



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
La Crosse, WI 54601

## Meeting Agenda Redevelopment Authority

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Thursday, June 25, 2026

4:00 PM

Council Chambers

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The meeting is conducted in person and virtually via the links below. To join the meeting click this link or type the URL in your web browser address bar:

<https://cityoflacrosse-org.zoom.us/j/83060131598?pwd=rPgJk1KHjqM7wooFEB8SreAJG8BmE0.1>

Meeting ID: 830 6013 1598

Passcode: RDA26

Dial by your location: +1-646-558-8656

If attending virtually and you wish to speak, contact the Department of Planning and Development at the email or phone number below so we can provide you with the necessary information to join in.

Members of the public who would like to provide written comments on any agenda may do so by emailing [tranea@cityoflacrosse.org](mailto:tranea@cityoflacrosse.org), using a drop box outside of City Hall or mailing the Department of Planning and Development, 400 La Crosse Street, La Crosse, WI 54601.

Questions? Call 608-789-7512

### Call to Order

### Roll Call

### Approval of Minutes

### Agenda Items:

- [26-0667](#) Introduction to new member, Brian Fukuda.
- [26-0661](#) Monthly Financial Update of the Redevelopment Authority - June 2026.  
*Attachments:* [June Financials.pdf](#)
- [26-0686](#) Monthly Project Management Update on River Point District - June 2026.  
*Attachments:* [June 2026](#)
- [26-0662](#) Update on Cowboy Jack's.  
*Attachments:* [2026.06.12 Cowboy Jack's La Crosse 26-017 Progress Plans.pdf](#)  
[26002 DD CIVIL PLAN 06122026.pdf](#)  
[NW View \(Patio\) Day.png](#)  
[NW View \(Patio\) Dusk.png](#)

[SE View \(Patio\) Day.png](#)

[SE View \(Patio\) Dusk.png](#)

[SW View \(Patio\) Day.png](#)

[SW View \(Patio\) Dusk.png](#)

## Adjournment

*Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.*

### *NOTICE TO PERSONS WITH A DISABILITY*

*Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to [ADAcityclerk@cityoflacrosse.org](mailto:ADAcityclerk@cityoflacrosse.org), with as much advance notice as possible.*

**Redevelopment Authority Members: Adam Hatfield, Edward Przytarski, Brian Fukuda, Phil Ostrem, Michael Signman, Julie Henline and Barb Janssen**



# City of La Crosse, Wisconsin

City Hall  
400 La Crosse Street  
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## Text File

File Number: 26-0667

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**Agenda Date:** 6/25/2026

**Version:** 1

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** General Item



# City of La Crosse, Wisconsin

City Hall  
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## Text File

File Number: 26-0661

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**Agenda Date:** 6/25/2026

**Version:** 1

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** Resolution

**BALANCE SHEET**

	Type of Statement:	Co. Prep's				
	Date of Statement:	1/31/2026	2/28/2026	3/31/2026	4/30/2026	5/31/2026
<b>ASSETS</b>						
Cash - SB Checking		\$12,599	\$1,164,501	\$103,028	\$5,000	\$20,123
Cash - SB Checking Restricted Debt		\$0	\$0	\$3,056,700	\$0	\$0
Cash - SB MM (Operating, UR)		\$813,699	\$779,254	\$774,669	\$858,227	\$852,927
Cash - SB MM Restricted Equity Program Grant		\$15,000	\$15,000	\$15,000	\$15,000	\$15,000
Cash - SB MM Restricted Planning Option Agreement Deposits		\$163,976	\$167,051	\$167,051	\$177,051	\$192,051
<b>Total Current Assets</b>		<b>\$1,005,275</b>	<b>\$2,125,806</b>	<b>\$4,116,448</b>	<b>\$1,055,278</b>	<b>\$1,080,101</b>
Land - Estimated Value		\$7,000,000	\$7,000,000	\$7,000,000	\$7,000,000	\$7,000,000
Land - 200-206 Causeway Blvd		\$331,697	\$331,697	\$331,697	\$331,697	\$331,697
63 Kraft Street		\$1,360,802	\$1,360,802	\$1,360,802	\$1,360,802	\$1,360,802
65-67 Kraft Street		\$0	\$0	\$1,138,328	\$1,138,328	\$1,138,328
Note Receivable - Gorman (02/28/2034)		\$300,000	\$300,000	\$300,000	\$300,000	\$300,000
<b>Total Assets</b>		<b>\$9,997,774</b>	<b>\$11,118,305</b>	<b>\$14,247,275</b>	<b>\$11,186,106</b>	<b>\$11,210,928</b>
<b>LIABILITIES</b>						
Contract Commitment - JBG Project Mgr		\$0	\$102,300	\$93,000	\$83,700	\$74,400
Contract Commitment - SEH Phase IV		\$18,862	\$18,862	\$18,862	\$18,862	\$17,106
Contract Commitment - SEH Phase IV Admin		\$131,688	\$124,088	\$119,844	\$113,934	\$109,967
Contract Commitment - Chippewa Concrete Phase IV		\$929,140	\$929,140	\$929,140	\$929,140	\$929,140
Contract Commitment - Integrity Grading and Excavation		\$52,606	\$52,606	\$52,606	\$52,606	\$52,606
<b>Total Liabilities</b>		<b>\$1,132,295</b>	<b>\$1,226,995</b>	<b>\$1,213,451</b>	<b>\$1,198,241</b>	<b>\$1,183,218</b>
Net investment in capital assets		\$8,692,499	\$8,692,499	\$9,830,827	\$9,830,827	\$9,830,827
Unrestricted Funds		\$826,299	\$1,943,755	\$877,697	\$863,227	\$873,050
Restricted Funds		\$178,976	\$182,051	\$3,238,751	\$192,051	\$207,051
Unassigned Funds		(\$832,295)	(\$926,996)	(\$913,451)	(\$898,241)	(\$883,218)
<b>Net Position</b>		<b>\$8,865,479</b>	<b>\$9,891,310</b>	<b>\$13,033,824</b>	<b>\$9,987,864</b>	<b>\$10,027,711</b>
<b>Total Liabilities &amp; Net Position</b>		<b>\$9,997,774</b>	<b>\$11,118,305</b>	<b>\$14,247,275</b>	<b>\$11,186,106</b>	<b>\$11,210,928</b>



# City of La Crosse, Wisconsin

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## Text File

File Number: 26-0686

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**Agenda Date:** 6/25/2026

**Version:** 1

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** Status Update

**Agenda Number:**



The Lofts at River Point District, May, 2026

# River Point District

## Project Management Report-June, 2026

**JBG Planning LLC**

# Contents

## Project Management Update-June, 2026

### Section 1.

A. Monthly activity summary divided into categories; public infrastructure, investor/developer activity, partnerships activity, financial highlights, design or PDD reviews

### Section 2.

- A. Analysis of challenges and opportunities narrative
- B. Future/existing potential funding solutions and strategies
- C. Partnership solutions and strategies
- D. Ongoing investor/developer contacts/communications
- E. Public/media relations and communications updates
- F. Map panel showing investor activity and Architectural Imagery

### Section 3.

A. Map Panels showing future infrastructure phasing and project schedules and plat

### Section 4.

A. Contacts for Residents and Developers

### Section 5.

A. 2025 Year End Report

# Monthly Activity Summary

## Investor/developer activity

### Since last RDA Meeting:

1. Coordination with developers for lots 1,2, 3, 4, 5, 6, 11, 12, 13 and outlot 5.
2. Coordination with RyKey on Major Employer contacts-Newly released information from the La Crosse Chamber
3. Coordination with 360 Real Estate on 2025-2026 Schedule and offer to purchase lot 13 and outlot 5.
4. Coordination on commercial tenant prospects with developers
5. Coordination on Renter Equity programs and LCF Grant (Grant Awarded) , meetings with housing agencies, financial management firms, employers
6. Coordination with CapVest on development protocols and weekly planning meetings
7. Option filing, drafts
8. Chamber Commercial Investment Forum
9. Xcel Energy Overhead Power Coordination

## Option Agreement status:

### RyKey Lot 8 Sold

**RyKey: -Extension approved for Lot 9 Gateway Commons for 12 months to July, 2025-Extension Granted for 12 months to July, 2026.**

**360: April 27-April 27, 2024 (12 months)-Approved a 12 month extension to August, 2025-Option Extension granted for 9 months to May, 2026.-Expected short term extension on first lot, phase 1 and longer term extension on lot 2 for phase 2,3. Option Pending for Lot 3 of CSM and Offer to Purchase on Lots 1 and 2 of CSM**

**Lot 6 Option-Draft complete for MSP-Option for 6 months executed-Option extension pending, June 25, 2026-June 25, 2027**

**MSP, Sold and Completed (Ribbon Cutting Spring of 2025)**

**Red Earth/War Eagle: Closed and currently being occupied**

**Red Earth, Lots 3 and 4 and 5: 12 month extension approved to May, 2027**

**RyKey, Lot 11 Awarded, Lot 12 Pending Signatures-Revisions submitted to accommodate**

**CapVest Lot 11 an 12 Awarded, April, 2026-October, 2026**

**Unwind Properties, Lots 1 and 2 6 Months Awarded, March, 2026-September, 2026.**

## Partnership Activity

JBG Planning LLC has met with the following stakeholders:

- Fielding inquiries from interested investors and future residents
- Field progress photography and coordination on BVisions Videography Project-complete and in draft form
- Energy systems coordination for possible joint parkway-development use-coordination with City Planning and Parks
- Telephone Inquiries from developer/investors and prospective residents
- Updating Smartsheet database on construction schedule
- LCF Grant Award Coordination and meetings with major employers
- ULI Spring Meeting coordination-Completed and Social Media Posts underway
- Engaged UW Department and student on health performance metrics and impending study-to be complete in June

# Project Challenges and Opportunities

## **Analysis of challenges and opportunities narrative**

### **Challenges:**

1. Review with City Engineering/Public Works the implications of infrastructure ownership by the Redevelopment Authority short and long term
2. Unclassified excavation (contaminated soil) is always a potential cost challenge. Soil disposal costs \$75/cy at the La Crosse County Landfill. (Depending on concentration) and organics affecting the costs of footings/piers. Concrete monolith meeting with Braun Intertec.-Also concrete monolith issues
3. Anticipate the investment in the relocation and costs of the large electrical distribution line along the Black River frontage.
4. TIF application review and needs relative to city policy
5. Timing of projects given external factors such as financial, agency/environmental and supply chain issues including national economic policy impacts
6. Long Term Landscape Maintenance-Contract Complete
7. Construction inflation, tariff impacts, interest rates, external economic factors, financial structures.
8. Lot 12 Concrete Monolith

### **Opportunities:**

9. Continue to market the development opportunities -RFEI issued and developer communications underway
10. Costs of parks/recreation improvements should be coordinated with grant application opportunities
11. La Crosse Community Foundation Social Investment Interests, Renter Equity Grant
12. Potential for renter equity programs and partnerships
13. Ground or building lease opportunities for RDA (to be discussed on case by case basis)
14. Public Private partnerships for Public Parking and/or programmable interior/exterior community spaces
15. Marina partners/leases
16. Discuss maintenance strategies to keep RPD looking good and possible future NID transition-Possible tie to the marina/slips maintenance program
17. Neighborhood Improvement District
18. Lot 12 creative use of real estate

### **Future/existing potential funding solutions and strategies.** See

Smartsheet Funding Resource. Note: As the project is further evaluated, specific funding sources from this resource will be identified and pursued at the discretion of the RDA. Parks and Recreation improvements are a great candidate for third party funding.

### **Ongoing investor/developer contacts/communications**

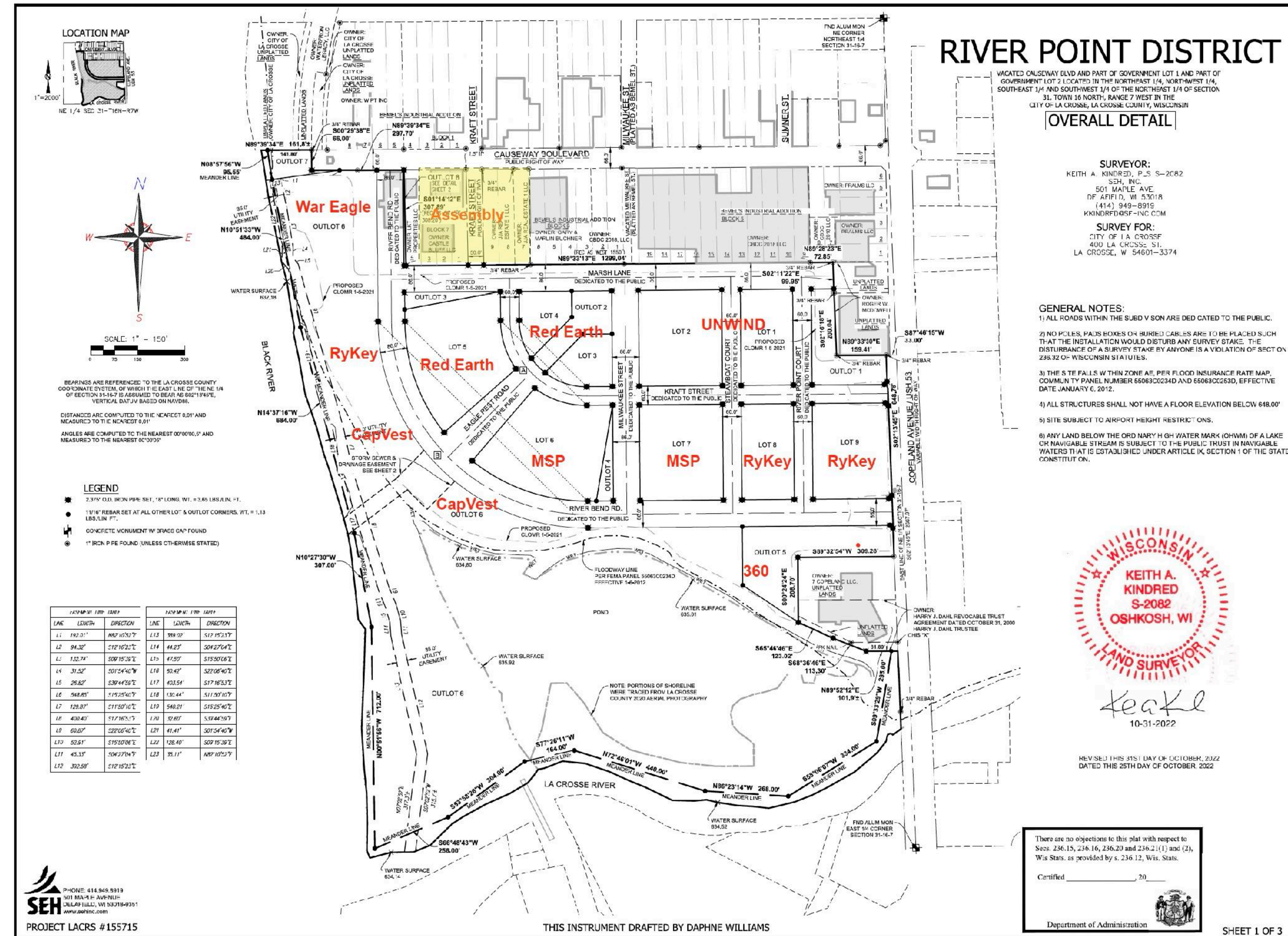
Meetings with both currently engaged investors and prospective investors are underway by JBG Planning LLC. Since some of these meetings involved RDA negotiations, communications on these meetings will need to be handled in closed session.

### **Public/media relations and communications updates**

JBG Planning LLC is working with the City's PIO to address media inquiries and update media, which will include an immediate release section in each RDA report.

# Investment Phases Map

## Anticipated Private Investment Based on Current Option Agreements



### Option Agreement status:

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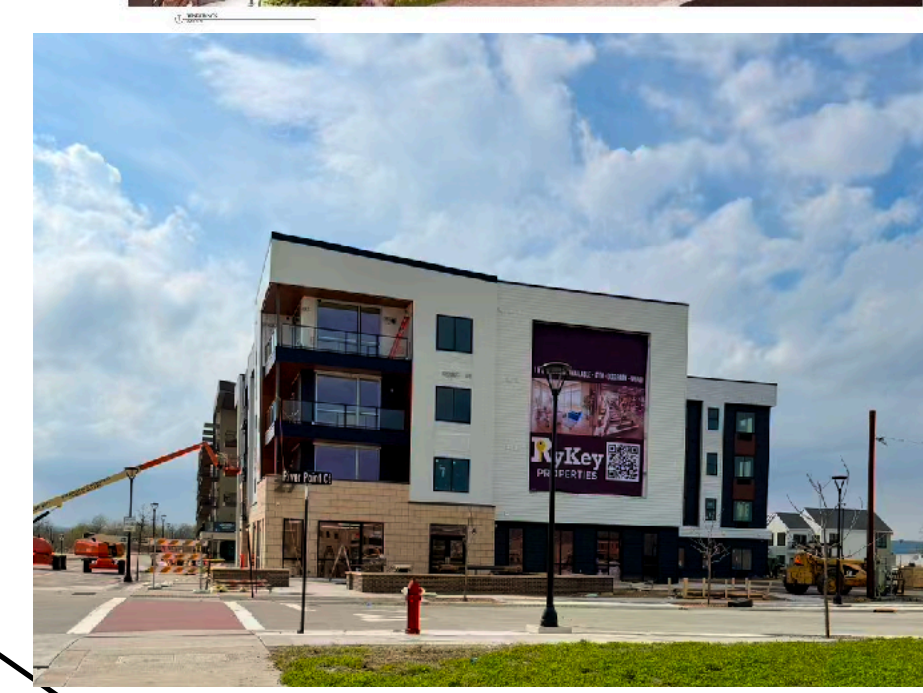
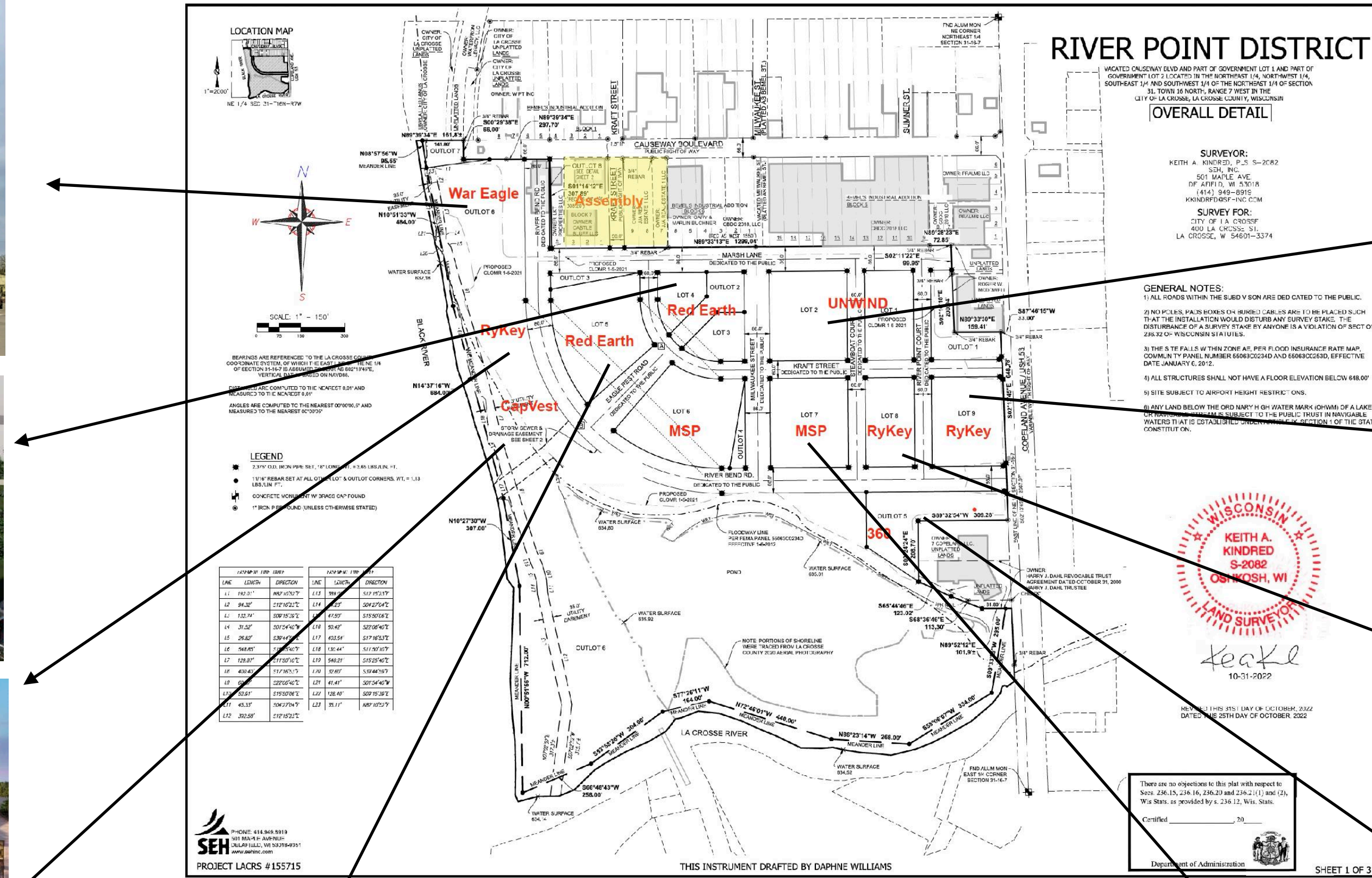
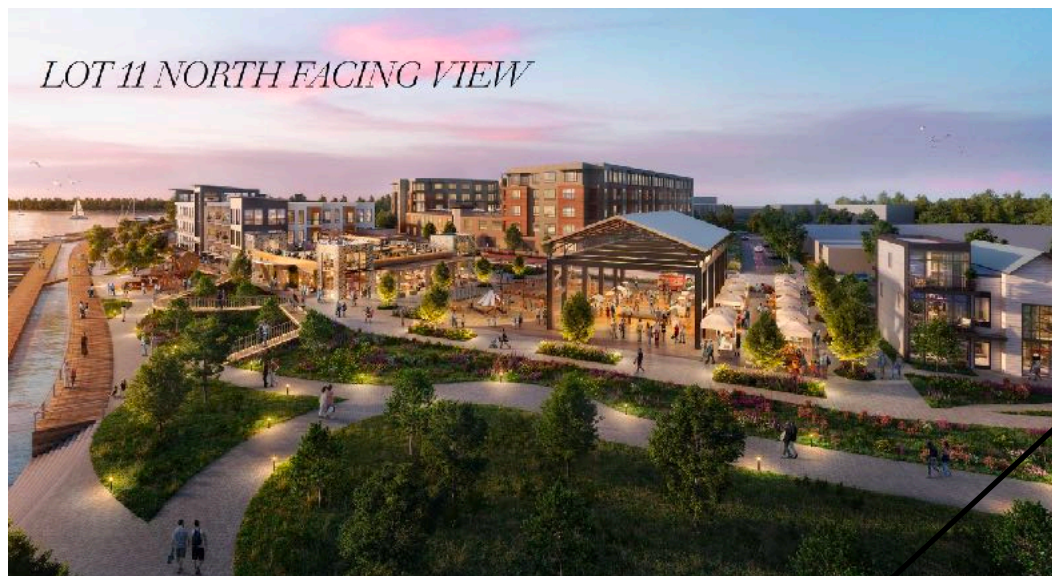
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CapVest Lot 11 and 12 Awarded, April, 2026-October, 2026

Unwind Properties, Lots 1 and 2 6 Months Awarded, March, 2026-September, 2026.

# Investment Character Reference-Current Options



# 2026 Housing and Space Proposed

River Point District, 2026

Housing Proposed by Parcel

## **Lot 8, RyKey Development:**

52-1 bdrm  
4-2 bdrm  
56 Units

## **Lot 1 and 2-UnWind Property Management**

42 Townhomes

## **Lot 3 and Lot 4, Red Earth LLC**

18 Townhouse Condominium Units  
All 3 bdrm units

## **LOT 5, Red Earth LLC**

206 UNITS  
16-Studio  
36-1 bdrm  
8-1 bdrm + den  
32-2 bdrm  
8 3 bdrm

## **LOT 6-Option Signed with MSP**

165-180 Units, 55 and older market rate  
Mix Pending

## **LOT 7, MSP**

- 68 1-BEDROOM UNITS  
- 32 2-BEDROOM UNITS  
- 100 UNITS TOTAL  
TOWNHOUSES:  
- 20 3-BEDROOM UNITS

Total: 120 UNITS TOTAL ON SITE.

## **LOT 9, RyKey Development**

151 Units+ Commercial Space  
123-1 bdrm and studio  
20-2 bdrm  
8-3 bdrm

## **LOT 10 War Eagle LLC**

59 UNITS + 12K Commercial Space  
22-1 Bdrm  
6-1bdrm + den  
11-2 bdrm  
12-3bdrm

## **LOT 11 -CSM Lot 1RyKey**

Details Pending-60 Units Estimated

## **LOT 11 -CSM Lot 2 CapVest**

Restaurant Commercial

## **LOT 12 CapVest**

Commercial Support

## **LOT 13 360 Real Estate-Pending Offer**

21 Units  
21 studio units+ 12K Commercial Space

## **Outlot 5 360 Real Estate-Pending Option Extension**

92 Units  
36 1 bdrm  
28 2bdrm  
28 Studio

## **Total Housing Units Proposed as of 01-2026**

963 with more detail to come on Lots 11, 12, 1 and 2.

## **Commercial Space Proposed**

While we have some preliminary numbers on the mixed use buildings, the square footages for commercial space are somewhat variable as developers negotiate with potential tenants for build-to-suit space



# Project Metrics

## Social, Environmental, Economic and Cultural Outcomes by Project

JBG Planning LLC has developed a tool to assist the RDA in its decision making process for both public and private investment within the development. This tool provides guidance on quantifying project impacts using social, environmental, economic and cultural metrics.

**See the Smartsheet tool. Under the Direction of Andrea Trane, JBG Planning has currently engaged UW La Crosse in studying the health impacts/metrics of the River Point District Development.**

Here are some examples of Metrics outlined by various developers proposing investment in River Point District:

### **1. How does the project relate to social investment in the City**

The Merge River Point District development project meets several social sustainable performance indicators. The project will be a short walking distance of public parks, multiple greenspace areas, opportunities for water recreation, and will provide easy accessibility to the public recreation trail system. Throughout the River Point District bike lanes are included on the master plan which will serve as additional pathways to the above listed destinations. A designated tenant fitness area within the project which is currently a planned amenity. Lastly, the main level commercial space will allow for a multiple to socially beneficial businesses a place to operate.

### **2. How does the project achieve economic investment in the City**

The Merge River Point District development project will increase the number of rentable units available to new and current residents of La Crosse. The project would have a direct positive effect on the jobs to housing ratio. Additionally, the ground floor commercial spaces will add locations for new or relocating businesses. The adding of jobs and housing will only benefit the future economic growth of La Crosse. Lastly, All Merge projects strive to provide high speed internet access to all tenants by partnering with local ISP providers.

### **3. How the project achieve environmental metrics in the City**

All planned construction will meet and exceed minimum energy efficiency standards. Merge partners with 3rd pattern consultants to use Focus On Energy initiatives to ensure the highest level of building efficiencies. These upgrades in building insulation modeling, appliances, and mechanical systems all work cohesively to lower energy consumption and lower tenant utility costs. The development will incorporate mindful planning for stormwater runoff. Additional onsite detention and green spaces help alleviate the burden of added non-permeable surfaces. Adding new housing opportunities closer to residents' employment will allow for a reduction in greenhouse emissions.

### **4. Are there cultural offerings or metrics associated with the project?**

The commercial space would be available to any and all potential businesses. These could include cultural focused companies that could provide additional services to the area.

# Appendix

## PDD General Land Use Map-Newly Revised

### 2.0 SPECIFIC DEVELOPMENT PLAN

### RIVER POINT DISTRICT

#### 2.2 Land Use Diagram

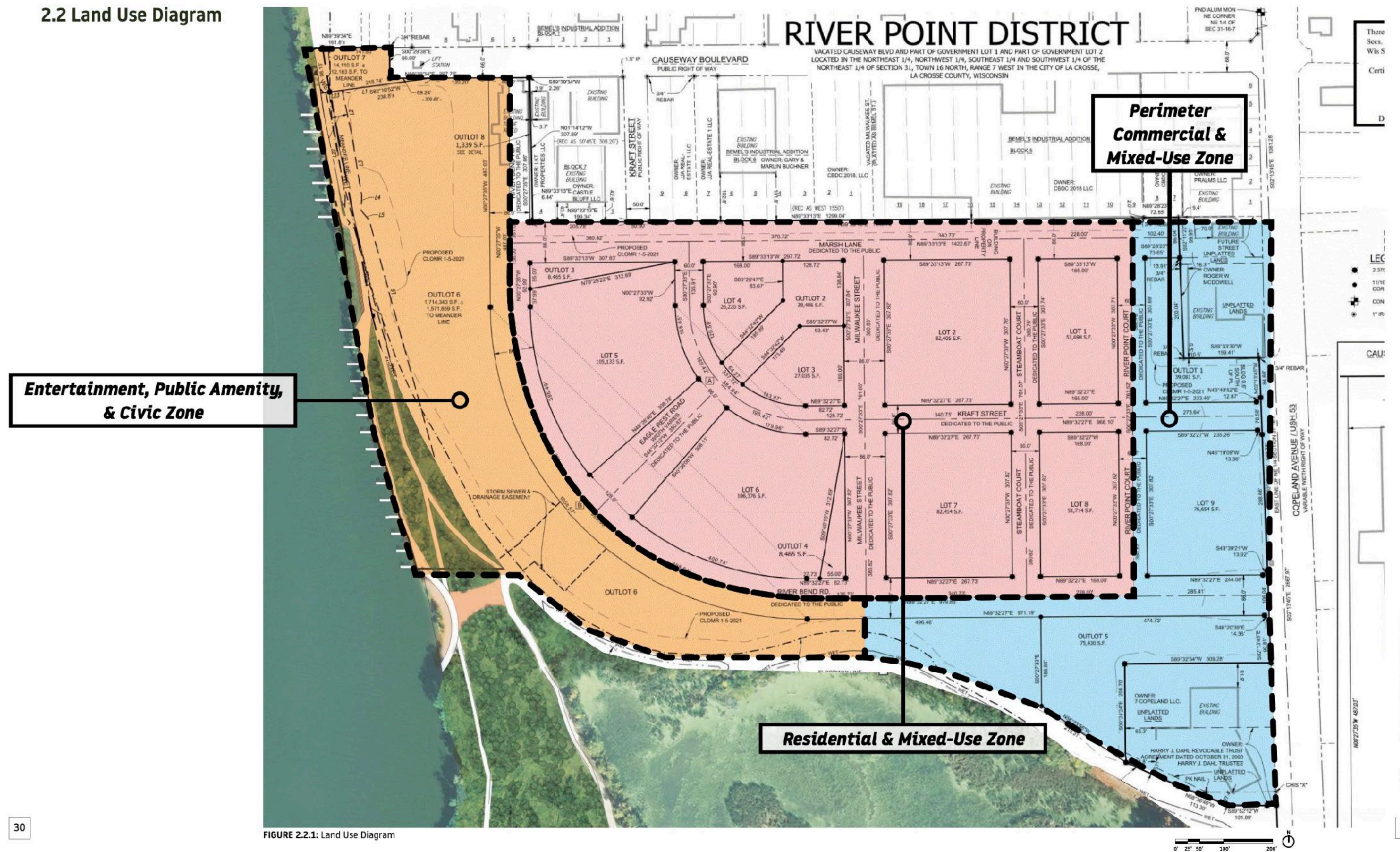


FIGURE 2.2.1: Land Use Diagram

# Appendix

## PDD General Land Use Map-Newly Revised

### 2.0 SPECIFIC DEVELOPMENT PLAN

### RIVER POINT DISTRICT

#### 2.3 Development Summary

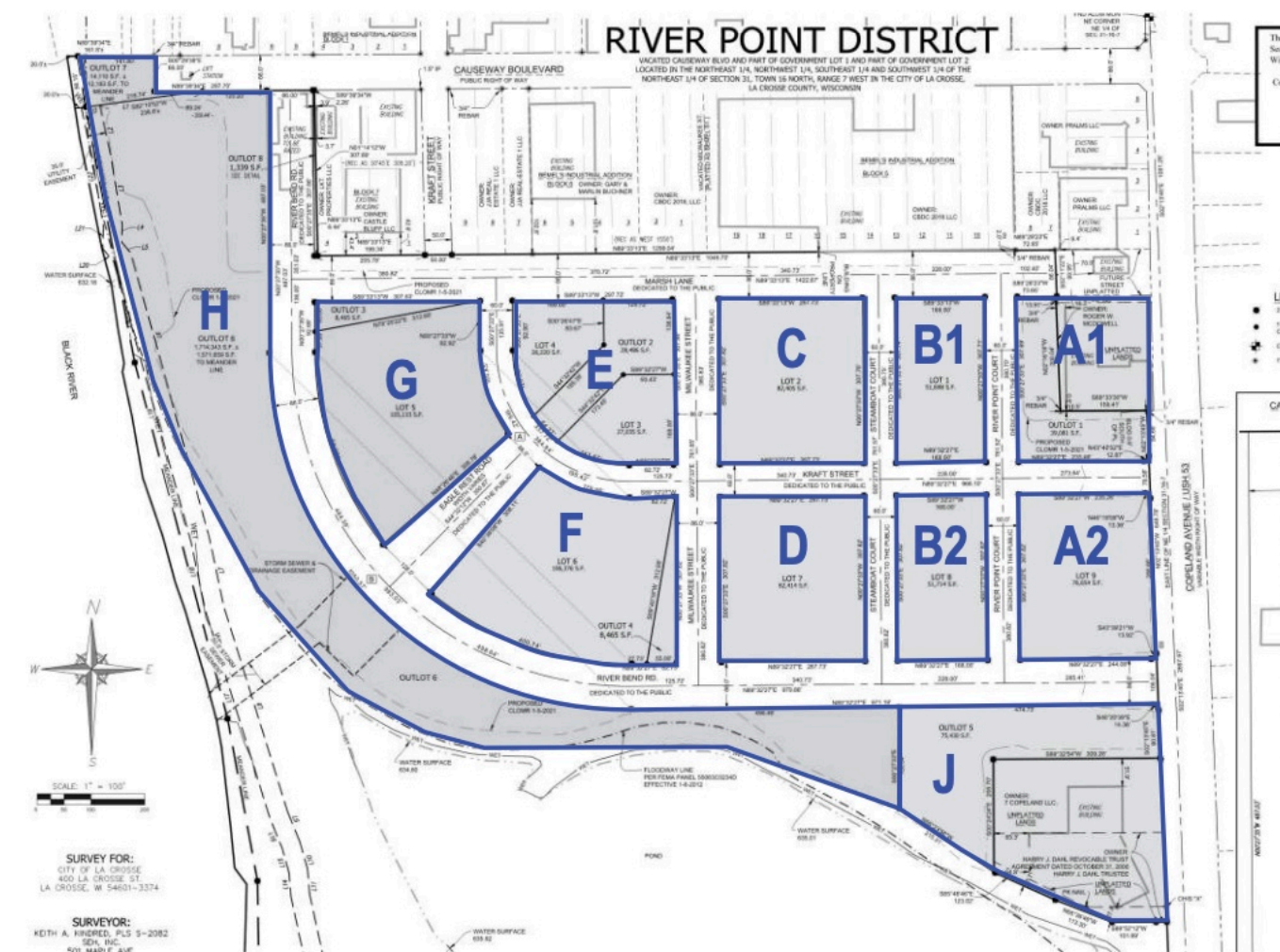
The development summary below outlines the approximate lot sizes, possible parking estimates, and potential building uses based on the conceptual masterplan illustrated in this PDD document. The below table in no way limits the use or size of individual buildings within the masterplan.

TABLE 2.3.1: Development Summary

Lot or Outlot	Approximate Square Footage	Approximate Acreage	Description
<b>ZONE A1 - Perimeter Commercial &amp; Mixed-Use Zone</b>			
<b>OUTLOT 1</b>	39,081	0.90	Zone A1 allows for commercial/retail opportunities. Mixed use buildings with ground floor commercial/retail activation with residential floors above is favorable. <b>Building height in Zone A1 shall be a minimum of 2 stories.</b>
<b>ZONE A2 - Perimeter Commercial &amp; Mixed-Use Zone</b>			
<b>LOT 9</b>	76,654	1.76	Zone A2 allows for commercial/retail opportunities. Mixed use buildings with ground floor commercial/retail activation with residential floors above is favorable. <b>Building height in Zone A2 shall be a minimum of 2 stories.</b>
<b>ZONE B1 - Residential &amp; Mixed Use Zone</b>			
<b>LOT 1</b>	51,698	1.19	
<b>ZONE B2 - Residential &amp; Mixed Use Zone</b>			
<b>LOT 8</b>	51,714	1.19	
<b>ZONE C - Residential &amp; Mixed Use Zone</b>			
<b>LOT 2</b>	82,405	1.89	
<b>ZONE D - Residential &amp; Mixed Use Zone</b>			
<b>LOT 7</b>	82,414	1.89	
<b>ZONE E - Residential &amp; Mixed Use Zone</b>			
<b>OUTLOT 2</b>	28,486	0.65	
<b>LOT 3</b>	27,035	0.62	
<b>LOT 4</b>	26,220	0.60	
<b>ZONE F - Residential &amp; Mixed Use Zone</b>			
<b>LOT 6</b>	106,376	2.44	
<b>OUTLOT 4</b>	8,465	0.19	
<b>ZONE G - Residential &amp; Mixed Use Zone</b>			
<b>LOT 5</b>	105,133	2.41	
<b>OUTLOT 3</b>	8,465	0.19	
<b>ZONE H - Entertainment, Public Amenity, &amp; Civic Zone</b>			
<b>OUTLOT 6</b>	171,434	39.36	Entertainment, Public Amenity, & Civic. Mixed Use opportunities. Multi family residential above retail.
<b>OUTLOT 7</b>	14,110	0.32	
<b>ZONE J - Perimeter Commercial &amp; Mixed-Use Zone</b>			
<b>OUTLOT 5</b>	75,430	1.73	Zone J allows for commercial/retail opportunities. Mixed use buildings with ground floor commercial/retail activation with residential floors above is favorable. <b>Building height in Zone J shall be a minimum of 2 stories.</b>
<b>TOTAL</b>		57.35	

\*Acreages shown do not include public roadways or public green spaces.

FIGURE 2.3.2: Site plan with labeled zones corresponding to the development summary.



General Development Plan

2.0

33

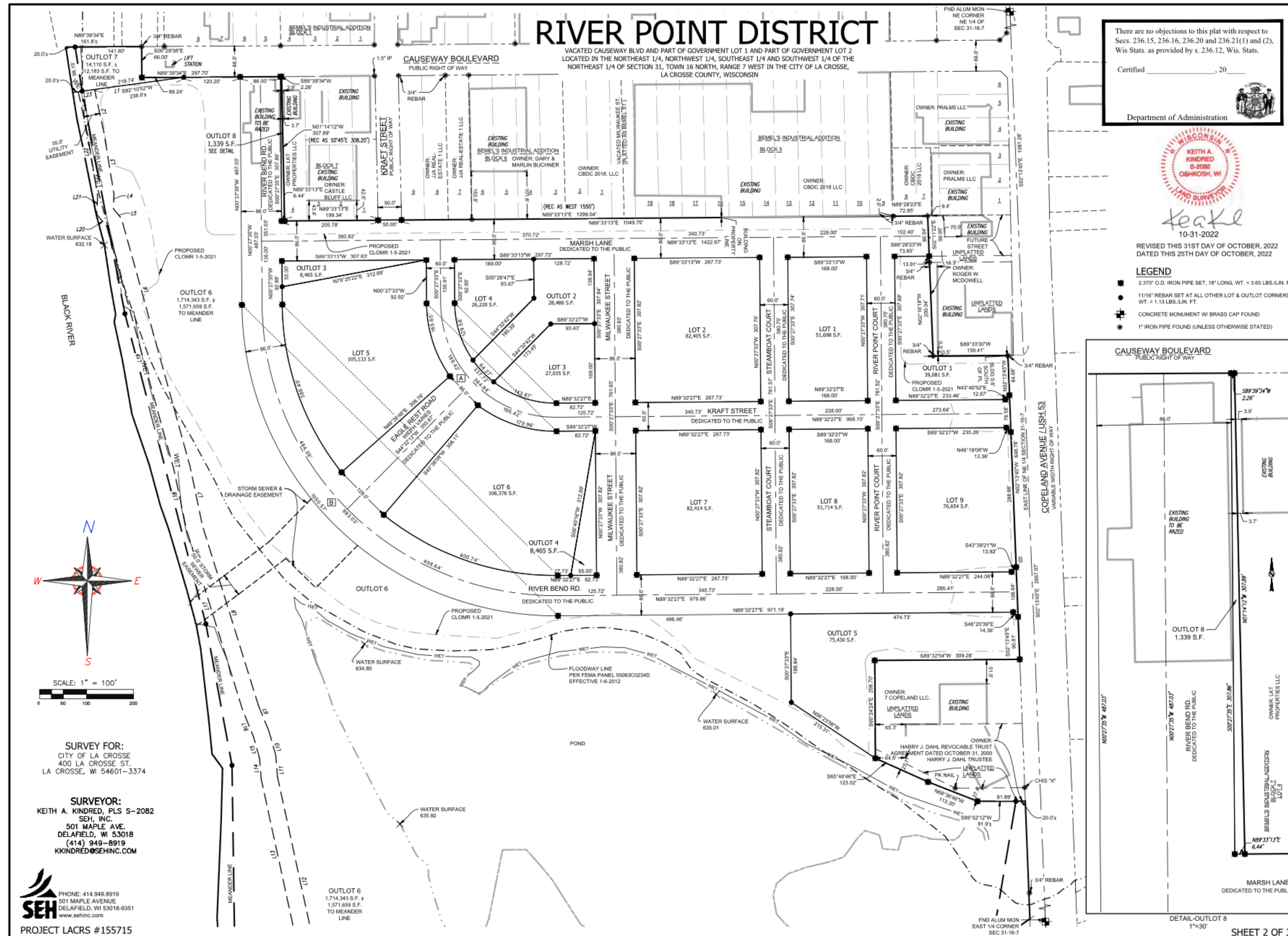
# Appendix

## PDD Master Plan-Reference Parcel Map

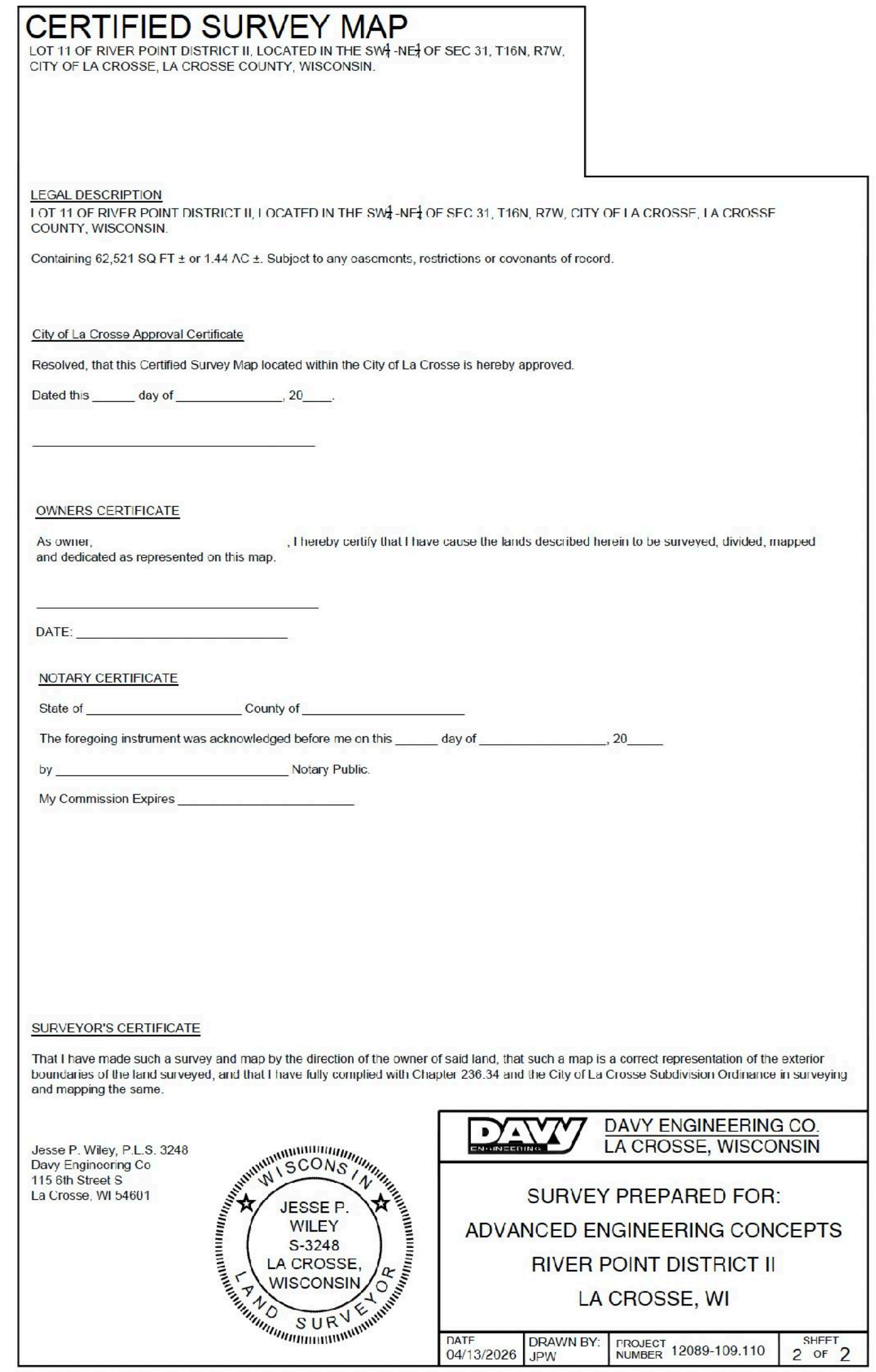
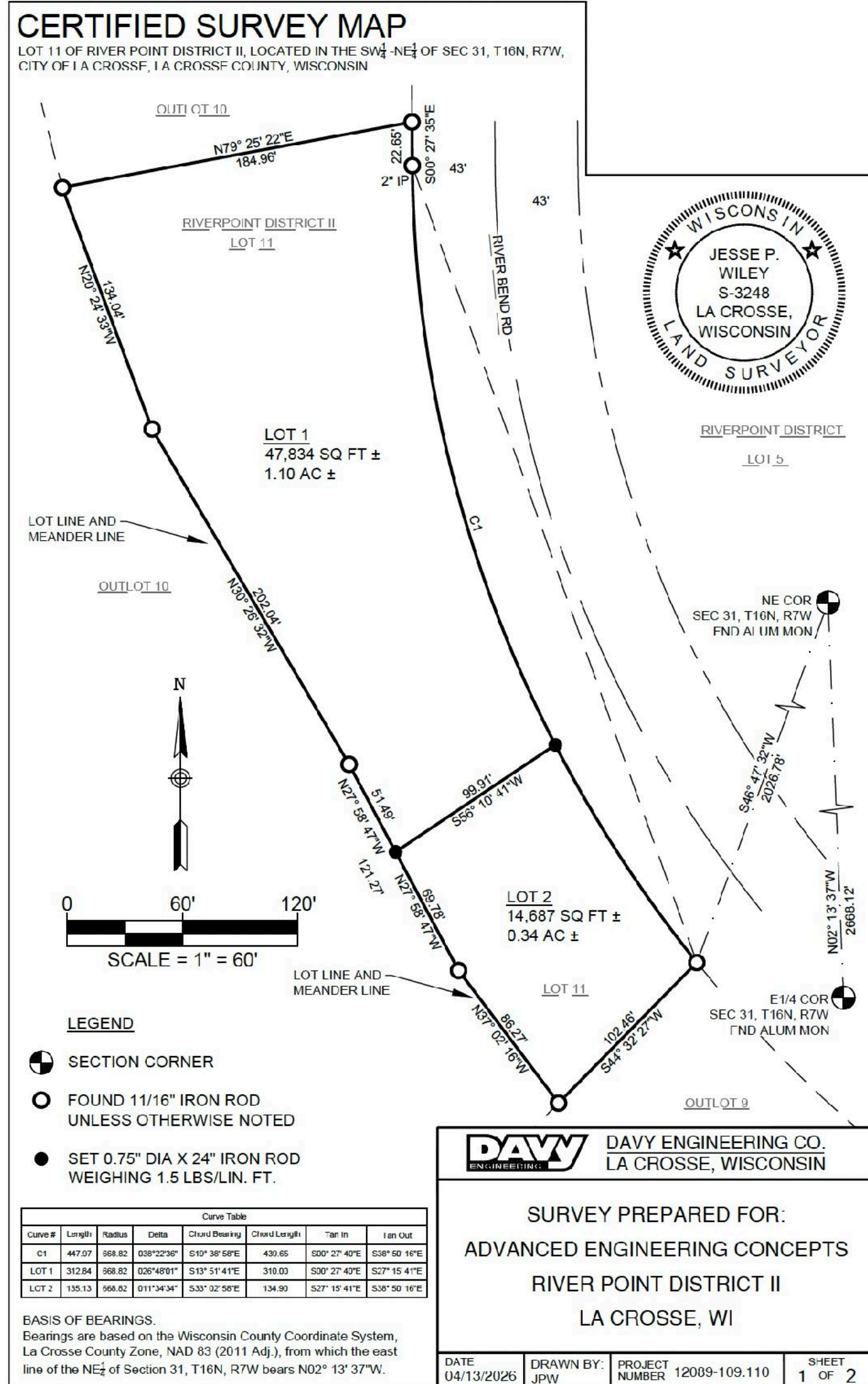
FIGURE 2.3.1: Site plan with labeled zones corresponding to the development summary.



# Appendix-Plat Lot Size Map



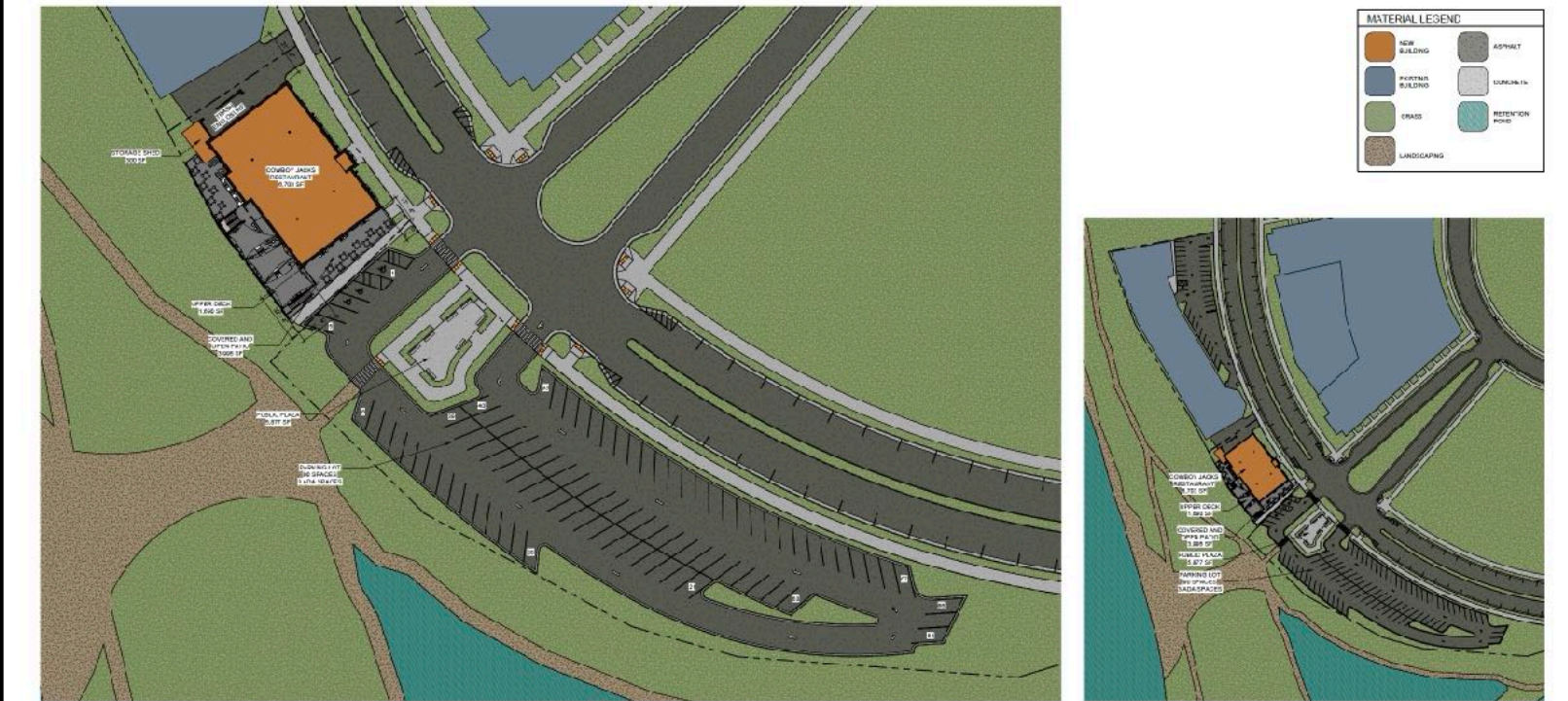
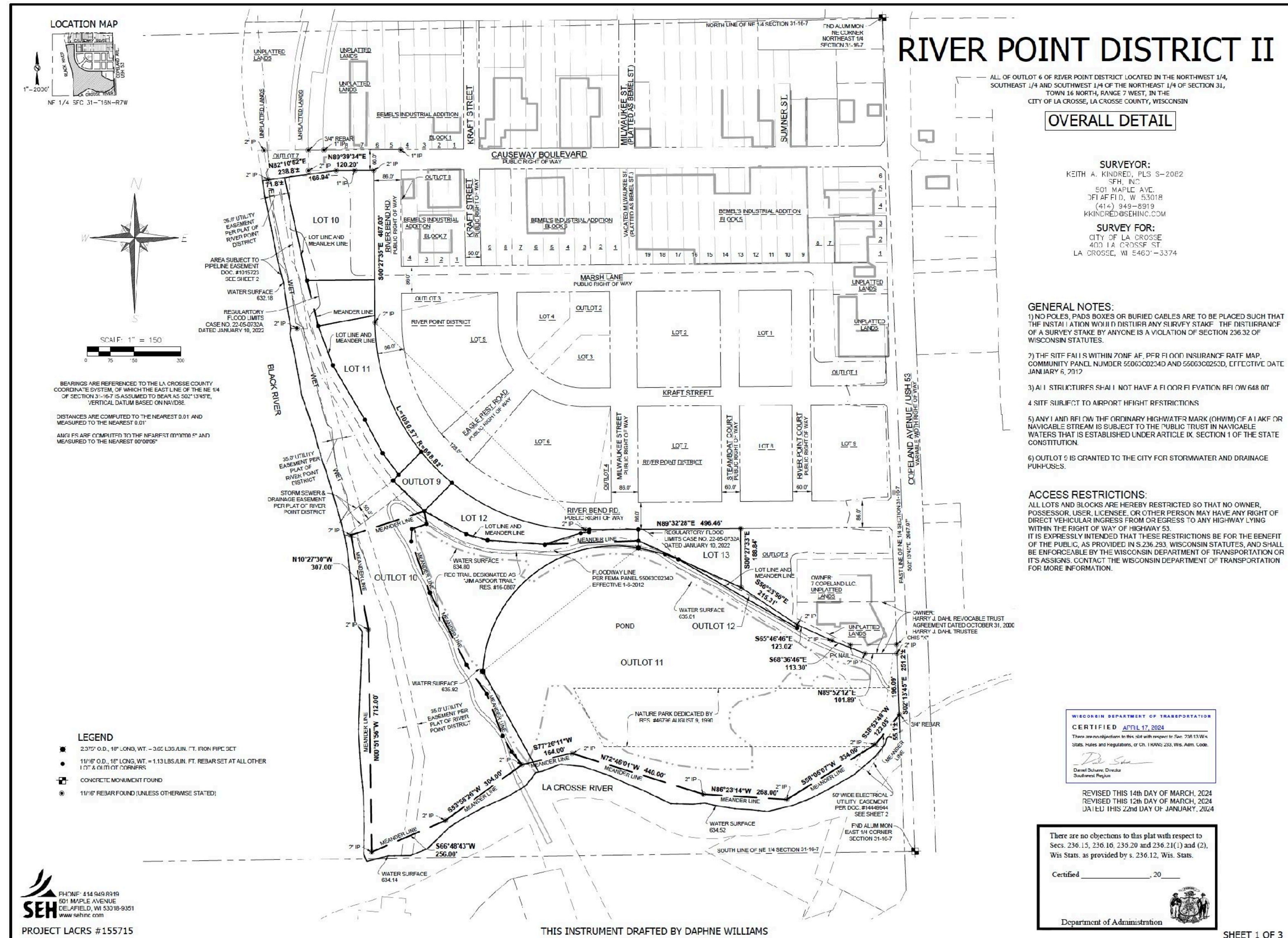
# Appendix-CSM-Lot 11



Cowboy Jacks Proposal (CapVest)



# Appendix-River Point District II Plat



# Appendix-Non Exclusive Option Language

*Delay Termination. The RDA reserves the right to review proposals from other investors on parcel\_\_\_\_\_. Should a viable proposal be brought forward by another developer, the RDA may, in its discretion, inform the current option holder of the alternate proposal and at the time of the receipt of a complete alternate proposal, the RDA may require additional information and or guarantees from the current option holder based on the option holder's original proposal (RDA) illustrating the project is progressing to construction commencement as presented per the original presentation and subsequent updates by the developer to the RDA.*

*Should the option holder (developer), fail to provide an adequate guarantee of progress for the proposed development to the RDA, the RDA may terminate the option with a 30-day notice and return a prorated amount of the option fee to the developer.*

# Appendix-Leasing Agents

Information for the Driftless Apartments:  
MSP

## **The Driftless**

Tammy Ross, Regional Manager

323 River Bend Rd

La Crosse, WI 54603

P: (608) 292-8770

F: (715) 430-2462

[thedriftless@msphousing.com](mailto:thedriftless@msphousing.com)

Information for the **War Eagle** development:

Red Earth: Lori Fuselier [lori@3amigosapartments.com](mailto:lori@3amigosapartments.com)

Information for **RyKey's Lofts at River Point District** (next to the Driftless Apartments on Lot 8):

Jessica Magnusen: [jessica@rykeyproperties.com](mailto:jessica@rykeyproperties.com)



# City of La Crosse, Wisconsin

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## Text File

File Number: 26-0662

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**Agenda Date:** 6/25/2026

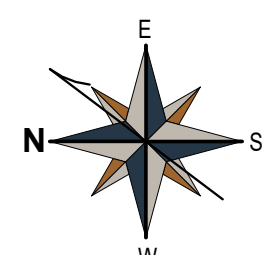
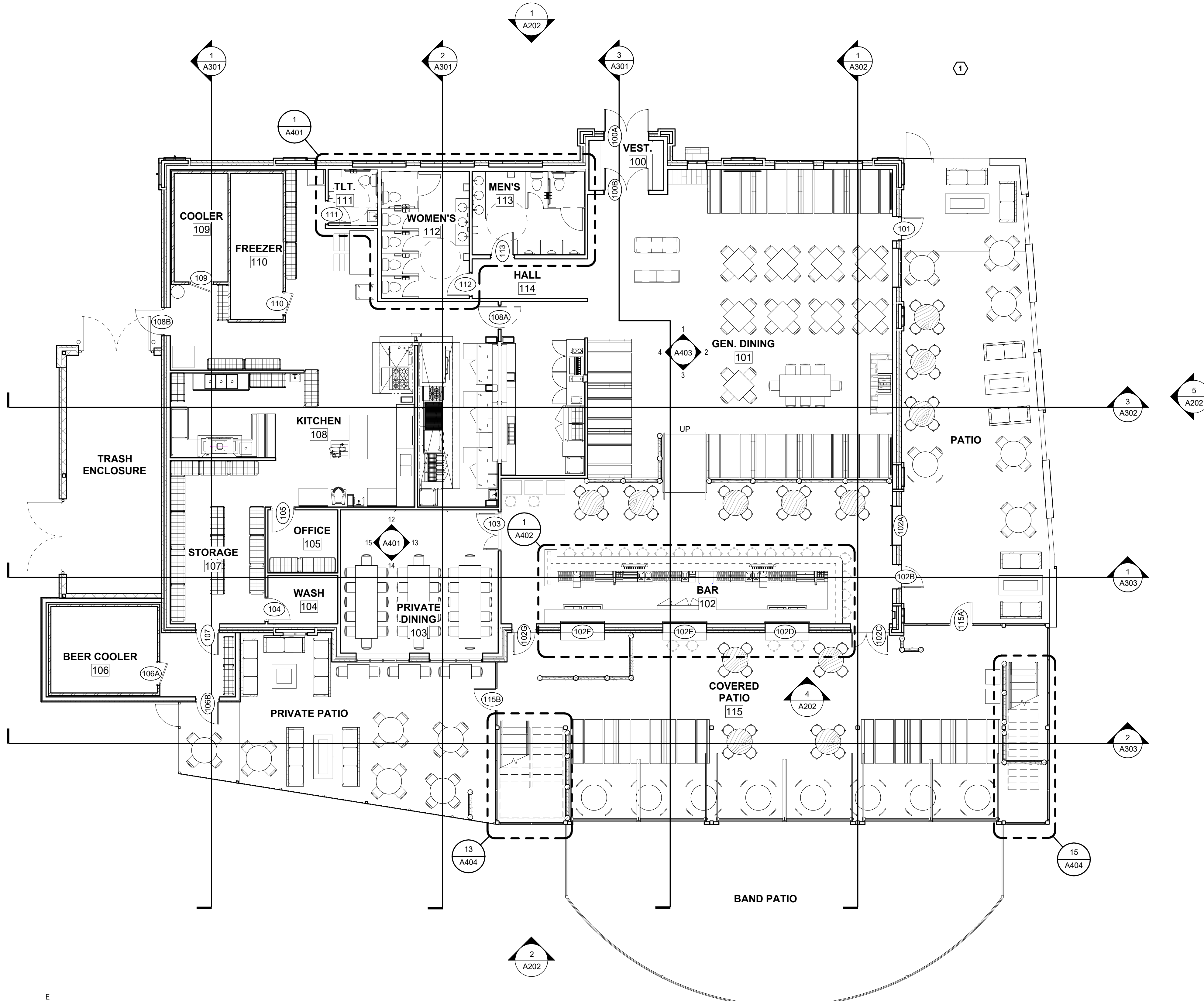
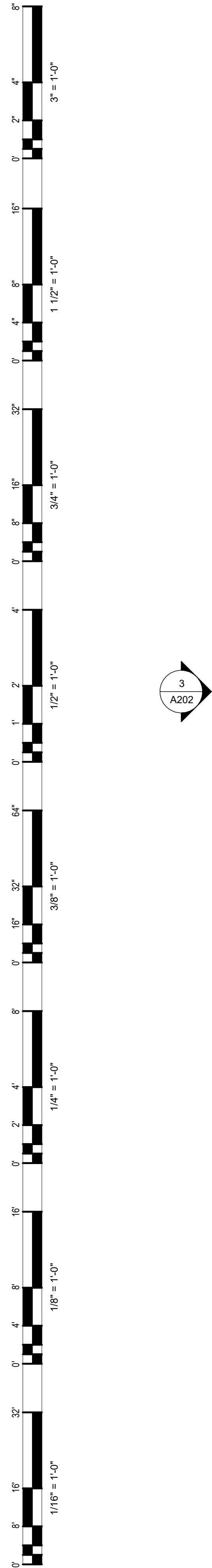
**Version:** 1

**Status:** Agenda Ready

**In Control:** Redevelopment Authority

**File Type:** Status Update

6/12/2026 3:01:53 PM Autodesk Docs://26-017 Cowboy Jack's La Crosse/26-017 Cowboy Jack's La Crosse - R24.rvt



**1** FIRST LEVEL FLOOR PLAN  
A401 1/8" = 1'-0"

- GENERAL NOTES**
- GENERAL NOTES ON THIS SHEET ARE APPLICABLE TO THIS SHEET ONLY.
  - SEE STANDARD MOUNTING HEIGHTS ON SHEET G1002 FOR DETAILS REGARDING INSTALLATION REQUIREMENTS FOR FIXTURES AND ACCESSORIES.
  - SEE ACCESSIBILITY SYMBOLS AND DIAGRAMS ON SHEET G1002 FOR FURTHER INFORMATION ON REQUIRED CLEARANCES.
  - ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD/ MASONRY CONSTRUCTION TO FACE OF STUD/ MASONRY CONSTRUCTION, UNLESS NOTED OTHERWISE.
  - "CLEAR DIMENSIONS" ARE DIMENSIONED FROM FACE OF FINISH MATERIAL TO FACE OF FINISH MATERIAL.
  - EXTERIOR DIMENSIONS ARE TO BUILDING LINE, SEE WALL TYPES.
  - FOR WALL TYPES SEE SHEET AE001.
  - GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER, BEFORE INSTALLATION OF WALL SHEATHING, FOR ANY WOOD BLOCKING, BACKING AND MOUNTING BOARDS REQUIRED FOR OWNER PROVIDED ITEMS.
  - ALL WALLS TO EXTEND TO STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.

**FLOOR PLAN KEYNOTES**

NO.	DESCRIPTION
1	DESCRIPTION



**CAPVEST**  
**26-017 COWBOY JACK'S LA CROSSE**  
 LOT 2 RIVER BEND RD, LA CROSSE, WI

**NOT FOR CONSTRUCTION - DESIGN DEVELOPMENT**

NO.	DATE	DESCRIPTION

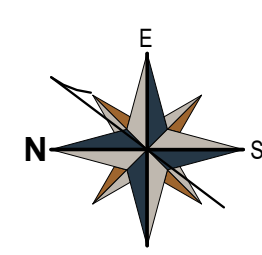
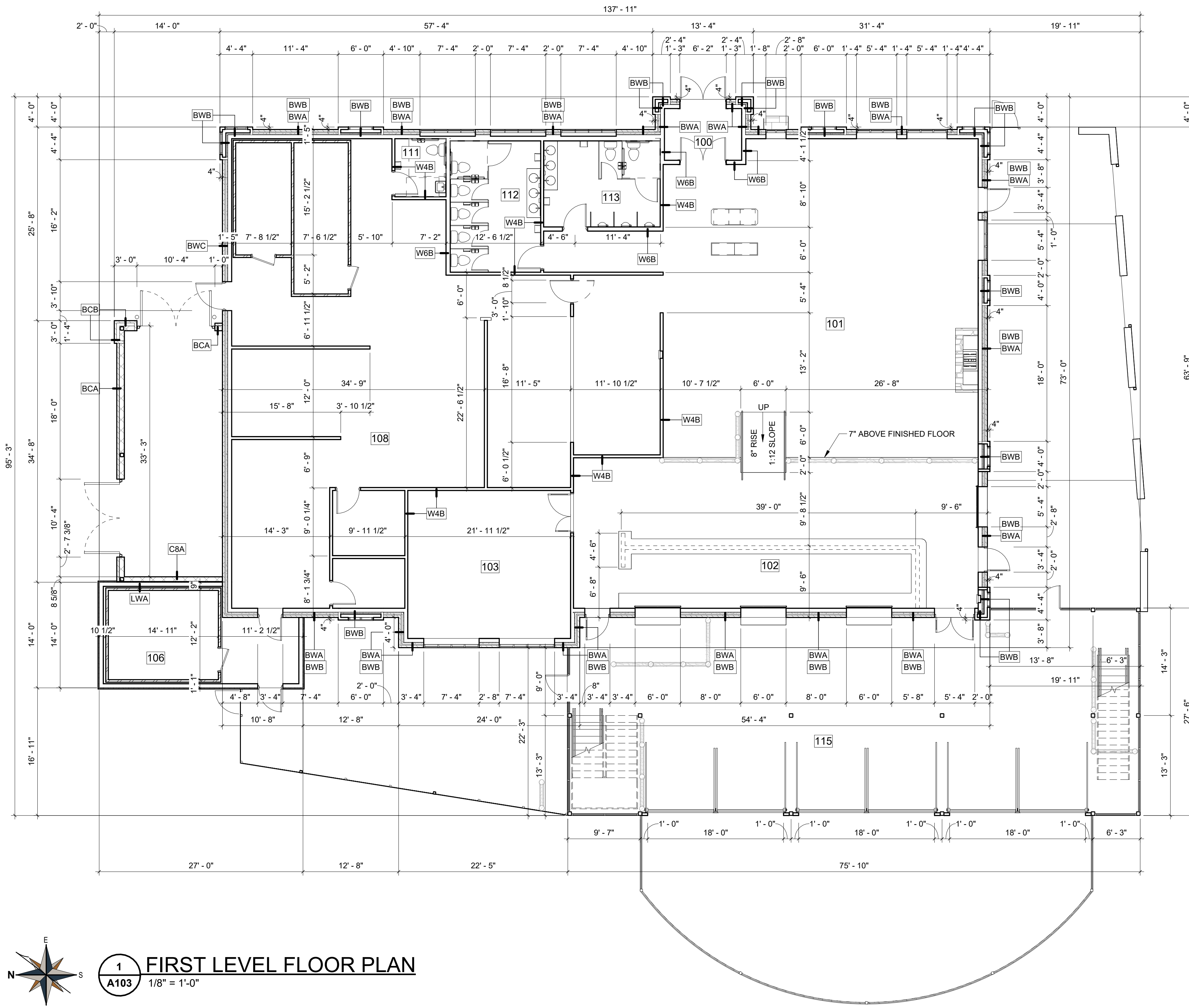
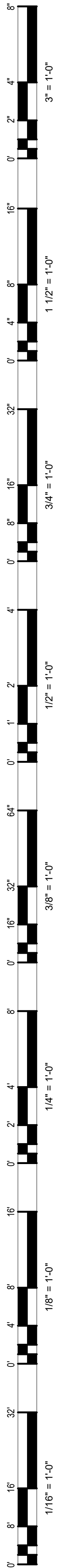
DRAWN BY: CJR  
 PM: AJ  
 JOB NO: 26-017  
 DATE: 06.12.2026

FIRST LEVEL FLOOR PLAN

**A101**

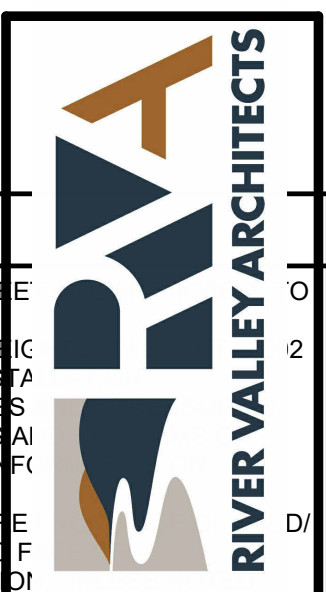


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**1**  
**A103** FIRST LEVEL FLOOR PLAN  
1/8" = 1'-0"

- GENERAL NOTES**
- GENERAL NOTES ON THIS SHEET ARE FOR THIS SHEET ONLY.
  - SEE STANDARD MOUNTING HOOKS FOR DETAILS REGARDING INSULATION REQUIREMENTS FOR FIXTURES.
  - SEE ACCESSIBILITY SYMBOLS AND SHEET G1002 FOR FURTHER INFORMATION REGARDING REQUIRED CLEARANCES.
  - ALL INTERIOR DIMENSIONS ARE FOR STUD MASONRY CONSTRUCTION UNLESS NOTED OTHERWISE.
  - "CLEAR DIMENSIONS" ARE DIMENSIONED FROM FACE OF FINISH MATERIAL TO FACE OF FINISH MATERIAL.
  - EXTERIOR DIMENSIONS ARE TO BUILDING LINE. SEE WALL TYPES.
  - FOR WALL TYPES SEE SHEET AE001.
  - GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER BEFORE INSTALLATION OF WALL SHEATHING. FOR ANY WOOD BLOCKING, BACKING AND MOUNTING BOARDS REQUIRED FOR OWNER PROVIDED ITEMS.
  - ALL WALLS TO EXTEND TO STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.



NOT FOR CONSTRUCTION - DESIGN DEVELOPMENT

**CAPVEST**  
**26-017 COWBOY JACK'S LA CROSSE**  
LOT 2 RIVER BEND RD, LA CROSSE, WI

NO.	DATE	DESCRIPTION

DRAWN BY: CJR  
PM: AJ  
JOB NO: 26-017  
DATE: 06.12.2026

DIMENSION PLAN  
**A103**









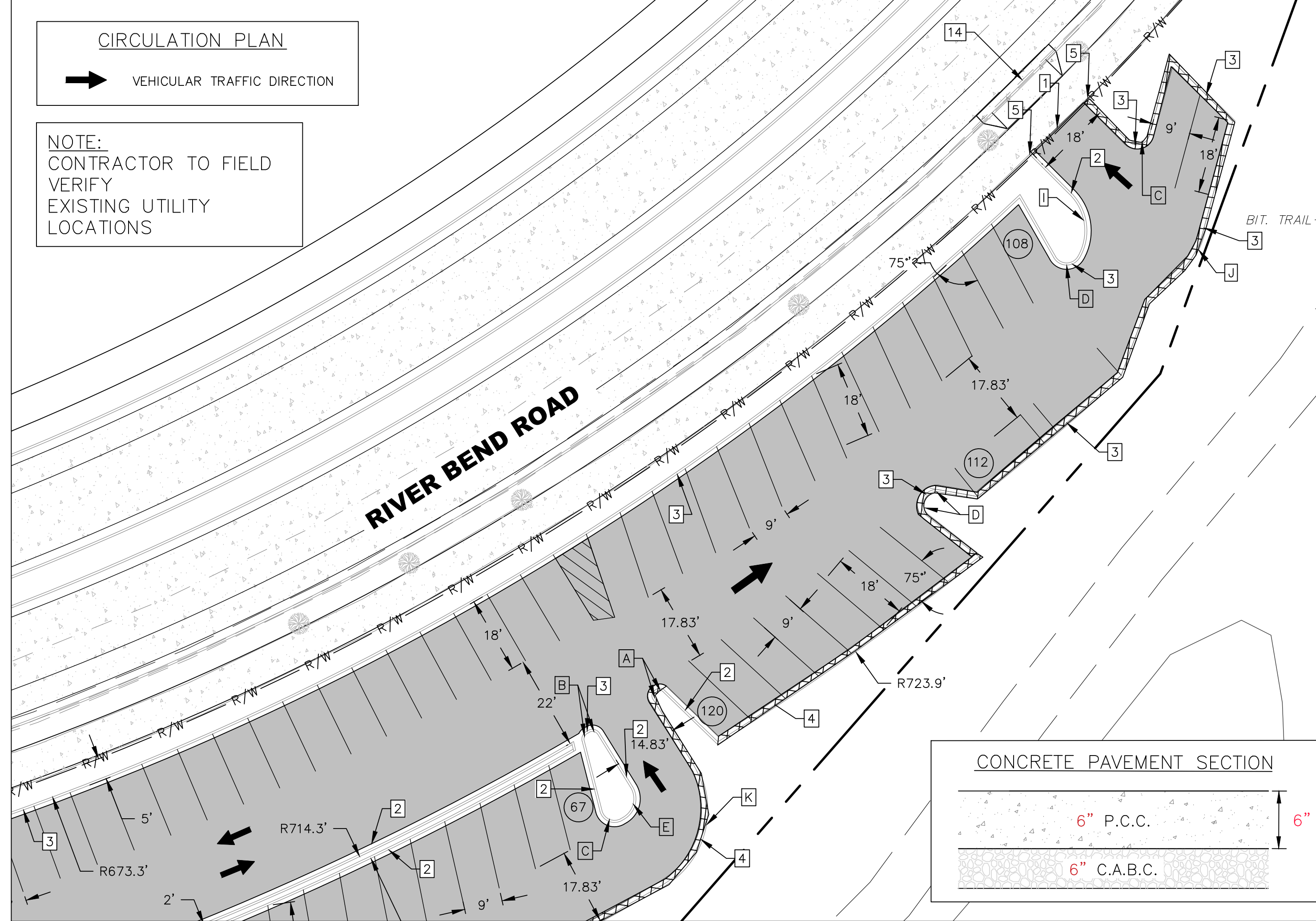
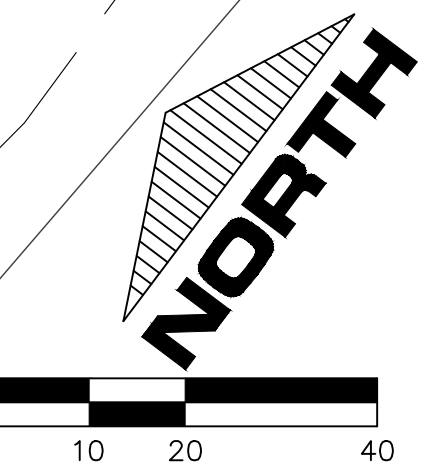


**SITE PLAN KEY NOTES**

1	MATCH EXISTING
2	18" C&G DETAIL C-300
3	18" REJECT C&G DETAIL C-302
4	18" MOUNTABLE C&G DETAIL C-307
5	CURB TAPER DETAIL C-385
6	S/W CURB DETAIL C-390
7	ADA RAMP DETAIL C-434
8	EXISTING TRANSFORMER PAD
9	EXISTING STORMWATER ACCESS
10	EXISTING VENT TYP.
11	RAMP
12	DRIVEWAY APRON (18'W @ S/W)
13	DRIVEWAY APRON (22'W @ S/W)
14	DRIVEWAY APRON (18'W @ S/W)
15	CURB CUT DETAIL
16	CURB CUT DETAIL

**BOC RADIUS KEY**

A	1' RAD.
B	1.5' RAD.
C	2.5' RAD.
D	3' RAD.
E	5' RAD.
F	7' RAD.
G	9.5' RAD.
H	10' RAD.
I	12' RAD.
J	20' RAD.
K	21' RAD.



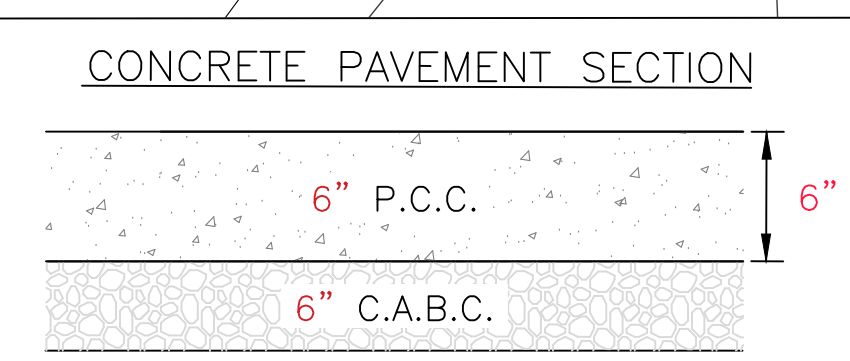
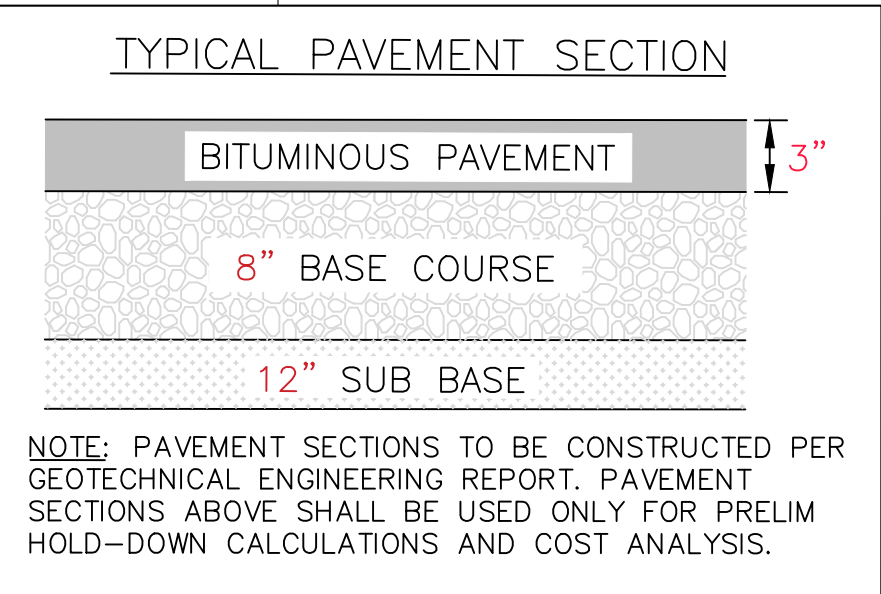
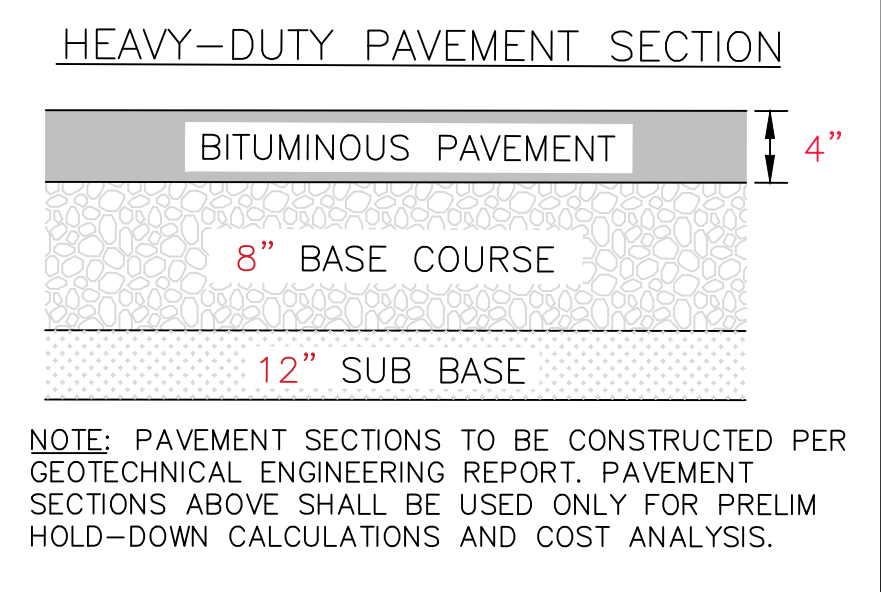
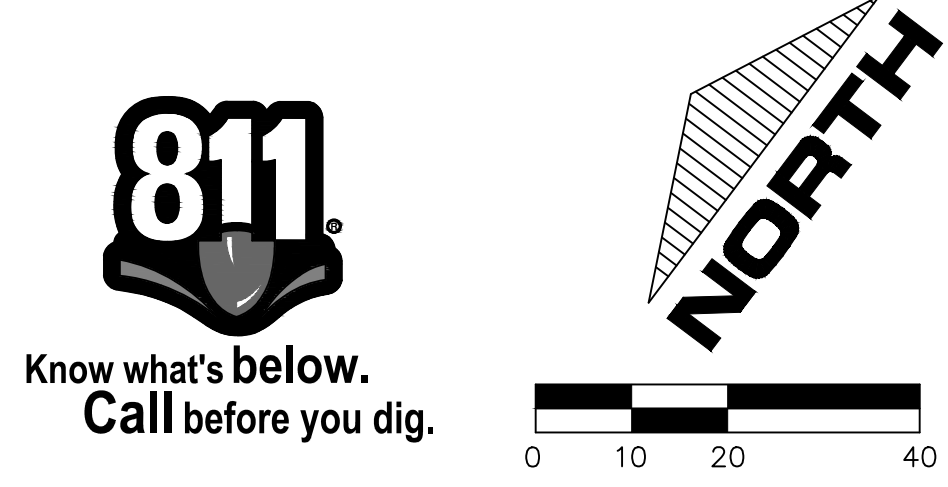
**CIRCULATION PLAN**

→ VEHICULAR TRAFFIC DIRECTION

**NOTE:**  
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

**GENERAL NOTES:**

- CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
- CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL NECESSARY THROUGHOUT THE PROJECT. COSTS FOR DUST CONTROL ARE INCIDENTAL TO PROJECT.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- PAINT LINE WORK ON ASPHALTIC PAVING, CONCRETE CURBS, WALKS, AND RAMPS SHALL BE FACTORY MIXED, QUICK DRYING, NON-BLEEDING TRAFFIC MARKING PAINT COMPLYING WITH AASHTO M248, Type COLOR SHALL BE WHITE, EXCEPT WHERE ANOTHER COLOR IS REQUIRED BY CODE. CONTRACTOR SHALL CLEAN SURFACE IN THE AREAS RECEIVING PAINT AND SHALL PAINT ALL MARKINGS AND SYMBOLS WITH TRAFFIC MARKING PAINT. PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. CONTRACTOR SHALL APPLY TWO (2) COATS AT MANUFACTURER'S RECOMMENDED RATES.



**HATCHING LEGEND**

[Hatched Box]	EXISTING CONCRETE PAVEMENT
[Solid Grey Box]	PROPOSED BITUMINOUS PAVEMENT
[Dotted Box]	PROPOSED BUILDING
[Cross-hatched Box]	PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)
[X-hatched Box]	REJECT CURB & GUTTER

**COWBOY JACK'S RIVER BEND ROAD**

<b>LOT 2 (LOT 11) SIZE:</b>	14,686 SF (0.34 AC.)
<b>EXISTING IMPERVIOUS AREA:</b>	0.0-SF (0.0%)
<b>PROPOSED USE:</b>	RESTAURANT
<b>PROPOSED BUILDING:</b>	6,977-SF (47.5%)
<b>PROPOSED PAVEMENT:</b>	1,131-SF (7.7%)
<b>PROPOSED PATIO/SIDEWALK:</b>	4,485-SF (30.5%)
<b>OVERALL IMPERVIOUSNESS:</b>	12,593-SF (85.7%)
<b>GREEN SPACE:</b>	2,093-SF (14.2%)
<b>OUTLOT 9 SIZE:</b>	17,531 (0.40 AC.)
<b>PROPOSED USE:</b>	PARKING LOT
<b>PROPOSED PAVEMENT:</b>	10,625-SF (60.6%)
<b>OVERALL IMPERVIOUSNESS:</b>	10,625-SF (60.6%)
<b>GREEN SPACE:</b>	6,906-SF (39.4%)
<b>LOT 12 SIZE:</b>	38,725 SF (0.88 AC.)
<b>EXISTING IMPERVIOUS AREA:</b>	0.0-SF (0%)
<b>PROPOSED USE:</b>	PARKING LOT
<b>PROPOSED PAVEMENT:</b>	28,592-SF (73.8%)
<b>OVERALL IMPERVIOUSNESS:</b>	28,592-SF (73.8%)
<b>GREEN SPACE:</b>	10,133-SF (26.2%)
<b>PARKING STALLS:</b>	120 TOTAL (5 ACCESSIBLE)
<b>SETBACKS:</b>	
FRONT:	0'
SIDE:	0'
REAR:	0'



**CAPVEST**  
26-017 COWBOY JACK'S LA CROSSE  
LOT 2 RIVER BEND RD., LA CROSSE, WI

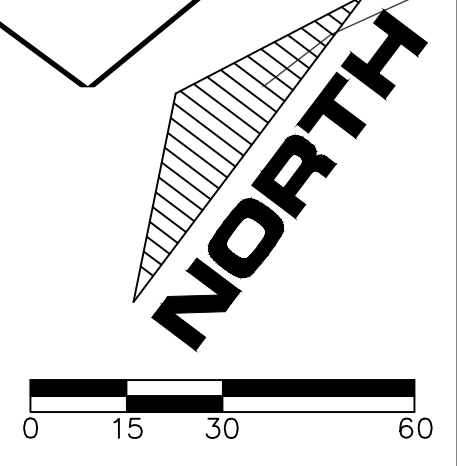
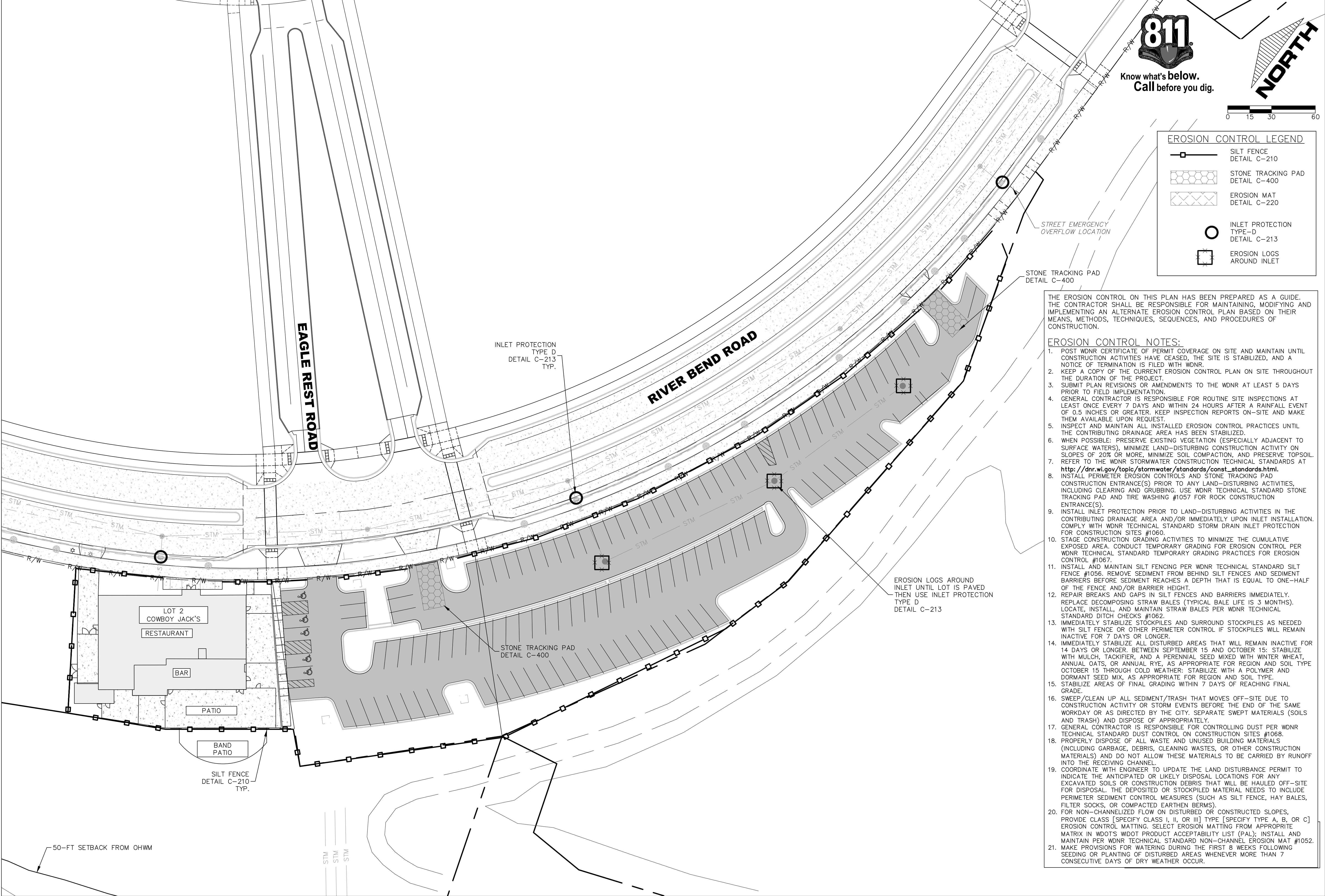
**NOT FOR CONSTRUCTION - DD SET**

NO.	DATE	DESCRIPTION

DRAWN BY: JRC  
PM: KS  
JOB NO: 26002  
DATE: 06.09.2026

**SITE PLAN**

**C300**



**EROSION CONTROL LEGEND**

	SILT FENCE DETAIL C-210
	STONE TRACKING PAD DETAIL C-400
	EROSION MAT DETAIL C-220
	INLET PROTECTION TYPE-D DETAIL C-213
	EROSION LOGS AROUND INLET

THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

- EROSION CONTROL NOTES:**
1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
  2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
  3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
  4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
  5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
  6. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
  7. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html).
  8. INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
  9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1069.
  10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
  11. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
  12. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
  13. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
  14. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
  15. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
  16. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
  17. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
  18. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
  19. COORDINATE WITH ENGINEER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
  20. FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS [SPECIFY CLASS I, II, OR III] TYPE [SPECIFY TYPE A, B, OR C] EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
  21. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.



**CAPVEST**  
**26-017 COWBOY JACK'S LA CROSSE**  
 LOT 2 RIVER BEND RD, LA CROSSE, WI

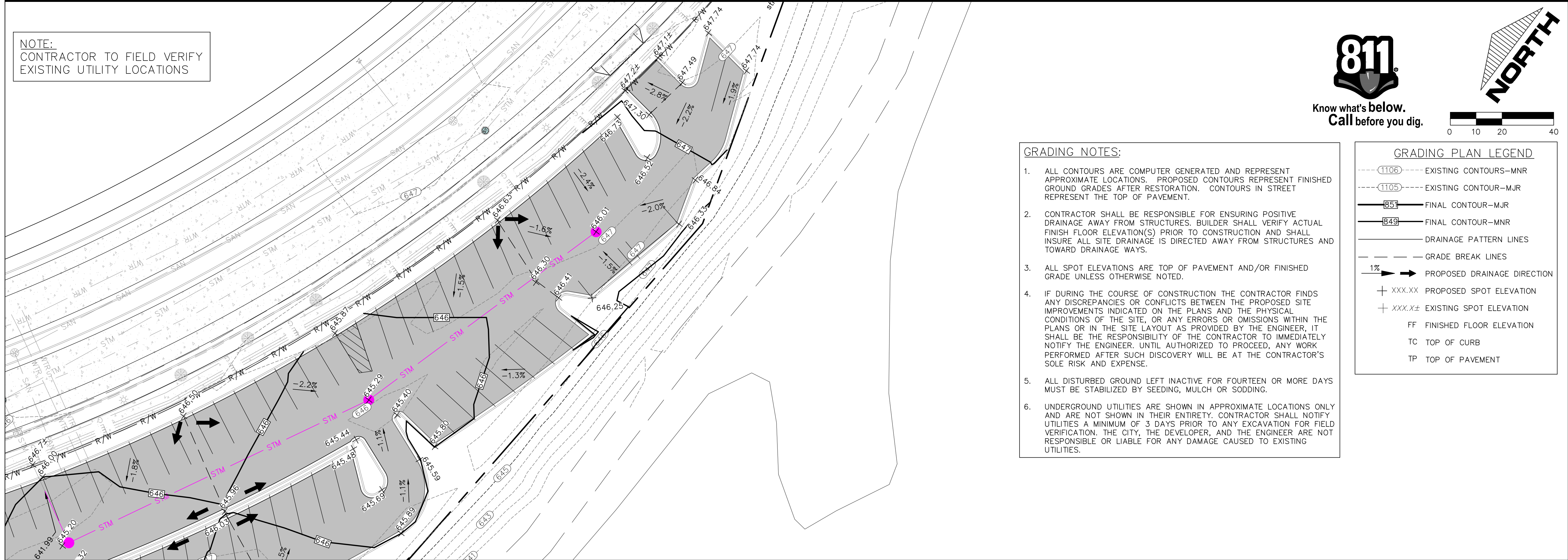
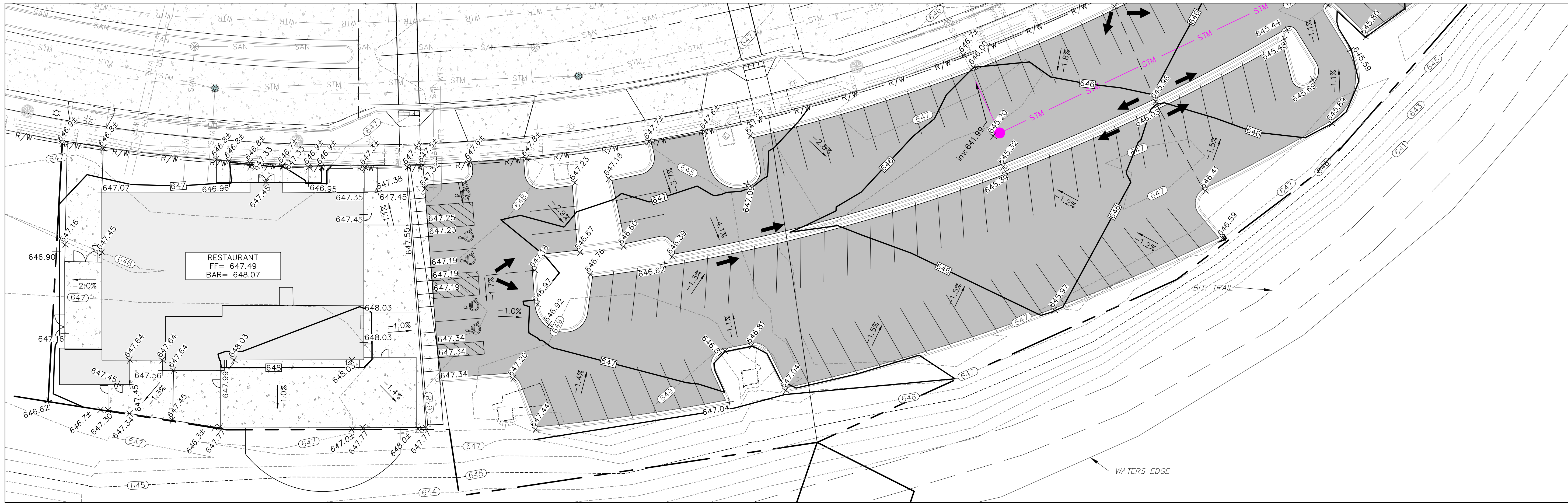
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DRAWN BY: JRC  
 PM: KS  
 JOB NO: 26002  
 DATE: 06.09.2026

EROSION CONTROL PLAN

C400



**GRADING NOTES:**

- ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN OR MORE DAYS MUST BE STABILIZED BY SEEDING, MULCH OR SODDING.
- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.

**GRADING PLAN LEGEND**

- (1106)--- EXISTING CONTOURS-MNR
- (1105)--- EXISTING CONTOUR-MJR
- (851)--- FINAL CONTOUR-MJR
- (849)--- FINAL CONTOUR-MNR
- DRAINAGE PATTERN LINES
- GRADE BREAK LINES
- 1% → PROPOSED DRAINAGE DIRECTION
- + XXX.XX PROPOSED SPOT ELEVATION
- + XXX.X± EXISTING SPOT ELEVATION
- FF FINISHED FLOOR ELEVATION
- TC TOP OF CURB
- TP TOP OF PAVEMENT

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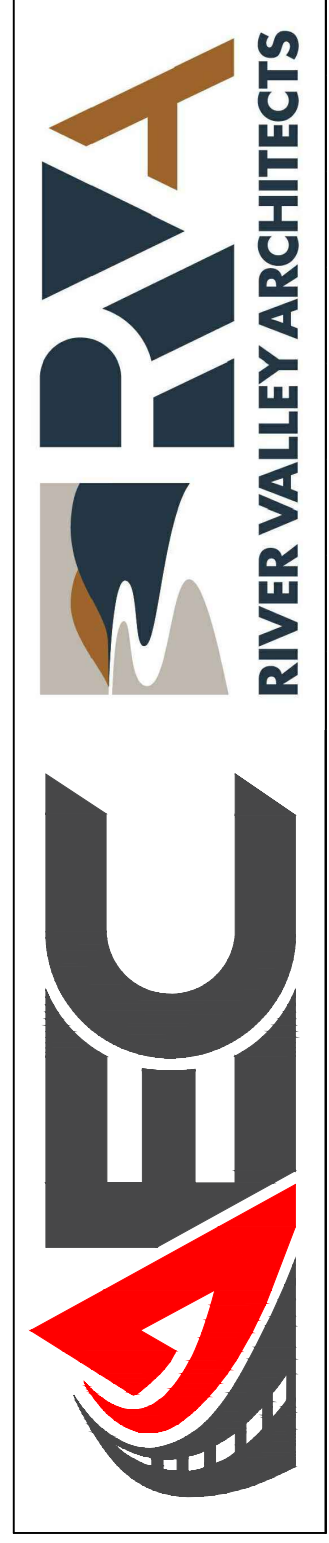
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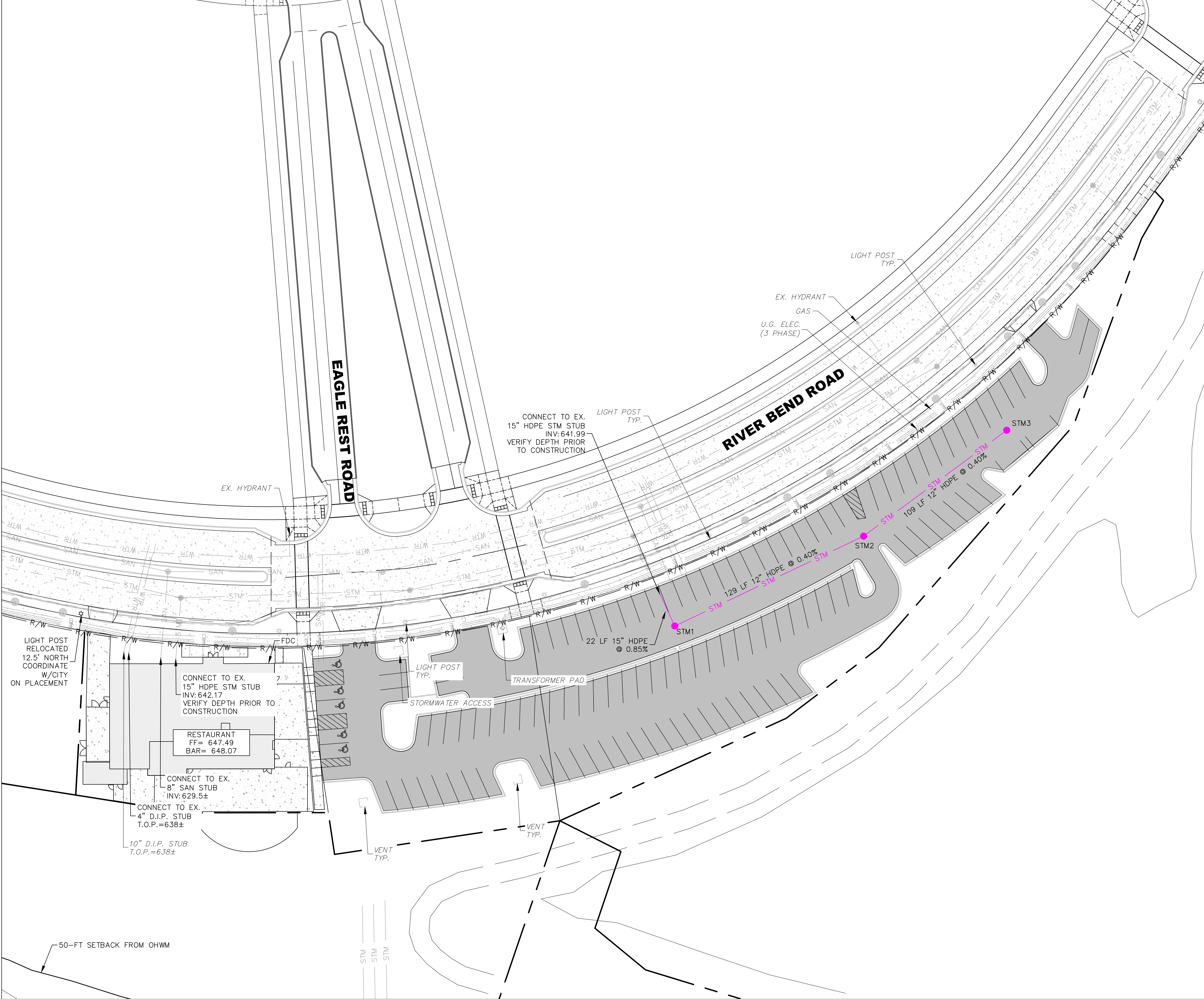
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GRADING PLAN

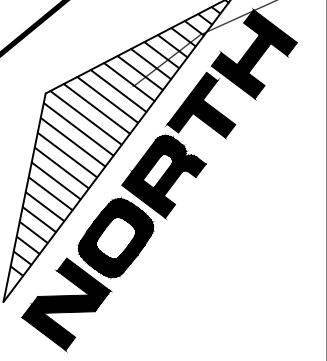
C500

CAPVEST  
26-017 COWBOY JACK'S LA CROSSE  
LOT 2 RIVER BEND RD, LA CROSSE, WI





Know what's below.  
Call before you dig.



**UTILITY NOTES:**

1. STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
2. MANHOLES ARE 48"Ø UNLESS OTHERWISE NOTED.
3. UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
4. CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ECT. ENTERING THE PIPE DURING CONSTRUCTION.
5. SANITARY SEWER LATERALS SHALL HAVE MINIMUM SLOPE OF 1/16" PER FOOT FOR ALL 8-INCH PIPE (800 DFU'S).
6. CONTRACTOR SHALL VERIFY THE TOTAL DRAINAGE FIXTURE UNITS (DFU's) AND PIPE SIZES WITH THE PLUMBING PLANS.
7. SANITARY SEWER SERVICE SHALL BE PVC (SDR 35).
8. WATER SERVICE SHALL BE DUCTILE IRON OR APPROVED EQUAL.
9. STORM SEWER SHALL BE ADS N-12 WT IB PIPE OR PRINSCO GOLDFLO WT OR SDR35 PVC OR APPROVED EQUAL.
10. THE PIPE DIAMETER'S LISTED ARE THE NOMINAL INSIDE DIAMETER.
11. MANHOLES SHALL BE CONSTRUCTED AS DETAILED AND SET PLUMB WITH A MAXIMUM DEVIATION OF +/- 0.1 FOOT FROM VERTICAL.
12. LAY PIPE TO SLOPE GRADIENTS NOTED ON DRAWINGS; WITH MAXIMUM VARIATION FROM TRUE SLOPE OF 1/8 INCH IN 10 FEET.
13. **\*\*FOR CONNECTION TO EXISTING PIPE, CONTRACTOR TO VERIFY LOCATION, SIZE, INVERT, & SLOPE AND TO CONTACT ENGINEER WITH ANY DISCREPANCIES.\*\***

STORM SEWER TABLE					
STRUCTURE NO.	DETAIL NO.	RIM	INVERT	DIRECTION	PIPE DIA.
STM1	SS-211	645.20	642.18	N	EX. 15"
			642.18	E	12"
STM2	SS-211	645.29	640.18	E/W	12"
			642.70		
STM3	SS-211	646.00	643.14	W	12"
			642.5		

**NOTE:**  
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS



**CAPVEST**  
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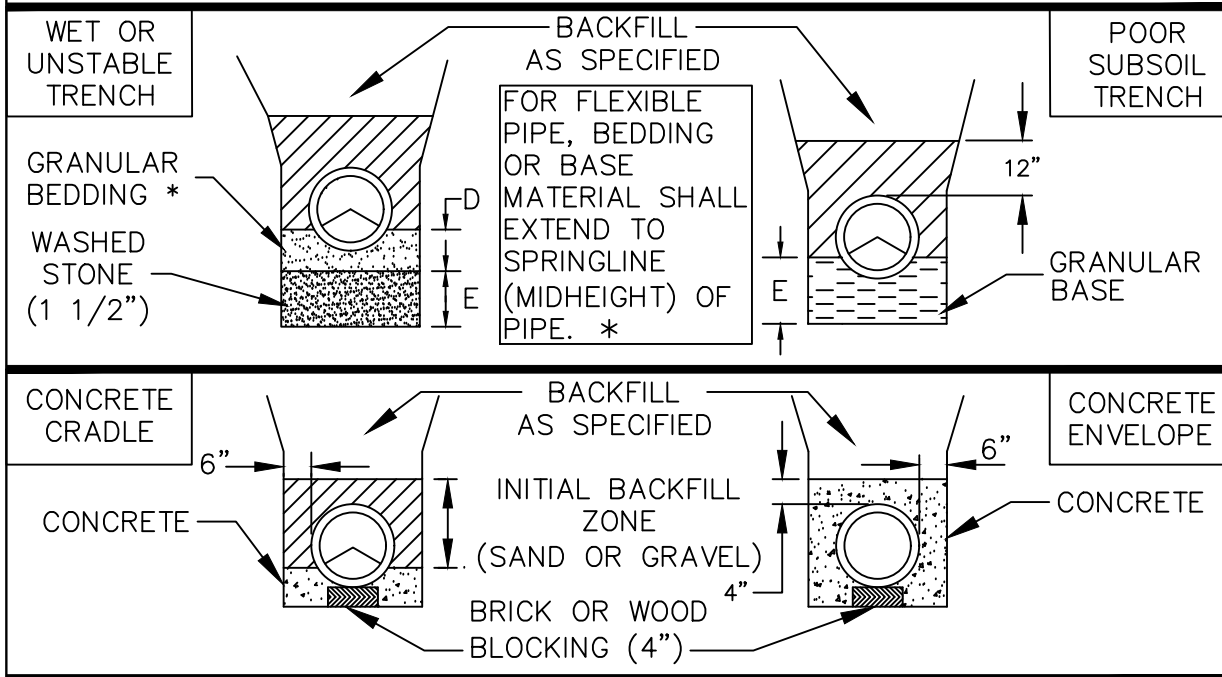
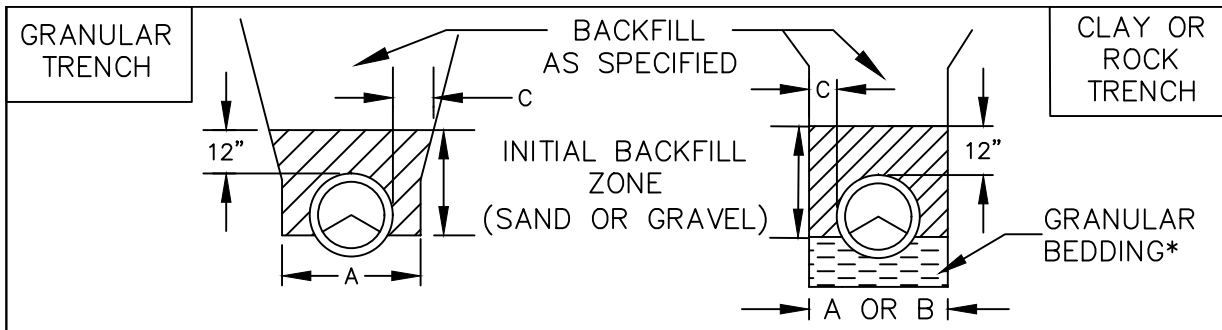
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NO.	DATE	DESCRIPTION

DRAWN BY: JRC  
PM: KS  
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UTILITY PLAN

C600



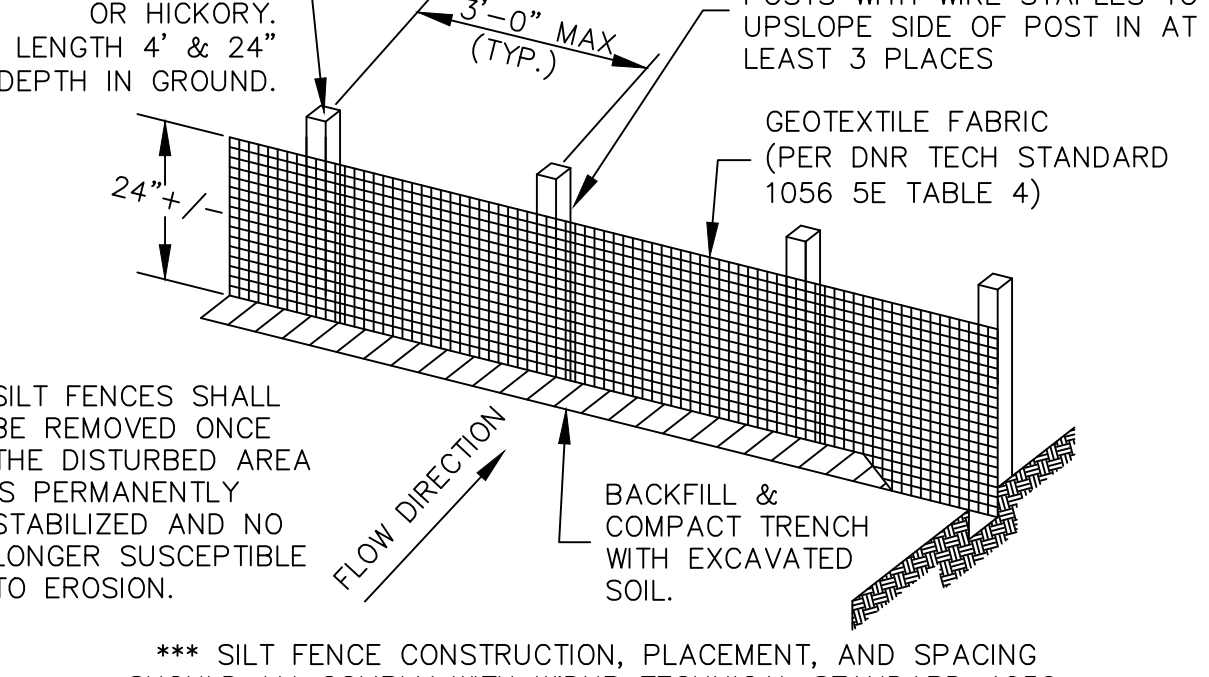
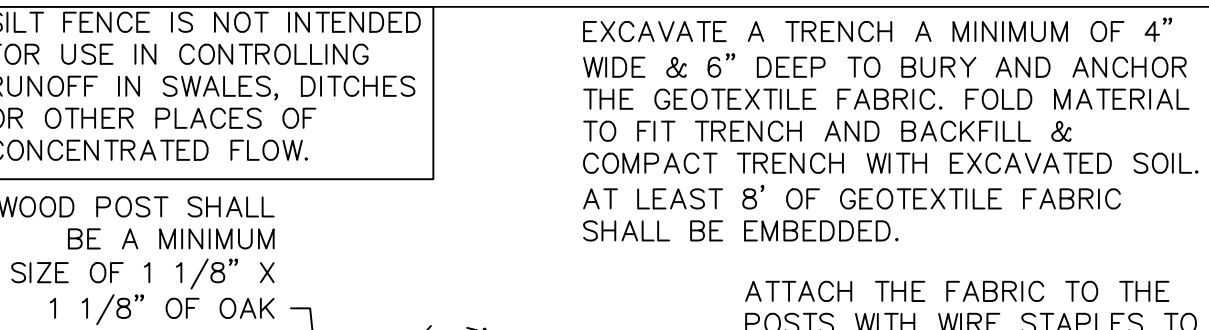
A=O.D. PIPE + 24"(MAX.) D=3/4/6" BELOW BARREL FOR CLAY  
 B=O.D. PIPE + 18"(MAX.) FOR ROCK E=DETERMINED BY A/E  
 C=6" MIN.

**STANDARD TRENCH SECTION**

C 100 NOT TO SCALE

**PROPER PLACEMENT OF EROSION LOG BARRIER IN DRAINAGE WAY**

C 205 NOT TO SCALE



SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.

\*\*\* SILT FENCE CONSTRUCTION, PLACEMENT, AND SPACING SHOULD \*\*\* COMPLY WITH WIDNR TECHNICAL STANDARD-1056, LATEST REVISION. WHEN DISCREPANCIES APPEAR, THE TECHNICAL STANDARD-1056 SHALL SUPERSEDE.

**SILT FENCE DETAIL**

C 210 NOT TO SCALE

CONTRACTOR TO INSTALL WIDNR TYPE-D INLET PROTECTION IN DOWNSTREAM CURB & GUTTER INLETS. PROVIDE BEAVER DAM-DANDY CURB BAG OR FLEX-STORM CATCH-IT INLET FILTERS OR APPROVED EQUAL.

**INSTALLATION**

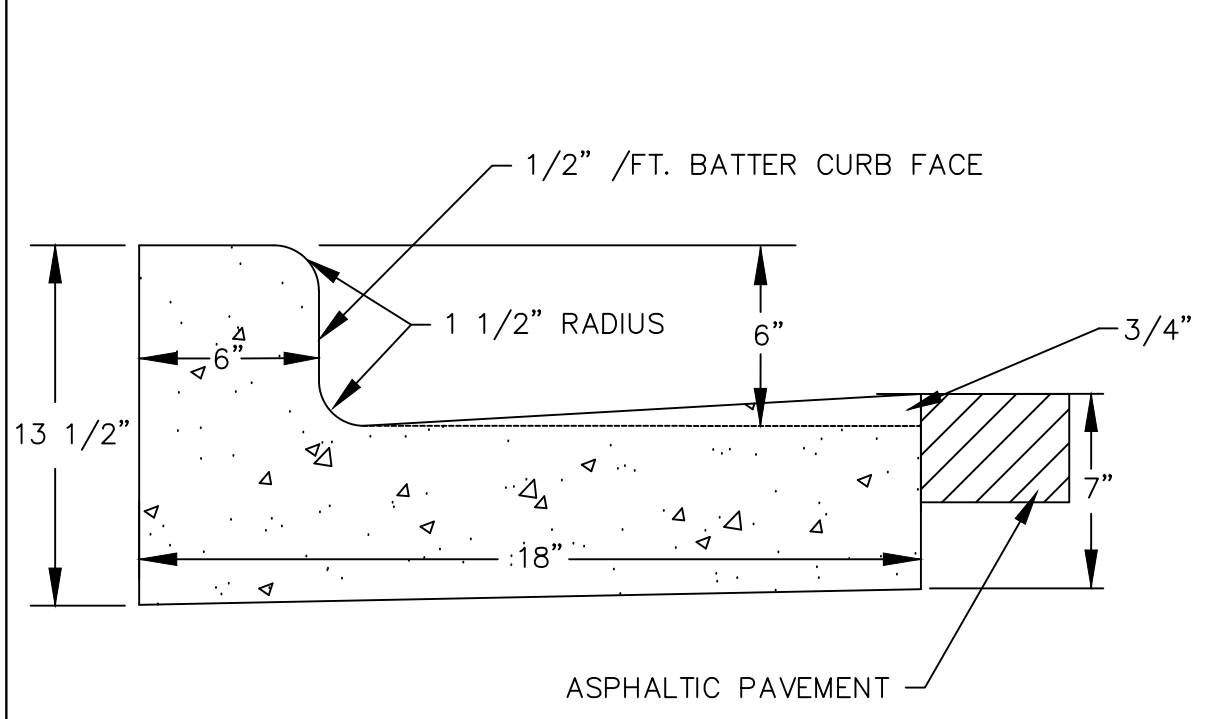
- STAND THE GRATE ON END.
- SLIDE THE INLET FILTER BAG ON WITH THE DAM ON TOP OF THE GRATE.
- PULL THE EXCESS DOWN.
- LAY THE UNIT ON ITS SIDE.
- CAREFULLY TUCK THE FLAP IN.
- PRESS THE VELCRO STRIPS TOGETHER.
- INSTALL THE UNIT MAKING SURE THE FRONT EDGE OF THE GRATE IS INSERTED IN THE FRAME FIRST, THEN LOWER IT BACK INTO PLACE.
- PRESS THE VELCRO DOTS TOGETHER THAT ARE LOCATED UNDER THE STRAPS TO HOLD THE STRAPS TO THE SURFACE OF THE UNIT.

**MAINTENANCE**

TO ENSURE PROPER OPERATION REMOVE SILT, SEDIMENT, AND DEBRIS FROM THE SURFACE AND THE VICINITY OF THE UNIT WITH A SQUARE POINT SHOVEL OR STIFF BRISTLE BROOM AWAY FROM ENVIRONMENTALLY SENSITIVE AREAS AND WATERWAYS IN A MANNER SATISFACTORY TO THE ENGINEER/INSPECTOR. REMOVE FINE MATERIAL FROM INSIDE INLET FILTER AS NEEDED. DISPOSE OF OR EMPTY INLET FILTER IN AN APPROPRIATE RECYCLING OR SOLID WASTE FACILITY.

**INLET PROTECTION - TYPE D (DANDY CURB BAG)**

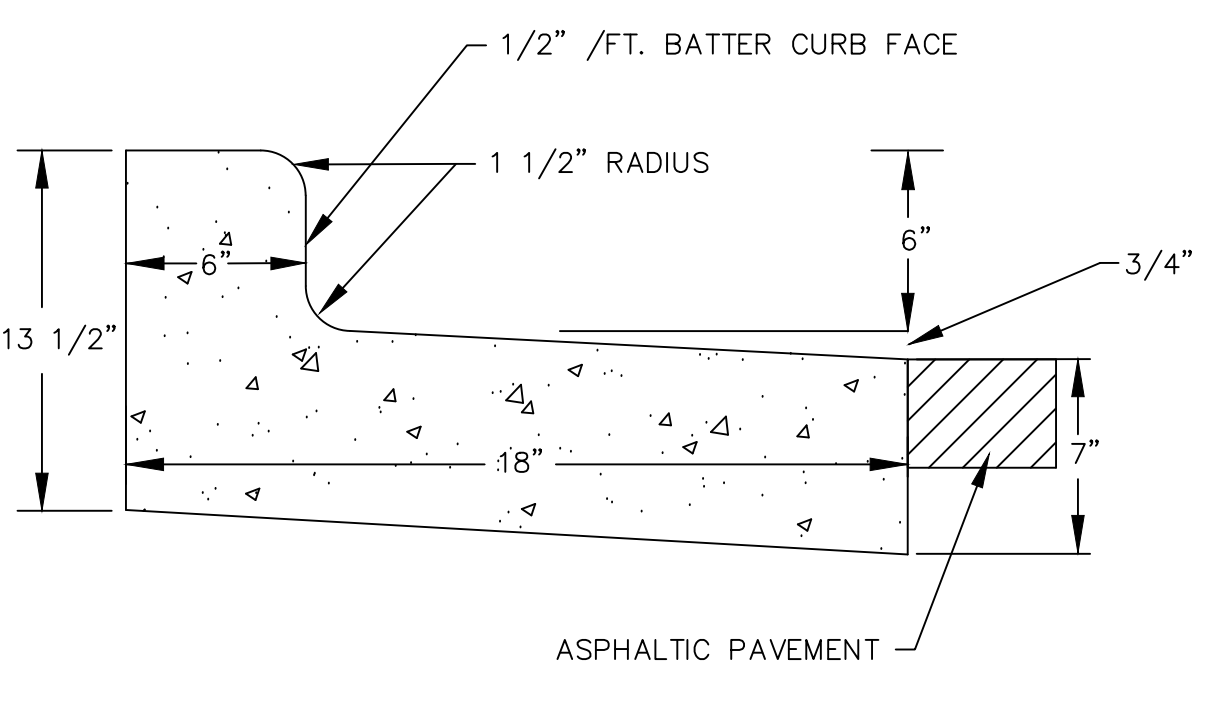
C 213 NOT TO SCALE



NOTE: THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SUBGRADE OR BASE COURSE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.

**18" CURB AND GUTTER DETAIL (TYPE "D")**

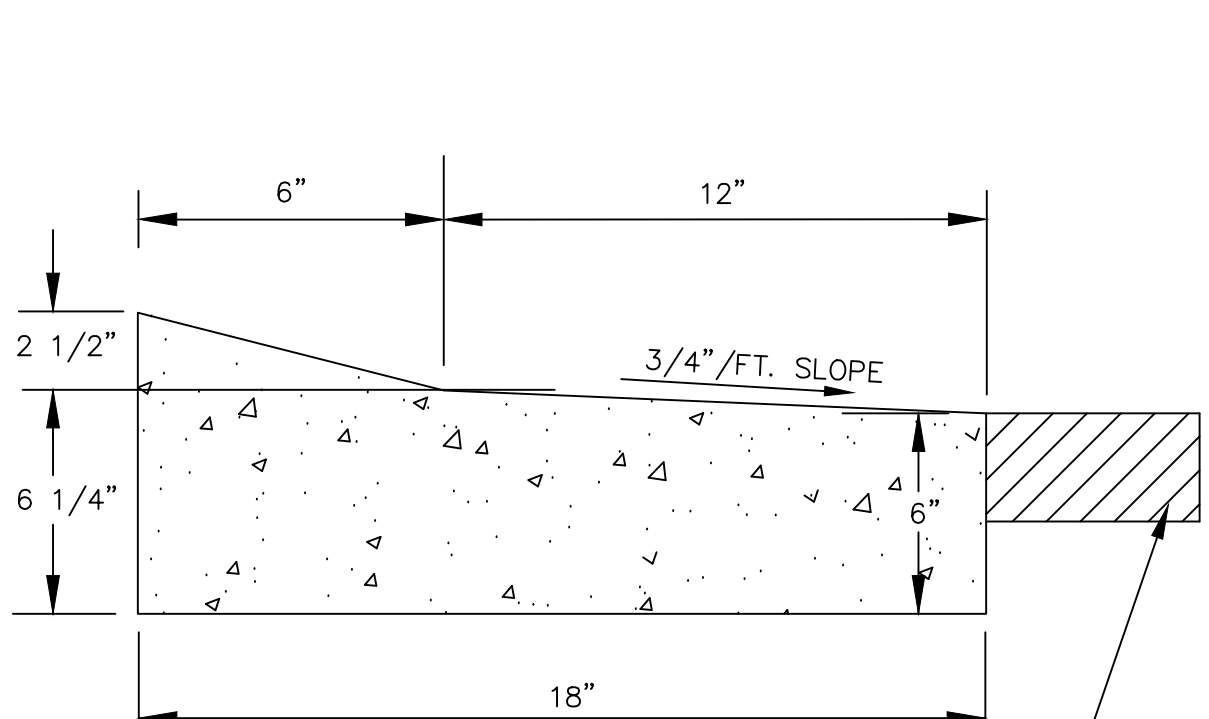
C 300 NOT TO SCALE



NOTE: THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SUBGRADE OR BASE COURSE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.

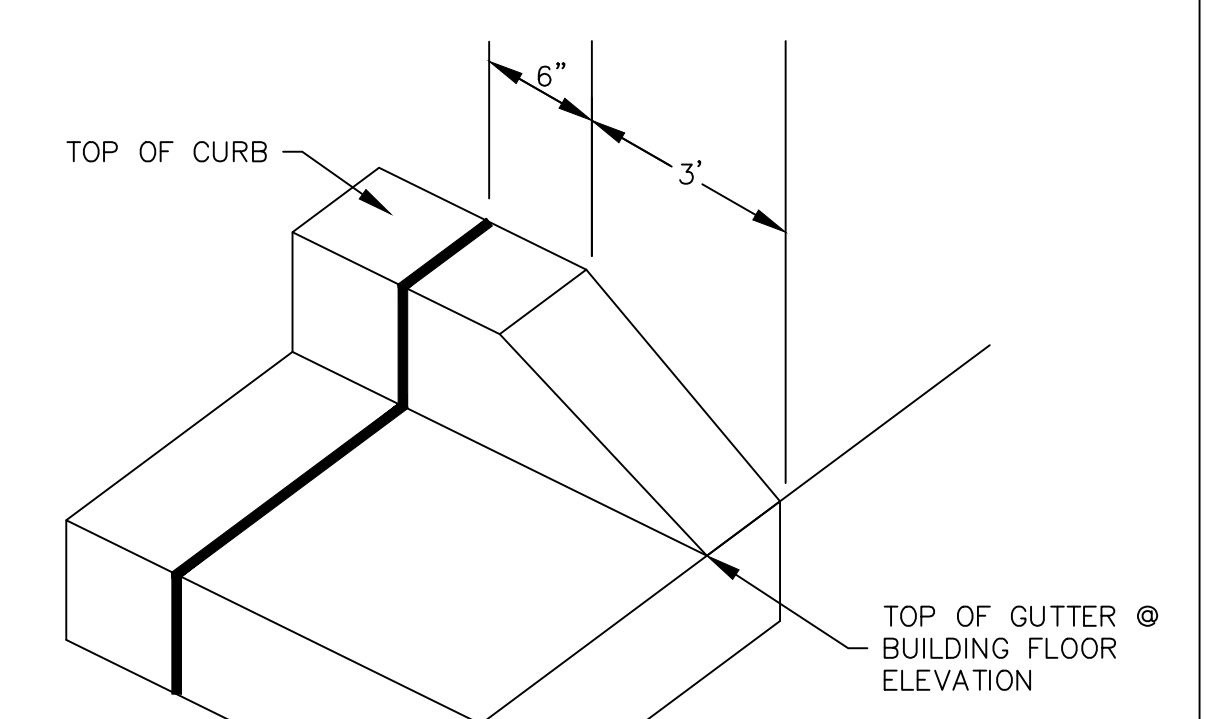
**18" CURB AND GUTTER DETAIL TIPPED OUT (TYPE "D")**

C 302 NOT TO SCALE



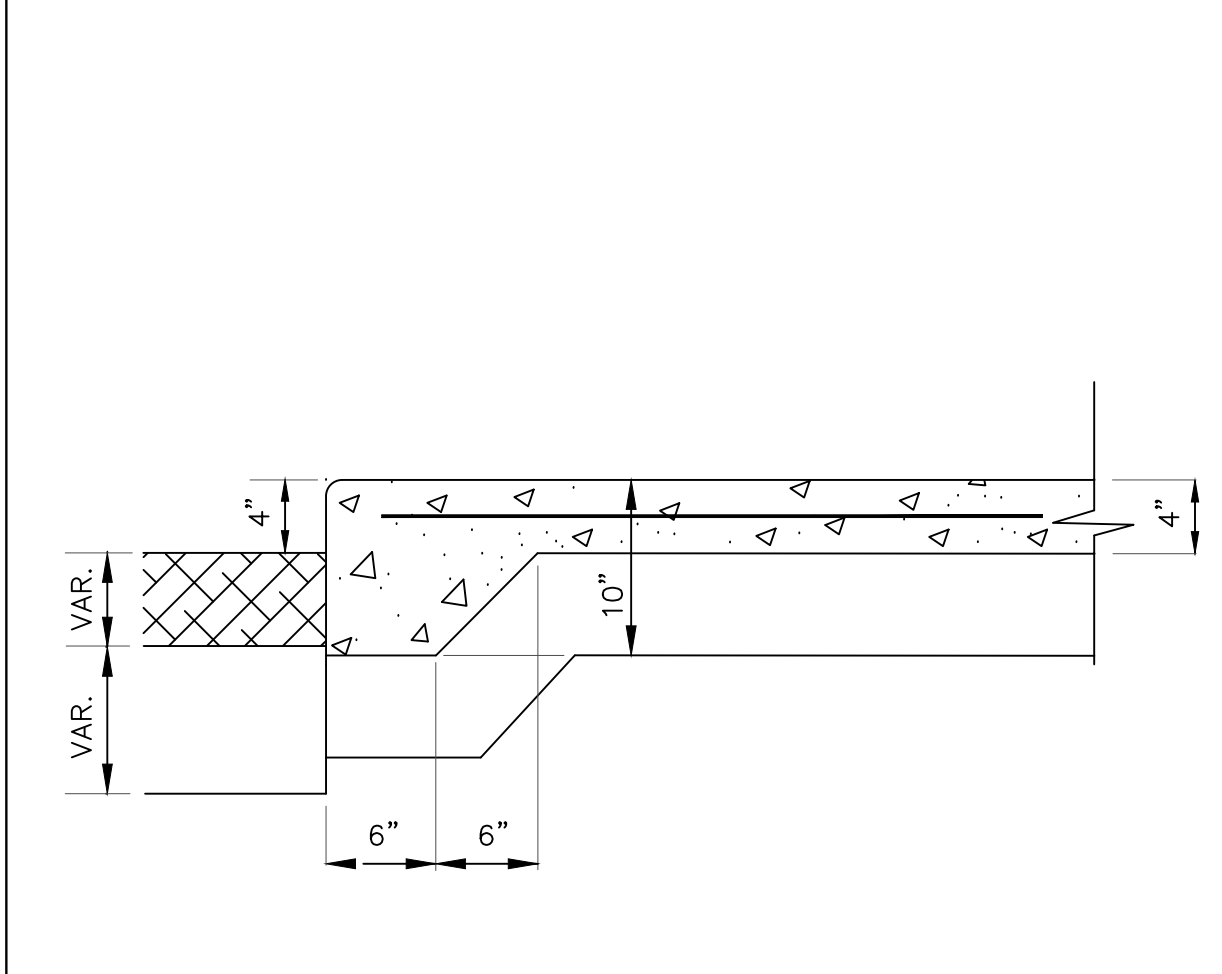
**18" MOUNTABLE REJECT CURB AND GUTTER DETAIL (TYPE "V")**

C 307 NOT TO SCALE



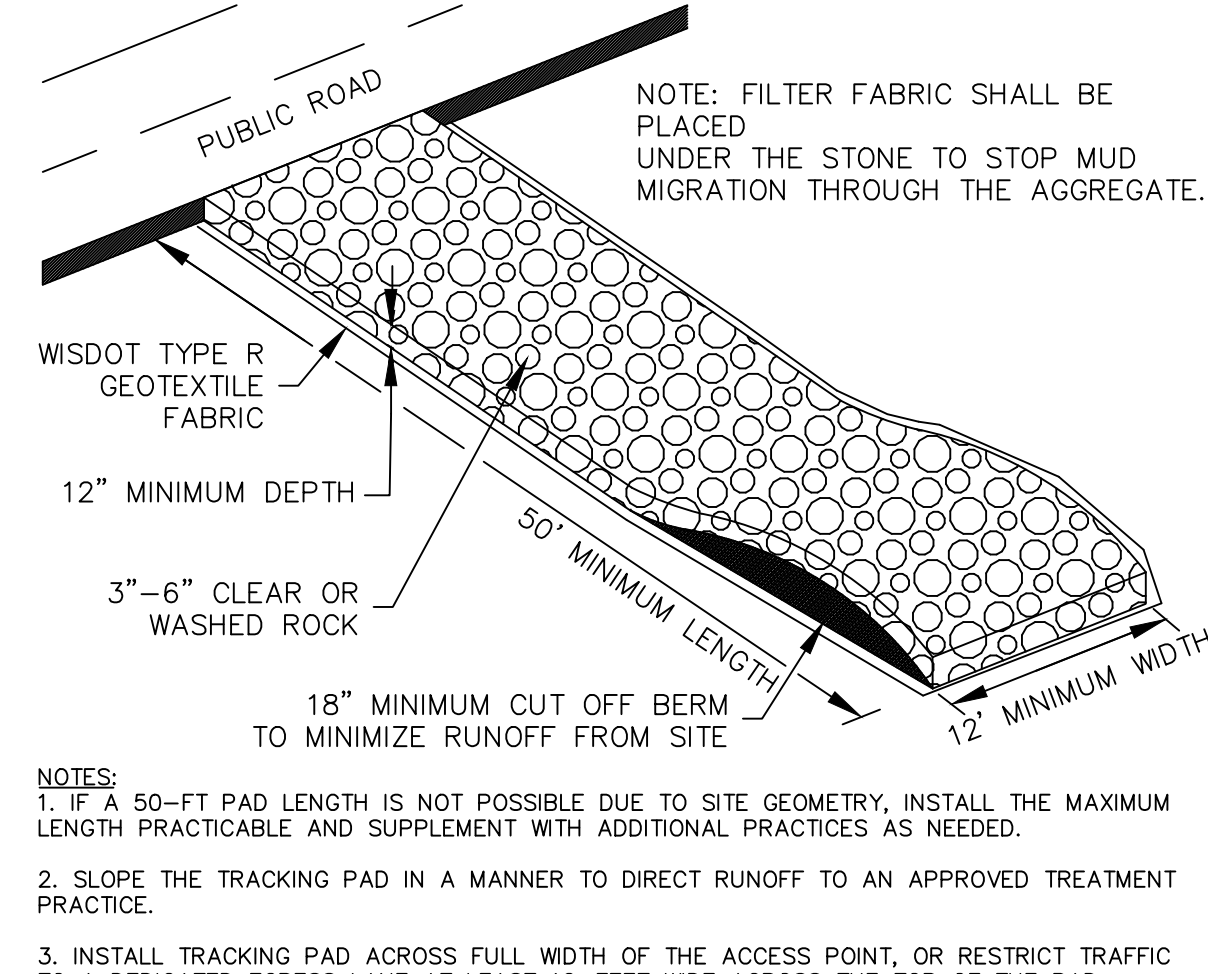
**CURB TAPER**

C 385 NOT TO SCALE



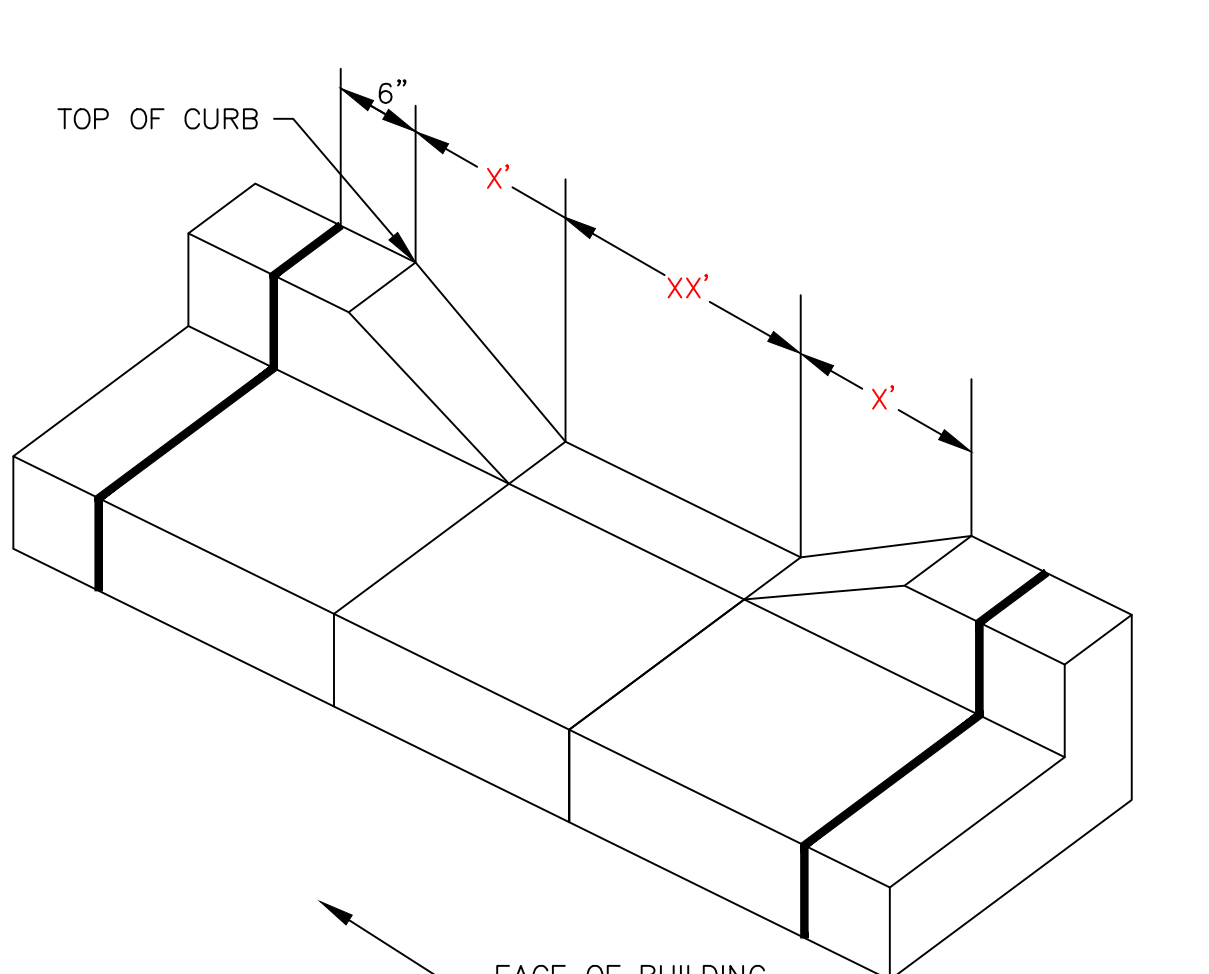
**INTEGRAL CURB AND SIDEWALK DETAIL**

C 390 NOT TO SCALE



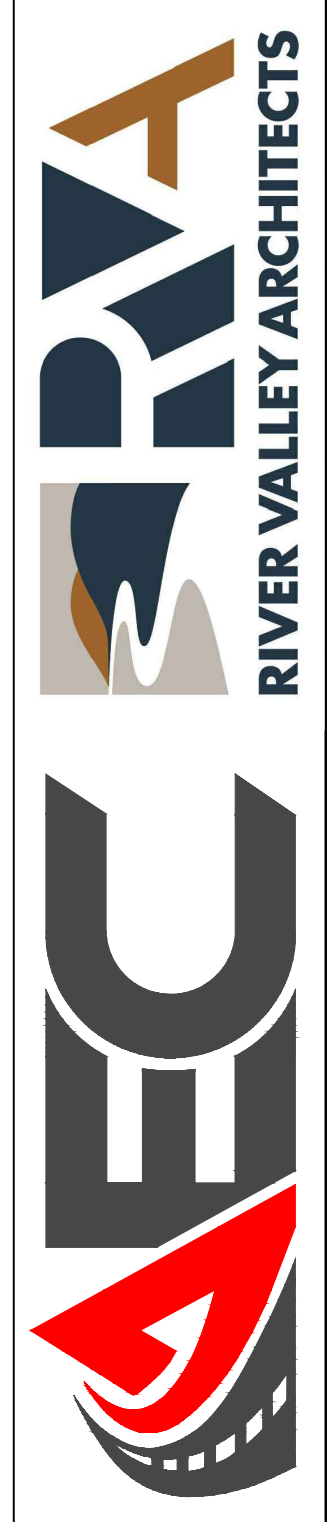
**STONE TRACKING PAD AND TIRE WASHING DETAIL**

C 400 NOT TO SCALE



**CURB CUT/OPENING**

C 386 NOT TO SCALE



CAPVEST  
 26-017 COWBOY JACK'S LA CROSSE  
 LOT 2 RIVER BEND RD, LA CROSSE, WI

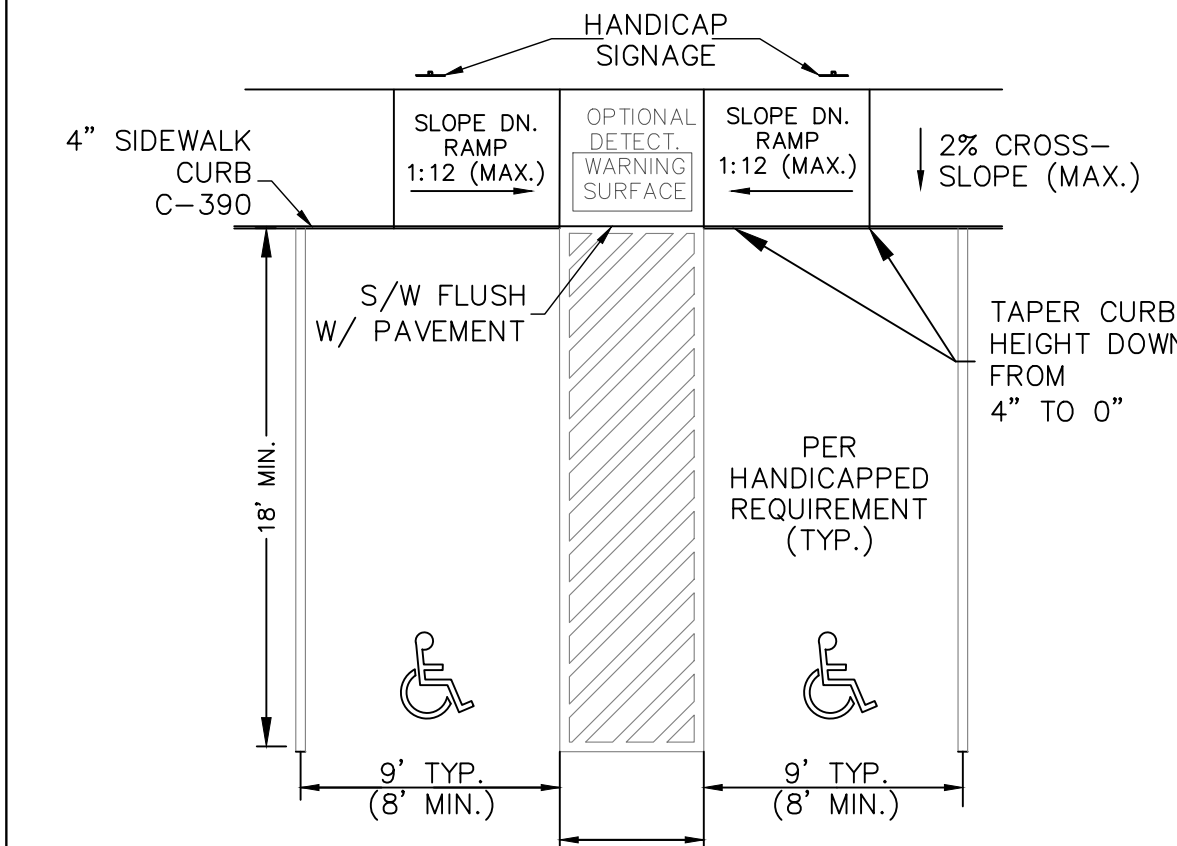
NO.	DATE	DESCRIPTION

DRAWN BY: JRC  
 PM: KS  
 JOB NO: 26002  
 DATE: 06.09.2026

DETAILS

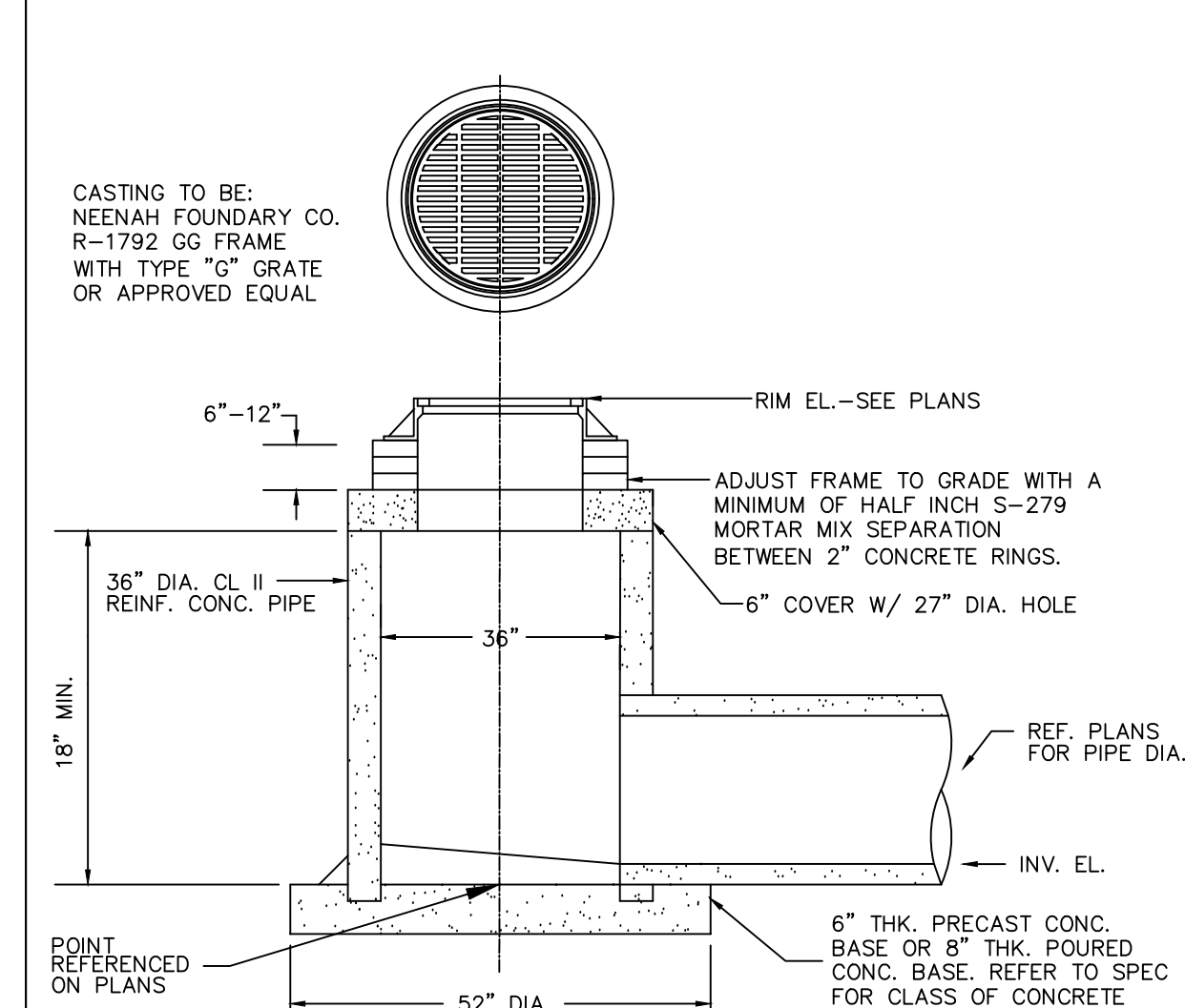
C700

NOT FOR CONSTRUCTION - DD SET

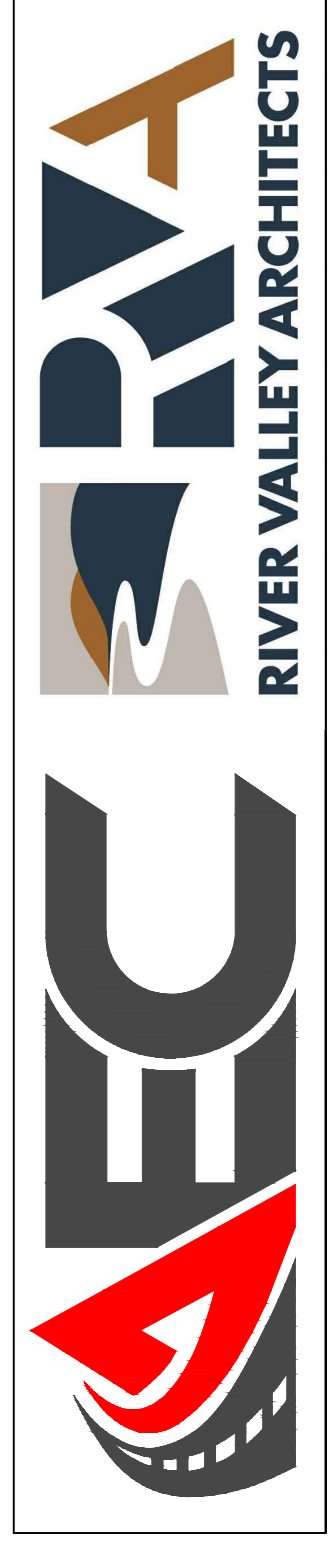


NOTES:  
 2'x4' DETECTABLE WARNING FIELD SHALL BE A TRUNCATED DOME SYSTEM MANUFACTURED OF CAST IRON IN A NATURAL PATINA FINISH, MANUFACTURED BY NEENAH FOUNDRY, OR APPROVED EQUAL. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. USAGE IS OPTIONAL UNLESS THE DIRECTION OF TRAVEL IS IMMEDIATELY INTO TRAFFIC.  
 THE SURFACE TEXTURE OF THE RAMP (EXCLUDING ANY TRUNCATED DOME PANEL) SHALL BE A COARSE BROOMED FINISH, TRANSVERSE TO THE SLOPE OF THE RAMP.

**DUAL HANDICAP RAMP DETAIL**  
 434 NOT TO SCALE



**AREA INLET (FLAT GRATE)**  
 211 NOT TO SCALE



**CAPVEST**  
**26-017 COWBOY JACK'S LA CROSSE**  
 LOT 2 RIVER BEND RD, LA CROSSE, WI

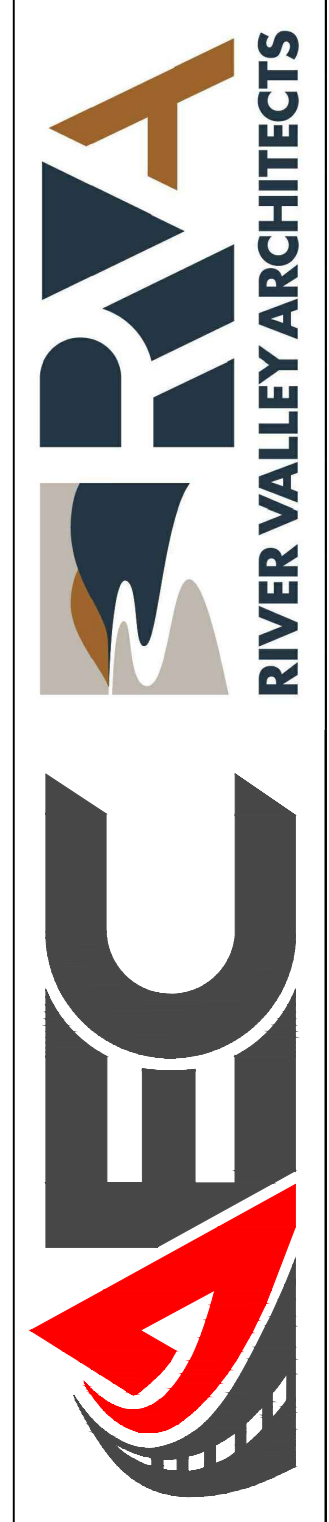
**NOT FOR CONSTRUCTION - DD SET**

NO.	DATE	DESCRIPTION

DRAWN BY: JRC  
 PM: KS  
 JOB NO: 26002  
 DATE: 06.09.2026

DETAILS

**C701**



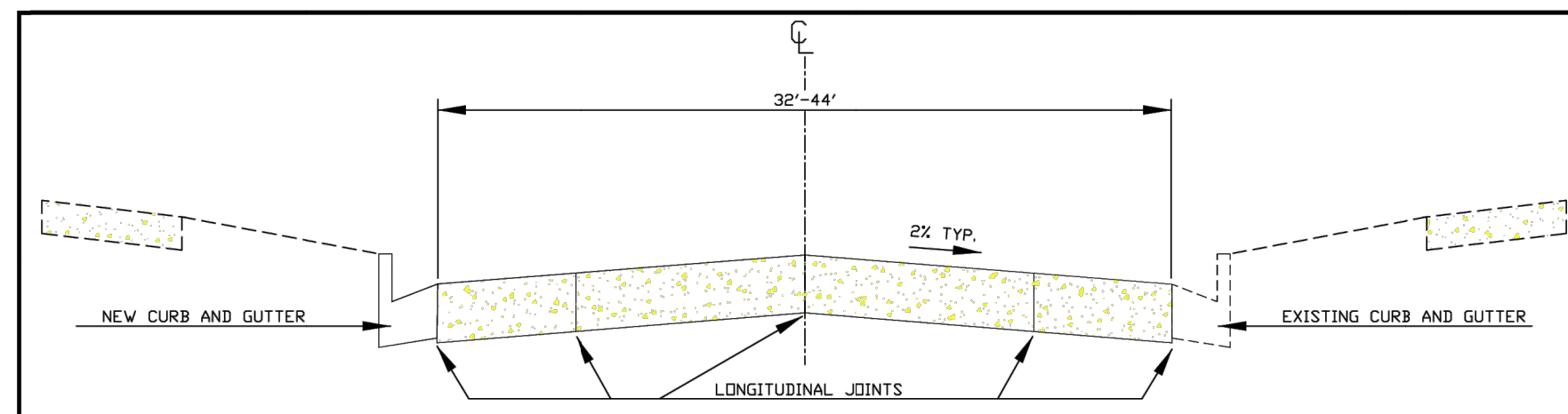
CAPVEST  
26-017 COWBOY JACK'S LA CROSSE  
LOT 2 RIVER BEND RD., LA CROSSE, WI

NO.	DATE	DESCRIPTION

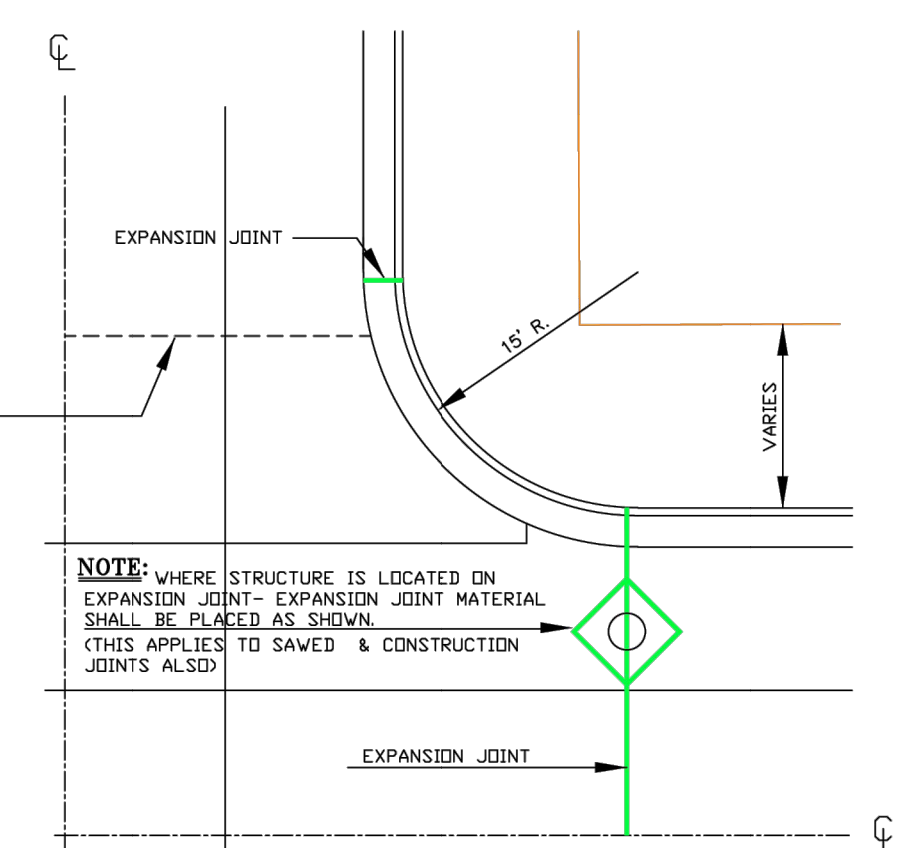
DRAWN BY: JRC  
PM: KS  
JOB NO: 26002  
DATE: 06.09.2026  
DETAILS

C702

### DRAWINGS NOT TO SCALE

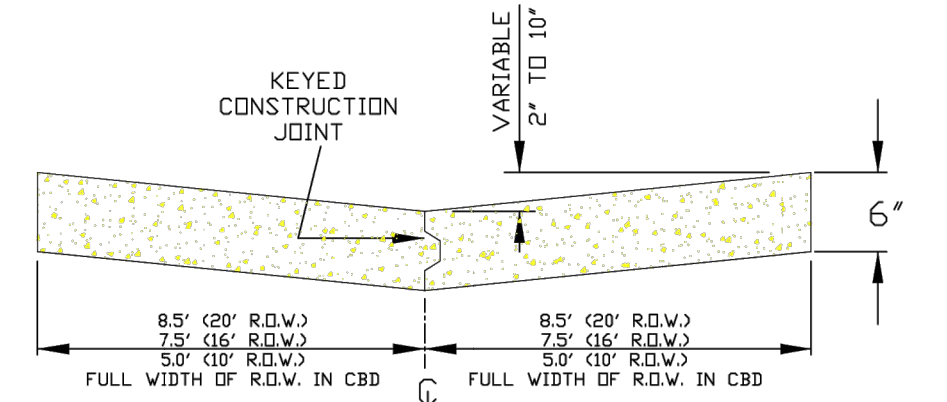


TYPICAL CROSS SECTION FOR 36' ROADWAY

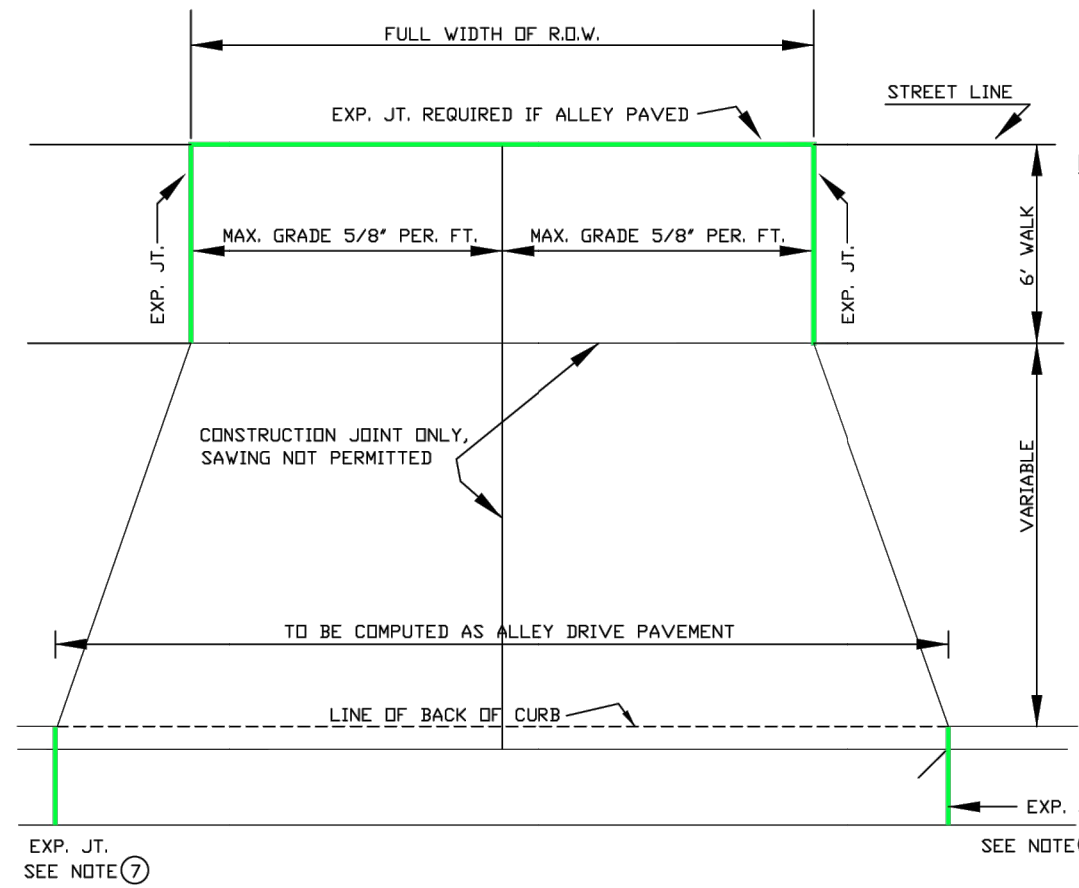


#### NOTES-JOINTS

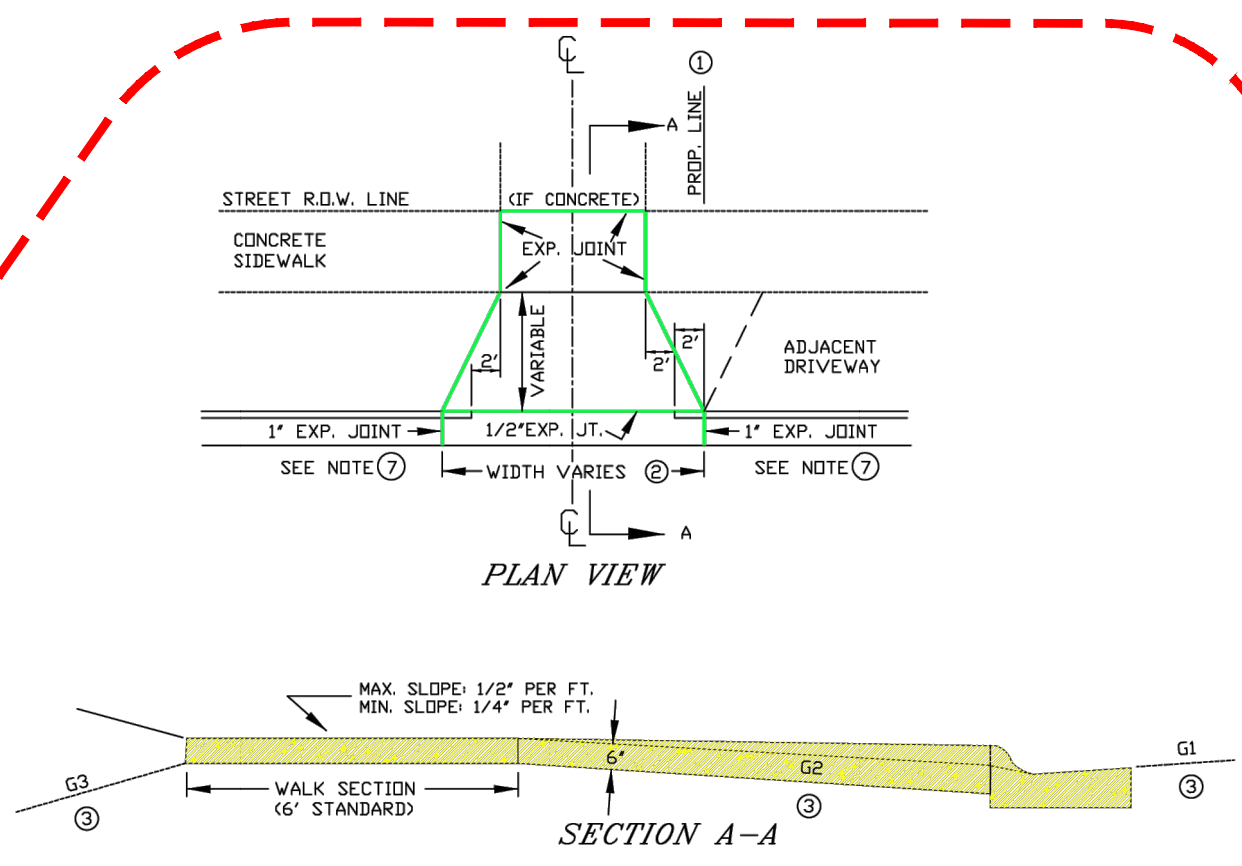
- EXPANSION JOINTS SHALL BE PLACED AT THE END OF RADII AT STREET INTERSECTIONS AND MID-BLOCK BETWEEN INTERSECTIONS. IN NO CASE SHALL THE DISTANCE BETWEEN EXPANSION JOINTS EXCEED 150 FEET.
- THE DISTANCE BETWEEN TRAVERSE JOINTS SHALL NOT BE LESS THAN 10 FEET AND SHALL BE TYPICALLY 20 FEET APART.
- LONGITUDINAL CONSTRUCTION JOINTS BETWEEN CURB AND GUTTER SECTION AND CONC. PAVING SECTION SHALL BE SEALED AS SHOWN ON JOINT DETAILS.



TYPICAL SECTION OF ALLEY PAVEMENT



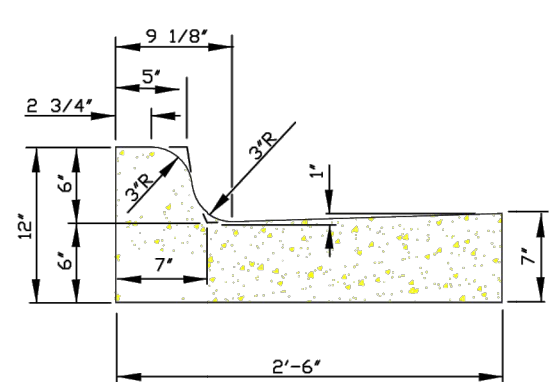
STANDARD ALLEY DRIVEWAY 7" THICK



STANDARD DRIVEWAY DETAIL

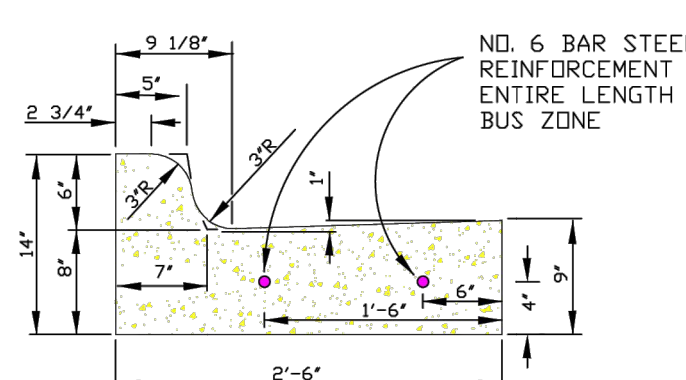
- DRIVE SECTION SHALL NOT OVERLAP PROPERTY LINE EXTENDED, EXCEPT WHERE PERMITTED BY THE ENGINEER, OR WHEN A JOINT DRIVEWAY AGREEMENT IS EXECUTED BY OWNERS OF ADJACENT PROPERTIES.
- MAX. DRIVEWAY WIDTH AT THE CURB AND SIDEWALK IS SET FORTH IN CITY ORDINANCE 5.03.
- THE BREAKOVER ANGLE (CAUSE OF CURB BOTTOMING) BECOMES CRITICAL WHEN THE ALGEBRAIC DIFFERENCE OF GRADES (G1, G2, & G3) EXCEEDS 11%.
- A REINFORCED DRIVE SECTION IS REQUIRED FOR CURB & GUTTER IN AREAS ZONED INDUSTRIAL OR COMMERCIAL.
- BACK OF CURB TO FRONT OF CONC. SIDEWALK MUST BE CONCRETE, BRICK OR ASPHALTIC BITUMINOUS.
- MECHANICAL COMPACTION OF SUBSOIL IN LAYERS LESS THAN 12" TO ACHIEVE MINIMUM COMPACTION OF 95% OF MAXIMUM DENSITY FROM MODIFIED PROCTOR IS REQUIRED. (INCLUDING STREET SIDE AFTER FORMS ARE REMOVED)
- EXPANSION JOINT IS REQUIRED AT BOTH ENDS OF DRIVEWAY WHEN ONLY DRIVEWAY IS INSTALLED OR REPLACED. WHEN ENTIRE BLOCK OF CURB & GUTTER IS INSTALLED THE EXPANSION JOINT AT DRIVEWAY ENDS MAY BE OMITTED.

NOTE: TURNING OF 2" DIAMETER DRIVEWAY RETURNS IN LIEU OF DIMINISHING HEAD AS SHOWN IS PERMITTED IF DESIRED BY PROPERTY OWNER. INSTALLATION OF A DRIVEWAY BY REMOVING EXISTING CURB HEAD ONLY IS NOT ALLOWED. ENTIRE EXISTING C&G MUST BE REMOVED FOR NEW DRIVEWAYS. REMOVAL OF A MINIMUM 12" WIDTH OF BITUMINOUS TO INSTALL FRONT FORMS IS REQUIRED.

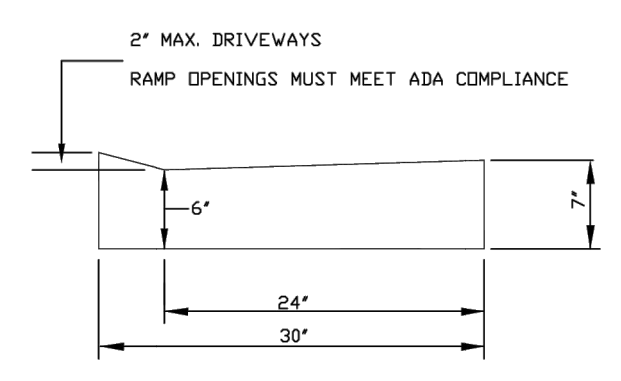


STANDARD CURB & GUTTER SECTION

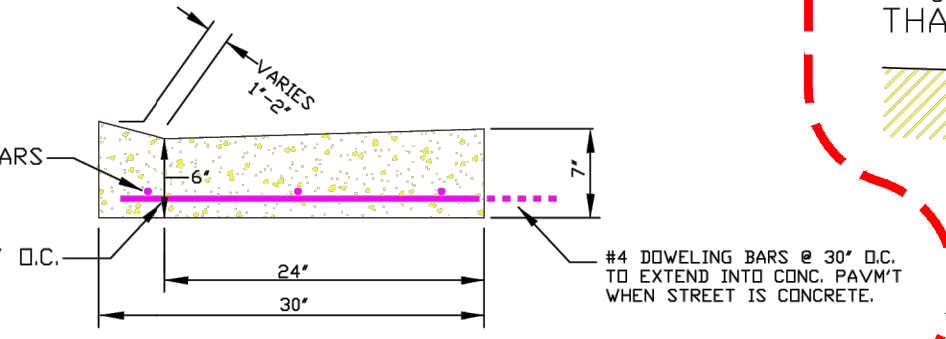
NOTE: WITH REFERENCE TO SAWING OF CONTRACTION JOINTS ON SLIP FORM CURB & GUTTERS, & CURB, PAGE 9.3, STANDARD SPECS THE SAW CUT SHALL BE A MINIMUM 1/8" WIDE X 1" DEEP.



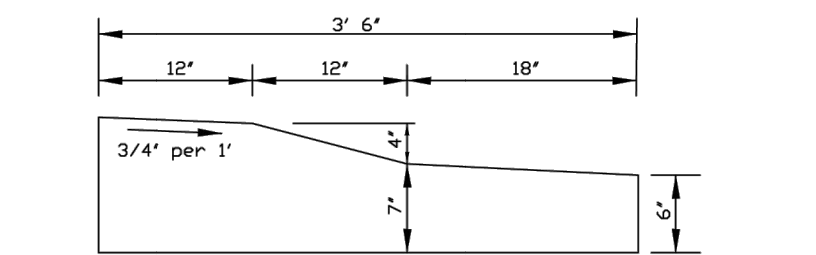
REINFORCED CURB & GUTTER BUS STOP LOCATIONS



MOUNTABLE CURB SECTION

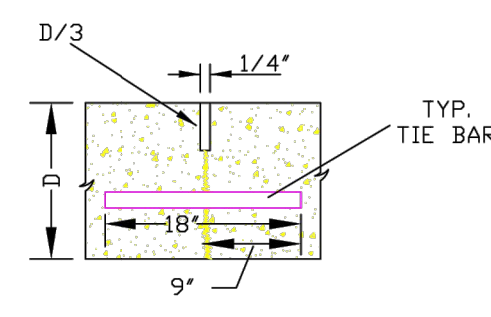
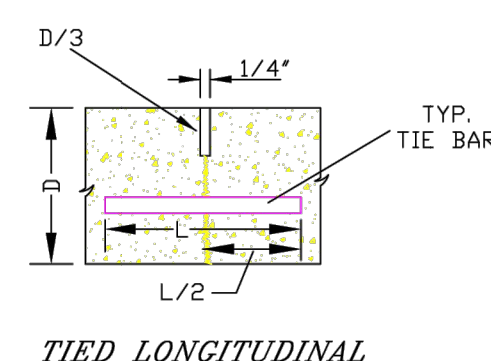
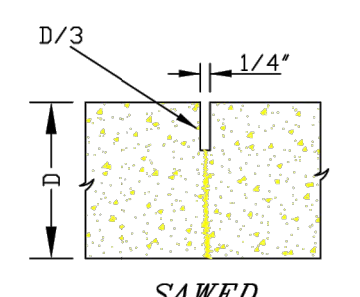


REINFORCED DRIVEWAY

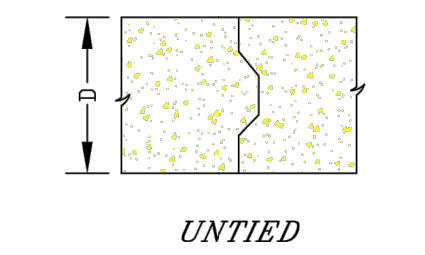
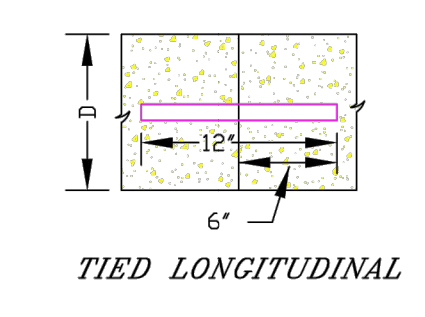
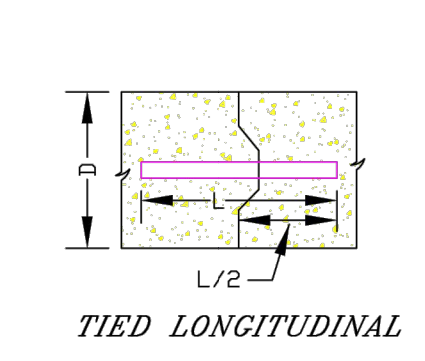
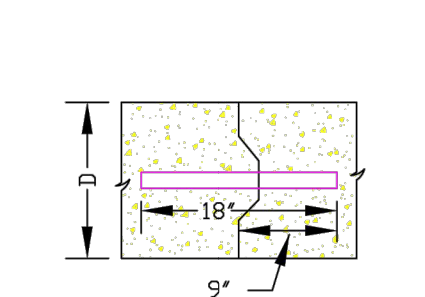


TRAFFIC CIRCLE CURB SECTION

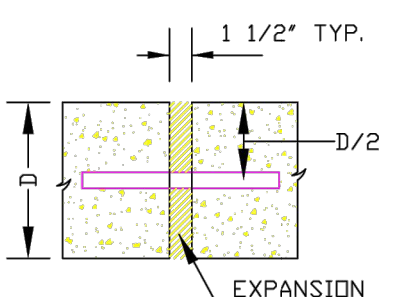
#### CONTRACTION



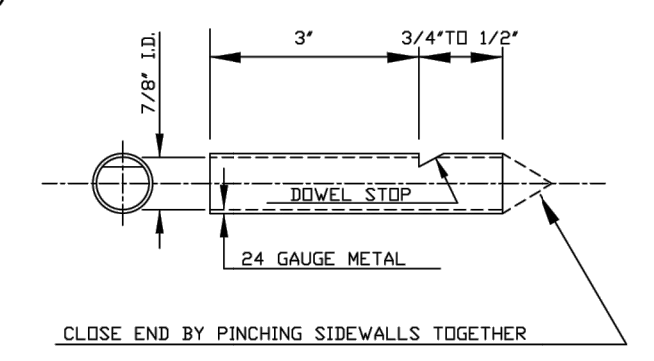
#### CONSTRUCTION



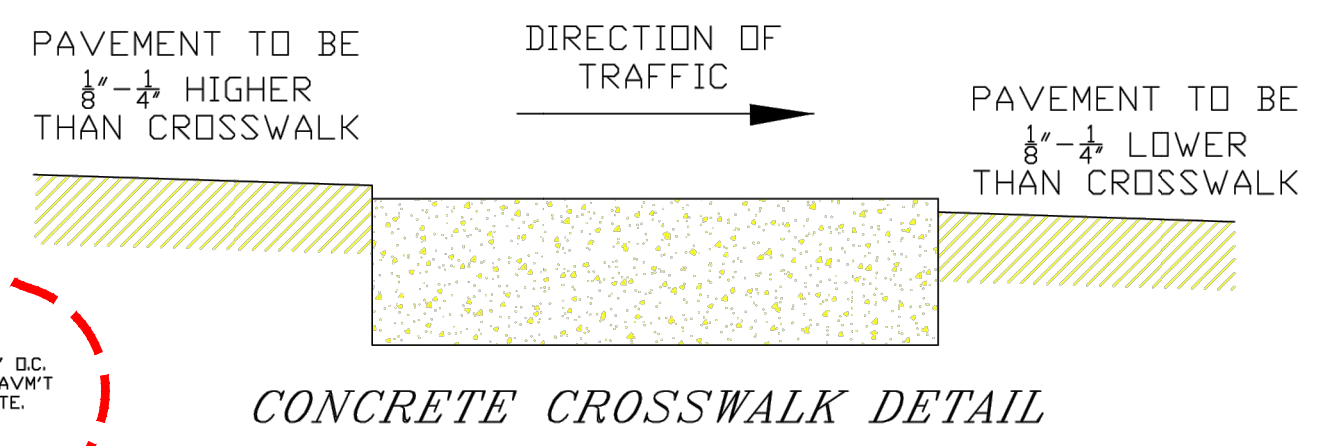
#### EXPANSION



ALL JOINTS TO BE SEALED TO KEEP OUT FOREIGN DEBRIS



DOWEL SOCKET DETAIL



CONCRETE CROSSWALK DETAIL

PROJECT No.	CONCRETE-PAVEMENT DETAILS	
LOCATION		
RESOLUTION	DATE	
<b>ENGINEERING DEPT.</b> City of LaCrosse, Wis.		
FIELD NO.	SURVEYED	PRELIMINARY
BOOK	DRAWN	FINAL
NUMBER	CHECKED	
PAGE	APPROVED	
	REVISIONS	01/21
SCALE: NONE	TOTAL SHEETS	
SHEET NO.		

NOT FOR CONSTRUCTION - DD SET







