



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Meeting Agenda

Commercial/Multi-Family Design Review Committee

Friday, June 27, 2025

9:00 AM

Virtual via Zoom

The meeting is conducted through video conferencing.

Members of the public will be able to attend the meeting via video conferencing with the link below.

Join Zoom Meeting

Click this link (or typing the URL in your web browser address bar):

<https://cityoflacrosse-org.zoom.us/j/82799188943?pwd=pAMS3MbJusyBqR9mjCiK3jH6cAP0rk.1>

Meeting ID: 827 9918 8943

Passcode: 212646

Dial by your location

1 312 626 6799

If you wish to speak please provide written comments by emailing acklint@cityoflacrosse.org, using a drop box outside of City Hall or mailing the Department of Planning, Development, and Assessment at 400 La Crosse St, WI 54601

Call to Order

Agenda Items:

1. [25-0730](#) Review of plans for the commercial development located at 406 Jackson Street. (St Clare Health Mission)
Attachments: [Application 6-27-25](#)
[Checklist 6-27-25](#)
[Floor Plan 6-27-25](#)
[Site Plan 6-27-25](#)
[Landscape Plan 6-27-25](#)
[Stormwater Management Memo 6-27-25](#)
[Building Elevations & Materials 6-27-25](#)
[Site Context Photos 6-27-25](#)
[LEED Checklist 6-27-25](#)
[Light Fixture Report 6-27-25](#)
2. [25-0731](#) Review of plans for the Commercial Addition located at 1017-1019 10th Street S. (Tailgators)
Attachments: [Project Plans 6-27-25](#)

Adjournment

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.



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400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0730

Agenda Date:

Version: 1

Status: Agenda Ready

In Control: Commercial/Multi-Family Design Review Committee

File Type: Review of Plans

Agenda Number: 1.



COMMERCIAL DEVELOPMENT DESIGN STANDARDS APPLICATION

Planning Department • Phone 608.789.7512 • Fax 608 789.7318

<http://www.cityoflacrosse.org>

Planning@cityoflacrosse.org

Permit No.:

Date:

Parcel No.:

STATUS:

OWNER

Name: Jason Larsen

Address: 916 Ferry St

City: La Crosse, WI

Phone: 608.519.4633

Cell:

Fax:

E-mail: jasonlarsen@stclarehealthmission.org

ARCHITECT
CONTRACTOR

Name: Adam Voth, AIA

Address: 201 Main St Suite #1020

City: La Crosse

Phone: (608) 789-2034

Cell:

Fax:

E-mail: Adam.Voth@ISGInc.com

PROJECT

Check One: ☐ Building ☒ Addition ☒ Alteration/Remodel

Description of Work:

Renovation and addition of a former chiropractor clinic 406 Jackson Street in order to accommodate the new use of primary care facilities for St Clare Health Mission. The proposed project involves interior renovation a building addition to retrofit the space for primary care services. Space programming will include: New exam rooms, offices, and clinical support areas; A pharmacy for basic over-the-counter medications; A laboratory for essential basic diagnostic tests such as urinalysis.

Pre-application Meeting Date: 5/01/2025

Applying for Exception: ☒ No ☐ Yes (Include \$300 Check for Public Notification)

PROPERTY

Project Address: 406 Jackson Street

Zoning District: TND

Parcel Number: 17-30091-70

Address: 406 Jackson Street

Address same as property owner's address: ☐

City: La Crosse

State: WI

Zip Code: 54601

OFFICIAL
USE ONLY

Date Received:

Review Date:

Exception Check:

☐ Yes

☐ No

Required Information:

☐ Site Plan

☐ Architecture Plan

☐ Landscape Plan

☐ Building Elevations & Materials

☐ Exterior Light Diagram

☐ LEED Checklist

☐ Photos

The applicant agrees that all design aspects and maintenance plans are in accordance with the requirements of Section 15.47 of the Code of Ordinances for the City of La Crosse. Application, the checklist, and seven (7) sets of required information must be submitted to the City Inspection Department prior to review and acceptance.

Adam Voth, AIA

(PRINT) Architect/Engineer Name

Signature (Architect/Engineer)

Date

Jason Larsen

(Print) Owner Name

Signature (Owner)

6/12/2025

Date

Back of Application

DESIGN REVIEW CHECKLIST

The checklist must be completed in full by the applicant prior to submission. Completed elements should be checked. Any elements that do not apply to your site or you are requesting an exception on, check the corresponding column and include notes. Items in italics are recommended actions but not required.

YES NO N/A NOTES

PARKING LOT DESIGN AND PARKING STANDARDS

C.2	No parking stall may be closer to the street than the building setback line or the building on the same parcel, whichever is farther from the street unless the applicant can demonstrate that there are no practical alternatives related specifically to the site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.3	All points of ingress and egress will be evaluated by the City Traffic Engineer to determine if ingress and egress should be allowed directly to the street or via an alley.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.4	Parking areas shall be separated from primary buildings by a landscaped buffer.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.5	Minimum setback for parking stalls and drives is five (5) feet from all property lines with the exception of the alley (in order to accommodate landscaping or drainage swales). Parking for adjacent properties may be combined into continuous paved lots, eliminating the required setback at the shared property line, provided that 100% of the lost green space is replaced elsewhere on the parcel (e.g. with a 10' setback along the opposite lot line).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.6	A parking lot for more than 12 vehicles shall incorporate at least 288 square feet of planting islands at least 8 feet in width (face of curb to face of curb). Planting islands may be either parallel to parking spaces or perpendicular to the parking spaces. As parking lot size increase, and additional planting island is required at the ratio of one planting island for every 20 automobile parking spaces. No less than 5 percent of the islands shall be interior to the parking lot.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.7	Landscaping buffers, green space, and planting islands must total a minimum of 10 percent of the lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	35% Greenspace
C.8	Buffers, setbacks, and planting islands are encouraged to be used for stormwater infiltration.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.9	All approaches, parking and vehicular circulation areas shall be paved and graded for proper stormwater management. The use of pervious pavement for stormwater infiltration is highly encouraged.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.10	For structures not needing approval by the Wisconsin Department of Commerce, parking spaces shall not be less than 8.5 feet in width and 17 feet in length. The full dimensions of this rectangle must be maintained in angled parking designs. Drive aisle widths vary depending upon the angle of parking space. The following minimum standards apply and shall be consistent with requirements of the City Engineering Department adopted standards: 45 degrees – 12'10" aisle 55 degrees – 13'7" aisle 65 degrees – 15'4" aisle 75 degrees – 17'10" aisle 90 degrees – 22' aisle	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.11	Where maximums on parking ratios exist, parking surfaces and drive aisles shall be permitted to be increased in size by no more than five percent (5%), provided at least twenty-five percent (25%) of the parking lot and pedestrian sidewalks consist of paving blocks (plastic or concrete honeycomb grid) planted with grass.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.12	Parking lots shall be located on the same lot as the principal structure (unless it can be demonstrated that shared parking will be beneficial to multiple property owners and does not result in a "gap tooth" effect on a block face).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DESIGN REVIEW CHECKLIST

	YES	NO	N/A	NOTES
C.13 Raised curbs, parking blocks or stops, decorative bollards and/or fences, trees and/or shrubs shall be utilized along the edge(s) of parking lots to prevent motor vehicles from parking on green space buffers, outdoor recreation space, bike parking areas, sidewalks and side and front yards. In the event the original protective measures are inadequate to preventing inappropriate parking, additional measures shall be taken.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.14a Parking lot snow storage area(s) shall be designated in the parking lot and/or green space buffers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.14b Snow storage areas shall not be located near parking lot entrances and impede driver vision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.14c If these green space buffer(s) are no longer capable of storing snow, the property owner shall arrange for the excess snow to be removed.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.14d To the greatest extent possible, melting snow or ice should not drain over sidewalks or across neighboring properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
C.15 Light-colored and/or reflective surface coating should be considered to reduce the "heat island" effect of traditional asphalt parking lots.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.16 Environmentally-friendly paving materials and methods are encouraged, including but not limited to using recycled asphalt tires and roofing shingles as part of the mix or base.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.17 Porous paving materials such as paving blocks with decorative gravel, or properly spaced cobbles, brick, and natural stone with grass planted in between in small clusters and methods that reduce stormwater runoff are encouraged.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C.18 The off-street parking provisions for all commercial development shall be in conformance with 15.04(G). Required off-street parking space, including access drives and aisles, shall not cover more than seventy-five percent (75%) of the lot area in which such off-street parking space is permitted.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

PEDESTRIAN CIRCULATION

D.2 There shall be a paved pedestrian route from the sidewalk or street to the main building entrance, and from the parking area to the nearest building entrance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D.3 Pedestrian routes shall be paved with concrete. Bituminous material shall not be allowed for pedestrian routes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
D.4 Porous paving materials and methods that reduce stormwater runoff is encouraged.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

BUILDING MECHANICAL SERVICE ELEMENTS

E.2 The design and location of the following items shall be indicated on building and/or site plans, illustrated with spec sheets as appropriate, and submitted with the Design Standards Checklist:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2a utility meters	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2b building mechanicals	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2c trash and recycling containers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2d bicycle parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2e outdoor seating areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.2f solar and wind facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.2g dish antennas (not permitted to hang off the side of buildings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.2h transformers	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.2i back-up generators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
E.3	Service areas, utility meters, and building mechanicals shall not be located on the street side of the building, nor on the side wall closer than 10 feet to the street side of the building. The location of emergency back-up generators and transformers shall be coordinated between the City, developer and the utility company. Screening of meters, generators, transformers, and mechanicals is required when visible from the street with an approved screen device. Screening materials shall match building materials. Cable, conduit and phone line shall not be visible on the exterior with the exception of conduit running directly to the meter/utility boxes at the time of initial occupancy. Mailboxes are permitted within 10 feet of the front of the building if not visible from the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.4	Trash and recycling containers, including cans and dumpsters, shall have covers and be screened so as not to be visible from the street or from neighboring properties. Screening shall be one foot higher than the container but no higher than six feet; however, roofed enclosures may exceed this limit.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.5	If a building owner chooses to provide a trash receptacle and/or a smoking materials receptacle, the receptacle(s) shall be decorative if located at the entrance that faces a public street. These receptacles shall be screened from view and/or designed to fit with the architecture and materials of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.6a	High energy gas appliances shall have the air intakes and exhaust vents located on the sides or rear of the building where they do not interfere with any sidewalks, are not likely to be blocked or damaged by pedestrian traffic, snow or the removal of snow, and away from any trees or shrubs that would be harmed by the exhaust heat and gases.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.6b	Window-mounted air conditioners shall not be permitted.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.6c	PTAC air conditioner/heat pump units must be designed into the architecture of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.6d	If heat pumps or air conditioners are located on the ground, they shall be on one side or the rear of the building and screened with evergreens or decorative screening that matches or complements the exterior siding of the building, such that proper clearances are maintained for the manufacturer's warranty.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.6e	If heat pumps or air conditioners are located on the roof, they shall be placed, painted and/or screened so as to minimize the visual impact to the street.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
E.7a	Bicycle parking using bike racks specifically designed for bike parking shall be provided at one (1) space per 10 automobile parking spaces or one (1) space per 20 employees, whichever is greater, and should be located near building entries, shall not interfere with pedestrian circulation, and shall be well-lit. Bikes are not permitted to be stored, locked or chained on decks, patios, fences or any other exterior location other than a bike rack specifically designed for bike parking.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.7b	Bicycle parking (to accommodate four bicycles) shall be nominally at least nine (9) by six (6) feet or fifty-four (54) square feet and increase by the same ratio to accommodate the number of bike spaces.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E.7c	The base for bike racks should be concrete to ensure their stability; however, the remaining bicycle parking area shall be porous paving materials (paving blocks with decorative gravel or wood mulch, or properly spaced cobbles, brick, and natural stone with grass planted in between in small clusters) to reduce stormwater runoff but shall not result in standing water. If an area for bike parking is designed using these standards, then up to 100 percent of the space taken for the bike parking shall count as green space.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
LANDSCAPING OPEN SPACE & PLANTINGS					
F.2	A landscape design and planting plan shall be prepared and submitted for all buildings. Landscape plans for developments shall be prepared and signed by a Landscape Architect, nurseryman, or professional site planner with educational training or work experience in land analysis and site plan preparation prior to submittal to the City.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.2a	No building permit shall be issued until the required landscaping plan has been submitted and approved, and no certificate of occupancy shall be issued until the landscaping is completed as certified by an on-site inspection by the Building Inspector, Planning Staff, or other designated official, unless a financial guarantee acceptable to the City has been submitted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.2b	Landscape surety. The owner shall provide the City with a cash deposit, bond, or approved letter of credit to guarantee the proper installation and growth of all landscape improvements proposed in the approved landscape plan. Said surety may remain in effect for two full growing seasons. A growing season shall be considered a period from May 1 to September 30. The first year, the amount of the surety will be equal to 100% of the estimated cost of plant material, installation and tree preservation. Once installation has been completed per the approved landscape plan and verified by the City, 75% of the surety will be reimbursed back to the owner. The remaining 25% will be kept by the City for a period of twelve (12) months to cover any maintenance cost that may be needed. Such surety shall be filed with the City Finance Officer.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.2c	The City may allow an extended period of time for completion of all landscaping if the delay is due to conditions which are reasonably beyond the control of the developer. Extensions may not exceed nine months, and extensions may be granted due to seasonal weather conditions. When an extension is granted, the City may require such additional security and conditions as it deems necessary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.3a	The plan shall address all parts of the parcel and shall indicate: Details of all proposed vegetative landscaping materials, including placement, common and botanical names, caliper/height or container size and quantity and maintenance requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.3b	Details of proposed non-vegetative landscaping and screening materials.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.3c	Planting and construction schedule for completion of landscaping and screening plans.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.3d	Estimated cost from a landscaper on a bid or estimate form of the proposed landscaping.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
F.4	All portions of the site not covered by buildings, paving material, or other planned and approved surfaces shall be considered "landscaped area" and shall have a minimum of 4 inches of top soil and be planted with living plant materials and/or mulches. Overall site landscaping shall include not less than:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.4a	One tree placed in the boulevard per 40 linear feet of lot frontage;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
F.4b	Not less than two trees and eight shrubs per 600 square feet of landscaped area. These are minimum standards – more plantings are encouraged.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5	All plant material used shall meet the minimum standards established by the American Association of Nurserymen as published in the American Standards for Nursery Stock and shall meet the following minimum requirements:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5a	Deciduous trees: 2" dbh (diameter at breast height)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5b	Ornamental trees: 2" dbh	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5c	Evergreen trees: 5' height	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5d	Shrubs: 5 gallon container	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.5e	Vines and Perennials: 1 gallon container	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
F.6	Boulevard trees will be installed by the City Forester at City expense if the developer attends City tree school. If the developer installs boulevard trees they shall conform to City street standards. A complete list of trees and shrubs and other reliable plant material that has been approved by the City Forester is available in the City Planning and Development Department.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
F.7	Existing healthy trees should be preserved to the greatest extent practicable and shall be indicated on grading and landscape plans submitted for plan review; however, invasive trees shall be removed. Existing damaged, decayed, or diseased trees should be removed to protect remaining trees. Construction near existing trees should follow Best Management Practices to ensure their survival.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.8	Landscaping should reinforce pedestrian circulation routes and obstruct undesired routes of convenience. Bushes, trees, rocks, and other landscape features should be used to indicate where pedestrians should and should not travel.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.9a	Provide a five (5) to six (6) foot high solid screen to separate parking lots from abutting residential uses or other non-compatible uses. A solid landscape screen is defined as an evergreen or nearly evergreen mixture (minimum of 65% evergreen) of shrubs, bushes, or trees that produce a dense, sight-obscuring screen at least five (5) to six (6) feet in height within three years of planting. Berms may be included in this definition as long as the maximum height of the berm is five feet; both sides of the berm are planted with evergreen or nearly evergreen shrubs or bushes so that the total height of landscaping and berm will be at least six feet within three years of planting; and top of the berm plantings form a dense, sight-obscuring screen within the same three-year period.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
F.9b	Provide a minimum three (3) foot high visual relief screen when adjacent to a street in the form of a hedge, fence, planter, berm, dividers, shrubbery and trees or any combination. The visual relief screen shall extend the length of the parking lot. Three (3) feet in height shall be measured from surface of the parking lot and may be negotiable depending on the elevation of the parking lot in relation to the sidewalk and/or street. All landscaping to form such a visual relief shall be a minimum height of 2 feet at time of planting. Bark or other loose material shall not be placed on berms in these areas since it may be displaced on the street or sidewalk.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.10a	The property owner shall be responsible for maintenance and replacement of trees, shrubs, grass, ground covers, loose bark or gravel, and sod which are part of the approved landscape plan. If any such plant materials are not maintained or replaced, the City may utilize the required surety to replace the newly planted or protected landscaping or to deem this to be a Municipal Code Violation and issue an Order to Correct.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.10b	The owner is responsible for keeping trees in a plumb position. When staking or securing trees is done, it shall occur so as not to create any hazards or unsightly obstacles.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.10c	Plants must be maintained to be kept in sound, healthy and vigorous growing conditions and free of disease, insect eggs and larvae.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F.10d	A sprinkler or lawn irrigation system shall be required in the front yard and boulevard of all developments if lawn or sod is proposed. This standard does not apply to boulevards if sprinkler or lawn irrigation systems are not needed for the front yard.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

WALLS AND FENCES

G.2	Walls and fences located in the front yard setback shall not exceed six feet in height above the finished grade and shall be at least 50% transparent to retain the visual connection between street and building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
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DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
G.3	The design and materials for walls and fences shall be coordinated with the design and materials of the principal buildings and should have substantially the same detail. This is not intended to require identical materials and design.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
G.3a	Pressure treated lumber fences shall not be permitted unless stained or painted.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
G.3b	All chain link fences must be plastic coated and shall only be permitted in side yards and backyard, and shall not extend nearer to the street than the front of the building nor used in the side yard on a corner property.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
G.3c	Smooth faced concrete (CMV) blocks or non-architectural poured walls used to construct a wall shall be covered with brick or some other decorative block or dimensional material such as a stained block product. Painted or colored smooth-faced concrete bricks or blocks shall not be considered decorative block.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
G.4	Walls and fences shall provide variety and articulation at each end and at intervals not exceeding 25 feet through at least one of the following methods: Changes in plane of not less than one (1) foot; Expression of structure, such as post, column, or pilaster; Variation of material; or Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

STORMWATER INFILTRATION AND CONTROL

H.2	A stormwater management and erosion control plan shall be required for all new construction, shall be coordinated with the Landscaping and Open Space Plan, and shall be designed by either a Registered Architect, Landscape Architect or a Professional Civil Engineer in accordance with the City of La Crosse's Stormwater Management Ordinance and shall include a maintenance plan and agreement.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
H.2a	Until such time as the City adopts a stormwater management ordinance, the City shall use the La Crosse County Stormwater Management Ordinance.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
H.2b	For parcels less than ¼ acre in size, the City shall work with the property owner/developer/applicant to develop a practical site-specific stormwater management plan that allows for flexibility in the use of stormwater treatment devices including rain barrels, rain gardens, swales, cisterns, drain tiles, soil amendments, porous pavements, grass pavers for overflow parking areas, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
H.3	The use of bio-cells, living roofs and rain gardens is encouraged due to their aesthetic as well as utilitarian benefits.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
H.4	Newly concentrated stormwater, such as that from rooftop, impervious surface, or swales, shall not be directed onto or across adjacent properties or across sidewalks. Rooftop stormwater shall not be discharged within 5 feet of a sidewalk unless an intervening landscape element is used to promote infiltration, such as a rain garden.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
H.5	Stormwater detention and infiltration facilities shall be designed as visual and open space amenities that enhance the overall appearance of the site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

EXTERIOR LIGHTING

I.2	All exterior lights shall be designed for commercial use. A lighting plan showing lighting levels on-site and at the property line as well as spec sheets with pictures must be submitted with the Design Standards Checklist for each exterior light to be used.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	To be provided once received from designer
I.3	Pedestrian lighting shall clearly indicate the path of travel, shall minimize dark spots along that path, and shall utilize coordinated light fixtures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.4	The maximum height of wall-mounted parking lot light fixtures shall be 16 feet above the ground. Pole-mounted fixtures are acceptable but not required and will have a maximum height of 30 feet from the ground to the top of the fixture. Fixtures shall be of full-cut-off (FCO) design to minimize glare and spillover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
I.5	Ornamental lighting to light the building façade is permitted provided that the light source is not visible from the property line and is designed to minimize glare and spillover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.6	No overhead light source (i.e., the lamp or reflector) shall be visible from the property line. Shields may be employed, if necessary, to meet this requirement. The maximum allowable luminance measured 25 feet beyond the property line shall be .05 horizontal foot-candles (HFC).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7	Lighting levels for parking lots and pedestrian routes: (horizontal luminance measured in foot-candles):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7a	Average: 2.4 foot-candles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7b	Minimum: 1.0 foot-candles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7c	Uniformity Ratio (Bright spots to dark spots): 4:1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.7d	Maximum Average: .5 foot-candles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.8	Each exterior entry to structures on the property shall have an exterior light.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
I.9	For properties adjacent to residential uses, motion sensor flood or spot lights shall have shrouds, be limited to two (2) bulbs pointed at least thirty degrees downward and not directly into windows or doors of neighboring building and the light sources shall not be visible from the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PATIOS, PORCHES, DECKS, AND ROOFTOP GARDENS/DECKS

J.2	Every residential unit is encouraged to have its own patio or balcony and shall be incorporated into the architectural façade of the building and may encroach into the building setback area but not more than 25%. Commercial structures are also permitted to have exterior balconies. No patio or balcony can hang over a sidewalk.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
J.3	For commercial developments, ground level patios or decks for customer seating are permitted in the setback areas and should include some screening for noise.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
J.4	Exterior stairs leading to a deck or balcony are permitted provided that they are decorative and are architecturally compatible with the building and constructed of compatible materials. Exterior corridors visible from a street are not permitted.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
J.5	Rooftop green roofs or rooftop patios and decks are permitted and if intended for occupied use shall have a railing height or parapet of at least 42 inches. Only outdoor furniture is permitted.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

BUILDING DESIGN: FORM, SCALE AND CONTEXT

K.2	Photos of at least four (4) street views of nearby blocks shall be submitted with the Design Standards checklist.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.3	Buildings shall be designed to provide human scale, interest, and variety. The following techniques may be used to meet this objective:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.3a	Variation in the building form such as recessed or projecting bays, shifts in massing, or distinct roof shapes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.3b	Emphasis of building entries through projecting or recessed forms, detail, color, or materials.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.3c	Variation of material, modules, expressed joints and details, surface relief, color, and texture to break up large building forms and wall surfaces. Such detailing could include sills, headers, belt courses, reveals, pilasters, window bays, and similar features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.4	For all non-manufacturing or retail buildings, where the allowable building is more than 50% wider than adjacent buildings, one of the following techniques shall be employed to minimize the apparent width of the primary façade:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.4a	Articulate the façade with projections or bays.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.4b	Use architectural elements such as column, canopies, glass, changes in materials, and covered entries to interrupt the façade.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
K.5	The first floor façade shall include windows to provide visual interest and visual connection to the street. The total area of windows and doors on the street-facing façade, including trim, shall not be less than 20% of the total area of the façade, excluding gables.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.6	Buildings shall be built to the front yard setback line. In highway commercial areas, the building setback shall not be greater than 25 feet and no parking is permitted in the front yard setback area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
K.7	Commercial buildings within Historic Districts or adjacent to any designated historic building must first receive DRC review and approval prior to submittal to the Heritage Preservation Commission for their review. Approval by the Heritage Preservation Commission is necessary prior to the issuance of any building permit. The developer can appeal to the City Plan commission if denied by the Heritage Preservation Commission.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

BUILDING ENTRANCES, DETAILS, TRIM, DOORS AND WINDOWS

L.2	The primary entrance to the building shall be covered at least three (3) feet from the door. Entrance features may encroach into the front yard setback a maximum of three (3) feet. Building entrances shall be emphasized through projecting or recessing forms, detail, color or materials. Buildings shall be oriented toward the street with pedestrian access.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
L.3	All openings shall be articulated or appropriately trimmed through the use of materials such as flat or arched lintels, projecting sills, or surrounds.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
L.4a	All windows shall be in keeping with the architectural character of the building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
L.4b	All windows shall have an interior locking or securing mechanism.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
L.4c	For mixed used developments that include residential units, exterior entry doors for individual units shall be residential in style (real or decorative styles, rails or panels) solid or insulated or multiple units may be commercial in style (glass). If the door does not have a translucent window lower than five (5) feet, it shall have a security peephole.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ROOFS AND ROOF LINES

M.2	Any roof style such as hip, gambrel, mansard, colonial, flat or another roof style is permitted so long as the roof pitch is appropriate to the architectural style of the building (e.g. prairie school) and the roof element contains additional architectural elements such as dormers, long overhangs, windows or other feature.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
M.3	Flat roofs are permitted, and must incorporate a parapet wall on all sides, unless the rear side of the building is sloped for drainage. The parapet should include architectural details appropriate to the building design that create a positive visual termination for the building (a “top”).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
M.4	A minimum of 50% of a building’s linear roof drip edge should fall to ground surfaces that do not contain impervious surface. If gutters or other stormwater drains toward neighboring properties, then water shall be directed to an onsite rain garden(s) designed to retain a 0.5 inch-1hr rainfall. For information regarding directing clean roof water to rain gardens, the Wisconsin DNR and UW-Extension have extensive publications on the proper calculation for the size and planting materials for rain gardens in Wisconsin.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

EXTERIOR MATERIALS

N.2	The use of identical materials on all sides of the building is encouraged; however; higher-quality materials on street-facing façade and complementary materials on other façade is acceptable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
N.3	Use of decorative accessories and trim is highly encouraged.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

DESIGN REVIEW CHECKLIST

		YES	NO	N/A	NOTES
N.4	Vinyl, plywood, chipboard, T1-11, asphalt siding, non-architectural metal siding and smooth-faced concrete block are prohibited as exterior finish materials unless the architect can demonstrate that the materials are appropriate to the design of the building. Treated wood shall be painted or stained.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
N.5	Natural wood shall be painted or stained, unless it is cedar, redwood or some other naturally weather resistant species and is intended to be exposed.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
N.6a	Since the selection of building colors has a significant aesthetic and visual impact upon the public and neighboring properties, as well as an impact on the energy use and comfort of customers and tenants, designs and color shall be selected in general harmony with the overall existing neighborhood.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
N.6b	Neutral or natural colors for the primary siding material with brighter or darker colors for accent and trim that provide for a more interesting building and are cooler in the summer are preferred.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
N.6c	Complementary multi-color and textured roofing materials that provide for a more interesting building and are cooler in the summer are preferred.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
GARAGES AND ACCESSORY BUILDINGS					
O.2	Street-facing overhead doors on garages are not permitted on lots served by an alley.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
O.3	The cumulative length of all garage doors facing the street shall not exceed 50% of the total length of the street-facing elevation unless architecturally justified.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
O.4	Accessory buildings shall be architecturally compatible and be constructed of the same materials as the primary building(s). All changes to the approved plans such as the addition of an accessory structure shall be approved by the Design Review Committee if not submitted at the time of initial review.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
BUILDING CONSTRUCTION					
P.2	A completed LEED checklist must be submitted with the Design Standards checklist to demonstrate compliance with the standard.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
BUILDING, PROPERTY AND LANDSCAPING MAINTENANCE					
Q.2	All commercial structures and buildings that are developed and constructed under this ordinance shall maintain the property through an ongoing maintenance program. The maintenance program is to include all exterior aspects of the development and include but is not limited to parking lots, building mechanicals, service elements, customer and tenant amenities, landscaping open space and plantings, wall and fences, signage, stormwater facilities, exterior lighting, patios and decks, exterior finishes, windows, architectural detail, and accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Q.3	The project shall be maintained over the life of the development in a like-new condition with an on-going maintenance program that adheres to the intent of the original building plans and is subject to inspection by the City at anytime. Failure to maintain the project may subject the property to fines as permitted under this Chapter and the City of La Crosse Stormwater Management Ordinance. (#4513-7/9/09)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



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PROJECT
**ST. CLARE
HEALTH MISSION**

**CLINIC
RENOVATION &
EXPANSION**

LA CROSSE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	25-Templates
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE

FLOOR PLAN

SHEET

A1-21

WALL LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION

FLOOR PLAN SHEET NOTES

- ALL INTERIOR PARTITION WALLS SHALL BE WALL TYPE __, UNLESS OTHERWISE NOTED.
- INTERIOR WALL DIMENSIONS ARE FROM FACE OF MASONRY/CONCRETE AND CENTER OF STUD WALL, UNLESS NOTED OTHERWISE.
- PAIN
- TO COLUMNS, RISERS, STAIR HANDRAILS, GUARDRAILS, EXPOSURE, AND FLOOR EDGES, UNLESS NOTED OTHERWISE.
- REFER TO SHEET FINISH SCHEDULES FOR MARKER/TACHE SPECIFICATIONS.
- INSTALL PARTITION BLOCKING AS REQUIRED IN ALL PARTITION RECEIVE COUNTERS, SHELVING, MARKER BOARDS, ETC.
- ALL WALL MOUNTED ITEMS TO SIT FLUSH ON A WALL SURFACE. IN INSTANCES WHERE A WALL MOUNTED ITEM IS TO BE INSTALLED ON TWO DIFFERENT FINISH THICKNESSES, PROVIDE A HARDBOARD BACKER FOR THE ITEM TO SIT FLUSH. PROVIDE SEALANT AROUND ALL EDGES OF BACKER AND PAINT TO MATCH ADJACENT SURFACE

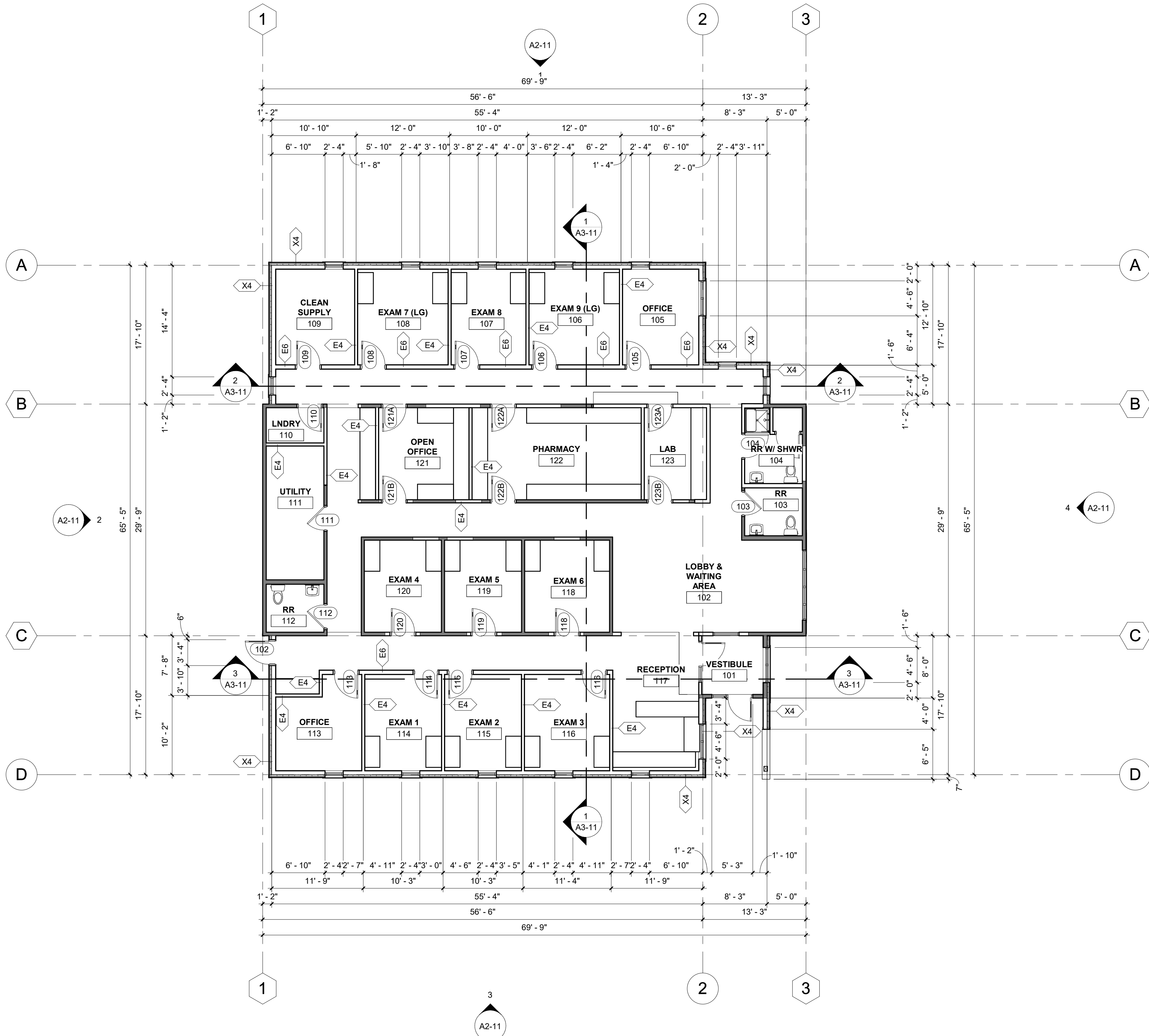
KEYNOTE LEGEND

EQUIPMENT SCHEDULE

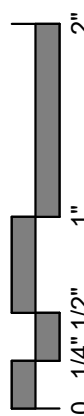
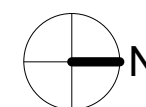
MARK	DESCRIPTION	COMMENTS	PROVIDED BY	INSTALLED BY
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RESTROOM ACCESSORY SCHEDULE

MARK	DESCRIPTION	COMMENTS	PROVIDED BY	INSTALLED BY
MR1	MIRROR - 3' - 0" H X 2' - 0" W			



1 FLOOR PLAN
1/8" = 1'-0"





SITE SUMMARY		
PROJECT ADDRESS/LOCATION:	408 JACKSON STREET LA CROSSE, WI. 54601	
ZONING:	TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND)	
SITE/LOT AREA:	16,815 SF	(0.4 AC)
REQUIRED SETBACKS		
	PARKING	BUILDING
FRONT YARD	5'	0'
SIDE YARD	5'	4'
REAR YARD	5'	15'

CIVIL SHEET INDEX

C0-10 SITE DATA
C1-30 PRE-CONSTRUCTION SWPPP
C1-20 SWPPP DETAILS
C0-20 SITE DETAILS
C2-10 EXISTING SITE AND REMOVAL PLAN
C3-10 SITE PLAN

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ST. CLARE HEALTH MISSION CLINIC RENOVATION & EXPANSION

LA CROSSE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	21-31139
FILE NAME	31139-CO-GENERAL
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	--/--
CLIENT PROJECT NO.	-

TITLE

SITE DATA

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 2011 ADJUSTMENT (NAD83(2011)) ON THE _____ COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

PROJECT DATUM

TOPOGRAPHIC SURVEY

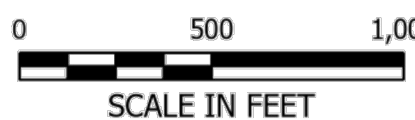
THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN MONTH YEAR BY COMPANY NAME.

B.M. ELEVATION=XXXX.XX

LA CROSSE PROJECT LOCATION



LOCATION MAP



PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS, AND CLARIFICATIONS ISSUED BY ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS, IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "DIGGERS HOTLINE" FOR UTILITY LOCATIONS A MINIMUM OF 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (811 OR 1-800-242-8511).

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

SYMBOL LEGEND

EXISTING	PROPOSED

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

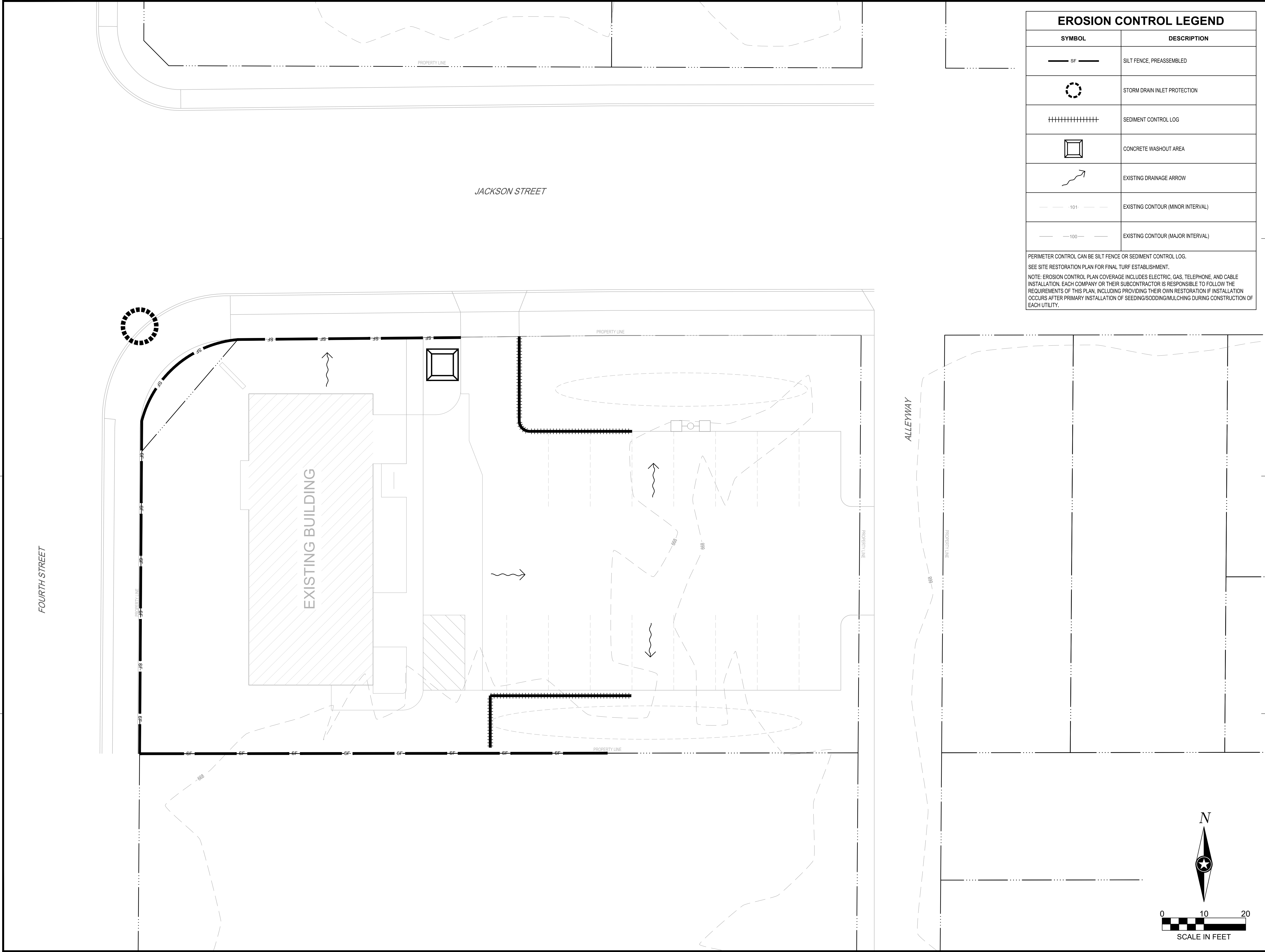
LINETYPE LEGEND

EXISTING	PROPOSED

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

ABBREVIATIONS

ADA	AMERICANS WITH DISABILITIES ACT	GC	GENERAL CONTRACTOR	PSI	POUNDS PER SQUARE INCH
ADD	ADDENDUM	GFE	GARAGE FLOOR ELEVATION	PVC	POLYVINYL CHLORIDE
AFF	ABOVE FINISHED FLOOR	GL	GUTTER LINE	PVMT	PAVEMENT QUANTITY
AGG	AGGREGATE	GPM	GALLONS PER MINUTE	R	RADIUS
APPROX	APPROXIMATE	GV	GATE VALVE	RD	REINFORCED CONCRETE PIPE
ARCH	ARCHITECTURAL	HDPE	HIGH DENSITY POLYETHYLENE	REBAR	REINFORCING BAR
BFE	BASEMENT FLOOR ELEVATION	HD	HEAVY DUTY ROOF DRAIN	REM	REMOVE
BIT	BITUMINOUS	HH	HANDHOLE	ROW	RIGHT OF WAY
BLDG	BUILDING	HMA	HOT MIX ASPHALT	RW	RIGHT OF WAY
BM	BENCHMARK	HORIZ	HORIZONTAL	SAN	SANITARY SCHEDULE
CAD	COMPUTER-AIDED DESIGN	HR	HOUR	SCH	SQUARE FOOT
CB	CATCH BASIN	HWL	HIGH WATER LEVEL	SF	SQUARE FOOT
CFS	CUBIC FEET PER SECOND	HWY	HIGHWAY	SPEC	SPECIFICATION
CF	CUBIC FOOT	HYD	HYDRANT	SQ	SQUARE
CI	CAST IRON	ID	INSIDE DIAMETER	STA	STATION
CIP	CAST IRON PIPE CAST IN PLACE	IN	INCH	STM	STORM
CIPC	CONCRETE	INV	INVERT	SY	SQUARE YARD
CJ	CONTROL JOINT	IP	IRON PIPE SIZE	T/C	TOP OF CURB
CL	CENTERLINE	IPS	IRON PIPE SIZE	TEL	TELEPHONE
CMP	CORRUGATED METAL PIPE	JBOX	JUNCTION BOX	TEMP	TEMPORARY
CO	CLEANOUT	JT	JOINT	THRU	THROUGH
CONC	CONCRETE	LF	LINEAR FEET	TNHF	TOP NUT OF FIRE HYDRANT
CONST	CONSTRUCTION	LIN	LINEAR	TRANS	TRANSFORMER
CONT	CONTINUOUS	LPS	LOW PRESSURE	TV	TELEVISION
CR	COUNTY ROAD	LS	LUMP SUM	TW	TOP OF WALL
CY	CUBIC YARD	LSO	LOWEST STRUCTURAL OPENING	TYP	TYPICAL
C&G	CURB AND GUTTER	MAX	MAXIMUM	UT	UTILITY, UNDERGROUND TELEPHONE
DEMO	DEMOLITION	MB	MAIL BOX	VCP	VITRIFIED CLAY PIPE
DI	DROP INTAKE	MECH	MECHANICAL	W/O	WITHOUT
DIA	DIAMETER	MH	MANHOLE	W	WITH
DIM	DIMENSION	MIN	MINIMUM	YD	YARD
DS	DOWNSPOUT	MISC	MISCELLANEOUS	YR	YEAR
EA	EACH	NO	NUMBER		
ELEC	ELECTRICAL	NTS	NOT TO SCALE		
ELEV	ELEVATION	NWL	NORMAL WATER LEVEL		
EOF	EMERGENCY OVERFLOW	OC	ON CENTER		
EQ	EQUAL	OCEW	ON CENTER EACH WAY		
EX	EXISTING	OH	OVERHEAD		
FIG	FORM GRADE	OHWL	ORDINARY HIGH WATER LEVEL		
FDC	FIRE DEPARTMENT CONNECTION	CHD	OVERHEAD DOOR CHANCE		
FDN	FOUNDATION	OZ	OUNCE		
FES	FINISHED FLOOR ELEVATION	PCC	PORTLAND CEMENT CONCRETE		
FPM	FEET PER MINUTE	PED	PEDESTAL, PEDESTRIAN		
FPS	FEET PER SECOND	PERF	PERFORATED		
FT	FOOT, FEET	PL	PROPERTY LINE		
FTG	FOOTING	PP	POLYPROPYLENE		
GA	GALLON				
GAL	GALLON				
GALV	GALVANIZED				



EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
	SILT FENCE, PREASSEMBLED
	STORM DRAIN INLET PROTECTION
	SEDIMENT CONTROL LOG
	CONCRETE WASHOUT AREA
	EXISTING DRAINAGE ARROW
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)

PERIMETER CONTROL CAN BE SILT FENCE OR SEDIMENT CONTROL LOG.

SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.

NOTE: EROSION CONTROL PLAN COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS PLAN, INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

ISG

SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT

LA CROSSEWISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	21-31139
FILE NAME	31139-C1-SWPPP
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	--/--
CLIENT PROJECT NO.	-

TITLE

PRE-CONSTRUCTION
SWPPP

SHEET

C1-30



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PROJECT

**ST. CLARE
HEALTH MISSION
CLINIC
RENOVATION &
EXPANSION**

LA CROSSE WISCONSIN

REVISION SCHEDULE

DATE	DESCRIPTION	BY

PROJECT NO. 21-31139

FILE NAME 31139-C1-SWPPP

DRAWN BY ---

DESIGNED BY ---

REVIEWED BY ---

ORIGINAL ISSUE DATE --/--/--

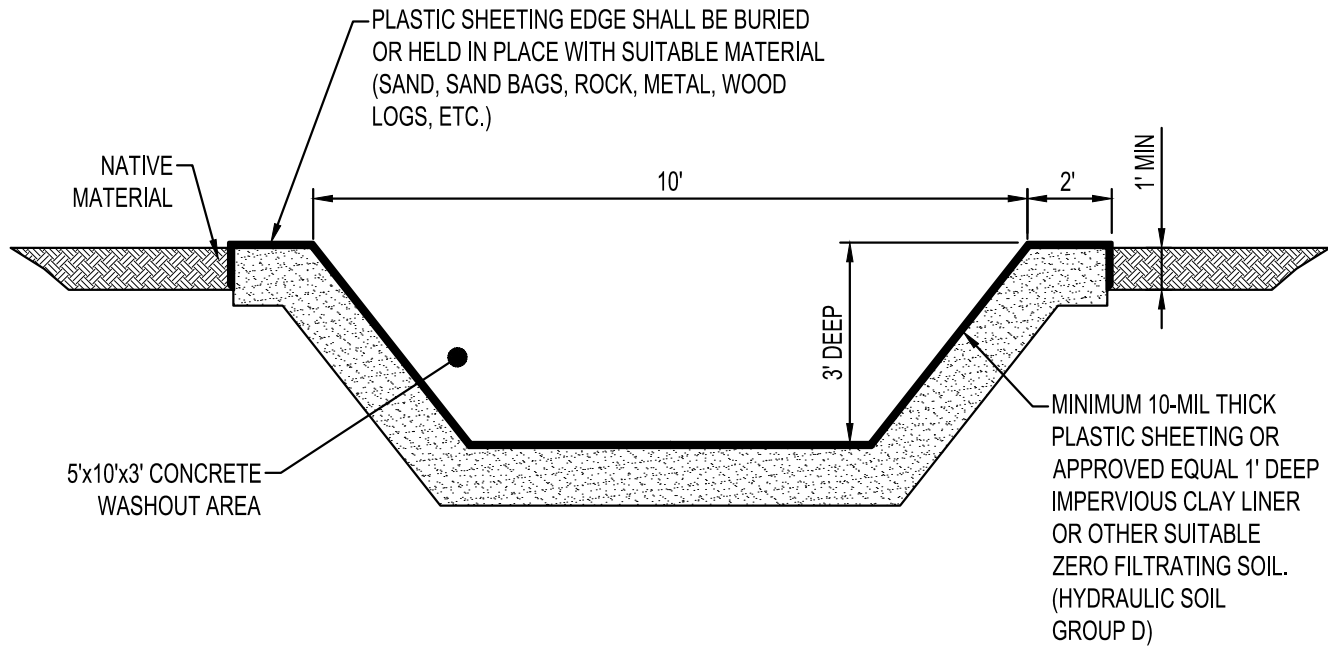
CLIENT PROJECT NO. -

TITLE

SWPPP DETAILS

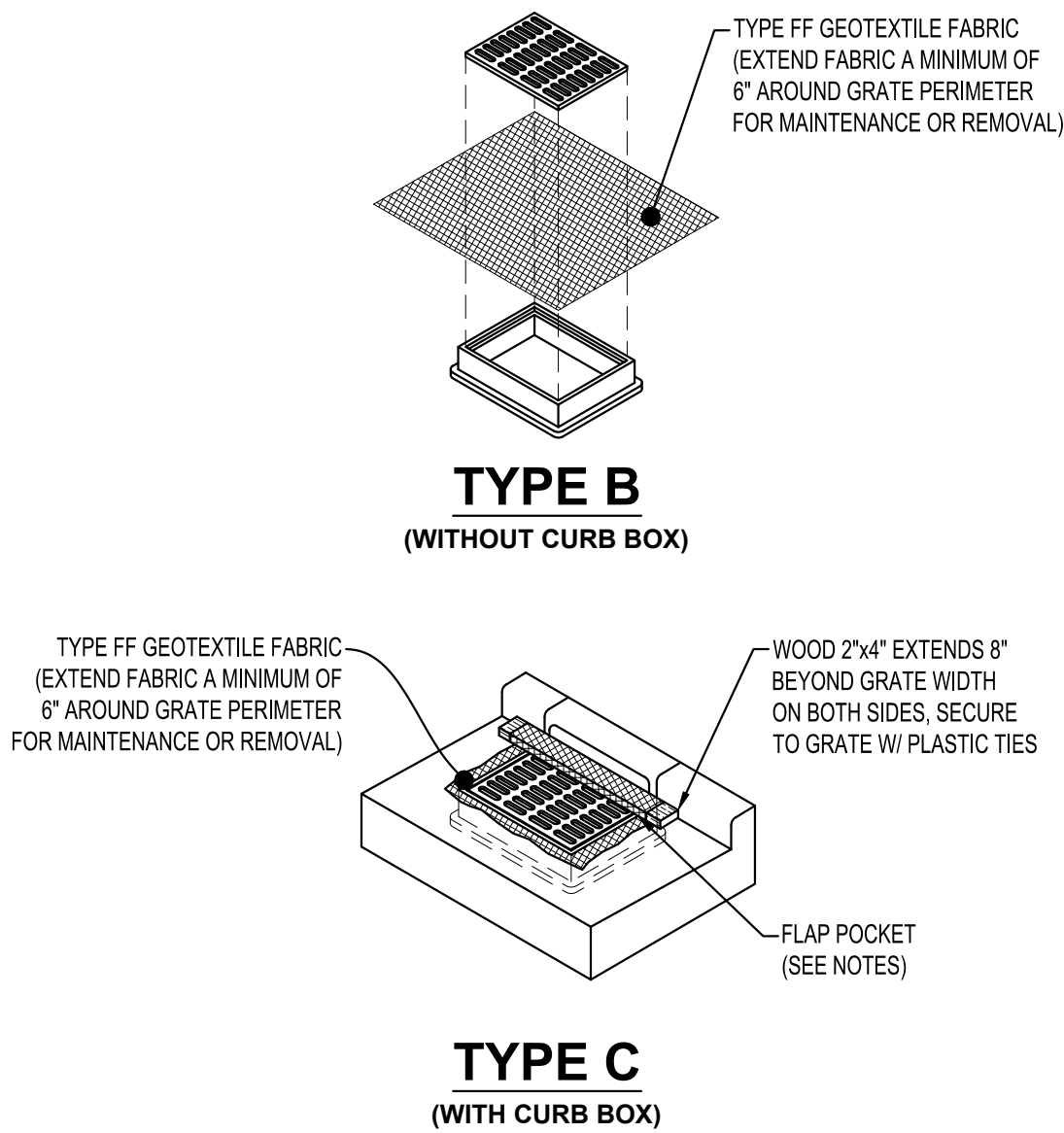
SHEET

C1-20



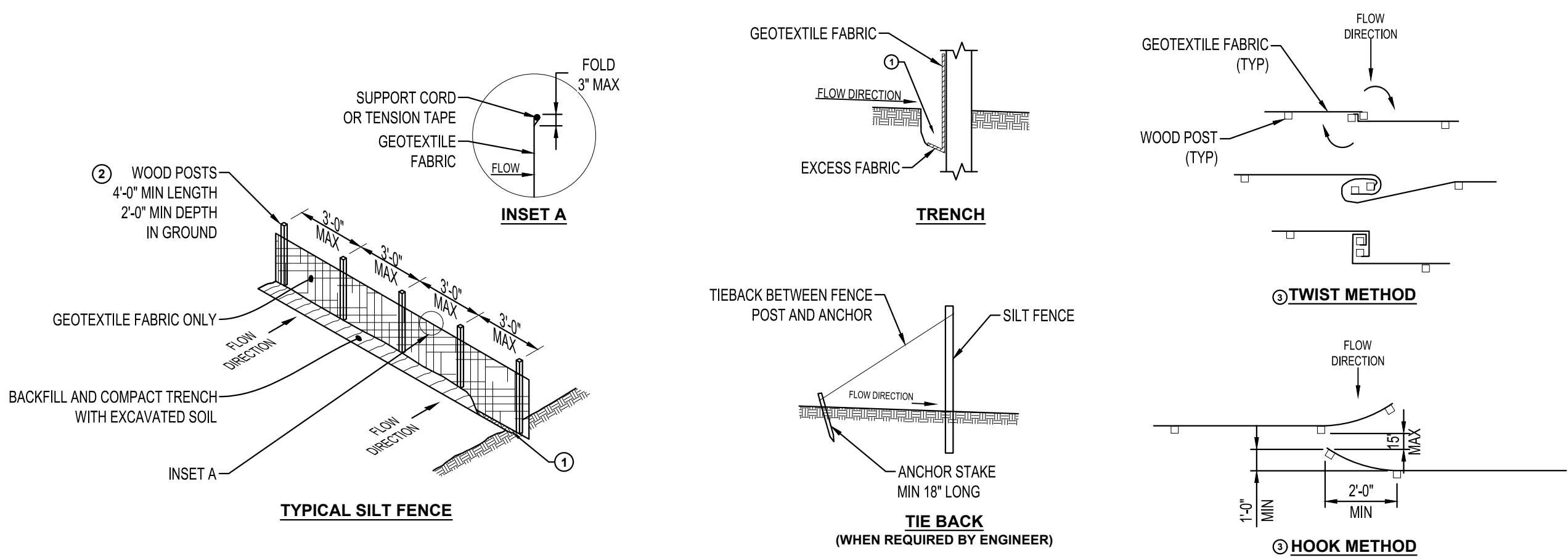
- NOTES:**
- CONCRETE WASHOUT LOCATION SHALL BE APPROVED BY ENGINEER.
 - SIZE OF EXCAVATION AND COMPACTED TRAP MUST BE COMMENSURATE WITH WASHOUT REQUIREMENTS FOR DAILY CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL INSTALL A SIGN INDICATING THE CONCRETE WASHOUT AREA.
 - CONTRACTOR SHALL MAINTAIN WASHOUT AREA TO REMOVE MATERIALS BEYOND 75% CAPACITY.
 - WASHOUT AREA SHALL NOT BE PLACED WITHIN 50' OF STORM DRAINS, OPEN DITCHES OR BODIES OF WATER.
 - CONTRACTOR SHALL INSPECT WASHOUT AREA AS NECESSARY TO PREVENT LEAKS AND OVER TOPPING.
 - WASHOUT AREA SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE.

CONCRETE WASHOUT
NTS



- NOTES:**
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REBAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
 - WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

TYPES B & C
INLET PROTECTION
NTS



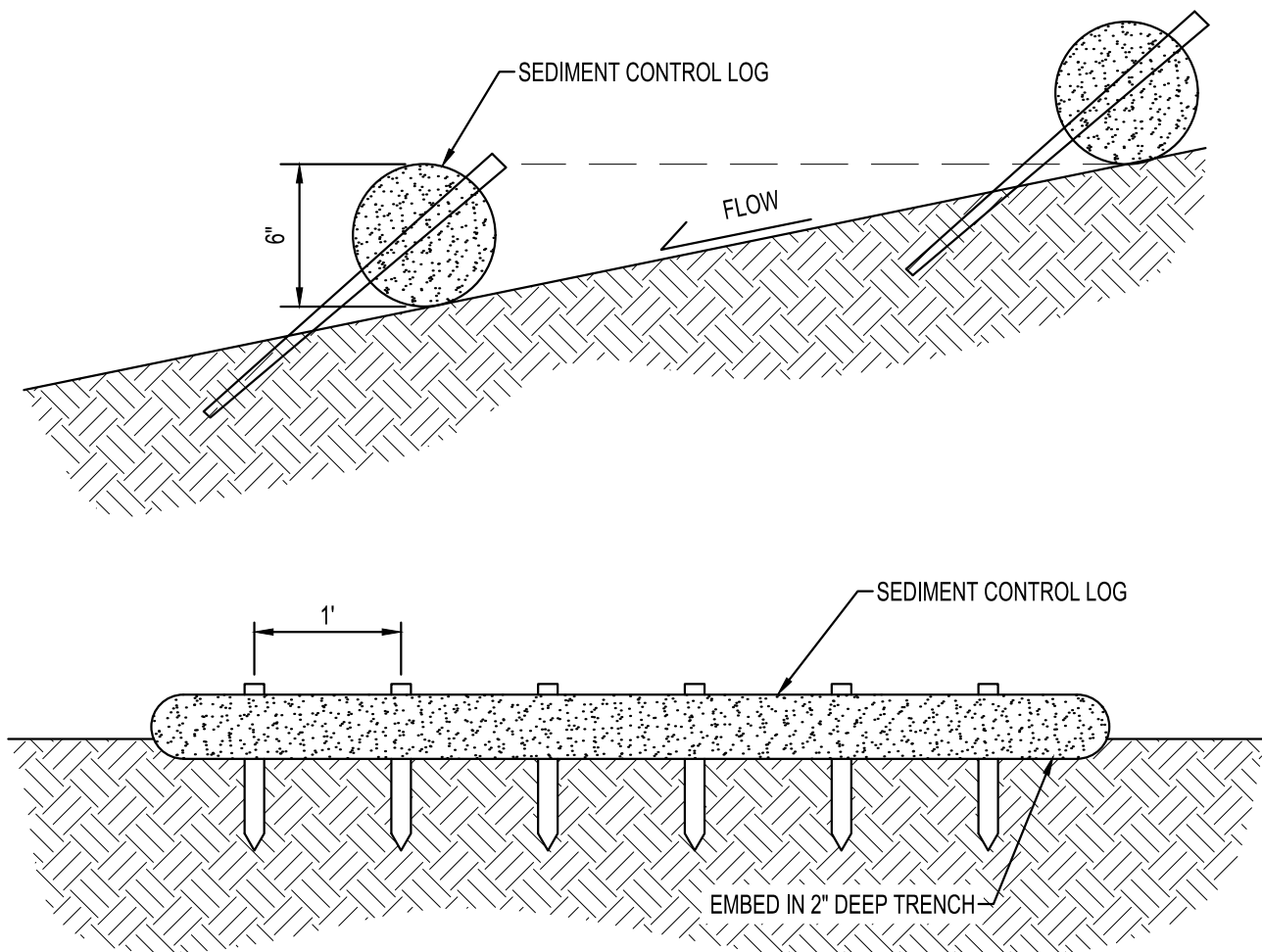
KEY NOTES:

- FOR MANUAL INSTALLATIONS, TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH, BACKFILL, AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POST SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS.
 - TWIST METHOD - OVERLAP THE END POSTS AND TWIST, OR ROTATE AT LEAST 180°.
 - HOOK METHOD - HOOK END OF EACH SILT FENCE LENGTH.

NOTES:

- ATTACH FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.
- ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.
- 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

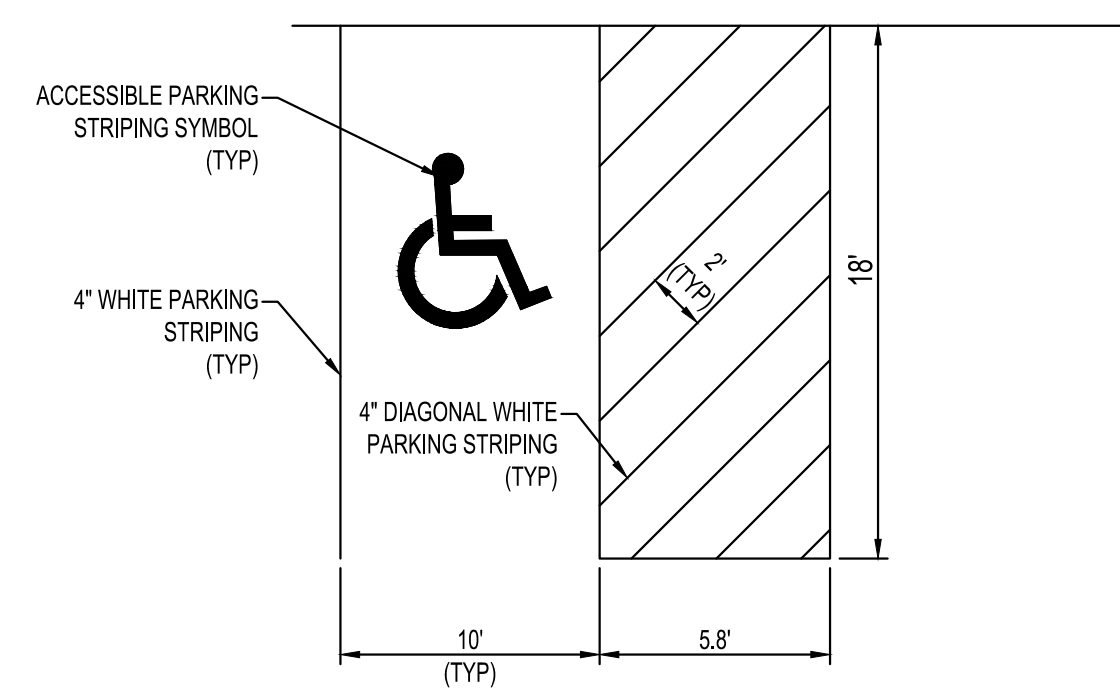
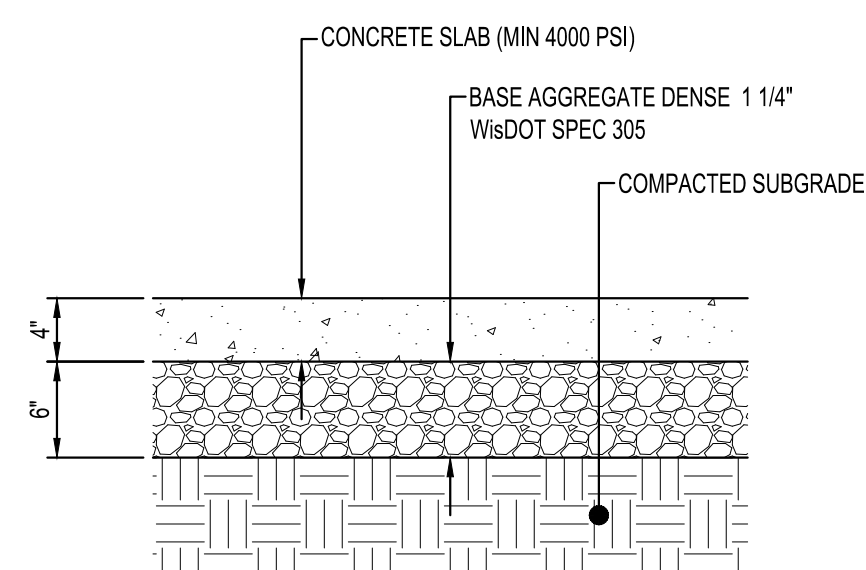
SILT FENCE
NTS



NOTES:

- SEDIMENT CONTROL LOGS TO BE 6" DIAMETER UNLESS OTHERWISE NOTED.
- STAKED INTO THE GROUND WITH WOOD STAKES.
- WOOD STAKES ARE A MINIMUM OF 2"x16"x1/2" UNLESS PRECLUDED BY PAVED SURFACE OR ROCK.
- WOOD STAKES DRIVEN THROUGH BACK HALF OF SEDIMENT CONTROL LOG AT AN APPROXIMATE ANGLE OF 45° WITH THE TOP OF STAKE POINTING UP STREAM.
- WHEN MORE THAN ONE SEDIMENT CONTROL LOG IS NEEDED, OVERLAP ENDS A MINIMUM OF 6" AND STAKE

SEDIMENT CONTROL LOG STAKING
NTS



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PROJECT

**ST. CLARE
HEALTH MISSION
CLINIC
RENOVATION &
EXPANSION**

LA CROSSE

WISCONSIN

[illegible]

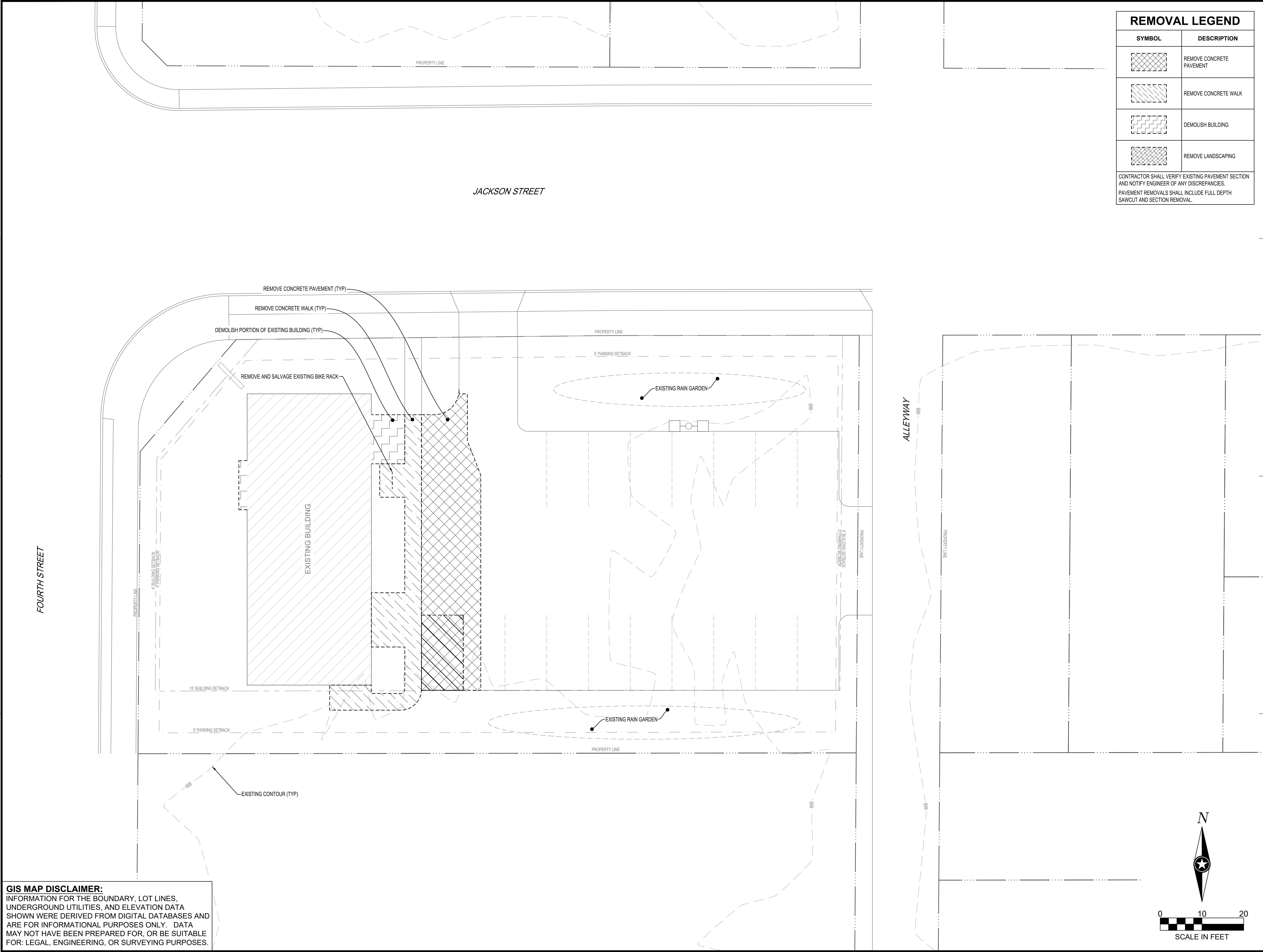
PROJECT NO.	21-31139
FILE NAME	31139-C0-DETAILS
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	--/--/---
CLIENT PROJECT NO.	-

TITLE

SITE DETAILS

SHEET

C0-20



REMOVAL LEGEND

SYMBOL	DESCRIPTION
	REMOVE CONCRETE PAVEMENT
	REMOVE CONCRETE WALK
	DEMOLISH BUILDING
	REMOVE LANDSCAPING

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.



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PROJECT

ST. CLARE
HEALTH MISSION
CLINIC
RENOVATION &
EXPANSION

LA CROSSE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	21-31139
FILE NAME	31139-C2-EXIST
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	--/--
CLIENT PROJECT NO.	-

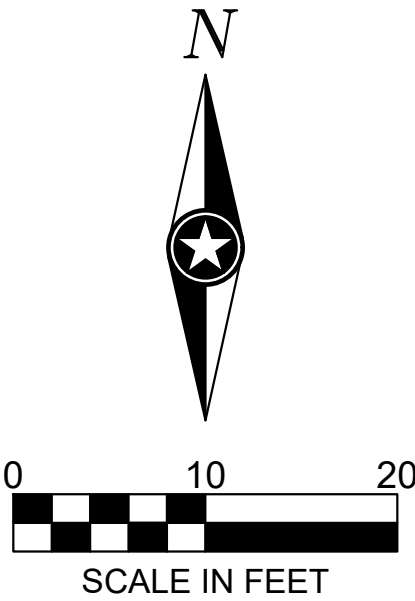
TITLE

EXISTING SITE AND
REMOVAL PLAN

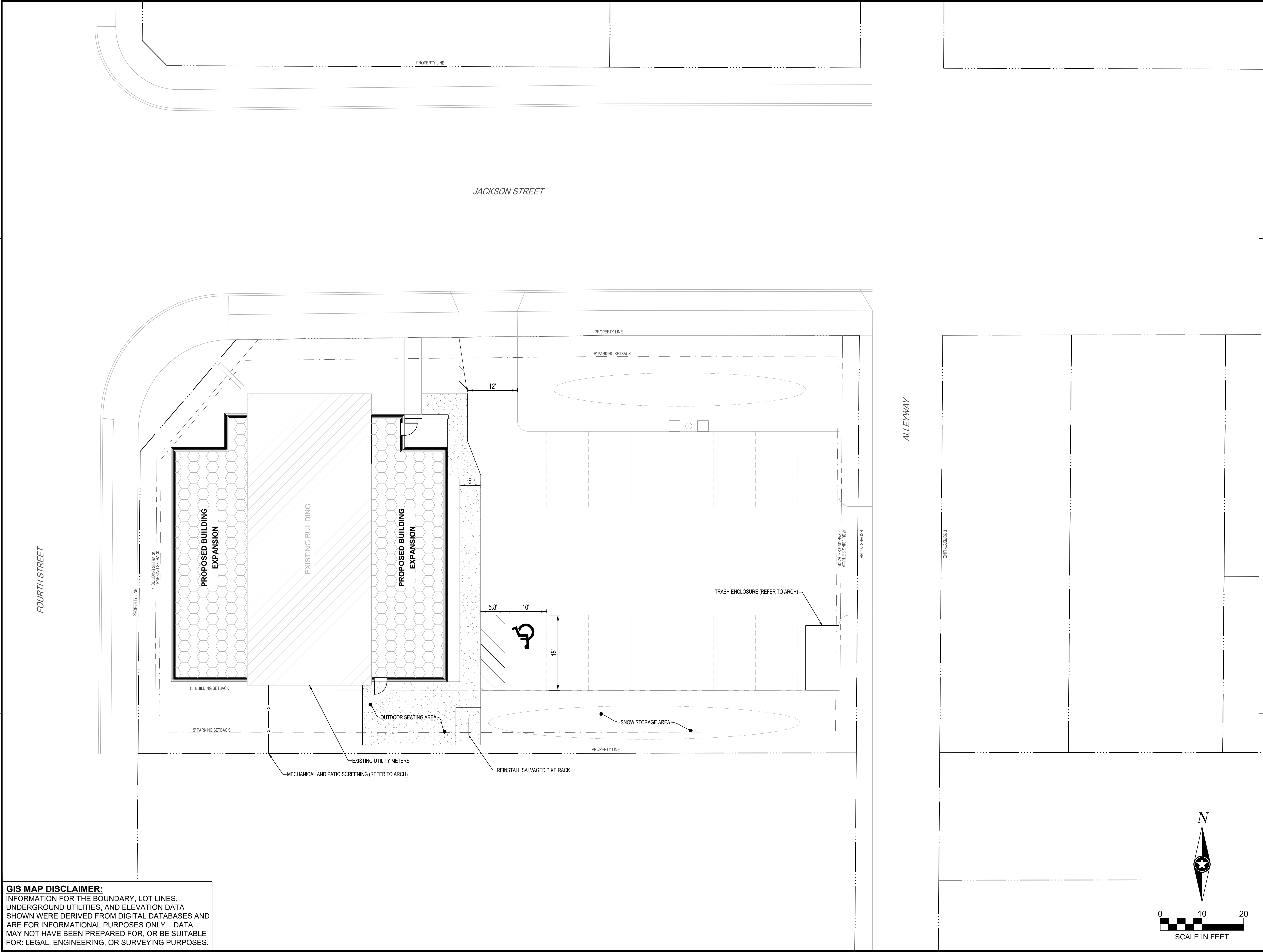
SHEET

C2-10

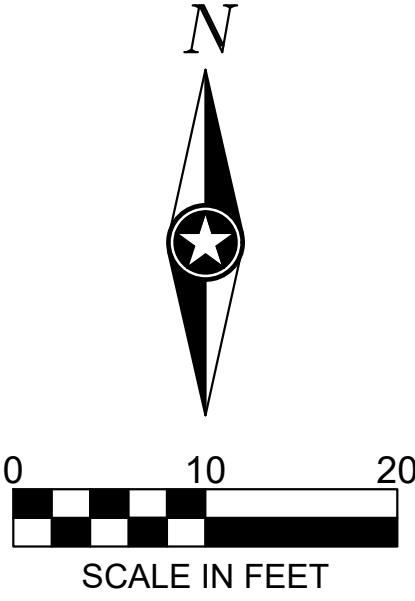
GIS MAP DISCLAIMER:
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PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION



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PROJECT

**ST. CLARE
HEALTH MISSION
CLINIC
RENOVATION &
EXPANSION**

LA CROSSE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	21-31139
FILE NAME	31139-C3-SITE
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	--/--
CLIENT PROJECT NO.	-

TITLE

SITE PLAN

SHEET

C3-10

PRELIMINARY NOT FOR CONSTRUCTION

Trees Required for Frontage:
7
Trees Required for landscape area:
18
Shrubs required for landscape area:
74

Trees Provided:
Existing 11 + 2 New = 13 Total Trees

Shrubs Provided:
47

Native Forbs/Grasses:
130

*Site Landscape Requirements not met due to site constraints.

#	Common Name	Scientific Name	#	Size	#	Quantity
	Eastern Redbud	Cercis canadensis	#25 CONTAINER TREE			2.00
	Regent Saskatoon Serviceberry	Regent Saskatoon Serviceberry	#5 CONTAINER			6.00
	Blue Muffin® Arrowwood Viburnum	Viburnum dentatum 'Christom'	#5 CONTAINER			5.00
	Shrubby St. John's Wort	Hypericum prolificum	#2 CONTAINER			3.00
	Purple Pavement Rose	Rosa rugosa 'Purple Pavement'	#2 CONTAINER			6.00
	Fiber Optics® Buttonbush	Cephalanthus occidentalis 'Bailoptics'	#2 CONTAINER			5.00
	Brilliant Red Chokeberry	Aronia arbutifolia 'Brilliantissima'	#5 CONTAINER			3.00
	Glossy Black Chokeberry	Aronia melanocarpa elata	#2 CONTAINER			6.00
	Dwarf Bush Honeysuckle	Diervilla lonicera	#2 CONTAINER			12.00
	Ostrich Fern	Matteuccia struthiopteris	#1 CONTAINER			6.00
	Native Plant Plugs		4" container			124.00



1522 Green Bay St.
La Crosse, WI 54601

(608) 799-2797

couleeregionecosystems@gmail.com

St Clare Health Mission

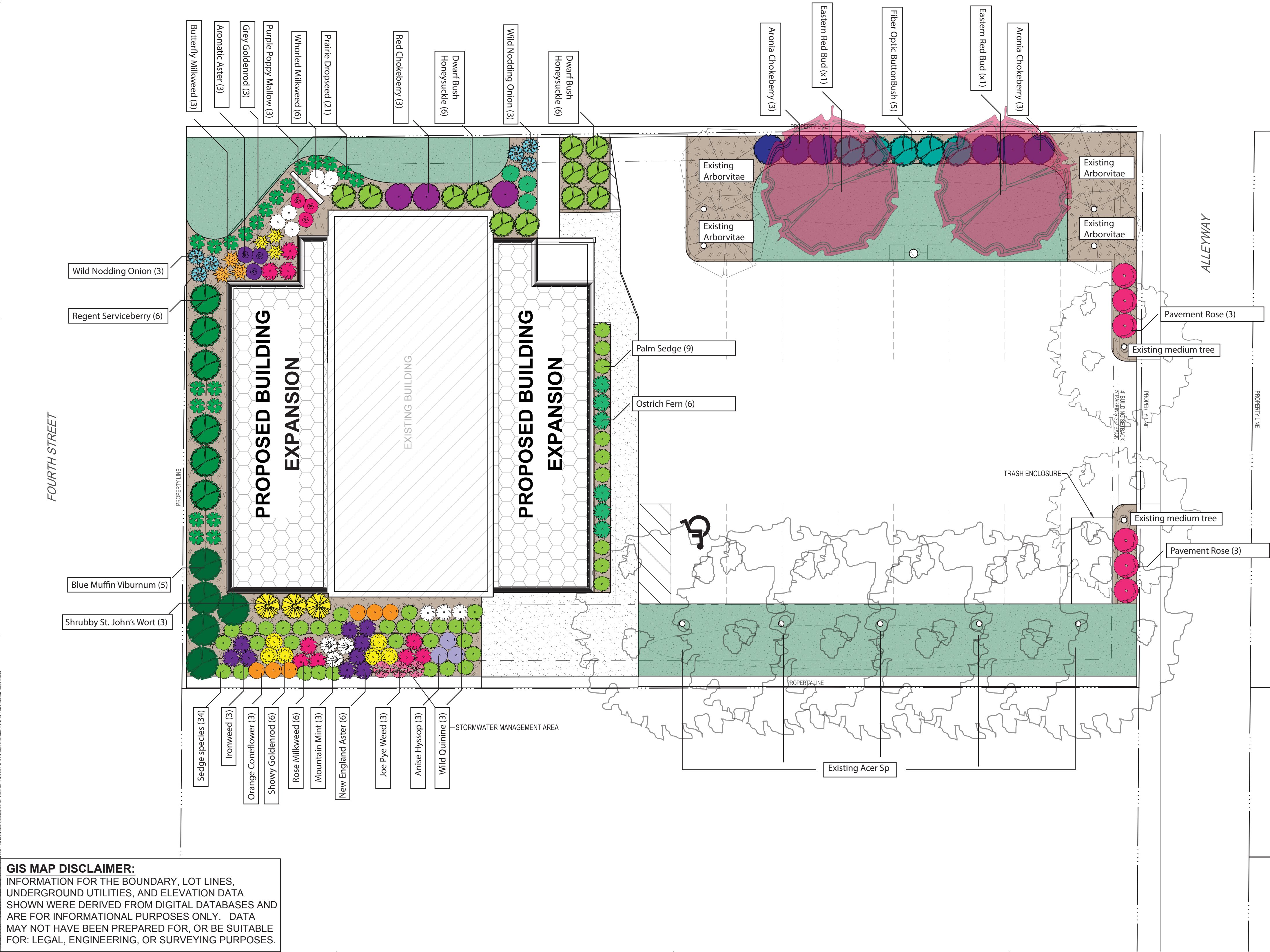
Title:
Landscape Plan

Project Location:
406 Jackson St. La Crosse WI

Revision Date:
06/06/2025

Scale
1:10

Sheet Number:
L-100



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MEMORANDUM

DATE: 06/06/2025

TO: City of La Crosse – Engineering Department
Attn: Yuri Nasonovs

FROM: Shawn Demers

SUBJECT: Saint Clare Health Mission Clinic - Stormwater Management

This stormwater management memo has been prepared for the proposed Saint Clare Health Mission Clinic Expansion located at 406 Jackson Street La Crosse, WI 54601. The project will consist of the construction expansion of the existing building, concrete walk, utilities, erosion control, and landscaping.

Existing Site Information

The existing 2,220 sf facility was constructed in 2013. The site was considered a redevelopment and therefore was required to meet the water quality and quantity standards set forth by the city. The stormwater management devices chosen were two rain gardens, one on either side of the proposed parking lot. The existing site has a lot area of 16,840 sf with 9,475 sf of that being impervious areas.

Proposed Site Information

The proposed site will include two building additions, one to the east and one to the west, of the existing building. The project will disturb approximately 0.14 Acres. These additions, along with the reconstructed sidewalks and patio area, result in a total impervious area of 10,960 sf.

Applicability and Jurisdiction

Following the City of La Crosse Municipal Code of Ordinances, Section 105-55 – Applicability and Jurisdiction, the proposed building expansions will not require post construction stormwater management. The standards from Section 105-55, as well as the specific proposed site criteria are listed table below.

City of La Crosse Municipal Code of Ordinances Section 105-55

(a) Applicability and jurisdiction

- (1) Applicability. Where not otherwise limited by law, this article applies after final stabilization to a site of land disturbing construction activity meeting any of the criteria in this paragraph, unless the site is otherwise exempt under subsections (a)(2) or (c).

- a. A post-construction site that had a quarter or more acres of land disturbing construction activity.

- i. N/A – Proposed project disturbance is approximately 0.14 Acres.

- b. A post-construction site that had 400 or more cubic yards of excavation, fill, or a combination of the two.

- i. N/A – Proposed project will not require large amounts of excavation or fill.

- c. A post-construction site that had 300 or more feet of new utility or other open trench disturbance.

- i. N/A – Proposed project will not require any new utility runs or utility trench disturbance exceeding 300 feet.

- d. A post-construction site that added more than ten percent impervious surface to the landscape (roofs, pavement, etc.) and has a total surface imperviousness at or exceeding 40 percent of the site.

- i. N/A – The net increase in impervious area for this proposed project is 1,485 sf, which is an 8.8% increase in impervious area to the existing parcel.

- e. A post-construction site that creates a new public or private road.

- i. N/A – Project does not include any new roadways.

- f. All new subdivision plats.

- i. N/A – Project does not include any subdivision plats.

Summary

The proposed project will not require a stormwater permit or post construction stormwater management. All calculations were completed using AutoCAD drawings developed by utilizing the project design data.



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PROJECT
**ST. CLARE
HEALTH MISSION**

**CLINIC
RENOVATION &
EXPANSION**

LA CROSSE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	
FILE NAME	
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	
CLIENT PROJECT NO.	

TITLE

**EXTERIOR
ELEVATIONS**

SHEET

A2-11

PRELIMINARY NOT FOR CONSTRUCTION



VIEW FROM NORTHEAST

K.3a, M.2 - DISTINCT ROOF SHAPES
PROVIDE VARIATION IN BUILDING FORM
K.4a - FACADE ARTICULATED WITH PROJECTIONS

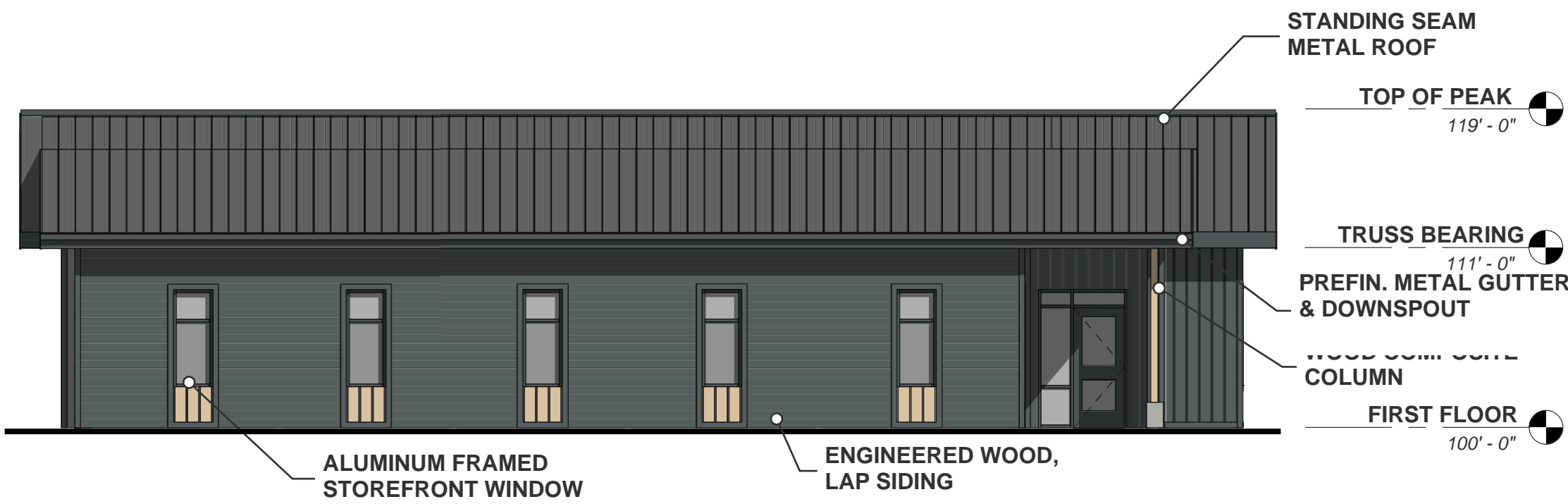
K.3c - VARIATION OF MATERIAL AND COLOR TO
BREAK UP WALL SURFACE



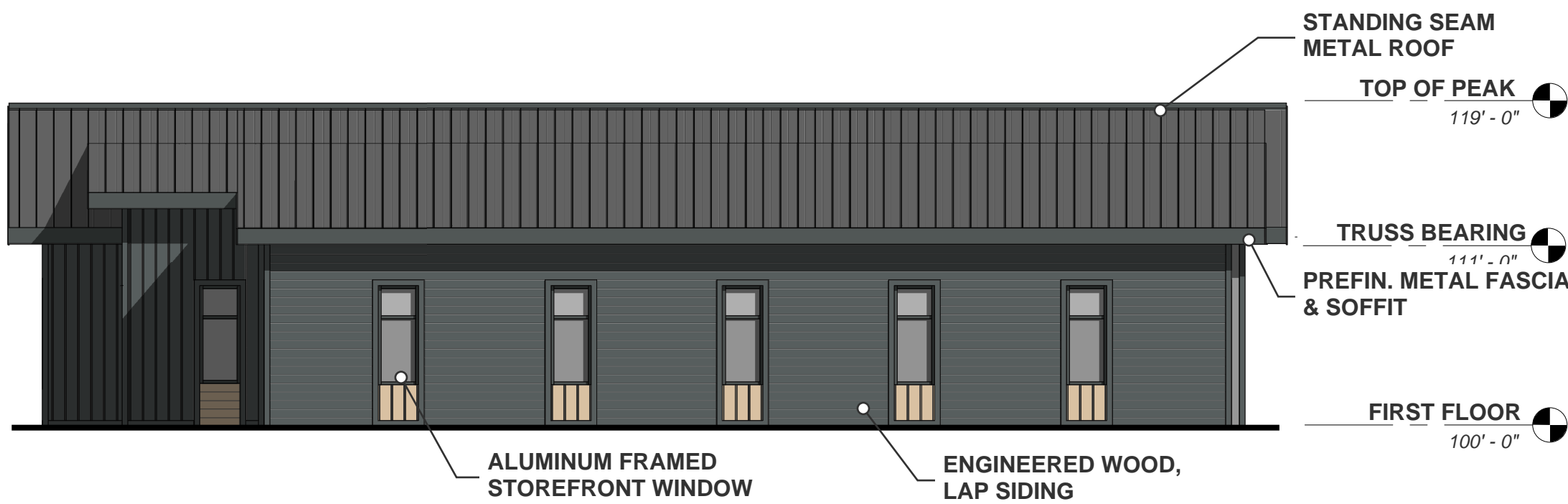
VIEW FROM NORTHWEST

L.3, N.3 - TRIM SURROUNDING ALL OPENINGS

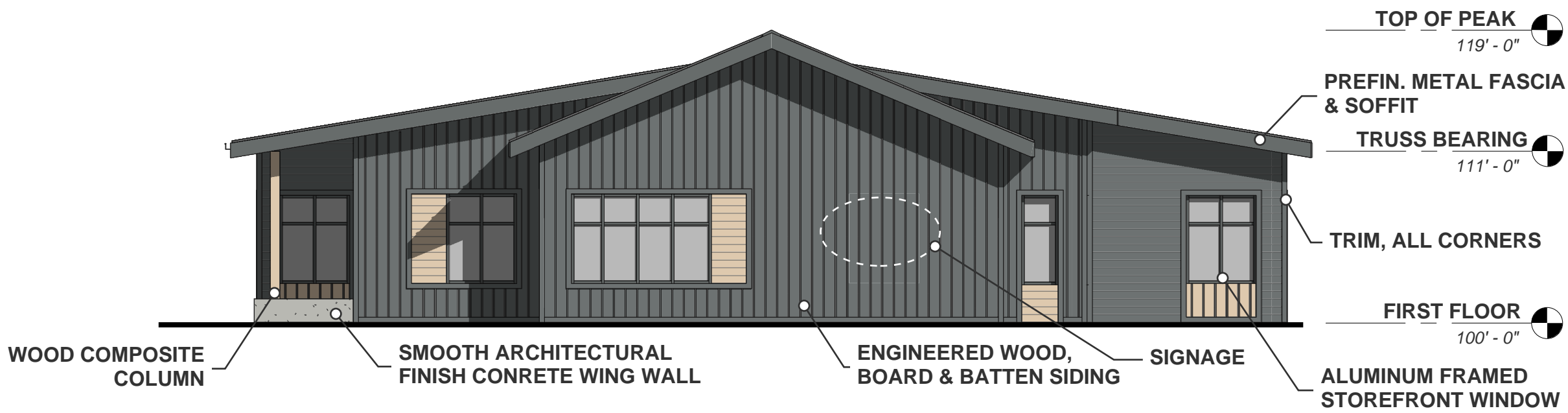
K.3b - EMPHASIS OF BUILDING ENTRY
THROUGH RECESSED FORM
L.2 - PRIMARY ENTRY COVERED AT
LEAST 3FT



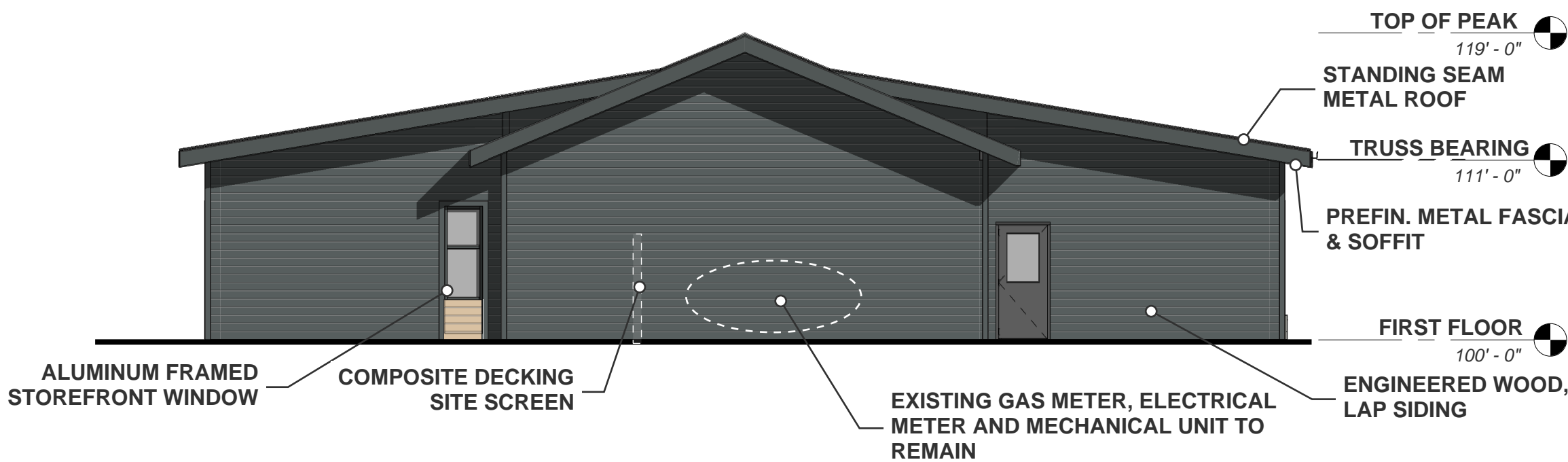
1 EAST ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION — STREET FACING FACADE
1/8" = 1'-0"
TOTAL ELEVATION AREA = 727 SF
TOTAL FENESTRATION REQUIRED = 727(.2) = 149 SF
TOTAL FENESTRATION PROVIDED = 150 SF



2 NORTH ELEVATION — STREET FACING FACADE
1/8" = 1'-0"
TOTAL ELEVATION AREA = 727 SF
TOTAL FENESTRATION REQUIRED = 727(.2) = 145 SF
TOTAL FENESTRATION PROVIDED = 192 SF



4 EAST ELEVATION
1/8" = 1'-0"





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PROJECT
**ST. CLARE
HEALTH MISSION**

**CLINIC
RENOVATION &
EXPANSION**

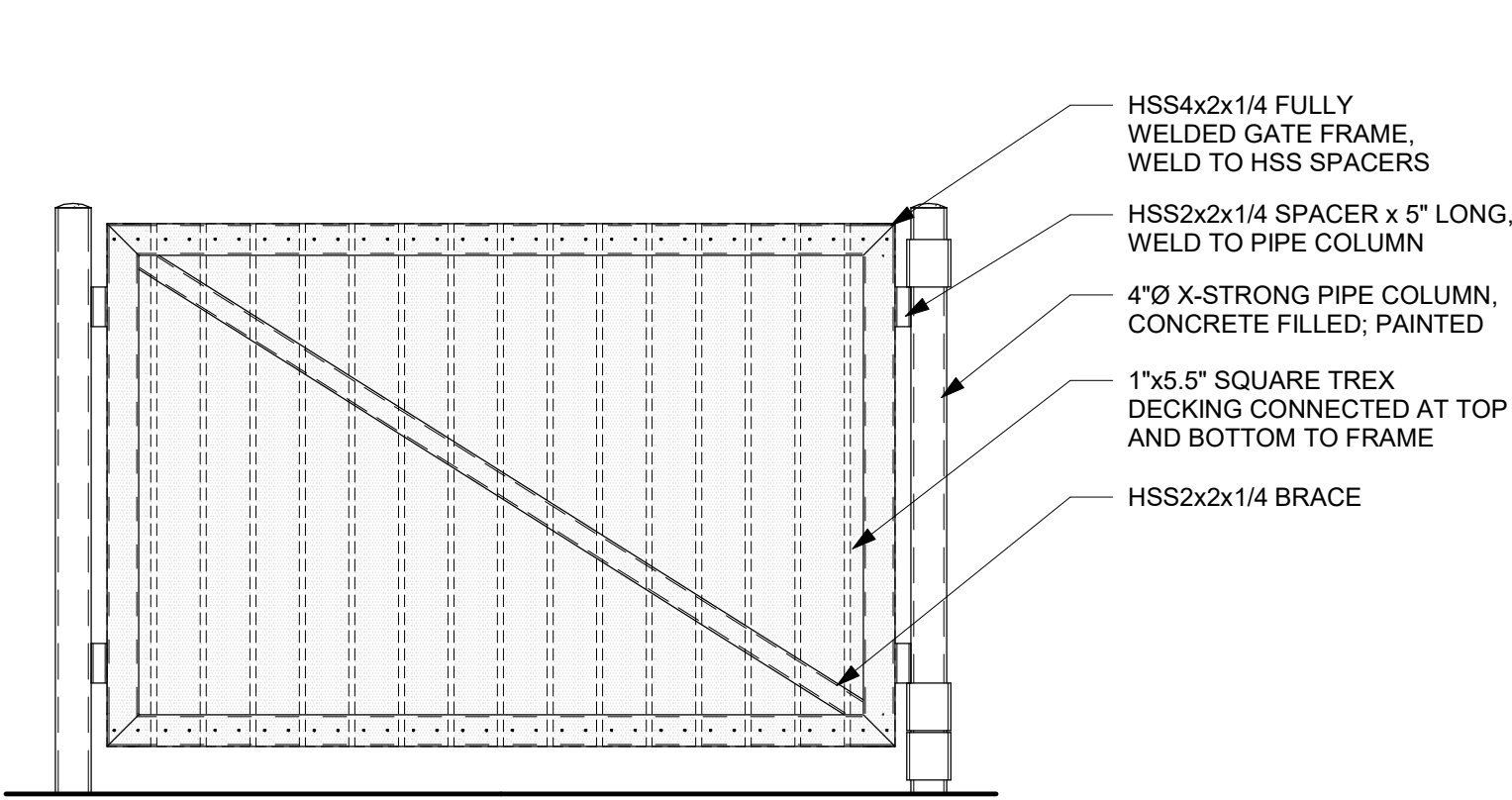
LA CROSSE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

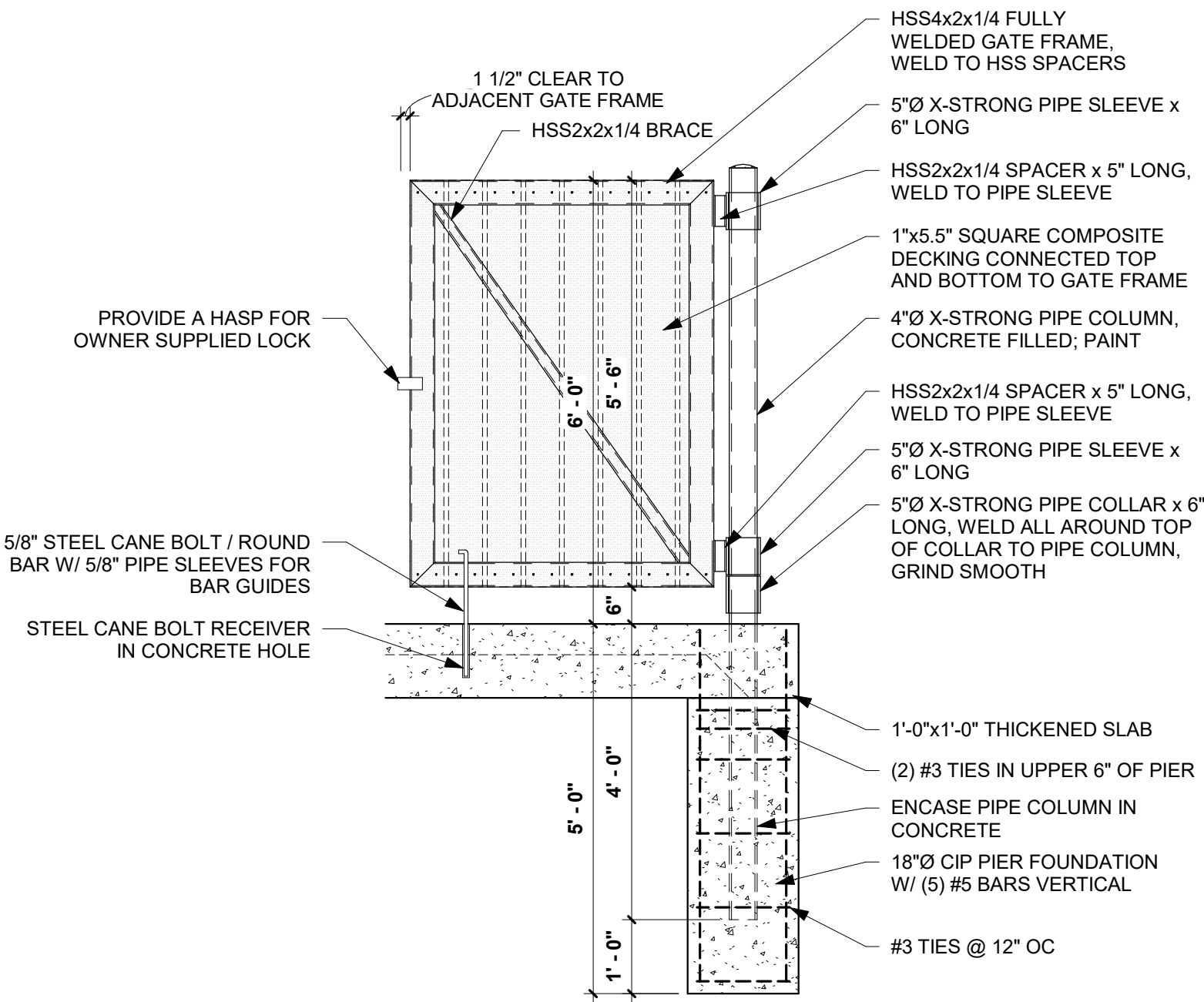
PROJECT NO.
FILE NAME
DRAWN BY Author
DESIGNED BY Designer
REVIEWED BY Checker
ORIGINAL ISSUE DATE
CLIENT PROJECT NO.

TITLE
**TRASH
ENCLOSURE
& SCREEN**

SHEET



SIDE ELEVATION
1/2" = 1'-0"



TRASH ENCLOSURE GATE DETAIL
1/2" = 1'-0"





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PROJECT
**ST. CLARE
HEALTH MISSION**

**CLINIC
RENOVATION &
EXPANSION**

LA CROSSE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.
FILE NAME
DRAWN BY Author
DESIGNED BY Designer
REVIEWED BY Checker
ORIGINAL ISSUE DATE
CLIENT PROJECT NO.

TITLE
**SITE
CONTEXT
PHOTOS**

SHEET





LEED 2009 for New Construction and Major Renovation

Project Checklist

Although LEED certification is not being pursued at this time, sustainable practices will be considered where applicable.

Project Name

Date

☒ Sustainable Sites Possible Points: 26

Y	N	?			
Y			Prereq 1	Construction Activity Pollution Prevention	
	X		Credit 1	Site Selection	1
	X		Credit 2	Development Density and Community Connectivity	5
	X		Credit 3	Brownfield Redevelopment	1
	X		Credit 4.1	Alternative Transportation—Public Transportation Access	6
	X		Credit 4.2	Alternative Transportation—Bicycle Storage and Changing Rooms	1
	X		Credit 4.3	Alternative Transportation—Low-Emitting and Fuel-Efficient Vehicles	3
	X		Credit 4.4	Alternative Transportation—Parking Capacity	2
	X		Credit 5.1	Site Development—Protect or Restore Habitat	1
	X		Credit 5.2	Site Development—Maximize Open Space	1
	X		Credit 6.1	Stormwater Design—Quantity Control	1
	X		Credit 6.2	Stormwater Design—Quality Control	1
	X		Credit 7.1	Heat Island Effect—Non-roof	1
	X		Credit 7.2	Heat Island Effect—Roof	1
	X		Credit 8	Light Pollution Reduction	1

☒ Water Efficiency Possible Points: 10

Y		Prereq 1	Water Use Reduction—20% Reduction	
	X	Credit 1	Water Efficient Landscaping	2 to 4
	X	Credit 2	Innovative Wastewater Technologies	2
	X	Credit 3	Water Use Reduction	2 to 4

☒ Energy and Atmosphere Possible Points: 35

Y		Prereq 1	Fundamental Commissioning of Building Energy Systems	
Y		Prereq 2	Minimum Energy Performance	
Y		Prereq 3	Fundamental Refrigerant Management	
	X	Credit 1	Optimize Energy Performance	1 to 19
	X	Credit 2	On-Site Renewable Energy	1 to 7
	X	Credit 3	Enhanced Commissioning	2
	X	Credit 4	Enhanced Refrigerant Management	2
	X	Credit 5	Measurement and Verification	3
	X	Credit 6	Green Power	2

☒ Materials and Resources Possible Points: 14

Y		Prereq 1	Storage and Collection of Recyclables	
	X	Credit 1.1	Building Reuse—Maintain Existing Walls, Floors, and Roof	1 to 3
	X	Credit 1.2	Building Reuse—Maintain 50% of Interior Non-Structural Elements	1
	X	Credit 2	Construction Waste Management	1 to 2
	X	Credit 3	Materials Reuse	1 to 2

Materials and Resources, Continued

Y	N	?			
	X		Credit 4	Recycled Content	1 to 2
	X		Credit 5	Regional Materials	1 to 2
	X		Credit 6	Rapidly Renewable Materials	1
	X		Credit 7	Certified Wood	1

☒ Indoor Environmental Quality Possible Points: 15

Y		Prereq 1	Minimum Indoor Air Quality Performance	
Y		Prereq 2	Environmental Tobacco Smoke (ETS) Control	
	X	Credit 1	Outdoor Air Delivery Monitoring	1
	X	Credit 2	Increased Ventilation	1
	X	Credit 3.1	Construction IAQ Management Plan—During Construction	1
	X	Credit 3.2	Construction IAQ Management Plan—Before Occupancy	1
	X	Credit 4.1	Low-Emitting Materials—Adhesives and Sealants	1
	X	Credit 4.2	Low-Emitting Materials—Paints and Coatings	1
	X	Credit 4.3	Low-Emitting Materials—Flooring Systems	1
	X	Credit 4.4	Low-Emitting Materials—Composite Wood and Agrifiber Products	1
	X	Credit 5	Indoor Chemical and Pollutant Source Control	1
	X	Credit 6.1	Controllability of Systems—Lighting	1
	X	Credit 6.2	Controllability of Systems—Thermal Comfort	1
	X	Credit 7.1	Thermal Comfort—Design	1
	X	Credit 7.2	Thermal Comfort—Verification	1
	X	Credit 8.1	Daylight and Views—Daylight	1
	X	Credit 8.2	Daylight and Views—Views	1

☒ Innovation and Design Process Possible Points: 6

	X	Credit 1.1	Innovation in Design: Specific Title	1
	X	Credit 1.2	Innovation in Design: Specific Title	1
	X	Credit 1.3	Innovation in Design: Specific Title	1
	X	Credit 1.4	Innovation in Design: Specific Title	1
	X	Credit 1.5	Innovation in Design: Specific Title	1
	X	Credit 2	LEED Accredited Professional	1

☒ Regional Priority Credits Possible Points: 4

	X	Credit 1.1	Regional Priority: Specific Credit	1
	X	Credit 1.2	Regional Priority: Specific Credit	1
	X	Credit 1.3	Regional Priority: Specific Credit	1
	X	Credit 1.4	Regional Priority: Specific Credit	1

☒ Total Possible Points: 110

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lumens	LLF	Description
⊕	6	KT-LED14PSRD-6C-9CSF-DIM	Single	N.A.	0.900	Set at 14W Aviva Downlight

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Workplane Height	
Lot Area	Illuminance	Fc	1.77	11	0	N.A.	N.A.	0.25	

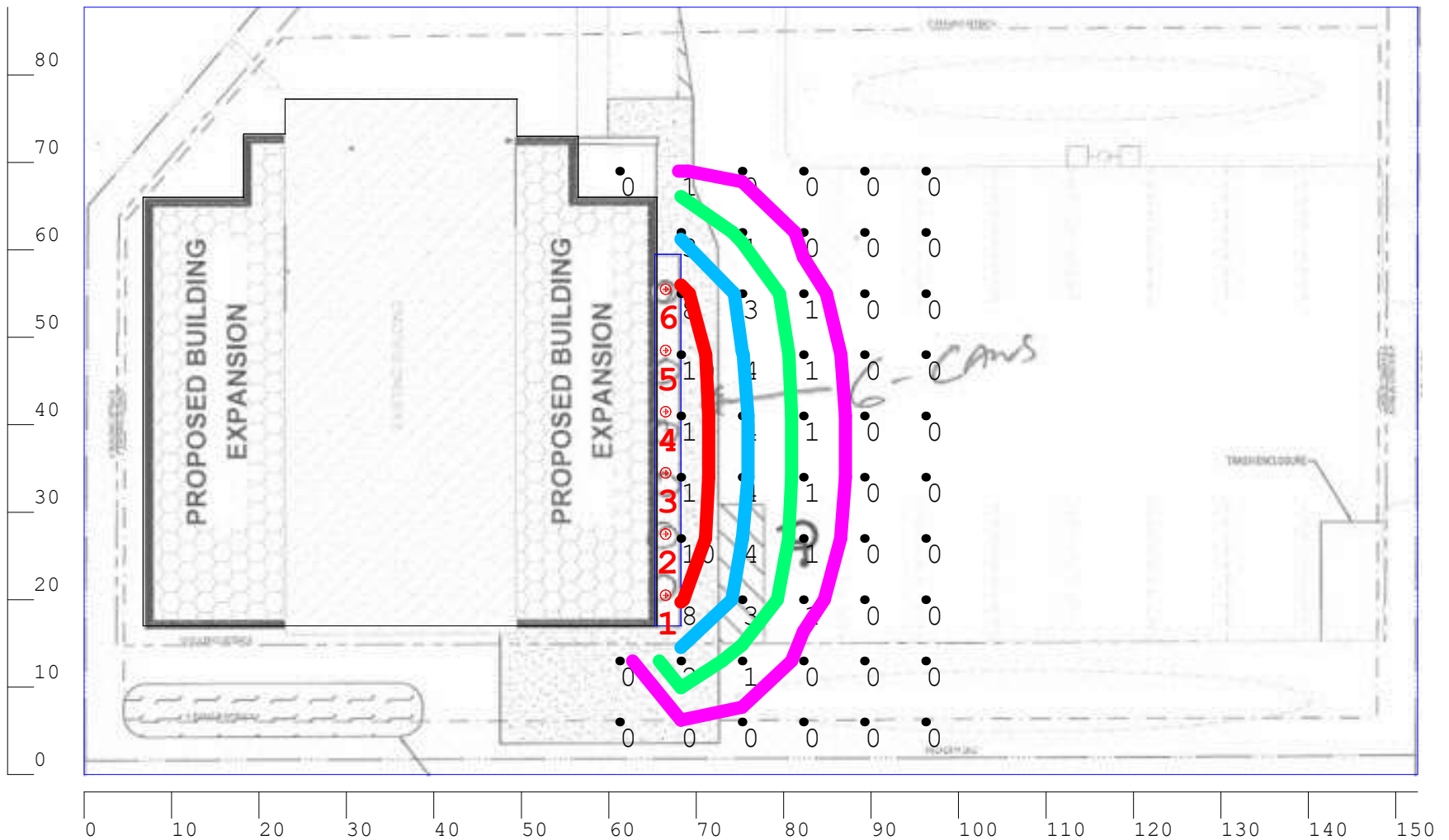
Luminaire Location Summary						
LumNo	Label	Insertion Point			Orient	Tilt
		X	Y	Mounting Height		
1	KT-LED14PSRD-6C-9CSF-DIM	66.5	20.5	10	0	0
2	KT-LED14PSRD-6C-9CSF-DIM	66.5	27.5	10	0	0
3	KT-LED14PSRD-6C-9CSF-DIM	66.5	34.5	10	0	0
4	KT-LED14PSRD-6C-9CSF-DIM	66.5	41.5	10	0	0
5	KT-LED14PSRD-6C-9CSF-DIM	66.5	48.5	10	0	0
6	KT-LED14PSRD-6C-9CSF-DIM	66.5	55.5	10	0	0



Project : St. Clare HM
KT-LED14
Recessed at 10'

Keystone Technologies Lighting Layout
2750 Morris Road
Lansdale, PA 19446
Phone 1-800-464-2680
Email: LightingLayouts@keystonetech.com





View of point by point

Project : St. Clare HM
KT-LED14

RED = 8+FC, BLUE = 4FC
GREEN = 2FC, VIOLET = 1FC

Keystone Technologies Lighting Layout

2750 Morris Road
Lansdale, PA 19446
Phone 1-800-464-2680
Email: LightingLayouts@keystonetech.com

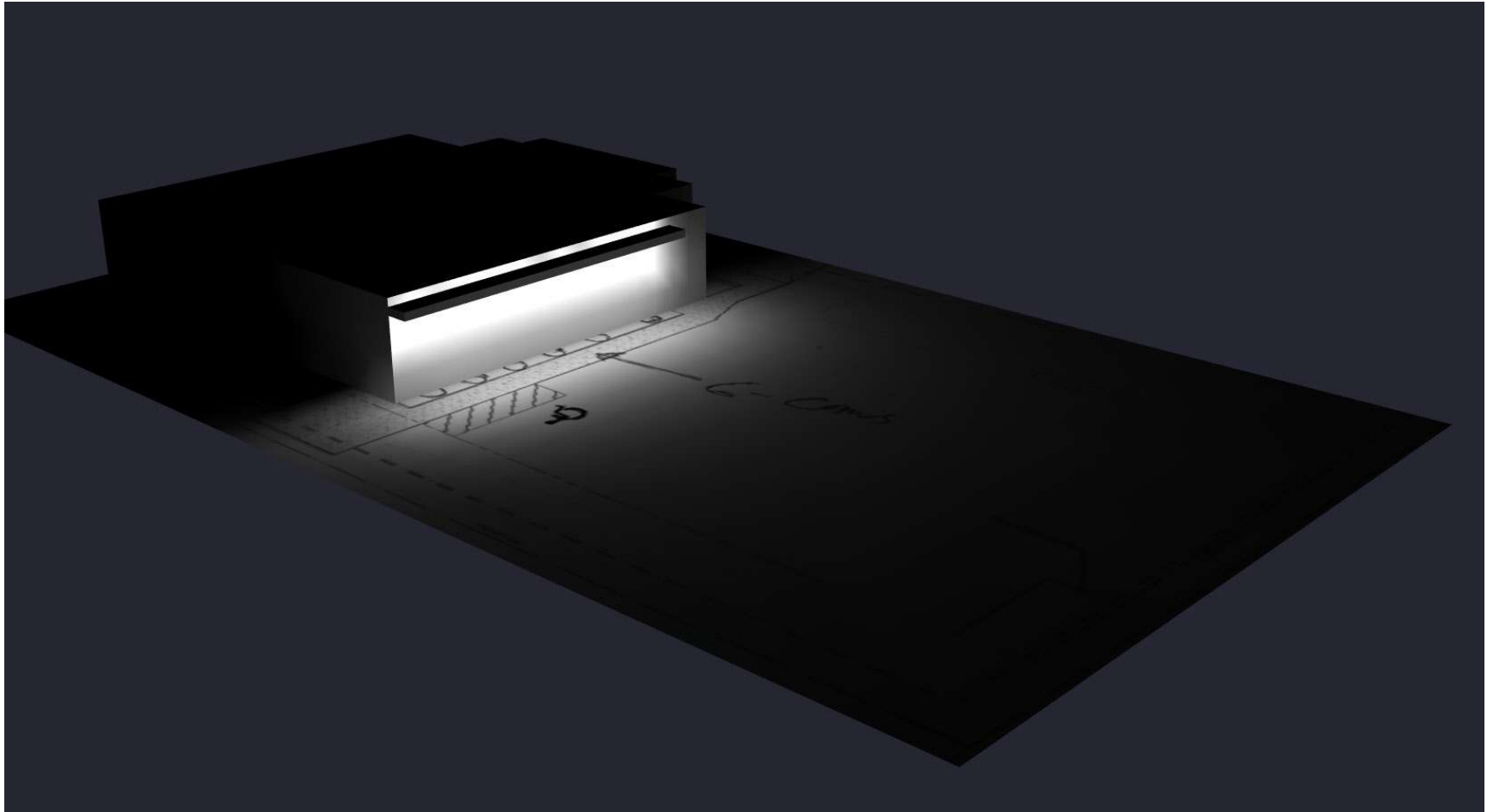




Project : St. Clare HM
KT-LED14
Recessed at 10'

Keystone Technologies Lighting Layout
2750 Morris Road
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Project : St. Clare HM
KT-LED14
Recessed at 10'

Keystone Technologies Lighting Layout
2750 Morris Road
Lansdale, PA 19446
Phone 1-800-464-2680
Email: LightingLayouts@keystonetech.com



Thank you for allowing Keystone Technologies the opportunity to create and provide this Lighting Layout report.

Illumination results shown on this lighting design are based on project parametrics provided to Keystone used in conjunction with luminaire photometric testing conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results, such as (but not limited to) windows, furnishings, floor/ceiling/wall surface texture reflectivity, site cleanliness, and lighting component tolerances. Illumination results shown have not been field verified by Keystone and therefore the actual measured results may vary from actual field conditions.

The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code. In no event will Keystone Technologies be held responsible for any loss resulting from any use of this lighting design.

Project : St. Clare HM
KT-LED14
Recessed at 10'

Keystone Technologies Lighting Layout

2750 Morris Road
Lansdale, PA 19446
Phone 1-800-464-2680
Email: LightingLayouts@keystonetech.com





City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0731

Agenda Date:

Version: 1

Status: Agenda Ready

In Control: Commercial/Multi-Family Design Review Committee

File Type: Review of Plans

Agenda Number: 2.

SYMBOLS	
KEYNOTE REFERENCE:	
KEYNOTE NUMBER	12
FINISH SCHEDULE REFERENCE:	
COLOR	P1
HEIGHT REFERENCE:	
REFERENCE POINT ELEVATION	CEILING 10'-0" A.F.F.
DOOR REFERENCE:	
DOOR NUMBER	8
DETAIL REFERENCE:	
DRAWING NUMBER SHEET NUMBER	12 A3
REVISION INDICATOR:	
REVISION NUMBER	1
SECTION REFERENCE:	
DRAWING NUMBER SHEET NUMBER	3 A2
WALL TYPE REFERENCE:	
WALL TYPE	A
ELEVATION REFERENCE:	
DRAWING NUMBER SHEET NUMBER	2 A4
WALL STATUS INDICATOR:	
EXISTING WALL	
NEW EXTERIOR WALL	
NEW INTERIOR WALL	
LINE TYPES:	
CENTER LINE	
HIDDEN LINE	
LEASE LINE	
STRUCTURE C.L.	

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
ACOUS.	ACOUSTICAL
ADJ.	ADJUSTABLE
AL.	ALUMINUM
BOT.	BOTTOM
BD.	BOARD
C.L.	CENTER LINE
CER.	CERAMIC
CAB.	CABINET
CONSTR.	CONSTRUCTION
CTR.	CENTER
CL.	CLEAR
COL.	COLUMN
CONT.	CONTINUOUS
DWG.	DRAWING
ELEC.	ELECTRICAL
EL. OR ELEV.	ELEVATION
EQ.	EQUAL
EQPT.	EQUIPMENT
EX. OR EXIST.	EXISTING
ETR	EXISTING TO REMAIN
FRP	FIBERGLASS REINFORCED PANELS
F.D.	FLOOR DRAIN
FDN	FOUNDATION
FTG.	FOOTING
G.C.	GENERAL CONTRACTOR
GA.	GAUGE
GEN.	GENERAL
GYP. BD.	GYPSUM BOARD
HC	HOLLOW CORE
H.M.	HOLLOW METAL
LAM.	LAMINATE
MAX.	MAXIMUM
MATL.	MATERIAL
MTL.	METAL
MIN.	MINIMUM
O.C.	ON CENTER
SC	SOLID CORE
STN. STL.	STAINLESS STEEL
STD.	STANDARD
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD

ADDITION TO EXISTING 2-STORY BUILDING BAR MAIN LEVEL AND APARTMENTS ON SECOND FLOOR 1019 10TH STREET S LACROSSE, WI 600 S.F. ONE STORY ADDITION

La Crosse County Web Map



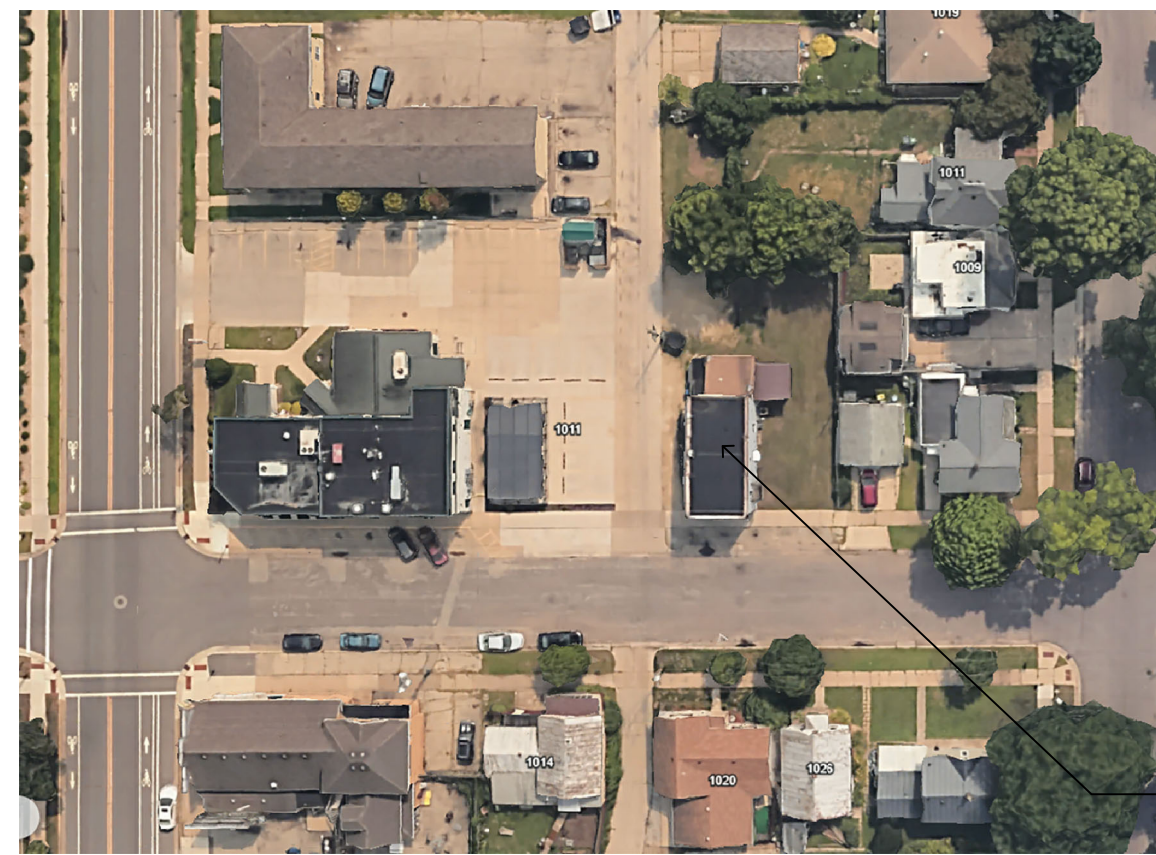
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Municipality Limits Labels
Municipality Limits
TaxParcels_Lines
Road Centerlines
Local Road
Property Owners with Assessments
World Imagery

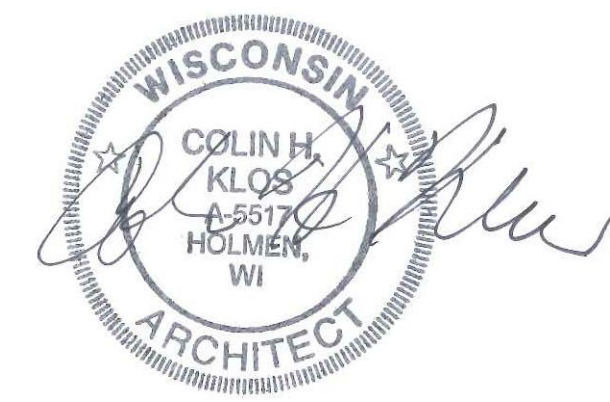
Low Resolution 15m Imagery
High Resolution 60cm Imagery
High Resolution 30cm Imagery
Citations

1:172
0 0 0 0.01 mi
0 0 0 0.01 km

La Crosse County WI Zoning Planning and Land
Information Department
212 6th St N, Suite 1300
La Crosse, WI 54601
<https://lacrossecounty.org/zoning>



1019 10TH STREET S.



MIDWEST
Design & Development, LLC
N5660 CTH ZM, Suite 3 Onalaska, WI 54650
PH: 608-785-2760

DRAWING INDEX

ARCHITECTURAL

- T1 TITLE SHEET / SITE / CODE DATA
A1.0 FLOOR PLAN, FOUNDATION, ELEVATION

CODE DATA

I. PROJECT SCOPE:

THIS IS A 600 SQUARE FOOT ADDITION TO AN EXISTING COMMERCIAL BUILDING. NEW FOOTINGS, WOOD FLOORING SYSTEM, WOOD WALLS, AND WOOD TRUSS SYSTEM, THE MAIN LEVEL AND SECOND LEVEL ARE UN-SPRINKLERED.

II. GOVERNING CODES – STATE OF WISCONSIN – CITY OF LACROSSE

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING ADOPTED CODES:

- 2015 IBC WITH 2018 WISCONSIN AMENDMENTS (SPS 362)
2015 IMC WITH 2018 WISCONSIN AMENDMENTS (SPS 364)
2009 WISCONSIN ELECTRIC CODE (SPS 316)
2018 WISCONSIN PLUMBING CODE (SPS 381-387)
2015 IECC WITH 2018 WISCONSIN AMENDMENTS (SPS 362)
2015 NFPA 101 LIFE SAFETY CODE
2015 INTERNATIONAL FIRE CODE
ACCESSIBILITY: 2009 ANSI 117.1 (IBC CHP 11)

III. BUILDING CLASSIFICATIONS:

- A. OCCUPANCY GROUP: –SEC. 300
–SEC. 309 – B – (BUSINESS) OFFICE BUILDING
B. CONSTRUCTION TYPE: TYPE V–B
ALLOWABLE AREA (TABLE 506.2) 9,000 SQ FT
ALLOWABLE STORIES (TABLE 504.4) 2 STORIES
ALLOWABLE HEIGHT (TABLE 504.3) 40 FT
C. 600 SQ FT OF ADDITION

GENERAL NOTES

ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECTS FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

'TYP.' SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS OTHERWISE NOTED, DETAILS ARE USUALLY KEYED AND NOTED 'TYP.' ONLY ONCE WHEN THEY FIRST OCCUR.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN AND ORDERLY CONDITION UPON THE COMPLETION OF HIS WORK ON A DAILY BASIS. ALL WASTE, RUBBISH AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROMPTLY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH FOR THE DURATION OF THE PROJECT.

CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2–A OR 2–A/10BC WITHIN 75' TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING DURING CONSTRUCTION

EACH TENANT SPACE WILL PROVIDE THEIR OWN BOTTLED WATER COOLER.
IBC 2902.1/SPS 362.2902(1)(a)2

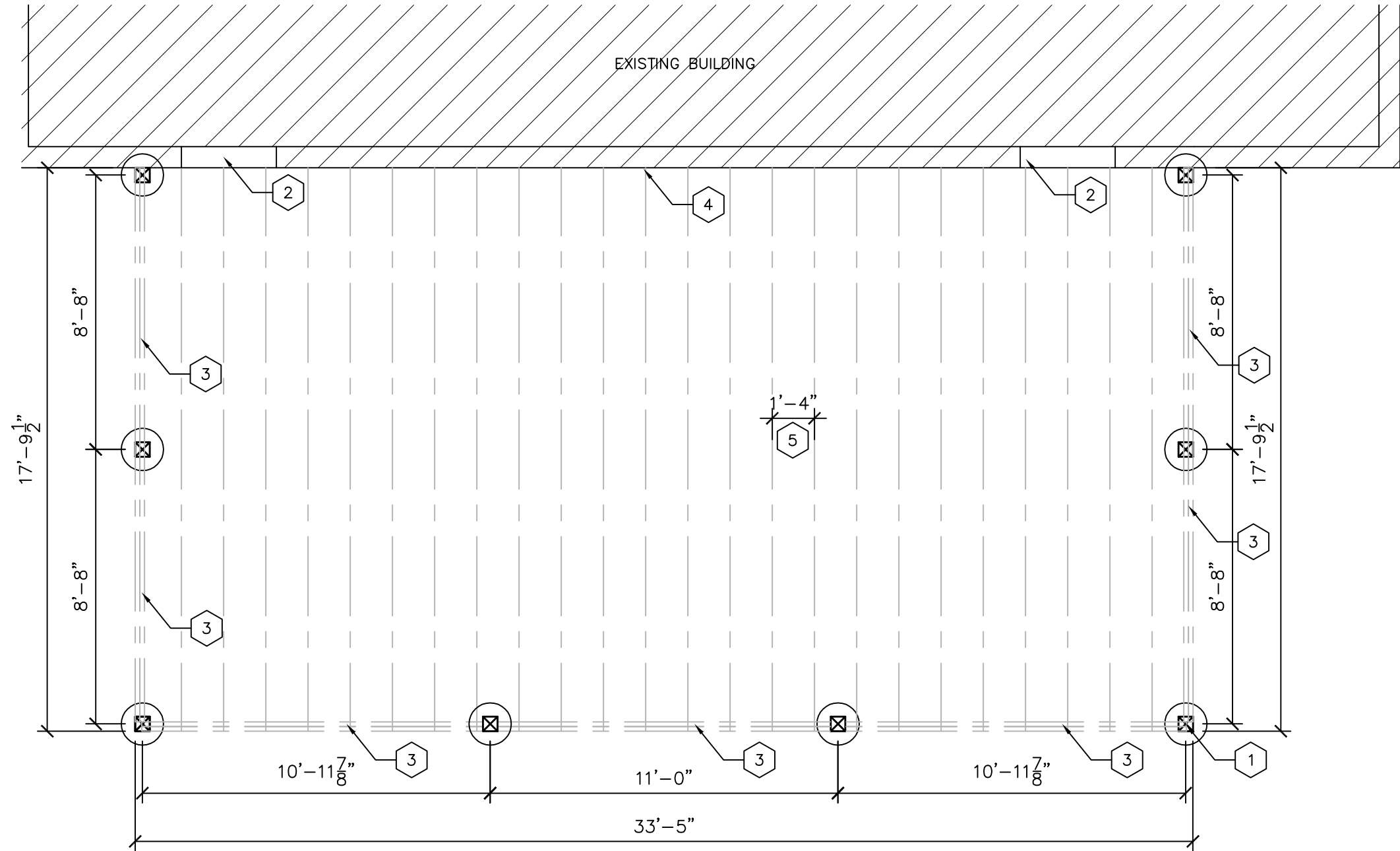
ADDITION FOR
TAILGATORS
1019 10TH STREET S,
La Crosse, WI 54601

No.	Date	Description

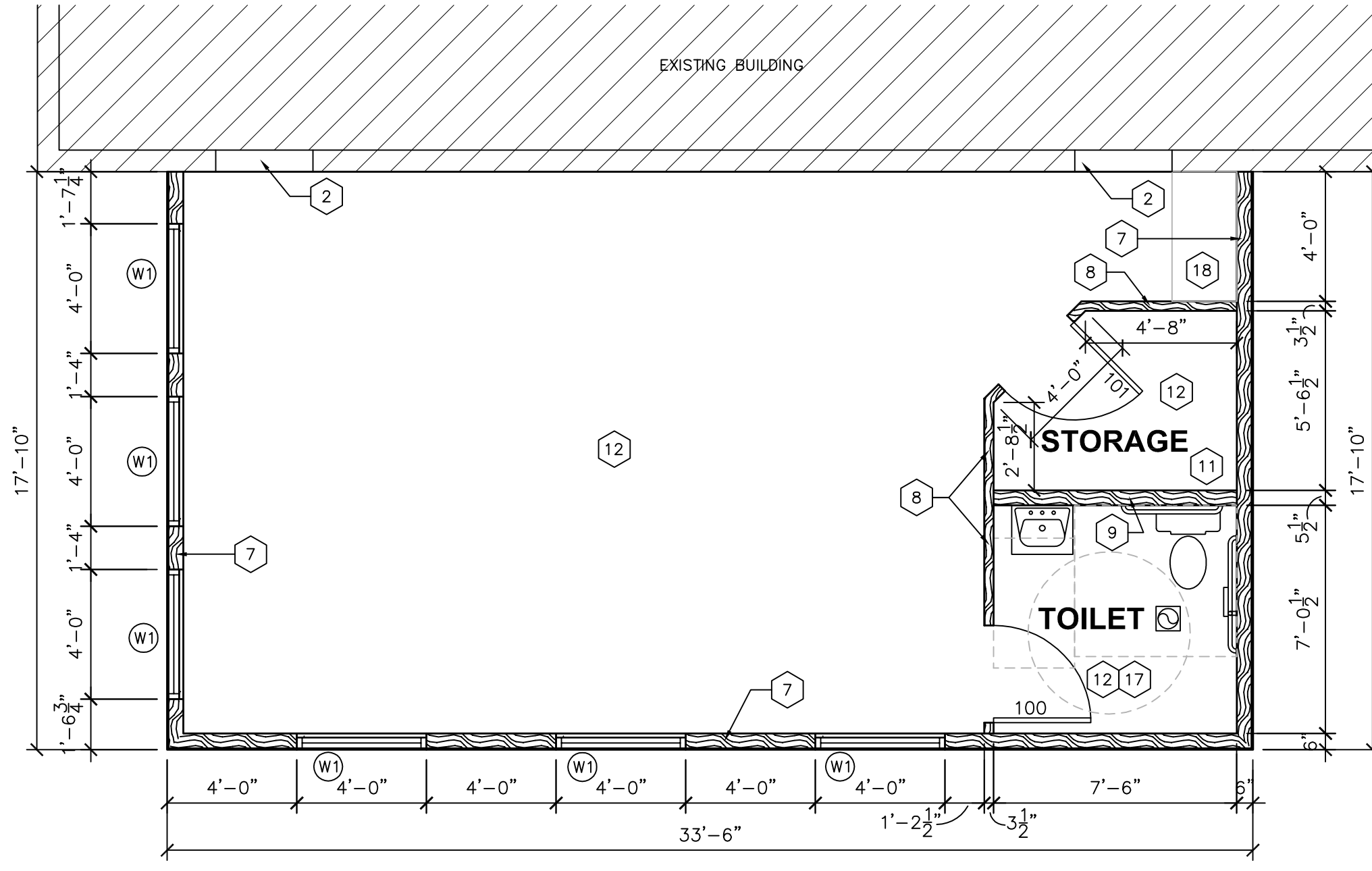
TITLE SHEET
SITE PLAN
CODE INFO

Project Number	25-152.006
Date	06/13/25
Drawn By	TRB
Checked By	TRB

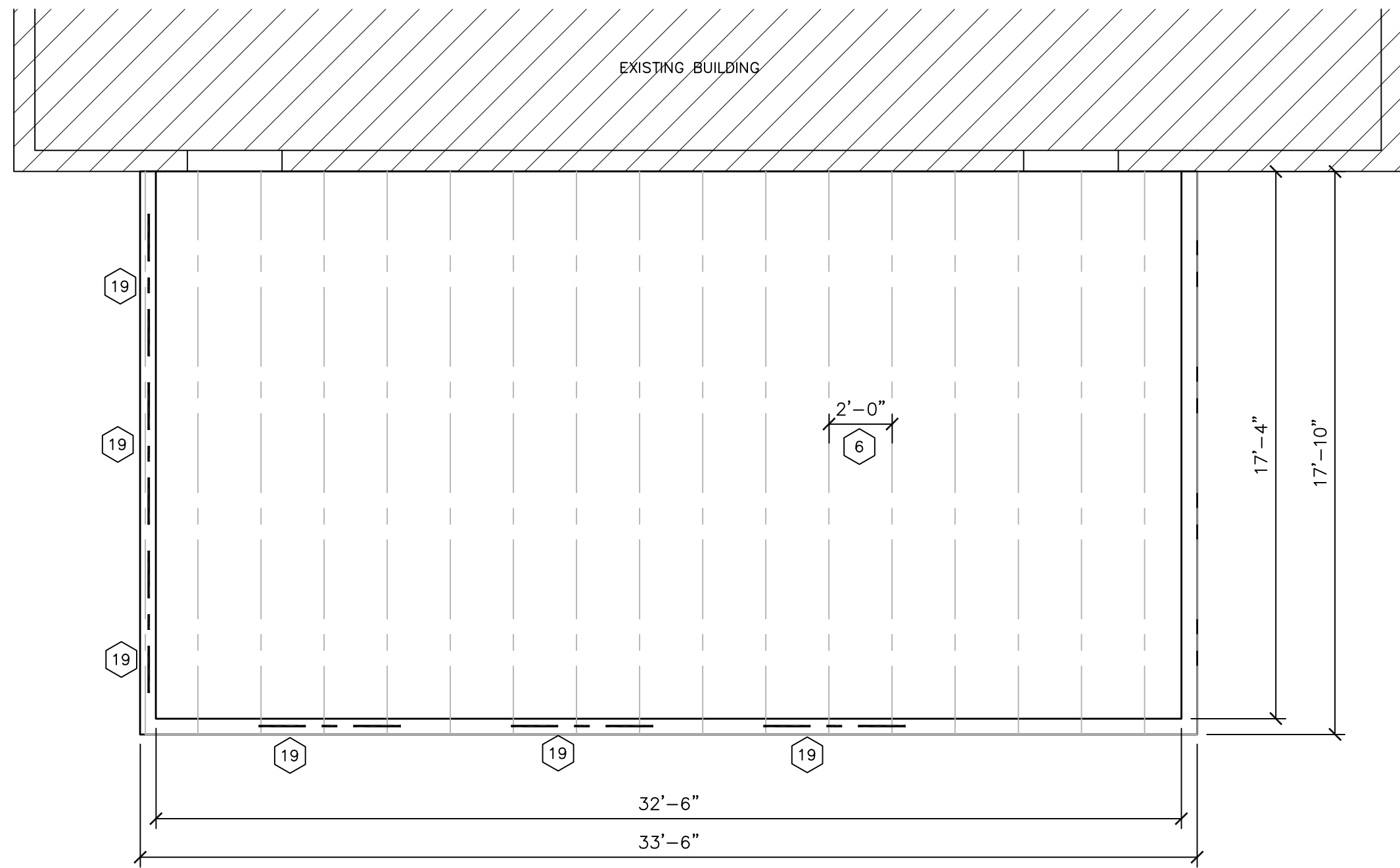
T1
Scale 3/16" = 1'-0"



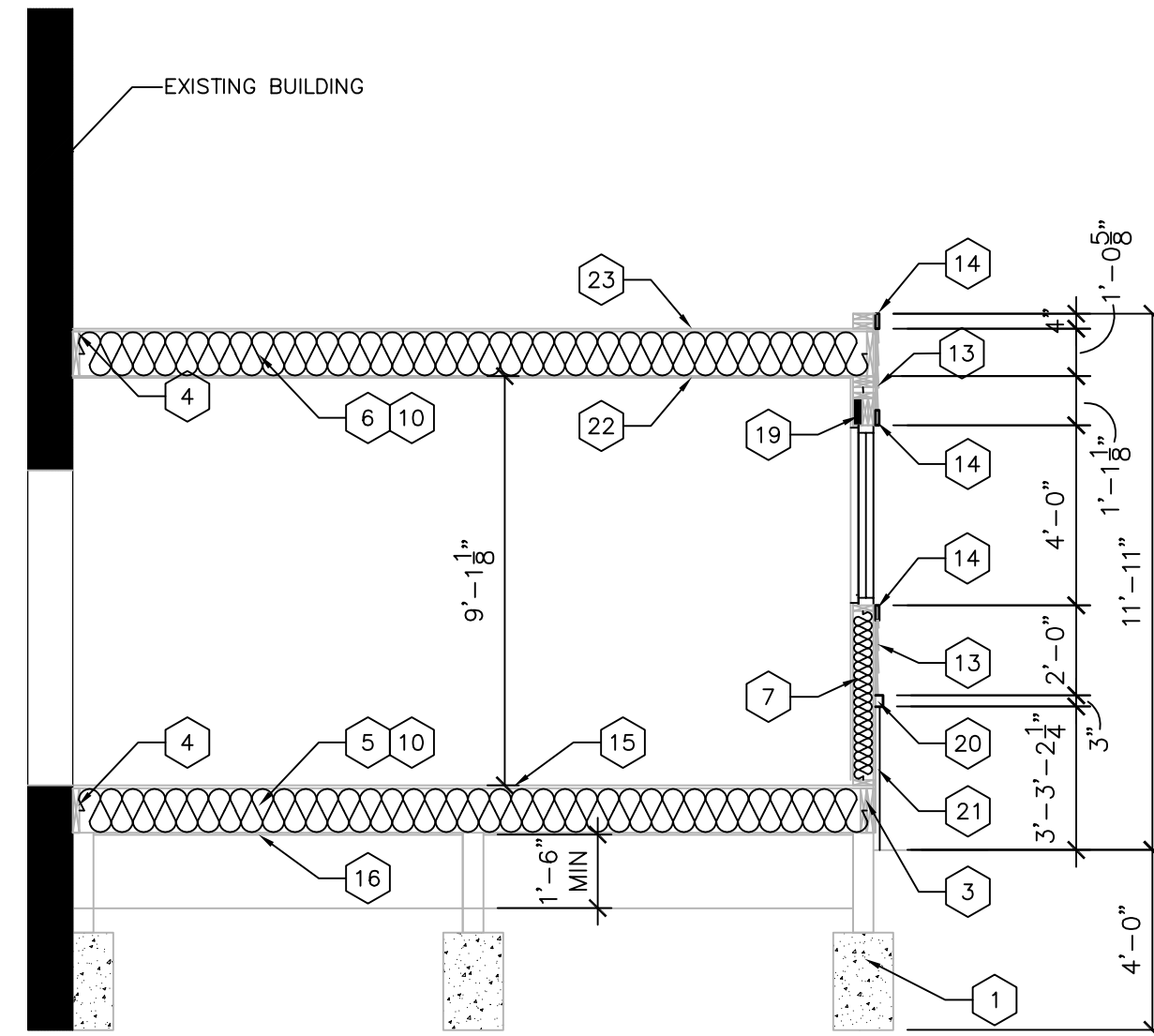
1 FOUNDATION PLAN
1/4" = 1'-0"



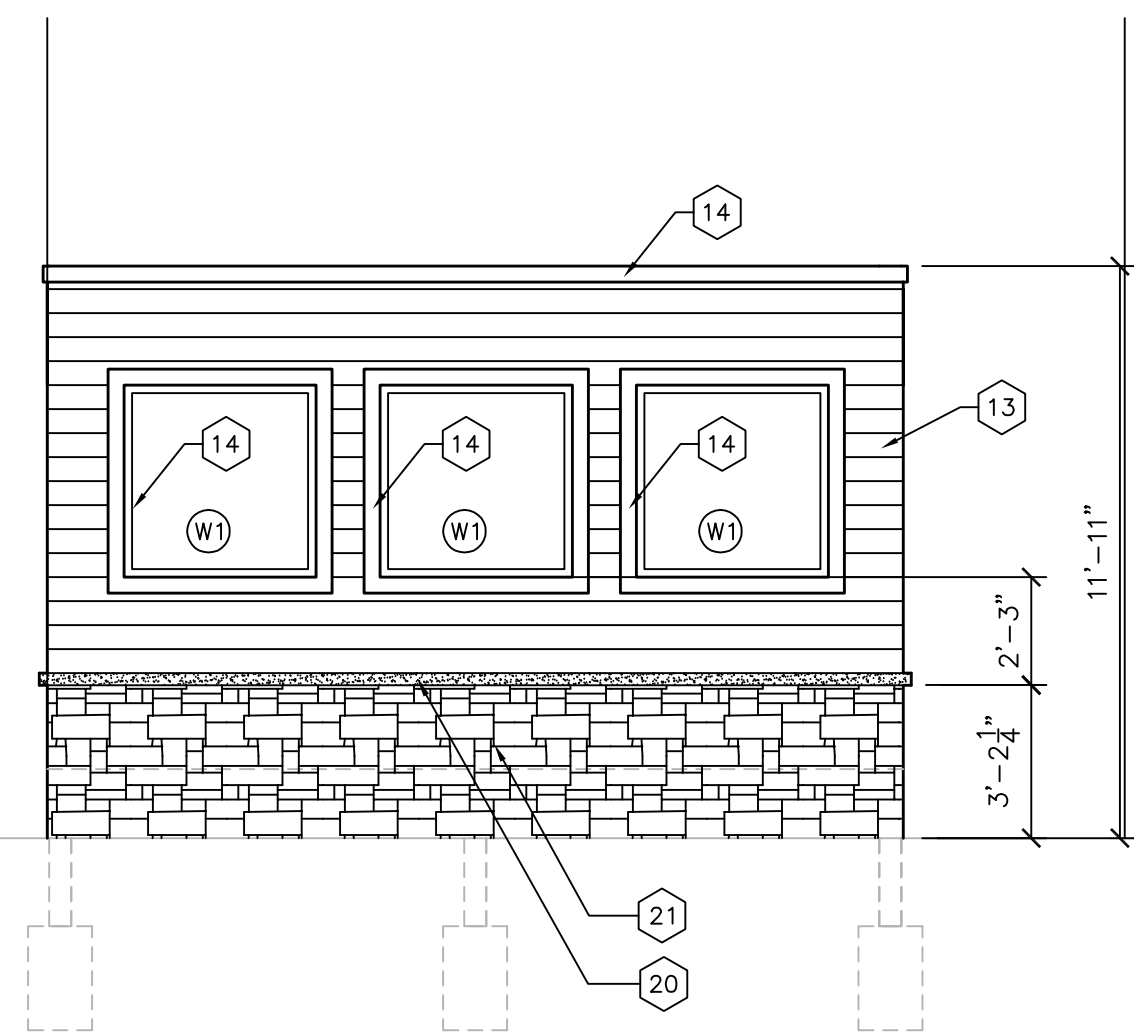
2 CONSTRUCTION PLAN
1/4" = 1'-0"



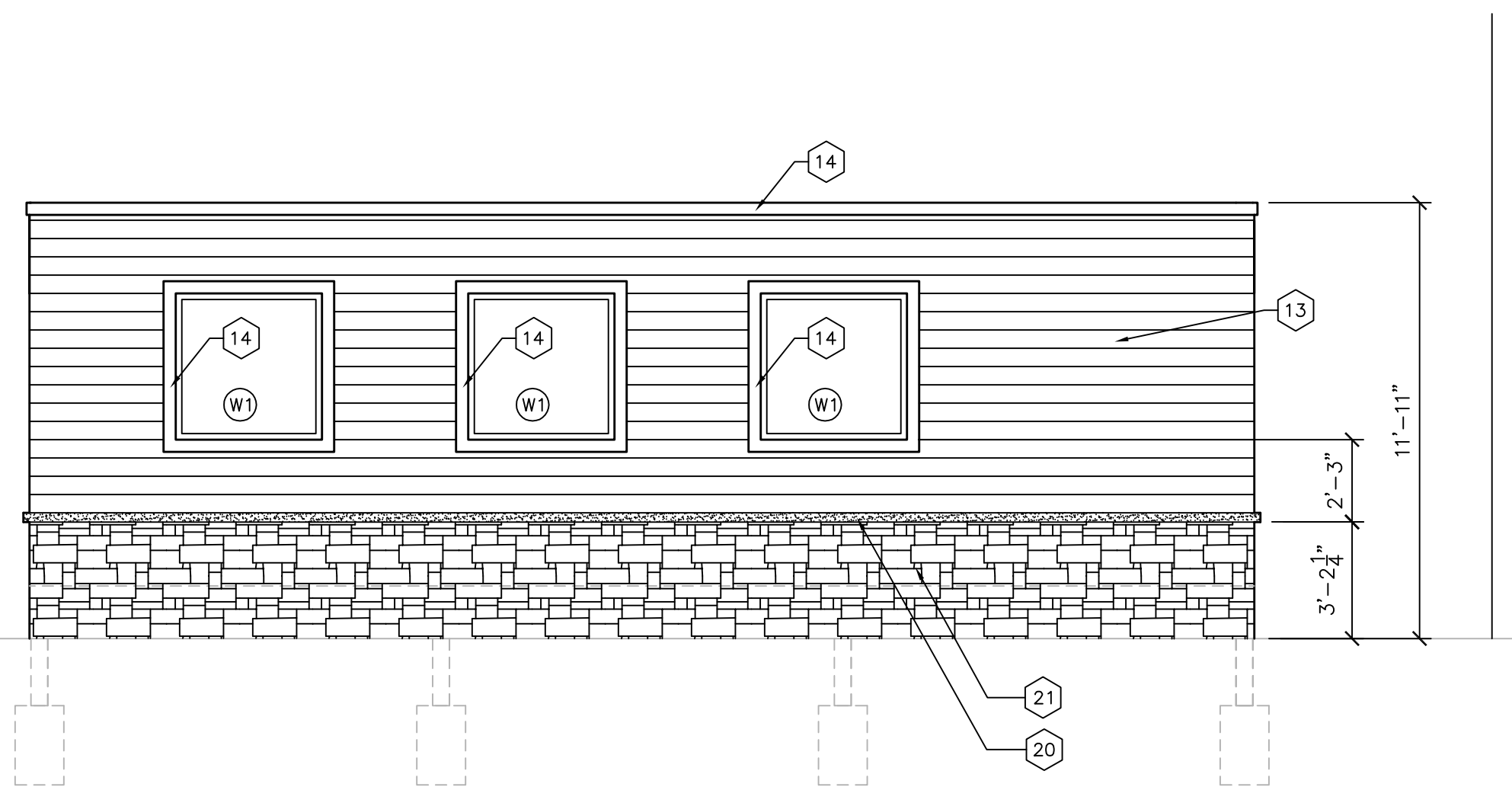
3 ROOF FRAMING PLAN
1/4" = 1'-0"



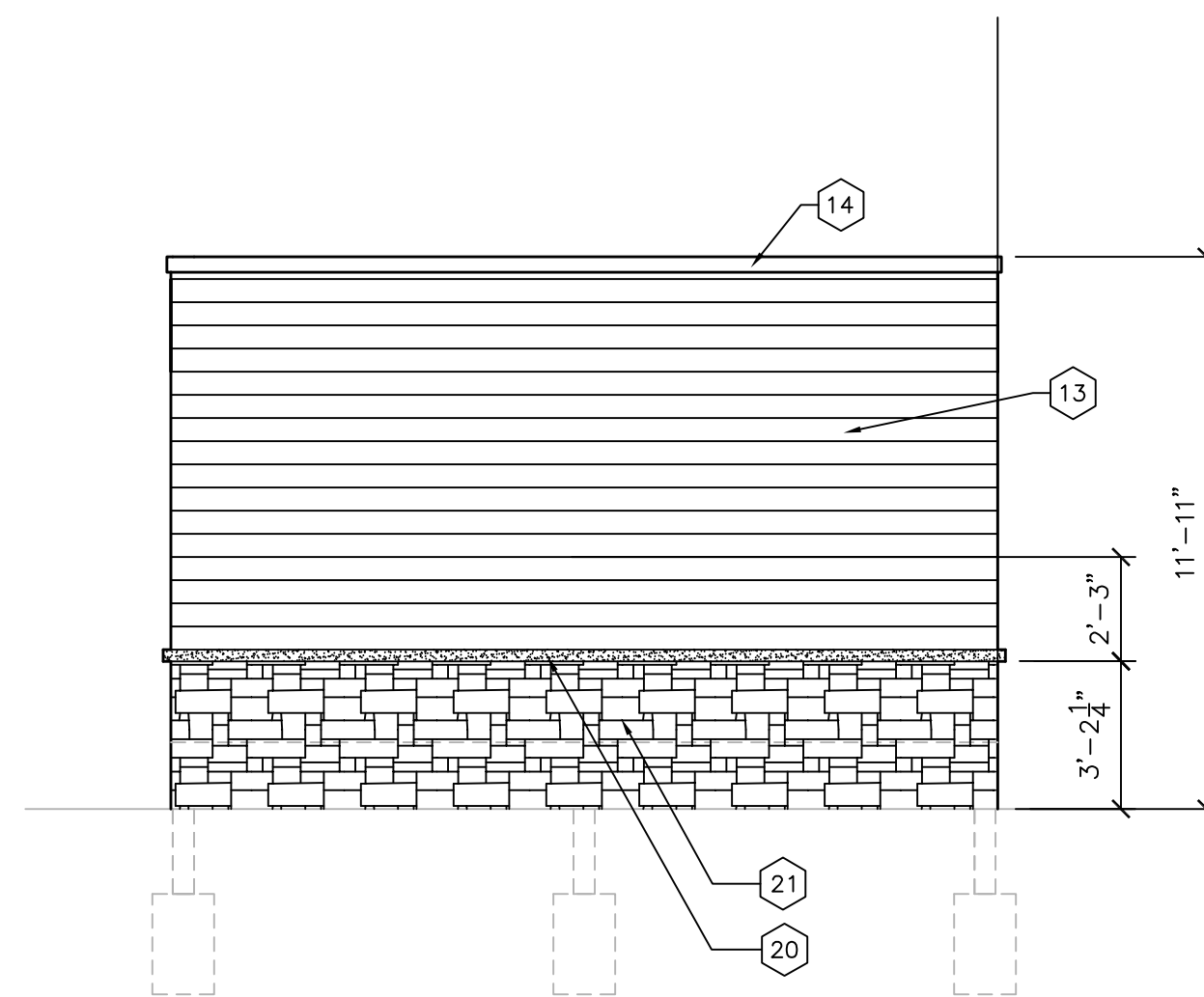
4 BUILDING SECTION
1/4" = 1'-0"



5 LEFT ELEVATION
1/4" = 1'-0"



6 FRONT ELEVATION
1/4" = 1'-0"



7 RIGHT ELEVATION
1/4" = 1'-0"

DOOR AND HARDWARE SCHEDULE						
DOOR #	LOCATION	SIZE	MATERIAL	FRAME	HARDWARE GROUP	NOTES
100	RESTROOM	3'-0" x 6'-8"	S.C. WOOD	WOOD	1	NOTE #1
101	STORAGE	3'-0" x 6'-8"	S.C. WOOD	WOOD	2	NOTE #1
HARDWARE GROUPS						
1. RESTROOM		2. UTILITY		1. HARDWARE COLOR AND FINISHES TO BE SELECTED/APPROVED BY OWNER USD26 SATIN NICKEL FOR BIDDING		
-1 1/2 PAIR HINGES -PRIVACY LOCKSET -DOOR STOP (WALL) -CLOSER -DOOR SILENCERS		-1 1/2 PAIR HINGES -STOREROOM LOCKSET -DOOR STOP (WALL) -CLOSER -DOOR SILENCERS				

WINDOW SCHEDULE							
MARK	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	U-VALUE	SHGC	COUNT
(W1)	3'-11 1/4"	3'-11 1/4"	4'-0"	4'-0"	.24	.31	6
ALL WINDOWS EQUAL TO: RICHLIN 701 SERIES FIXED BLACK EXTERIOR BLACK INTERIOR LOW E / ARGON FOAM FILLED W/ NAIL FINIS TEMPERED AS NOTED U-VALUE = .24 SHGC = .31 VT = .46 CR = 64							

FINISH SCHEDULE	
[S1]	EDCO "CEDARWOOD HD" VERTICAL SIDING
[F1]	EDCO SOFFIT & FASCIA & 3"x4" GUTTER & DOWNSPOUTS "BLACK"
[R1]	CERTAINTED 50 YEAR ARCHITECTURAL ASPHALT SHINGLE - COLOR TO BE SELECTED

GENERAL NOTES	
1.	FIELD VERIFY ALL EXISTING SITE CONDITIONS, CONTOUR AND GRADES
2.	TAPE, FLASH AND CAULK ALL WINDOWS PER WINDOW INSTALLATION REQUIREMENTS.
3.	ALL UTILITIES FOR NEW ADDITION ARE FED FROM EXISTING BUILDING

KEYNOTES	
(1)	NEW 16" DIA SONOTUBE WITH 6X6 TREATED POST (TYP OF 8 LOCATIONS)
(2)	DEMO 36" WIDE OPENING IN EXISTING WALL FOR ACCESS TO NEW ADDITION. TYPICAL OF 2 LOCATIONS.
(3)	(2) 1-3/4"x11-7/8" LVL AT PERIMETER OF NEW POSTS
(4)	(1) 1-3/4"x11-7/8" LVL ATTACHED TO EXISTING EXTERIOR WALL.
(5)	210 SERIES 11-7/8" TJI FLOOR JOISTS @ 16" O.C. ATTACHED WITH JOIST HANGERS AND HANGER FASTENERS.
(6)	230 SERIES 11-7/8" TJI FLOOR JOISTS @ 24" O.C. ATTACHED WITH JOIST HANGERS AND HANGER FASTENERS.
(7)	2X6 WOOD STUD WALL W/ R21 BATT INSULATION, 5/8" GYP BD OVER 6MIL VAPOR BARRIER AT INSIDE AND 1/2" OSB W/ WEATHER BARRIER AT EXTERIOR
(8)	2X4 WOOD STUD WALL WITH 5/8" GYP BD EACH SIDE
(9)	2X6 WOOD STUD WALL WITH 5/8" GYP BD EACH SIDE
(10)	12" BATT INSULATION INSIDE 11-7/8" FLOOR JOIST CAVITY.
(11)	NEW LAUNDRY TUB SINK
(12)	LVP FLOORING WITH 4" RUBBER BASE. PROVIDE TRANSITION STRIPS AS REQUIRED AT NEW PASS THRU OPENINGS.
(13)	LP SMART SIDING
(14)	3/4"x3-1/2" LP TRIM BOARD AT WINDOWS & TOP OF WALL
(15)	3/4" OSB SUBFLOOR
(16)	1/2" OSB AT UNDERSIDE OF FLOOR JOISTS.
(17)	NEW TOILET ROOM FIXTURES, TOILET, SINK, GRAB BARS, MIRROR, SOAP, PAPER TOWEL AND TOILET PAPER DISPENSERS.
(18)	NEW COUNTERTOP, VERIFY MOUNTING HEIGHT
(19)	DBL 2X8 WOOD HEADERS W/ 3" BEARING EACH SIDE AT WINDOWS (TYP OF 6 LOCATIONS)
(20)	STONE CAP
(21)	STONE
(22)	5/8" GYP BD.
(23)	1/2" OSB AT ROOF DECK WITH EPDM RUBBER ROOF SYSTEM



ADDITION FOR
TAILGATORS
1019 10TH STREET S,
La Crosse, WI 54601

No.	Date	Description

PROPOSED
BASEMENT PLAN

Project Number	25-152.006
Date	06/13/25
Drawn By	TRB
Checked By	TRB

A1

Scale 3/16" = 1'-0"



COMMERCIAL DEVELOPMENT DESIGN STANDARDS APPLICATION

Planning Department • Phone 608.789.7512 • Fax 608 789.7318

<http://www.cityoflacrosse.org>

Planning@cityoflacrosse.org

Permit No.:

Date:

Parcel No.:

STATUS:

OWNER

Name: Jason Larsen

Address: 916 Ferry St

City: La Crosse, WI

Phone: 608.519.4633

Cell:

Fax:

E-mail: jasonlarsen@stclarehealthmission.org

ARCHITECT
CONTRACTOR

Name: Adam Voth, AIA

Address: 201 Main St Suite #1020

City: La Crosse

Phone: (608) 789-2034

Cell:

Fax:

E-mail: Adam.Voth@ISGInc.com

PROJECT

Check One: ☐ Building ☒ Addition ☒ Alteration/Remodel

Description of Work:

Renovation and addition of a former chiropractor clinic 406 Jackson Street in order to accommodate the new use of primary care facilities for St Clare Health Mission. The proposed project involves interior renovation a building addition to retrofit the space for primary care services. Space programming will include: New exam rooms, offices, and clinical support areas; A pharmacy for basic over-the-counter medications; A laboratory for essential basic diagnostic tests such as urinalysis.

Pre-application Meeting Date: 5/01/2025

Applying for Exception: ☒ No ☐ Yes (Include \$300 Check for Public Notification)

PROPERTY

Project Address: 406 Jackson Street

Zoning District: TND

Parcel Number: 17-30091-70

Address: 406 Jackson Street

Address same as property owner's address: ☐

City: La Crosse

State: WI

Zip Code: 54601

OFFICIAL
USE ONLY

Date Received:

Review Date:

Exception Check:

☐ Yes

☐ No

Required Information:

☐ Site Plan

☐ Architecture Plan

☐ Landscape Plan

☐ Building Elevations & Materials

☐ Exterior Light Diagram

☐ LEED Checklist

☐ Photos

The applicant agrees that all design aspects and maintenance plans are in accordance with the requirements of Section 15.47 of the Code of Ordinances for the City of La Crosse. Application, the checklist, and seven (7) sets of required information must be submitted to the City Inspection Department prior to review and acceptance.

Adam Voth, AIA

(PRINT) Architect/Engineer Name

Signature (Architect/Engineer)

Date

Jason Larsen

(Print) Owner Name

Signature (Owner)

6/12/2025

Date

Back of Application