the owner. The remaining 25% will be kept by the City for a period of twelve (12) months to cover any maintenance cost that may be needed. Such surety shall be filed with the City Finance Officer.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.2c	The City may allow an extended period of time for completion of all landscaping if the delay is due to conditions which are reasonably beyond the control of the developer. Extensions may not exceed nine months, and extensions may be granted due to seasonal weather conditions. When an extension is granted, the City may require such additional security and conditions as it deems necessary.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.3a	The plan shall address all parts of the parcel and shall indicate: Details of all proposed vegetative landscaping materials, including placement, common and botanical names, caliper/height or container size and quantity and maintenance requirements.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.3b	Details of proposed non-vegetative landscaping and screening materials.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.3c	Planting and construction schedule for completion of landscaping and screening plans.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.3d	Estimated cost from a landscaper on a bid or estimate form of the proposed landscaping.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.4	All portions of the site not covered by buildings, paving material, or other planned and approved surfaces shall be considered "landscaped area" and shall have a minimum of 4 inches of top soil and be planted with living plant materials and/or mulches. Overall site landscaping shall include not less than:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.4a	One tree placed in the boulevard per 40 linear feet of lot frontage;	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.4b	Not less than two trees and eight shrubs per 600 square feet of landscaped area. These are minimum standards – more plantings are encouraged.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5	All plant material used shall meet the minimum standards established by the American Association of Nurserymen as published in the American Standards for Nursery Stock and shall meet the following minimum requirements:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5a	Deciduous trees: 2" dbh (diameter at breast height)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5b	Ornamental trees: 2" dbh	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5c	Evergreen trees: 5' height	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5d	Shrubs: 5 gallon container	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5e	Vines and Perennials: 1 gallon container	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
F.6	Boulevard trees will be installed by the City Forester at City expense if the developer attends City tree school. If the developer installs boulevard trees they shall conform to City street standards. A complete list of trees and shrubs and other reliable plant material that has been approved by the City Forester is available in the City Planning and Development Department.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.7	Existing healthy trees should be preserved to the greatest extent practicable and shall be indicated on grading and landscape plans submitted for plan review; however, invasive trees shall be removed. Existing damaged, decayed, or diseased trees should be removed to protect remaining trees. Construction near existing trees should follow Best Management Practices to ensure their survival.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.8	Landscaping should reinforce pedestrian circulation routes and obstruct undesired routes of convenience. Bushes, trees, rocks, and other landscape features should be used to indicate where pedestrians should and should not travel.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.9a	Provide a five (5) to six (6) foot high solid screen to separate parking lots from abutting residential uses or other non-compatible uses. A solid landscape screen is defined as an evergreen or nearly evergreen mixture (minimum of 65% evergreen) of shrubs, bushes, or trees that produce a dense, sight-obscuring screen at least five (5) to six (6) feet in height within three years of planting. Berms may be included in this definition as long as the maximum height of the berm is five feet; both sides of the berm are planted with evergreen or nearly evergreen shrubs or bushes so that the total height of landscaping and berm will be at least six feet within three years of planting; and top of the berm plantings form a dense, sight-obscuring screen within the same three-year period.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.9b	Provide a minimum three (3) foot high visual relief screen when adjacent to a street in the form of a hedge, fence, planter, berm, dividers, shrubbery and trees or any combination. The visual relief screen shall extend the length of the parking lot. Three (3) feet in height shall be measured from surface of the parking lot and may be negotiable depending on the elevation of the parking lot in relation to the sidewalk and/or street. All landscaping to form such a visual relief shall be a minimum height of 2 feet at time of planting. Bark or other loose material shall not be placed on berms in these areas since it may be displaced on the street or sidewalk.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.10a	The property owner shall be responsible for maintenance and replacement of trees, shrubs, grass, ground covers, loose bark or gravel, and sod which are part of the approved landscape plan. If any such plant materials are not maintained or replaced, the City may utilize the required surety to replace the newly planted or protected landscaping or to deem this to be a Municipal Code Violation and issue an Order to Correct.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.10b	The owner is responsible for keeping trees in a plumb position. When staking or securing trees is done, it shall occur so as not to create any hazards or unsightly obstacles.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.10c	Plants must be maintained to be kept in sound, healthy and vigorous growing conditions and free of disease, insect eggs and larvae.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.10d	A sprinkler or lawn irrigation system shall be required in the front yard and boulevard of all developments if lawn or sod is proposed. This standard does not apply to boulevards if sprinkler or lawn irrigation systems are not needed for the front yard.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WALLS AND FENCES					
G.2	Walls and fences located in the front yard setback shall not exceed six feet in height above the finished grade and shall be at least 50% transparent to retain the visual connection between street and building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Note: no walls or fences in front yard setback

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
G.3	The design and materials for walls and fences shall be coordinated with the design and materials of the principal buildings and should have substantially the same detail. This is not intended to require identical materials and design.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
G.3a	Pressure treated lumber fences shall not be permitted unless stained or painted.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
G.3b	All chain link fences must be plastic coated and shall only be permitted in side yards and backyard, and shall not extend nearer to the street than the front of the building nor used in the side yard on a corner property.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
G.3c	Smooth faced concrete (CMV) blocks or non-architectural poured walls used to construct a wall shall be covered with brick or some other decorative block or dimensional material such as a stained block product. Painted or colored smooth-faced concrete bricks or blocks shall not be considered decorative block.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
G.4	Walls and fences shall provide variety and articulation at each end and at intervals not exceeding 25 feet through at least one of the following methods: Changes in plane of not less than one (1) foot; Expression of structure, such as post, column, or pilaster; Variation of material; or Landscaping	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

STORMWATER INFILTRATION AND CONTROL

H.2	A stormwater management and erosion control plan shall be required for all new construction, shall be coordinated with the Landscaping and Open Space Plan, and shall be designed by either a Registered Architect, Landscape Architect or a Professional Civil Engineer in accordance with the City of La Crosse's Stormwater Management Ordinance and shall include a maintenance plan and agreement.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
H.2a	Until such time as the City adopts a stormwater management ordinance, the City shall use the La Crosse County Stormwater Management Ordinance.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
H.2b	For parcels less than ¼ acre in size, the City shall work with the property owner/developer/applicant to develop a practical site-specific stormwater management plan that allows for flexibility in the use of stormwater treatment devices including rain barrels, rain gardens, swales, cisterns, drain tiles, soil amendments, porous pavements, grass pavers for overflow parking areas, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
H.3	The use of bio-cells, living roofs and rain gardens is encouraged due to their aesthetic as well as utilitarian benefits.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
H.4	Newly concentrated stormwater, such as that from rooftop, impervious surface, or swales, shall not be directed onto or across adjacent properties or across sidewalks. Rooftop stormwater shall not be discharged within 5 feet of a sidewalk unless an intervening landscape element is used to promote infiltration, such as a rain garden.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
H.5	Stormwater detention and infiltration facilities shall be designed as visual and open space amenities that enhance the overall appearance of the site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

EXTERIOR LIGHTING

I.2	All exterior lights shall be designed for commercial use. A lighting plan showing lighting levels on-site and at the property line as well as spec sheets with pictures must be submitted with the Design Standards Checklist for each exterior light to be used.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.3	Pedestrian lighting shall clearly indicate the path of travel, shall minimize dark spots along that path, and shall utilize coordinated light fixtures.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.4	The maximum height of wall-mounted parking lot light fixtures shall be 16 feet above the ground. Pole-mounted fixtures are acceptable but not required and will have a maximum height of 30 feet from the ground to the top of the fixture. Fixtures shall be of full-cut-off (FCO) design to minimize glare and spillover.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
I.5	Ornamental lighting to light the building façade is permitted provided that the light source is not visible from the property line and is designed to minimize glare and spillover.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.6	No overhead light source (i.e., the lamp or reflector) shall be visible from the property line. Shields may be employed, if necessary, to meet this requirement. The maximum allowable luminance measured 25 feet beyond the property line shall be .05 horizontal foot-candles (HFC).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7	Lighting levels for parking lots and pedestrian routes: (horizontal luminance measured in foot-candles):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7a	Average: 2.4 foot-candles	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7b	Minimum: 1.0 foot-candles	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7c	Uniformity Ratio (Bright spots to dark spots): 4:1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7d	Maximum Average: .5 foot-candles	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.8	Each exterior entry to structures on the property shall have an exterior light.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.9	For properties adjacent to residential uses, motion sensor flood or spot lights shall have shrouds, be limited to two (2) bulbs pointed at least thirty degrees downward and not directly into windows or doors of neighboring building and the light sources shall not be visible from the street.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

PATIOS, PORCHES, DECKS, AND ROOFTOP GARDENS/DECKS

J.2	Every residential unit is encouraged to have its own patio or balcony and shall be incorporated into the architectural façade of the building and may encroach into the building setback area but not more than 25%. Commercial structures are also permitted to have exterior balconies. No patio or balcony can hang over a sidewalk.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
J.3	For commercial developments, ground level patios or decks for customer seating are permitted in the setback areas and should include some screening for noise.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
J.4	Exterior stairs leading to a deck or balcony are permitted provided that they are decorative and are architecturally compatible with the building and constructed of compatible materials. Exterior corridors visible from a street are not permitted.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
J.5	Rooftop green roofs or rooftop patios and decks are permitted and if intended for occupied use shall have a railing height or parapet of at least 42 inches. Only outdoor furniture is permitted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

BUILDING DESIGN: FORM, SCALE AND CONTEXT

K.2	Photos of at least four (4) street views of nearby blocks shall be submitted with the Design Standards checklist.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.3	Buildings shall be designed to provide human scale, interest, and variety. The following techniques may be used to meet this objective:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.3a	Variation in the building form such as recessed or projecting bays, shifts in massing, or distinct roof shapes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.3b	Emphasis of building entries through projecting or recessed forms, detail, color, or materials.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.3c	Variation of material, modules, expressed joints and details, surface relief, color, and texture to break up large building forms and wall surfaces. Such detailing could include sills, headers, belt courses, reveals, pilasters, window bays, and similar features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.4	For all non-manufacturing or retail buildings, where the allowable building is more than 50% wider than adjacent buildings, one of the following techniques shall be employed to minimize the apparent width of the primary façade:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
K.4a	Articulate the façade with projections or bays.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
K.4b	Use architectural elements such as column, canopies, glass, changes in materials, and covered entries to interrupt the façade.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
K.5	The first floor façade shall include windows to provide visual interest and visual connection to the street. The total area of windows and doors on the street-facing façade, including trim, shall not be less than 20% of the total area of the façade, excluding gables.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
K.6	Buildings shall be built to the front yard setback line. In highway commercial areas, the building setback shall not be greater than 25 feet and no parking is permitted in the front yard setback area.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
K.7	Commercial buildings within Historic Districts or adjacent to any designated historic building must first receive DRC review and approval prior to submittal to the Heritage Preservation Commission for their review. Approval by the Heritage Preservation Commission is necessary prior to the issuance of any building permit. The developer can appeal to the City Plan commission if denied by the Heritage Preservation Commission.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
BUILDING ENTRANCES, DETAILS, TRIM, DOORS AND WINDOWS					
L.2	The primary entrance to the building shall be covered at least three (3) feet from the door. Entrance features may encroach into the front yard setback a maximum of three (3) feet. Building entrances shall be emphasized through projecting or recessing forms, detail, color or materials. Buildings shall be oriented toward the street with pedestrian access.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note: entry cannot be oriented towards the street. There is no street on east side of property
L.3	All openings shall be articulated or appropriately trimmed through the use of materials such as flat or arched lintels, projecting sills, or surrounds.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Note: openings match existing building design
L.4a	All windows shall be in keeping with the architectural character of the building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note: windows are fixed
L.4b	All windows shall have an interior locking or securing mechanism.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
L.4c	For mixed used developments that include residential units, exterior entry doors for individual units shall be residential in style (real or decorative styles, rails or panels) solid or insulated or multiple units may be commercial in style (glass). If the door does not have a translucent window lower than five (5) feet, it shall have a security peephole.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
ROOFS AND ROOF LINES					
M.2	Any roof style such as hip, gambrel, mansard, colonial, flat or another roof style is permitted so long as the roof pitch is appropriate to the architectural style of the building (e.g. prairie school) and the roof element contains additional architectural elements such as dormers, long overhangs, windows or other feature.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note: roof line matches and compliments existing building roof lines
M.3	Flat roofs are permitted, and must incorporate a parapet wall on all sides, unless the rear side of the building is sloped for drainage. The parapet should include architectural details appropriate to the building design that create a positive visual termination for the building (a "top").	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
M.4	A minimum of 50% of a building's linear roof drip edge should fall to ground surfaces that do not contain impervious surface. If gutters or other stormwater drains toward neighboring properties, then water shall be directed to an onsite rain garden(s) designed to retain a 0.5 inch-1hr rainfall. For information regarding directing clean roof water to rain gardens, the Wisconsin DNR and UW-Extension have extensive publications on the proper calculation for the size and planting materials for rain gardens in Wisconsin.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Note: new roof drains to be connected to underground storm.
EXTERIOR MATERIALS					
N.2	The use of identical materials on all sides of the building is encouraged; however; higher-quality materials on street-facing façade and complementary materials on other façade is acceptable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note: addition will match/compliment the existing building
N.3	Use of decorative accessories and trim is highly encouraged.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

DESIGN REVIEW CHECKLIST

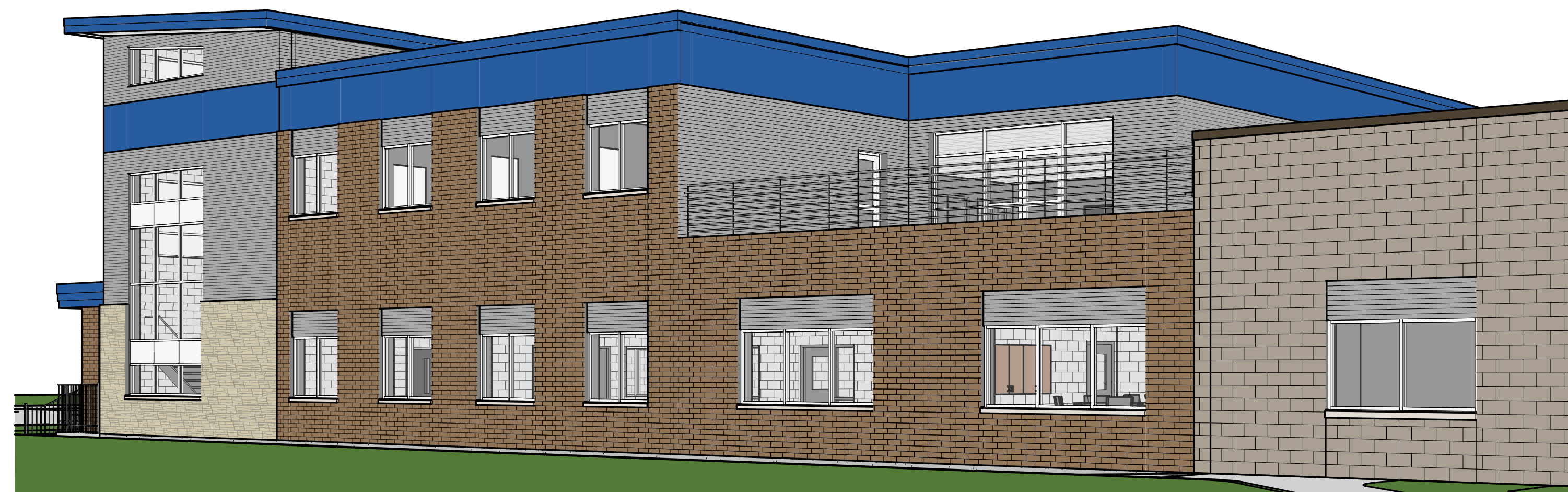
	YES	NO	N/A	NOTES
N.4 Vinyl, plywood, chipboard, T1-11, asphalt siding, non-architectural metal siding and smooth-faced concrete block are prohibited as exterior finish materials unless the architect can demonstrate that the materials are appropriate to the design of the building. Treated wood shall be painted or stained.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note: addition will match/compliment the existing building
N.5 Natural wood shall be painted or stained, unless it is cedar, redwood or some other naturally weather resistant species and is intended to be exposed.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Note: no natural wood on building addition
N.6a Since the selection of building colors has a significant aesthetic and visual impact upon the public and neighboring properties, as well as an impact on the energy use and comfort of customers and tenants, designs and color shall be selected in general harmony with the overall existing neighborhood.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note: addition will match/compliment the existing building
N.6b Neutral or natural colors for the primary siding material with brighter or darker colors for accent and trim that provide for a more interesting building and are cooler in the summer are preferred.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Note: addition will match/compliment the existing building
N.6c Complementary multi-color and textured roofing materials that provide for a more interesting building and are cooler in the summer are preferred.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
GARAGES AND ACCESSORY BUILDINGS				
O.2 Street-facing overhead doors on garages are not permitted on lots served by an alley.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
O.3 The cumulative length of all garage doors facing the street shall not exceed 50% of the total length of the street-facing elevation unless architecturally justified.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
O.4 Accessory buildings shall be architecturally compatible and be constructed of the same materials as the primary building(s). All changes to the approved plans such as the addition of an accessory structure shall be approved by the Design Review Committee if not submitted at the time of initial review.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Note: exterior storage shed and refuse/recycling enclosure will match/compliment the existing building materials
BUILDING CONSTRUCTION				
P.2 A completed LEED checklist must be submitted with the Design Standards checklist to demonstrate compliance with the standard.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
BUILDING, PROPERTY AND LANDSCAPING MAINTENANCE				
Q.2 All commercial structures and buildings that are developed and constructed under this ordinance shall maintain the property through an ongoing maintenance program. The maintenance program is to include all exterior aspects of the development and include but is not limited to parking lots, building mechanicals, service elements, customer and tenant amenities, landscaping open space and plantings, wall and fences, signage, stormwater facilities, exterior lighting, patios and decks, exterior finishes, windows, architectural detail, and accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Q.3 The project shall be maintained over the life of the development in a like-new condition with an on-going maintenance program that adheres to the intent of the original building plans and is subject to inspection by the City at anytime. Failure to maintain the project may subject the property to fines as permitted under this Chapter and the City of La Crosse Stormwater Management Ordinance. (#4513-7/9/09)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Boys & Girls Clubs of Greater La Crosse

Life & Workforce Readiness Center Addition

1331 Clinton Street
La Crosse, WI 54603

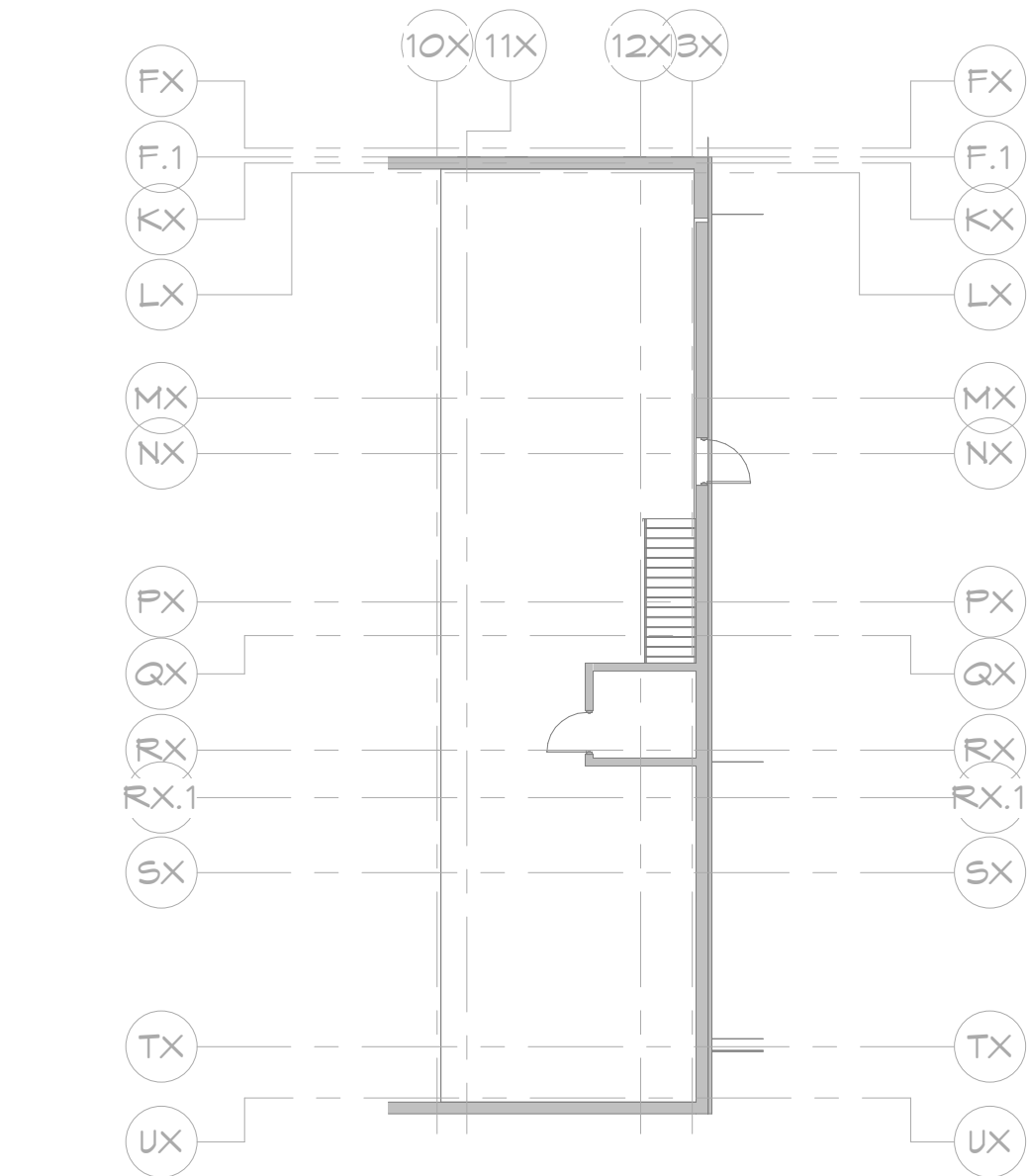
Progress Set 9.25.2024



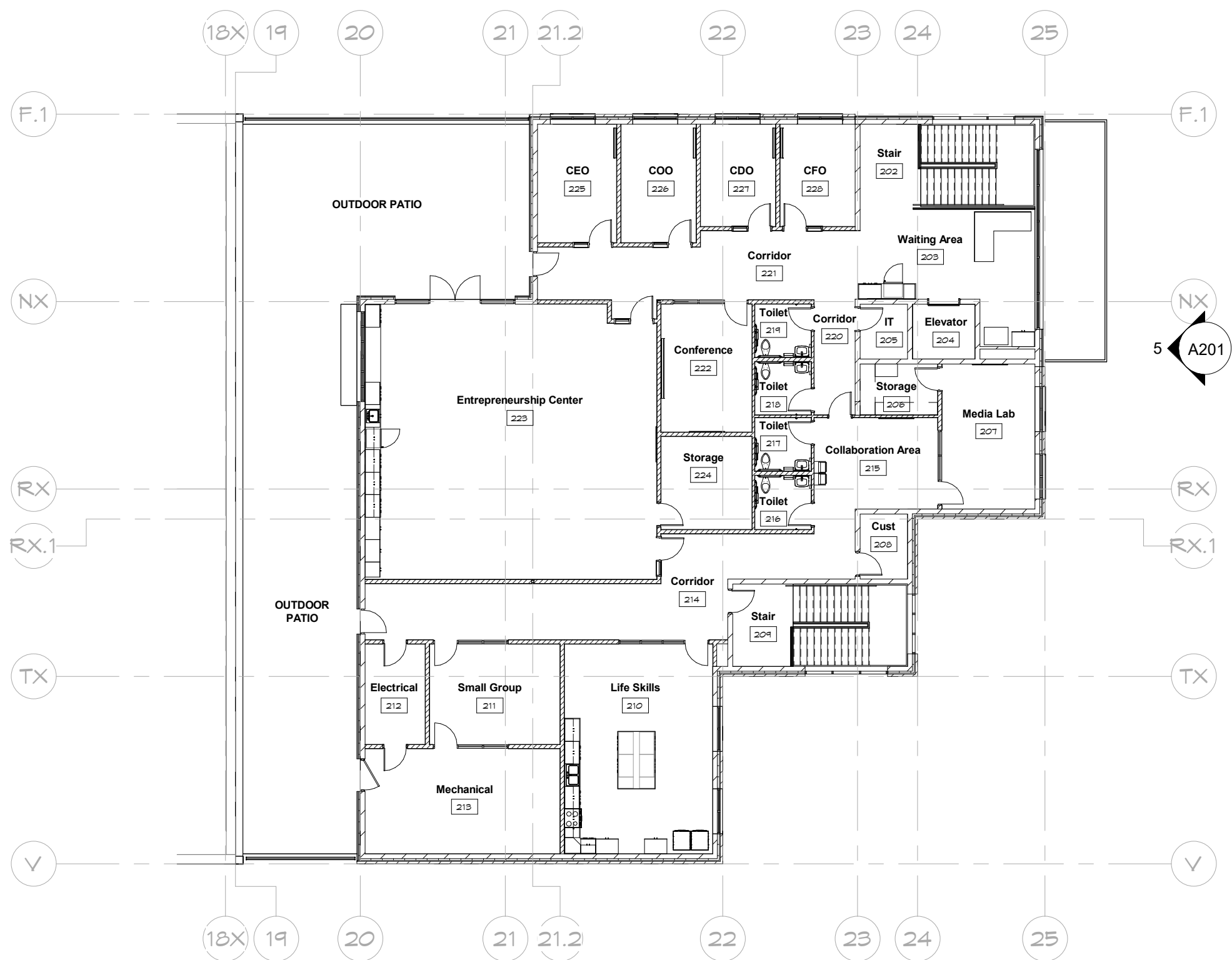
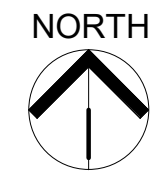
REVISIONS	NO.	DATE



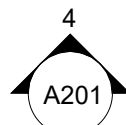
1 FIRST FLOOR - OVERALL PLAN
1/16" = 1'-0"

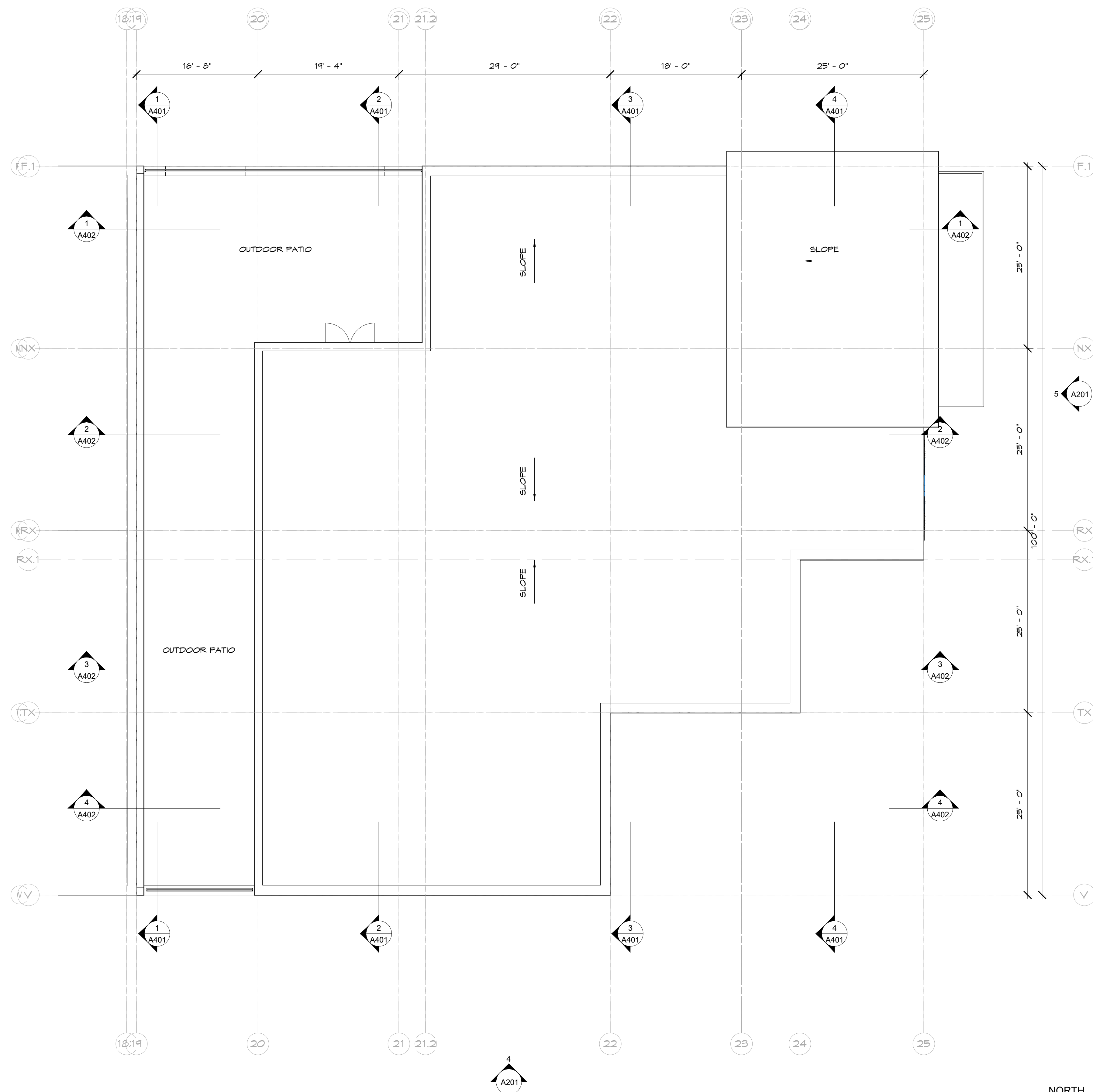


2 EXISTING MEZZANINE - OVERALL PLAN
1/16" = 1'-0"



3 SECOND FLOOR - OVERALL PLAN
1/16" = 1'-0"





1 ROOF PLAN - ADDITION
1/8" = 1'-0"



PROJECT TITLE:
**Boys & Girls Clubs of Greater La Crosse
Life & Workforce Readiness Center Addition**
PROJECT LOCATION:
1331 Clinton Street
La Crosse, WI 54603

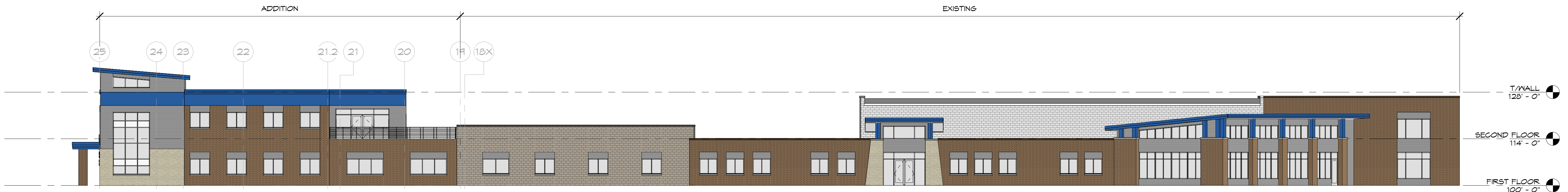
PROJECT NO:
24153
DRAWING DATE:
9.25.24

DRAWN BY:
JWS

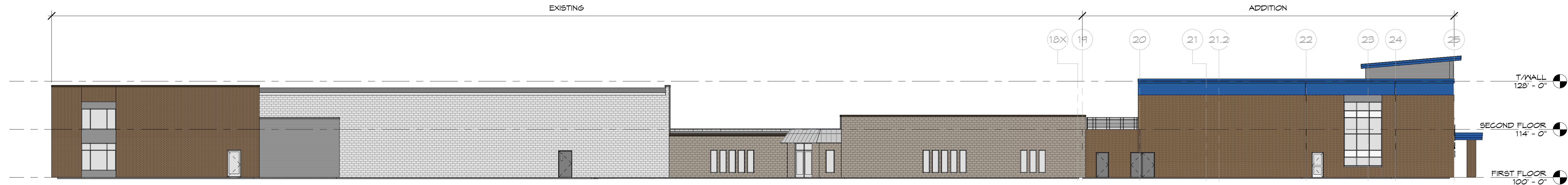
SET TYPE:
Progress Set

REVISIONS NO.	DATE

SHEET TITLE
Roof Plan



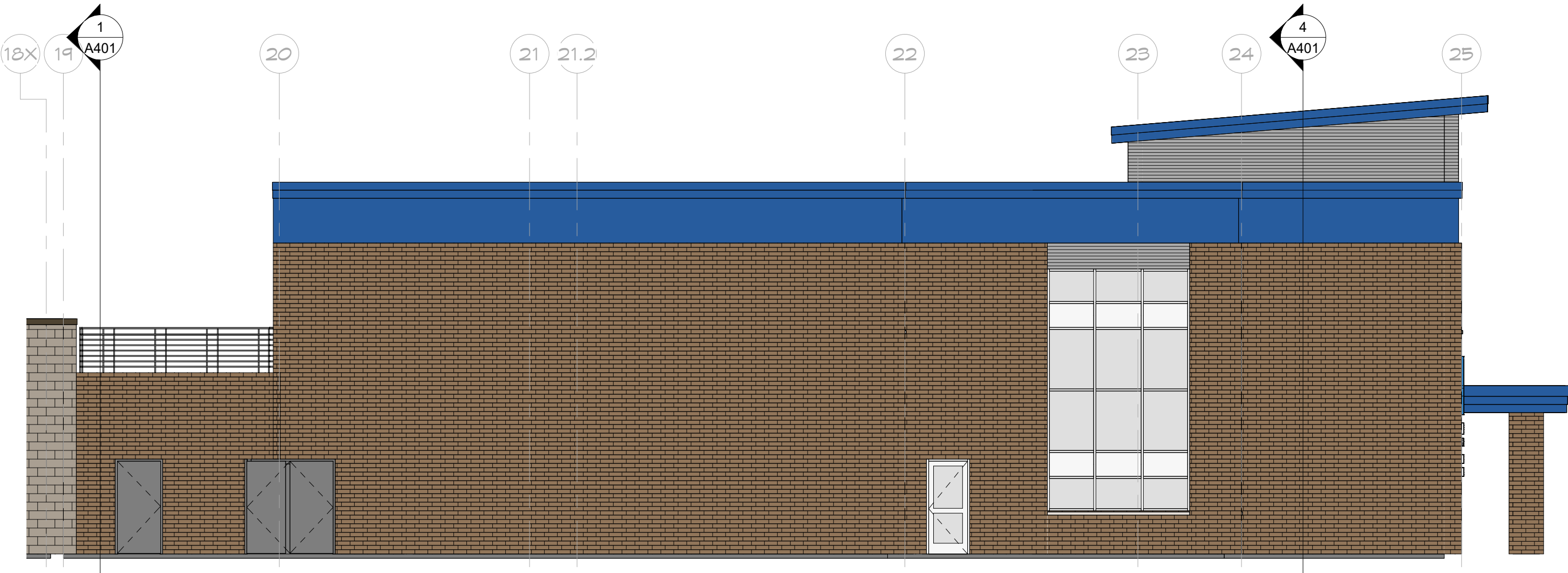
1 NORTH ELEVATION - ADDITION & EXISTING OVERALL
1/16" = 1'-0"



2 SOUTH ELEVATION - ADDITION & EXISTING OVERALL
1/16" = 1'-0"



3 NORTH ELEVATION - ADDITION
1/8" = 1'-0"



4 SOUTH ELEVATION - ADDITION
1/8" = 1'-0"



5 EAST ELEVATION - ADDITION
1/8" = 1'-0"

REVISIONS	NO.	DATE

PROJECT LOCATION:
1331 Clinton Street
La Crosse, WI 54601

PROJECT NO:
24153

DRAWING DATE:
8.12.24

DRAWN BY:
JWS

SET TYPE:
Design Concept

REVISIONS
NO. | DATE

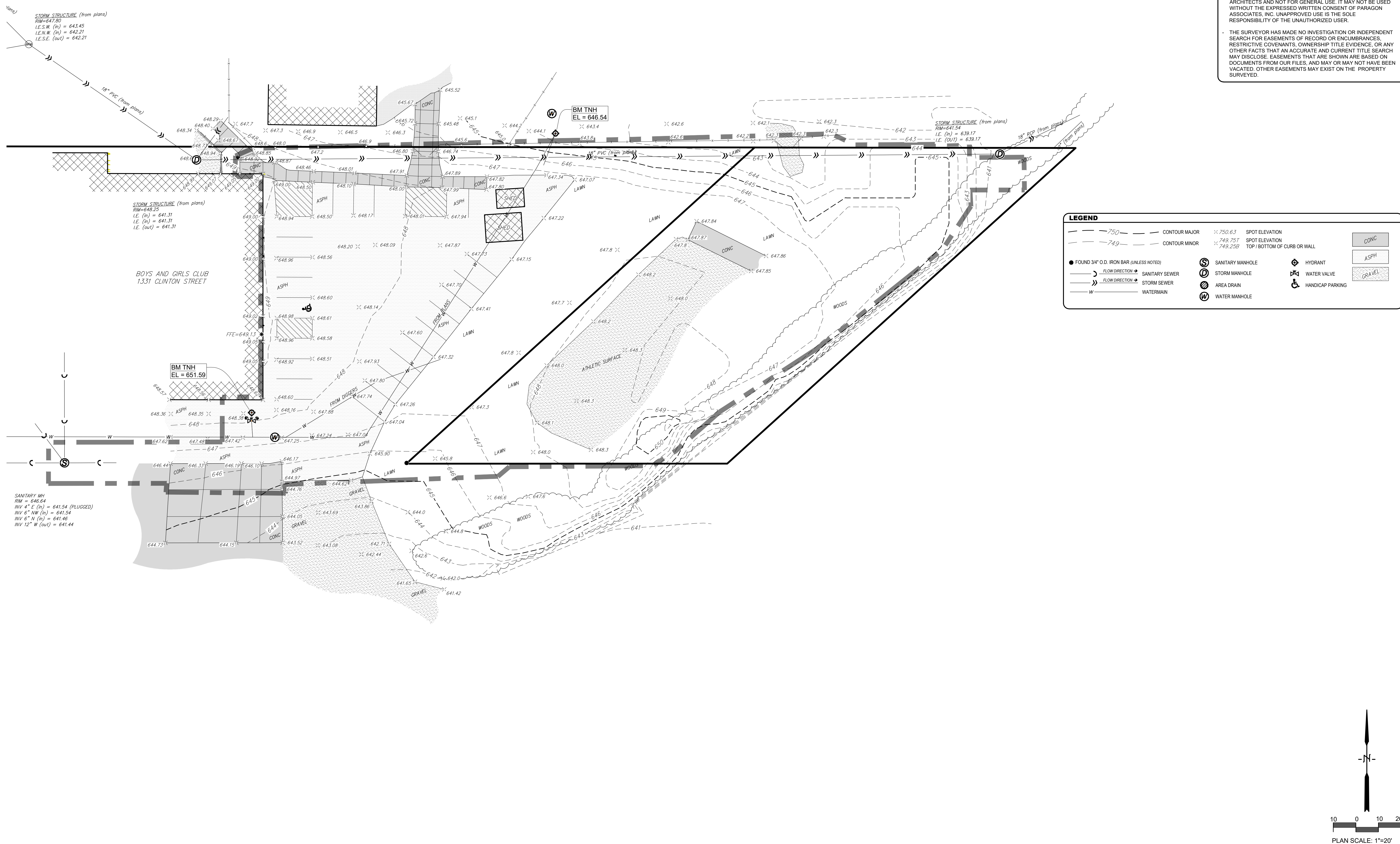
SHEET TITLE

Existing Conditions
Map

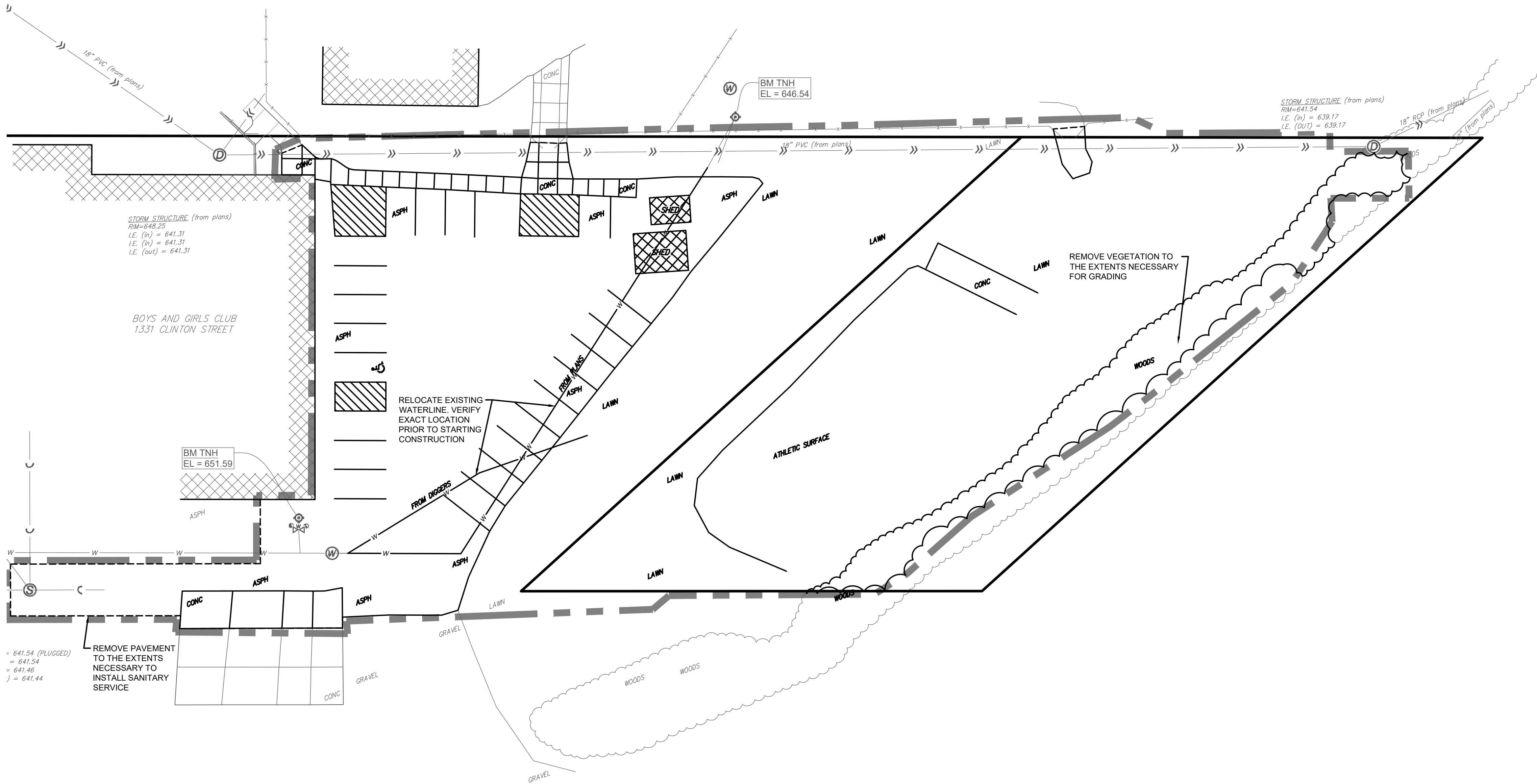
SHEET NO.

C001

Scale: 1" = 20'



1. STRUCTURE (from plans)
47.00
Y (n) = 643.45
Y (n) = 642.21
Y (out) = 642.21



+ 641.54 (PLUGGED)
= 641.54
= 641.46
= 641.44

REMOVE PAVEMENT
TO THE EXTENTS
NECESSARY TO
INSTALL SANITARY
SERVICE

RELOCATE EXISTING
WATERLINE. VERIFY
EXACT LOCATION
PRIOR TO STARTING
CONSTRUCTION

REMOVE VEGETATION TO
THE EXTENTS NECESSARY
FOR GRADING

SITE NOTES

-The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the owner or its representatives. The contractor shall be responsible for determining the exact location of all existing utilities, whether shown on these plans or not, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and preserve any and all utilities. CALL DIGGERS HOTLINE (800) 242-8511

-The underground locations of the Public Utilities were marked by representatives of those companies. The locations of the privately owned underground utilities were not marked.

-There may be more underground utility installations within the project area that are not shown.

-It shall be the contractors responsibility to arrange for any necessary inspections by local government that may be required.

-Any and all parties utilizing vertical datum shall always check into at least two (2) benchmarks to avoid mistakes due to hydrant adjustments or transpositional errors. Failure to do so will be considered tantamount to gross negligence and subject the offending party to any damages resulting therefrom.

-There may be discrepancies between the building exterior as located on the survey and what was provided by the architect. Verify dimensions prior to construction.

DEMOLITION NOTES

1. SAW CUT AND REMOVE EXISTING PAVEMENT
2. REMOVE EXISTING CONCRETE CURB OR PAVEMENT TO NEAREST JOINT
3. PROTECT EXISTING IMPROVEMENT IN PLACE
4. PROTECT EXISTING UTILITY IN PLACE
5. REMOVE EXISTING UTILITY
6. REMOVE EXISTING TREE
7. PROTECT EXISTING TREE (WITH TEMPORARY FENCING WHERE NOTED)
8. REMOVE EXISTING SIGN. SALVAGE SIGN FACE FOR REINSTALLATION AS DIRECTED BY OWNER.
9. CONTRACTOR SHALL EXCAVATE AND UNCOVER EXISTING WATER SERVICE TO VERIFY SERVICE MATERIAL AND SIZE WITHIN 30 DAYS OF MOBILIZATION TO THE SITE. IDEALLY DONE AT THE TIME THE SERVICE VALVE IS REPLACED. SEE UTILITY SHEET.

PROJECT TITLE:
Boys & Girls Clubs of Greater La Crosse
Life & Workforce Readiness Center Addition

PROJECT LOCATION:
1331 Clinton Street
La Crosse, WI 54603

PROJECT NO:
24153

DRAWING DATE:
09/25/2024

DRAWN BY:
C.G.

SET TYPE:
Design Concept

REVISIONS
NO. DATE

SHEET TITLE

Demolition Plan

SHEET NO.

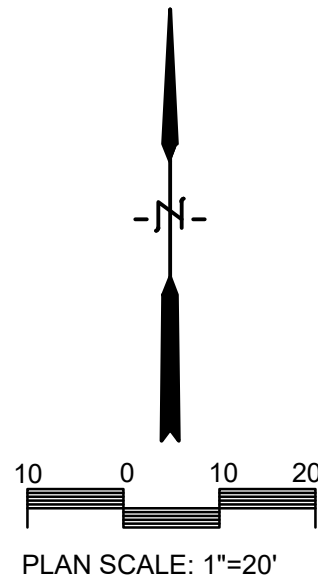
C050

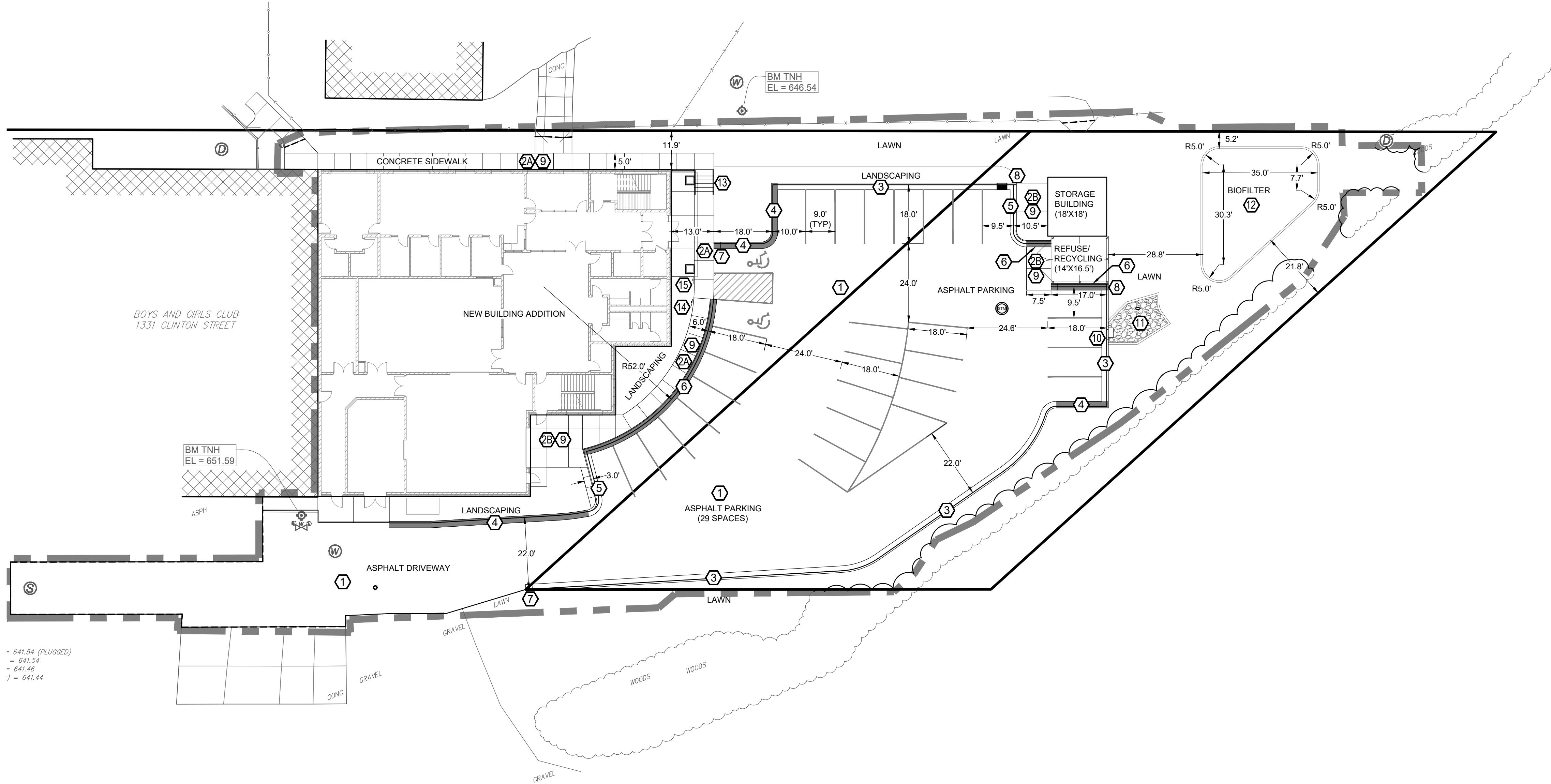
Scale: 1" = 20'

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VANTAGE
ARCHITECTS INC

750 N. Third Street
La Crosse, WI
Phone (608) 784-2729 Fax (608) 784-2819





SITE NOTES

- The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the owner or its representatives. The contractor shall be responsible for determining the exact location of all existing utilities, whether shown on these plans or not, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and preserve any and all utilities. CALL DIGGERS HOTLINE (800) 242-8511
- The underground locations of the Public Utilities were marked by representatives of those companies. The locations of the privately owned underground utilities were not marked.
- There may be more underground utility installations within the project area that are not shown.
- It shall be the contractors responsibility to arrange for any necessary inspections by local government that may be required.
- Any and all parties utilizing vertical datum shall always check into at least two (2) benchmarks to avoid mistakes due to hydrant adjustments or transpositional errors. failure to do so will be considered tantamount to gross negligence and subject the offending party to any damages resulting therefrom.
- There may be discrepancies between the building exterior as located on the survey and what was provided by the architect. Verify dimensions prior to construction.

SITE NOTES

- 1 SEE DETAIL (A) FOR ASPHALT PAVEMENT
- 2A SEE DETAIL (B) FOR CONCRETE PAVEMENT - TYPE 1
- 2B SEE DETAIL (B) FOR CONCRETE PAVEMENT - TYPE 2
- 3 SEE DETAIL (C) FOR TYPICAL 24" CURB AND GUTTER SECTION
- 4 SEE DETAIL (D) FOR 24" CURB AND GUTTER SECTION - REVERSE SLOPE
- 5 SEE DETAIL (E) FOR TYPICAL 24" MOUNTABLE CURB & GUTTER
- 6 SEE DETAIL (E) FOR TYPICAL 24" MOUNTABLE CURB & GUTTER - REVERSE SLOPE
- 7 SEE DETAIL (G) FOR END SECTION CURB AND GUTTER
- 8 SEE DETAIL (H) FOR END SECTION CORNER MOUNTABLE CURB
- 9 SEE DETAIL (I) FOR CONCRETE PAVING AND JOINTING
- 10 SEE DETAIL (J) FOR CURB CUT
- 11 SEE DETAIL (K) FOR SPLASH PAD SECTION
- 12 SEE DETAIL (L) FOR BIOFILTER
- 13 SEE DETAIL (M) FOR REINFORCED CONCRETE STEP
- 14 SEE DETAIL (N) FOR DISABLED PARKING SIGN - TYPE 1
- 15 SEE DETAIL (N) FOR DISABLED PARKING SIGN - TYPE 2

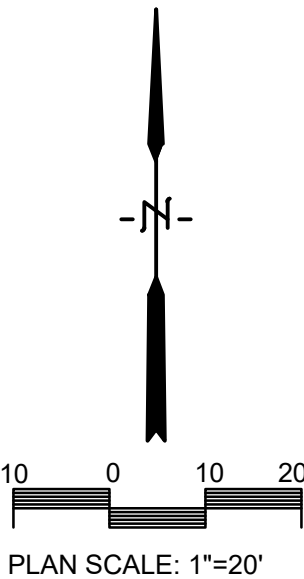
COMMERCIAL DESIGN REVIEW

REQUIRED PARKING:
EXISTING AND PROPOSED PARKING: 58 SPACES (4 ADA SPACES) (+ 5 ADDITIONAL ON SCHOOL DISTRICT PROPERTY OF SHARED CIRCLE DRIVE)

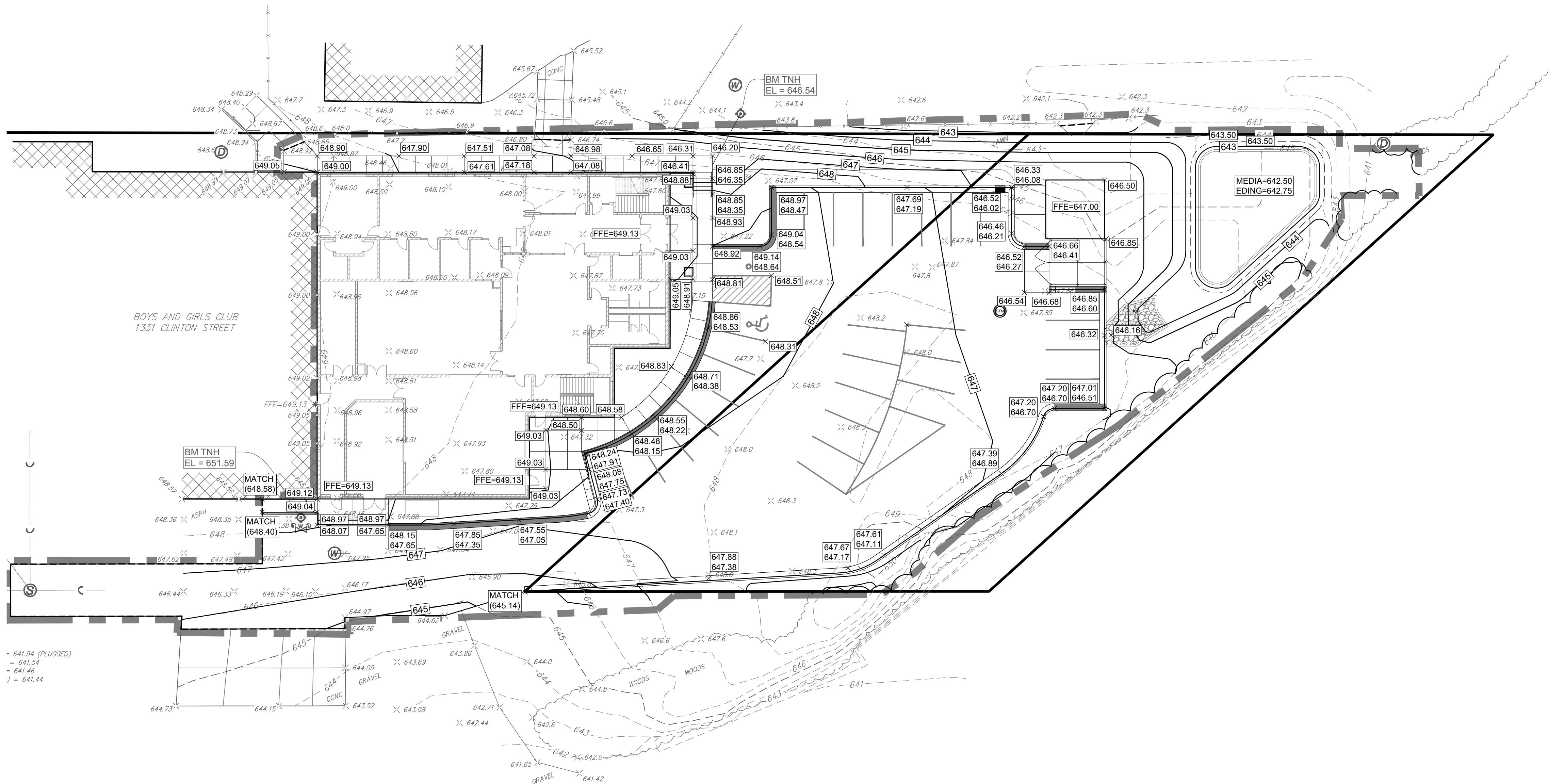
STREET FRONTAGE: 312 L.F. = 8 REQUIRED TREES
EXISTING AND PROPOSED TREES: 25

PLANTING ISLANDS: 1,022 SF REQUIRED
EXISTING AND PROPOSED ISLANDS: 1,115+ SF

GREENSPACE: (112,385 SF BETWEEN TWO LOTS) = 11,239 SF REQUIRED
EXISTING AND PROPOSED GREENSPACE: 17,621+ SF



REVISIONS	NO.	DATE



GRADING NOTES

- CONTOURS SHOWN ARE FOR FINISHED SURFACES, ANY ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS THAT ARE UNPAVED ARE TO BE LANDSCAPED OR HAVE LAWN ESTABLISHED AS INDICATED ON THE LANDSCAPE PLAN.
- ALL LANDSCAPED OR LAWN AREAS SHALL HAVE A MINIMUM OF 6" OF TOPSOIL (EXCLUDING GRASS PAVING AREA).
- SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. HOWEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF SPOT ELEVATIONS DO NOT APPEAR TO AGREE WITH THE CONTOURS AND SLOPES LABELED. SPOT ELEVATIONS AND SPECIFIC PROFILE INFORMATION SHALL BE USED FOR ESTABLISHING THE ELEVATION OF CURBS, DRIVEWAYS, AND OTHER UTILITIES.
- ALL FINISHED GRADING SHALL PROVIDE FOR A SMOOTH TRANSITION TO UNGRADED AREAS.
- ALL PVC STORM SEWER PIPING SHALL BE MINIMUM SDR 35

PROJECT TITLE:
Boys & Girls Clubs of Greater La Crosse
Life & Workforce Readiness Center Addition

PROJECT LOCATION:
1331 Clinton Street
La Crosse, WI 54603

PROJECT NO:
24153

DRAWING DATE:
09/25/2024

DRAWN BY:
C.G.

SET TYPE:
Design Concept

REVISIONS	NO.	DATE

SHEET TITLE
Grading Plan

SHEET NO.

C200

Scale: 1" = 20'
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STORM WATER CONSTRUCTION
POLLUTION PREVENTION NOTES

SITE CLEARING SHALL APPLY TO ALL AREAS INSIDE LIMITS AS SHOWN ON THE PLANS. REMOVE ALL TREES COMPLETELY AS DIRECTED BY THE OWNER. ANY STRIPPED TOPSOIL SHALL BE STOCKPILED INSIDE THE LIMITS OR PLACED IMMEDIATELY ON SLOPES BEING RESTORED.

SEDIMENT CONTROL STRUCTURES BELOW SEEDER AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION.

ALL DISTURBED AREAS SCHEDULED FOR PERMANENT COVER SHALL HAVE TOPSOIL APPLIED, AND BE SEEDER AND MULCHER AS SPECIFIED WITHIN 7 DAYS OF FINAL DISTURBANCE.

MAINTENANCE OF ALL INSTALLED EROSION AND SEDIMENT CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND REMOVED WHEN NO LONGER NECESSARY.

MINIMUM MAINTENANCE SHALL CONSIST OF, BUT NOT LIMITED TO:

- INSPECTING ALL EROSION AND SEDIMENT CONTROL DEVICES AFTER EACH RAINFALL.
- FINISHED AREAS THAT HAVE BEEN DAMAGED OR ERODED SHALL BE RESTORED WITHIN THREE DAYS OF THE DAMAGE.
- UNFINISHED AREAS THAT HAVE BEEN DAMAGED OR ERODED SHALL HAVE THE PREVIOUS MEASURE REAPPLIED WITHIN SEVEN DAYS.
- VEHICLE TRACKING CONTROL APRON SHALL BE REMOVED AND REPLACED WHEN VOIDS BECOME FILLED WITH SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT THE APRON DOES NOT FUNCTION.
- SILT FENCES SHALL BE MAINTAINED IN A FUNCTIONING MANNER. FENCES SHALL NOT BE ALLOWED TO SAG, FALL DOWN, OR BECOME FILLED WITH SILT ON THE BACK SIDE. IF SILT BUILDS UP BEHIND A SILT FENCE, IT SHALL BE REMOVED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL SILT DEPOSITS BE ALLOWED TO REACH MORE THAN 1/3 THE HEIGHT OF THE FENCE.

SILT FENCE SHALL BE PLACED DOWN SLOPE OF ALL SOIL STOCK PILES DURING CONSTRUCTION IF LEFT MORE THAN SEVEN DAYS. STOCK PILES SHALL BE SEEDER AND MULCHER IF LEFT FOR MORE THAN 14 DAYS.

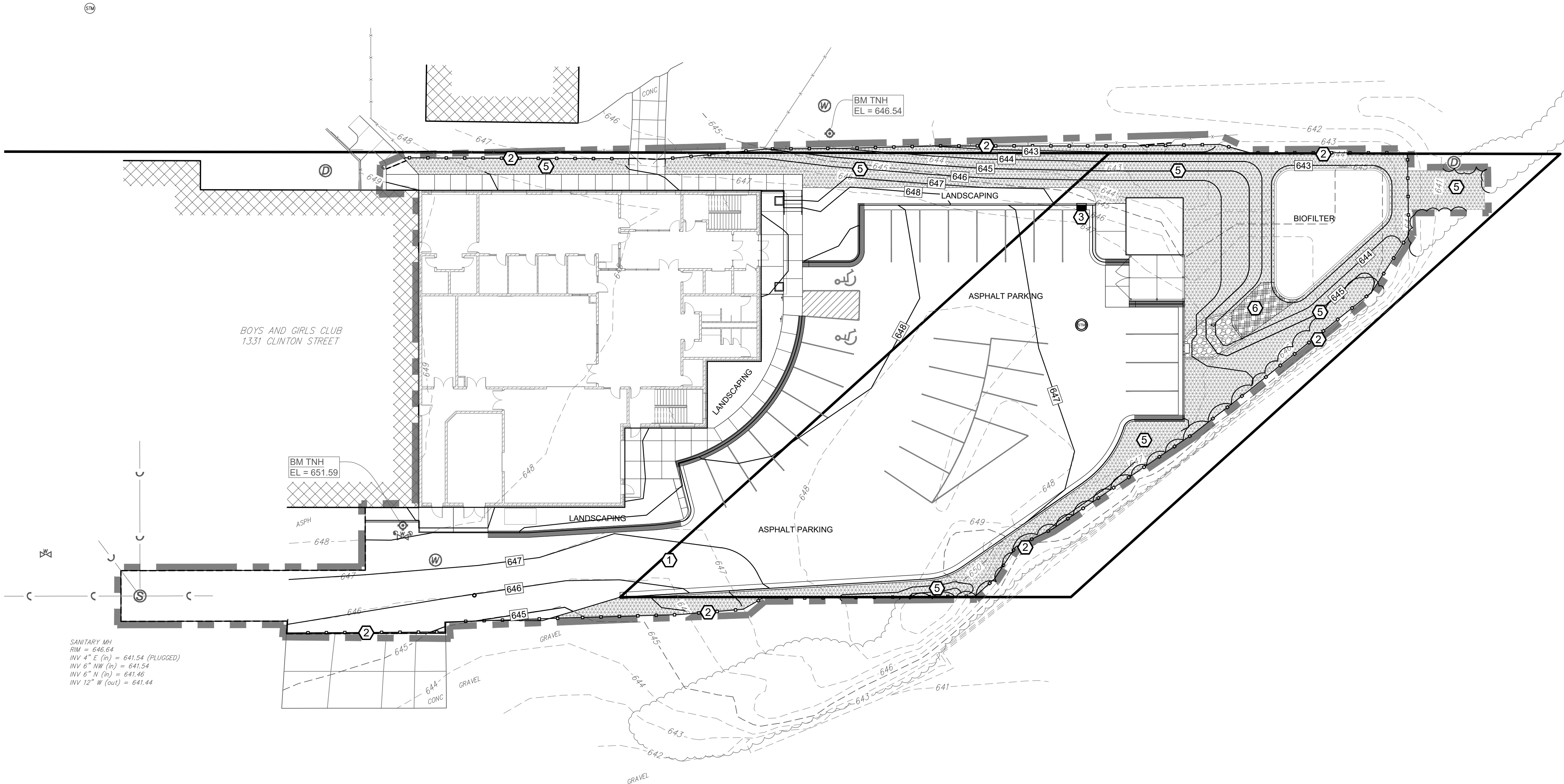
ADDITIONAL EROSION CONTROL FACILITIES MAY BE REQUIRED DUE TO UNFORESEEN SITE CIRCUMSTANCES OR SITE OPERATIONS.

SEDIMENT CONTROL STRUCTURES BELOW LAWN AREAS MAY BE REMOVED ONCE LAWN AND FINAL LANDSCAPING IS IN PLACE. SEDIMENT CONTROL STRUCTURES BELOW SEEDER AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. SEDIMENT CONTROL STRUCTURES IN PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE.

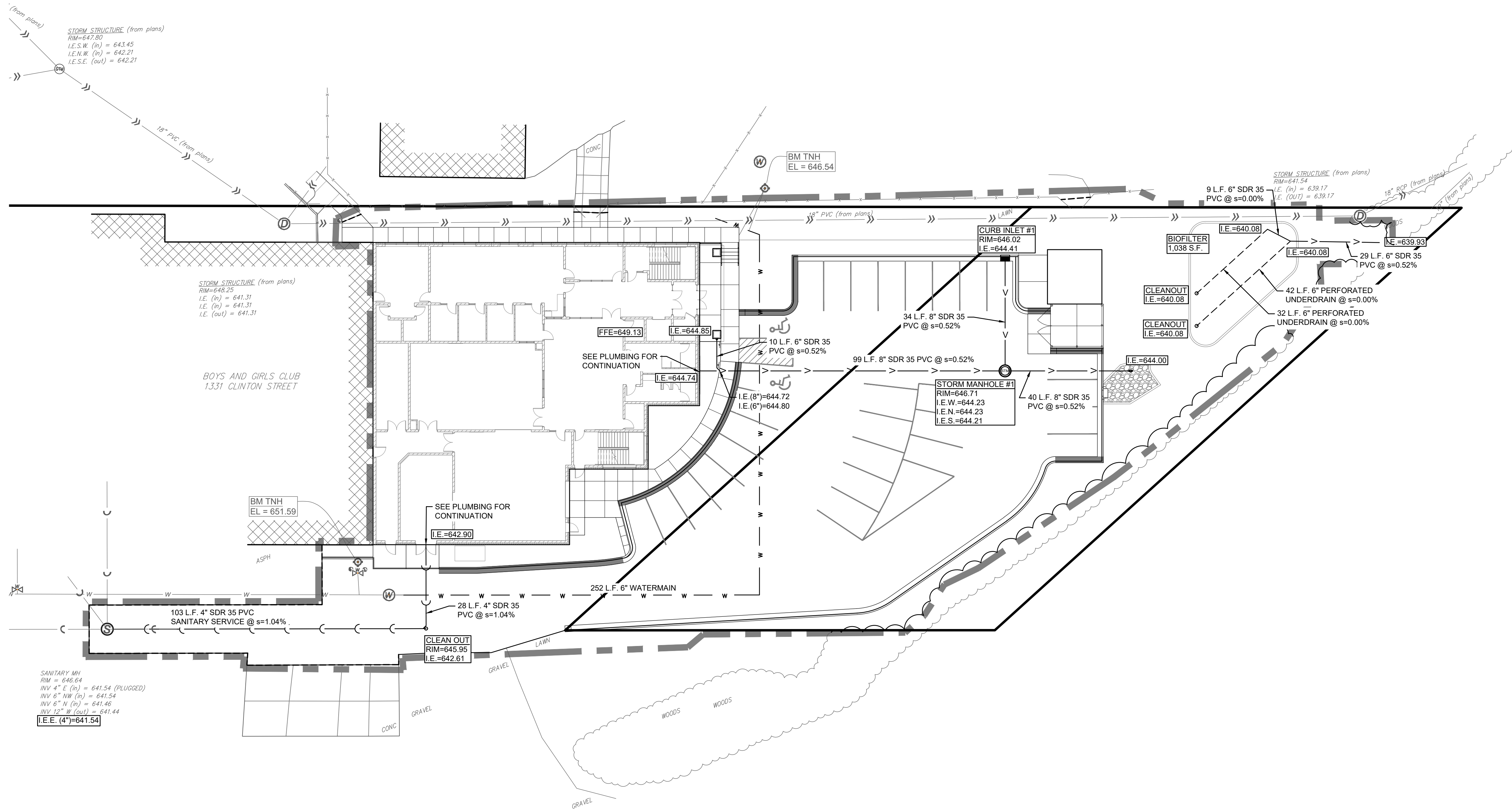
SEDIMENT DEPOSITED IN ROADS OR RIGHT OF WAY DITCHES ADJACENT TO THIS SITE AS A RESULT OF THIS WORK SHALL BE REMOVED. VEGETATION SHALL BE ESTABLISHED WHEN SEDIMENT REMOVAL DESTROYS THE EXISTING VEGETATION. THE ESTABLISHMENT OF VEGETATION SHALL BE IN THE SAME MANNER AS SPECIFIED FOR SEEDING SPECIFIED ELSEWHERE ON THIS PLAN.

NOTES

- 1 PROVIDE VEHICLE TRACKING CONTROL APRON AT LOCATION WHERE ENTERING AND EXITING THE SITE. SEE DETAIL (A) (CONV).
- 2 SEE DETAIL (B) (CONV) FOR SILT FENCE INSTALLATION
- 3 SEE DETAIL (C) (CONV) FOR INLET PROTECTION (WITH CURB BOX)
- 4 SEE DETAIL (E) (CONV) FOR INLET PROTECTION (WITHOUT CURB BOX)
- 5 EROSION CONTROL MATTING (XXXX) SHALL BE CURLEX BY AMERICAN EXCELSIOR OR APPROVED EQUAL. INSTALL TO MANUFACTURER'S RECOMMENDATION.
- 6 EROSION CONTROL MATTING (XXXX) SHALL BE CURLEX HV BY AMERICAN EXCELSIOR OR APPROVED EQUAL. INSTALL TO MANUFACTURER'S RECOMMENDATION.
- 7 ALL DISTURBED AREAS NOT PROTECTED WITH EROSION CONTROL MATTING SHALL HAVE SOD INSTALLED. (---)
- 8 PROVIDE CONCRETE WASHOUT AREA PER DETAIL (D) (CONV). UNDER NO CIRCUMSTANCES SHALL CONCRETE WASHOUT BE ALLOWED IN ANY OTHER LOCATION ON THE SITE.



REVISIONS	NO.	DATE



UTILITY NOTES:

ALL WATER & SEWER (STORM & SANITARY) CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR SEWER & WATER IN THE STATE OF WISCONSIN," ALONG WITH THE CITY OF ONALASKA STANDARD SPECIFICATIONS, AS APPROPRIATE.

SANITARY LATERALS SHALL HAVE A MINIMUM DEPTH 6' BELOW FINISHED FLOOR ELEVATIONS. WATER LATERAL TO HAVE MINIMUM 7.5' COVER. THE CONTRACTOR IS TO COORDINATE ACTIVITIES & CONFIRM LOCATION & ELEVATION OF SERVICES WITH THE ENGINEER.

SUITABLE ON-SITE GRANULAR MATERIAL SHALL BE USED FOR TRENCH BACKFILL TO PROPOSED ELEVATIONS. BACKFILL SHALL BE COMPACTED AS SPECIFIED.

ALL EXISTING INVERTS & LOCATIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ALL DISCREPANCIES FROM INFORMATION SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

CONTRACTOR SHALL IDENTIFY & MARK THE EXACT LOCATIONS OF ALL UNDERGROUND CONNECTIONS TO WATER AND SEWER MAINS, BENDS, CURB BOXES, CLEAN OUTS, ETC. ON THE AS-BUILT PLANS. COPIES OF THESE DOCUMENTS SHALL BE DELIVERED TO THE ENGINEER FOR RECORD.

LOCATION REQUIREMENT: NON-METALLIC SEWER/MAINS AND SERVICES MUST BE PROVIDED WITH TRACE WIRE OR OTHER METHODS IN ORDER TO BE LOCATED.

SHOP DRAWINGS FOR UTILITIES ARE REQUIRED.

ALL SANITARY SERVICES ARE 4" IN DIAMETER.

UTILITY NOTES

- 1) SEE DETAIL (F-2007) FOR DOWNSPOUT
- 2) SEE DETAIL (S-2007) FOR MANHOLE FOR STORM SEWER 48"
- 3) SEE DETAIL (H-2007) FOR STORM SEWER INLET 3' X 2'
- 4) SEE DETAIL (I-2007) FOR EXTERIOR CLEAN OUT
- 5) SEE DETAIL (J-2007) FOR WATER MAIN WET TAP

PROJECT NO:
24153

DRAWING DATE:
09/25/2024

DRAWN BY:
C.G.

SET TYPE:
Design Concept

REVISIONS
NO. DATE

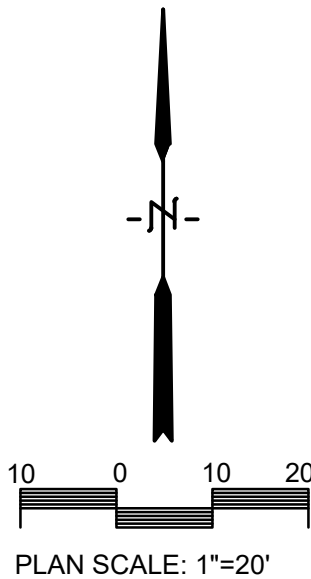
SHEET TITLE
Utility Plan

SHEET NO.

C400

Scale: 1" = 20'

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PLAN NOTES:

1. VERIFY UTILITY LOCATION BEFORE BEGINNING ANY WORK.
2. PLANTING BEDS SHALL HAVE 6" TOPSOIL AND 4" OF SHREDDED HARDWOOD BARK MULCH. ALL SHADE TREES IN LAWN AREAS SHALL BE MULCHED WITH 4" SHREDDED HARDWOOD BARK MULCH RING. PROVIDE STEEL EDGING AROUND ALL LANDSCAPE BEDS AS PER PLANS. PROVIDE BELGIAN WALL AND WEDGE BLOCKS AROUND ALL BIOFILTERS AND SPLASH PADS PER PLANS.
3. NEW AND DISTURBED LAWN AREAS SHALL BE RESTORED WITH SEED AND MULCH OR SOD. REFER TO EROSION CONTROL PLAN.
4. MODIFICATIONS TO PLANT SPACING MAY BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY PROPOSED CHANGES TO PLANT MATERIALS OR DESIGN.
5. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK.
6. THE LANDSCAPE ARCHITECT'S ESTIMATED QUANTITIES ARE SHOWN IN THE MATERIAL LIST-SCHEDULE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON THE PLAN AND SHALL RELY ON THE SCHEDULED QUANTITIES AT THEIR OWN RISK. THE CONTRACTOR SHALL INCLUDE IN THE BID ALL PLANTINGS SHOWN ON THE DRAWINGS, WHETHER INCLUDED IN THE SCHEDULE OR NOT

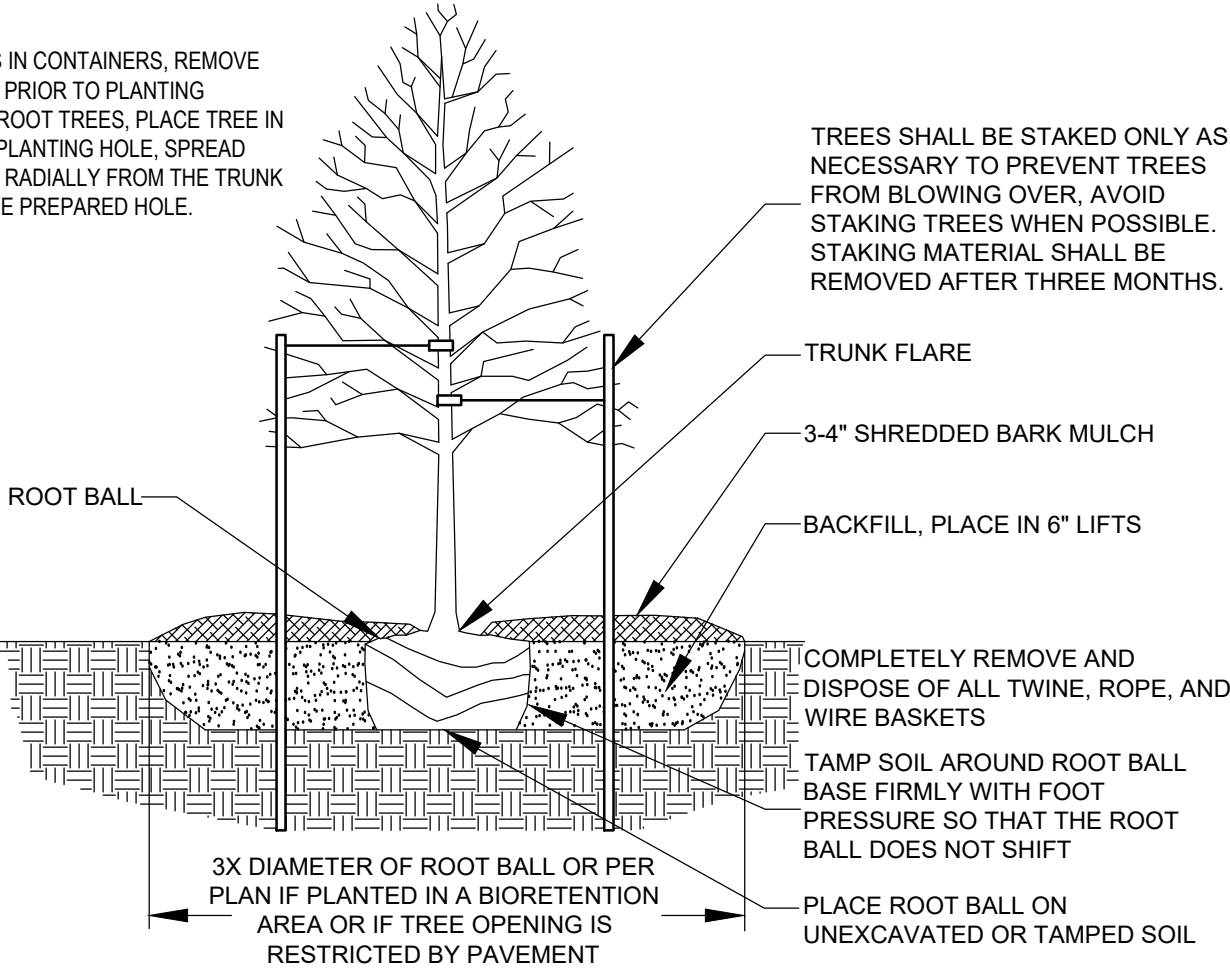
PLANT MATERIAL LIST-SCHEDULE (BIOFILTER)

KEY	BOTANICAL NAME COMMON NAME	SIZE	QUANTITY
Ep	Echinacea purpurea Purple Coneflower	4" pot	30
Mf	Monarda fistulosa Bergamot	4" pot	27
Pv	Panicum virgatum Switchgrass	4" pot	28
Rf	Rudbeckia fulgida 'Blow' Viete's Little Suzy Black-eyed Susan	4" pot	31
Tb	Tradescantia bracteata Prairie Spiderwort	4" pot	27

PLANT MATERIAL LIST-SCHEDULE

KEY	BOTANICAL NAME COMMON NAME	SIZE	QUANTITY
Ag	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Serviceberry	#5 container multi-stem	1
Am	Alchemilla mollis Lady's Mantle	1 gal	15
Ge	Geranium 'Rozanne' Rozanne Hardy Geranium	1 gal	7
Gt	Gleditsia triacanthos var. inermis 'Harve' Northern Acclaim Honeylocust	2 1/2" cal	1
Ha	Hydrangea arborescens 'Grandiflora' Grandiflora Smooth Hydrangea	3 gal	4
He	Hemerocallis 'Happy Returns' Happy Returns Daylily	1 gal	14
Js	Juniperus sabina 'Broadmoor' Broadmoor Juniper	5 gal	16
Qb	Quercus bicolor Swamp White Oak	2 1/2" cal	1
Ra	Ribes alpinum 'Green Mound' Green Mound Alpine Currant	3 gal	10
Sb	Spiraea betulifolia 'Tor' Tor Birchleaf Spirea	3 gal	20
Sm	Syringa meyeri 'Palibin' Dwarf Korean Lilac	5 gal	8
Sr	Syringa reticulata 'Ivory Silk' Ivory Silk Japanese Tree Lilac	1 1/2" cal	1

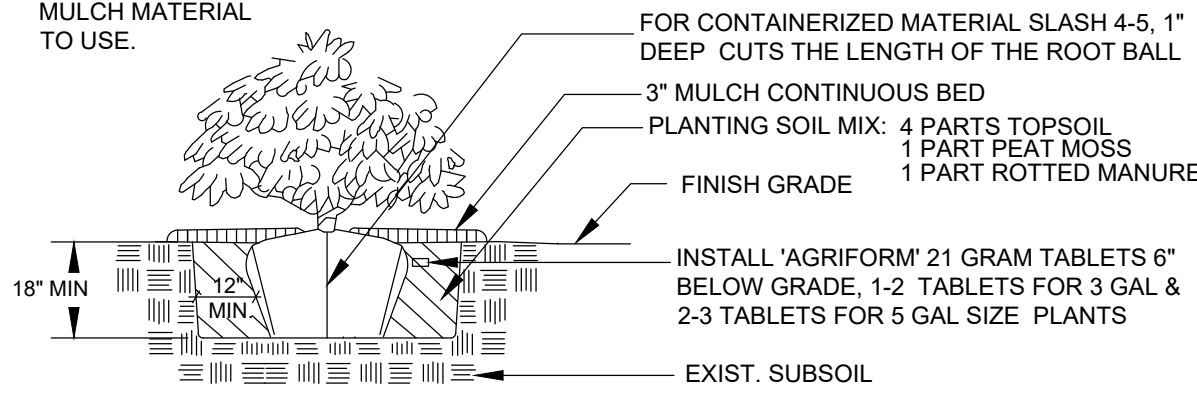
NOTES:
-FOR TREES IN CONTAINERS, REMOVE CONTAINER PRIOR TO PLANTING
-FOR BARE ROOT TREES, PLACE TREE IN MIDDLE OF PLANTING HOLE, SPREAD ROOTS OUT RADIALLY FROM THE TRUNK AROUND THE PREPARED HOLE.



A TREE PLANTING DETAIL - ALL TREES

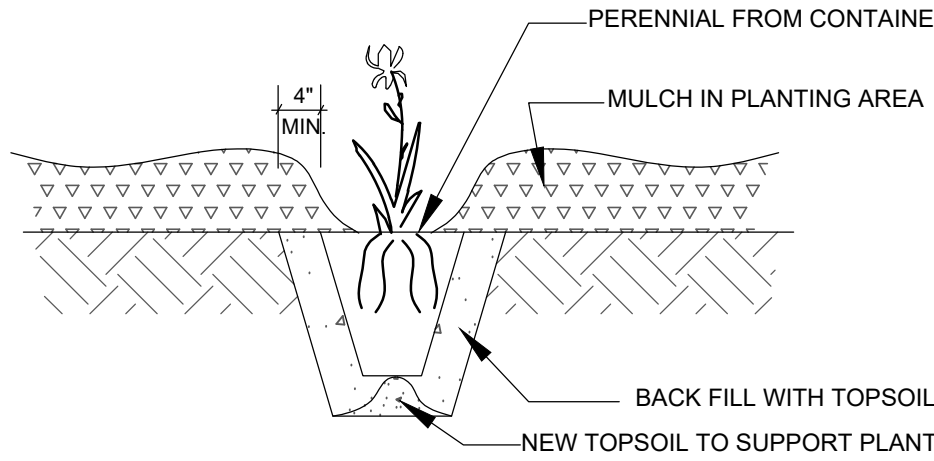
L100 NO SCALE

NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.



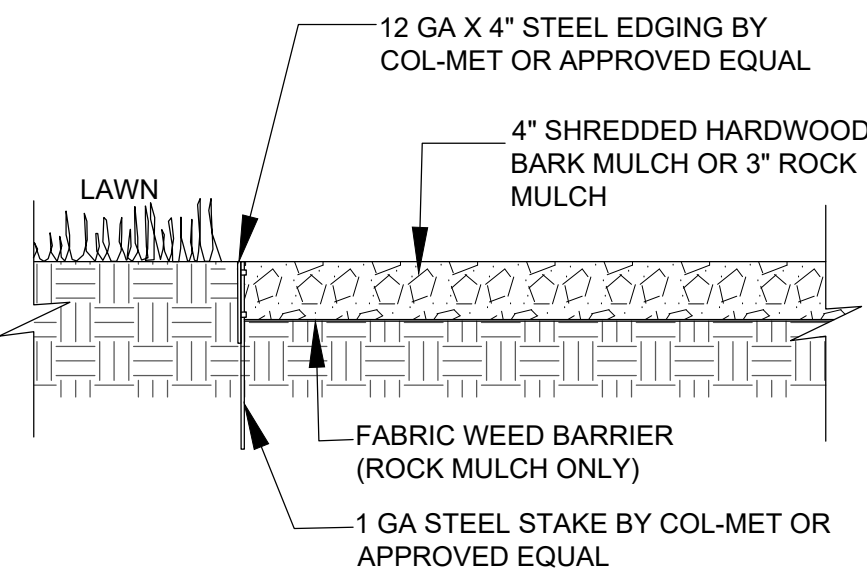
B SHRUB PLANTING DETAIL

L100 NO SCALE



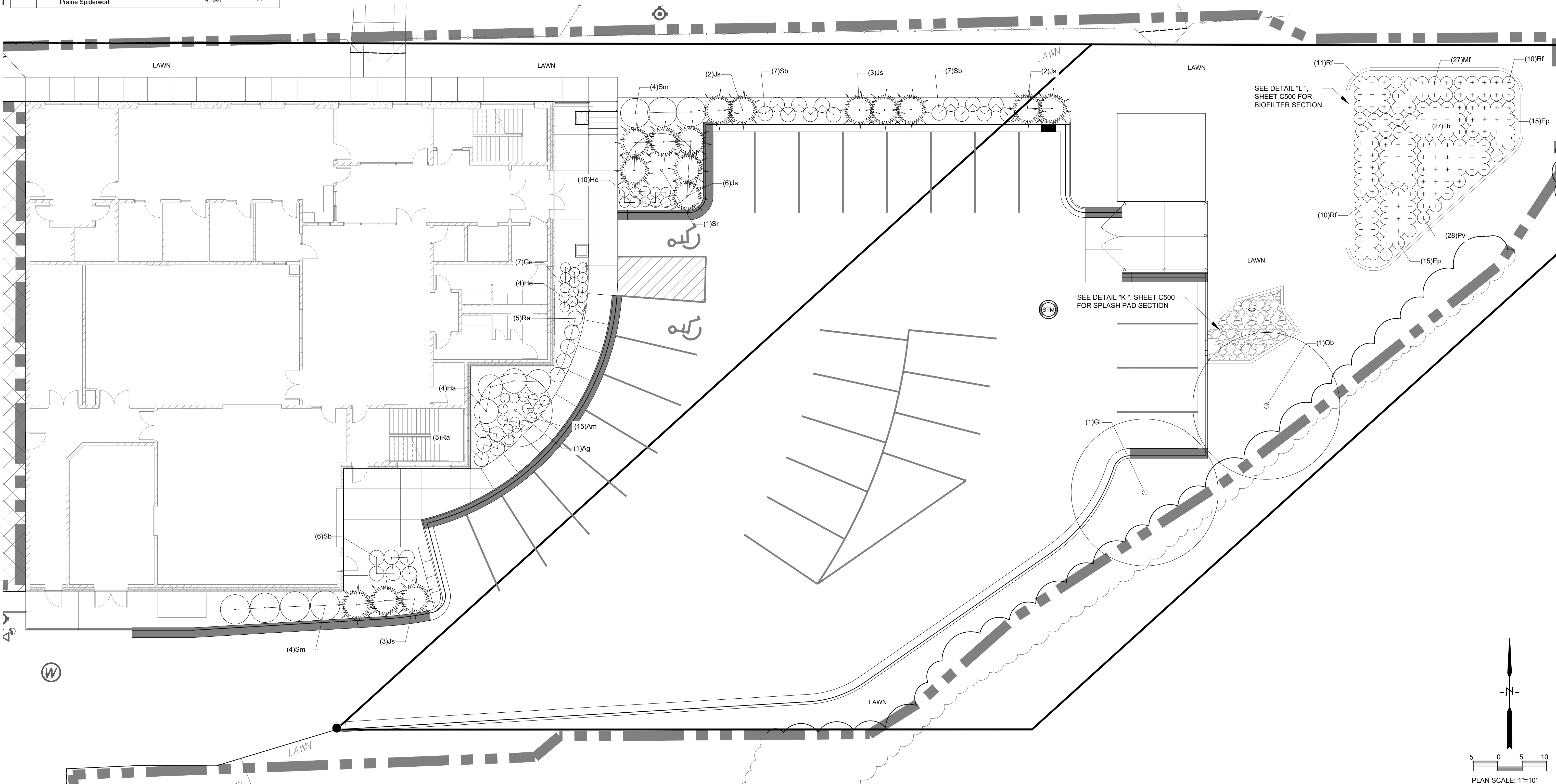
C POTTED PLANTS PLANTING DETAIL

L100 NO SCALE



D LANDSCAPE EDGING DETAIL

L100 NO SCALE





City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 24-1317

Agenda Date: 10/4/2024

Version: 1

Status: Agenda Ready

In Control: Commercial/Multi-Family Design Review Committee

File Type: Review of Plans

Agenda Number: 2.

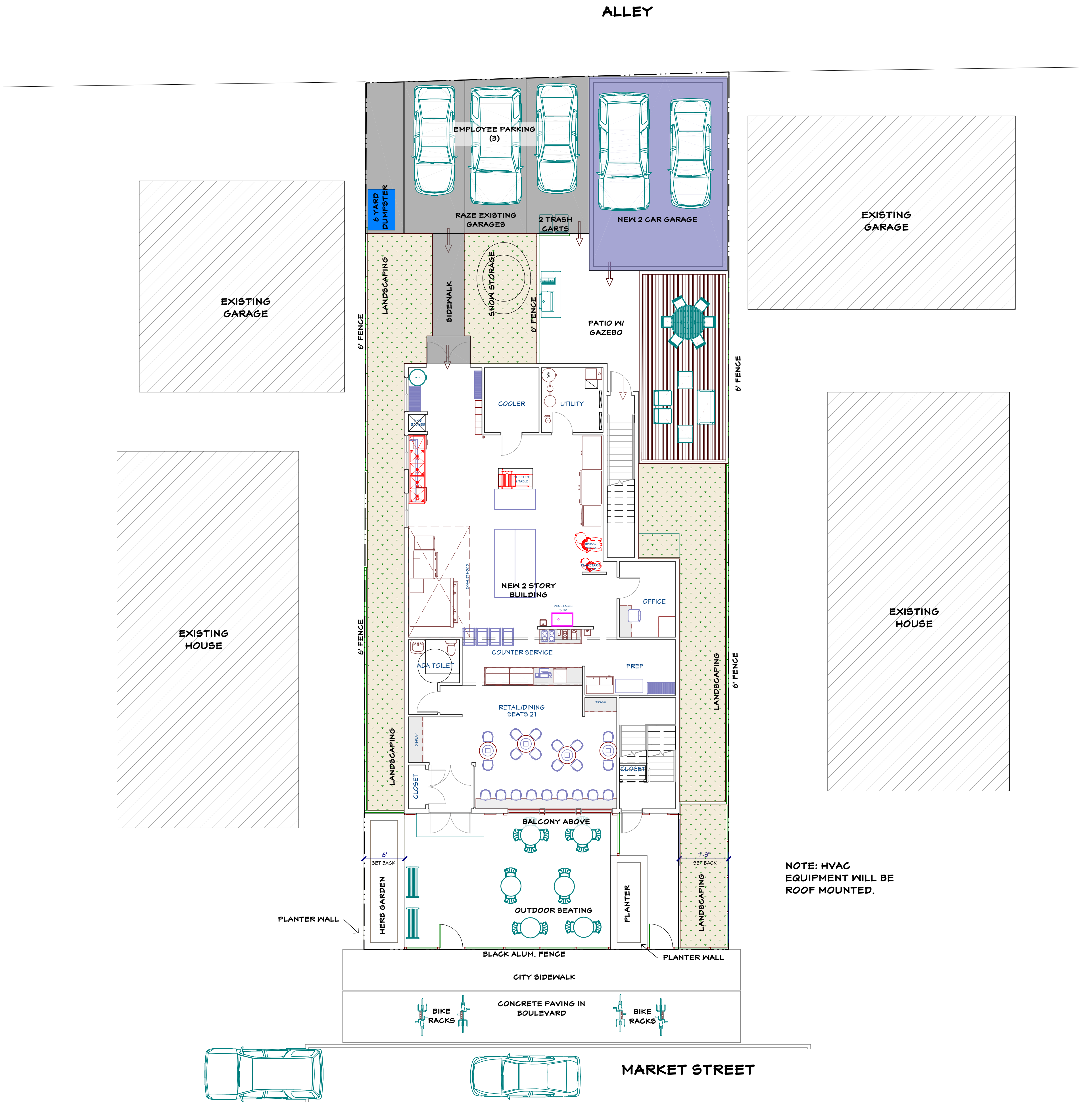
NEW BAKERY/SANDWICH SHOP & RESIDENCE
for JOSEPH & TRACY ENDRIZZI
1513 MARKET STREET
LA CROSSE, WISCONSIN 54601



3D VIEWS FROM MARKET STREET

NO SCALE

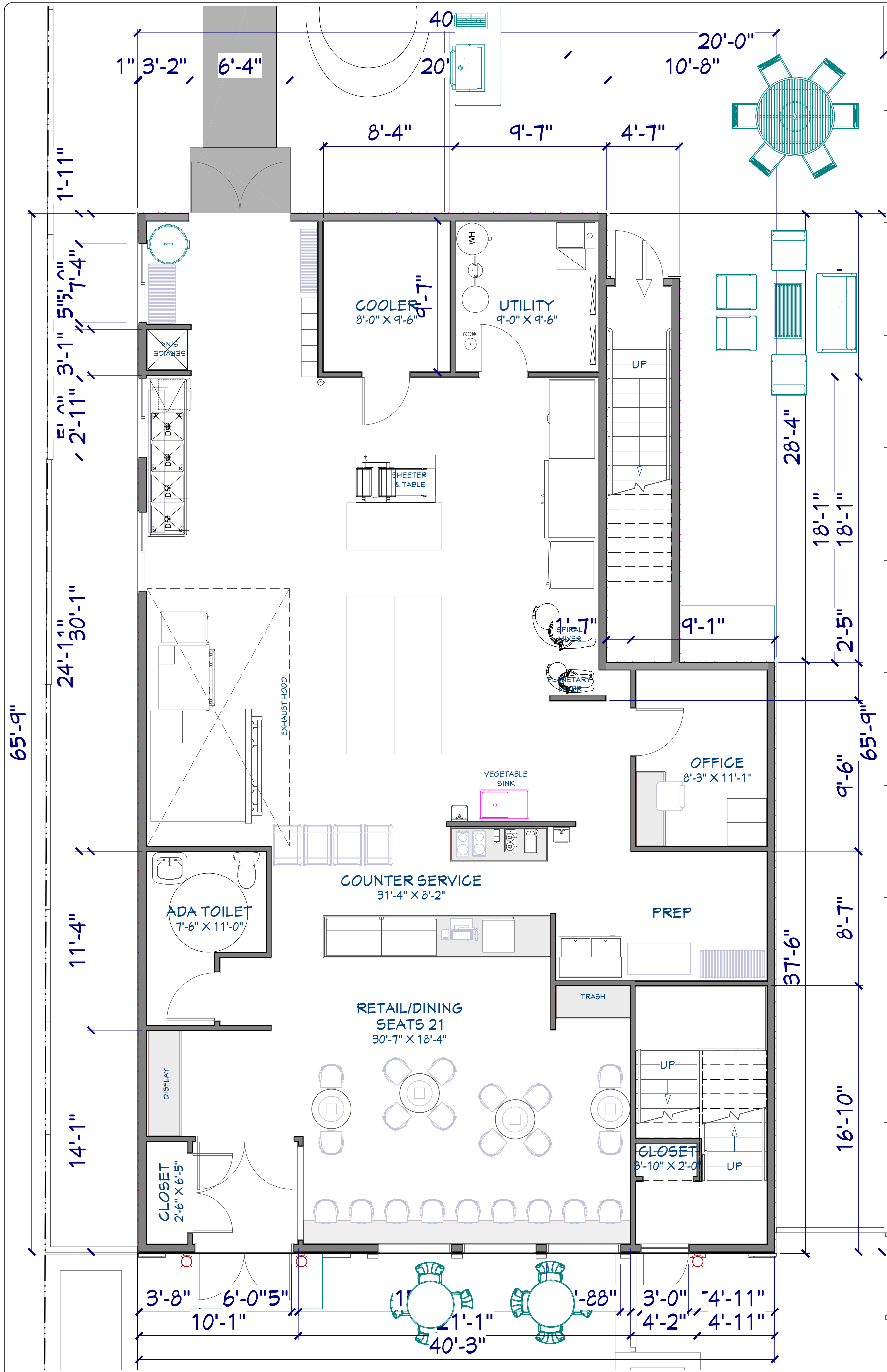
PRELIMINARY DESIGN REVIEW



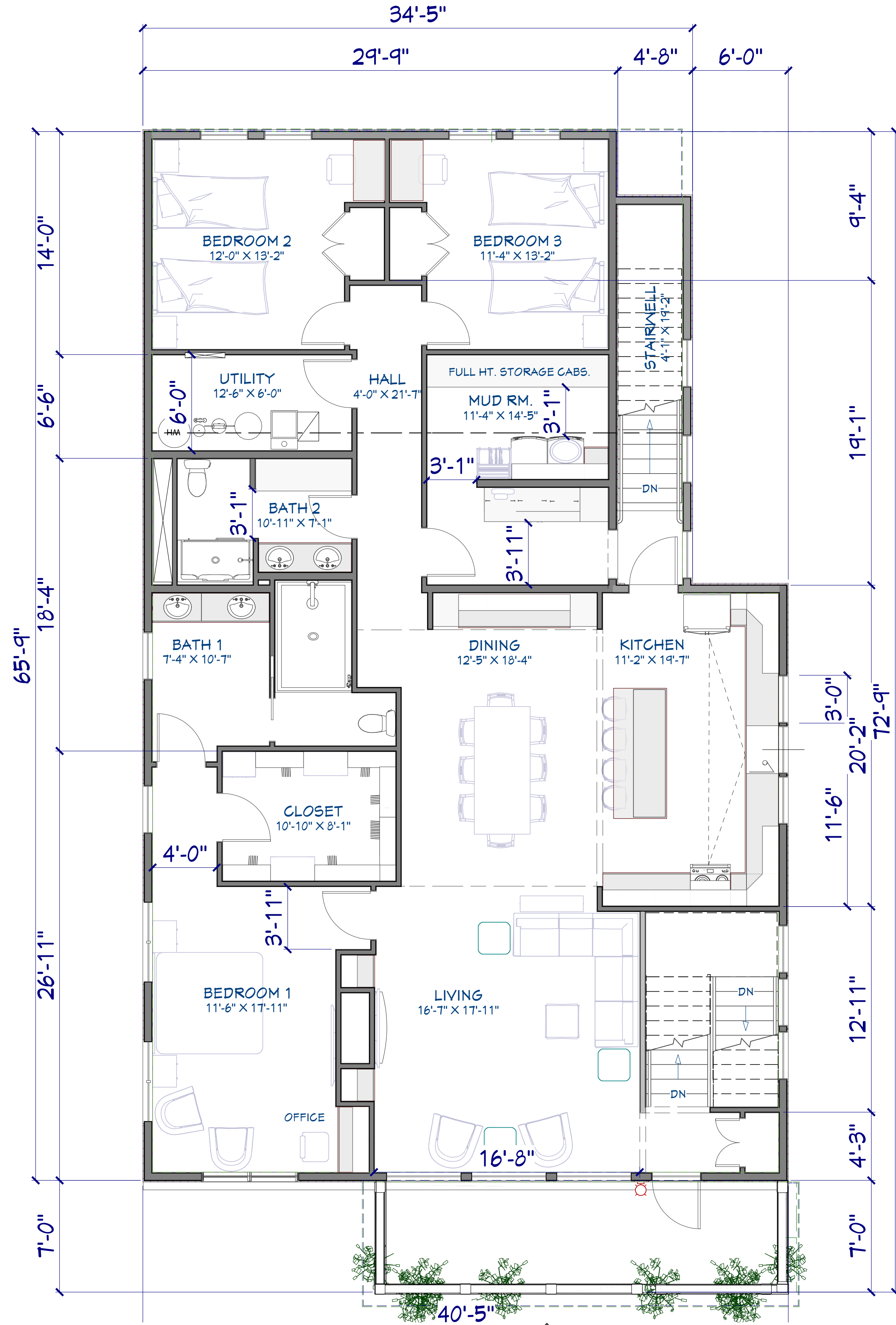
1 ARCHITECTURAL SITE PLAN
A2 1/8" = 1'-0"



PRELIMINARY DESIGN REVIEW



1 FIRST FLOOR PLAN - BAKERY
A3 1/4" = 1'-0"



2 SECOND FLOOR PLAN - RESIDENCE
A3 1/4" = 1'-0"

PRELIMINARY DESIGN REVIEW

DesignFocus LLC
Onalaska, Wisconsin 54601
Ernie Tourville Architect 608-400-1826

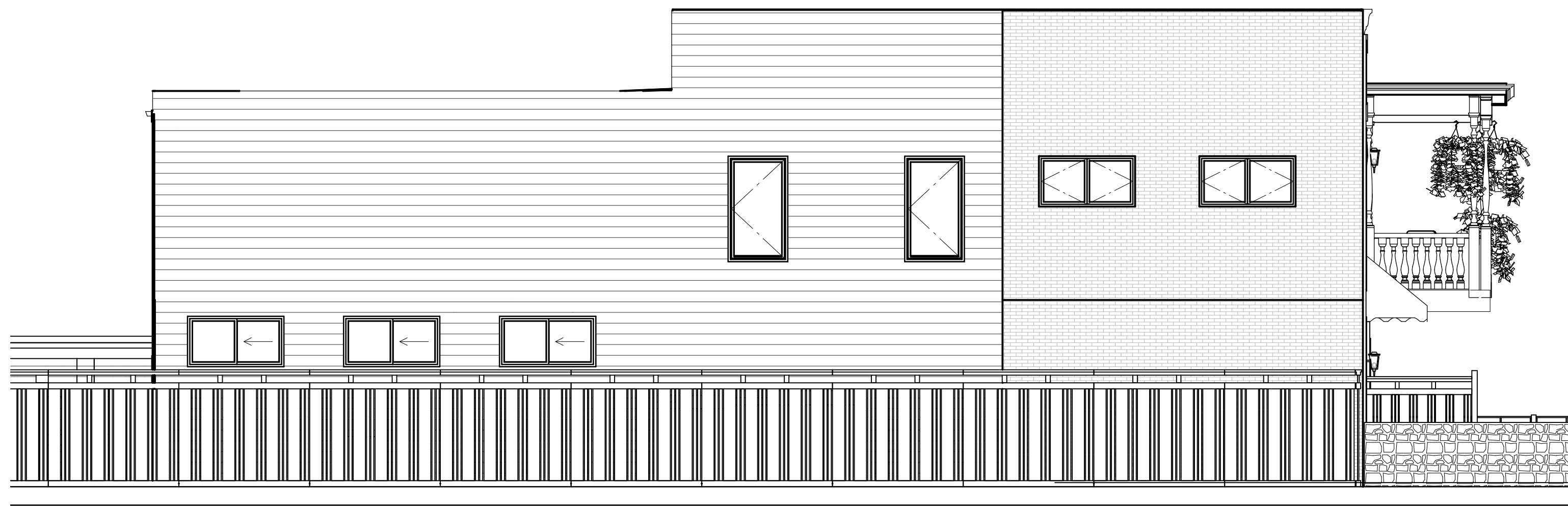
RESIDENCE

NEW BAKERY/SANDWICH SHOP & RESIDENCE
for JOSEPH & TRACY ENDRIZZI
1513 MARKET STREET
LA CROSSE, WISCONSIN 54601

SCALE @ 24" X 36"
DATE: 09/27/2024
SHEET

A3

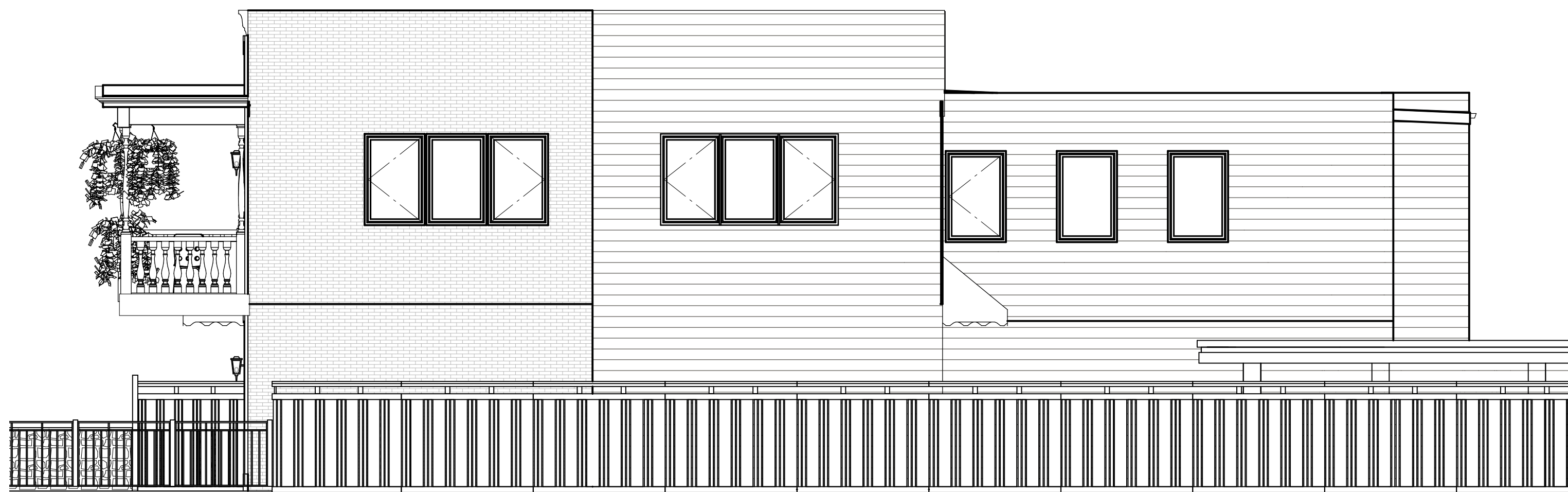
© 2023 28



2 WEST ELEVATION
A4 3/16" = 1'-0"



1 SOUTH ELEVATION
A4 3/16" = 1'-0"



3 EAST ELEVATION
A4 3/16" = 1'-0"



4 NORTH ELEVATION
A4 3/16" = 1'-0"