

Board of Zoning Appeals

FEBRUARY 16TH, 2026

4:00 PM

Requirements for granting a variance

- Unnecessary Hardship
- Hardship Due to Unique Property Limitations
- No Harm to Public Interests

412 Liberty St

412 Liberty St.

- The applicant has applied for a permit to construct a new Single-Family Dwelling that does not meet the 15 feet of fill requirement for construction in the Flood fringe district on both the North and South side of the property.
- Sec. 115-281 – Floodfringe district (FF) 1. The fill shall be one foot or more above the regional flood elevation extending at least 15 feet beyond the limits of the structure.
- A variance of 12.6 feet on the North and 15 feet on the South side of the property would need to be granted.



DIGNITY HOMES

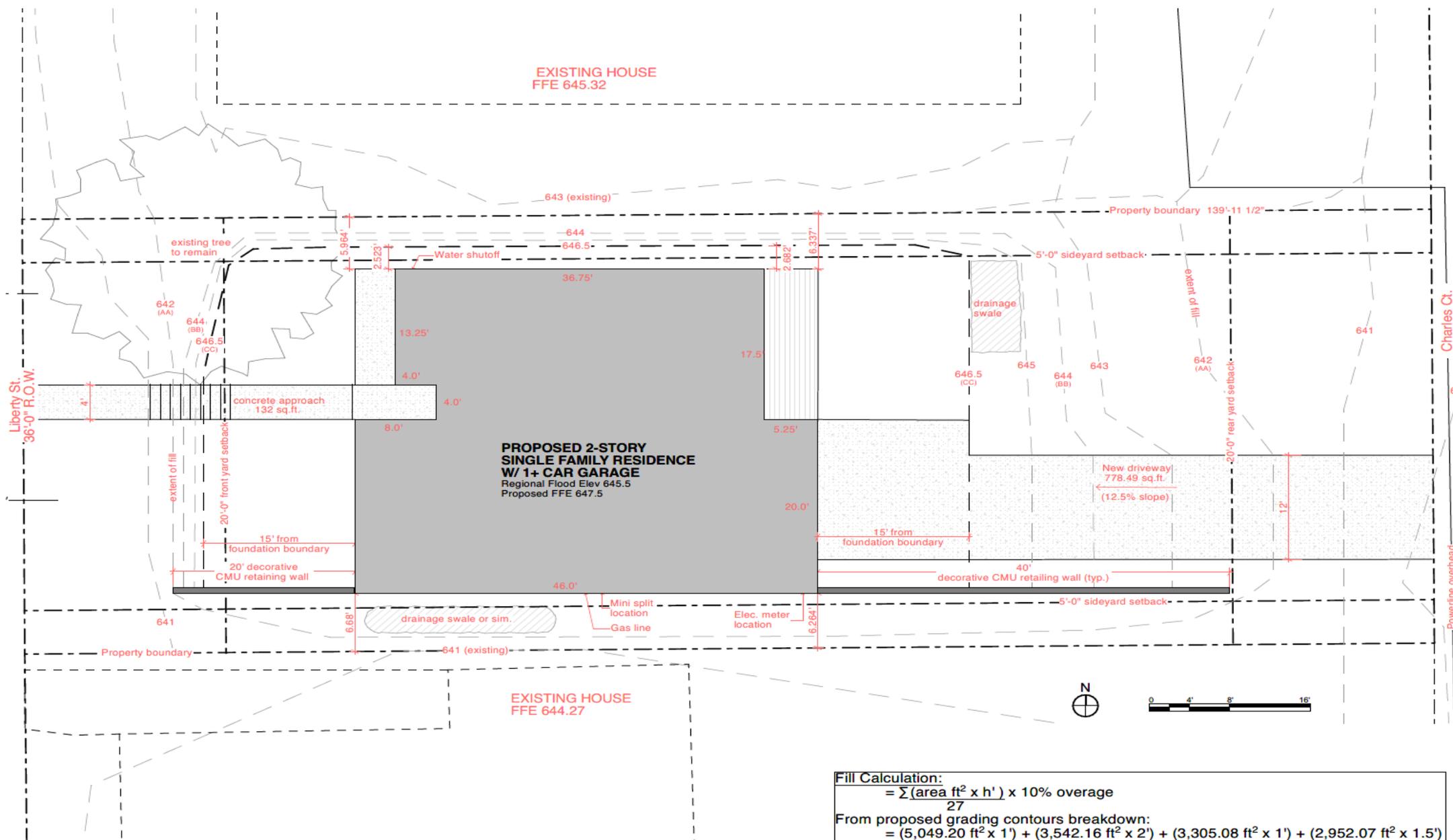
412 Liberty St.
La Crosse, WI 54601

Description:

Proposed Site Plan

Sheet:

0.1



Fill Calculation:

$$= \sum \frac{(\text{area ft}^2 \times h')}{27} \times 10\% \text{ overage}$$
 From proposed grading contours breakdown:

$$= (5,049.20 \text{ ft}^2 \times 1') + (3,542.16 \text{ ft}^2 \times 2') + (3,305.08 \text{ ft}^2 \times 1') + (2,952.07 \text{ ft}^2 \times 1.5')$$

$$= 19,866.71 \text{ cu ft} / 27$$

$$= 735.8 \text{ yards} \times 1.10$$
Total fill material needed: 810 yards

1
0.1
SITE PLAN
SCALE: 1" = 10'

Client:
Dignity Homes
P.O. Box 532 La Crosse
WI 54602

SCHEMATIC DESIGN
DOCUMENTS DEPICTING
DESIGN INTENTION ONLY

DIGNITY HOMES

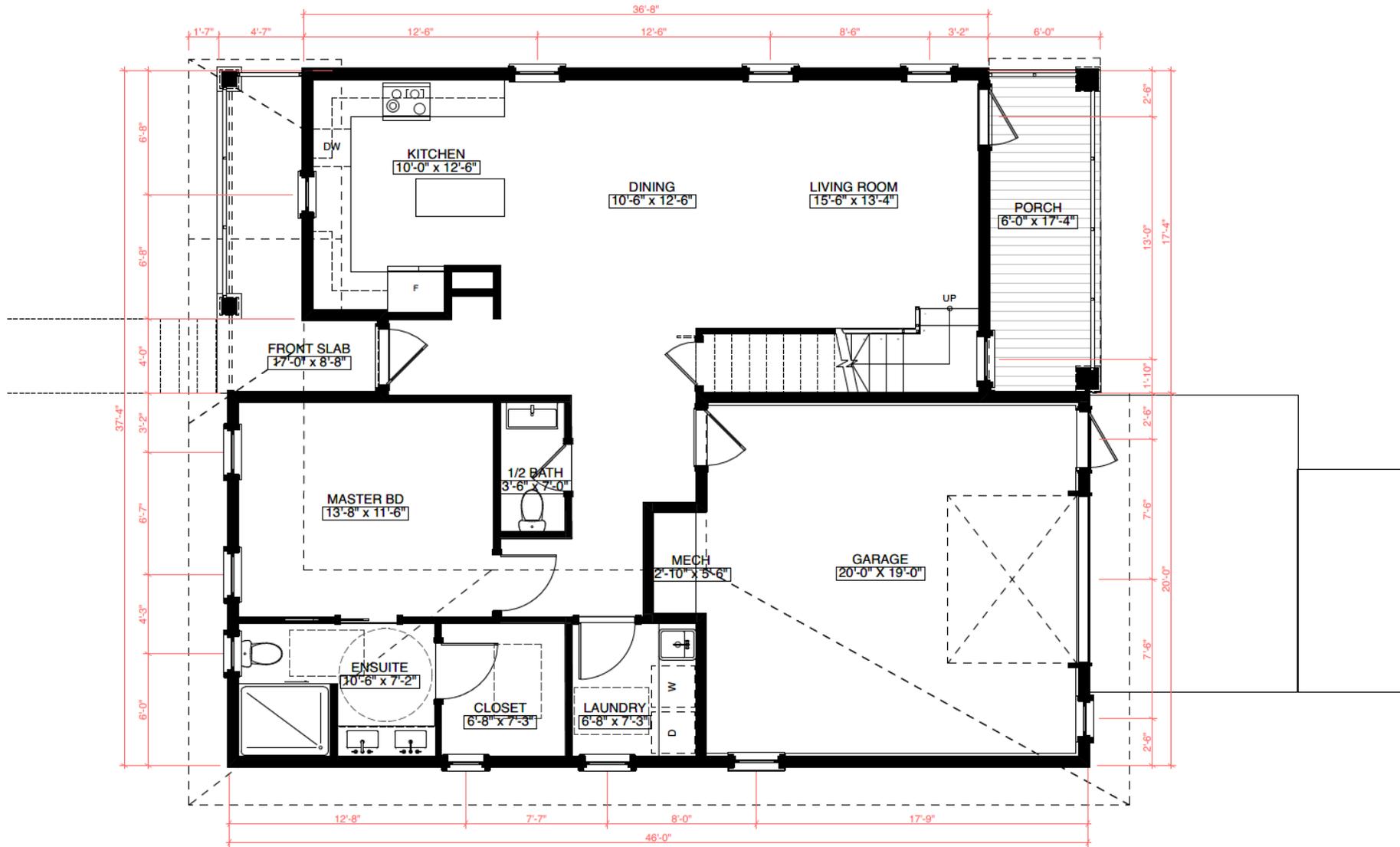
412 Liberty St.
La Crosse, WI 54601

Description:
Main Level

Sheet:

1.0

Printed: 2/10/26



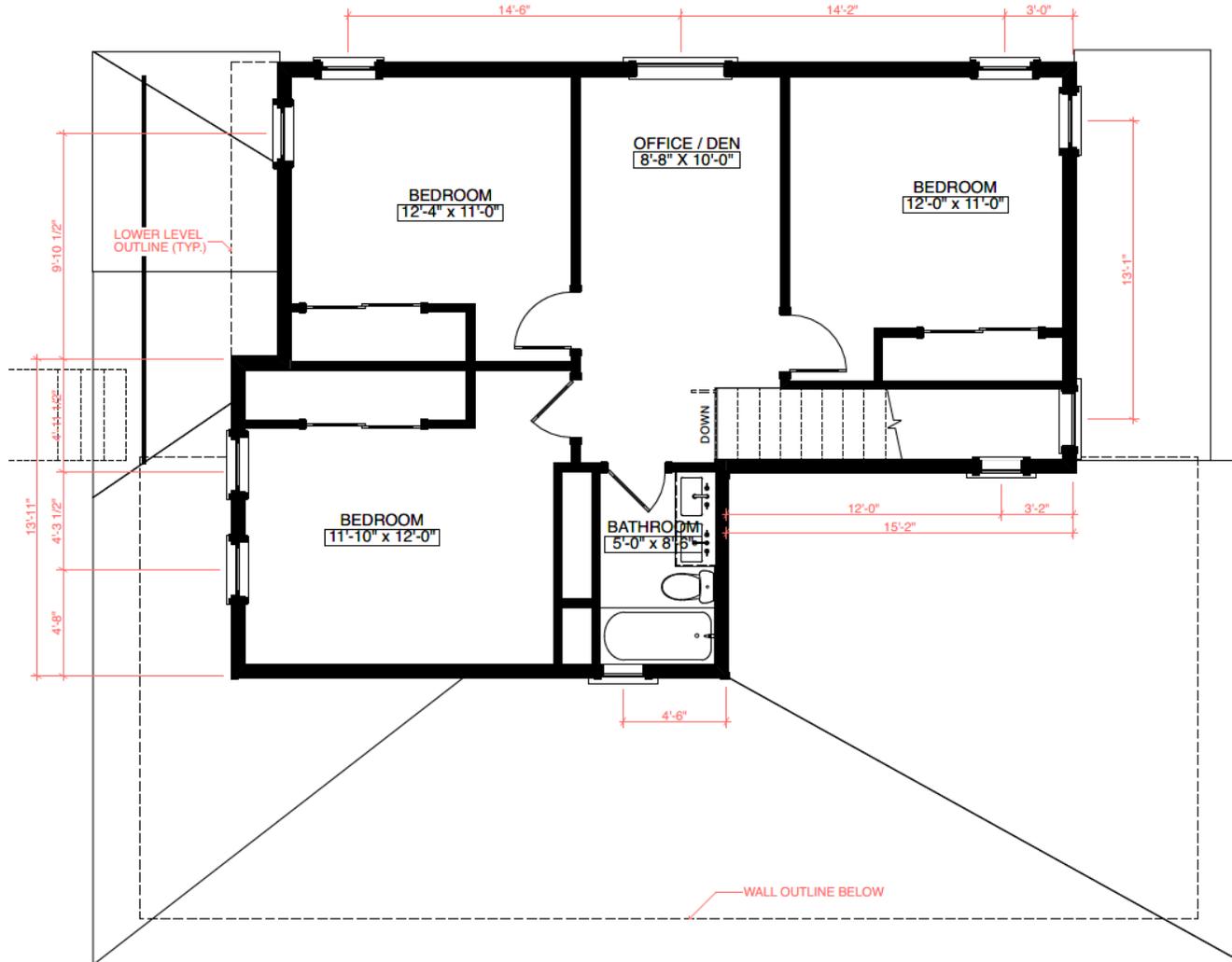
1
1.0

MAIN LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"

Client:
Dignity Homes
P.O. Box 532 La Crosse
WI 54602

SCHEMATIC DESIGN
DOCUMENTS DEPICTING
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1
1.2

UPPER LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"

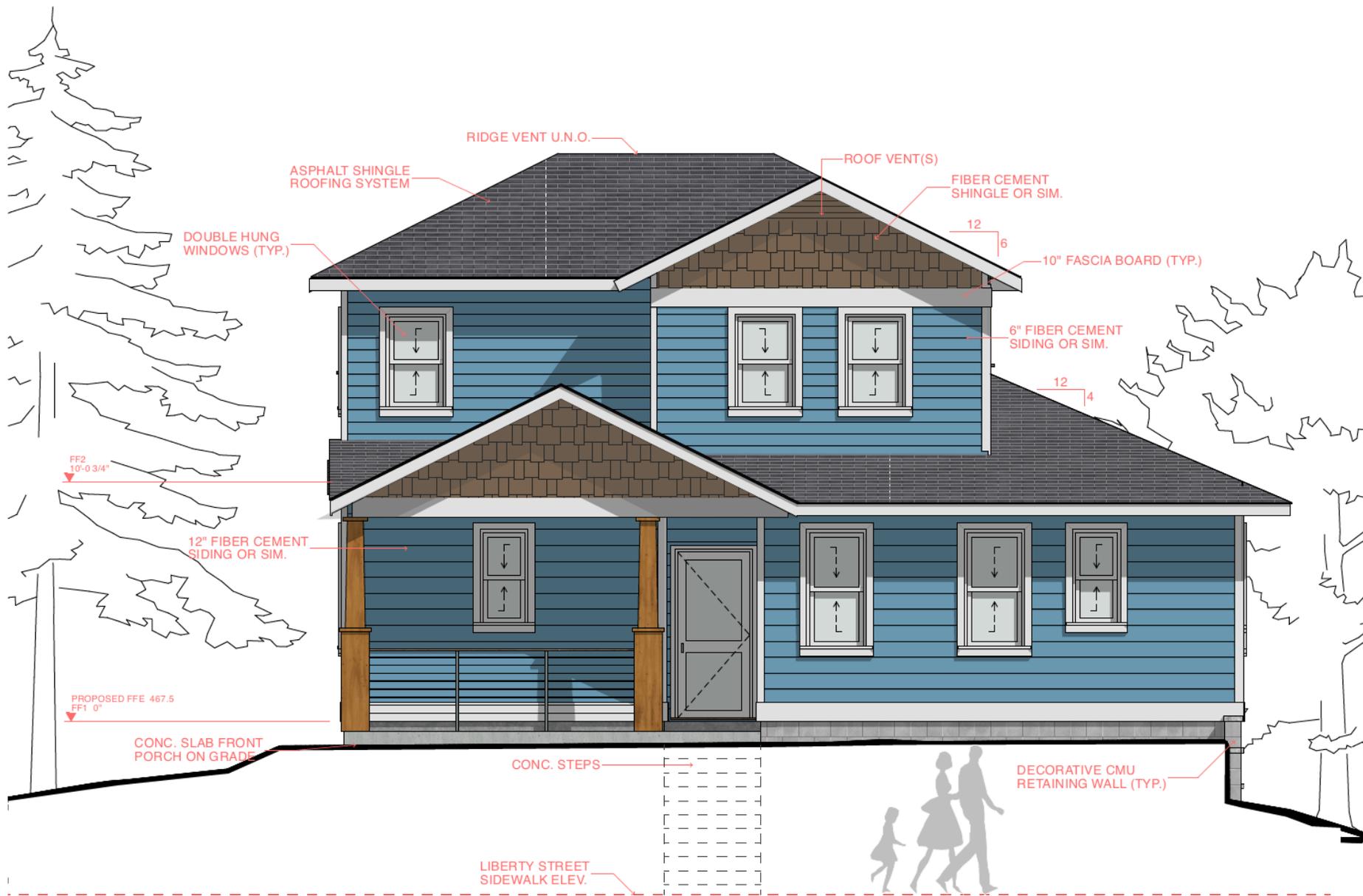
DIGNITY HOMES

412 Liberty St.
La Crosse , WI 54601

Description:
Upper Level

Sheet:

1.2



DIGNITY HOMES

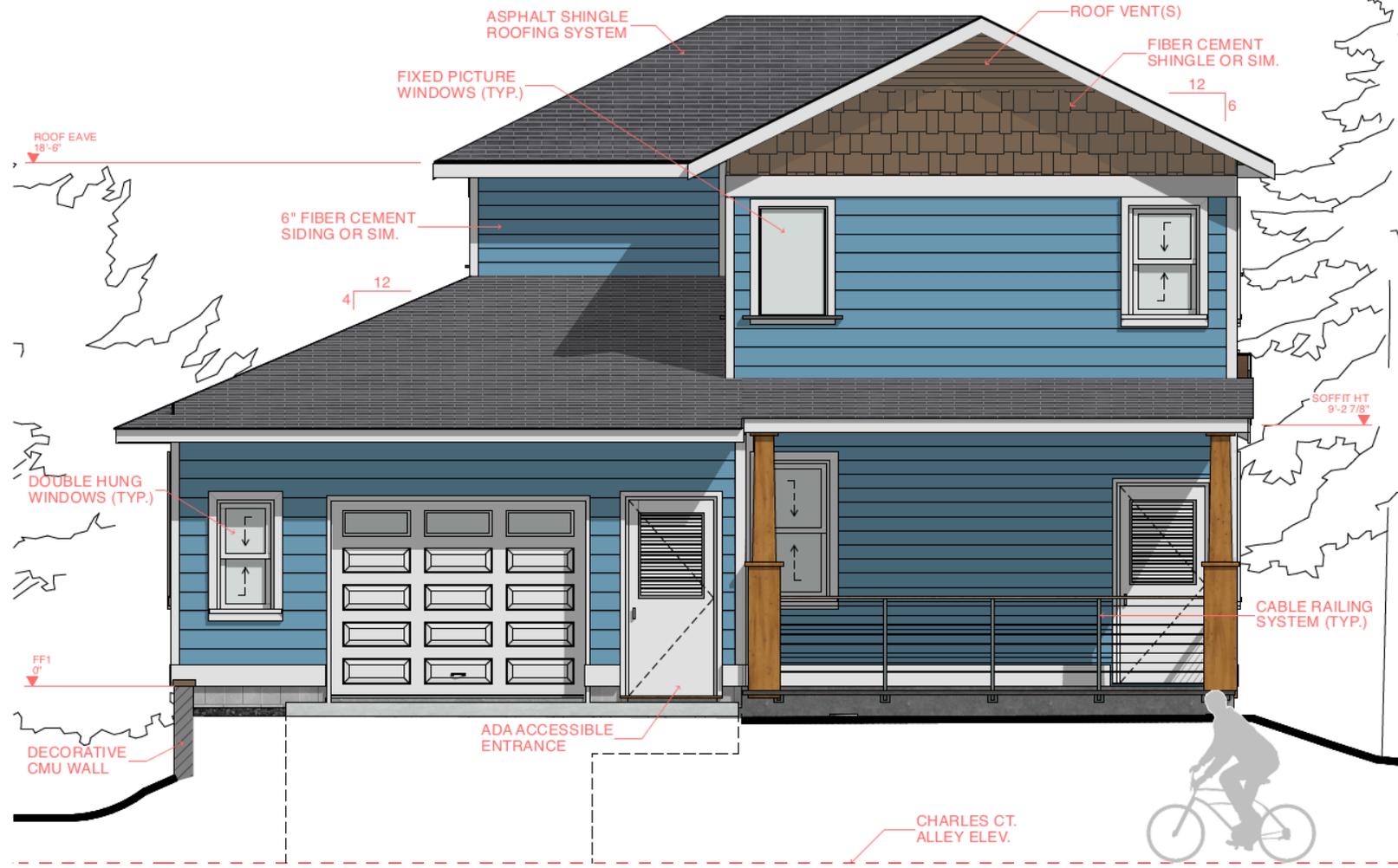
412 Liberty St.
La Crosse, WI 54601

Description:
West Elevation

1
2.2
WEST ELEVATION
SCALE: 1/4" = 1'-0"

Sheet:

2.2



1 EAST ELEVATION
2.1 SCALE: 1/4" = 1'-0"

DIGNITY HOMES

412 Liberty St.
La Crosse, WI 54601

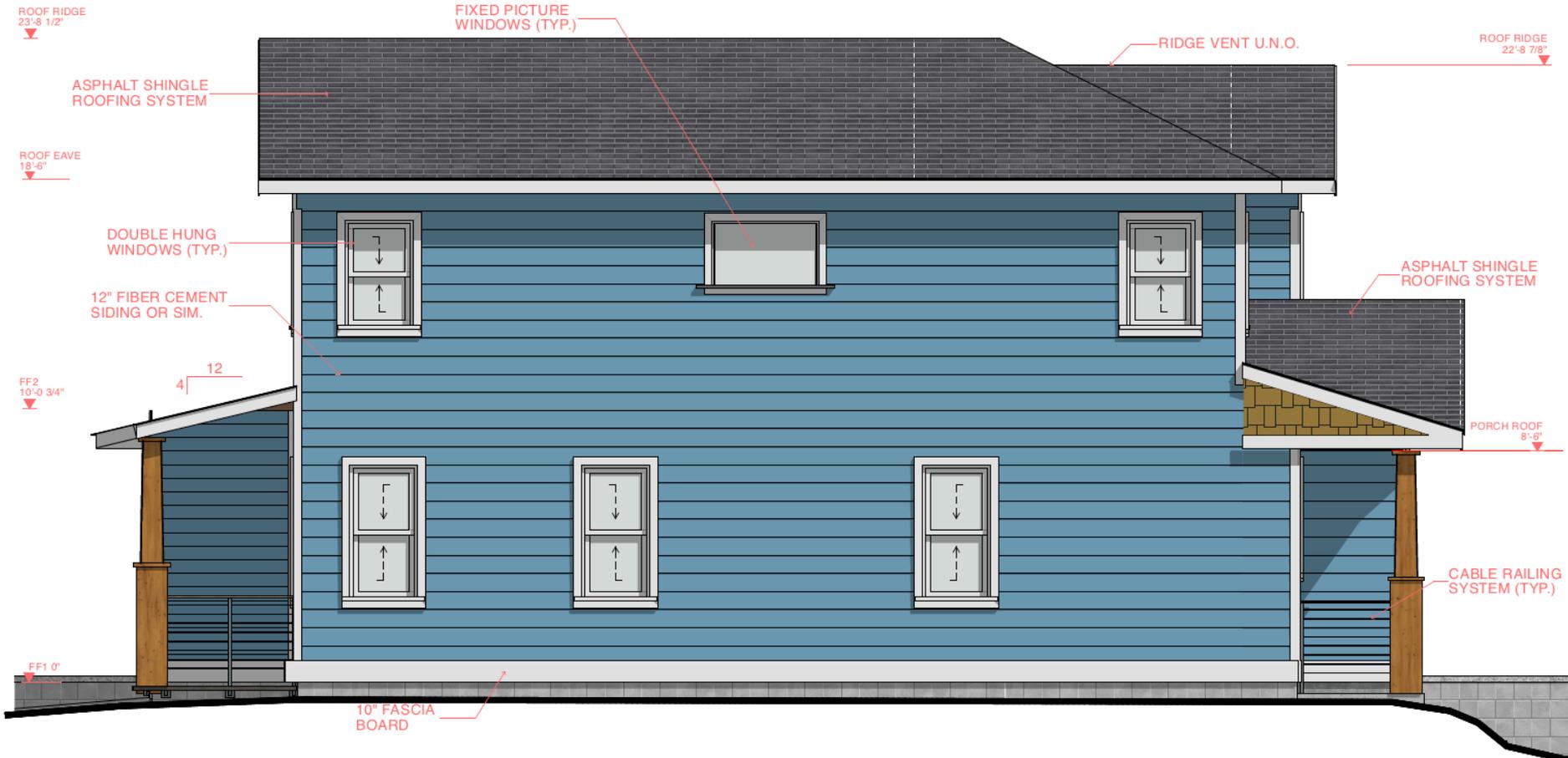
Description:
East Elevation

Sheet:

2.1

Client:
Dignity Homes
P.O. Box 532 La Crosse
WI 54602

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DIGNITY HOMES

412 Liberty St.
La Crosse, WI 54601

Description:
North Elevation

1 NORTH ELEVATION
2.3 SCALE: 1/4" = 1'-0"

Sheet:

2.3

Client:
Dignity Homes
P.O. Box 532 La Crosse
WI 54602

SCHEMATIC DESIGN
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DIGNITY HOMES

412 Liberty St.
La Crosse, WI 54601

Description:
South Elevation

Sheet:

2.4

Printed: 2/10/26



1 SOUTH ELEVATION
2.4 SCALE: 1/4" = 1'-0"

412 Liberty St

Fill variance.

- Unnecessary Hardship. The property cannot be developed because it is in the floodplain if the proper fill cannot be provided.
- Hardship Due to Unique Property Limitations. The size of the lot doesn't allow for the required fill.
- No Harm to Public Interests. There is no harm to the public interest.

This variance should be granted.

Board of Zoning Appeals

- This presentation shall be added to the minutes of this meeting.