

SITE DEVELOPMENT PLANS FOR CREW CAR WASH LA CROSSE

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PROJECT TEAM:

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.



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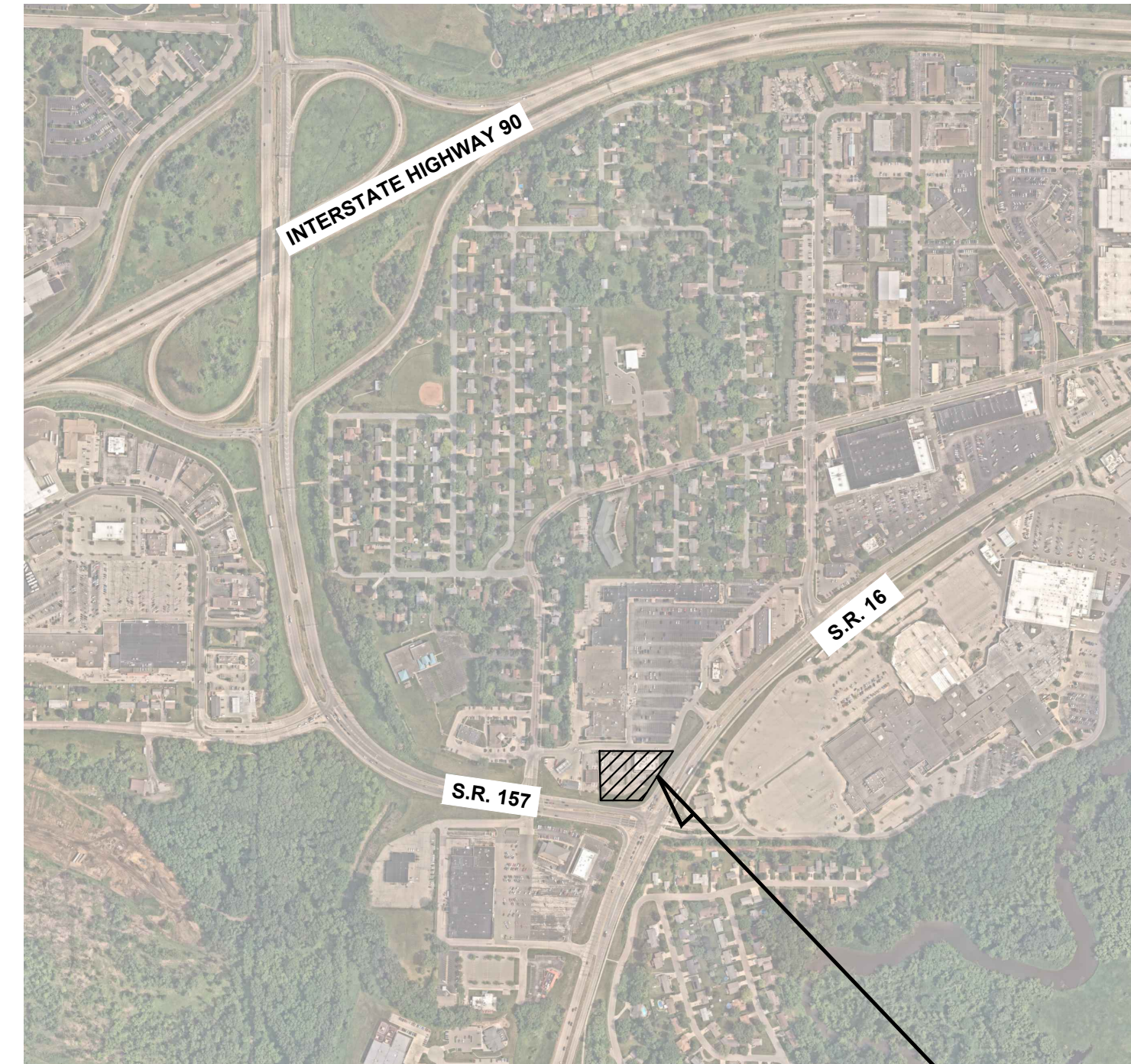
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OWNER / DEVELOPER
CREW CAR WASH

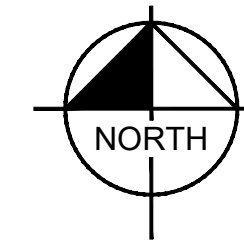


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VICINITY
N.T.S.



SITE

NOTES:

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24x36 SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.
5. THE DEVELOPER SHALL OBTAIN ALL REGULATORY AGENCY PERMITS AND APPROVALS, INCLUDING THOSE FROM THE MPCA AND METROPOLITAN COUNCIL ENVIRONMENTAL SERVICES (MCES) PRIOR TO THE BEGINNING OF CONSTRUCTION.
7. UPON THE COMPLETION OF THE CONSTRUCTION OF SANITARY SEWER, THE DEVELOPER SHALL SUBMIT AN AS-BUILT RECORD PLAN OF THE SANITARY SEWER TO THE CITY OF ARDEN HILLS, INCLUDING THE LOCATIONS OF MANHOLES, INVERT ELEVATIONS, PIPE GRADIENTS, BURY DEPTH, AND SERVICE WYE LOCATIONS.
8. UPON THE COMPLETION OF THE CONSTRUCTION OF WATERMAIN, THE DEVELOPER SHALL SUBMIT AN AS-BUILT RECORD PLAN OF THE WATERMAIN TO THE CITY OF ARDEN HILLS, INCLUDING THE LOCATIONS OF FITTINGS, BURY DEPTH, AND SERVICE TAP LOCATIONS.

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Know what's below.
Call before you dig.

PRELIMINARY - NOT FOR CONSTRUCTION

CREW CAR WASH LA CROSSE

PREPARED FOR
CREW CAR WASH

SHEET NUMBER
C000

COVER SHEET

KHA PROJECT
161033012
DATE
01/03/2025
SCALE
AS SHOWN
DESIGNED BY
JMRH
DRAWN BY
JMRH
CHECKED BY
JFJ

Kimley-Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE 651-645-4197
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS OF THE CITY OF EAU CLAIRE AND WISCONSIN DEPARTMENT OF TRANSPORTATION AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK. UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CITY REGULATIONS, STATE CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE NECESSARY MATERIALS & LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS, AND IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE APPROPRIATE APPROVING AUTHORITIES.
- CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ACSE 38/02, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE UTILITY DATA BY THE F.H.A. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY DOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.
- CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES: PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION, ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES.
- THE CONTRACTOR SHALL OBTAIN THE FOLLOWING PERMITS FROM THE CITY OF ARDEN HILLS PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES:
 - RIGHT-OF-WAY PERMIT
 - UTILITY PERMIT
 - GRADING PERMIT
- A GRADING PERMIT WILL NOT BE GRANTED UNTIL A GEOTECHNICAL REPORT ADDRESSING THE SOIL CONTAMINATION IS PROVIDED TO THE CITY FOR REVIEW AND APPROVAL.
- IN ORDER TO HAVE A RIGHT OF WAY PERMIT GRANTED, ALL STREET SECTIONS MUST MATCH CITY STANDARDS AND PROPOSED CONNECTIONS TO EXISTING UTILITIES MUST BE CLEAR (SUCH AS PROVIDED PLAN AND PROFILE OF ALL CONNECTIONS AND EXISTING INFORMATION SUCH AS INVERTS). PATCHING DETAIL IS REQUIRED TO BE FOLLOWED FOR ANY UTILITY CONNECTION CUTS.

THIRD PARTY SUPPLEMENTAL INFORMATION

KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED WITHIN SUPPLEMENTAL INFORMATION PROVIDED BY THIRD PARTY CONSULTANTS.

- BOUNDARY & TOPOGRAPHIC SURVEY**
PERFORMED BY: GUSTAFSON GEOMATICS, LLC
ADDRESS: P.O. BOX 297
HAMMOND, WI 54015
PHONE: 763-412-4000
DATED: 12/14/2016
GEOTECHNICAL EVALUATION REPORT
PERFORMED BY: BRAUN INTERTEC CORPORATION
ADDRESS: 2309 PALACE STREET
LA CROSSE, WI 54603
PHONE: 608-781-7277
DATED: 07/12/2024
- CONSTRUCTION TESTING**
TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:
 - DENSITY TEST REPORTS
 - BACTERIOLOGICAL TESTS OF WATER SYSTEM
 - PRESSURE TEST OF WATER/SEWER
 - LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
 - ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.
- BMP'S SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5-INCH OR GREATER RAINFALL EVENT.
- EROSION & SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:
 - INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO VERIFY THAT A HEALTHY STAND OF VEGETATION IS MAINTAINED. SEEDED AREAS SHOULD BE FERTILIZED, WATERED AND RE-SEEDED AS NEEDED. REFER TO THE LANDSCAPE PLAN AND PROJECT SPECIFICATIONS.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
 - THE ROCK CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC ADDITIONS OF ROCK TOP DRESSING AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC ADDITIONS OF TOP DRESSING IF THE TEMPORARY PARKING CONDITIONS DEMAND.
 - PERFORM ALL MAINTENANCE OPERATIONS IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

PAVING AND STRIPING NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL CITY OR COUNTY SPECIFICATIONS AND STANDARDS, OR THE STATE DOT SPECIFICATIONS AND STANDARDS IF NOT COVERED BY LOCAL CITY OR COUNTY REGULATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND CITY STANDARDS.
- CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
- ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
- THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
- ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
- THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
- CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
- ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER ADA) GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

GRADING AND DRAINAGE NOTES

- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO PONDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
- CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.
- BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNDESIRABLE FILL IS NOT USED.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO STATE DOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL GROWTH IS ESTABLISHED TO MINIMUM COVERAGE OF 70% IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND STATE DOT SPECIFICATIONS.
- PAVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATION OF THE SITE SPECIFIC GEOTECHNICAL EVALUATION REPORT AND CITY & STATE DOT SPECIFICATIONS.
- SPOT ELEVATIONS REPRESENT THE FINISHED SURFACE GRADE OR FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
- LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
- BLENDED NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL PROPOSED GRADES ON SITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
- ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

WATER STORM SEWER & SANITARY SEWER NOTES

- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND UTILITY LINES SHALL BE SURVEYED BY A STATE LICENSED PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
- CONTRACTOR SHALL PERFORM, AT THEIR OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- BETWEEN WATER AND SEWER MANHOLES AND PIPES, CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET AND A MINIMUM VERTICAL SEPARATION OF 18-INCHES.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GASKETED AND/OR GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT UNLESS OTHERWISE STATED BY CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS.
- UNLESS OTHERWISE STATED IN CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS, ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". EXISTING CASTINGS AND STRUCTURES WITHIN PROJECT LIMITS SHALL BE ADJUSTED TO MEET THESE CONDITIONS AND THE PROPOSED FINISHED GRADE.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INVERT IN TO INVERT OUT.
- ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES. ROOF DRAINS AND TRUCK WELL DRAIN SHALL RUN AT A MINIMUM 2.0% SLOPE, UNLESS NOTED OTHERWISE, AND TIE IN AT THE CENTERLINE OF THE STORM MAIN.
- PROVIDE INSULATION OF UNDERGROUND ROOF DRAINS AND SANITARY SEWER SERVICES IF ADEQUATE FROST DEPTH CANNOT BE PROVIDED.
- THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
- THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF EACH PRIOR TO THE START OF CONSTRUCTION.
- A MINIMUM SEPARATION OF 5- FEET IS REQUIRED BETWEEN UNDERGROUND UTILITIES AND TREES UNLESS A ROOT BARRIER IS UTILIZED.
- GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW. CONTRACTOR TO COORDINATE FINAL DESIGN AND INSTALLATION WITH UTILITY COMPANIES.
- COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.
- ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. PERIMETER WALL DIMENSIONS ARE TO INSIDE WALL FACE. REFERENCE ARCHITECTURAL PLANS FOR EXACT WALL WIDTH AND SPECIFICATIONS.
- REFERENCE ARCHITECTURAL PLANS (BY OTHERS) FOR EXACT BUILDING DIMENSIONS, MATERIALS SPECIFICATIONS.
- REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR FOOTING AND FOUNDATION PAD PREPARATION SPECIFICATIONS.
- CONTRACTOR SHALL REFERENCE M.E.P PLANS (BY OTHERS) FOR ROUTING OF PROPOSED ELECTRICAL & COMMUNICATIONS SERVICES AND SITE LIGHTING LAYOUT.

PRELIMINARY - NOT FOR CONSTRUCTION

CREW CAR WASH LA CROSSE

PREPARED FOR
CREW CAR WASH

Kimley >>> Horn

2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EULIST STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-666-4197
WWW.KIMLEY-HORN.COM

GENERAL NOTES

SHEET NUMBER
C100

LA CROSSE

KHA PROJECT 161033012	DATE 01/03/2025
SCALE AS SHOWN	DESIGNED BY JMHR
DRAWN BY JMHR	CHECKED BY JFJ

NO.	REVISIONS	DATE	BY

SCHEDULE "B" ITEMS

- 11- Covenants, conditions and restrictions contained in Reciprocal Easement and Operating Agreement and "First Offer" Agreement, dated October 10, 1983 and recorded in the Office of the Register of Deeds for La Crosse County, Wisconsin on October 19, 1983 in Volume 702 of Records, page 520 as Document No. 943476, which Agreement was amended by an instrument dated March 2, 1984 and recorded in said Register's Office on March 14, 1984 in Volume 710 of Records, page 457 as Document No. 948182, and was again amended by an instrument dated December 6, 1985 and recorded in said Register's Office on January 3, 1986 in Volume 759 of Records, page 54 as Document No. 971028, and was again amended by an instrument dated May 10, 1989 and recorded in said Register's Office on May 18, 1989 in Volume 843 of Records, page 151 as Document No. 1022733, and was again amended by an instrument dated March 30, 1990 and recorded in said Register's Office on April 10, 1990 in Volume 865 of Records, page 896, as Document No. 1035421. (ITEM IS NOT PLOTTED HEREON AS IT IS BLANKET IN NATURE)
- 12- Covenants, conditions and restrictions on face of said Plat to-wit: "As owner I hereby restrict all lots and outlet 1, in that no owner, possessor, user or licensee, nor other person shall have any right of direct vehicular ingress or egress with ST116 & 157 or CTH "91" as shown on the plat, it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to section 236.293, Wisconsin Statutes, and shall be enforceable by the Department of Transportation. This restriction is in accordance with that certain instrument recorded in the La Crosse County Register of Deeds Office in Volume 704, page 319. (ITEM IS PLOTTED HEREON)
- 13- Reservation for easement, as designated on the recorded plat of Sisbro Addition recorded in said Register's office on July 16, 1986 at 10:05 A.M in Cabinet of Plats, 82-A and 82-B as Document No. 978954, reserving the Southerly 10 feet and a portion of the Southerly and Easterly 10 feet of the covered premises for utility purposes. (ITEM IS PLOTTED HEREON)
- 14- Building setbacks as designated on the Plat of Sisbro Addition recorded as Document No. 978954. (ITEM IS PLOTTED HEREON)

ZONING NOTES

ZONING INFO PER AEI ZONING REPORT DATED 12/2/2016

3.0 ZONING CLASSIFICATION, REQUIREMENTS & CONFORMANCE

3.1 Current ZONING CLASSIFICATION

C-2: Commercial District

Conclusions: According to Timothy Acklin, Senior Planner, the Subject property is a permitted use by right.

3.2 SURROUNDING PROPERTY ZONING CLASSIFICATION

Based upon AEI's review of the local zoning map and correspondence with local zoning and planning officials, the below table identifies the zoning classification on surrounding properties:

Direction Zoning Classification:

North City of Onalaska
 South C-2: Commercial District
 East C-2: Commercial District
 West C-2: Commercial District

3.3 SIZE & BULK DENSITY REQUIREMENTS

Lot Size Requirements per Zoning Ordinance:
 Lot size requirements are not set forth in the Ordinance for properties located within the C-2: Commercial District.

Maximum Lot Coverage Permitted per Zoning Ordinance:
 Maximum building coverage requirements are not set forth in the Ordinance for properties located within the C-2: Commercial District.

Maximum Building Height Permitted per Zoning Ordinance:
 According to Section 115-151, the maximum building height permitted is 100' or eight stories for properties located within the C-2: Commercial District. Subject property building height is approximately 15'

Conclusions: The Subject meets minimum size and bulk density requirements.

3.4 YARD SETBACK REQUIREMENTS

Front of Property: None Specified
 Rear of Property: 9' Required
 Sides of Property: None Required

Every side yard that is provided where not required by these regulations shall be not less than six feet in width except that the Fire Chief may allow a side yard setback between zero feet and six feet if it is determined that said setback shall not jeopardize fire safety.

Ancillary/Accessory Structures:
 Not Applicable - No ancillary structures such as tools sheds, carports, maintenance buildings were identified on aerial photographs.

Conclusions: The Subject meets setback requirements.

3.5 PARKING REQUIREMENTS

Parking Spaces Required per Zoning Ordinance:
 According to Section 115-393, one parking space for each 150 SF of floor area is required for restaurant uses.

As such, 57 parking spaces are required at the subject property.

Conclusions: The Subject meets parking space requirements

SIGNIFICANT OBSERVATIONS

- TELEPHONE PEDESTALS FALL OUTSIDE OF UTILITY EASEMENT

FLOOD NOTE

FLOOD NOTE: BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.FEMA.GOV, AND BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" ON FLOOD INSURANCE RATE MAP NUMBER 59063C0232D EFFECTIVE DATE 01/06/2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. BY REVIEWING FLOOD MAPS PROVIDED BY THE NATIONAL FLOOD INSURANCE PROGRAM WE HAVE LEARNED THIS COMMUNITY DOES PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THE ACCURACY OF THE MAPS AND/OR TO APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LAND AREA

61,845 ± SQUARE FEET
 1.420± ACRES

VICINITY MAP



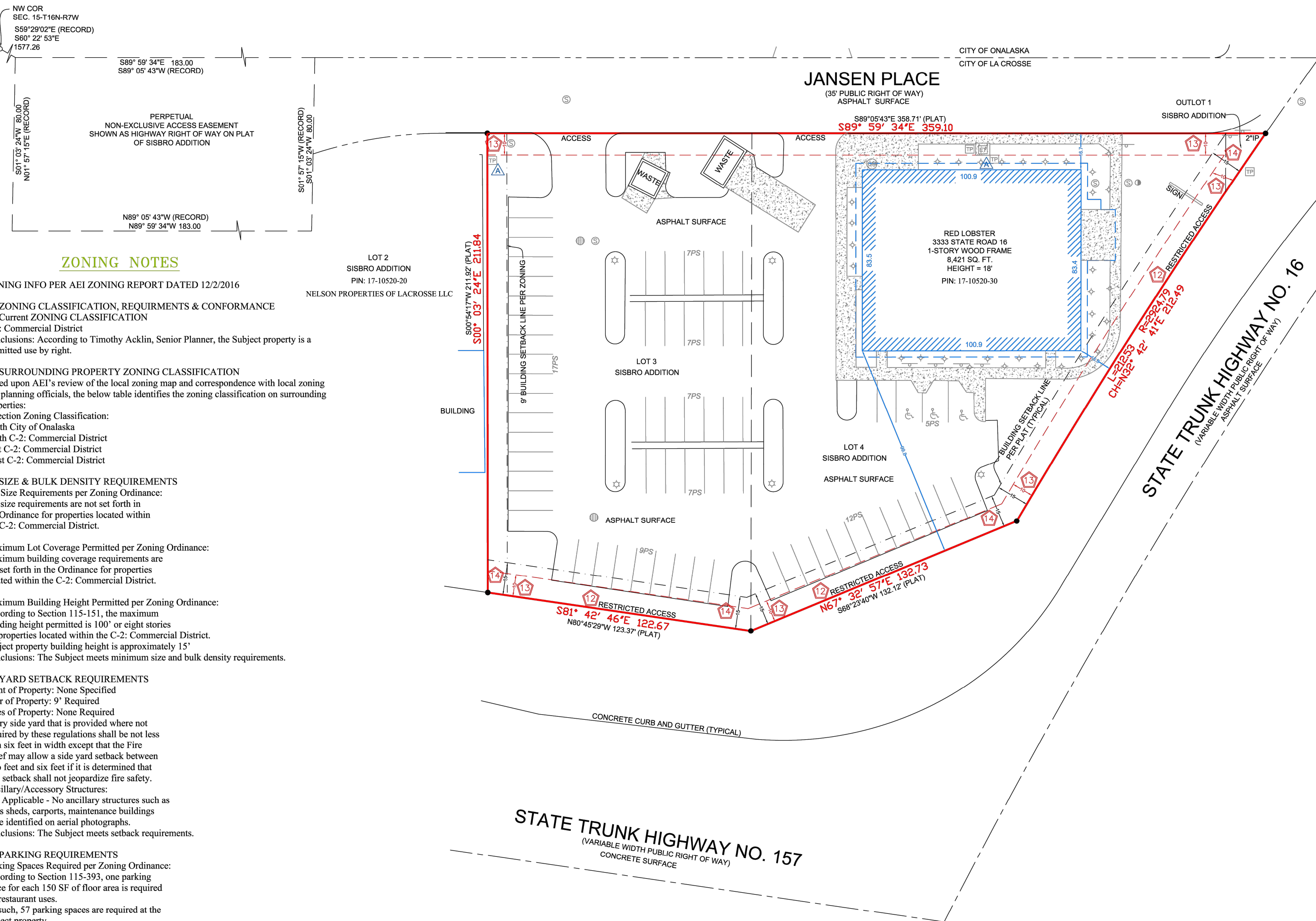
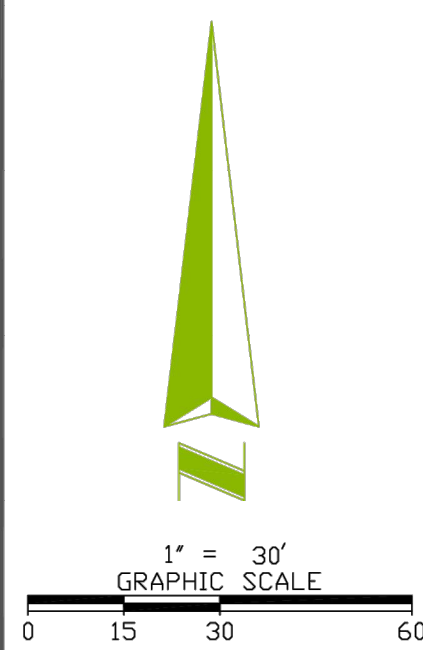
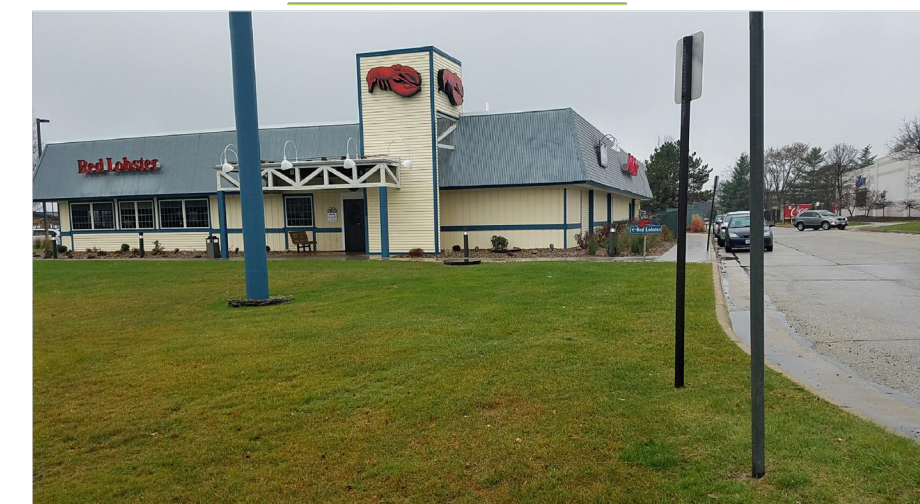
PARKING STALLS

REGULAR= 68 HANDICAP= 3
 TOTAL= 71

LEGEND

- 1" IRON PIPE FOUND
- SQ.FT. SQUARE FEET
- ▨ NO PARKING AREA
- ▩ CONCRETE AREA
- ♿ HANDICAP PARKING SPACE
- ET ELECTRIC TRANSFORMER
- TP TELEPHONE PED
- GM GAS METER
- CLEAN OUT
- ⊙ SEWER MANHOLE
- ☆ LIGHT POLE
- ⚡ SIGN
- ⦿ YARD LIGHT
- ⊕ ROUND CATCH BASIN

SITE PICTURE



LEGAL DESCRIPTION

LOTS 3, 4 AND OUTLOT 1 OF SISBRO ADDITION TO THE CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN, TOGETHER WITH A PERPETUAL NON-EXCLUSIVE EASEMENT FOR DRIVEWAY PURPOSES OVER AND ACROSS THE FOLLOWING DESCRIBED PARCEL: BEGINNING AT A POINT LOCATED SOUTH 59 DEGREES 29 MINUTES 02 SECONDS EAST 1577.26 FEET FROM THE NORTHWEST CORNER OF SECTION 15 TOWNSHIP 16 NORTH OF RANGE 7 WEST, CITY OF LA CROSSE; THENCE SOUTH 89 DEGREES 05 MINUTES 43 SECONDS WEST 183 FEET; THENCE SOUTH 01 DEGREES 57 MINUTES 15 SECONDS WEST 80 FEET; THENCE NORTH 89 DEGREES 05 MINUTES 43 SECONDS WEST 183 FEET; THENCE NORTH 01 DEGREES 57 MINUTES 15 SECONDS EAST 80 FEET TO THE POINT OF BEGINNING, BEING PART OF THE NE 1/4 OF THE NW 1/4 OF SECTION 15, TOWNSHIP 16 NORTH OF RANGE 7 WEST, LA CROSSE COUNTY, WISCONSIN.

TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO.: MCS-819555-PHX1 WITH AN EFFECTIVE DATE OF NOVEMBER 04, 2016 AT 08:00 A.M.

BEARING BASIS

BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF JANSEN PLACE HAVING A BEARING OF S89°59'34"E BASED ON THE LA CROSSE COUNTY COORDINATE SYSTEM.

ALTA/ACSM LAND TITLE SURVEY

PROJECT NAME
 RED LOBSTER
 3333 STATE ROAD 16
 LA CROSSE COUNTY LA CROSSE, WISCONSIN

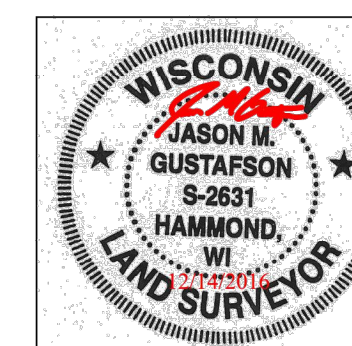
GENERAL NOTES

1. NO UNDERGROUND UTILITIES ARE SHOWN ON THIS SURVEY, ONLY ABOVE GROUND VISIBLE EVIDENCE OF UTILITIES ARE SHOWN.
2. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
3. THIS SURVEY MEETS OR EXCEEDS THE SURVEY STANDARDS/STANDARDS OF CARE AS SET FORTH IN SECTION 3 OF THE 2016 ALTA/NSPS SURVEY REQUIREMENTS.
4. SUBJECT PROPERTY HAS DIRECT ACCESS TO JANSEN PLACE, A DEDICATED PUBLIC STREET.
5. THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
6. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
7. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
8. THE PARCELS CONTAINED IN THE LEGAL DESCRIPTION ARE CONTIGUOUS WITHOUT ANY GAPS, GORES OR OVERLAPS.
9. ZONING INFORMATION PROVIDED BY OTHERS.
10. BUILDING AREAS SHOWN HEREON ARE FOR THE FOOTPRINT OF THE BUILDING ONLY.
11. NO APPARENT CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION, NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
12. NOT VALID WITHOUT THE SIGNATURE AND STAMP OF A LICENSED SURVEYOR. ADDITIONS AND DELETIONS TO SURVEY MAPS, SKETCHES, OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

SURVEYOR'S CERTIFICATE

To: CU Member Business, Inc., its successors and/or assigns, and/or, TruStone Financial Federal Credit Union and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17, and 18 of Table A thereto. The field work was completed on 11/25/2016.



I hereby certify that this survey complies with Chapter A-67, Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

12/14/2016
 Dated

Jason M. Gustafson, PLS
 License Number 2631
 My license renewal date is January 31, 2018.
 Pages or sheets covered by this seal: 1 of 1

Date of plat or map: 11/29/2016
 Date of last revision: 12/14/2016

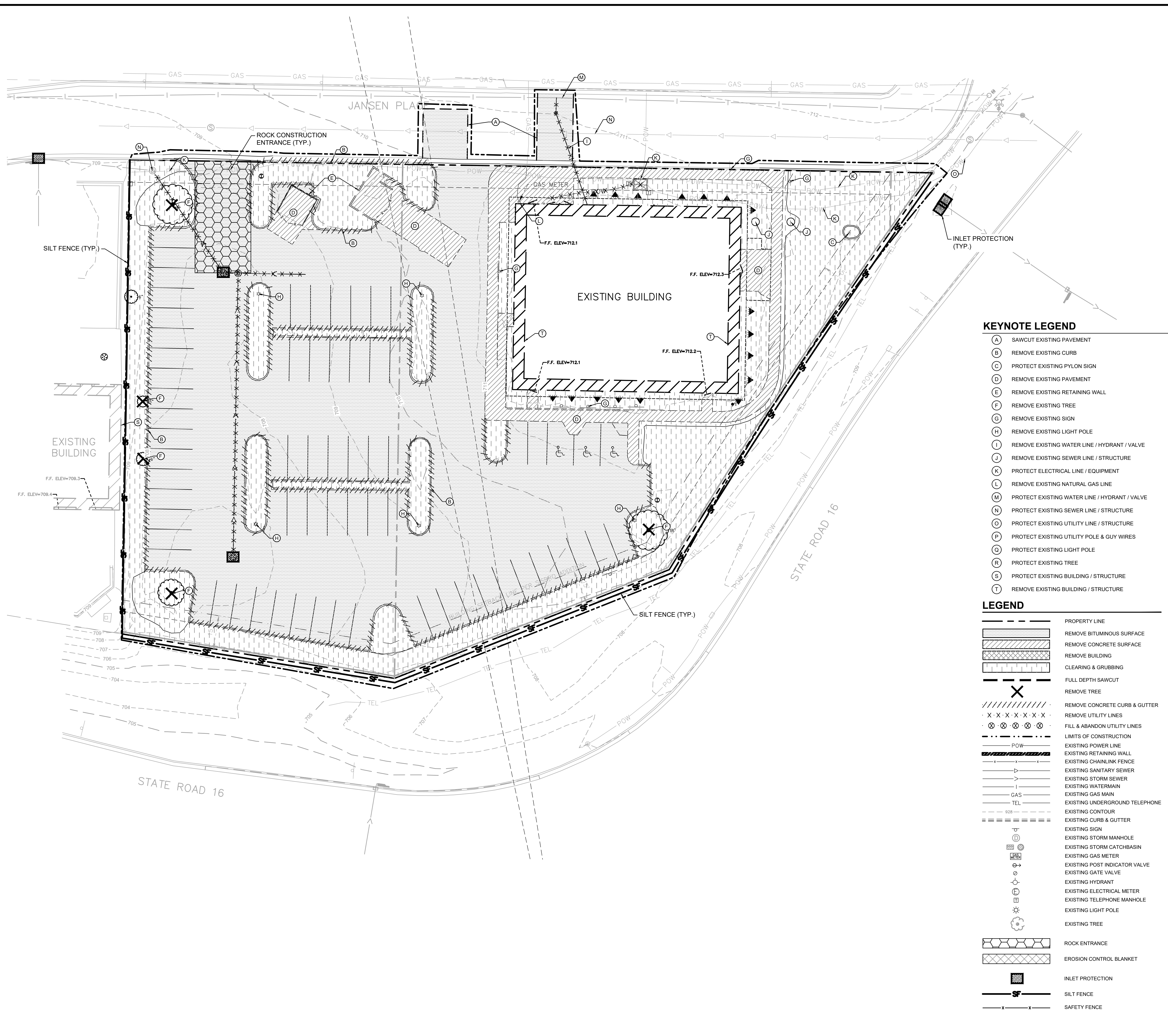
SURVEYED BY:
 GUSTAFSON GEOMATICS, LLC
 P.O. BOX 297
 HAMMOND, WI 54015
 quotes@ggeomatics.com



480 NEEDLES TRAIL
 LONGWOOD, FLORIDA 32779
 PHONE: (407) 862-4200 RNSURVEYS@REPUBLICNATIONAL.NET FAX: (407) 862-8229

JOB NUMBER: 368883	SCALE:	1" = 30'	DRAWN BY:	SLG	APPROVED BY:	JMG
	BY:	SG				
REVISION HISTORY	CERTIFICATION	GENERAL NOTE 6	DATE	12/7/16	12/13/16	

AEI Consultants
 Environmental & Engineering Services
 Corporate Headquarters - San Francisco, California
 Tel. 925.746.6000 Email: info@aeiconsultants.com



KEYNOTE LEGEND

- (A) SAWCUT EXISTING PAVEMENT
- (B) REMOVE EXISTING CURB
- (C) PROTECT EXISTING PYLON SIGN
- (D) REMOVE EXISTING PAVEMENT
- (E) REMOVE EXISTING RETAINING WALL
- (F) REMOVE EXISTING TREE
- (G) REMOVE EXISTING SIGN
- (H) REMOVE EXISTING LIGHT POLE
- (I) REMOVE EXISTING WATER LINE / HYDRANT / VALVE
- (J) REMOVE EXISTING SEWER LINE / STRUCTURE
- (K) PROTECT ELECTRICAL LINE / EQUIPMENT
- (L) REMOVE EXISTING NATURAL GAS LINE
- (M) PROTECT EXISTING WATER LINE / HYDRANT / VALVE
- (N) PROTECT EXISTING SEWER LINE / STRUCTURE
- (O) PROTECT EXISTING UTILITY LINE / STRUCTURE
- (P) PROTECT EXISTING UTILITY POLE & GUY WIRES
- (Q) PROTECT EXISTING LIGHT POLE
- (R) PROTECT EXISTING TREE
- (S) PROTECT EXISTING BUILDING / STRUCTURE
- (T) REMOVE EXISTING BUILDING / STRUCTURE

LEGEND

- PROPERTY LINE
- [Hatched] REMOVE BITUMINOUS SURFACE
- [Hatched] REMOVE CONCRETE SURFACE
- [Hatched] REMOVE BUILDING
- [Hatched] CLEARING & GRUBBING
- FULL DEPTH SAWCUT
- X REMOVE TREE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- FILL & ABANDON UTILITY LINES
- LIMITS OF CONSTRUCTION
- EXISTING POWER LINE
- EXISTING RETAINING WALL
- EXISTING CHAINLINK FENCE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- GAS
- EXISTING UNDERGROUND TELEPHONE
- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING STORM MANHOLE
- EXISTING GAS METER
- EXISTING POST INDICATOR VALVE
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING ELECTRICAL METER
- EXISTING TELEPHONE MANHOLE
- EXISTING LIGHT POLE
- EXISTING TREE
- [Hatched] ROCK ENTRANCE
- [Hatched] EROSION CONTROL BLANKET
- [Hatched] INLET PROTECTION
- [Hatched] SILT FENCE
- [Hatched] SAFETY FENCE

DEMOLITION PLAN NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL FROM THE APPROPRIATE LOCAL AND STATE AGENCIES. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE, INCLUDING THE TYPE OF DEBRIS AND LOCATION WHERE IT WAS DISPOSED.
- THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.
- EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PROCEEDING WITH THE PROPOSED WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY, COUNTY, AND STATE DOT AS NECESSARY.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE CITY. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.
- IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. ACTIVE DRAIN TILE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
- IF CONTAMINATED MATERIAL IS ENCOUNTERED ON THE PROJECT SITE, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.

EROSION CONTROL PLAN NOTES

- SEE EROSION AND SEDIMENT CONTROL PHASE 2 SHEET FOR EROSION CONTROL NOTES

SWPPP UPDATES & AMENDMENTS

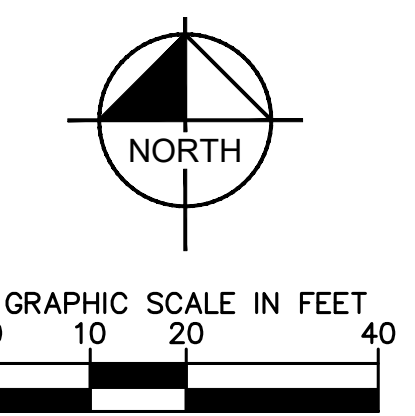
SEE EROSION AND SEDIMENT CONTROL PHASE 2 SHEET FOR SWPPP UPDATES AND AMENDMENT NOTES

PH. 1 SEQUENCE OF CONSTRUCTION

- INSTALL PERIMETER EROSION CONTROL (I.E. SILT FENCE) AND INLET PROTECTION AT EXISTING STORMWATER INLETS
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
- PREPARE TEMPORARY PARKING AND STORAGE AREA
- REMOVE EXISTING SITE IMPROVEMENTS
- CLEAR AND GRUB THE SITE
- BEGIN MASS SITE GRADING AND ROUGH GRADE SITE SUFFICIENTLY TO ESTABLISH PROPOSED DRAINAGE PATTERNS
- START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY THE NPDES AND/OR CITY GRADING PERMIT(S).

NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

PHASE I BMP QUANTITIES	
SILT FENCE	± 670 LF
INLET PROTECTION	5 EA
ROCK CONSTRUCTION ENTRANCE	1 EA



PRELIMINARY - NOT FOR CONSTRUCTION

CREW CAR WASH LA CROSSE

PREPARED FOR

CREW CAR WASH

LA CROSSE

DEMOLITION AND

EROSION

CONTROL PHASE 1

PLAN

KHA PROJECT
151033012

DATE
01/03/2025

SCALE
AS SHOWN

DESIGNED BY
JMRH

DRAWN BY
JMRH

CHECKED BY
JFJ

DATE

REVISED

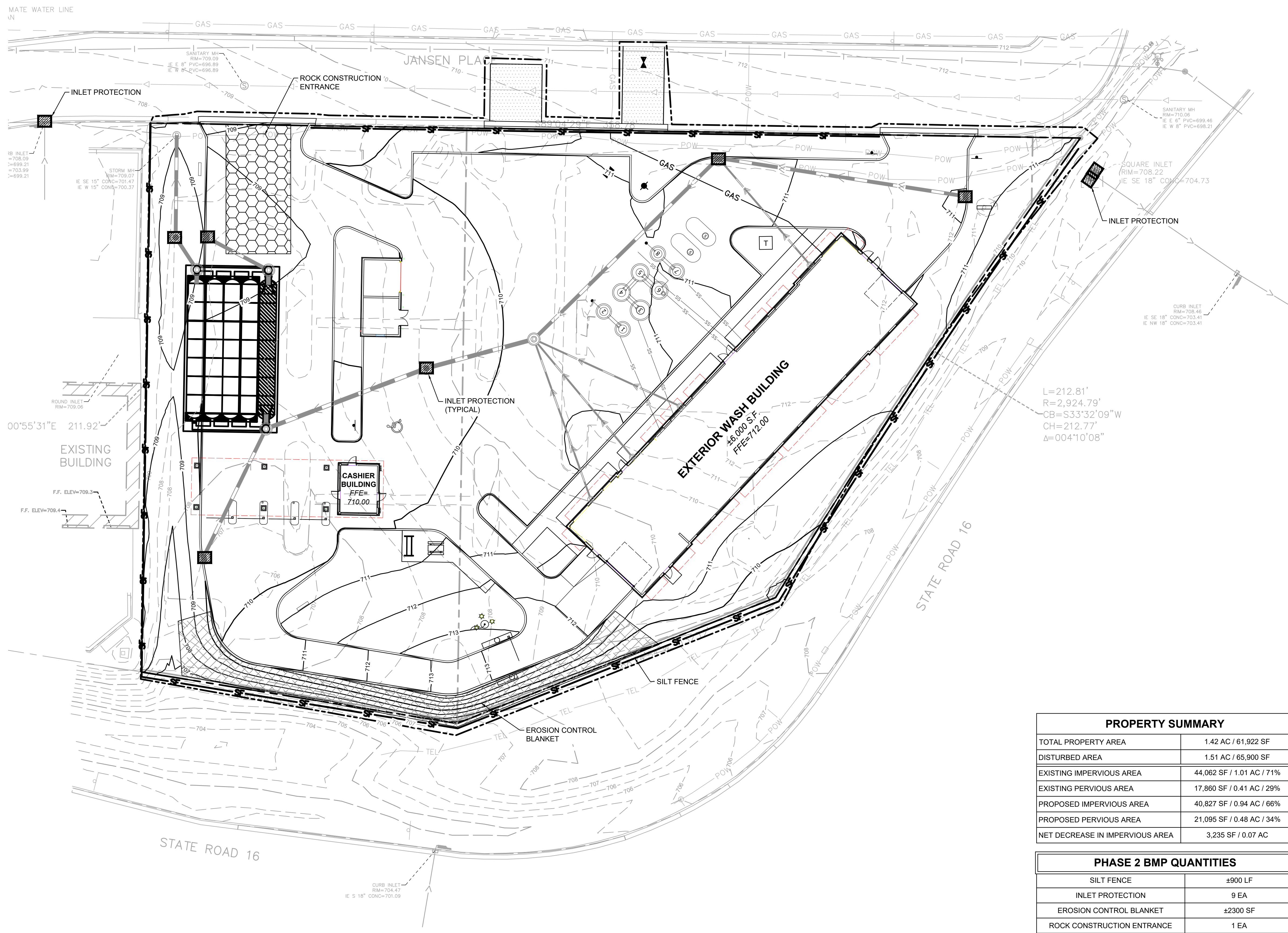
NO.

DATE



2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-465-4197
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PROPERTY SUMMARY	
TOTAL PROPERTY AREA	1.42 AC / 61,922 SF
DISTURBED AREA	1.51 AC / 65,900 SF
EXISTING IMPERVIOUS AREA	44,062 SF / 1.01 AC / 71%
EXISTING PERVIOUS AREA	17,860 SF / 0.41 AC / 29%
PROPOSED IMPERVIOUS AREA	40,827 SF / 0.94 AC / 66%
PROPOSED PERVIOUS AREA	21,095 SF / 0.48 AC / 34%
NET DECREASE IN IMPERVIOUS AREA	3,235 SF / 0.07 AC

PHASE 2 BMP QUANTITIES	
SILT FENCE	±900 LF
INLET PROTECTION	9 EA
EROSION CONTROL BLANKET	±2300 SF
ROCK CONSTRUCTION ENTRANCE	1 EA

LEGEND

- ROCK ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- PROPERTY LINE
- BIOROLL

- EROSION CONTROL PLAN NOTES**
- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
 - ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
 - BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
 - SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
 - TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
 - THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
 - CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
 - ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
 - SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 - RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 - STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMPs, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
 - EROSION CONTROL BMPs SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND MUST MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
 - THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMPs AS NEEDED TO PREVENT EROSION AND TO OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

- SWPPP UPDATES & AMENDMENTS**
- THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING & LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.
- PHASE 2 SEQUENCE OF CONSTRUCTION**
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
 - CONSTRUCT UNDERGROUND SITE UTILITIES AND STORM SEWER, INCLUDING UNDERGROUND STORMWATER MANAGEMENT SYSTEM.
 - INSTALL APPROPRIATE INLET PROTECTION AT ANY NEW STORM SEWER STRUCTURES AS EACH STRUCTURE IS CONSTRUCTED.
 - COMPLETE SITE GRADING AND PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PLACE PAVEMENT BASE MATERIAL AND INSTALL SUBDRAINAGE SYSTEM.
 - CONSTRUCT PAVEMENTS, CURBS & GUTTER, AND SIDEWALKS.
 - AS APPROPRIATE, REPLACE & MAINTAIN INLET PROTECTION DEVICES WITHIN PAVED AREAS AS WORK PROGRESSES.
 - COMPLETE FINAL GRADING AND INSTALL OF PERMANENT STABILIZATION (SEEDING, SODDING, ETC.) WITHIN LANDSCAPED AREAS.
 - WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION AS DEFINED BY THE APPLICABLE EROSION CONTROL PERMITS, REMOVE ALL REMAINING TEMPORARY EROSION & SEDIMENT CONTROL BMPs AND RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVE.
- NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

GRAPHIC SCALE IN FEET
0 10 20 40

NORTH

811
Know what's below.
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PRELIMINARY - NOT FOR CONSTRUCTION

EROSION AND SEDIMENT CONTROL PLAN - PHASE 2

CREW CAR WASH LA CROSSE
PREPARED FOR
CREW CAR WASH

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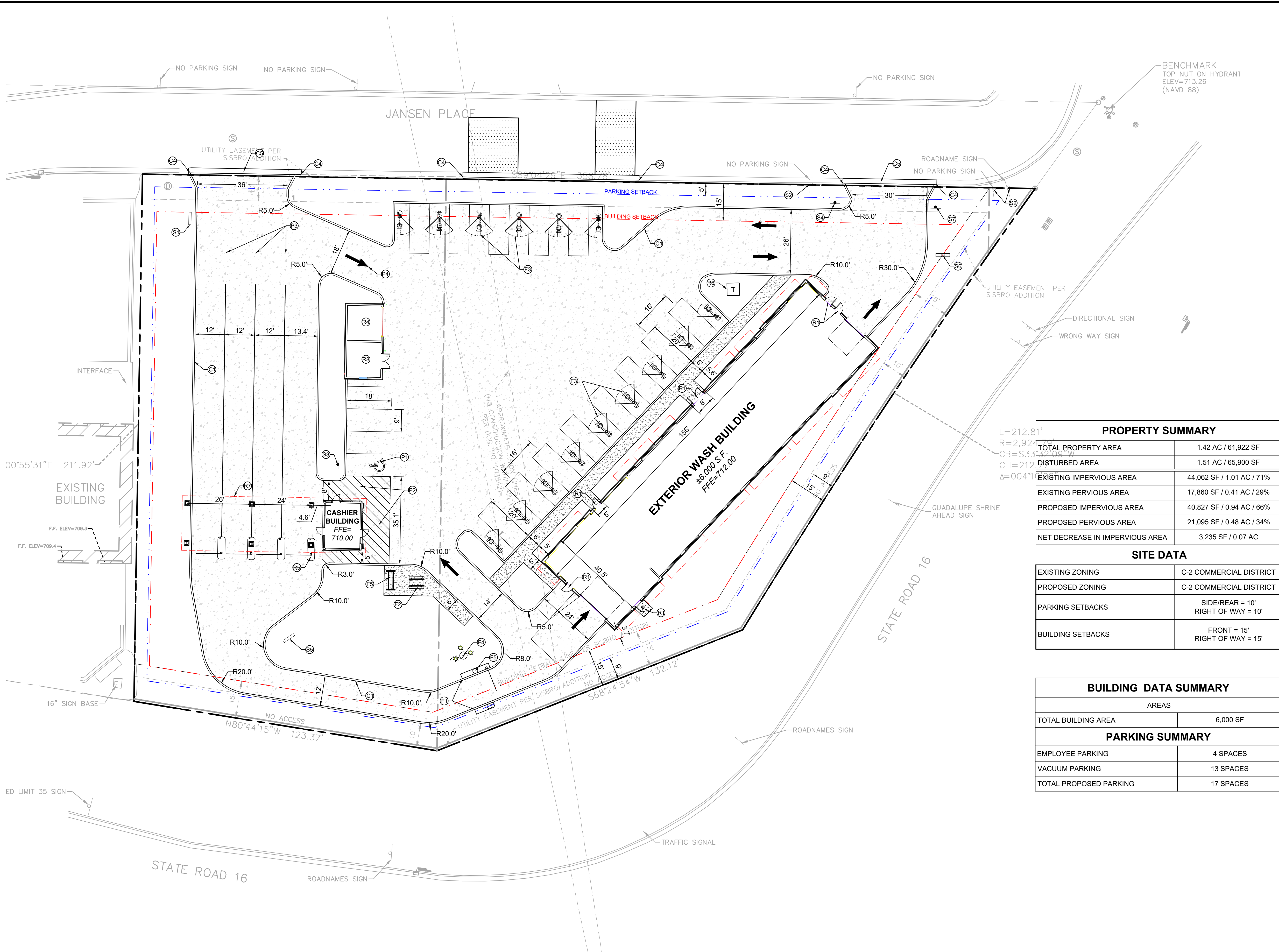
KHA PROJECT: 151033012
DATE: 01/03/2025
SCALE: AS SHOWN
DESIGNED BY: JMRH
DRAWN BY: JMRH
CHECKED BY: JFJ

LA CROSSE

SHEET NUMBER
C301

NO.	REVISIONS	DATE	BY

K:\TWC\Crew Carwash\La Crosse3 Design\CAD\PlanSheets\C4-SITE PLAN.dwg January 03, 2025 - 11:47am
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SITE DATA	
EXISTING ZONING	C-2 COMMERCIAL DISTRICT
PROPOSED ZONING	C-2 COMMERCIAL DISTRICT
PARKING SETBACKS	SIDE/REAR = 10' RIGHT OF WAY = 10'
BUILDING SETBACKS	FRONT = 15' RIGHT OF WAY = 15'

BUILDING DATA SUMMARY	
AREAS	
TOTAL BUILDING AREA	6,000 SF

PARKING SUMMARY	
EMPLOYEE PARKING	4 SPACES
VACUUM PARKING	13 SPACES
TOTAL PROPOSED PARKING	17 SPACES

- ### LEGEND
- PROPERTY LINE
 - BUILDING SETBACK LINE
 - PARKING SETBACK LINE
 - DRAINAGE AND UTILITY EASEMENT
 - PROPOSED FENCE
 - RETAINING WALL
 - PROPOSED CURB AND GUTTER
 - STANDARD DUTY ASPHALT PAVEMENT
SEE DETAILS FOR SECTION
 - HEAVY DUTY CONCRETE PAVEMENT
SEE DETAILS FOR SECTION
 - CONCRETE SIDEWALK
SEE DETAILS FOR SECTION

- ### KEYNOTE LEGEND
- CURB AND PAVING**
- (C1) 6" CONCRETE CURB & GUTTER (TYP.) (SEE DETAIL)
 - (C2) CURB TRANSITION FROM 6" TO FLUSH (SEE GRADING PLAN)
 - (C3) FLUSH CURB AND WALK (SEE DETAIL)
 - (C4) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
 - (C5) CONCRETE DRIVEWAY APRON (SEE DETAIL)
 - (C6) ACCESSIBLE CURB RAMP
- SITE FURNITURE**
- (F1) BUG GATE (BY OWNER)
 - (F2) PICNIC TABLE
 - (F3) VACUUM ASSEMBLY
 - (F4) FLAG POLE W/ UPLIGHTING (BY OWNER)
 - (F5) BIKE RACK
- PAVEMENT MARKINGS**
- (P1) ACCESSIBLE PARKING SYMBOL
 - (P2) WHITE PAINTED CROSS-HATCH AREA
 - (P3) 4" WIDE PAINTED WHITE SOLID LINE, TYP.
 - (P4) PAINTED DIRECTIONAL ARROW
 - (P5) PAINTED CROSSWALK
- SIGNAGE**
- (S1) ENTER/OPEN DIRECTIONAL SIGN (REFER TO SIGNAGE PLANS)
 - (S2) EXISTING TRAFFIC SIGN
 - (S3) ADA PARKING SIGN (TYP)
 - (S4) VACUUMS DIRECTIONAL SIGN (REFER TO SIGNAGE PLANS)
 - (S5) MENU BOARD SIGN (REFER TO SIGNAGE PLANS)
 - (S6) EXISTING PYLON TO BE RE-FACED (REFER TO SIGNAGE PLANS)
 - (S7) STOP SIGN
- REFERENCE NOTES**
- (R1) AT-GRADE BUILDING ENTRY & STOOP (REFER TO ARCH & STRUCTURAL PLANS)
 - (R2) PROPOSED MONUMENT SIGN (REFER TO ARCH PLANS)
 - (R3) LIGHT POLES (REFER TO ELECTRICAL SITE PLAN)
 - (R4) CONCRETE BLOCK TRASH ENCLOSURE (REFER TO ARCH PLANS)
 - (R5) CONCRETE ISLAND & GATE ARMS (BY OWNER)
 - (R6) TRANSFORMER PAD (REFER TO ELECTRICAL / STRUCTURAL)
 - (R7) OVERHEAD CANOPY (REFER TO ARCH PLANS)
 - (R8) CONCRETE BLOCK OUTDOOR STORAGE (REFER TO ARCH PLANS)

- SITE PLAN NOTES**
- REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
 - REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
 - DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
 - TYPICAL PARKING STALL DIMENSIONS SHALL BE 9.0- FEET IN WIDTH AND 20- FEET IN LENGTH UNLESS OTHERWISE INDICATED.
 - MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.

NORTH

GRAPHIC SCALE IN FEET

Know what's below.
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PRELIMINARY - NOT FOR CONSTRUCTION

CREW CAR WASH LA CROSSE

PREPARED FOR

CREW CAR WASH

LA CROSSE

SHEET NUMBER

C400

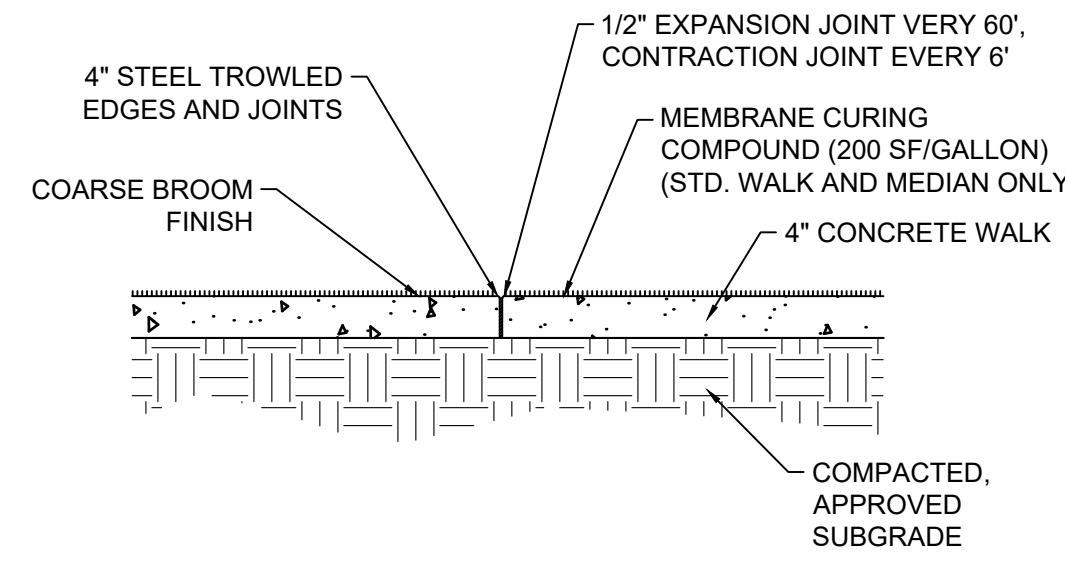
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DATE

REVISIONS

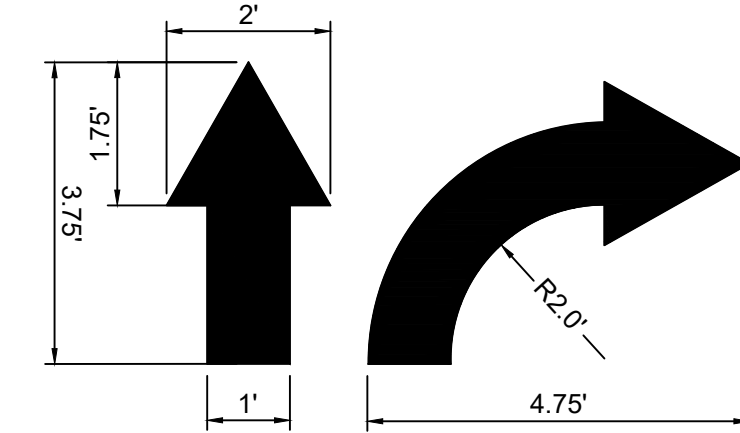
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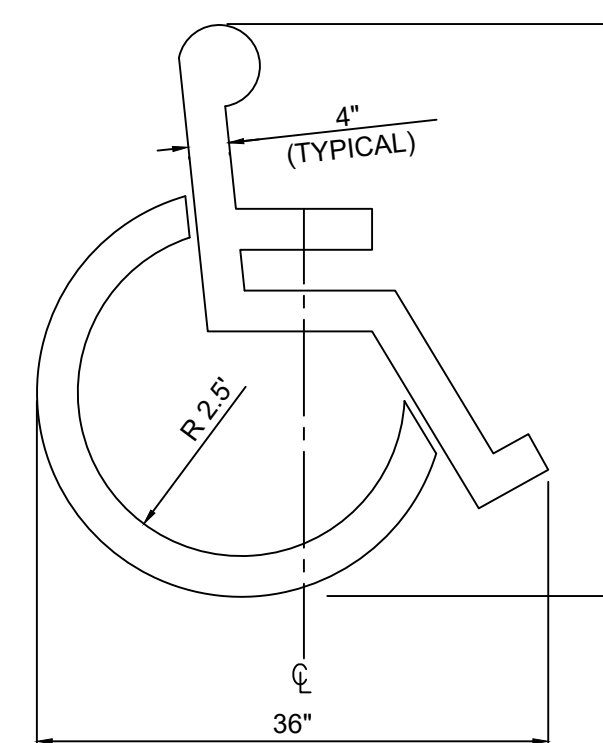
NOTES:
1. ALL EXCAVATION, COMPACTION AND BACKFILL INCIDENTAL TO UNIT PRICE BID FOR 4" SIDEWALK

1 CONCRETE SIDEWALK NO SCALE

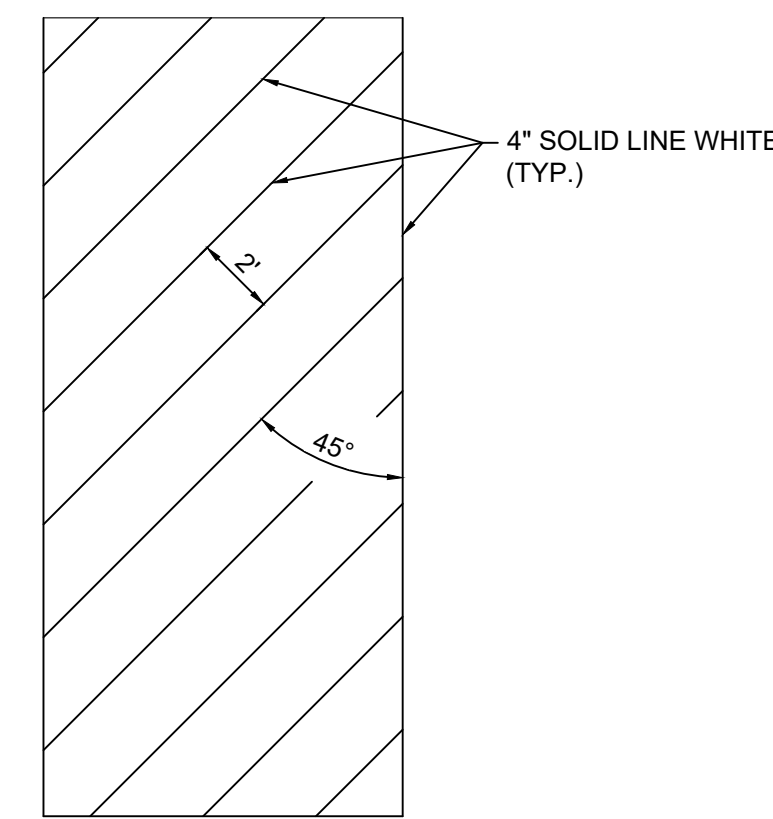


NOTE: ALL TRAFFIC FLOW ARROWS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT AS PER DIMENSIONS ABOVE

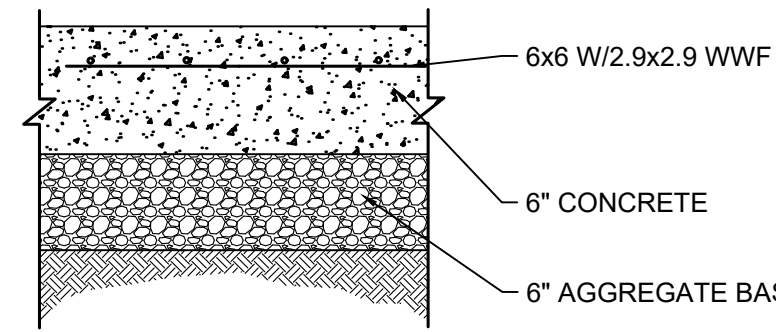
2 TRAFFIC ARROW NO SCALE



3 ACCESSIBLE PARKING SYMBOL NO SCALE

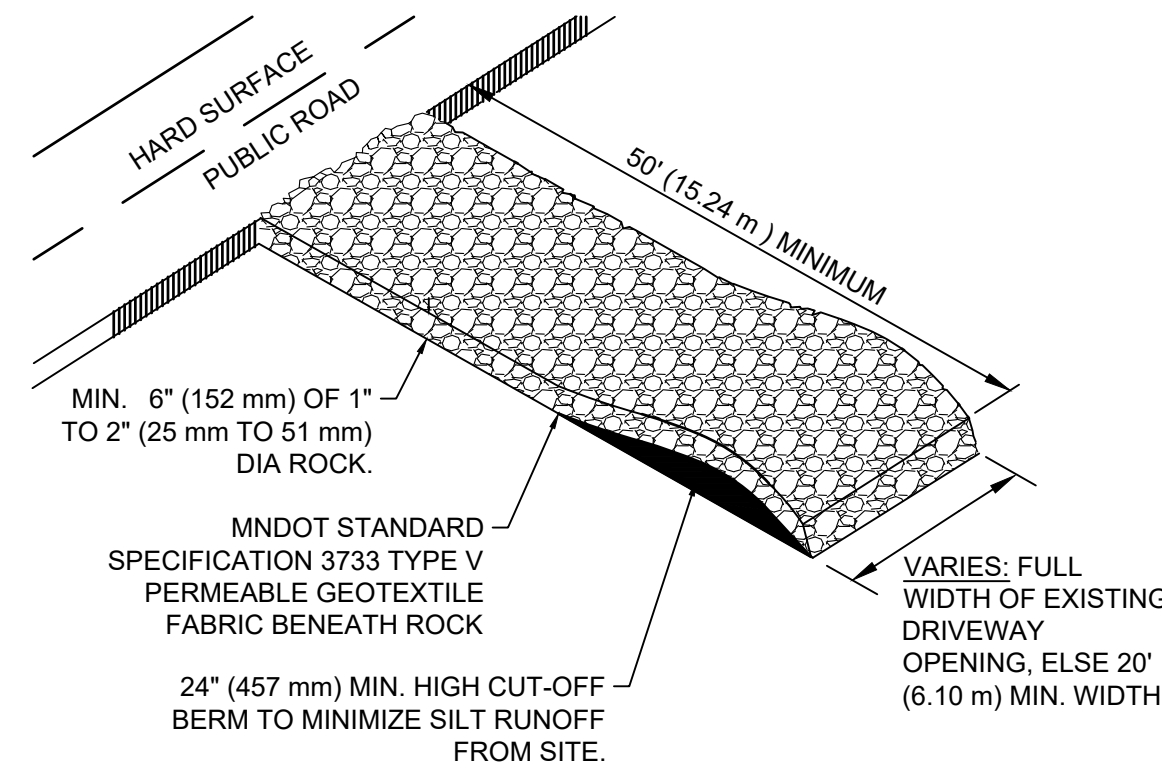


4 TYPICAL CROSS HATCHING MARKINGS NO SCALE

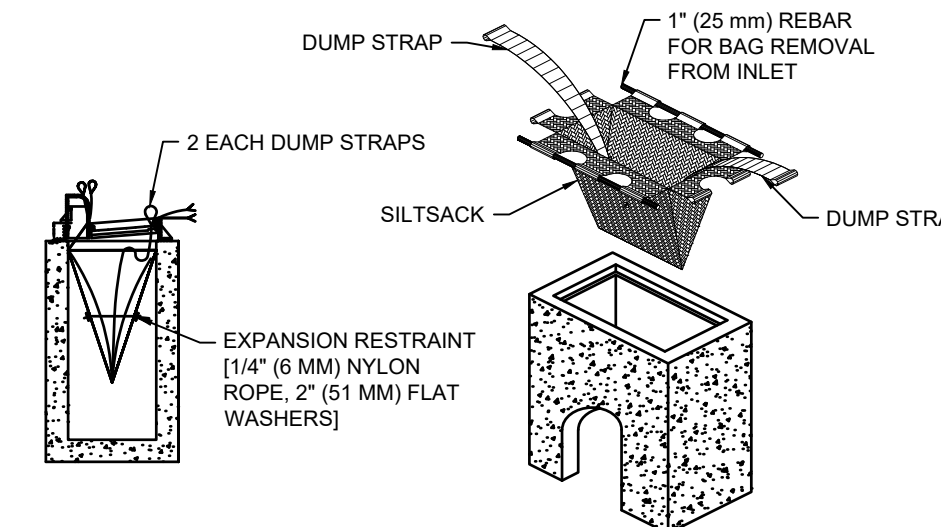


NOTES:
1. REFER TO GEOTECHNICAL ENGINEERING REPORT FOR SOIL SUBGRADE PREPARATION & COMPACTION RECOMMENDATIONS

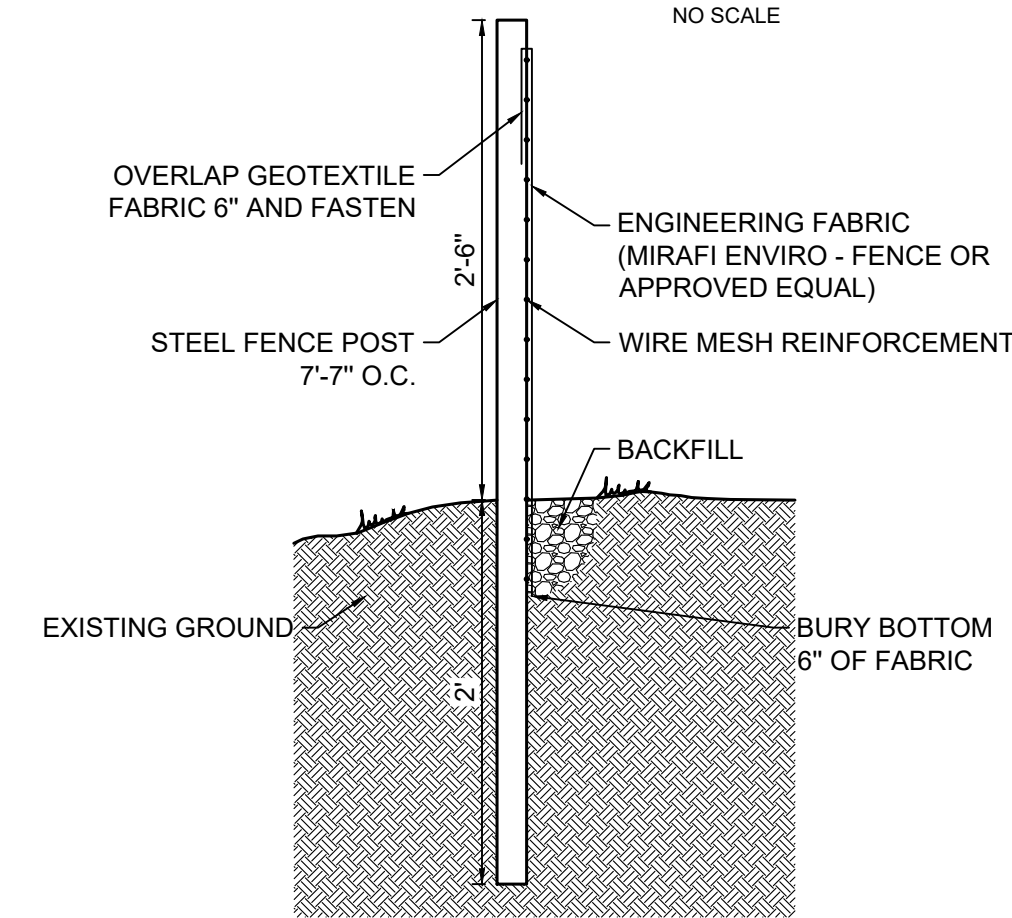
5 CONCRETE PAVEMENT NO SCALE



6 ROCK CONSTRUCTION ENTRANCE NO SCALE

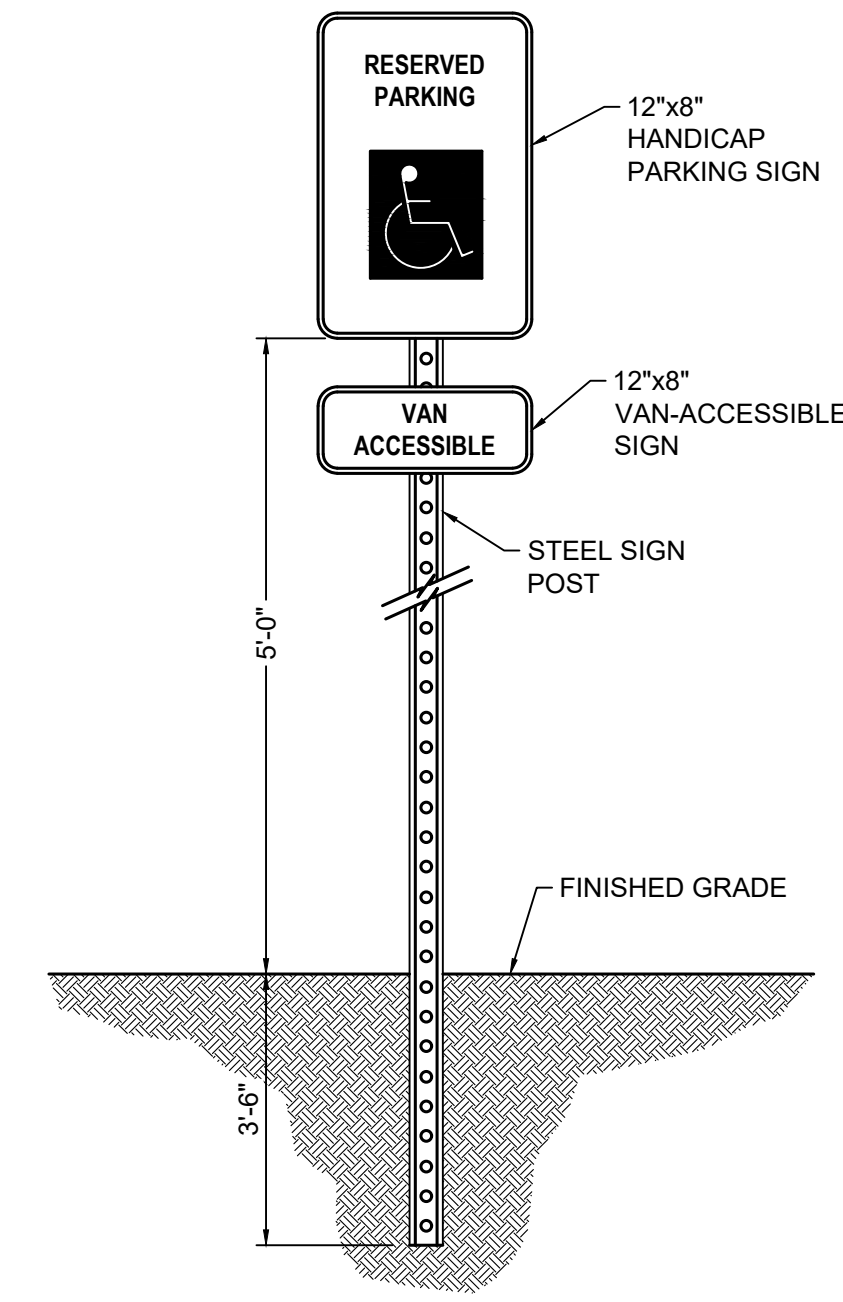


7 INLET PROTECTION -SEDIMENT FILTER SACK NO SCALE



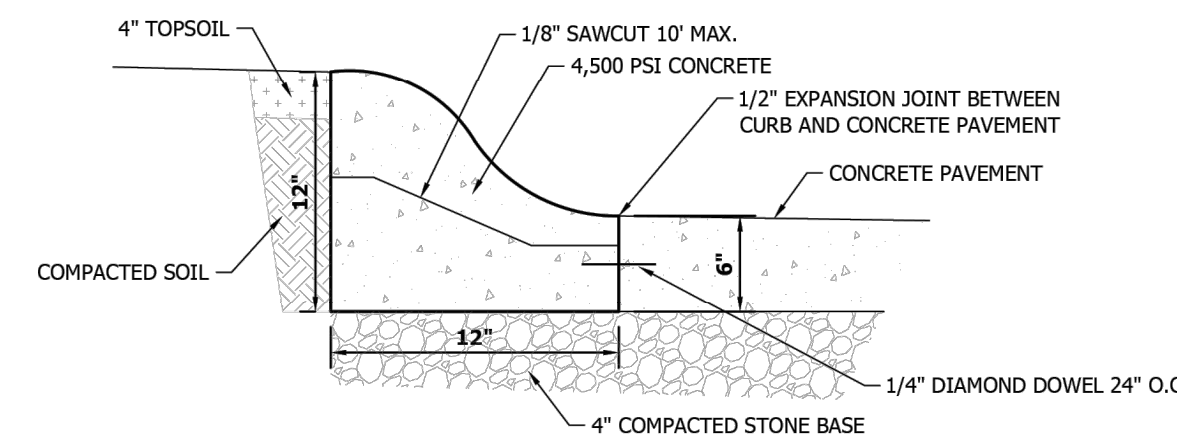
NOTES:
1. PAID FOR AS SILT FENCE - HEAVY DUTY
2. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION CONTROL MATERIALS FOLLOWING TURF ESTABLISHMENT

8 HEAVY-DUTY EROSION CONTROL FENCE NO SCALE

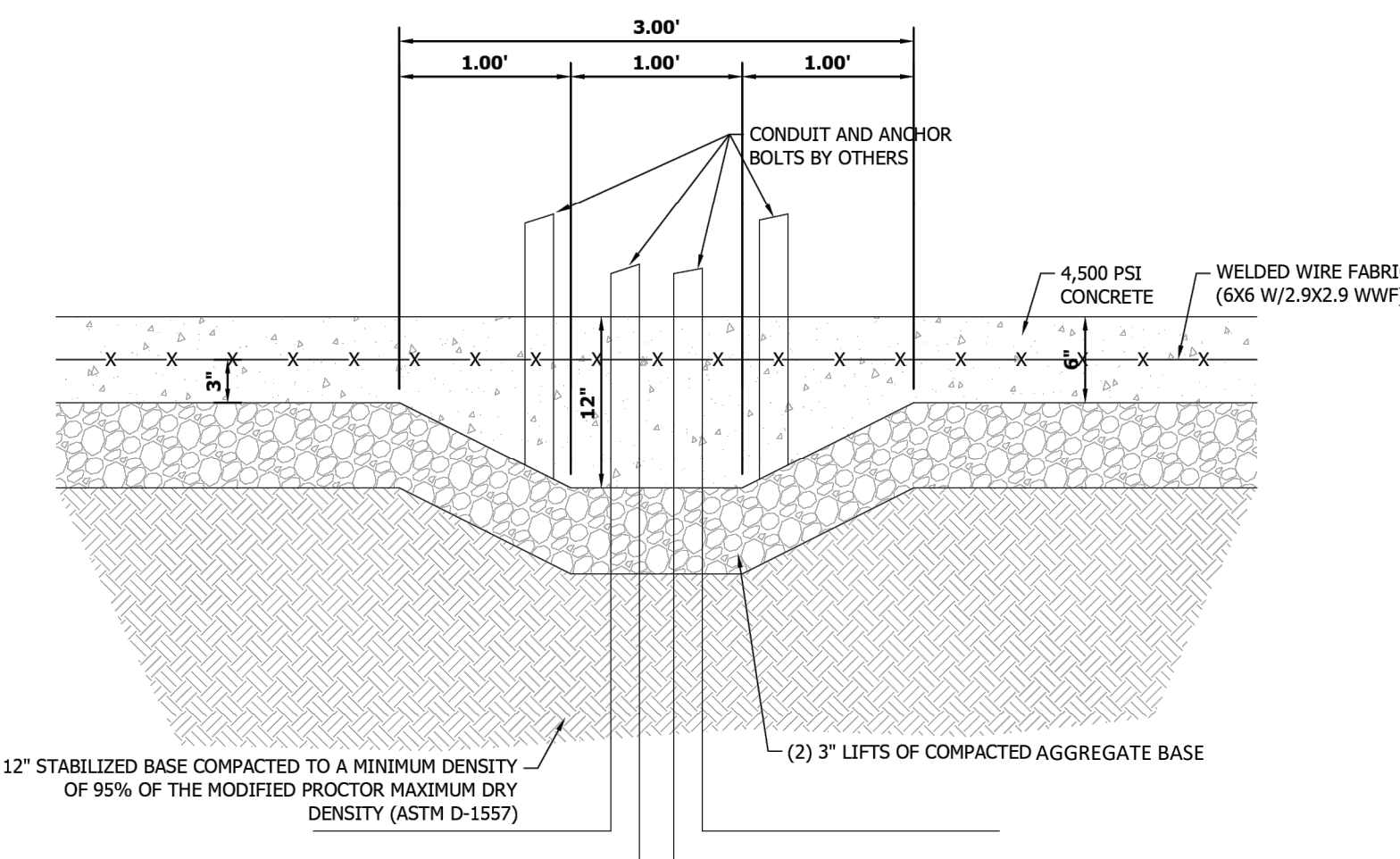


NOTES:
1. SIGNS SHALL BE 18 GAUGE STEEL, WITH BAKED ENAMEL WHITE LETTERS AND BORDER ON BLUE BACKGROUND, WHERE APPLICABLE.
2. POST SHALL BE GALVANIZED STEEL U-CHANNEL, PERFORATED WITH 3/8" HOLES AT 1" CENTERS
3. SIGNS SHALL COMPLY WITH LOCAL MUTCD REQUIREMENTS

9 ACCESSIBLE PARKING SIGN NO SCALE



10 ROLL CURB NO SCALE



1. CONCRETE TO BE CLASS "A"
2. REFER TO APPLICABLE DETAIL FOR CONCRETE JOINT DETAILS
3. SEE NOTES THIS SHEET

11 THICKENED CONCRETE SLAB FOR VACUUMS NO SCALE

NO.	REVISIONS	DATE	BY

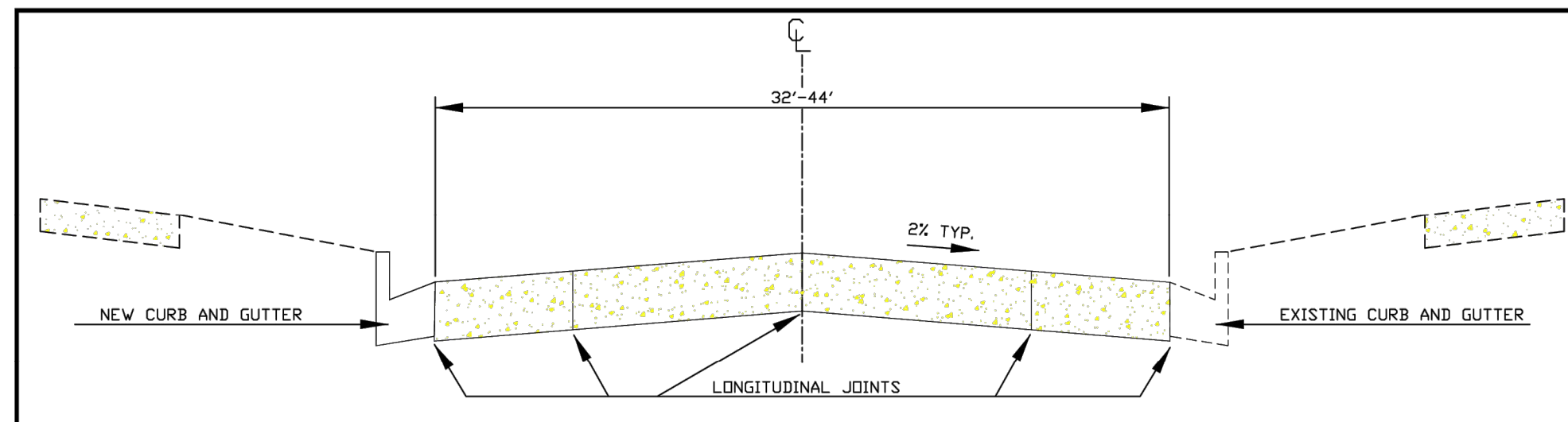
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KHA PROJECT 161033012	DATE 01/03/2025	SCALE AS SHOWN	DESIGNED BY JM/RH	DRAWN BY JM/RH	CHECKED BY JF/J
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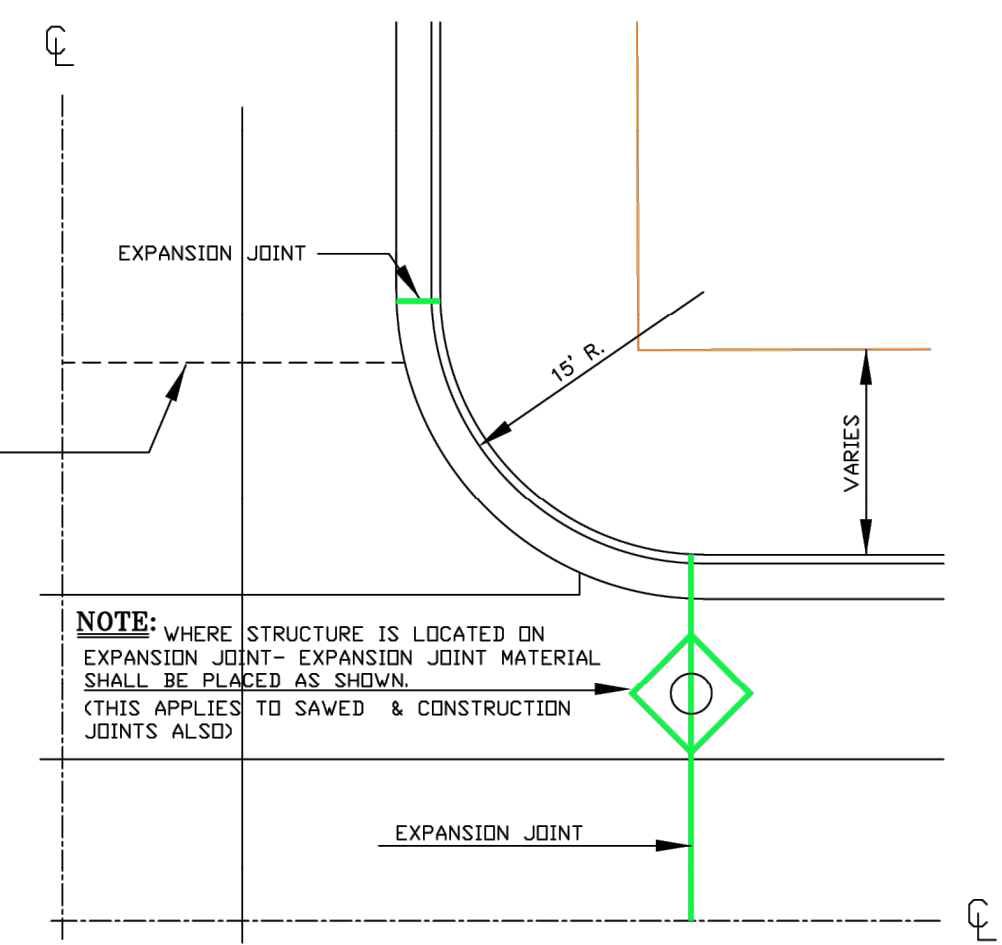
SITE DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION
CREW CAR WASH LA CROSSE
PREPARED FOR
CREW CAR WASH
LA CROSSE
SHEET NUMBER
C401

K:\TWC\LDEVCrew CarwashLa Crosse3 Design\CAD\PlanSheets\CA-SITE DETAILS.dwg January 03, 2025 - 11:48am
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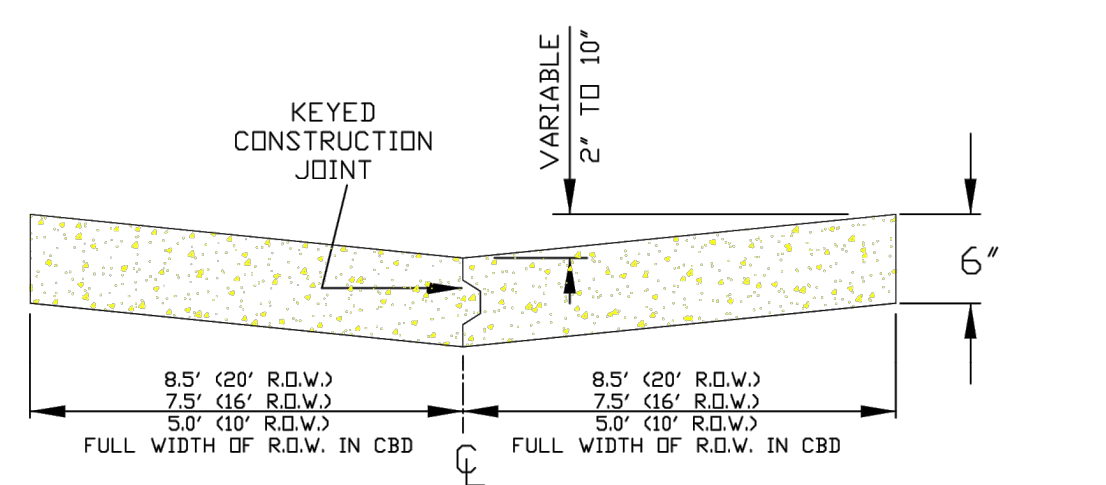
TYPICAL CROSS SECTION FOR 36' ROADWAY



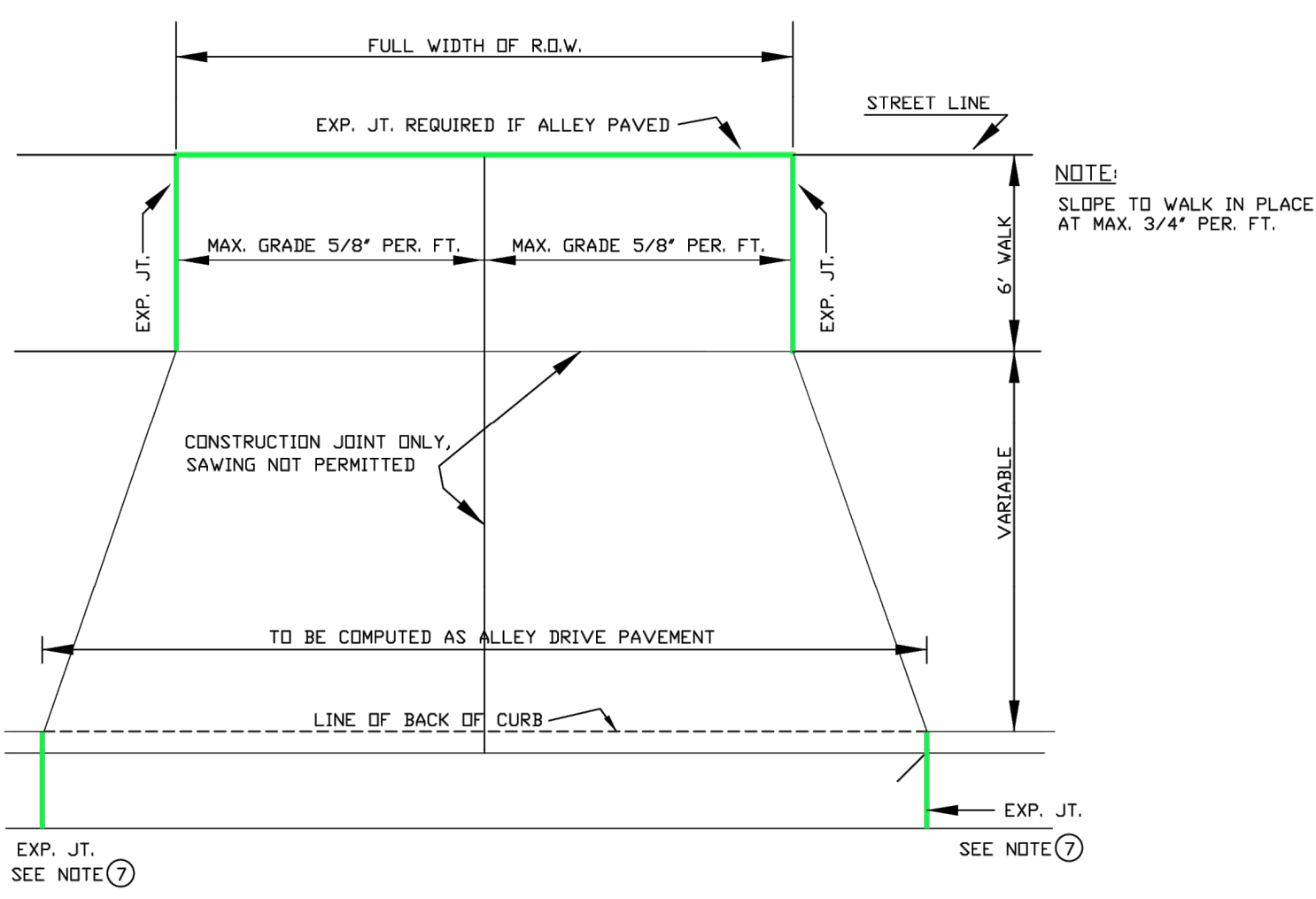
1/4 TYPICAL INTERSECTION

NOTES-JOINTS

- EXPANSION JOINTS SHALL BE PLACED AT THE END OF RADIUS AT STREET INTERSECTIONS AND MID-BLOCK BETWEEN INTERSECTIONS. IN NO CASE SHALL THE DISTANCE BETWEEN EXPANSION JOINTS EXCEED 160 FEET.
- THE DISTANCE BETWEEN TRAVERSE JOINTS SHALL NOT BE LESS THAN 10 FEET AND SHALL BE TYPICALLY 20 FEET APART.
- LONGITUDINAL CONSTRUCTION JOINTS BETWEEN CURB AND GUTTER SECTION AND CONC. PAVING SECTION SHALL BE SEALED AS SHOWN IN JOINT DETAILS.

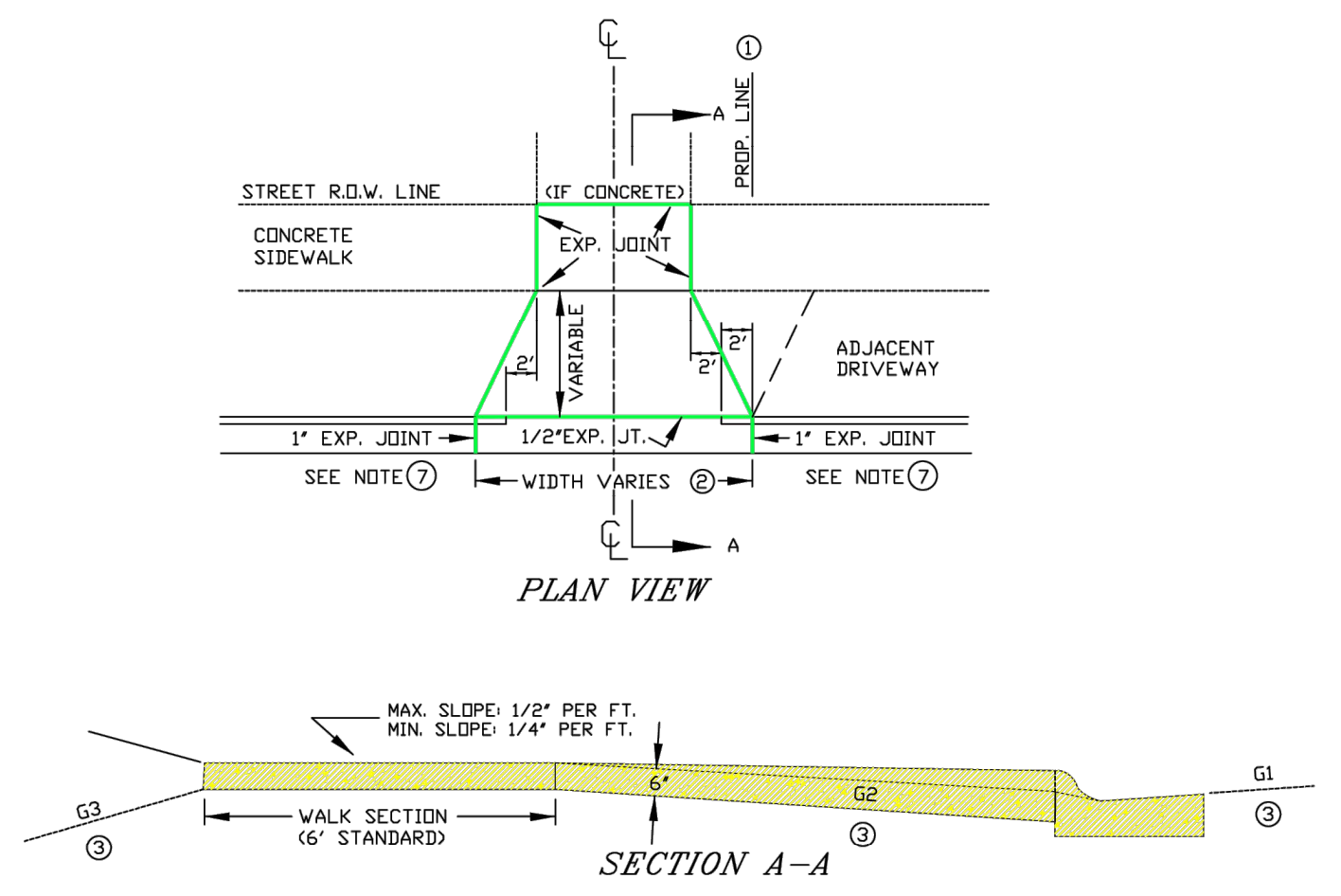


TYPICAL SECTION OF ALLEY PAVEMENT



STANDARD ALLEY DRIVEWAY 7" THICK

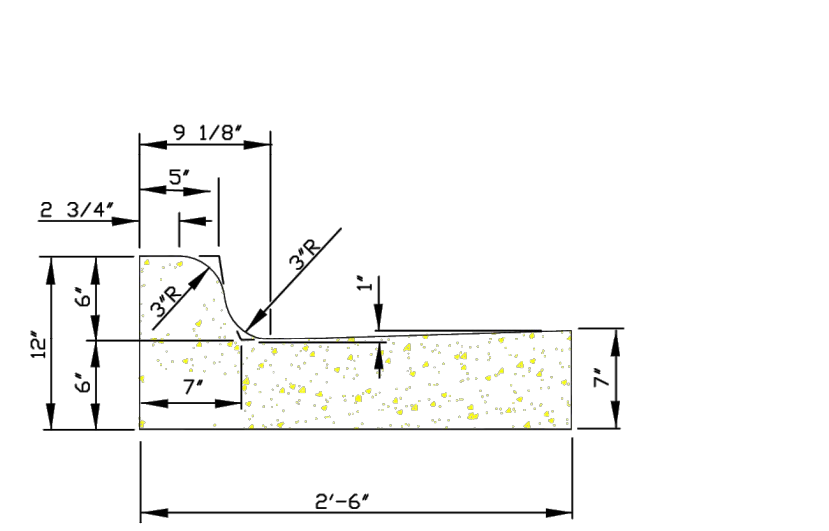
DRAWINGS NOT TO SCALE



- DRIVE SECTION SHALL NOT OVERLAP PROPERTY LINE EXTENDED, EXCEPT WHERE PERMITTED BY THE ENGINEER, OR WHEN A JOINT DRIVEWAY AGREEMENT IS EXECUTED BY OWNERS OF ADJACENT PROPERTIES.
- MAX. DRIVEWAY WIDTH AT THE CURB AND SIDEWALK IS SET FORTH IN CITY ORDINANCE 5.03.
- THE BREAKOVER ANGLE (CAUSE OF CARS BOTTOMING) BECOMES CRITICAL WHEN THE ALGEBRAIC DIFFERENCE OF GRADES (G1, G2, & G3) EXCEEDS 11%.
- A REINFORCED DRIVE SECTION IS REQUIRED FOR CURB & GUTTER IN AREAS ZONED INDUSTRIAL OR COMMERCIAL.
- BACK OF CURB TO FRONT OF CONC. SIDEWALK MUST BE CONCRETE, BRICK OR ASPHALTIC BITUMINDUS.
- MECHANICAL COMPACTION OF SUBSOIL IN LAYERS LESS THAN 12" TO ACHIEVE MINIMUM COMPACTION OF 95% OF MAXIMUM DENSITY FROM MODIFIED PROCTOR IS REQUIRED. (INCLUDING STREET SIDE AFTER FORMS ARE REMOVED).
- EXPANSION JOINT IS REQUIRED AT BOTH ENDS OF DRIVEWAY WHEN ONLY DRIVEWAY IS INSTALLED OR REPLACED. WHEN ENTIRE BLOCK OF CURB & GUTTER IS INSTALLED THE EXPANSION JOINT AT DRIVEWAY ENDS MAY BE OMITTED.

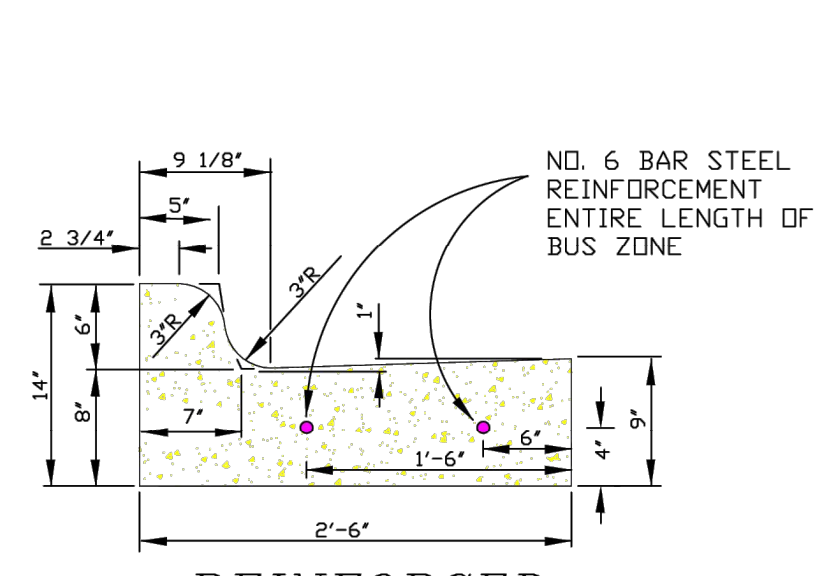
NOTE: TURNING OF 2" DIAMETER DRIVEWAY RETURNS IN LIEU OF DIMINISHING HEAD AS SHOWN IS PERMITTED IF DESIRED BY PROPERTY OWNER. INSTALLATION OF A DRIVEWAY BY REMOVING EXISTING CURB HEAD ONLY IS NOT ALLOWED. ENTIRE EXISTING C&G MUST BE REMOVED FOR NEW DRIVEWAYS. REMOVAL OF A MINIMUM 12" WIDTH OF BITUMINDUS TO INSTALL FRONT FORMS IS REQUIRED.

STANDARD DRIVEWAY DETAIL

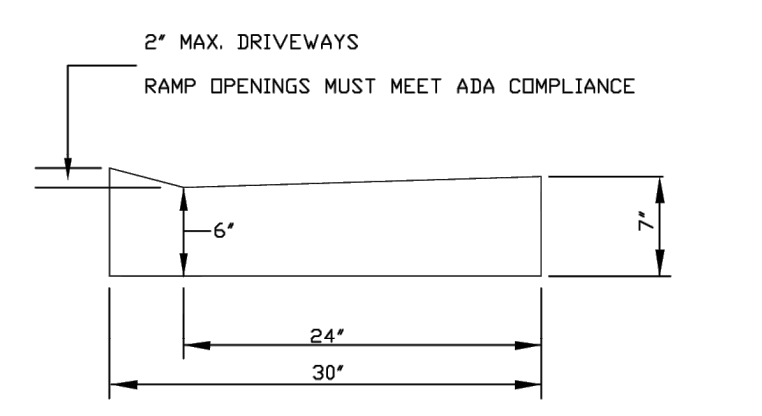


STANDARD CURB & GUTTER SECTION

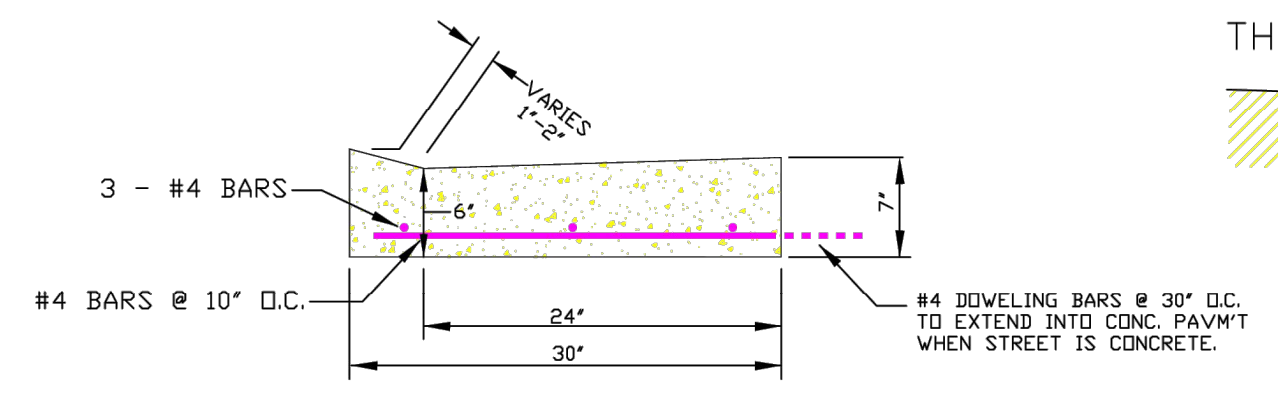
NOTE: WITH REFERENCE TO SAWING OF CONTRACTION JOINTS ON SLIP FORM CURB & GUTTER, & CURB, PAGE 9-3, STANDARD SPEC'S THE SAW CUT SHALL BE A MINIMUM 1/8" WIDE X 1" DEEP.



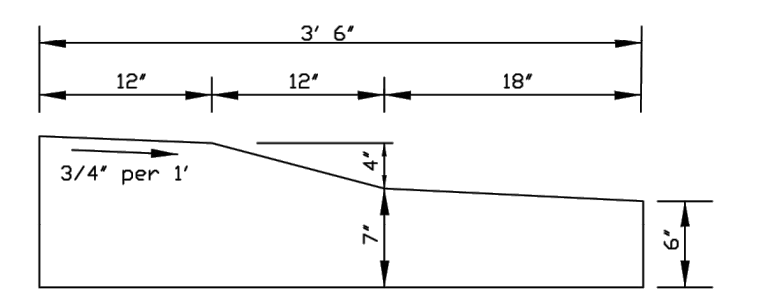
REINFORCED CURB & GUTTER BUS STOP LOCATIONS



MOUNTABLE CURB SECTION

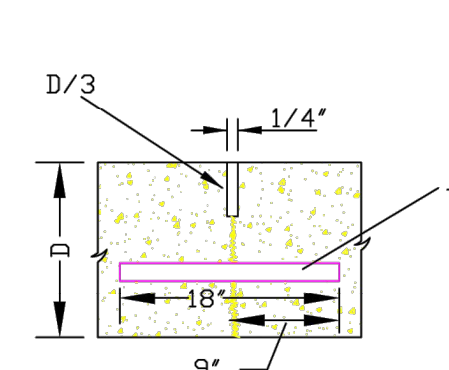
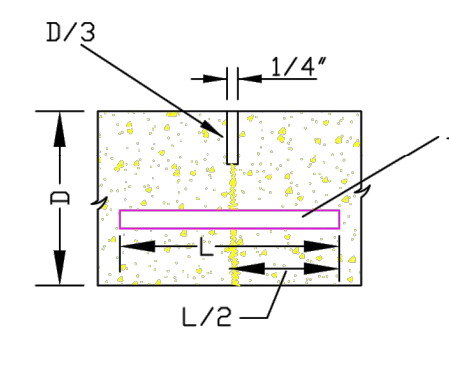
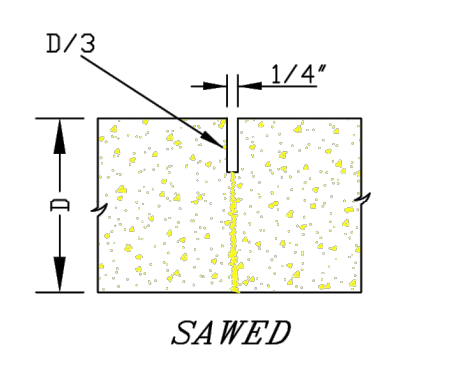


REINFORCED DRIVEWAY



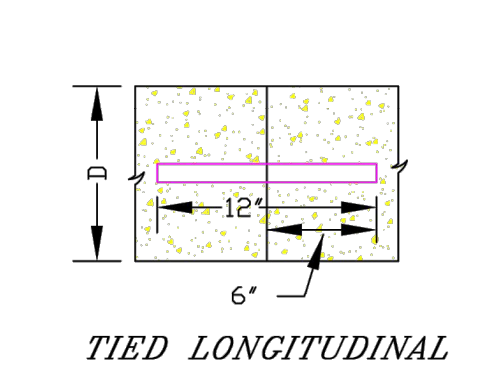
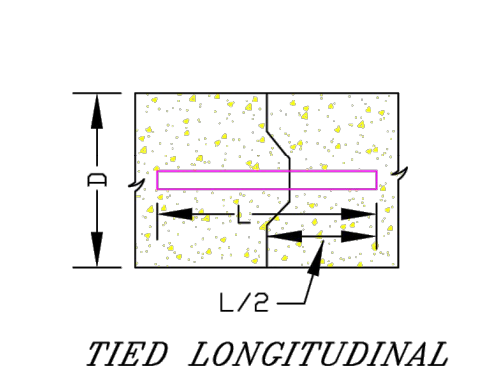
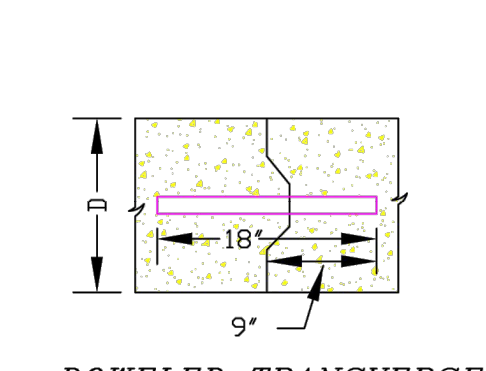
TRAFFIC CIRCLE CURB SECTION

CONTRACTION

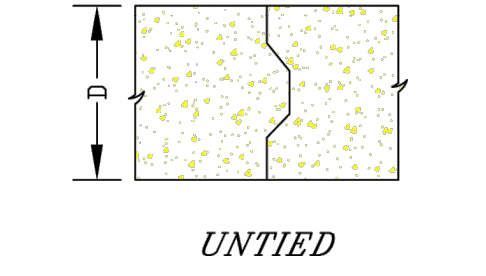


DOWELED TRANSVERSE

CONSTRUCTION

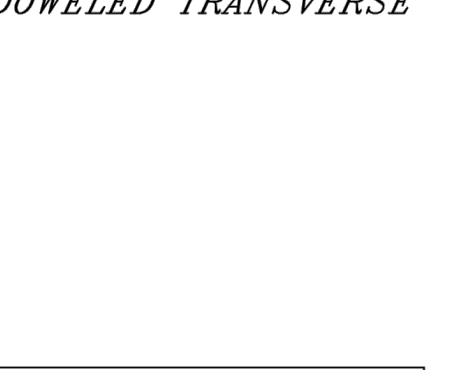
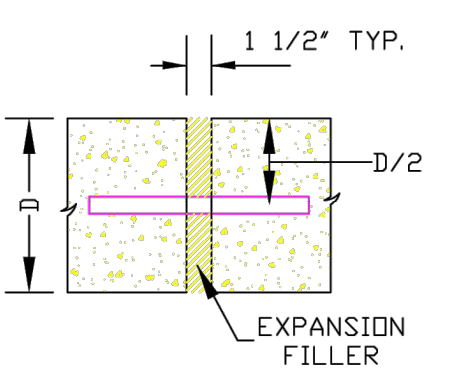


TIED LONGITUDINAL

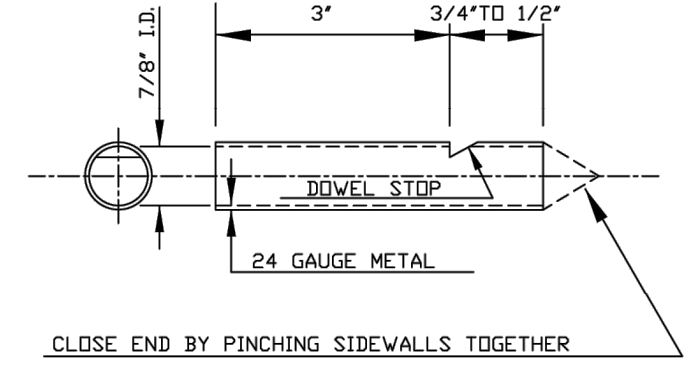


UNTIED

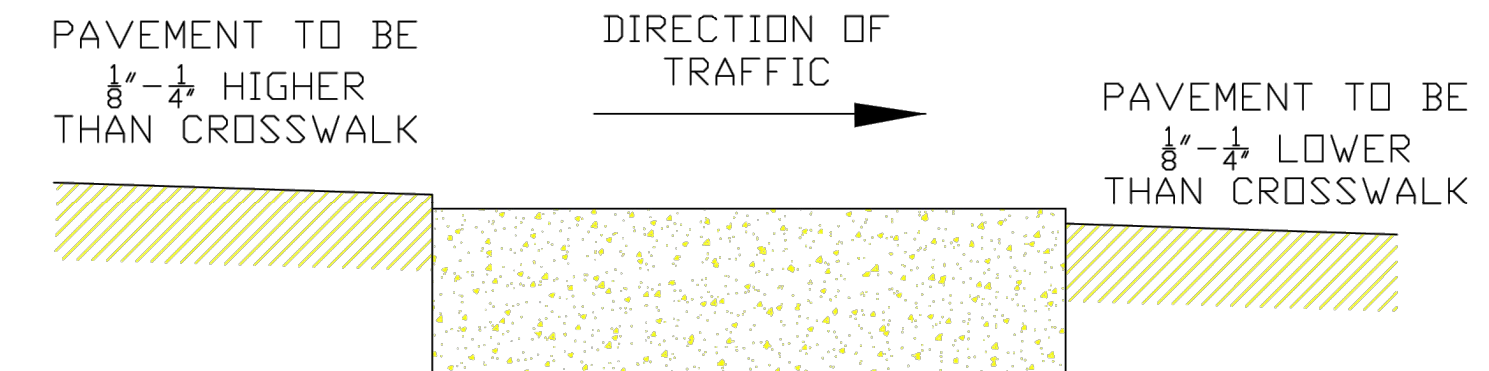
EXPANSION



ALL JOINTS TO BE SEALED TO KEEP OUT FOREIGN DEBRIS



DOWEL SOCKET DETAIL



CONCRETE CROSSWALK DETAIL

PROJECT No.	CONCRETE-PAVEMENT DETAILS	
LOCATION		
RESOLUTION	DATE	
ENGINEERING DEPT. City of LaCrosse, Wis.		
FIELD BOOK NUMBER	SUBMITTED DRAWN CHECKED APPROVED	BY DATE
PAGE	REVISIONS	01/21
SCALE: NONE	TOTAL SHEETS	

PRELIMINARY - NOT FOR CONSTRUCTION

CREW CAR WASH LA CROSSE

PREPARED FOR

CREW CAR WASH

LA CROSSE

Kimley-Horn

2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EULISTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-466-4197
WWW.KIMLEY-HORN.COM

DATE

NO.

REVISIONS

KHA PROJECT 161033012

DATE 01/03/2025

SCALE AS SHOWN

DESIGNED BY JMRH

DRAWN BY JMRH

CHECKED BY JUF

SITE DETAILS

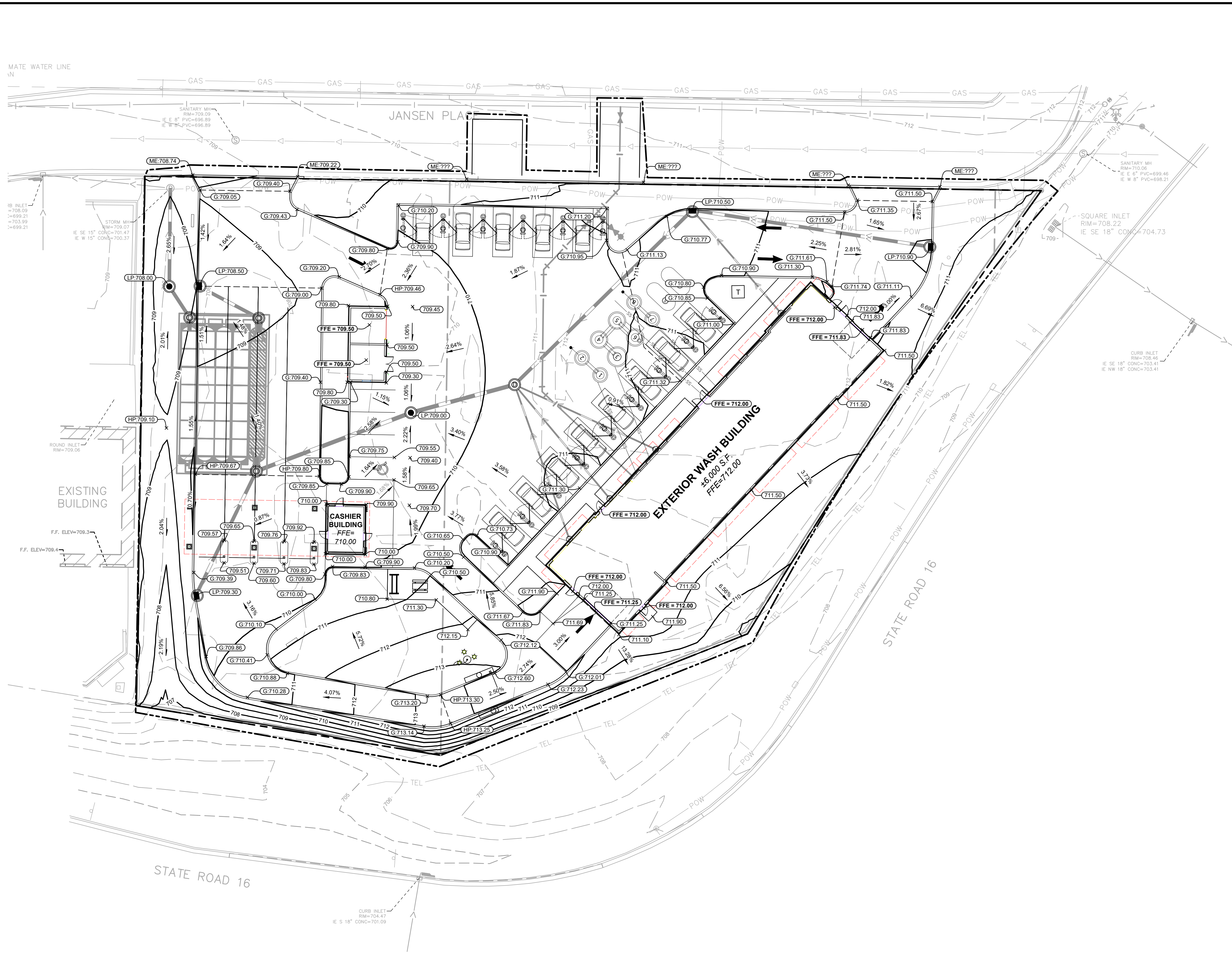
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SHEET NUMBER

C402

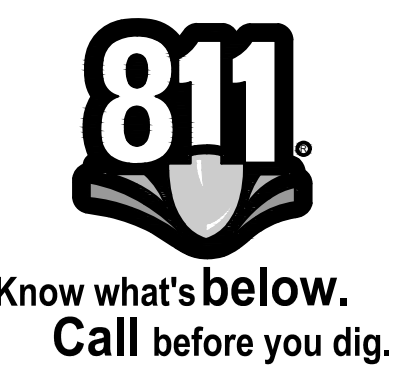
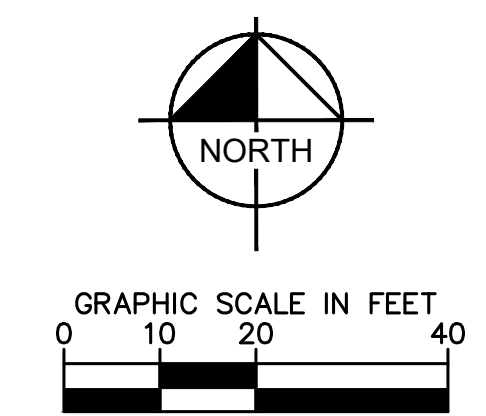
LA CROSSE

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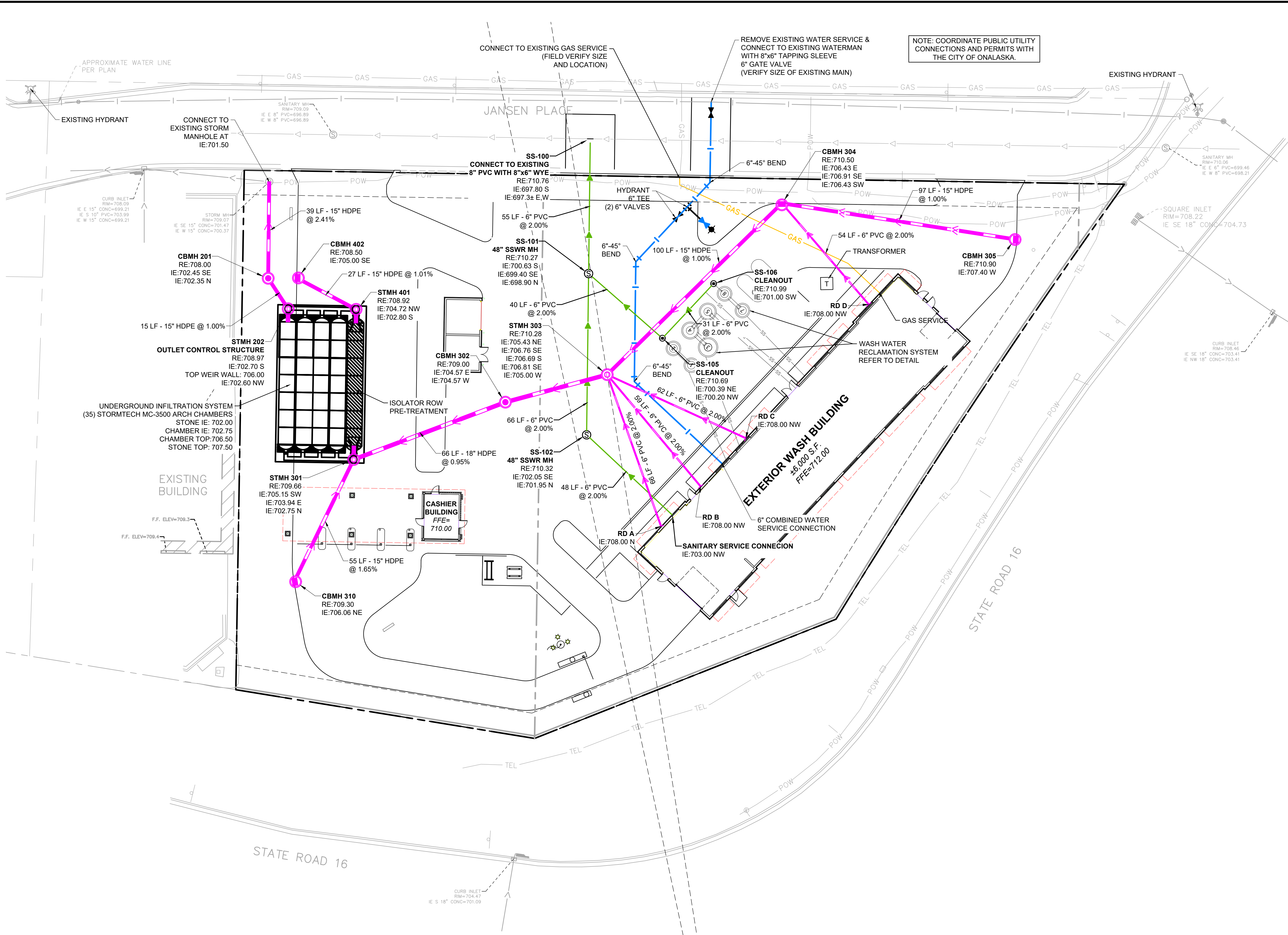
LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED RIDGE LINE
	PROPOSED SWALE
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (CAST-IN-PLACE CONCRETE)
	PROPOSED STORM SEWER CLEANOUT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW ELEVATION
	PROPOSED TOP/BOTTOM OF WALL ELEVATION
	PROPOSED DRAINAGE DIRECTION

- ### GRADING PLAN NOTES
- PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
 - IN PAVED AREAS, ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE THE SITE READY FOR SUB-BASE.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - ELEVATIONS SHOWN REPRESENT FINISHED SURFACE GRADES. SPOT ELEVATIONS ALONG CURB & GUTTER REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED.
 - EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES THAT PROVIDE POSITIVE DRAINAGE TO COLLECTION POINTS. MAINTAIN A MINIMUM SLOPE OF 1.25% IN ASPHALT PAVEMENT AREAS AND A MINIMUM SLOPE OF 0.50% IN CONCRETE PAVEMENT AREAS.
 - MAINTAIN A MINIMUM SLOPE OF 0.50% ALONG CURB & GUTTER. REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL" CURB WHERE PAVEMENT DRAINS TOWARD THE GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM THE GUTTER.
 - INSTALL A MINIMUM OF 4-INCHES OF AGGREGATE BASE MATERIAL UNDER PROPOSED CONCRETE CURB & GUTTER, SIDEWALKS, AND TRAILS UNLESS OTHERWISE DETAILED.
 - GRADING FOR SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING CROSSING DRIVEWAYS, SHALL CONFORM TO CURRENT STATE & NATIONAL ADA STANDARDS:
ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 8.3% (1:12).
SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5.0%.
ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION. A MAXIMUM SLOPE OF 1.50% IS PREFERRED.
SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVEMENT INSTALLATION. CHANGE ORDERS WILL NOT BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
 - UPON COMPLETION OF LAND DISTURBING ACTIVITIES, RESTORE ADJACENT OFFSITE AREAS DISTURBED BY CONSTRUCTION TO MATCH OR EXCEED THE ORIGINAL CONDITION. LANDSCAPE AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4-INCHES OF TOPSOIL.
 - EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS.



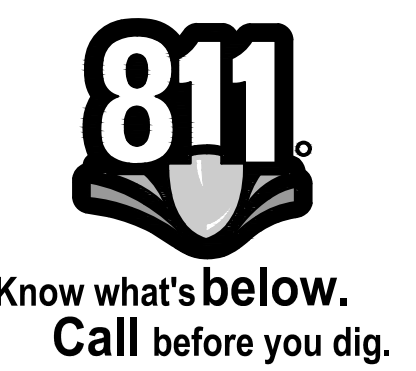
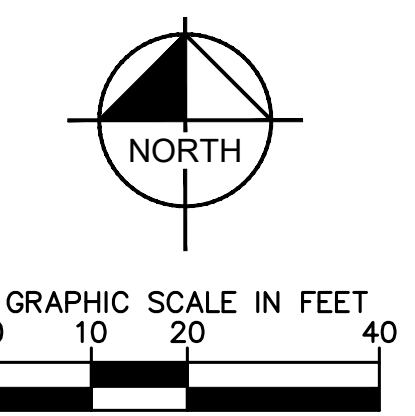
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 767 EULIST STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-466-4197 WWW.KIMLEY-HORN.COM
GRADING AND DRAINAGE PLAN
PREPARED FOR CREW CAR WASH LA CROSSE
SHEET NUMBER C500
PRELIMINARY - NOT FOR CONSTRUCTION
LA CROSSE WI
DATE: _____ REVISIONS: _____ NO. _____

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LEGEND	
EXISTING	PROPOSED

- ### UTILITY PLAN NOTES
- INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
 - CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - SANITARY SEWER PIPE SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH 40: ASTM D-1785, F-714, F-894
SANITARY SEWER FITTINGS SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH 40: ASTM D-2665, F-794, F-1866
 - WATER MAIN PIPE SHALL BE:
PVC: ASTM D-1785, D-2241, AWWA C-900
DUCTILE IRON: AWWA C115
WATER MAIN FITTINGS SHALL BE:
PVC: ASTM D-2464, D-2466, D-2467, F-1970, AWWA C-907
DUCTILE IRON: AWWA C-153, C-110, ASME 316.4
 - STORM SEWER PIPE SHALL BE:
RCP: ASTM C-76
HDPE: ASTM F-714, F-894
PVC: ASTM D-2729
PVC SCH 40: ASTM D-1785, D-2665, F-794
DRAIN TILE SHALL BE:
PE: ASTM F-6667
PVC: ASTM D-2729
STORM SEWER FITTINGS SHALL BE:
RCP: ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE: ASTM D-3212
PVC: ASTM D-2729, JOINTS PER ASTM D-3212
PVC SCH 40: ASTM D-2665, F-794, F-1866
 - WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
 - PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
 - FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 - MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE). PROVIDE 10-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - ALL PVC & HDPE SEWER AND WATER PIPE SHALL HAVE A TRACER WIRE INSTALLED IN THE TRENCH AND TERMINATED PER THE DETAILS.
 - UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
 - IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
 - REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS, BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
 - CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
 - EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
 - EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
 - WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4-FEET OF COVER IN PAVED AREAS OR 3-FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5-FEET IN WIDTH, CENTERED ON THE PIPE.
 - ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
 - ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
 - CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.



PRELIMINARY - NOT FOR CONSTRUCTION

CREW CAR WASH LA CROSSE
PREPARED FOR
CREW CAR WASH

SHEET NUMBER
C600

No.	REVISIONS	DATE	BY

Kimley-Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EULIST STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-466-4197
WWW.KIMLEY-HORN.COM

KHA PROJECT 15103012	DATE 01/03/2025	SCALE ###/###	DESIGNED BY JMRH	DRAWN BY JMRH	CHECKED BY JFJ
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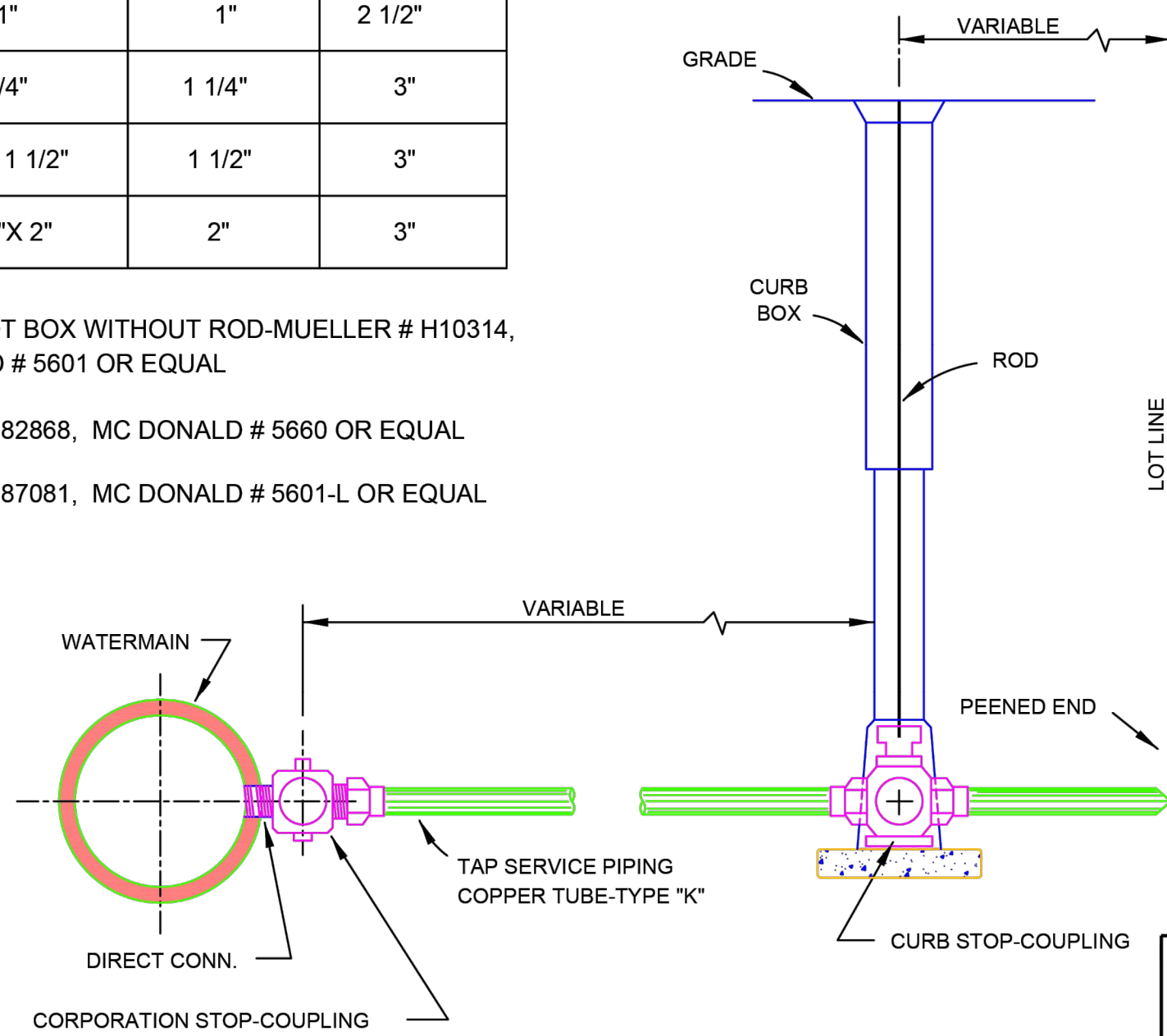
UTILITY PLAN

LA CROSSE

DETAIL OF SERVICE SHUT-OFF

SERVICE PIPE	CORP. STOP	CURB STOP	SERVICE BOX
1"	1"	1"	2 1/2"
1 1/4"	1 1/4"	1 1/4"	3"
1 1/2"	1 1/4" X 1 1/2"	1 1/2"	3"
2"	1 1/2" X 2"	2"	3"

CURB BOX : SEVEN FOOT BOX WITHOUT ROD-MUELLER # H10314, MC DONALD # 5601 OR EQUAL
 54" or 57" ROD : MUELLER # 82868, MC DONALD # 5660 OR EQUAL
 LID : MUELLER # 87081, MC DONALD # 5601-L OR EQUAL



PROJECT No. _____
 LOCATION **WATERMAIN DETAILS**
 RESOLUTION _____ DATE _____
ENGINEERING DEPT.
City of La Crosse, Wis.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	06/20/20
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

SHEET NO. **D-3** TOTAL SHEETS

NOTE:
 SERVICES SMALLER THAN 1" ARE TO BE TAPPED
 45° TO VERTICAL ON WATERMAIN

DRAWING NOT TO SCALE

SEWER PIPE JOINT MATERIALS

CONCRETE PIPE-RUBBER GASKET (ASTM C-433)
 PVC PIPE-ELASTOMERIC GASKET (ASTM D-3212 & F-4177)

DETAILS OF SEWER TRENCHES

WET TRENCH: 1:1 SLOPE, WET OR HEAVY SOILS. THOROUGHLY TAMPED IN LAYERS OF NOT MORE THAN 4". BACKFILL MATERIAL THOROUGHLY TAPPED IN LAYERS OF NOT MORE THAN 4".

DRY TRENCH: 2:1 SLOPE, DRY OR MOIST SOILS. NATURAL GROUND OF GOOD BEDDING MATERIAL. 4" OF WASHED STONE PIPE BEDDING.

DETAILS OF MANHOLE FRAME & COVER

TYPE "C" COPE
 CONCEALED PICKHOLE
 SOLID LID, NON-ROCKING
 REINFORCED CONCRETE
 SELF-SEAL DETAIL
 MACH. GROOVE IN LID SEAT FOR 1/4" DIA. POLYISOPRENE GASKET

NOTE 1: TOP OF MANHOLE TO BE 1" BELOW FINISHED GRADE. ADJUSTMENT TO BE OF PRE-CAST CONCRETE RINGS WITH RUBBER GASKETS (RINGS BETWEEN RINGS AND NOT BETWEEN CASTING & TOP RING ONLY.) (S/LV PORTER MAX.)

NOTE 2: 10 STEPS ARE TO BE INSTALLED IN MANHOLES

NOTE 3: MANHOLE TO BE CONSTRUCTED OF PRE-CAST CONCRETE (ASTM C-433)

NOTE 4: LIFT HOLES TO BE MANUFACTURED WATER PROOF

NOTE 5: INVERT TO BE FACTORY MOLDED TO PIPE DIA. OR FILED TO DIRECT FLOW WITH 20# MARSHALL AGGREGATE, 3500 P.S.I. CONCRETE IF P.H. IS NOT REPLACED

NOTE 6: ALL STRUCTURES TO BE MADE WITH PRE-CAST INTEGRAL FOOTING BASE, MIN. 6"

DETAILS OF STANDARD MANHOLE FOR 30" PIPE OR SMALLER

DETAILS OF STANDARD MANHOLE FOR 36" PIPE OR LARGER

DETAILS OF TYPE "A" CATCH BASIN CASTING

NEENAH R-323A OR EQUAL
 MINIMUM WEIGHT 400 LBS. TOTAL

DETAILS OF TYPE "B" CATCH BASIN CASTING

NEENAH R-323A-R1 OR EQUAL
 MINIMUM WEIGHT 400 LBS. TOTAL

NOTE: DUMP NO WASTE DRAINS TO RIVER! SHALL BE HOLD IN ALL CASTING FACE

DETAIL OF TYPE "A" OR "B" CATCH BASIN

NOTE 7: RECTANGULAR OPENING IN TOP "B" TYPE CASTING: 27" X 27" X 4" TYPE CASTING - 34" X 24"

NOTE 8: TOP OF CATCH BASIN TO BE 1" BELOW CATCH BASIN FLOORLINE. BRIDGE ADJUSTMENT TO BE MADE AS IN NOTE 1

NOTE 9: CONSTRUCTION OF CATCH BASIN TO BE THE SAME AS IN NOTE 1

PROJECT No. _____
 LOCATION **STORM SEWER DETAILS**
 RESOLUTION **D-2** DATE _____
ENGINEERING DEPT.
City of LaCrosse, Wis.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	06/20/20
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

SHEET NO. **D-2** TOTAL SHEETS

K:\TWC_LDEV\Crew Carwash\La Crosse3 Design\CAD\PlanSheets\C6-UTILITY DETAILS.dwg January 03, 2025 - 11:48am

DRAWING NOT TO SCALE

SEWER PIPE JOINT MATERIALS

CONCRETE PIPE-RUBBER GASKET (ASTM C-433)
 PVC PIPE-ELASTOMERIC GASKET (ASTM D-3212 & F-4177)

DETAILS OF SEWER TRENCHES

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TYPE "C" COPE
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NOTE 2: 10 STEPS ARE TO BE INSTALLED IN MANHOLES

NOTE 3: MANHOLE TO BE CONSTRUCTED OF PRE-CAST CONCRETE (ASTM C-433)

NOTE 4: LIFT HOLES TO BE MANUFACTURED WATER PROOF

NOTE 5: INVERT TO BE FACTORY MOLDED TO PIPE DIA. OR FILED TO DIRECT FLOW WITH 20# MARSHALL AGGREGATE, 3500 P.S.I. CONCRETE IF P.H. IS NOT REPLACED

NOTE 6: ALL STRUCTURES TO BE MADE WITH PRE-CAST INTEGRAL FOOTING BASE, MIN. 6"

DETAILS OF STANDARD MANHOLE FOR 30" PIPE OR SMALLER

DETAILS OF STANDARD MANHOLE FOR 36" PIPE OR LARGER

DETAILS OF DROP MANHOLE FOR 30" PIPE OR SMALLER

DETAILS OF RISER FOR HOUSE CONNECTION

PRE-CAST CONCRETE HORSE SHOES FILLED WITH WASHED STONE

SEWER MAIN

PRE-CAST CONCRETE HORSE SHOES FILLED WITH WASHED STONE

NOTE 10: A DROP MANHOLE SHALL BE PROVIDED FOR A LATERAL RISE ENTERING A MANHOLE 1/4" ABOVE THE MANHOLE INVERT.

NOTE 11: A GROUP MANHOLE SHALL BE PROVIDED FOR A LATERAL RISE ENTERING A MANHOLE 1/4" ABOVE THE MANHOLE INVERT.

NOTE 12: TRACER WIRE TO BE INSTALLED WITH NEAR LATERAL, OR WHEN REPLACED FROM MAIN TO RIGHT OF MAIN

NOTE 13: 1/4" BEND

NOTE 14: 1/4" BEND

NOTE 15: 1/4" BEND

NOTE 16: 1/4" BEND

NOTE 17: 1/4" BEND

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NOTE 99: 1/4" BEND

NOTE 100: 1/4" BEND

PROJECT No. _____
 LOCATION **SANITARY SEWER DETAILS**
 RESOLUTION **D-6** DATE _____
ENGINEERING DEPT.
City of LaCrosse, Wis.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	06/20/20
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

SHEET NO. **D-6** TOTAL SHEETS

PRELIMINARY - NOT FOR CONSTRUCTION
CREW CAR WASH LA CROSSE
 PREPARED FOR
CREW CAR WASH
 LA CROSSE
 SHEET NUMBER
C601

KIMLEY-HORN AND ASSOCIATES, INC.
 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 767 EULIST STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-466-4197
 WWW.KIMLEY-HORN.COM

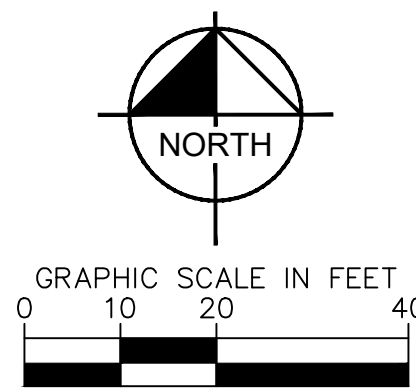
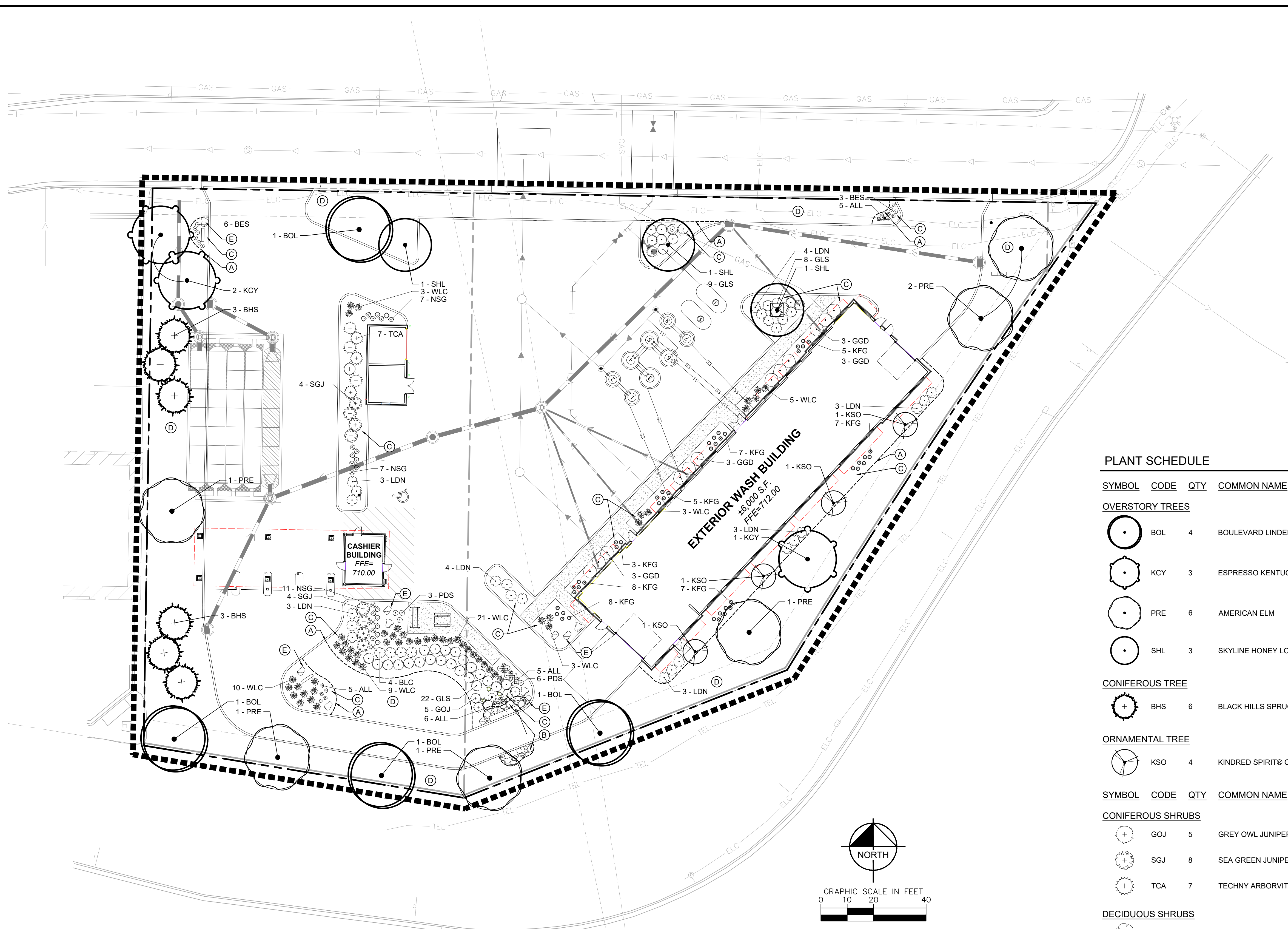
NO.	REVISIONS	DATE	BY

KIMLEY-HORN
 UTILITY DETAILS
 KHA PROJECT
 151035012
 DATE
 01/03/2025
 SCALE
 AS SHOWN
 DESIGNED BY
 JMRH
 DRAWN BY
 JMRH
 CHECKED BY
 JFJ

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Know what's below.
Call before you dig.



LANDSCAPE LEGEND

- EDGER (TYP.)
- APPROXIMATE LIMITS OF SODDING / IRRIGATION, SOD ALL DISTURBED AREAS (TYP.)
- 4 - 6" RIVER ROCK (TYP.)

LANDSCAPE KEYNOTES

- (A) EDGER (TYP.)
- (B) 4 - 6" RIVER ROCK (TYP.)
- (C) ROCK MULCH (TYP.)
- (D) SOD (TYP.)
- (E) BOULDER (TYP.)

LANDSCAPE SUMMARY

LANDSCAPE REQUIREMENTS

SITE FRONTAGE: 468 LF ALONG STATE ROAD 16
269 LF ALONG JANSEN PLACE
LANDSCAPE AREA: 21,362 SF

BOULEVARD TREES REQUIRED - JANSEN:	7 TREES = 269 LF / 40
BOULEVARD TREES PROVIDED - JANSEN:	1 TREE / 40 LF OF LOT FRONTAGE 6 TREES
BOULEVARD TREES REQUIRED - 16:	12 TREES = 468 LF / 40
BOULEVARD TREES PROVIDED - 16:	1 TREE / 40 LF OF LOT FRONTAGE 12 TREES
TREES REQUIRED:	72 TREES = (21,362 (2)) / 600
TREES PROVIDED:	2 TREES / 600 SF OF LANDSCAPE AREA 26 TREES
SHRUBS REQUIRED:	285 SHRUBS = (21,362 (8)) / 600
SHRUBS PROVIDED:	8 SHRUBS / 600 LF OF LANDSCAPE AREA 95 SHRUBS AND 162 PERENNIALS

NOTE: CODE NOT MET DUE TO SITE RESTRAINTS

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	CAL.
OVERSTORY TREES						
	BOL	4	BOULEVARD LINDEN	TILIA AMERICANA 'BOULEVARD'	B & B	2.5" CAL.
	KCY	3	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOICA 'ESPRESSO'	B & B	2.5" CAL.
	PRE	6	AMERICAN ELM	ULMUS AMERICANA 'PRINCETON'	B & B	2.5" CAL.
	SHL	3	SKYLINE HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	B & B	2.5" CAL.
CONIFEROUS TREE						
	BHS	6	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	B & B	6" HT.
ORNAMENTAL TREE						
	KSO	4	KINDRED SPIRIT® OAK	QUERCUS ROBUR X BICOLOR 'NADLER'	B & B	2" CAL.
CONIFEROUS SHRUBS						
	GOJ	5	GREY OWL JUNIPER	JUNIPERUS VIRGINIANA 'GREY OWL'	#5 CONT.	4" O.C.
	SGJ	8	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	#5 CONT.	5" O.C.
	TCA	7	TECHNY ARBORVITAE	THUJA OCCIDENTALIS 'TECHNY'	#5 CONT.	5" O.C.
DECIDUOUS SHRUBS						
	BLC	4	IROQUOIS BEAUTY BLACK CHOKEBERRY	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'™	#5 CONT.	4" O.C.
	GGD	12	GARDEN GLOW DOGWOOD	CORNUS HESSEI 'GARDEN GLOW'	#5 CONT.	5" O.C.
	GLS	39	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	4" O.C.
	LDN	23	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'™	#5 CONT.	4" O.C.
ORNAMENTAL GRASSES						
	KFG	44	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	18" O.C.
	NSG	25	NORTHWIND SWITCH GRASS	PANICUM VIRGATUM 'NORTHWIND'	#1 CONT.	24" O.C.
	PDS	9	PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS	#1 CONT.	18" O.C.
PERENNIALS						
	ALL	21	MILLENNIUM ORNAMENTAL ONION	ALLIUM X 'MILLENNIUM'	#1 CONT.	1.5" O.C.
	BES	9	BLACK-EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	#1 CONT.	18" O.C.
	WLC	54	WALKER'S LOW CATMINT	NEPETA X 'WALKER'S LOW'	#1 CONT.	18" O.C.

PRELIMINARY - NOT FOR CONSTRUCTION

CREW CAR WASH LA CROSSE

PREPARED FOR
CREW CAR WASH

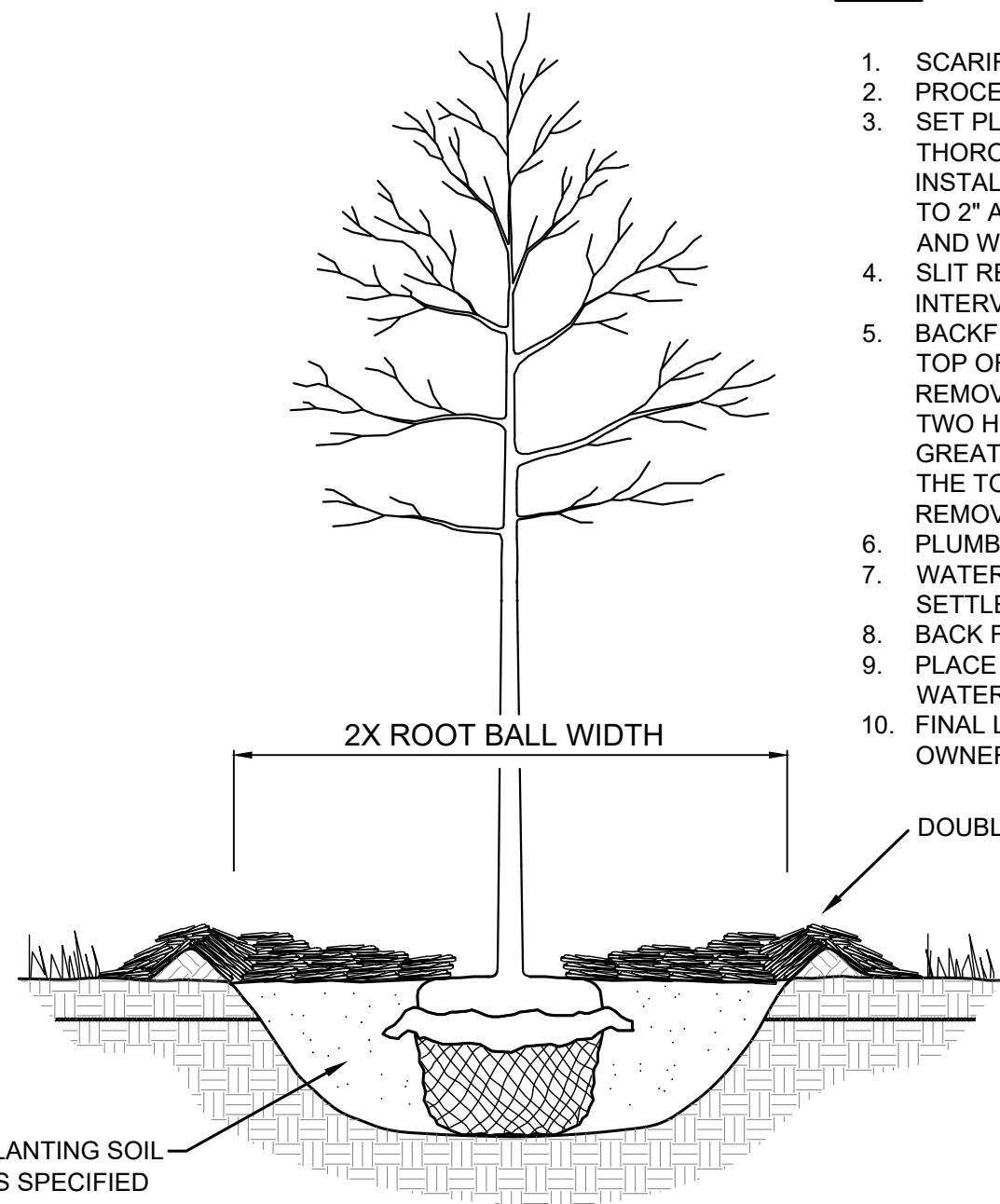
SHEET NUMBER
L100

LANDSCAPE PLAN

KHA PROJECT 161033012	DATE 01/03/2025	SCALE AS SHOWN	DESIGNED BY CFK	DRAWN BY CFK	CHECKED BY RAH
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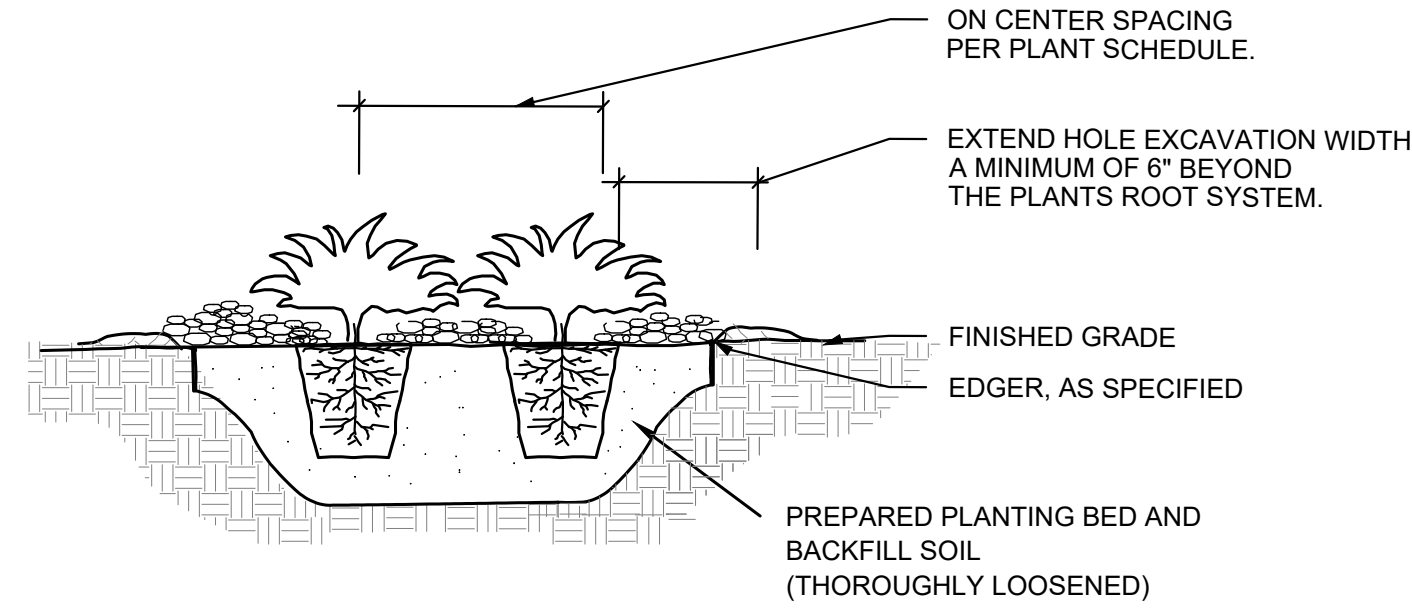
Kimley-Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EULISTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-465-4197
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY



NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

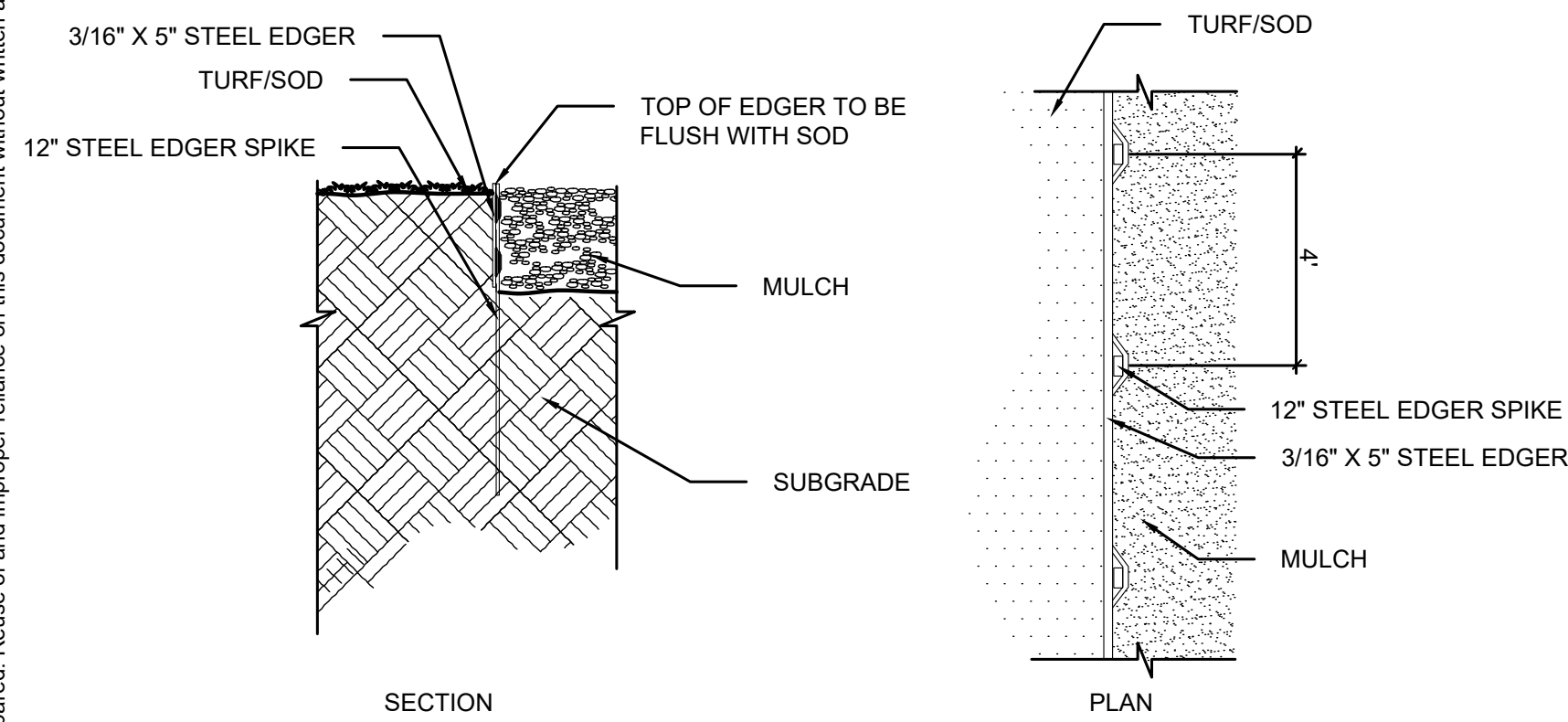


NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4" OF ORGANIC COMPOST.

1 TREE PLANTING DETAIL
SCALE: N.T.S.

2 SHRUB / PERENNIAL PLANTING DETAIL
SCALE: N.T.S.



3 STEEL EDGER DETAIL
SCALE: N.T.S.

LANDSCAPE NOTES

PLANTING

1. CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, WISCONSIN-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.

MULCH

17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. ROCK MULCH TO BE RIVER ROCK, 1 1/2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL, UNLESS NOTED OTHERWISE ON THE PLANS. APPLY PREEMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT PER MANUFACTURER RECOMMENDATIONS. USE PREEN OR PRE-APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

EDGER

18. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. WHERE EDGING TERMINATES AT A SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARD. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

SEED/SOD

19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD WISCONSIN GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED, PER SUPPLIER/MANUFACTURER RECOMMENDATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.

IRRIGATION

20. PROVIDE IRRIGATION / PROVIDE NEW SYSTEM, OR MODIFY EXISTING IRRIGATION PER OWNERS DIRECTION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR. SYSTEM SHALL INCLUDE A RAIN SENSOR AND APPROPRIATE TECHNOLOGY.

ESTABLISHMENT

21. PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.

WARRANTY

23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
24. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD: 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 60 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECIPIES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

NO.	REVISIONS	DATE	BY

Kimley-Horn
 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 767 EULIST STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-468-4197
 WWW.KIMLEY-HORN.COM

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHK	CFK	RAH
161033012	01/03/2025	AS SHOWN					

LANDSCAPE DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

CREW CAR WASH LA CROSSE

PREPARED FOR
CREW CAR WASH

LA CROSSE

SHEET NUMBER
L101