



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Meeting Agenda City Plan Commission

Monday, March 2, 2026

4:00 PM

Council Chambers

The meeting is open for in-person attendance and will also be conducted through video conferencing. To join the meeting click this link (or typing the URL in your web browser address bar):

<https://cityoflacrosse-org.zoom.us/j/85193167933?pwd=KZZGuG4wS5jHgSbhOII9Q6QQ5REeIK.1>
Meeting ID: 851 9316 7933
Passcode: CPC26
Call in: 1-305-224-1968.

The meeting can be viewed by visiting the Legislative Information Center (<https://cityoflacrosse.legistar.com/Calendar.aspx>) and clicking on the "In Progress" video link to the far right in the meeting list.

If you wish to speak on an agenda item, arrive early to sign up before the meeting begins. If attending virtually and you wish to speak, contact the Department of Planning, Development and Assessment at the email or phone number below so we can provide you with the necessary information to join in. Members of the public who would like to provide written comments on any agenda may do so by emailing tranea@cityoflacrosse.org, using a drop box outside of City Hall or mailing the Department of Planning, Development and Assessment, 400 La Crosse Street, La Crosse WI 54601. Questions, call 608-789-7512

Call to Order

Roll Call

Approval of Minutes

1. Approval of the February 12, 2026 Special Meeting Minutes.

Agenda Items:

2. [26-0133](#) AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Special Residence District, allowing for three rental units (one duplex and a single-family unit) at 1402 & 1410 Gillette Street and 1552 Loomis Street.

Attachments: [Ordinance](#)
[Rezoning Petition](#)
[300-foot Property Owner Buffer List](#)
[Buffer Map](#)

[Notice of Hearing](#)

[Undeliverable Notice - 2.19.2026](#)

[Affidavit of Publication - Notice of Hearing](#)

[CPC.Staff Report.26-0133](#)

3. [26-0143](#) AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Local Business District to the Planned Development District - General, allowing for the construction of a mixed-use development including residential and commercial uses at 2415 State Road.

Attachments: [Ordinance](#)

[Rezoning Petition](#)

[Copper Rocks Narrative](#)

[Site Plan](#)

[Landscape Plans](#)

[Plant List](#)

[Sustainability Plan](#)

[Geotech Report](#)

[Notice of Hearing](#)

[300-foot Property Owner Buffer List](#)

[Buffer Map](#)

[Undeliverable Notices - 2.20.2026 \(Resent to FW Address\)](#)

[Affidavit of Publication - Notice of Hearing](#)

[Undeliverable Notice - 2.24.2026](#)

[CPC.Staff Report.26-0143](#)

4. [26-0144](#) Certified Survey Map - Lot 1, Certified Survey Map Number 67, Volume 19, Document Number 1761262, Located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way and waiver of platting requirements.

Attachments: [Certified Survey Map & Submittal Checklist - 2.16.2026](#)

[Waiver Request](#)

[Letter Re CSM Meetings 2.17.2026](#)

[Building & Inspections Comments - 2.17.2026](#)

[CPC.Staff Report.26-0144](#)

5. [25-0143](#) Update on the zoning/subdivision code project.

Attachments: [Forward La Crosse_Zoning Promotion 08.01.2025.pdf](#)

[Zoning Code Update Project Update 5.29.2025.pdf](#)

[Built Form Study_Districts.042825.pdf](#)

[Built Form Study_Neighborhoods.042825.pdf](#)

[Character Areas Defined.042825.pdf](#)
[Downtown Character Areas.042825.pdf](#)
[Zoning 101_23Apr_compressed.042825.pdf](#)
[Built Form Study_Corridors.042825.pdf](#)
[Zoning Code Update Memo V2 3-31-2025](#)
[DRAFT Zoning Code Update Survey #1 3-31-2025](#)
[DRAFT Zoning 101 Presentation 3-31-2025](#)
[DRAFT Form Plate George St 3-31-2025](#)
[Zoning Code Update Memo V1 3-3-2025](#)
[Summary of Residential Lot Standards 3-3-2025](#)
[1950 Zoning Map 3-3-2025](#)
[Study Guide for City Plan Commission_30Jun2025.pdf](#)
[Forward La Crosse CPC.pdf](#)
[Memo from Friends of the Marsh - 9.15.2025](#)

Adjournment

Notice is further given that members of other governmental bodies may be present at the above scheduled meeting to gather information about a subject over which they have decision-making responsibility.

NOTICE TO PERSONS WITH A DISABILITY

Requests from persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (608) 789-7510 or send an email to ADAcityclerk@cityoflacrosse.org, with as much advance notice as possible.

City Plan Commission

Mayor Shaundel Washington-Spivey, Elaine Yager, Jacob Sciammas, James Cherf, Jennifer Trost, Matt Gallager, Olivia Stine, Aron Newberry and James Szymalak.



City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0133

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

Agenda Number: 2.

ORDINANCE NO.: _____

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Special Residence District, allowing for three rental units (one duplex and a single-family unit) at 1402 & 1410 Gillette Street and 1552 Loomis Street.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Subsection 115-110 of the Code of Ordinances of the City of La Crosse is hereby amended by transferring certain property from the Single Family Residence District to the Special Residence District on the Master Zoning Map, to-wit:

Tax Parcel 17-10150-50; 1402 & 1410 Gillette St. and 1552 Loomis St.

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:

PETITION FOR CHANGE TO ZONING
CITY OF LA CROSSE

AMENDMENT OF ZONING DISTRICT BOUNDARIES

Petitioner (name and address):

Nicholas Webb 51350 Garlick Rd. Westby, WI 54667

Owner of site (name and address):

Blow Enterprises LLC
1410 Gillette St LaCrosse

Address of subject premises:

1410 Gillette St LaCrosse (1402 Gillette + 1552 Loomis)

Tax Parcel No.:

17-10150-050

Legal Description (must be a recordable legal description; see Requirements):

First Addition to Spier + Canterburgs Addition Lot 7
Block 12 Lot 52: 45 X 140

Zoning District Classification:

R1 - Single Family

Proposed Zoning Classification:

R3 - Special Residence

Is the property located in a floodway/floodplain zoning district?

Yes No

Is the property/structure listed on the local register of historic places?

Yes No

Is the Rezoning consistent with Future Land Use Map of the Comprehensive Plan?

Yes No

Is the Rezoning consistent with the policies of the Comprehensive Plan?

Yes No

Property is Presently Used For:

Rentals

Property is Proposed to be Used For:

Rentals

Proposed Rezoning is Necessary Because (Detailed Answer):

The buildings are zoned R1 and needs to be rezoned R3 because
it is 3 rental units

Proposed Rezoning will not be Detrimental to the Neighborhood or Public Welfare Because (Detailed Answer):

unit is already been in use for the past 5-6 years

Proposed Rezoning will not be Detrimental to the City's Long Range Comprehensive Plan Goals, Objectives, Actions and Policies Because (Detailed Answer):

No it will not The building has already been a rental unit.

AFFIDAVIT

STATE OF)
) ss
COUNTY OF)

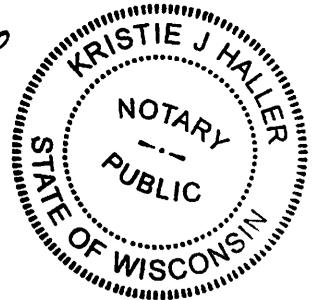
The undersigned, _____, being duly sworn states:

1. That the undersigned is an adult resident of the City of Westby, State of Wisconsin.
2. That the undersigned is (one of the) legal owner(s) of the property located at 1400 Gillette St.
3. By signing this affidavit, the undersigned authorizes the application for a conditional use permit/district change or amendment (circle one) for said property.

Nick Webb
Property Owner

Subscribed and sworn to before me this 27th day of Jan, 2020.

Kristie J Haller
Notary Public
My Commission expires 9/13/27

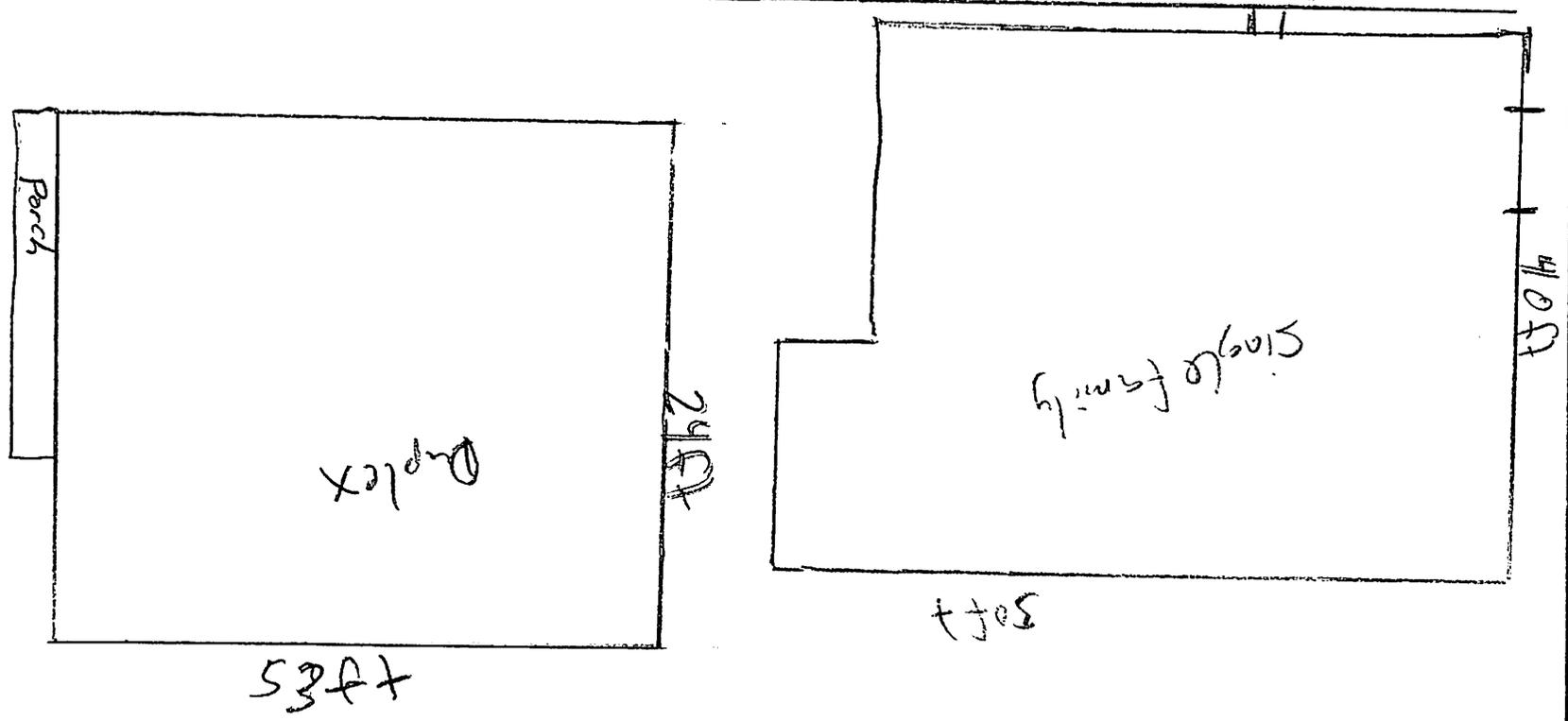


Gillete St.

side walk

Loomis Street

A11g



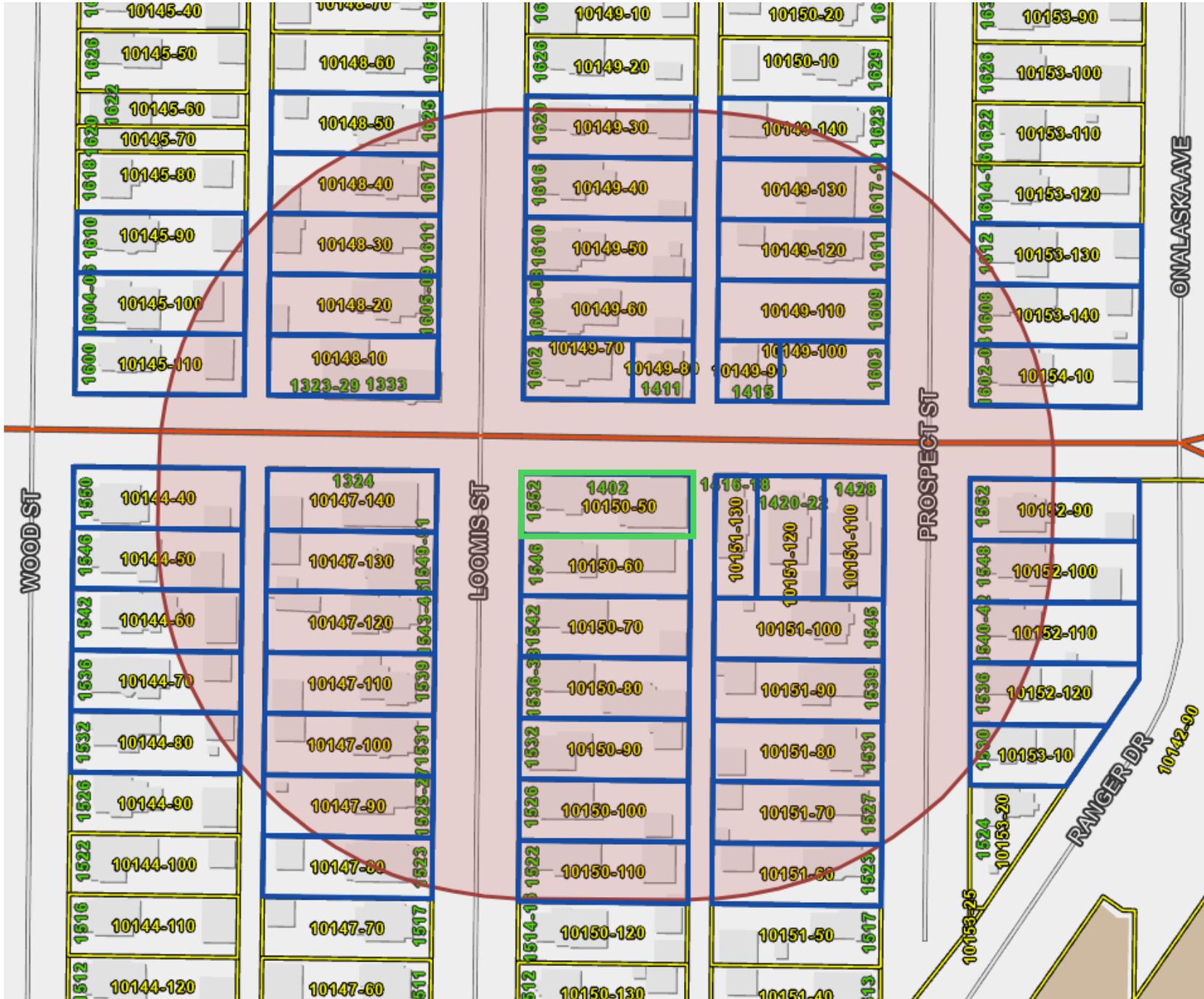
1552 Loomis, 1402 & 1410 Gillete

Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-10144-40	JOHN A WEBER	1550 WOOD ST	1550 WOOD ST	LA CROSSE WI 54603-2214
17-10144-50	TARA S MEZERA, PETER L MEZERA	1546 WOOD ST	1546 WOOD ST	LA CROSSE WI 54603
17-10144-60	LINDA L CAPONIGRO, THOMAS CAPONIGRO	1542 WOOD ST	1542 WOOD ST	LA CROSSE WI 54603-2214
17-10144-70	TRACEY L HORSTMAN, SHAWN R HORSTMAN	1536 WOOD ST	1536 WOOD ST	LA CROSSE WI 54603-2214
17-10144-80	JOHN P KOVARI	1532 WOOD ST	1532 WOOD ST	LA CROSSE WI 54603-2214
17-10145-100	CAROLE R STRITTMATER REVOCABLE TRUST	1604 & 1606 WOOD ST	1606 WOOD ST	LA CROSSE WI 54603
17-10145-110	WILLIAM G TILSON	1600 WOOD ST	1600 WOOD ST	LA CROSSE WI 54603-2216
17-10145-90	HEIDI N GRAHAM TRUST	1610 WOOD ST	1610 WOOD ST	LA CROSSE WI 54603-2216
17-10147-100	AUSTIN S RAMSEY	1531 LOOMIS ST	1531 LOOMIS ST	LA CROSSE WI 54603-2254
17-10147-110	MICHAEL N DEVINE, SANDRA J DEVINE	1539 LOOMIS ST	1539 LOOMIS ST	LA CROSSE WI 54603-2254
17-10147-120	NEIGHBORHOOD RENTALS LLC	1543 & 1545 LOOMIS ST	440 BARRANCA AVE N #8508	COVINA CA 91723
17-10147-130	COLLINS RENTALS OF LACROSSE LLC	1549 & 1551 LOOMIS ST	3815 MORMON COULEE RD #100	LA CROSSE WI 54601
17-10147-140	CAROL A SIMS	1324 GILLETTE ST	13876 SWISS LN	TRUCKEE CA 96161
17-10147-80	ARLENE S SARVIDA	1523 LOOMIS ST	1523 LOOMIS ST	LA CROSSE WI 54603-2254
17-10147-90	J & J PROPERTIES I LLC	1525 & 1527 LOOMIS ST	N8359 MCWAIN DR	HOLMEN WI 54636
17-10148-10	LITTLE WHITE CHURCH HOUSE LLC	1323, 1325, 1327, 1329, 1333 GILLETTE ST	S1341 HARRIS RD	HILLSBORO WI 54634
17-10148-20	BULLSEYE PROPERTY INVESTMENTS LLC	1605, 1607, 1609 LOOMIS ST	N4517 MEADOW WOOD RD	ONALASKA WI 54650
17-10148-30	DOUGLAS M PATROS, COLLEEN E PATROS	1611 LOOMIS ST	1611 LOOMIS ST	LA CROSSE WI 54603-2253
17-10148-40	SCOTT T WENZLAFF	1617 LOOMIS ST	1617 LOOMIS ST	LA CROSSE WI 54603
17-10148-50	JOSHUA J HEIN, STEPHANIE R HEIN	1625 LOOMIS ST	1625 LOOMIS ST	LA CROSSE WI 54603-2253
17-10149-100	ERIN M COZY	1603 PROSPECT ST	1603 PROSPECT ST	LA CROSSE WI 54603-2249
17-10149-110	ROGER M PAFFORD	1609 PROSPECT ST	1609 PROSPECT ST	LA CROSSE WI 54603-2249
17-10149-120	JACK B HAHM	1611 PROSPECT ST	1611 PROSPECT ST	LA CROSSE WI 54603
17-10149-130	WALTER M ROLES, ELLEN ROLES	1617 & 1619 PROSPECT ST	777 LOSEY BLVD N	LA CROSSE WI 54601
17-10149-140	WESLEY QUINTANA, MADDISON QUINTANA	1623 PROSPECT ST	1623 PROSPECT ST	LA CROSSE WI 54603-2249
17-10149-30	CHARLES T BAKER	1620 LOOMIS ST	1620 LOOMIS ST	LA CROSSE WI 54603-2266
17-10149-40	SHELTON LEWIS TOMLINSON, MICHAELA LINETTE TOMLINSON	1616 LOOMIS ST	1616 LOOMIS ST	LA CROSSE WI 54603-2266
17-10149-50	ANN L FRY	1610 LOOMIS ST	1610 LOOMIS ST	LA CROSSE WI 54603
17-10149-60	NRE INVESTMENTS LLC	1606 & 1608 LOOMIS ST	1400 PINE ST	LA CROSSE WI 54601
17-10149-70	MARK A MCBAIN	1602 LOOMIS ST	1602 LOOMIS ST	LA CROSSE WI 54603-2266
17-10149-80	MEGHANN E MADIGAN	1411 GILLETTE ST	1411 GILLETTE ST	LA CROSSE WI 54603-2281
17-10149-90	SHARON K THOFTNE, KERMIT J THOFTNE	1415 GILLETTE ST	1415 GILLETTE ST	LA CROSSE WI 54603-2281
17-10150-100	ERIC J KORISH, KARLA A KORISH	1526 LOOMIS ST	1526 LOOMIS ST	LA CROSSE WI 54603-2265
17-10150-110	DELORES M JOHNSON REVOCABLE TRUST	1522 LOOMIS ST	1522 LOOMIS ST	LA CROSSE WI 54603
17-10150-60	SAMPSON SCHUR	1546 LOOMIS ST	1546 LOOMIS ST	LA CROSSE WI 54603-2265
17-10150-70	KRISTI M CEASON	1542 LOOMIS ST	1542 LOOMIS ST	LA CROSSE WI 54603-2265
17-10150-80	JASON E HALL	1536 & 1538 LOOMIS ST	1536 LOOMIS ST	LA CROSSE WI 54603-2265
17-10150-90	JUDITH E MYER	1532 LOOMIS ST	1532 LOOMIS ST	LA CROSSE WI 54603-2265
17-10151-100	JEREMY M TANGEN	1545 PROSPECT ST	1545 PROSPECT ST	LA CROSSE WI 54603-2250
17-10151-110	RAYMOND BAILEY	1428 GILLETTE ST	1428 GILLETTE ST	LA CROSSE WI 54603-2262
17-10151-120	JACOB DORNBUSCH	1420 & 1422 GILLETTE ST	1420 GILLETTE ST	LA CROSSE WI 54603
17-10151-130	SPARKS HOLDINGS LLC	1416 1418 GILLETTE ST	N11830 WHISPERING PINES LN	TREMPEALEAU WI 54661
17-10151-60	CHARLES K SNIDER, CYNTHIA L SNIDER	1523 PROSPECT ST	1523 PROSPECT ST	LA CROSSE WI 54603-2250
17-10151-70	LAURA M BEIRNE	1527 PROSPECT ST	1527 PROSPECT ST	LA CROSSE WI 54603-2250
17-10151-80	JESSE J STEINHOFF, KATIE HANSEN	1531 PROSPECT ST	1531 PROSPECT ST	LA CROSSE WI 54603-2250
17-10151-90	FREDERICK E TYDRICH	1539 PROSPECT ST	1539 PROSPECT ST	LA CROSSE WI 54603-2250
17-10152-100	SHEA EALEY RENTALS LLC	1548 PROSPECT ST	W8052 AUGUST AVE	HOLMEN WI 54636
17-10152-110	ANDREW J BECKER	1540 & 1542 PROSPECT ST	1540 PROSPECT ST	LA CROSSE WI 54603
17-10152-120	KAYLYNN A MCDOWELL	1536 PROSPECT ST	1536 PROSPECT ST	LA CROSSE WI 54603-2203
17-10152-90	STEVEN G BECKER, LORI A BECKER	1552 PROSPECT ST	1552 PROSPECT ST	LA CROSSE WI 54603-2203
17-10153-10	VUE LEE, SONG V LEE	1530 PROSPECT ST	1513 WOOD ST	LA CROSSE WI 54603-2241
17-10153-130	DANG XIONG, YANG THAO L XIONG	1612 PROSPECT ST	1612 PROSPECT ST	LA CROSSE WI 54603-2268
17-10153-140	KIMBERLY M NISSALKE	1608 PROSPECT ST	1608 PROSPECT ST	LA CROSSE WI 54603
17-10154-10	TED A DUNCAN, MARY ANN DUNCAN	1602 & 1604 PROSPECT ST	1064 TERRACE DR	ONALASKA WI 54650-2130

Properties within 300 feet of 1402 & 1410 Gillette St & 1552 Loomis St.

Owner	BNW ENTERPRISES LLC	1402 GILLETTE ST & 1552 LOOMIS ST	S1350 GARLICK RD	WESTBY WI 54667
Applicant	NICHOLAS WEBB		S1350 GARLICK RD	WESTBY WI 54667

Properties within 300 feet of 1402 Gillette St & 1552 Loomis St.



**NOTICE OF HEARING ON
AMENDMENT TO ZONING RESTRICTION**

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Special Residence District, allowing for three rental units (one duplex and a single-family unit) at 1402 & 1410 Gillette Street and 1552 Loomis Street.

Property is presently: three rental units, one single family & one duplex

Property is proposed to be: three rental units, one single family & one duplex

Rezoning is necessary: to allow for the continued use of the property as three rental units

Tax Parcel 17-10150-50; 1402 & 1410 Gillette St. and 1552 Loomis St.

The City Plan Commission will meet to consider such application on **Monday, March 2, 2026, at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

A public hearing before the Judiciary & Administration Committee will be held on **Tuesday, March 3, 2026, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the **Common Council** on **Thursday, March 12, 2026, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The petition and/or maps relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 26-0133).

Dated this 10th day of February, 2026.

Nikki M. Elsen, City Clerk
City of La Crosse

Published: February 17 & 24, 2026
One (1) Affidavit

CITY CLERK

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LA CROSSE WI 54601

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Retain this portion for your records. Please do not remit payment until you receive your advertising invoice.

State of Florida, County of Orange, ss:

Anjana Bhadoriya, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of Lee Enterprises, publishers of Lacrosse Tribune, a newspaper at, La Crosse, for county of La Crosse, in the state of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published, therein on the dates listed below.

PUBLICATION DATES:
 February. 17 2026, February. 24 2026

NOTICE ID: qlg2XtNbdIM4cfc5zvuB
PUBLISHER ID: COL-WI-102030
NOTICE NAME: Rezoning - Gillette & Loomis
Publication Fee: \$175.31

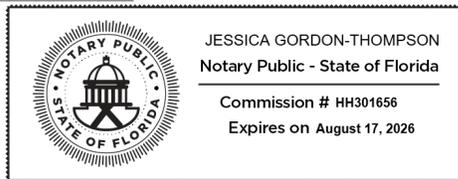
Section: Legals
 Category: 0001 Wisconsin Legals

Anjana Bhadoriya

(Signed) _____

VERIFICATION

State of Florida
 County of Orange



Subscribed in my presence and sworn to before me on this: **02/24/2026**

J. [Signature]

Notary Public
 Notarized remotely online using communication technology via Proof.

NOTICE OF HEARING ON AMENDMENT TO ZONING RESTRICTION
 TO WHOM IT MAY CONCERN:
 NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:
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 Dated this 11th day of February, 2026.
 Nikki M. Elsen, City Clerk
 City of La Crosse
 2/17, 2/24 LAC
 COL-WI-102030 WNAXLP

Agenda Item 26-0133 (Jenna Dinkel)

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Single Family Residence District to the Special Residence District, allowing for three rental units (one duplex and a single-family unit) at 1402 & 1410 Gillette Street and 1552 Loomis Street.

General Location

Council District 3, Logan Northside Neighborhood Association. Located on the corner of Gillette and Loomis Street as depicted on attached Map PC26-0133. The property is surrounded by R-1 Single Family and some R2-Residence.

Background Information.

The applicant is requesting a rezoning from R-1 Single Family to R-3 Special Residence District. There is currently a duplex and an accessory structure with a dwelling unit and attached garage on the property. The dwelling unit on the accessory structure was added around 2018. No permits were obtained to add the dwelling to the accessory structure. The property has since been sold to a new property owner.

Prior to the dwelling unit in the accessory structure the property was legal non-conforming. The property is now non-conforming. The Building and Inspections Department conducted an inspection of the property. The inspection verified the violation of code with two principal structures on one lot.

The rezoning to R-3 Special Residence District is one of the steps needed to bring this property into compliance. The property owner will also need to submit plans to connect the two structures to Building & Inspections and receive a setback variance from the Board of Zoning Appeals.

Recommendation of Other Boards and Commissions

N/A

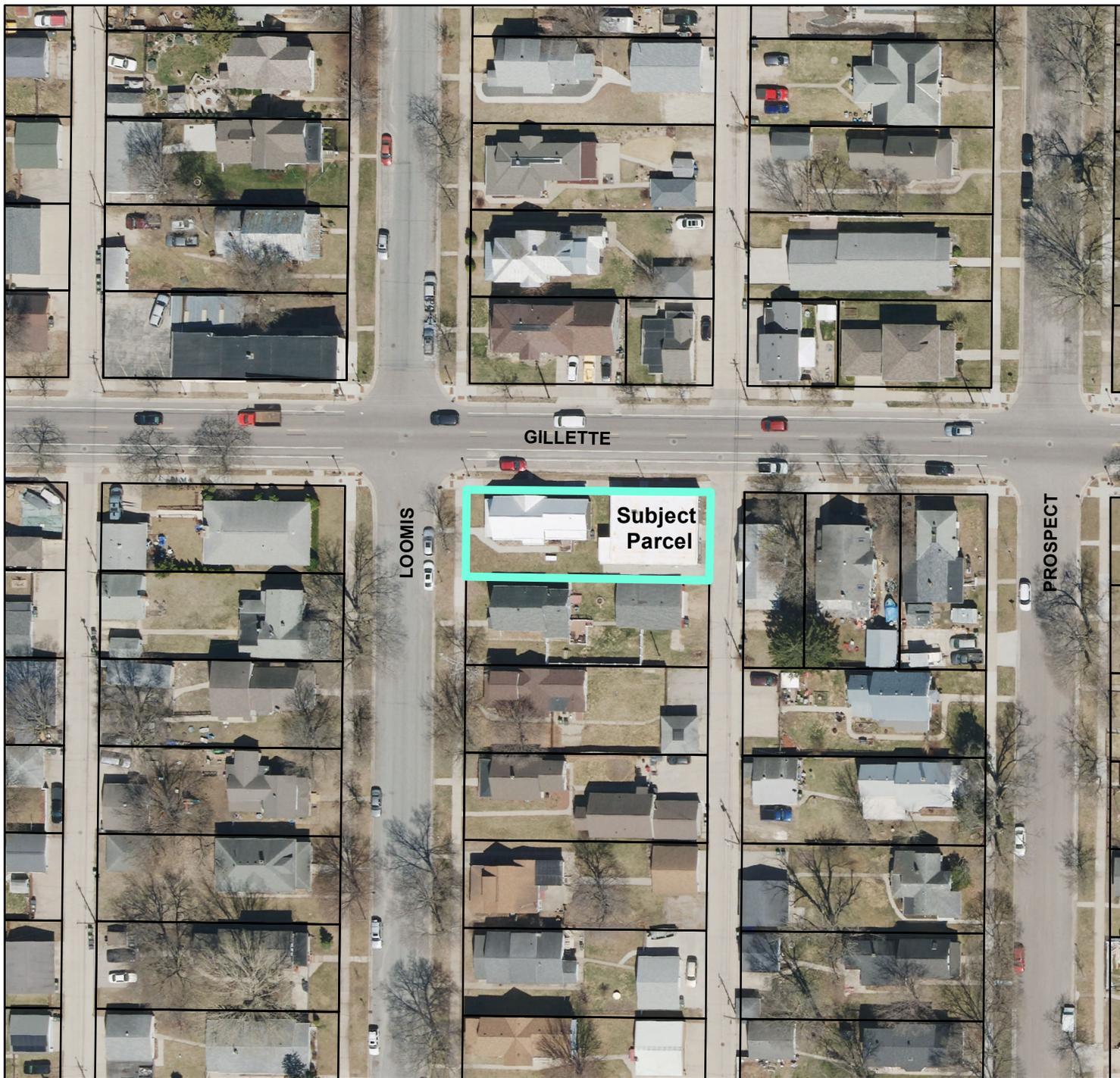
Consistency with Adopted Comprehensive Plan

This property is located in the Logan Northside Neighborhood. In the Logan Northside Neighborhood, low-density residential is a desirable use. The use of a three-unit is a desirable use in the Comprehensive Plan.

Staff Recommendation

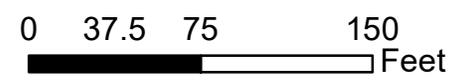
Referral – Staff recommends a 60-day referral so the applicant can submit a variance request to the Board of Zoning Appeals.

Routing J&A 3.03.26



BASIC ZONING DISTRICTS

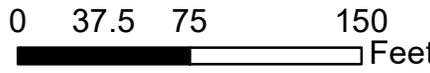
-  R1 - SINGLE FAMILY
-  R2 - RESIDENCE
-  WR - WASHBURN RES
-  R3 - SPECIAL RESIDENCE
-  R4 - LOW DENSITY MULTI
-  R5 - MULTIPLE DWELLING
-  R6 - SPECIAL MULTIPLE
-  PD- PLANNED DEVELOP
-  TND - TRAD NEIGH DEV.
-  C1 - LOCAL BUSINESS
-  C2 - COMMERCIAL
-  C3 - COMMUNITY BUSINESS
-  M1 - LIGHT INDUSTRIAL
-  M2 - HEAVY INDUSTRIAL
-  PS - PUBLIC & SEMI-PUBLIC
-  PL - PARKING LOT
-  UT - PUBLIC UTILITY
-  CON - CONSERVANCY
-  FW - FLOODWAY
-  A1 - AGRICULTURAL
-  EA - EXCLUSIVE AG
-  City Limits
-  SUBJECT PROPERTY





BASIC ZONING DISTRICTS

- R1 - SINGLE FAMILY
- R2 - RESIDENCE
- WR - WASHBURN RES
- R3 - SPECIAL RESIDENCE
- R4 - LOW DENSITY MULTI
- R5 - MULTIPLE DWELLING
- R6 - SPECIAL MULTIPLE
- PD- PLANNED DEVELOP
- TND - TRAD NEIGH DEV.
- C1 - LOCAL BUSINESS
- C2 - COMMERCIAL
- C3 - COMMUNITY BUSINESS
- M1 - LIGHT INDUSTRIAL
- M2 - HEAVY INDUSTRIAL
- PS - PUBLIC & SEMI-PUBLIC
- PL - PARKING LOT
- UT - PUBLIC UTILITY
- CON - CONSERVANCY
- FW - FLOODWAY
- A1 - AGRICULTURAL
- EA - EXCLUSIVE AG
- City Limits
- SUBJECT PROPERTY





City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0143

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Ordinance

Agenda Number: 3.

ORDINANCE NO.: _____

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Local Business District to the Planned Development District - General, allowing for the construction of a mixed-use development including residential and commercial uses at 2415 State Road.

THE COMMON COUNCIL of the City of La Crosse do ordain as follows:

SECTION I: Subsection 115-110 of the Code of Ordinances of the City of La Crosse is hereby amended by transferring certain property from the Local Business District to the Planned Development District - General on the Master Zoning Map, to-wit:

Tax Parcel 17-50298-32; 2415 State Road

SECTION II: Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this division shall not be affected.

SECTION III: This ordinance shall take effect and be in force from and after its passage and publication.

Shaundel Washington-Spivey, Mayor

Nikki M. Elsen, City Clerk

Passed:
Approved:
Published:

PETITION FOR CHANGE TO ZONING
CITY OF LA CROSSE

AMENDMENT OF ZONING DISTRICT BOUNDARIES
For a Planned Development District or
Traditional Neighborhood District

Petitioner (name and address):

MKB Copper Rocks, LLC c/o Kirk Stoa 3800 Emerald Drive E. Onalaska, WI 54650

Owner of site (name and address):

MKB Copper Rocks, LLC c/o Kirk Stoa 3800 Emerald Drive E. Onalaska, WI 54650

Address of subject premises:

2415 State Rd, La Crosse, WI 54601

Tax Parcel No.: 17-50298-32

Legal Description (must be a recordable legal description; see Requirements):

See attached CSM

PDD/TND: General Specific General & Specific

Zoning District Classification: C1 - Local Business

Proposed Zoning Classification: Planned Development District (PDD)

Is the property located in a floodway/floodplain zoning district? Yes No

Is the property/structure listed on the local register of historic places? Yes No

Is the Rezoning consistent with Future Land Use Map of the Comprehensive Plan? Yes No

Is the consistent with the policies of the Comprehensive Plan? Yes No

Property is Presently Used For:

Vacant - Old retail building

Property is Proposed to be Used For:

Mixed-use residential and commercial development

Proposed Rezoning is Necessary Because (Detailed Answer):

Proposed use of residential and commercial does not fit in C1- Business Zoning

Proposed Rezoning will not be Detrimental to the Neighborhood or Public Welfare Because (Detailed Answer):

Proposed rezoning will remove a blighted site in the neighborhood and increase quality, affordable housing as well as some community and commercial space.

Proposed Rezoning will not be Detrimental to the City's Long Range Comprehensive Plan Goals, Objectives, Actions and Policies Because (Detailed Answer):

Proposed rezoning fulfills a recognized need of additional housing and will compliment the surrounding neighborhood. The proposed use also aligns with the city's recent comprehensive plan.

The undersigned depose and state that I/we am/are the owner of the property involved in this petition and that said property was purchased by me/us on the 6 day of February, 2026.

I hereby certify that I am the owner or authorized agent of the owner (include affidavit signed by owner) and that I have read and understand the content of this petition and that the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

[Handwritten signature in a box]

(signature)

608-779-2702

(telephone)

February 6, 2026

(date)

kstoa@festfoods.com

(email)

At least 30 days prior to filing the petition for approval of the designation of a Planned Development District, the owner or his agent making such petition shall meet with the Planning Department, Engineering Department and Building Safety to discuss the scope and proposed nature of the contemplated development. (Pursuant sec. 115-156(3)(e)(1) of the Municipal Code of Ordinances of the City of La Crosse.)

PETITIONER SHALL, BEFORE FILING, HAVE PETITION REVIEWED AND INFORMATION VERIFIED BY THE DIRECTOR OF PLANNING & DEVELOPMENT.

Review was made on the 12th day of February, 2026

Signed: [Handwritten signature] Director of Planning & Development

AFFIDAVIT

STATE OF Wisconsin)
) ss
COUNTY OF La Crosse)

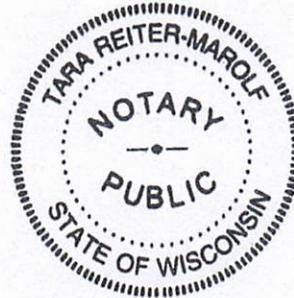
The undersigned, MKB Copper Rocks, LLC - Kirk Stoa, being duly sworn states:

1. That the undersigned is an adult resident of the City of Onalaska, State of Wisconsin.
2. That the undersigned is (one of the) legal owner(s) of the property located at 2415 State Road, La Crosse.
3. By signing this affidavit, the undersigned authorizes the application for a conditional use permit/district change or amendment (circle one) for said property.

[Signature]
Property Owner

Subscribed and sworn to before me this 6th day of Feb., 2026

[Signature]
Notary Public
My Commission expires 11/6/26





FEBRUARY 6, 2026

Tim Acklin
Planning Administrator
City of La Crosse, WI
400 La Crosse St.
La Crosse, WI 54601
acklint@cityoflacrosse.org

RE: SPECIFIC DEVELOPMENT PLAN SUBMITTAL - PROJECT DESCRIPTION
COPPER ROCKS REDEVELOPMENT - 2415 STATE ROAD, LA CROSSE, WI 54601

Tim,

Thank you for reviewing the following project information for the Copper Rocks Redevelopment located at 2415 State Road in La Crosse. The following materials are being submitted in support of this initial project review:

- Sketch Plan
- Parking Summary
- Geotechnical Report
- Landscaping Plan
- 360 Sustainability Plan

PROJECT DESCRIPTION

The former Kmart site at 2415 State Road in La Crosse is proposed to be redeveloped as a vibrant, community focused mixed-use development named 'Copper Rocks'. The proposed project will consist of three townhome buildings and three mixed-use buildings, as well as parking and outdoor community gathering space to create a vibrant and useful revitalization of the site. The developer will be seeking a rezoning from the current classification to Planned Development District (PDD) zoning allowing for mixed-use. This proposed zoning aligns with the City of La Crosse Comprehensive Plan, as the development will be focused on residents and sustainability.

As a key component of the requested rezoning action, a Specific Development Plan and various support materials are being provided. Specific Development Plan criteria are also outlined below along with a description of how the proposed plan will meet these standards.

SPECIFIC DEVELOPMENT PLAN CRITERIA

Requirements:

1. **Total area to be included in the Planned Development District, area of open space in acres and percent, proposed uses of land keyed to the comparable existing zoning districts, residential density computations (gross and net), proposed number of dwelling units, the approximate location of different types or densities of dwelling units, population analysis, availability of or requirements for municipal services and utilities and any other similar data pertinent to a comprehensive evaluation of the proposed development**

The 6.3-acre subject property is currently comprised of a large parking lot and a vacant Kmart building. The property is zoned C-1 Local Business. The rezoning request to Planned Development District is being made to best match the nature of the redevelopment. PDD zoning will allow the site to

be redeveloped to meet fundamental components of the 2040 City of La Crosse Comprehensive Plan: Forward La Crosse, as well as the City Vision 2020 Master Plan. Both plans build upon key ideas such as the encouragement of mixed-use developments, increases in density, and redevelopment, all key parts of this project.

Five buildings are proposed to be constructed on the site, each containing residential units. The total number of residential dwelling units will be approximately two hundred and forty (240). As a key focus of the project is on current and future residents, the 240 residential units will be market-rate, workforce housing. This is defined as housing that is affordable for people who earn incomes from 70%-110% of the Area Median Income (AMI). In La Crosse County the AMI in 2022 was \$72,019. For our analysis we used 30% of income allocated for housing. As a reference, Fannie Mae uses 45% debt-to-income ratio in their underwriting financing. This will allow for the development to house residents with a diversity of incomes and backgrounds and seeks to meet the goals of the 2040 City of La Crosse Comprehensive Plan: Forward La Crosse. Specifically, A Place to Call Home section and opportunities and strategies 1, 2 and 3. (Table 1)

Area	AMI	100% AMI Housing	80% AMI Housing	60% AMI Housing
State of Wisconsin	\$82,560	\$2,064	\$ 1,651	\$1,238
La Crosse County	\$72,019	\$1,800	\$1,440	\$1,080

Table 1

According to data gathered by the American Association of Retired People, 33% of all households are single people living alone. Additionally, couples without children account for another 25%. Copper Rocks will have a diverse unit mix of studio through three bedrooms to meet housing demands for a wide variety of incomes and demographics with a focus on workforce affordable housing.

Of the five new buildings, three will offer mixed-use opportunities. These four or five-story mixed-use buildings will be constructed and placed in the center and southwest corner of the site, tight to the traffic corridor of Losey Boulevard and State Road (State Highway 33). The buildings have been intentionally massed a considerable distance from the existing single-family residences to soften the transition between the neighbors.

Each of these three buildings will have underground or at-grade parking beneath the residential floors, and the first floor will also accommodate commercial space for lease and/or community space for use by the residents living in this development. The amount of commercial and community space to be included is estimated to be approximately 20,600 square feet.

Floors 2 - 5 of each mixed-use building will consist of residential apartments. The other two buildings on site will be strictly residential townhome buildings constructed along the northern end of the site along Farnam Street, orienting in an East-West fashion. These townhomes will be similar in design to the Canterbury townhomes at Campbell Road and Vine Street, developed by Three Sixty in 2017.

Existing municipal utilities currently serve the existing site and structure. It is anticipated that a new water, storm sewer, and sanitary service will be installed in Farnam Street to serve the development. New watermain, sanitary sewer, and storm sewer will be installed within the proposed project site as private infrastructure to serve the proposed buildings.

The project will incorporate a high degree of sustainable practices as guided by Three Sixty's commitment to sustainability, which is outlined in their attached Sustainability Plan.

2. A general summary of the estimated value of structures and site improvement costs, including landscaping and special features.

The overall project cost is currently estimated at approximately \$63,000,000.

3. A general outline of the organizational structure of a property owner's or management's association, which may be proposed to be established for the purpose of providing any necessary private services including proposed restrictive covenants.

The subject property is currently owned by MKB Copper Rocks, LLC. Three Sixty Real Estate Solutions, LLC will be developing the site, and once completed, the development will be managed by Three Sixty Real Estate Solutions, LLC. Once completed, the development will be owned by four separate single purpose entities (SPE) by asset or parcels. The SPEs are as follows: Copper Rocks 1, LLC; Copper Rocks 2, LLC; Copper Rocks 3, LLC; Copper Rocks 4, LLC

4. Any proposed departures and requested waivers from the standards of development as set forth in other City zoning regulations, land division ordinance, sign ordinance and other applicable regulations.

[Section 113-9](#)

As part of the redevelopment, the existing site will be subdivided into four separate parcels. MKB Copper Rocks, LLC and Three Sixty are requesting that the requirement for a subdivision plat per section 113-9 of the City of La Crosse Municipal Code of Ordinances be waived allowing for the use of a Certified Survey Map (CSM) to divide the existing lot as part of the PDD process.

The State Statutes require that no more than four lots of less than 1.5 acres can be created by CSM within 5 years. In 2020 a CSM was recorded splitting the parent parcel of the Kmart site into three parcels, two of which were under 1.5 acres in size. In order to meet the limit in the State Statues, only 2 of the proposed parcels will be under 1.5 acres.

[Section 115-512](#)

(b) Angled parking on Farnam Street and along Losey Boulevard does not meet building setback

(d) less than 15' landscaped buffer provided

(o) No curb, parking blocks, or bollards between parking lot and sidewalks

Section 115-515

(a)(2) Under required shrub count for site regarding item F.3c “At least one tree and 10 shrubs per 600 sq. ft. of landscaped area”, the tree requirement has been exceeded, 129 in total. The shrub count is 714 due to impracticality of the placement of what would be 1,141 shrubs on the site based on the calculation from the total landscape area.

Section 115-517

Stormwater management requirements to follow Section 105-61

Section 115-521

(b) Front doors of buildings do not face public streets

Section 115-555

Stormwater management requirements to follow Section 105-61

5. The expected date of commencement of physical development as set forth in the proposal and also an outline of any development staging which is planned.

The target date for demolition of the existing building and site is June 2026. It is anticipated that construction will occur in two or three phases with completion in the fall of 2028. Phase One will see the west mixed-use building constructed and Phase Two will see the townhomes and East mixed use building completed. Phase three will see the south building completed. The phasing could change depending on several factors such as lease absorption, commercial tenant interest, construction costs and financing.

6. A sketch plan depicting the proposed lot layout, street configuration, utilities, and open space.

Please see the attached sketch plan.

7. A legal description of the boundaries of lands included in the proposed Planned Development District.

Lot 1 of Certified Survey Map Number 67, Volume 19, Document Number 1761262 located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin.

8. A description of the relationship between the lands included in the proposed Planned Development District and surrounding properties.

The two townhome buildings constructed along the northern end of the parcel will have front doors and porches opening to Farnam Street. On the other side of the townhomes, roof-top patios will face the development with southern exposure. The townhomes are similar in use to the land across the

street to the north and west sides of the development, which is residential and zoned R1 - Single Family. These buildings will be architecturally attractive and will blend and scale into the single-family neighborhood to the north. On Farnam Street we are asking the city to consider traffic calming measures - such as pedestrian bump-outs and on-street, angled parking along the south side of the street - in an effort to keep the street safe and friendly to pedestrians and residential use.

The three mixed-use buildings located in the southwest and southern sections of the parcel will be community oriented. A combined total of 20,600 square feet of commercial and community space will be offered on the ground level, which can be utilized by residents living in the townhomes and floors 2-5 of the mixed-use buildings, as well as by other community members / business patrons. In addition to the building space, there will be outdoor spaces focused on community and recreational use, including areas for seating and dining, a play area, outdoor fire pits, benches, and seating for viewing small performances. These outdoor uses will be concentrated in the southwestern section of the parcel, in between the three mixed use buildings. These community features and facilities will offer the surrounding neighborhood with valuable amenities that they can enjoy. Our goal is to create a place that is so well loved that it takes care of itself.

To the south and west of the development, land is zoned C1 Local Business and C2 Commercial, with a variety of businesses such as the restaurants: Las Margaritas, Domino's Pizza, Subway, and JavaVino; as well as other services such as: Sports Clips, Allstate Insurance, and Festival Foods. These businesses will support the residents by providing a variety of goods and services all within walking distance from their homes. In turn, the development will bring in more consumers to support nearby businesses.

9. The location of institutional, recreational and open space areas, common areas and areas reserved or dedicated for public uses, including schools, parks, and drainageways.

As mentioned in the latter section, the development will provide valuable recreational and open common areas, dedicated for the use of residents and the public. These will be concentrated in the southwestern section of the parcel, in the center of the three mixed-use buildings.

In the very southwestern section of the land, there will be a grass covered gathering space, a small performing area, seats to view the performance, and outdoor patio seating for the brewery planned within the southernmost building. Between the southernmost building housing the brewery and the central building, there will be more patio space, outdoor fire pits, as well as a walking path and a variety of trees to green the area. To the north of the central building will be a small play area for children, space for resting (allowing for the placement of hammocks and benches), complemented by additional green space. Additionally, there are plans for a fenced dog "run" for residents with dogs to use, located along the eastern property line next to the dumpster carrel.

10. Characteristics of soils related to contemplated specific uses.

Please see the attached geotech report completed by Braun Intertec in April 2022.

11. Existing topography on site with contours at no greater than two-foot intervals City Datum where available.

Please see the attached sketch plan.

12. General landscaping treatment.

Please see the attached landscaping plan detailing the planting list. This is currently being updated to reflect the new site configuration, but the planting list will be the same.

Please contact me at 608.790.5589 or via email at jeremy@threesixty.bz with any questions or if there is any additional information we can provide in support of this project.

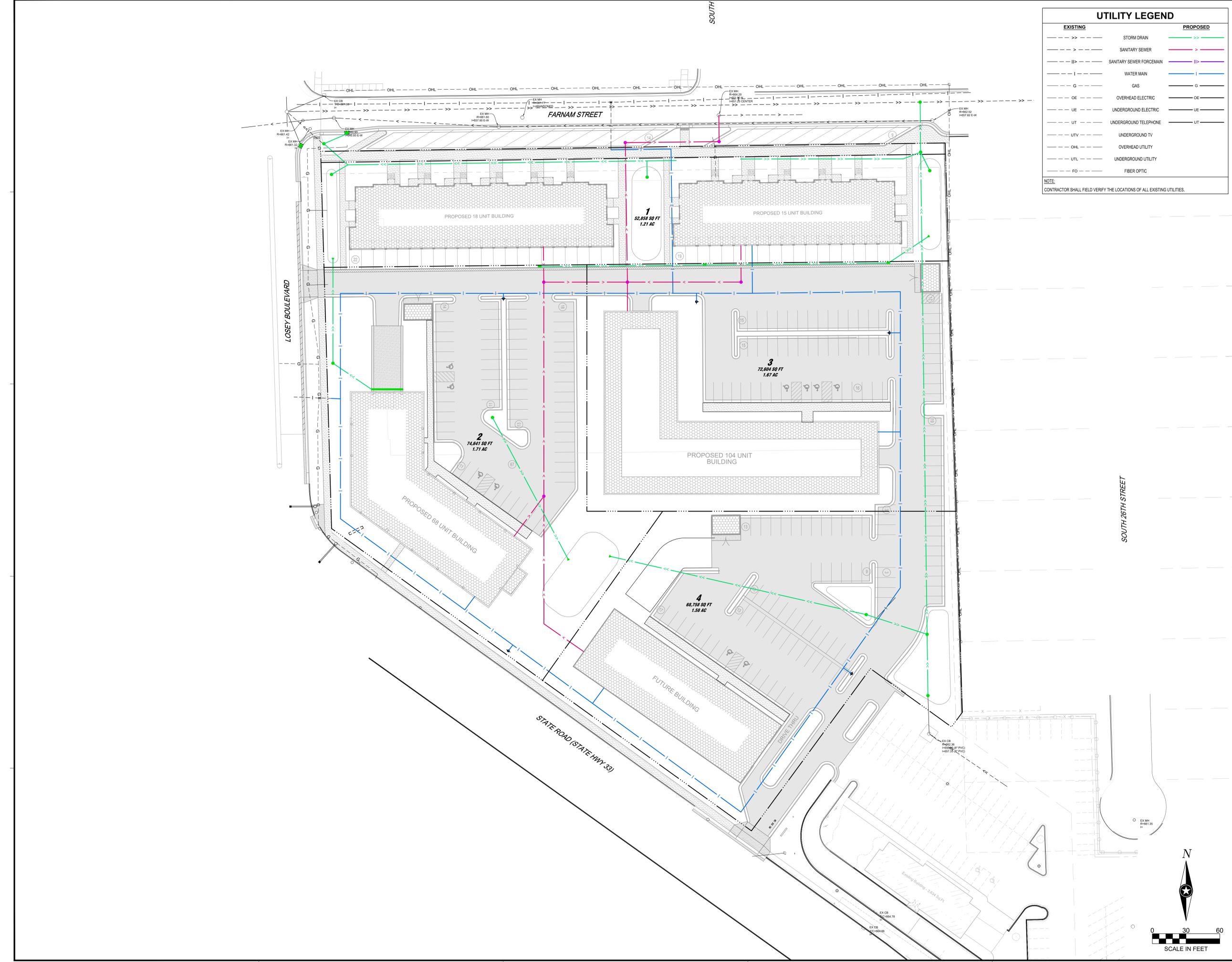
Sincerely,

Jeremy Novak



UTILITY LEGEND		
EXISTING		PROPOSED
->>->>-	STORM DRAIN	->>->>-
->->-	SANITARY SEWER	->->-
- - -	SANITARY SEWER FORCEMAIN	- - -
-I-I-	WATER MAIN	-I-I-
-G-G-	GAS	-G-G-
-OE-OE-	OVERHEAD ELECTRIC	-OE-OE-
-UE-UE-	UNDERGROUND ELECTRIC	-UE-UE-
-UT-UT-	UNDERGROUND TELEPHONE	-UT-UT-
-UTV-UTV-	UNDERGROUND TV	-UTV-UTV-
-OHL-OHL-	OVERHEAD UTILITY	-OHL-OHL-
-UTL-UTL-	UNDERGROUND UTILITY	-UTL-UTL-
-FO-FO-	FIBER OPTIC	-FO-FO-

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.



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PROJECT
COPPER ROCKS DEVELOPMENT
LA CROSSE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 31707
FILE NAME 31707 C3-UTILITY
DRAWN BY --
DESIGNED BY --
REVIEWED BY --
ORIGINAL ISSUE DATE --
CLIENT PROJECT NO. -

TITLE
UTILITY PLAN

SHEET
C3-20

PRELIMINARY NOT FOR CONSTRUCTION



Trees	Genus	Key	Count	Size
American Linden	Tilia americana	Tam	4	2' Cal.
American Mulcwood	Carpinus caroliniana	Coa	5	#15 multitem
Armstrong Maple	Acer rubrum 'Armstrong'	Aru	3	1.5' cal
Bartlett Pear	Pyrus communis 'Bartlett'	Poo	2	#5 con
Bur Oak	Quercus macrocarpa	Qma	2	2' Cal.
Columnar Swedish Aspen	Populus tremula 'Erecta'	Ptr	7	#15 con tree
Contender Peach	Prunus persica 'Contender'	Ppe	1	5' Bare root
Cornelian Cherry Dogwood	Cornus mas	Coma	3	1.5' con
Eastern Redbud	Cercis canadensis	Coa	17	1.5' cal
Hawthorne Winter King	Crataegus virens 'Winter King'	Cvi	3	1.5' cal
Hackberry	Celtis occidentalis	Coc	5	1.5' cal
Honey Locust	Gleditsia inacanthos	Gtr	4	1.5' cal
Ironwood	Ostrya virginiana	Ovi	7	1.5' cal
Kentucky Coffee Tree	Gymnocladia dioica	God	5	1.5' cal
Ohio Buckeye	Aesculus glabra	Agf	5	1.5' cal
Pagoda Dogwood	Cornus alternifolia	Cal	4	#15 multitem
Princeton Elm	Ulmus americana 'Princeton'	Uam	4	1.5' cal
Reliance Peach	Prunus persica 'Reliance'	Ppe	1	#5 con
River Birch	Betula Nigra	BNI	8	#15 multitem
Royal Raindrop Crabapple	Malus 'JFS-KW5'	MJF	9	1.5' cal
Red Jewel Crabapple	Malus 'Jewelcolor'	MJc	5	1.5' cal
Serviceberry Tree	Amelanchier grandiflora	Agr	14	#15 singlestem
Showy Mountain Ash	Sorbus decora	Sde	6	2' Cal.
Superior Plum	Prunus 'Superior'	PSu	2	5' Bare root
Swamp White Oak	Quercus bicolor	Qbi	4	2' Cal.
Tart Northern Cherry	Prunus cerasus 'North Star'	Pce	4	5' Bare root
Thornless Cockspur Hawthorne	Crataegus crus-galli	Cor	7	1.5' cal
Toka Plum	Prunus 'Toka'	PTo	2	5' Bare root
Urban Pinnate Oak	Quercus macrocarpa 'JFS-KW5'	Qma-JFS	4	1.5' cal
Weeping Willow (Noble Willow)	Salix alba 'Tridis'	Sal	1	2' Cal.
			148	TOTAL

Shrubs	Genus	Key	Count	Size
Arctic Fire Dogwood	Cornus stolonifera	Cst	52	#5 Cont.
Aronia Lowscape Mound	Aronia melanocarpa 'UCONMAM165' PPAF; CPBRAP	Ame-UCON	19	#5 Cont.
Black Currant	Ribes nigrum	Rni	16	#5 Cont.
Blizzard Mock Orange	Philadelphus coronarius	Poo	33	#5 Cont.
Bloomerang Lilac	Syringa 'Penda' BLOOMERANG	SPe	20	#5 Cont.
Blue Muffin Viburnum	Viburnum dentatum 'Blue Muffin'	Vde	80	#5 Cont.
Bush Cinqufoil	Daphnora fullosa	Dfr	9	#5 Cont.
Chokeberry Aronia	Aronia melanocarpa	AME	85	#5 Cont.
Crabapple Colonaster	Colanaster apiculatus	Cap	45	#5 Cont.
Dwarf Bush Honeysuckle	Diervilla litoralis	Dlo	117	#5 Cont.
Elmberry	Sambucus Canadensis	SCa	26	#5 Cont.
Fall-Bearing Raspberry	Rubus idaeus 'Heritage'	Rid	50	#1 Cont.
Fibre-optic Buttonbush	Cephalanthus occidentalis 'Balloptics'	Coc	36	#5 Cont.
Firedance Dogwood	Cornus sericea 'Baldadeline'	Cse	12	#5 Cont.
Grey Dogwood	Cornus racemosa	Cra	8	#5 Cont.
Holmstrup Arborvitae	Thuja occidentalis 'Holmstrup'	Toc	11	5'
Jefferson Hazelnut	Corylus avellana	Car	20	#5 Cont.
Prairie Ninebark	Physocarpus opulifolius	Pop	24	#5 Cont.
Red Currant	Ribes rubrum	Rru	10	#5 Cont.
Rugosa Rose	Rosa rugosa	Rru	102	#5 Cont.
Serviceberry	Amelanchier Alnifolia	AAI	65	#5 Cont.
Snowberry	Symphoricarpos albus	Sal	45	#5 Cont.
St. John's Wort	Hypericum perforatum	HPe	47	#5 Cont.
Star Power Juniper	Juniperus scopulorum 'Starrylet'	Jsc	30	5'
Sleepebush	Spiraea tomentosa	Slo	38	#5 Cont.
Sugar Shack Buttonbush	Cephalanthus occidentalis 'Sugar Shack'	Coc-SS	10	#5 Cont.
Summer Wine Ninebark	Physocarpus opulifolius 'Summer Wine'	Pop	4	#5 Cont.
Sweet Fern	Comptonia peregrina	Cpe	63	#5 Cont.
Trautman Juniper	Juniperus chinensis	Jch	24	5'
			1061	TOTAL

Forbs	Genus	Key	Quantity	Quantity
Anise Hyssop	Agastache toivoculum	Ast	4	con
Aromatic aster	Aster oblongifolius	Aob	4	con
Blue False Indigo	Baptisia australis	Bau	4	con
Blue Stemmed Goldenrod	Solidago Caesia	SCa	4	con
Bratburys Monarda	Monarda Braburiana	MBr	4	con
Butterfly Milkweed	Asclepias Tuberosa	ATu	4	con
Cardinal Flower	Lobelia cardinalis	Lca	4	con
Downy Wood Mint	Blephilia ciliata	Bci	4	con
Golden Alexander	Zizia aurea	Zau	4	con
Hairy Beardtongue	Penstemon hirsutus	Pni	4	con
Ironweed	Vernonia balwinii	Vba	4	con
Jacob's Ladder	Polemonium caeruleum	Pca	4	con
Joe Pyeweed	Eutrochium purpureum	Epu	4	con
Lanceleaf Coreopsis	Coreopsis lanceolata	Cla	4	con
Meadow Blazing Star	Liatris pycnostachya	Lpy	4	con
New England Aster	Synthyridium novae-angliae	Sno	4	con
Ohio Spiderwort	Tradescantia ohioensis	Toh	4	con
Orange Coneflower	Rudbeckia fulgida	Rfu	4	con
Prairie Sundrops	Oenothera pilosella	Opi	4	con
Purple Coneflower	Echinacea Purpurea	EPu	4	con
Purple Giant Hyssop	Agastache scrophularifolia	Asc	4	con
Purple Poppy Mallow	Callitriche involucrata	Cin	4	con
Rattlesnake Master	Eryngium yuccifolium	Eyu	4	con
Rose Milkweed	Asclepias incarnata	Ain	4	con
Showy Goldenrod	Solidago speciosa	Stp	4	con
Slender Mountain Mint	Pycnanthemum tenuifolium	Pte	4	con
Soft Coreopsis	Coreopsis palmata	Cpa	4	con
Whorled Milkweed	Asclepias verticillata	Ave	4	con
Wild Columbine	Aquilegia canadensis	Aca	4	con
Wild Geranium	Geranium maculatum	Gma	4	con
Wild Mint	Monarda arvensis	Mar	4	con
Wild Nodding Onion	Allium Cernuum	ACe	4	con
Wild Quinine	Parthenium integrifolium	Pin	4	con
			0	

Grasses/Sedges/Ferns	Genus	Key	Quantity	Size
Brown Fox Sedge	Carex Vulpinoides	CVu	4	con
Lady Fern	Athyrium filix-femina	Afi	4	con
Little Bluestem	Schizachyrium scoparium	Ssc	#1	con
Maidenhair Fern	Adiantum pedatum	Ape	4	con
Ostrich Fern	Matteuccia struthiopteris	Mat	4	con
Rain Sedge	Carex muskingumensis	Cmu	4	con
Pennsylvania Sedge	Carex pensylvanica	Cps	#1	con
Rhine Oval Sedge	Carex brexior	Cbr	4	con
Prairie Dropseed	Sporobolus heterolepis	She	#1	con
Side Oats Grama	Bouteloua curtipendula	Bcu	4	con
Switchgrass	Panicum virgatum 'Shenandoah'	Pvi	#1	con
			0	
			TOTAL	0

Site Notes
 Total Landscape Area:
 88,166 sq ft
 147 trees required per
 landscape area sq ft
 requirement
 148 trees provided
 1,470 shrubs required
 per landscape area sq
 ft requirement
 1,061 shrubs provided
 816 linear ft of
 frontage
 20 trees required
 20 trees provided



1522 Green Bay St.
 La Crosse, WI 54601
 (608) 799-2797
 couleeregionecoscapes@gmail.com

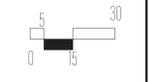
Copper Rocks

Title:
 Site Softscape Reference Plan

Project Location:
 La Crosse, WI

Revision Date:
 12/11/2024

Scale: 1:30



Sheet Number:
 LO-01

Trees	Genus	Count	Size
American Linden	Tilia americana	4	2" Cal.
American Musclewood	Carpinus caroliniana	15	#15 multistem
American Sycamore	Platanus occidentalis	3	2" Cal.
Bur Oak	Quercus macrocarpa	6	2" Cal.
Contender Peach	Prunus persica 'Contender'	1	5' Bare root
Eastern RedBud	Cercis canadensis	16	2" Cal.
Honey Locust	Gleditsia triacanthos	9	2" Cal.
Ironwood	Ostrya virginiana	6	2" Cal.
Kentucky Coffee Tree	Gymnocladus dioica	4	2" Cal.
Pagoda Dogwood	Cornus alternifolia	4	#15 multistem
Reliance Peach	Prunus persica 'Reliance'	1	5' Bare root
River Birch	Batula Nigra	5	2" Caliper
Royal Raindrop Crabapple	Malus x 'JFS-KW5'	10	#15 Con
Serviceberry Tree	Amelanchier grandiflora 'Autumn Brilliance')	16	#15 singlestem
Seven Son Flower	Heptacodium miconioides	9	7' multistem
Showy Mountain Ash	Sorbus decora	5	2" Cal.
Superior Plum	Prunus 'Superior'	1	5' Bare root
Swamp/Bur Oak	Quercus x schuettei	3	2" Cal.
Tart Northstar Cherry	Prunus cerasus 'North Star'	2	5' Bare root
Toka Plum	Prunus 'Toka'	1	5' Bare root
Turkish Filbert	Corylus colurna	3	2" cal.
Urban Pinnacle Oak	Quercus macrocarpa 'JFS-KW3'	5	2" Cal.
	TOTAL	129	
Shrubs			
Arctic Fire Dogwood	Cornus stolonifera	38	#5 Cont.
Aronia Lowscape Mound	Aronia melanocarpa 'UCONNAM165' PPAF; CPBRAFF	26	#5 Cont.
Blizzard Mock Orange	Philadelphus coronarius	34	#5 Cont.
Blue Muffin' Viburnum	Viburnum dentatum 'Blue Muffin'	69	#5 Cont.
Chokeberry Aronia	Aronia Melanocarpa	31	#5 Cont.
Cranberry Cotoneaster	Cotoneaster apiculatus.	68	#5 Cont.
Dwarf Bush Honeysuckle	Diervilla lonicera	67	#5 Cont.
Elderberry	Sambucus Canadensis	4	#5 Cont.
Fibre-optics Buttonbush	Cephalanthus occidentalis 'Fibre-optics'	35	#5 Cont.
Gro-Low Sumac	Rhus aromatica Gro-Low	19	#5 Cont.
Holmstrup Arborvitae	Thuja occidentalis 'Holmstrup'	21	#5 Cont.
Jefferson Hazelnut	Corylus avellana	2	#5 Cont.
Judd Viburnum	Viburnum x juddii.	12	#5 Cont.
New Jersey Tea	Ceanothus americanus	15	#5 Cont.
Ninebark 'Little Devil'	Physocarpus opulifolius 'Little Devil'	20	#5 Cont.
Red Currant	Ribes rubrum	4	#5 Cont.
Rugosa Rose	Rosa rugosa	48	#5 Cont.
Serviceberry	Amelanchier Alnifolia	40	#5 Cont.
Skyrocket Juniper	Juniperus scopulorum 'Skyrocket'	9	#5 Cont.
Snowberry	Symphoricarpos albus	33	#5 Cont.
St. John's Wort	Hypericum Perforatum	54	#5 Cont.
Steeplebush	Spirea Tomentosa	6	#5 Cont.
Sugar Shack Buttonbush	Cephalanthus occidentalis 'Sugar Shack'	39	#5 Cont.
Summer Wine Ninebark	Physocarpus opulifolius 'Summer Wine'	5	#5 Cont.
Trautman Juniper	Juniperus chinensis	9	#5 Cont.
White Meadowsweet	Spirea Alba	6	#5 Cont.
	TOTAL	714	
Forbs			
Blazing Star	Liatris spicata	5	#1 Cont.
Blue False Indigo	Baptisia australis	6	#1 Cont.
Blue Stemmed Goldenrod	Solidago Caesia	8	#1 Cont.
Butterfly Milkweed	Asclepias Tuberosa	10	#1 Cont.
Fall-Bearing Raspberry	-	21	#1 Cont.
Great Blue Lobelia	Lobelia siphilitica	5	#1 Cont.
Jacob's Ladder	Polemonium caeruleum	40	#1 Cont.
Joe Pyeweed	Eutrochium purpureum	5	#1 Cont.
New England Aster	Symphotrichum novae-angliae	5	#1 Cont.
Purple Coneflower	Echinacea Purpurea	9	#1 Cont.
Rose Milkweed	Asclepias incarnata	10	#1 Cont.
Showy Goldenrod	Solidago speciosa	5	#1 Cont.
Sneezeweed	Helenium autumnale	5	#1 Cont.
Wild Geranium	Geranium maculatum	34	#1 Cont.
Wild Nodding Onion	Allium Cernuum	25	#1 Cont.
Bradbury's Monarda	Monarda Braburiana	14	#1 Cont.
Lanceleaf Coreopsis	Coreopsis lanceolata	18	#1 Cont.
Ohio Spiderwort	Tradescantia ohiensis	5	#1 Cont.
Wild Quinine	Parthenium integrifolium	5	#1 Cont.
Hairy Beardtongue	Penstemon hirsutus	3	#1 Cont.
Aromatic aster	Aster oblongifolius	5	#1 Cont.
Yellow Wild Indigo	Baptisia trinatoria	3	#1 Cont.
Cream Wild Indigo	Baptisia bracteata	3	#1 Cont.
Anise Hyssop	Agastache foeniculum	5	#1 Cont.
Orange Coneflower	Rudbeckia fulgida	3	#1 Cont.
Downy Wood Mint	Blephilia ciliata	5	#1 Cont.
Ironweed	Vernonia baldwinii	5	#1 Cont.
Golden Alexander	Zizia aurea	17	#1 Cont.
(Wine Caps) Purple Poppy Mallow	Callirhoe involucrata	25	#1 Cont.
Wild Strawberry	Fragaria vesca	20	#1 Cont.
Wild Mint	Mentha arvensis	20	#1 Cont.
Royal Catchfly	Silene regia	5	#1 Cont.
Cardinal Flower	Lobelia cardinalis	5	#1 Cont.
	TOTAL	359	
Grasses/Sedges			
Brown Fox Sedge	Carex Vulpinoidea	167	#1 Cont.
Prairie Dropseed	Sporobolus heterolepis	108	#1 Cont.
Switchgrass	Panicum virgatum 'Shenandoah'	53	#1 Cont.
Porcupine Sedge	Carex hystericina	35	#1 Cont.
Pennsylvania Sedge	Carex pensylvanica	141	#1 Cont.
Side Oats Grama	Bouteloua curtipendula	44	#1 Cont.
Little Bluestem	Schizachyrium scoparium	35	#1 Cont.
	TOTAL	548	

Three Sixty Sustainability Plan



THREE SIXTY
MARCH 25, 2021

SUSTAINABILITY PLAN

SUSTAINABILITY FOCUSED

Three Sixty Real Estate Solutions, LLC develops real estate for the here and now but with a critical focus on how the project will positively impact the communities we serve for future generations to come.

When it comes to sustainability, it is one thing to say you believe in sustainability; however, it is more complex to incorporate proven practices into each project effectively. Our team at Three Sixty has a proven track record of sustainability. Building healthy communities is who we are and what we do, which cannot be separated from sustainability. We also realize these efforts are integral to the long-term value of our customers, communities, investors, and team members

Managing all our properties with this same practical approach is a priority. We focus on being good stewards of our environment and help connect our residents to nature and the outdoors by thoughtfully integrating spaces, promoting walkability, and creating connecting trails. We offer community gardens with compost bins replace the sod with prairie gardens, bio-filtration areas, and native species landscaping.



Neighborhood Garden Raised Beds at 1243 Badger Street, La Crosse, WI – Aguilera



360 Managed 40 Acre Pollinator Prairie, La Crescent MN



Bio Filtration Plantings with Native Pollinator Plants – 415 North 6th Street, La Crosse, WI 54601 – The Hub

We strive to reduce our carbon footprint by investing in new, energy-efficient technology and sustainability. We utilize environmentally responsible building materials and construction practices. To us, it is more than just having single-stream recycling bins, electric car-charging stations, LED lights, and energy-efficient appliances. We have those, and they are essential, but it is about reducing the carbon footprint throughout each step of every project. We believe there is an environmentally-helpful solution to every need. For example, we have incorporated photothermal and photovoltaic solar into projects to create sustainable energy sources. We implement stormwater management best practices with on-site (and, where necessary underground) stormwater retention, pervious pavement, and biofiltration gardens. We practice this because we believe our developments will impact communities for generations to come.

When it comes to sustainability, very few principles are more important than the impact of the local factor, be it locally sourced materials, locally produced products, local jobs, or supporting fiscally fair job growth! We are committed to using community-based and regional businesses in development. Our corporate vision of sustainability is highly compatible with the community's vision of sustainability.



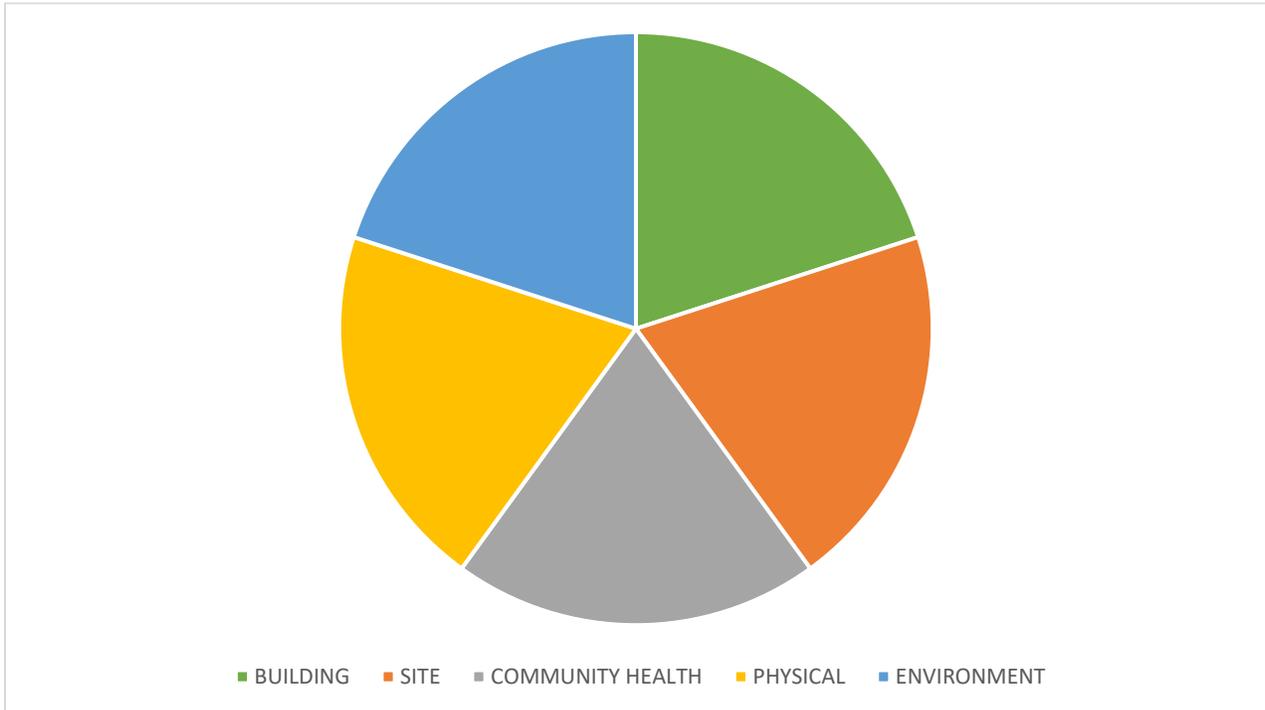
Community Garden – 415 6th St N – La Crosse, WI – The HUB

To effectively work to achieve our goal of maximizing sustainable building and development practices, Three Sixty and its development affiliates/partners will, whenever possible, work to mitigate the project carbon footprint. These practices will increase building efficiency, reduce waste and emissions, and be environmentally responsible. We have several established practices we will implement to varying degrees throughout the design and construction process to accomplish this effort.

THEMATIC APPROACH

We have developed a thematic approach when considering the many facets of sustainable real estate development by utilizing our years of practical experience in sustainable development practices. As a result, we can ensure that the various tasks specific to sustainable development are categorized into five major themes:

- Building (Design & Construction) & Indoor Environment
- Site (Design & Construction) & Outdoor Environment
- Community Health
- Physical
- Environment (At-Large)

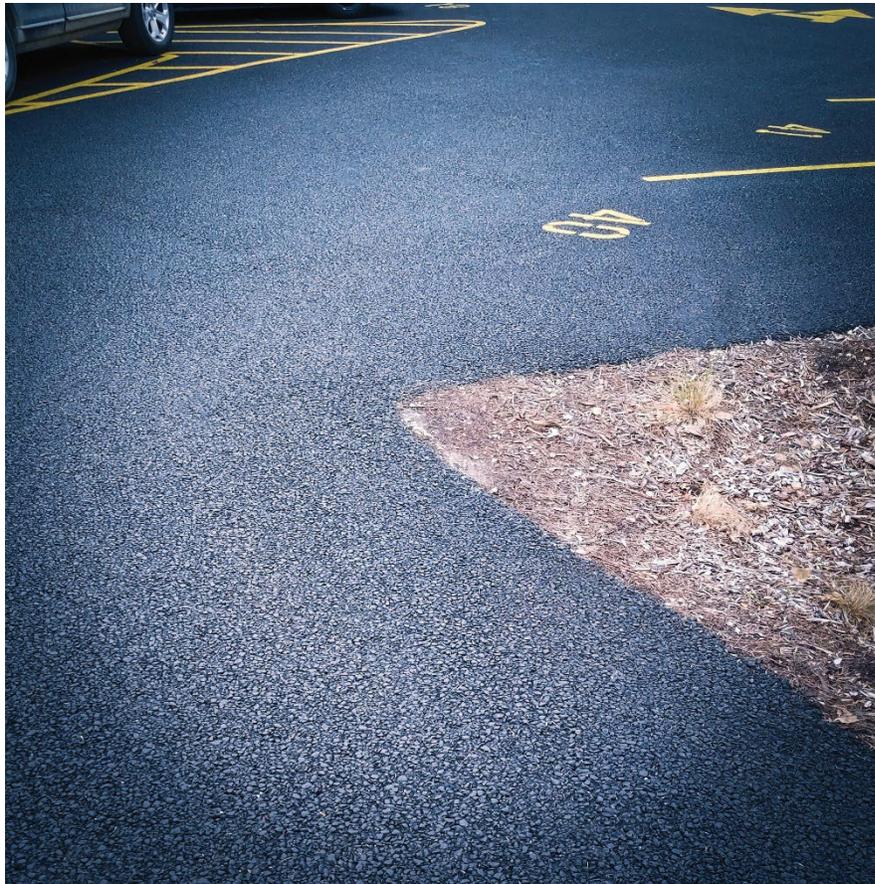


Building (Design & Construction) & Indoor Environment (B)

- Install alternative energy features and practices when economically beneficial. (Site, Environment)
- Design and build tight building envelopes that use best practices for lower energy consumption and increase indoor air quality. (Physical, Environment)
- Utilize sustainable, high-quality materials and energy-efficient designs. (Site, Environment)
- Design buildings that utilize the maximum amount of natural light for creature comfort and reduction in energy needs. (Community Health, Physical, Environment)

Site (Design & Construction) & Outdoor Environment (S)

- Include pervious pavement options in the parking lot/hard surfaces. (Environment)



Pervious Pavement – 507 N 13 St, La Crosse, WI - Aguilera

- Use In-Ground Storm Water Retention. (Environment)



Underground Stormwater Management System 507 N 13 St La Crosse, WI - AGUILERA

- Promote bicycle and pedestrian infrastructure to connect existing trails and paths. (Physical, Community Health, Environment)
- Develop and construct projects that promote and respect the natural habitat and connect people to nature. (Physical, Community Health, Environment)
- Use high-capacity bio-sequestration plantings and design methods to create stormwater retention and management. (Environment)

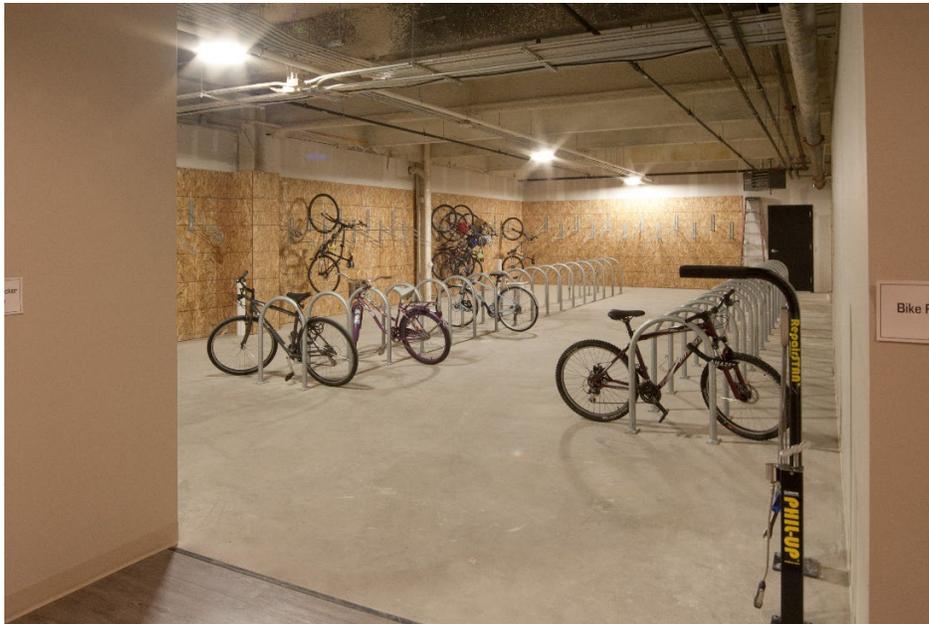
Community Health (CH)

- We are aware that the built environment dramatically affects the community and individual health. Therefore, our planning focuses on implementing approaches that improve our customers’ physical, emotional, and spiritual health.
- Early in our company’s history, long before it was popular, we converted all of our Multifamily properties “smoke-free” (Environment, Physical)
- Work to meet the hierarchy of present and future human needs reasonably and sufficiently. (Physical, Site)
- Create pedestrian-focused developments that reduce the reliance on automobiles and encourage health-promoting alternatives.

- Install sidewalk networks to and from the site to promote more pedestrian travel to and from the project, readily available to physically challenged and visually impaired, instead of taking a vehicle across town to other facilities. (Physical, Site, Building)
- Create green spaces that connect people to nature and enhance individual healthy lifestyles. (Site, Environmental, Physical, Building)

Physical (P)

- Minimize reliance upon car use and encourage pedestrian-focused and mass transit alternatives. (Environment, Site)
- Provide infrastructures such as installing bike racks, bike storage areas, and repair stations at specified areas adjacent to or inside each facility to promote bike use. (Physical, Building, Site)



Bike Storage, Wash Station & Repair Station – 415 N 6th St. La Crosse, WI The HUB



Fitness/Community Room – 415 N 6th St. La Crosse, WI - The HUB

Environment (At-Large) (E)

- Create environments that highlight and respect our natural resources and connect people to the natural resources. (Physical, Community Health, Site)
- Landscaping design and construction that uses native plants and edible gardens, providing food sources for people and wildlife. (Site, Community Health, Physical)
- Strive to develop brownfield, grayfield, and infill sites. (Community Health, Site, Building)
- Design, install and maintain raised garden boxes so residents (and neighbors!) can enjoy the benefits of fresh herbs, vegetables, and produce. In three past projects, we converted lawn/grass into community gardens, hired a gardener to maintain the garden, and partnered with the Salvation Army to provide fresh produce to community members. (Community Health, Physical, Site)
- Design and finish the landscape with native plant species that offer a food source for wildlife and people (planting Raspberry bushes instead of Dogwood). The finished landscaping consists of native shrubs, grasses, and trees throughout the project. (Community Health, Physical, Site)



Fruit Trees, edible landscaping beds at 415 North 6th St, La Crosse, WI – THE HUB

- Locally source as many materials as possible, creating economic and environmental sustainability. (Site, Building)
- Replace high carbon products with low or sequestered carbon products. For example, where possible, we will replace steel and wood members. If possible, concrete decking may be replaced with wood decking. (Site, Building)
- Where possible, work to convert fossil fuel-based products to renewable products with less environmental impact. (Site, Building)
- Recycle products and materials by having cardboard and metal recycling dumpsters during the construction process. We will require all Subs to utilize the recycling protocols during the building process. (Site, Building)
- Utilize low-flow water products in the building design. (Site, Building)
- Where possible, use Energy Star Appliances. (Building)
- Do not use any tropical hardwoods in the project unless such products have been approved by the Forest Stewardship Council or verified as sustainability harvested. (Building)
- Use silt fence barriers (recycled if readily available), straw protections, and other mitigating resources from soil and stormwater management during construction. (Site, Building)
- Use deciduous trees throughout the project to help reduce the heat island effect. (Site, Building).

- Use high efficient commercial water heaters with circulating pumps versus a more traditional method of 1 electric water heater per unit. (Building)
- Install ceiling fans in all bedrooms. (Building).
- Ensure HVAC will be a highly efficient heat pump unit with multiple zoned heads and programable thermostats for increased control flexibility. (Buildings)
- We will use LED lighting, Energy Star advanced lighting package (APL), occupancy sensors in common areas, and light color toned interior walls. (Building)
- Concrete construction site forms will be reusable metal forms versus built-in-place wood forms. (Building, Site)
- Fixtures, equipment, site furnishings, and other outdoor structures will utilize low toxicity, sustainable and recycled materials where possible. (Building, Site)
- We will use panelized construction to eliminate waste, energy-efficient, and tightness of building structure. (Building)
- We will use value engineering to reduce product waste, increase energy efficiency, and increase building quality. (Building, Site)
- We will use fiber cement or wood composite siding and brick. (Building, Site).
- When available we will use locally sourced wood products. (Building, Site)
- We will provide composting on-site in the garden beds and eliminate garbage disposals. (Building, Site, Project).
- We will use low VOC adhesive throughout the project.(Building)
- We will continuously educate ourselves and explore opportunities to lessen and offset the carbon footprint of the development project.
- Seek out partners to leverage our collective abilities and expertise to have a greater overall synergistic impact on reducing impact to our environment and climate.
- Carbon sequestration is a process that pulls carbon from the atmosphere and, through natural processes, places it back into the soils. Consider that one acre of Prairie plantings can store one and a half to two tones of carbon on roots/soil per year, depending on the quality and age of the prairie. Which improves water quality, prevents erosion, restores native

species, and increases the biodiversity in the soil. We do our part to save the soil because healthy soil saves our planet. (Building, Site)

***Note: We recently restored (and managed) 48 acres of the previous tilled field into natural pollinator prairie in La Crescent, Minnesota, as a practical example of “walk the walk.” This work was a collaborative partnership with USDA, pheasants forever, MN DNR, and local contractors. The site has now been used for educational purposes by governmental agencies. Resources and links available upon request.**



Former Corn Field – 2019



Native Pollinator Prairie - 2020



Rooftop Solar Panels – 415 N 6th St La Crosse, WI The HUB

- Comprehensive development and management sustainable practices and programs will be considered and efficiently incorporated. One specific goal of this plan is to mitigate climate change and adapt to our changing environment by meeting the Natural Steps for system conditions:
 - Reduce dependence upon fossil fuels extract underground metals and minerals. (Building, Site)
 - Reduce dependence on chemicals and other manufactured substances that can accumulate in nature. (Building, Site)
 - Reduce dependence on activities that harm life-sustaining ecosystems. (Building, Site)

Geotechnical Evaluation Report

Proposed Copper Rocks Development
2415 State Road
La Crosse, Wisconsin

Prepared for

Mettera, LLC



Brandon K. Wright, PE
Senior Engineer
License Number: 40141
May 6, 2022



May 6, 2022

Project B2202146

Mr. Roger Lundsten
Mettera, LLC
1243 Badger Street
La Crosse, WI 54601

Re: Geotechnical Evaluation
Proposed Copper Rocks Development
2415 State Road
La Crosse, Wisconsin

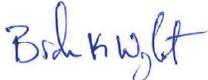
Dear Mr. Lundsten:

We are pleased to present this Geotechnical Evaluation Report for the proposed Copper Rock Development project.

Thank you for making Braun Intertec your geotechnical consultant for this project. If you have questions about this report, or if there are other services that we can provide in support of our work to date, please contact Brandon Wright at 608.781.7277 or by email (bwright@braunintertec.com).

Sincerely,

BRAUN INTERTEC CORPORATION



Brandon K. Wright, PE
Senior Engineer



Ray A. Huber
Vice President

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Appendix

Soil Boring Location Sketch
 Log of Standard Penetration Test Boring Sheets
 Log of Cone Penetration Test Sounding
 Descriptive Terminology of Soil
 Descriptive Terminology Cone Penetration Test
 Wisconsin DSPS Soil and Site Evaluation Storm Form

A. Introduction

A.1. Project Description

This Geotechnical Evaluation Report addresses the proposed design and construction of the proposed Copper Rocks Development project located at 2415 State Road in La Crosse, Wisconsin. The project will include the construction of up to six structures with mixed residential and commercial use. Figure 1 shows an illustration of the proposed site layout.

Figure 1. Proposed Site Layout

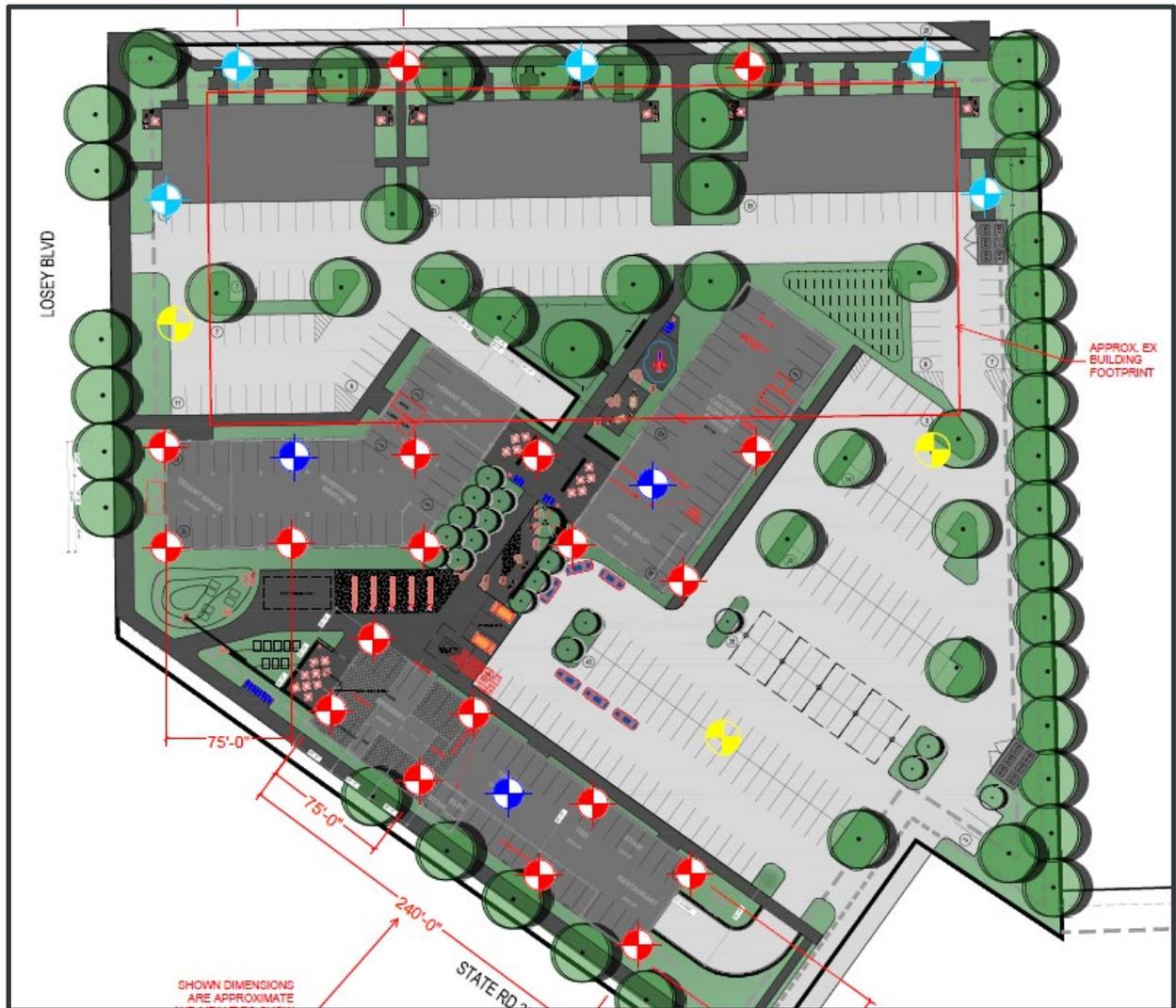


Figure provided by I&S Group, dated February 1, 2022.

Three of the structures will have below-grade parking and three of the structures will be slab-on-grade. The largest building is expected to be composed of one- to two-levels of pre-cast concrete framing with up to 4 levels of wood framing above. Buildings with below-grade parking will have a connecting below-grade tunnel providing access to each of the buildings. Associated parking, pavements, underground utilities, and landscaping are also planned for the project. Tables 1 and 2 provide project details.

Table 1. Building Description

Aspect	Description	
	Single-Story Commercial	Multi-Story Mixed Use
Below grade levels	None	1
Above grade levels	1	4 to 6
Provided Lowest level floor elevation (ft)	664.6 to 665.1	655.3
Assumed Column loads (kips)	100	550
Assumed Wall loads (kips/ft)	5	10

Table 2. Site Aspects and Grading Description

Aspect	Description
Pavement type(s)	Bituminous or Concrete
Provided/Assumed pavement loads	Light-duty: 50,000 ESALs*
	Heavy-duty: 150,000 ESALs*
Grade changes	Within 1 to 2 feet of existing site grades

*Equivalent 18,000-lb single axle loads based on 20-year design for bituminous and 35-year for concrete.

We have described our understanding of the proposed construction and site to the extent others reported it to us. Depending on the extent of available information, we may have made assumptions based on our experience with similar projects. If we have not correctly recorded or interpreted the project details, the project team should notify us. New or changed information could require additional evaluation, analyses and/or recommendations.

A.2. Site Conditions and History

Currently, the site exists as a developed, but vacant, commercial property. The site is 6-acres and contains an approximate 90,000-square-foot, single story, former Kmart retail store. The site also contains an existing parking lot and underground utilities.

A.3. Purpose

The purpose of our geotechnical evaluation will be to characterize subsurface geologic conditions at selected exploration locations, evaluate their impact on the project, and provide geotechnical recommendations for the design and construction of footings, ground supported slabs, lateral earth pressures, pavement thickness designs, and storm water infiltration discussion.

A.4. Scope of Services

We performed our scope of services for the project in accordance with our Proposal QTB153342, dated March 14, 2022. The following list describes the geotechnical tasks completed in accordance with our authorized scope of services.

- Staking and clearing the exploration location of underground utilities. I & S Group selected, and we staked the exploration locations. We acquired the surface elevations and locations with GPS technology. The Soil Boring Location Sketch included in the Appendix shows the approximate locations of the borings.
- Performing standard penetration test (SPT) borings, cone penetration test (CPT) soundings, and test pits (TP). In total, we drilled 8 SPT borings, 19 CPT soundings, and logged 3 test pits.
- Performing laboratory testing on select samples to aid in soil classification and engineering analysis.
- Preparing this report containing a boring location sketch, logs of soil borings, a summary of the soils encountered, results of laboratory tests, and recommendations for structure and pavement subgrade preparation and the design of foundations, floor slabs, exterior slabs, utilities, stormwater improvements and pavements.

Our scope of services did not include environmental services or testing and our geotechnical personnel performing this evaluation are not trained to provide environmental services or testing. We can provide environmental services or testing at your request.

B. Results

B.1. Geologic Overview

We based the geologic origins used in this report on the soil types, in-situ and laboratory testing, and available common knowledge of the geological history of the site. Because of the complex depositional history, geologic origins can be difficult to ascertain. We did not perform a detailed investigation of the geologic history for the site.

B.2. Boring Results

B.2.a. Standard Penetration Test Borings

Table 3 provides a summary of the soil boring results; in the general order we encountered the strata. Please refer to the Log of Boring sheets in the Appendix for additional details. The Descriptive Terminology sheets in the Appendix include definitions of abbreviations used in Table 3.

Table 3. Subsurface Profile Summary*

Strata	Soil Type - ASTM Classification	Range of Penetration Resistances	Commentary and Details
Pavement materials	NA	NA	<ul style="list-style-type: none"> ▪ Bituminous thickness 2 to 5 inches. ▪ Apparent aggregate** base is 6 to 9 inches.
Fill***	SP, SP-SM, SM	8 to 22 BPF	<ul style="list-style-type: none"> ▪ Below the pavement materials, Borings ST-01, ST-02, ST-03, and ST-05 encountered fill. ▪ Fill was composed of sandy soils that extended to depths of 3 to 6 ½ feet. ▪ Based on penetration resistance testing, the fill appears to have received variable compaction effort.
Alluvial	SP, SP-SM	6 to 13 BPF	<ul style="list-style-type: none"> ▪ Below the pavement and fill, the borings encountered alluvial soils. ▪ Alluvial soils were composed of poorly graded sand (SP) and poorly graded sand with silt (SP-SM). ▪ Penetration resistance indicates the alluvial sands are loose to medium dense in relative density. ▪ Moisture condition was moist.

*Abbreviations defined in the attached Descriptive Terminology sheets.

**We did not perform gradation analysis on the apparent aggregate base material encountered as part of the pavement section, in accordance with our scope of work. Therefore, we cannot conclusively determine if the encountered material satisfies a particular specification.

***For simplicity in this report, we define existing fill to mean existing, uncontrolled, or undocumented fill.

B.2.b. Cone Penetration Test Sounding

We performed CPT soundings in addition to our SPT soil borings. The Appendix includes CPT Sounding Logs that present the tip resistance, sleeve resistance, pore pressure and correlations based on the data that indicates a soil boring penetration resistance (N_{60}) and soil behavior type (SBT). The SBT does not correlate to soil classification based on grain size distribution or plasticity, and the SBT is not a reliable indicator of existing fill material gradation or extents.

We performed CPT soundings to provide a continuous profile of in-situ conditions that we use to estimate soil behavior properties for our engineering analyses. Refer to the attached Descriptive Terminology Cone Penetration Test in the Appendix for more information.

The results of the soundings indicate a soil profile consistent with findings in our SPT borings. Based on the SBT, the CPT soundings indicate the site is composed of sandy alluvial soils to the termination depth.

B.3. Groundwater

We did not observe groundwater while advancing our SPT borings. However, based on pore water pressure readings from our CPT soundings, we estimate groundwater to be at a depth of about 33 to 34 feet, corresponding to elevations 631 to 631 ½ feet. Project planning should anticipate seasonal and annual fluctuations of groundwater.

B.4. Laboratory Test Results

Table 4 presents the results of our laboratory tests.

Table 4. Laboratory Classification Test Results

Location	Sample Depth (ft)	Classification	Moisture Content (w, %)	Percent Passing a #200 Sieve
ST-01	10	Poorly Graded Sand (SP)	5	2
ST-02	5	FILL: Poorly Graded Sand with Silt (SP-SM)	6	6
ST-03	5	Poorly Graded Sand with Silt (SP-SM)	6	6
ST-04	7 ½	Poorly Graded Sand (SP)	7	3
ST-05	5	Poorly Graded Sand with Silt (SP-SM)	8	8
ST-09	15	Poorly Graded Sand (SP)	5	2
ST-16	15	Poorly Graded Sand (SP)	5	2
ST-24	15	Poorly Graded Sand with Silt (SP-SM)	6	7

C. Recommendations

C.1. Design and Construction Discussion

C.1.a. Introduction

Based on our subsurface exploration, the site is composed of existing pavement materials, existing fill, and alluvial soils. The existing pavement materials were found to be about 1 foot in thickness. Below the pavement materials, a portion of the borings encountered fill that extended to depths of up to 6 ½ feet. Below these materials, the borings encountered alluvial sand soils. Based on strength testing, the soils present at the site are loose to medium dense in relative density.

C.1.b. Building Subgrade Preparation

Site preparation work should include demolition of the existing commercial building. This should include removal of the structure, including footings, slabs, and underground utilities. In addition, the existing pavement should also be removed. Following removal of these materials, and prior to placement of structural fill or footings, the subgrades should be thoroughly surface compacted with a self-propelled vibratory steel-drum compactor.

Following these site preparations, the single-story commercial buildings can be designed for a net allowable bearing pressure of 4,000 pounds per square foot. The multi-story buildings, however, having below grade levels, and having 12 to 15 feet of overburden soil removed will aid in a higher bearing pressure. Furthermore, based on our CPT data, the multi-story buildings with below-grade levels can be designed for a net allowable bearing pressure of up to 7,000 pounds per square foot.

C.1.c. Pavement

Areas that will be receiving new pavement should be prepared by first removing existing pavement material and enough existing fill to allow for placement of new pavement materials. Additionally, if any debris is present in the existing fill, we recommend removing it within 2 feet of the proposed subgrade elevation. Prior to placing aggregate base material, we recommend surface compacting the pavement subgrade to enhance uniformity.

C.2. Site Grading and Subgrade Preparation

C.2.a. Building Demolition

We recommend demolition of the existing commercial building include removal of footings, slabs, foundation walls and underground utilities. These materials will need to be completely removed and the excavation backfilled with compacted soil.

C.2.b. Building Subgrade Excavations

Following building demolition, we also recommend removing existing pavement materials and existing fill below the proposed structures and their oversize areas. Table 5 shows the anticipated excavation depths and bottom elevations for each of the SPT borings.

Table 5. Building Excavation Depths

SPT Boring	Approximate Surface Elevation (ft)	Anticipated Excavation Depth (ft)	Anticipated Bottom Elevation (ft)
ST-01	661.5	4	657 ½
ST-02	663.4	6 ½	657
ST-03	663.1	3	660
ST-04	664.1	1	663
ST-05	663.1	4	659
ST-09	664.2	1	663
ST-16	664.5	1	663 ½
ST-24	665.9	1	665

Excavation depths will vary between the borings. Portions of the excavations may also extend deeper than indicated by the borings. A geotechnical representative should observe the excavations to make the necessary field judgments regarding the suitability of the exposed soils.

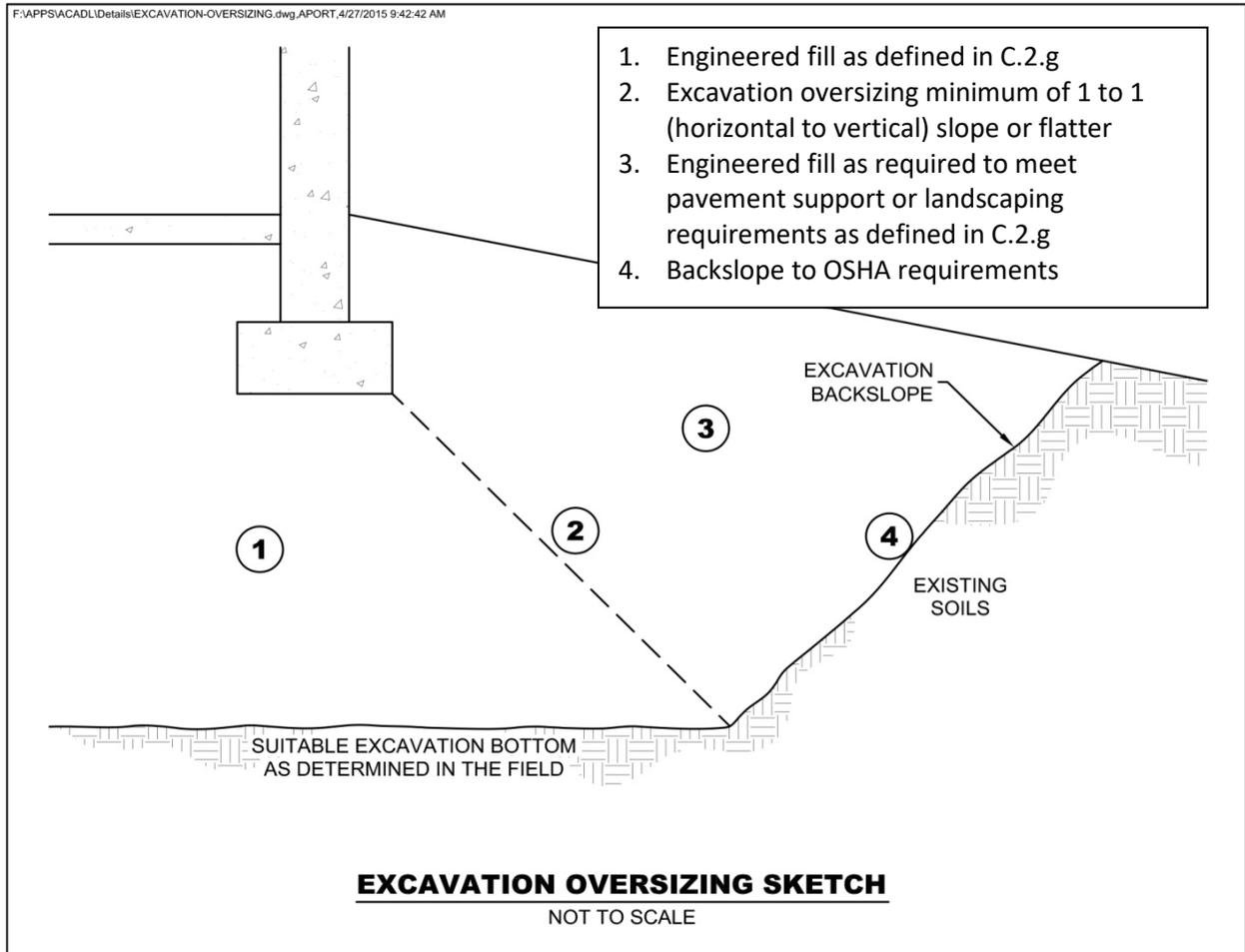
C.2.c. Surface Compaction

Prior to the placement of engineered fill or footings, we recommend surface compacting the exposed soils in the bottoms of the excavations with a minimum of five passes by a large (minimum diameter of 3 1/2 feet), smooth-drum compactor and be compacted to a minimum of 98 percent of the standard Proctor (ASTM D698) optimum density.

C.2.d. Excavation Oversizing

When removing unsuitable materials below structures or pavements, we recommend the excavation extend outward and downward at a slope of 1H:1V (horizontal: vertical) or flatter. See Figure 2 for an illustration of excavation oversizing.

Figure 2. Generalized Illustration of Oversizing



C.2.e. Excavated Slopes

Based on the borings, we anticipate on-site soils in excavations will consist of fill and alluvial sand soils. These soils are typically considered Type C Soil under OSHA (Occupational Safety and Health Administration) guidelines. OSHA guidelines indicate unsupported excavations in Type C soils should have a gradient no steeper than 1.5H:1V. Slopes constructed in this manner may still exhibit surface sloughing. OSHA requires an engineer to evaluate slopes or excavations over 20 feet in depth.

An OSHA-approved qualified person should review the soil classification in the field. Excavations must comply with the requirements of OSHA 29 CFR, Part 1926, Subpart P, "Excavations and Trenches." This document states excavation safety is the responsibility of the contractor. The project specifications should reference these OSHA requirements.

C.2.f. Pavement and Exterior Slab Subgrade Preparation

Areas that will be receiving new pavement should be prepared by first removing existing pavement material and enough existing fill to allow for placement of new pavement materials. Additionally, if any debris is present in the existing fill, we recommend removing it within 2 feet of the proposed subgrade elevation. Prior to placing aggregate base material, we recommend surface compacting the pavement subgrade to enhance uniformity. We recommend performing a proofroll after the aggregate base material is in place, and prior to placing bituminous or concrete pavement. We also recommend having a geotechnical representative observe the proofroll. Areas that fail the proofroll indicate soft or weak areas that will require additional soil correction work to support pavements.

C.2.g. Engineered Fill Materials and Compaction

Table 6 below contains our recommendations for engineered fill materials.

Table 6. Engineered Fill Materials*

Fill Classification	Locations To Be Used	Fill Source and Soil Descriptions	Gradation	Relative Compaction, percent (ASTM D698 – Standard Proctor)
Structural fill	<ul style="list-style-type: none"> ▪ Soil correction backfill ▪ Below foundations ▪ Interior & exterior foundation wall backfill ▪ Below interior & exterior slabs 	On-site alluvial sand soils or Imported sand and gravel consisting of GP, GW, SP, SW, SP-SM	100% passing 2-inch sieve <12% passing #200 sieve <2% Organic Content (OC)	98
Pavement Materials	Dense graded base	Imported aggregate	WisDOT Standard Spec 305 Dense Graded Base	98
	Pavement subgrades	On-site alluvial sand soils or Imported sand and gravel consisting of GP, GW, SP, SW, SP-SM, SM	100% passing 2-inch sieve <25% passing #200 sieve <3% OC	95
Non-structural fill	Below landscaped surfaces, where subsidence is not a concern	On-site soils and imported soils	100% passing 6-inch sieve < 10% OC	90

* More select soils comprised of coarse sands with < 5% passing #200 sieve may be needed to accommodate work occurring in periods of wet or freezing weather.

We recommend spreading engineered fill in loose lifts of approximately 12 inches thick. The project documents should specify relative compaction of engineered fill, based on the structure located above the engineered fill, and vertical proximity to that structure.

The project documents should not allow the contractor to use frozen material as engineered fill or to place engineered fill on frozen material. Frost should not penetrate under foundations during construction.

We recommend performing density tests in engineered fill to evaluate if the contractors are effectively compacting the soil and meeting project requirements.

C.3. Spread Footings

Table 7 below contains our recommended parameters for foundation design.

Table 7. Recommended Spread Footing Design Parameters

Item	Description	
	Single-Story Commercial	Multi-Story Mixed Use
Maximum net allowable bearing pressure (psf)	4,000	7,000
Minimum factor of safety for bearing capacity failure	3.0	3.0
Minimum width (inches)	18 for wall 36 for column	24 for wall 48 for column
Minimum embedment below final exterior grade for heated structures (inches)	48	48
Minimum embedment below final exterior grade for unheated structures or for footings not protected from freezing temperatures during construction (inches)	60	60
Total estimated settlement (inches)	Less than 1	1
Differential settlement (inch)	Less than 1/2	1/2

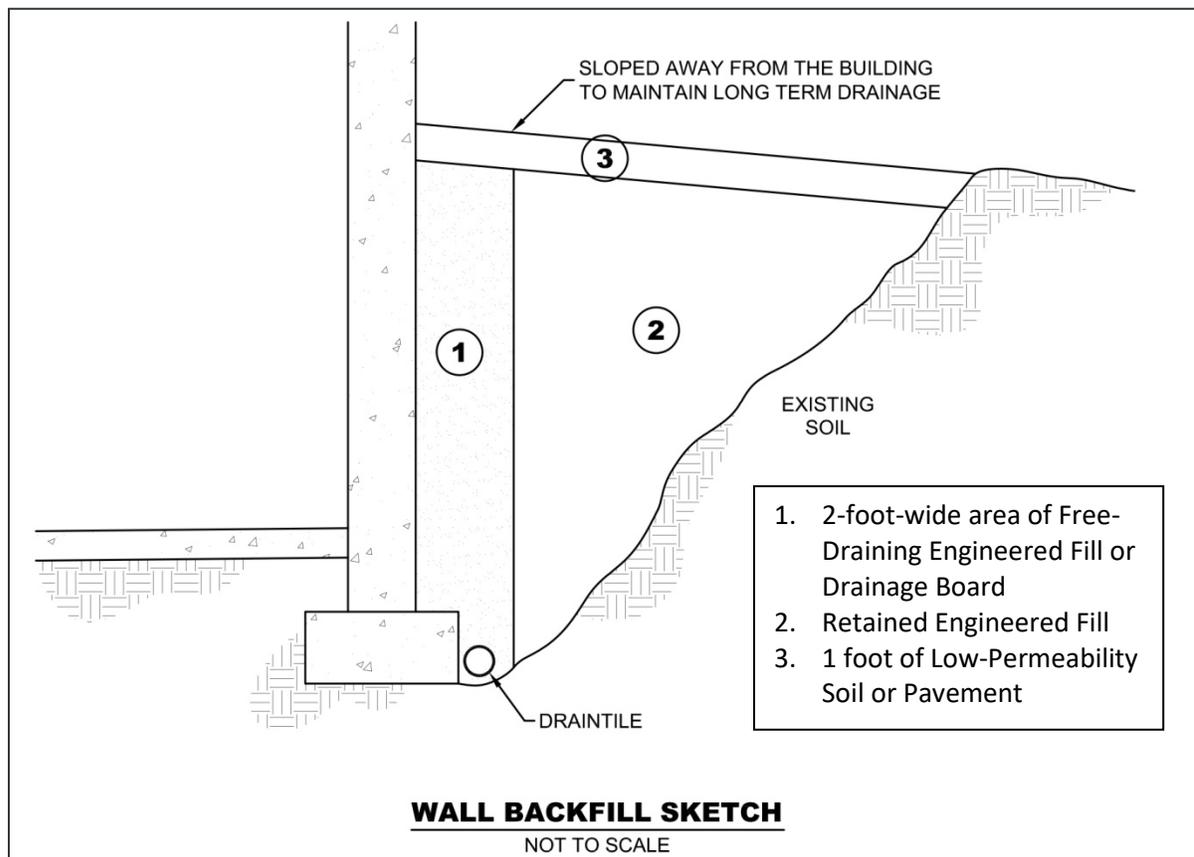
C.4. Below-Grade Walls

C.4.a. Drainage Control

We recommend installing drain tile to remove water behind the below-grade walls, at the location shown in Figure 3. The below-grade wall drainage system should also incorporate free-draining, engineered fill or a drainage board placed against the wall and connected to the drain tile.

Even with the use of free-draining, engineered fill, we recommend general waterproofing of below-grade walls that surround occupied or potentially occupied areas because of the potential cost impacts related to seepage after construction is complete.

Figure 3. Generalized Illustration of Wall Engineered Fill



The materials listed in the sketch should meet the definitions in Section C.2. Low-permeability material can direct water away from the wall, like clay, topsoil, or pavement. The project documents should indicate if the contractor should brace the walls prior to filling and allowable unbalanced fill heights.

As shown in Figure 3, we recommend Zone 2 consist of retained, engineered fill, and this material will control lateral pressures on the wall. However, we are also providing design parameters for using other engineered fill material. If final design uses non-sand material for engineered fill, project planning should account for the following items:

- Other fill material may result in higher lateral pressure on the wall.
- Other fill materials composed of silty or clayey soils may be more difficult to compact.
- Post-construction consolidation of other engineered fill material may result in settlement-related damage to the structures or slabs supported on the engineered fill. Post-construction settlement of other engineered fill material may also cause drainage towards the structure. The magnitude of consolidation could be up to about 3 percent of the wall fill thickness.

C.4.b. Configuring and Resisting Lateral Loads

Table 8 presents our recommended lateral equivalent fluid pressures for wall design of active, at-rest and passive earth pressure conditions. The table also provides recommended wet unit weights and internal friction angles. Designs should also consider the slope of any engineered fill and dead or live loads placed behind the walls within a horizontal distance that is equal to the height of the walls. Our recommended values assume the wall design provides drainage so water cannot accumulate behind the walls. The construction documents should clearly identify what soils the contractor should use for engineered fill of walls.

Table 8. Recommended Below-Grade Wall Design Parameters – Drained Conditions

Retained Soil	Wet Unit Weight (pcf)	Friction Angle (degrees)	Active Lateral Equivalent Fluid Pressure (pcf)	At-Rest Lateral Equivalent Fluid Pressure (pcf)	Passive Lateral Equivalent Fluid Pressure* (pcf)
On-site Sand	120	30	40	60	360

* Based on Rankine model for soils in a region behind the wall extending at least 2 horizontal feet beyond the bottom outer edges of the wall footings and then rising and away from the wall at an angle no steeper than 60 degrees from horizontal.

Sliding resistance between the bottom of the footing and the soil can also resist lateral pressures. We recommend assuming a sliding coefficient equal to 0.36 between the concrete and soil.

The values presented in this section are un-factored.

C.5. Interior Slabs

C.5.a. Subgrade Modulus

The anticipated floor subgrade is expected to consist of compacted structural fill or surface compacted alluvial soils. We recommend using a modulus of subgrade reaction, k , of 200 pounds per square inch per inch of deflection (pci) to design the slabs. If the slab design requires placing 6 inches of compacted crushed aggregate base immediately below the slab, the slab design may increase the k -value by 50 pci. We recommend that the aggregate base materials be free of bituminous. In addition to improving the modulus of subgrade reaction, an aggregate base facilitates construction activities and is less weather sensitive.

C.5.b. Moisture Vapor Protection

Excess transmission of water vapor could cause floor dampness, certain types of floor bonding agents to separate, or mold to form under floor coverings. If project planning includes using floor coverings or coatings, we recommend placing a vapor retarder or vapor barrier immediately beneath the slab. We also recommend consulting with floor covering manufacturers regarding the appropriate type, use and installation of the vapor retarder or barrier to preserve warranty assurances.

C.6. Pavements and Exterior Slabs

C.6.a. Design Sections

Our scope of services for this project did not include laboratory tests on subgrade soils to determine a California Bearing Ratio (CBR) value for pavement design. Based on our experience with similar sandy soils anticipated at the pavement subgrade elevation, we recommend pavement design assume a CBR-value of 10. Similarly, we based the concrete pavement designs on an assumed modulus of subgrade reaction (k) of 200 pci. Table 9 provides recommended pavement sections, based on the soils support and traffic loads.

Table 9. Recommended Bituminous Pavement Sections

Use	Asphalt Pavement		Concrete Pavement	
	Light Duty	Heavy Duty	Light Duty	Heavy Duty
Minimum asphalt thickness (inches)	4	5	---	---
Minimum concrete thickness (inches)	---	---	5	6
Minimum aggregate base thickness (inches)	8	10	6	6

C.6.b. Concrete Pavements

We recommend specifying concrete for pavements that has a minimum 28-day compressive strength of 4,500 psi, and a modulus of rupture (M_r) of at least 650 psi. We also recommend Type I cement meeting the requirements of ASTM International C 150. We recommend specifying 4.5 to 7.5 percent entrained air for exposed concrete to provide resistance to freeze-thaw deterioration. We also recommend using a water/cement ratio of 0.45 or less for concrete exposed to deicers.

C.6.c. Bituminous Pavement Materials

Appropriate mix designs are critical to the performance of flexible pavements. We recommend utilizing hot mix asphalt meeting the specifications of Wisconsin Department of Transportation (WisDOT) Section 460. We recommend utilizing a nominal 12.5 mm gradation for the base course and a nominal 9.5 mm gradation for the surface course as defined in Table 460-1 in Section 460.2.2.3. We recommend the Performance Graded Asphalt cement be a PG 58-28 in the lower and upper layer.

C.6.d. Performance and Maintenance

We based the above pavement designs on a 20-year performance life for bituminous and a 35-year life for concrete. This is the amount of time before we anticipate the pavement will require reconstruction. This performance life assumes routine maintenance, such as seal coating and crack sealing. The actual pavement life will vary depending on variations in weather, traffic conditions and maintenance.

It is common to place the non-wear course of bituminous and then delay placement of wear course. For this situation, we recommend evaluating if the reduced pavement section will have sufficient structure to support construction traffic.

Many conditions affect the overall performance of the exterior slabs and pavements. Some of these conditions include the environment, loading conditions and the level of ongoing maintenance. Regarding bituminous pavements, it is common to have thermal cracking develop within the first few years of placement and continue throughout the life of the pavement. We recommend developing a regular maintenance plan for filling cracks in exterior slabs and pavements to lessen the potential impacts for cold weather distress due to frost heave or warm weather distress due to wetting and softening of the subgrade.

C.7. Utilities

C.7.a. Subgrade Stabilization

Earthwork activities associated with utility installations located inside the building area should adhere to the recommendations in Section C.2.

For exterior utilities, we anticipate the soils at typical invert elevations will be suitable for utility support. However, if construction encounters unfavorable conditions such as soft clay, organic soils or perched water at invert grades, the unsuitable soils may require some additional subcutting and replacement with sand or crushed rock to prepare a proper subgrade for pipe support. Project design and construction should not place utilities within the 1H:1V oversizing of foundations.

C.7.b. Corrosion Potential

Many of the soil borings indicated the site consists of sandy soils. We consider these soils non- to slightly corrosive to metallic conduits. If utilities extend through clay soils, we recommend bedding the utilities in sandy soil free of any clay lumps or constructing the utilities with non-corrosive materials.

C.8. Storm Water

C.8.a. Test Pits

We observed the excavation of three test pits that were extended to depths of approximately 10 feet each below existing grades. We labeled our exploration locations Test Pits, TP-28, TP-29, and TP-30. We visually examined the sidewalls of the test pit and classified the materials brought to the surface by the excavator bucket. We measured strata boundary depths with a tape measure to the nearest inch.

C.8.b. Storm Water Soil Profile Summary

Based on the test pit excavations, the storm water locations are composed of existing pavement materials over alluvial soils. Beneath the pavement, the alluvial soils were initially composed of sandy clay loam (USCS Soil Classification Sandy Lean Clay “CL”) and fine-grained loamy sand (USCS Soil Classification Poorly Graded Sand with Silt “SP-SM”). At depth, the test pits encountered alluvial soils composed of fine-grained sand (USCS Soil Classification Poorly Graded Sand “SP”).

Groundwater was not observed within the test pit excavations. Seasonal and annual fluctuations of groundwater should be anticipated.

C.8.c. Infiltration Discussion

In general, the alluvial sand soils present at the site are well suited for infiltration of storm water. However, lower infiltration rates should be anticipated in the sandy clay loam near Test Pit TP-28. Infiltration rates for the site are included on the Soil and Site Evaluation – Storm form attached in the Appendix.

Infiltration rates in natural soils are variable based on soil type, moisture content, void space between soil particles, and discontinuities in the soil structure. Discontinuities are not present in disturbed or compacted soils, such as existing fills, because void space between soil particles may have been reduced from compaction efforts, if applicable.

This geotechnical evaluation does not constitute a review of site suitability for storm water infiltration or evaluate the potential impacts, if any, from infiltration of large amounts of storm water.

C.9. Equipment Support

The recommendations included in the report may not be applicable to equipment used for the construction and maintenance of this project. We recommend evaluating subgrade conditions in areas of shoring, scaffolding, cranes, pumps, lifts, and other construction equipment prior to mobilization to determine if the exposed materials are suitable for equipment support or require some form of subgrade improvement. We also recommend project planning consider the effect that loads applied by such equipment may have on structures they bear on or surcharge – including pavements, buried utilities, and below-grade walls. We can assist you in this evaluation.

D. Procedures

D.1. Penetration Test Borings

We drilled the penetration test borings with a track-mounted core and auger drill equipped with hollow-stem auger. We performed the borings in general accordance with ASTM D6151 taking penetration test samples at 2 1/2- or 5-foot intervals in general accordance with ASTM D1586. The boring logs show the actual sample intervals and corresponding depths.

D.2. Cone Penetration Test Soundings

We performed CPT soundings by advancing a 1.75-inch diameter Vertek seismic piezocone with an unequal end area ratio of 0.8. We used a 15-ton track mounted rig to advance the cone into the ground. We performed the soundings in general accordance with ASTM D5778. While advancing the cone, we digitally recorded tip resistance (Q_t), sleeve friction (F_s) and pore pressure (U_2).

D.3. Exploratory Test Pits

Hess Excavation excavated the test pits with a track-mounted excavator, under the direction and observation of our staff. We prepared Test Pit Logs in accordance with the Wisconsin DSPS Technical Standard 1002. Soils excavated in the test pits were logged by visually examining the sidewalls of the test pits and classifying the materials brought to the surface by the bucket. We measured strata boundary depths with a tape measure.

D.4. Exploration Logs

D.4.a. Log of Boring Sheets

The Appendix includes Log of Boring sheets for our penetration test borings. The logs identify and describe the penetrated geologic materials and present the results of penetration resistance and other in-situ tests performed. The logs also present the results of laboratory tests performed on penetration test samples, and groundwater measurements. The Appendix also includes a Fence Diagram intended to provide a summarized cross-sectional view of the soil profile across the site.

We inferred strata boundaries from changes in the penetration test samples and the auger cuttings. Because we did not perform continuous sampling, the strata boundary depths are only approximate.

The boundary depths vary away from the boring locations, and the boundaries themselves may occur as gradual rather than abrupt transitions.

D.4.b. Cone Penetration Test Sounding Logs

The Appendix also includes CPT Sounding Logs. The CPT sounding logs report the tip resistance (Q_t), sleeve friction (F_s) and pore pressure (U_2) measured by the cone during advancement, as well as the soil behavior type (SBT) inferred from established relationships between tip resistance, sleeve friction and pore pressure. The SBT does not indicate a soil classification based on grain size distribution. Refer to the attached Descriptive Terminology Cone Penetration Test in the Appendix for more information. The CPT logs also report the friction ratio, which calculated by dividing the sleeve friction by the tip resistance.

We inferred strata boundaries, like SBT, from changes in tip resistance, sleeve friction and pore pressure. While cone measurements are continuous with depth, the boundaries are still only approximate, vary away from the sounding locations and may also occur as gradual rather than abrupt transitions.

D.4.c. Log of Test Pit Sheets

The Appendix also includes Log of Test Pit sheets. The logs classify and describe the geologic materials exposed in the sidewalls and bottoms of the pits, present the results of laboratory tests performed on bulk samples obtained from them, and depict groundwater measurements.

D.4.d. Geologic Origins

We assigned geologic origins to the materials shown on the logs and referenced within this report, based on: (1) a review of the background information and reference documents cited above, (2) visual classification of the various geologic material samples retrieved during the course of our subsurface exploration, (3) penetration resistance and other in-situ testing performed for the project, (4) laboratory test results, and (5) available common knowledge of the geologic processes and environments that have impacted the site and surrounding area in the past.

D.5. Material Classification and Testing

D.5.a. Visual and Manual Classification

We visually and manually classified the geologic materials encountered based on ASTM D2488. When we performed laboratory classification tests, we used the results to classify the geologic materials in accordance with ASTM D2487. The Appendix includes a chart explaining the classification system we used.

D.5.b. Laboratory Testing

The exploration logs in the Appendix note most of the results of the laboratory tests performed on geologic material samples. The remaining laboratory test results follow the exploration logs. We performed the tests in general accordance with ASTM procedures.

D.6. Groundwater Measurements

The drillers checked for groundwater while advancing the penetration test borings, and again after auger withdrawal. We then filled the boreholes or allowed them to remain open for an extended period of observation, as noted on the boring logs.

We inferred groundwater levels from pore pressure measurements made during advancement of the piezocone.

E. Qualifications

E.1. Variations in Subsurface Conditions

E.1.a. Material Strata

We developed our evaluation, analyses, and recommendations from a limited amount of site and subsurface information. It is not standard engineering practice to retrieve material samples from exploration locations continuously with depth. Therefore, we must infer strata boundaries and thicknesses. Strata boundaries may also be gradual transitions, and project planning should expect the strata to vary in depth, elevation, and thickness, away from the exploration locations.

Variations in subsurface conditions present between exploration locations may not be revealed until performing additional exploration work or starting construction. If future activity for this project reveals any such variations, you should notify us so that we may reevaluate our recommendations. Such variations could increase construction costs, and we recommend including a contingency to accommodate them.

E.1.b. Groundwater Levels

We made groundwater measurements under the conditions reported herein and shown on the exploration logs and interpreted in the text of this report.

Note that the observation periods were short, and project planning can expect groundwater levels to fluctuate in response to rainfall, flooding, irrigation, seasonal freezing and thawing, surface drainage modifications and other seasonal and annual factors.

E.2. Continuity of Professional Responsibility

E.2.a. Plan Review

We based this report on a limited amount of information, and we made several assumptions to help us develop our recommendations. We should be retained to review the geotechnical aspects of the designs and specifications. This review will allow us to evaluate whether we anticipated the design correctly, if any design changes affect the validity of our recommendations, and if the design and specifications correctly interpret and implement our recommendations.

E.2.b. Construction Observations and Testing

We recommend retaining us to perform the required observations and testing during construction as part of the ongoing geotechnical evaluation. This will allow us to correlate the subsurface conditions exposed during construction with those encountered by the borings and provide professional continuity from the design phase to the construction phase. If we do not perform observations and testing during construction, it becomes the responsibility of others to validate the assumption made during the preparation of this report and to accept the construction-related geotechnical engineer-of-record responsibilities.

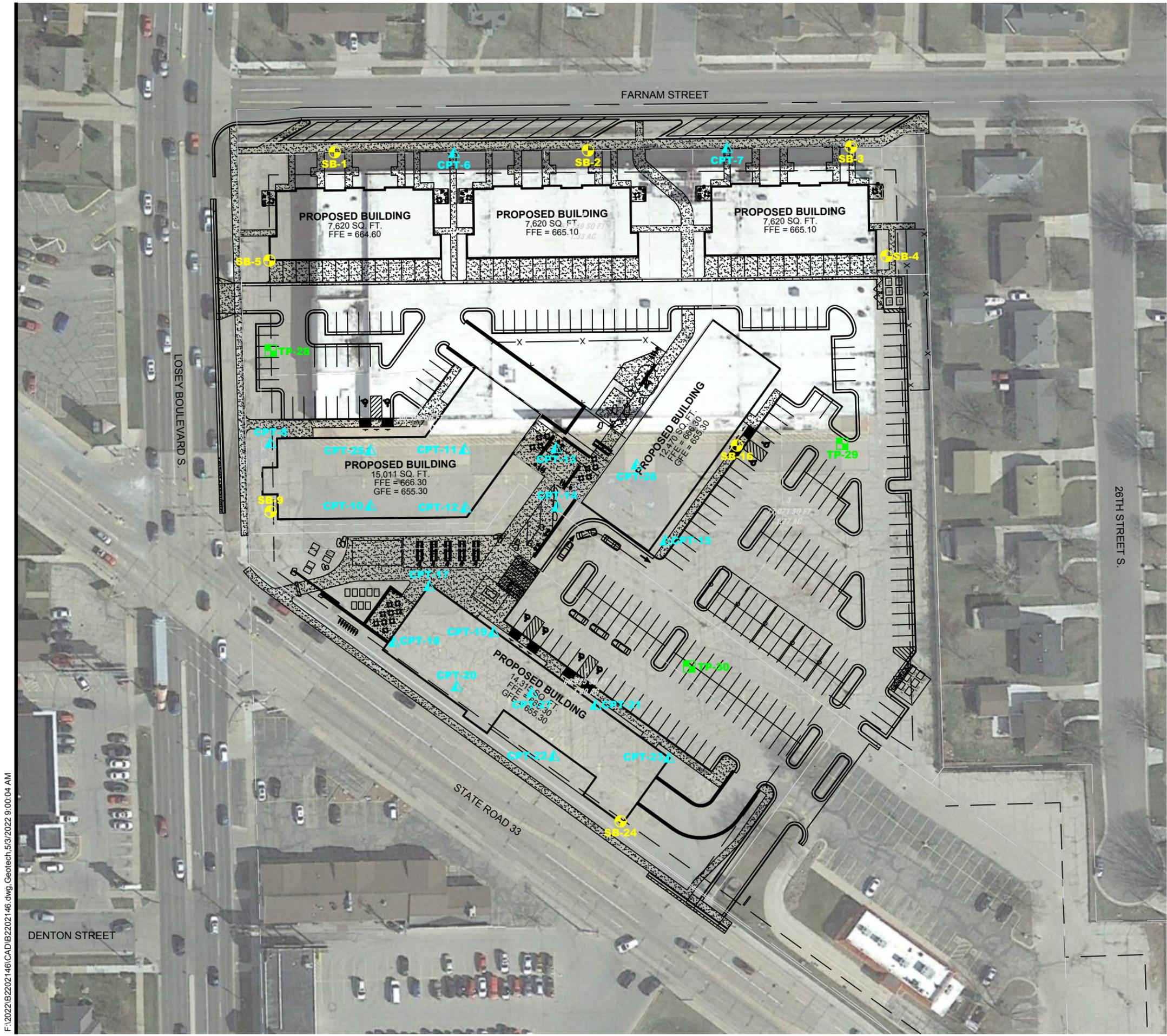
E.3. Use of Report

This report is for the exclusive use of the addressed parties. Without written approval, we assume no responsibility to other parties regarding this report. Our evaluation, analyses and recommendations may not be appropriate for other parties or projects.

E.4. Standard of Care

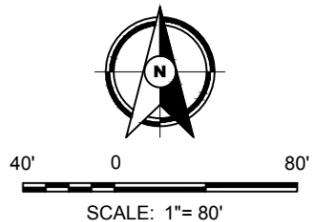
In performing its services, Braun Intertec used that degree of care and skill ordinarily exercised under similar circumstances by reputable members of its profession currently practicing in the same locality. No warranty, express or implied, is made.

Appendix



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-  DENOTES APPROXIMATE LOCATION OF STANDARD PENETRATION TEST BORING
-  DENOTES APPROXIMATE LOCATION OF CPT SOUNDING
-  DENOTES APPROXIMATE LOCATION OF TEST PIT



Drawing Information

Project No:	B2202146
Drawing No:	B2202146
Drawn By:	JAG
Date Drawn:	3/15/22
Checked By:	BW
Last Modified:	5/3/22

Project Information

Kmart Redevelopment Project
2415 State Road
La Crosse, Wisconsin

Soil Boring Location Sketch

Project Number B2202146					BORING: ST-01		
Geotechnical Evaluation					LOCATION: See attached sketch		
Copper Rocks Development					NORTHING:		
2415 State Road					EASTING:		
La Crosse, Wisconsin					START DATE: 03/31/22		
DRILLER: Subcontractor		LOGGED BY: B. Wright		END DATE: 03/31/22			
SURFACE ELEVATION: 661.5 ft	RIG: Subcontractor	METHOD: 3 1/4" HSA	SURFACING: Pavement	WEATHER: Overcast			
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
660.6		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base					
0.9		FILL: POORLY GRADED SAND with SILT (SP-SM), fine-grained, brown, moist		5-4-4 (8)			
657.5		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose to medium dense (ALLUVIUM)	5	4-5-6 (11)			
4.0				4-4-4 (8)			
			10	4-3-5 (8)		5	P200=2%
				3-3-5 (8)			
			15	3-4-6 (10)			
640.5			20	3-4-6 (10)			
21.0		END OF BORING					Water not observed while drilling.
		Boring then grouted					
			25				
			30				
			35				

See Descriptive Terminology sheet for explanation of abbreviations

Project Number B2202146 Geotechnical Evaluation Copper Rocks Development 2415 State Road La Crosse, Wisconsin					BORING: ST-02		
					LOCATION: See attached sketch		
					NORTHING:	EASTING:	
DRILLER: Subcontractor	LOGGED BY: B. Wright		START DATE: 03/31/22	END DATE: 03/31/22			
SURFACE ELEVATION: 663.4 ft	RIG: Subcontractor	METHOD: 3 1/4" HSA	SURFACING: Pavement	WEATHER: Overcast			
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
662.5 0.9		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base FILL: SILTY SAND (SM), fine-grained, trace bituminous debris, dark brown to brown, moist		15-10-12 (22)			P200=6%
656.9 6.5		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose (ALLUVIUM)	5 10 15 20	5-7-9 (16) 2-3-4 (7) 3-4-4 (8) 4-4-4 (8) 4-4-4 (8) 3-4-6 (10)	6		
642.4 21.0		END OF BORING Boring then grouted					Water not observed while drilling.

See Descriptive Terminology sheet for explanation of abbreviations

Project Number B2202146					BORING: ST-03		
Geotechnical Evaluation					LOCATION: See attached sketch		
Copper Rocks Development					NORTHING:		
2415 State Road					EASTING:		
La Crosse, Wisconsin					START DATE: 03/31/22		
DRILLER: Subcontractor		LOGGED BY: B. Wright		END DATE: 03/31/22			
SURFACE ELEVATION: 663.1 ft		RIG: Subcontractor		METHOD: 3 1/4" HSA		SURFACING: Pavement	
				WEATHER: Overcast			
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
662.2		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base					
0.9		FILL: POORLY GRADED SAND (SP), fine-grained, trace Gravel, light brown, moist		7-7-7 (14)			
660.1		POORLY GRADED SAND with SILT (SP-SM), fine-grained, brown to light brown, moist, loose (ALLUVIUM)	5	5-6-3 (9)		6	P200=6%
656.6		POORLY GRADED SAND (SP), fine-grained, light brown, moist, loose (ALLUVIUM)		3-3-3 (6)			
6.5			10	3-4-3 (7)			
				3-3-5 (8)			
			15	2-3-4 (7)			
				4-4-5 (9)			
642.1		END OF BORING					Water not observed while drilling.
21.0		Boring then grouted					
			25				
			30				
			35				

Project Number B2202146 Geotechnical Evaluation Copper Rocks Development 2415 State Road La Crosse, Wisconsin					BORING: ST-04		
					LOCATION: See attached sketch		
					NORTHING:	EASTING:	
DRILLER: Subcontractor	LOGGED BY: B. Wright		START DATE: 03/31/22	END DATE: 03/31/22			
SURFACE ELEVATION: 664.1 ft	RIG: Subcontractor	METHOD: 3 1/4" HSA	SURFACING: Pavement	WEATHER: Overcast			
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
663.2 0.9		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base					
		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose to medium dense (ALLUVIUM)	4-4-4 (8)				
			5 3-3-4 (7)				
			4-4-4 (8)			7	P200=3%
			10 4-4-4 (8)				
			4-4-5 (9)				
			15 4-5-7 (12)				
643.1 21.0		END OF BORING	20 3-4-6 (10)				Water not observed while drilling.
		Boring then grouted					
			25				
			30				
			35				

Project Number B2202146					BORING: ST-05		
Geotechnical Evaluation					LOCATION: See attached sketch		
Copper Rocks Development					NORTHING:		
2415 State Road					EASTING:		
La Crosse, Wisconsin					START DATE: 03/31/22		
DRILLER: Subcontractor		LOGGED BY: B. Wright		END DATE: 03/31/22			
SURFACE ELEVATION: 663.1 ft	RIG: Subcontractor	METHOD: 3 1/4" HSA	SURFACING: Pavement	WEATHER: Overcast			
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
662.4		PAVEMENT, 2 inches over 7 inches of apparent aggregate base					
0.8		FILL: SILTY SAND (SM), fine-grained, dark brown, moist		4-4-4 (8)			
659.1		POORLY GRADED SAND with SILT (SP-SM), fine-grained, brown, moist, medium dense (ALLUVIUM)	5	4-5-6 (11)		8	P200=8%
4.0							
656.6		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose (ALLUVIUM)		4-3-4 (7)			
6.5							
			10	3-3-4 (7)			
			15	3-4-5 (9)			
			20	3-4-5 (9)			
642.1		END OF BORING		4-5-5 (10)			
21.0		Boring then grouted					Water not observed while drilling.
			25				
			30				
			35				

Project Number B2202146 Geotechnical Evaluation Copper Rocks Development 2415 State Road La Crosse, Wisconsin					BORING: ST-09		
					LOCATION: See attached sketch		
					NORTHING:	EASTING:	
DRILLER: Subcontractor	LOGGED BY: B. Wright		START DATE: 03/31/22	END DATE: 03/31/22			
SURFACE ELEVATION: 664.2 ft	RIG: Subcontractor	METHOD: 3 1/4" HSA	SURFACING: Pavement	WEATHER: Overcast			
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
663.3 0.9		PAVEMENT, 2 inches of bituminous over 9 inches of apparent aggregate base					
		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose to medium dense (ALLUVIUM)	5	5-4-3 (7)			
				4-4-5 (9)			
				3-3-3 (6)			
			10	4-4-4 (8)			
				4-4-4 (8)			
			15	3-4-5 (9)		5	P200=2%
			20	3-3-3 (6)			
			25	3-4-6 (10)			
633.2 31.0		END OF BORING	30	5-5-6 (11)			
		Boring then grouted	35				Water not observed while drilling.

See Descriptive Terminology sheet for explanation of abbreviations

Project Number B2202146					BORING: ST-16		
Geotechnical Evaluation					LOCATION: See attached sketch		
Copper Rocks Development					NORTHING:		EASTING:
2415 State Road					START DATE: 03/31/22		END DATE: 03/31/22
La Crosse, Wisconsin					DRILLER: Subcontractor		LOGGED BY: B. Wright
SURFACE ELEVATION: 664.5 ft		RIG: Subcontractor	METHOD: 3 1/4" HSA		SURFACING: Pavement		WEATHER: Overcast
Elev./ Depth ft	Water Level	Description of Materials (Soil-ASTM D2488 or 2487; Rock-USACE EM 1110-1-2908)	Sample	Blows (N-Value) Recovery	q _p tsf	MC %	Tests or Remarks
663.6		PAVEMENT, 5 inches of concrete over 6 inches of apparent aggregate base					
0.9		POORLY GRADED SAND (SP), fine-grained, brown to light brown, moist, loose to medium dense (ALLUVIUM)	4-5-5 (10)				
			5-4-5 (9)				
			4-4-5 (9)				
			10-3-4-3 (7)				
			5-6-6 (12)				
			15-4-4-4 (8)			5	P200=2%
			20-4-5-6 (11)				
			25-3-4-4 (8)				
			30-6-6-7 (13)				
633.5		END OF BORING					Water not observed while drilling.
31.0		Boring then grouted					
			35				



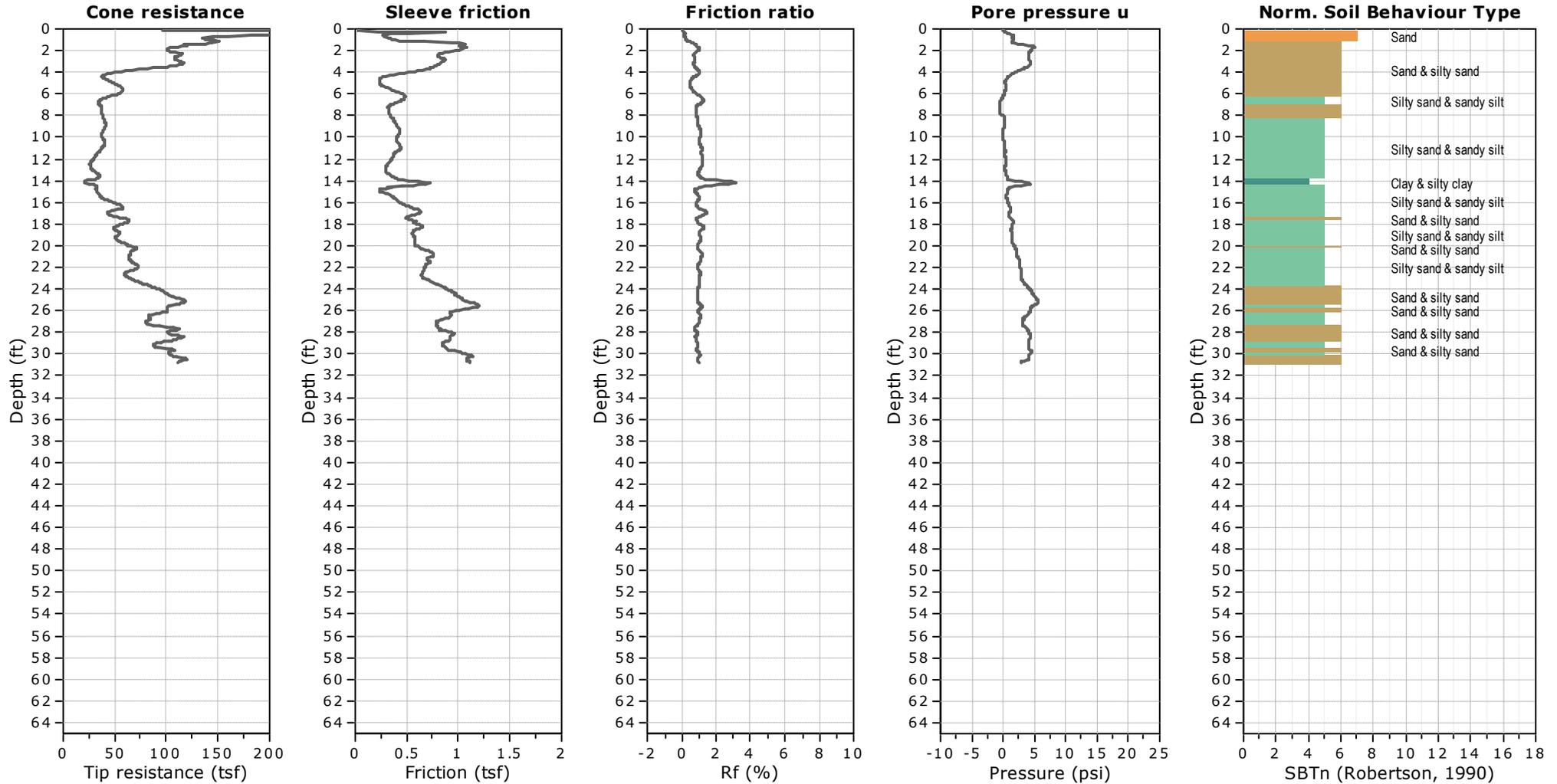
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-06

Total depth: 30.77 ft, Date: 4/8/2022
 Surface Elevation: 662.30 ft
 Coords: N 126408.696, E 453756.315
 Cone Type: 200727
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



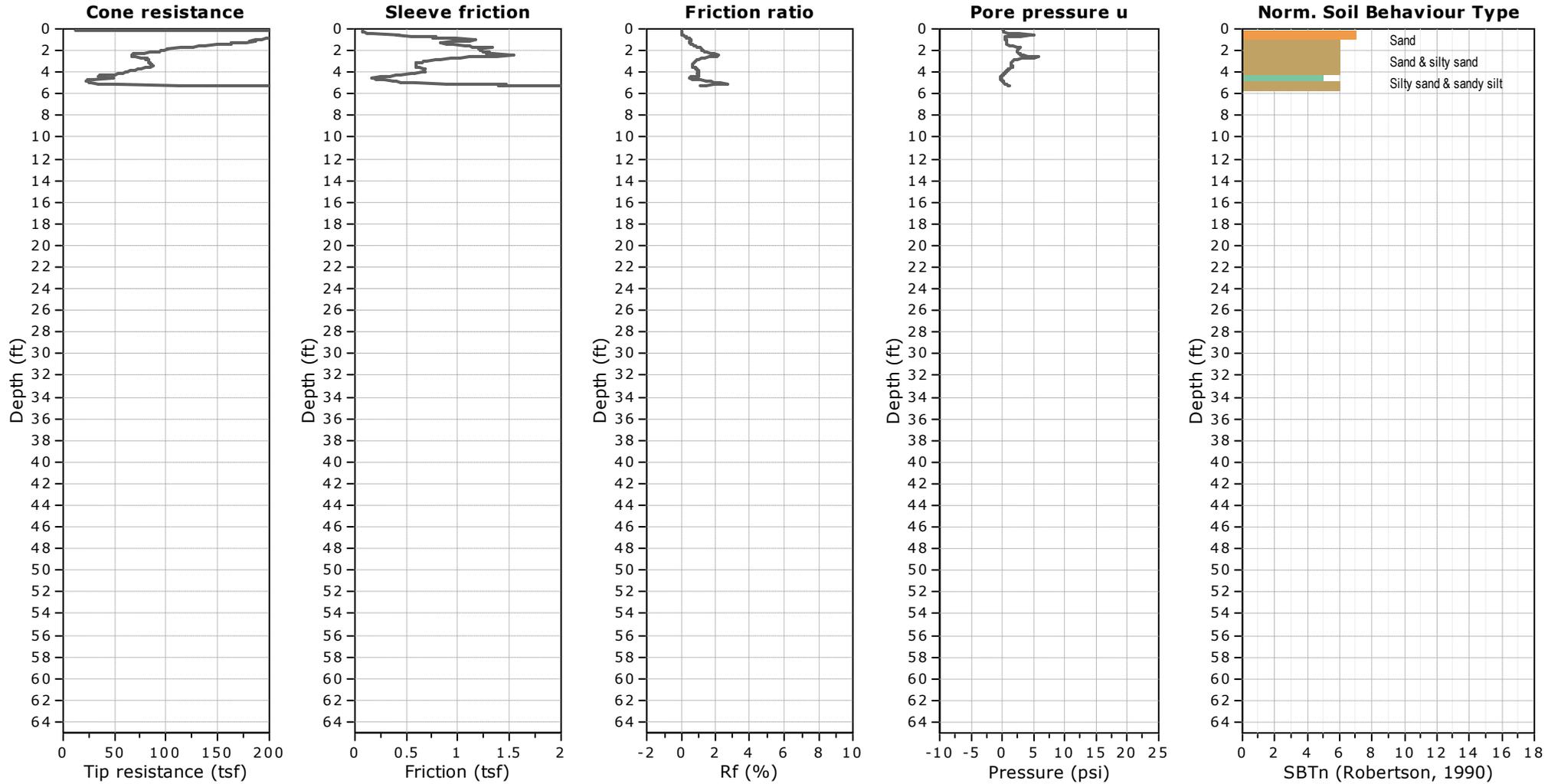
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-07

Total depth: 5.31 ft, Date: 4/8/2022
 Surface Elevation: 664.30 ft
 Coords: N 126412.690, E 453977.161
 Cone Type: 200727
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

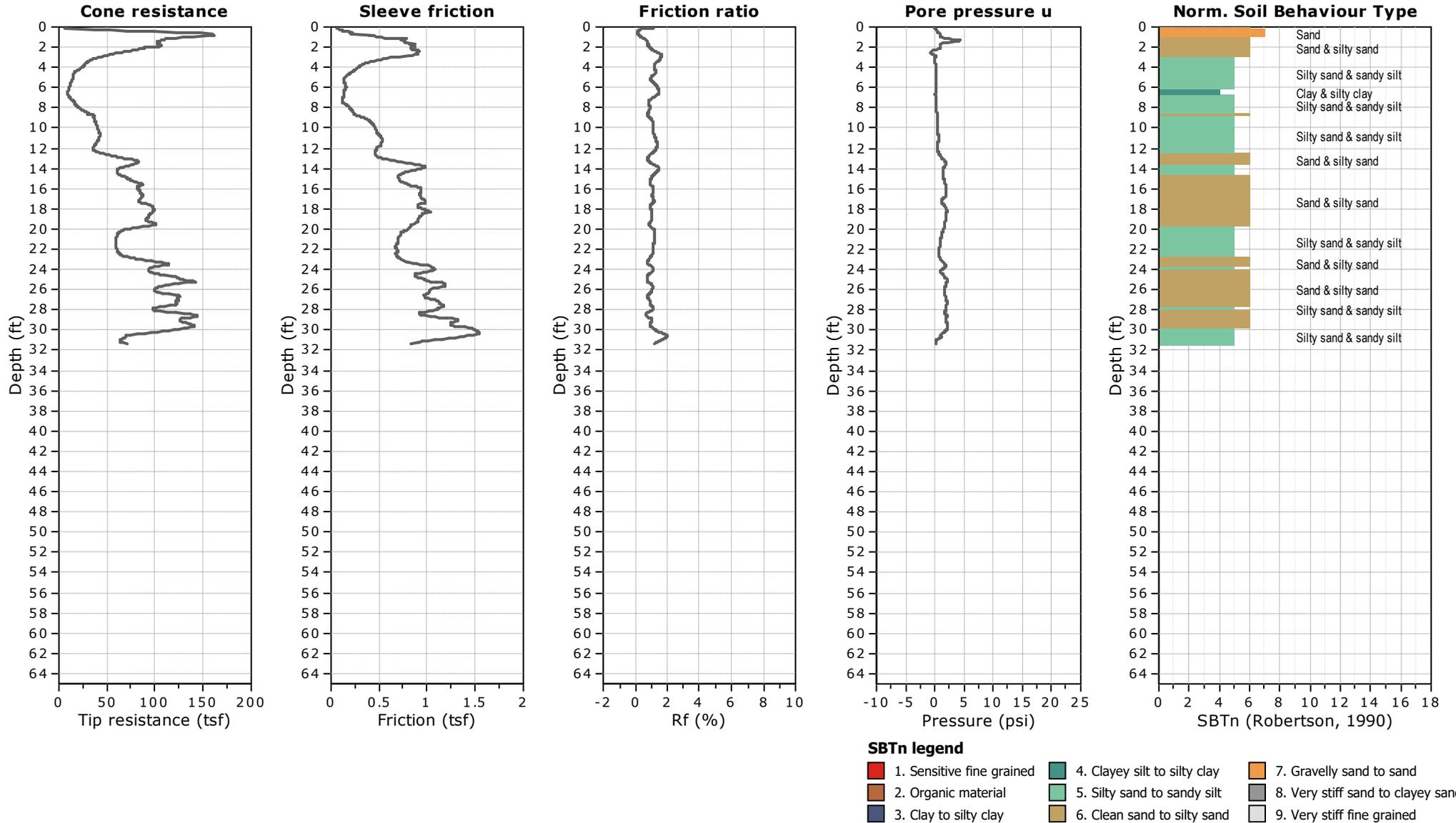


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

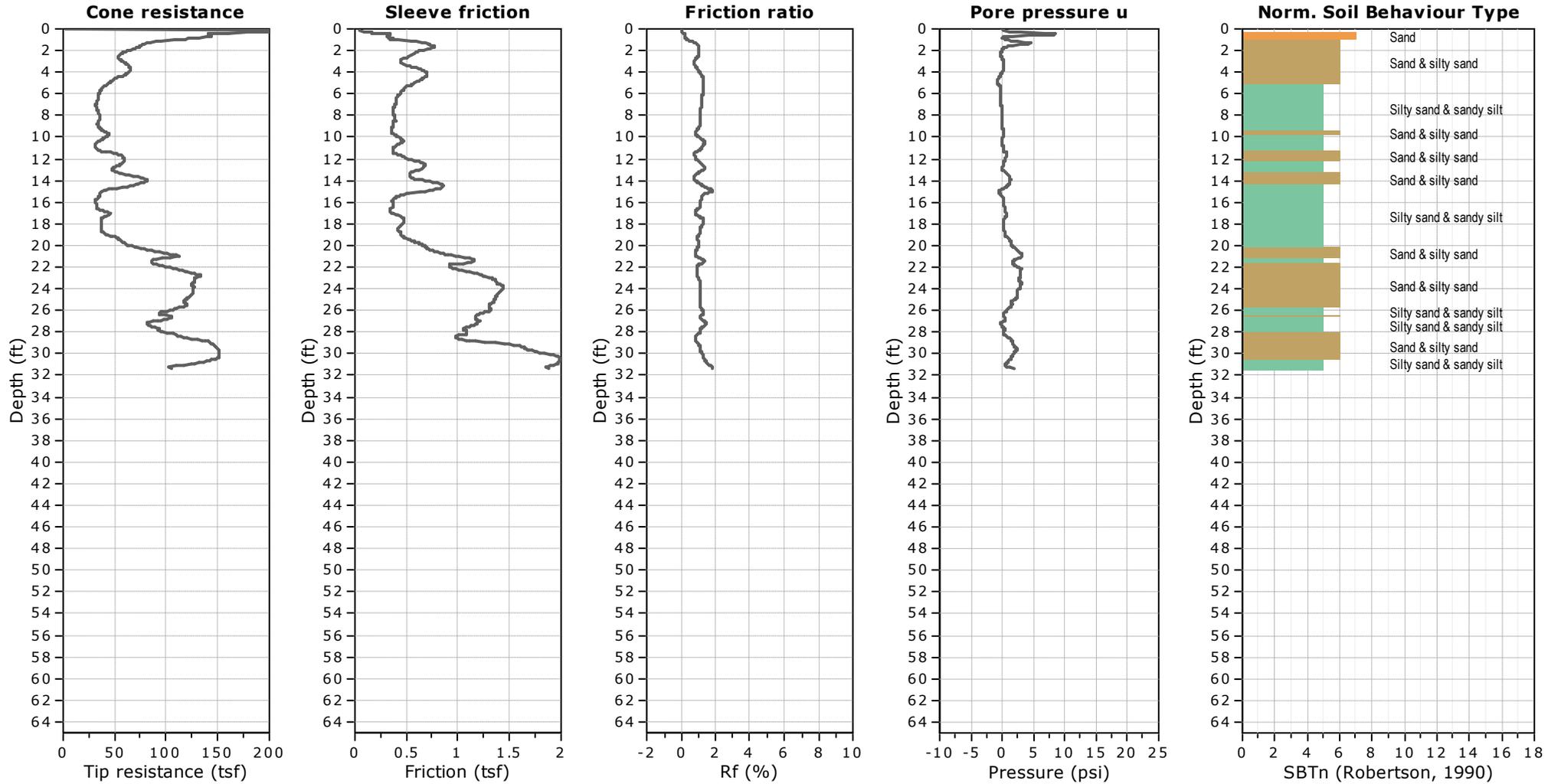
Location: La Crosse, WI Project Number: B2202146



Project: Copper Rocks Development

Location: La Crosse, WI

Project Number: B2202146

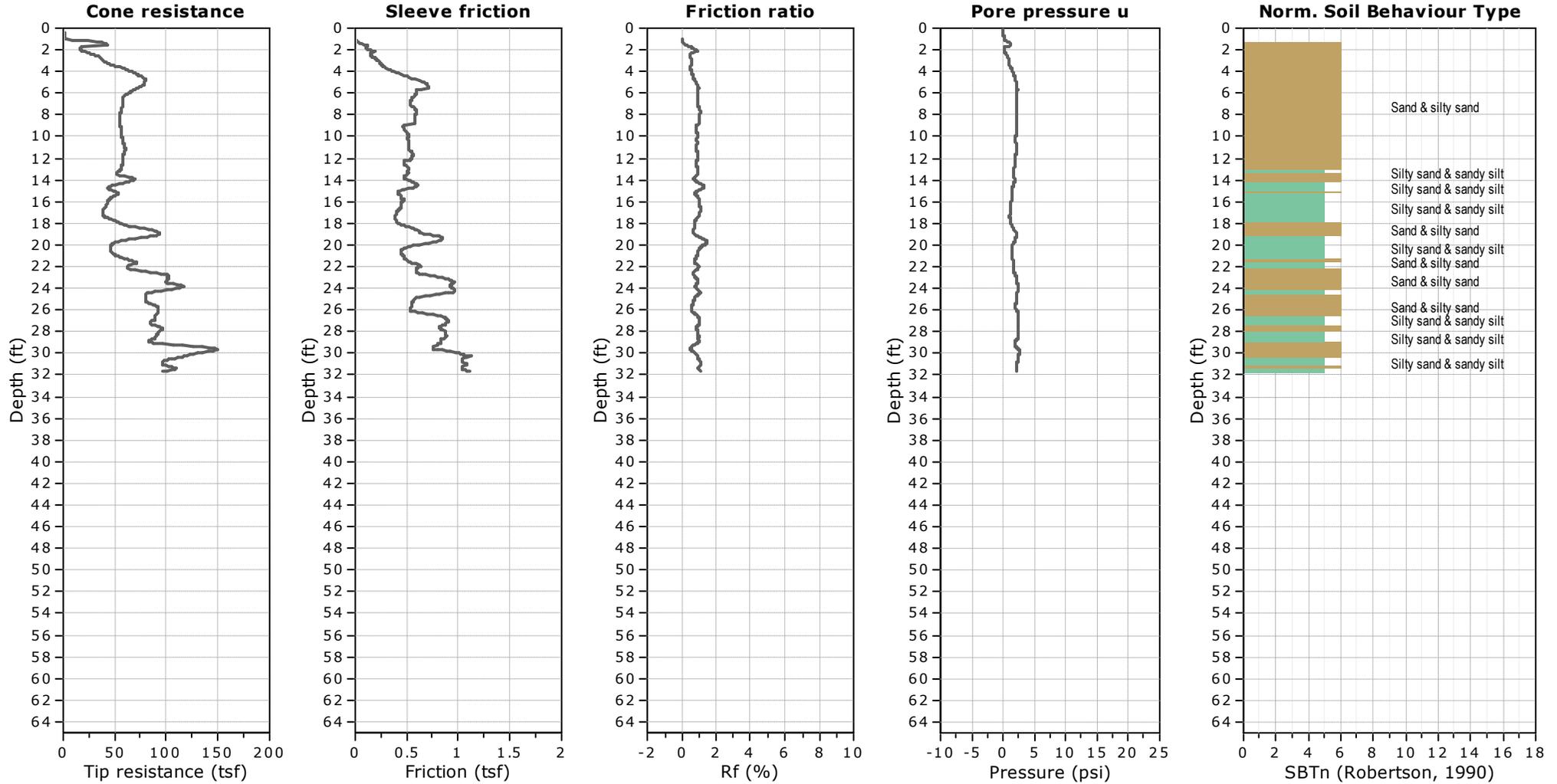


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

1. Sensitive fine grained	4. Clayey silt to silty clay	7. Gravelly sand to sand
2. Organic material	5. Silty sand to sandy silt	8. Very stiff sand to clayey sand
3. Clay to silty clay	6. Clean sand to silty sand	9. Very stiff fine grained



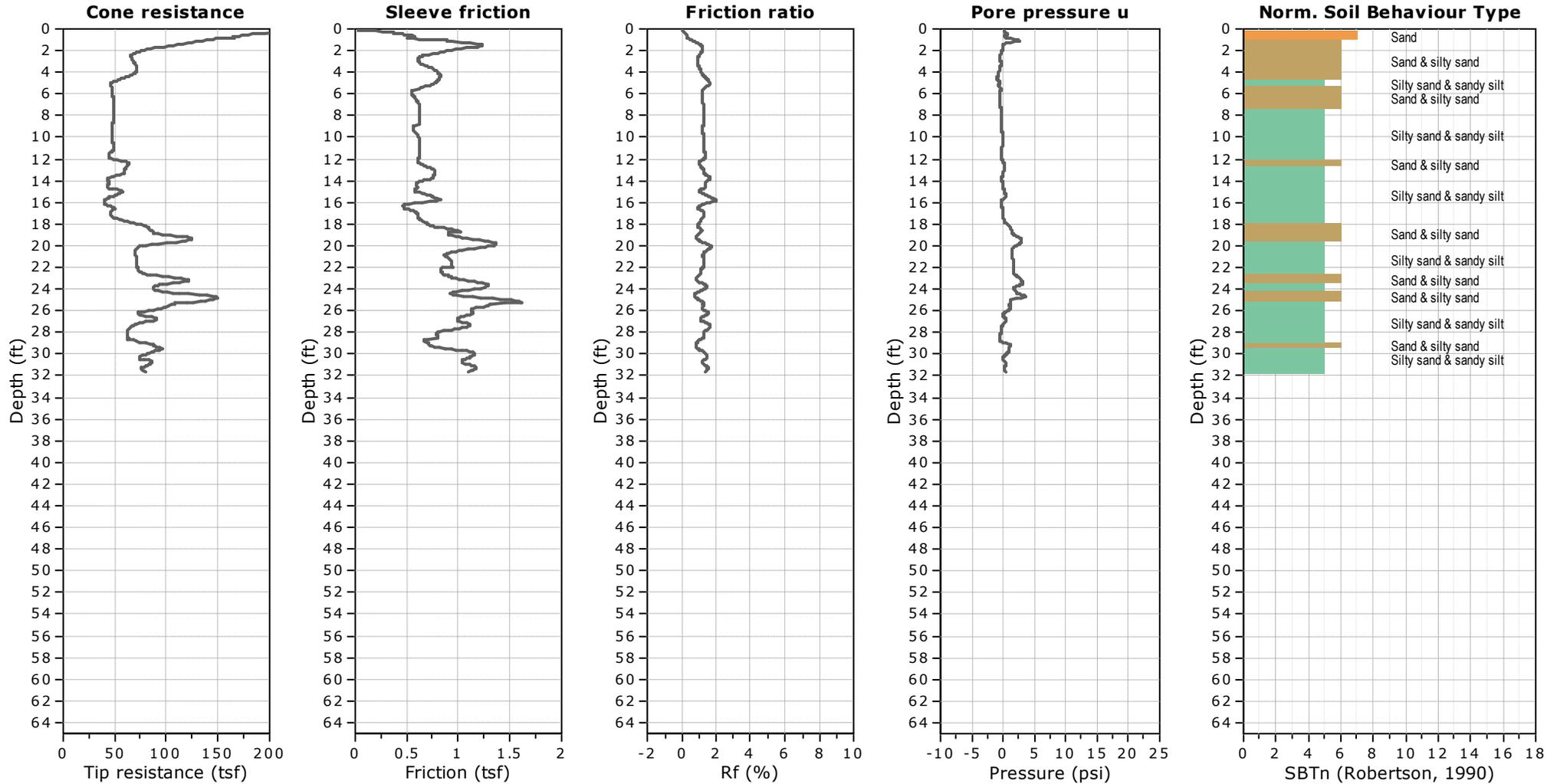
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-12

Total depth: 31.63 ft, Date: 4/8/2022
 Surface Elevation: 663.81 ft
 Coords: N 126122.632, E 453765.658
 Cone Type: 200724
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



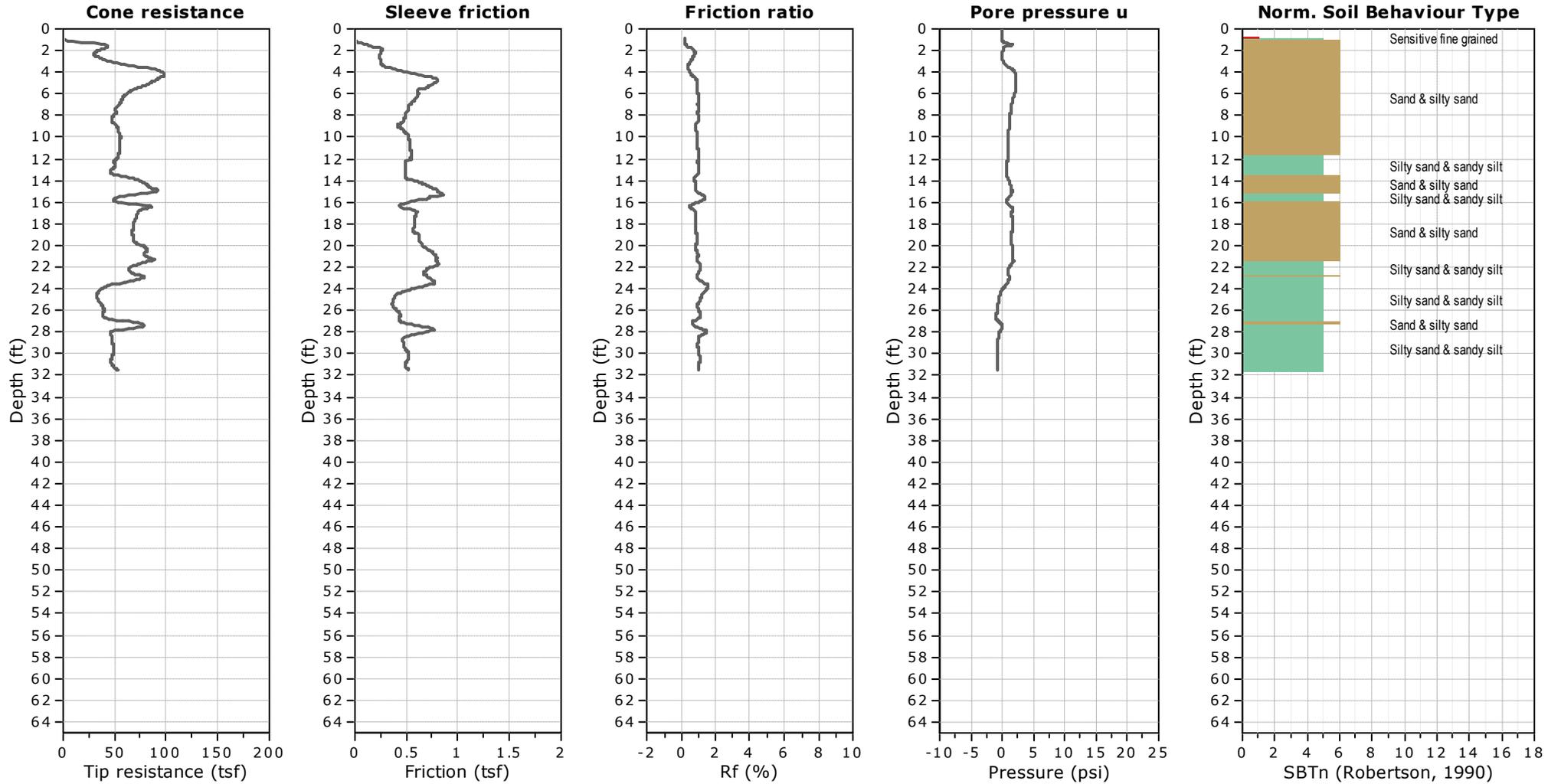
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-13

Total depth: 31.56 ft, Date: 4/9/2022
 Surface Elevation: 664.50 ft
 Coords: N 126170.618, E 453838.885
 Cone Type: 200724
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



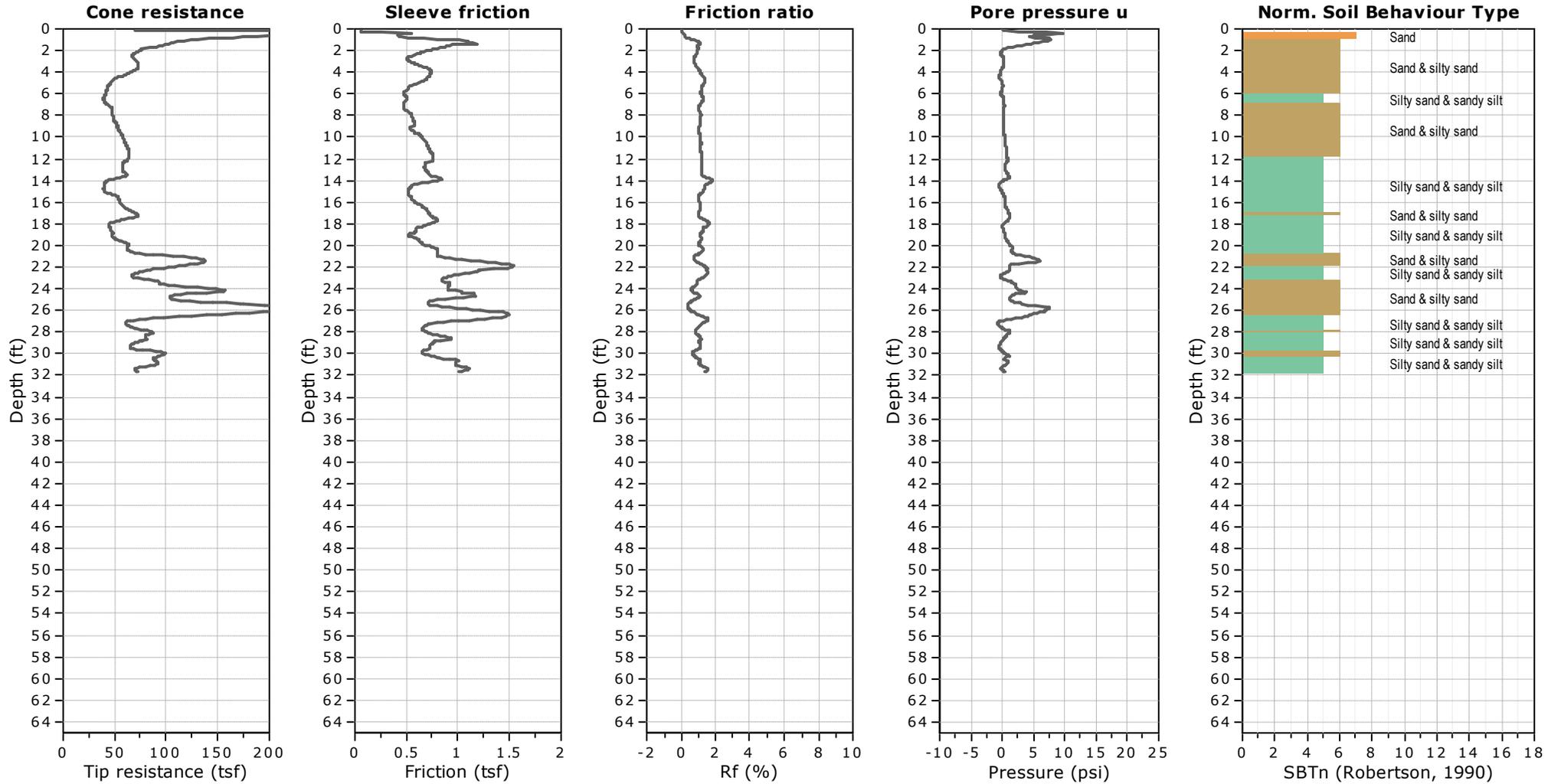
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-14

Total depth: 31.69 ft, Date: 4/8/2022
 Surface Elevation: 663.72 ft
 Coords: N 126123.229, E 453839.647
 Cone Type: 200726
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

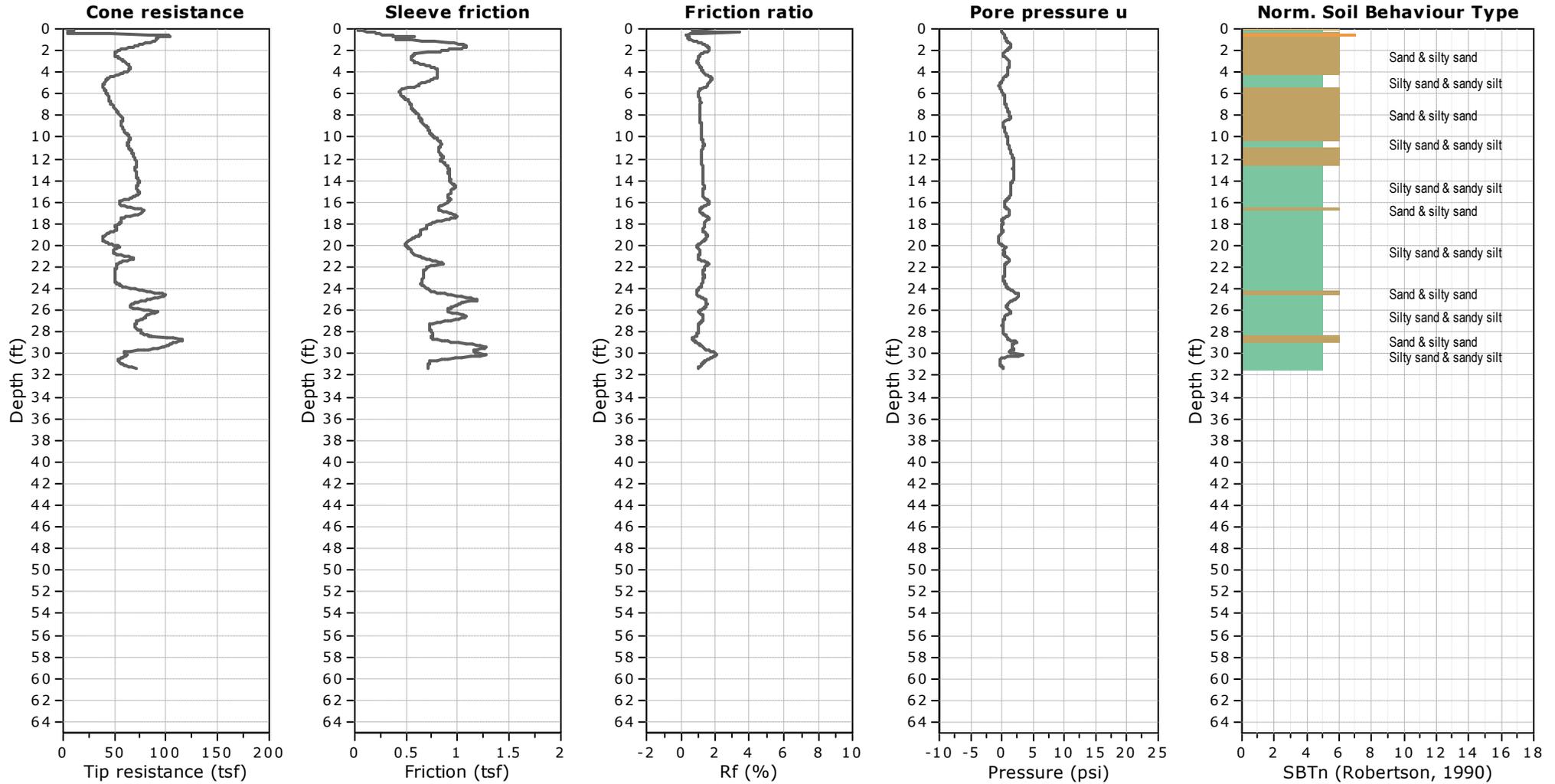


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

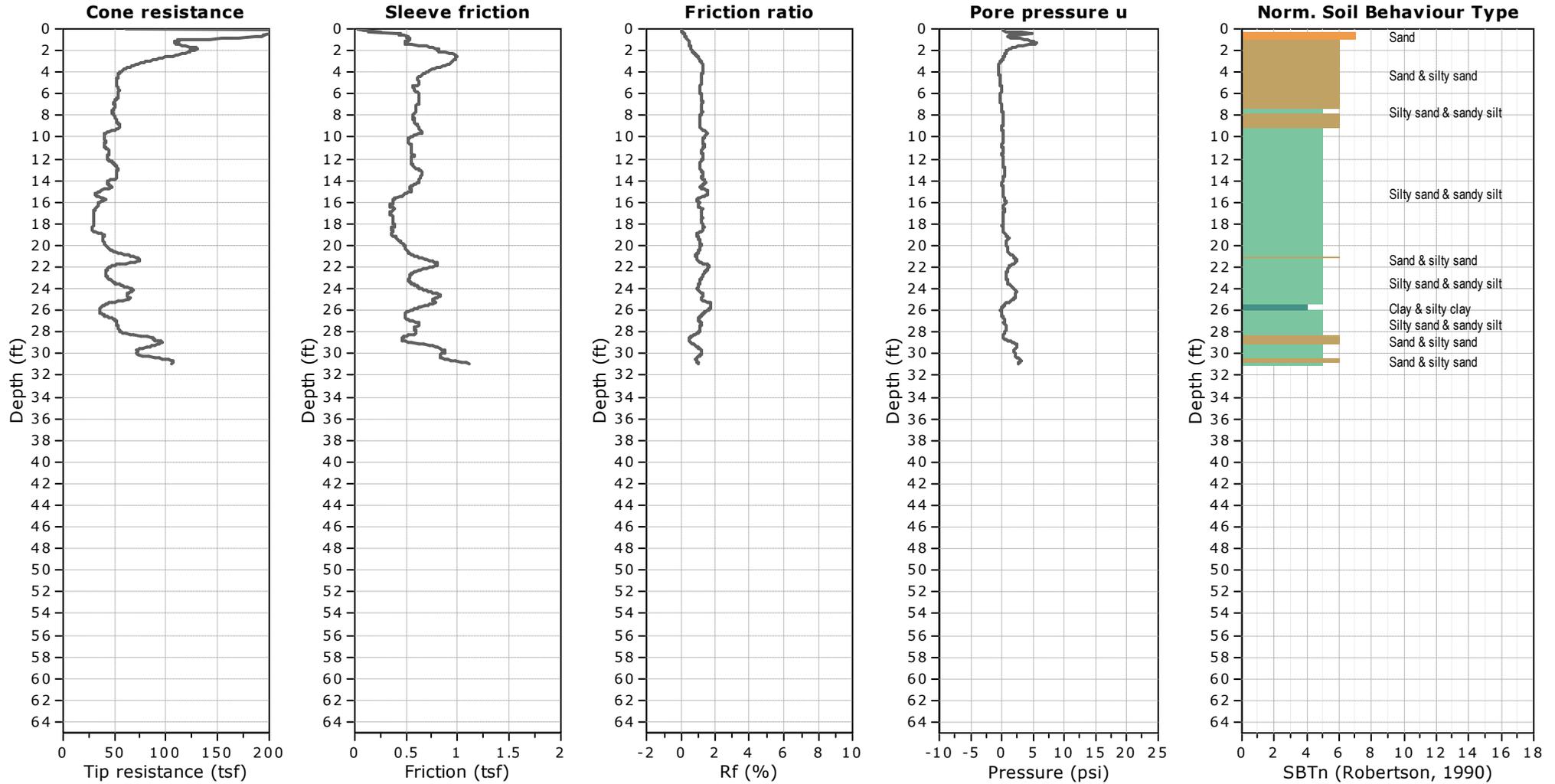


SBTn legend

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|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



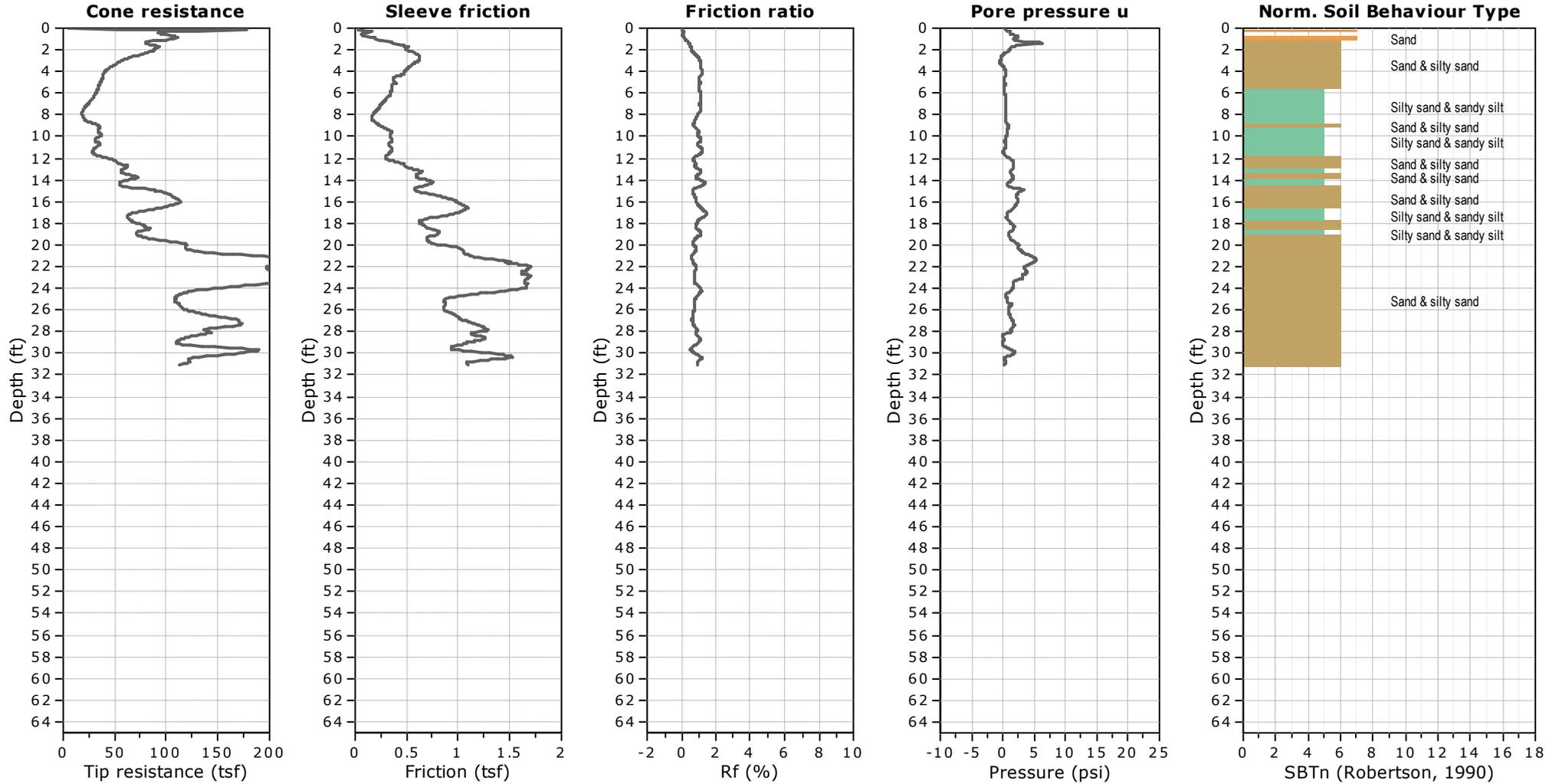
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-18

Total depth: 31.04 ft, Date: 4/8/2022
 Surface Elevation: 664.98 ft
 Coords: N 126014.262, E 453707.785
 Cone Type: 200727
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

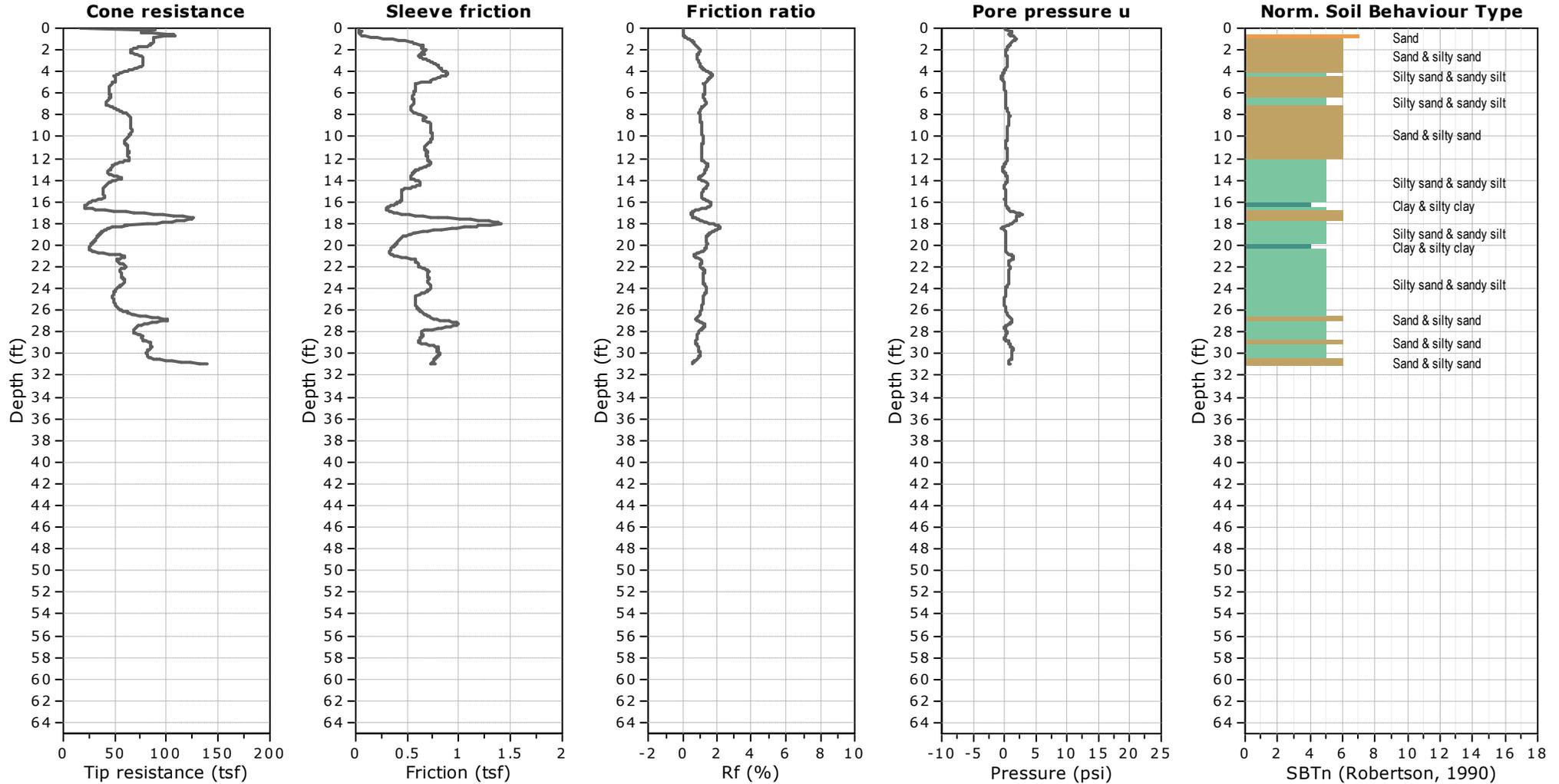


SBTn legend

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|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



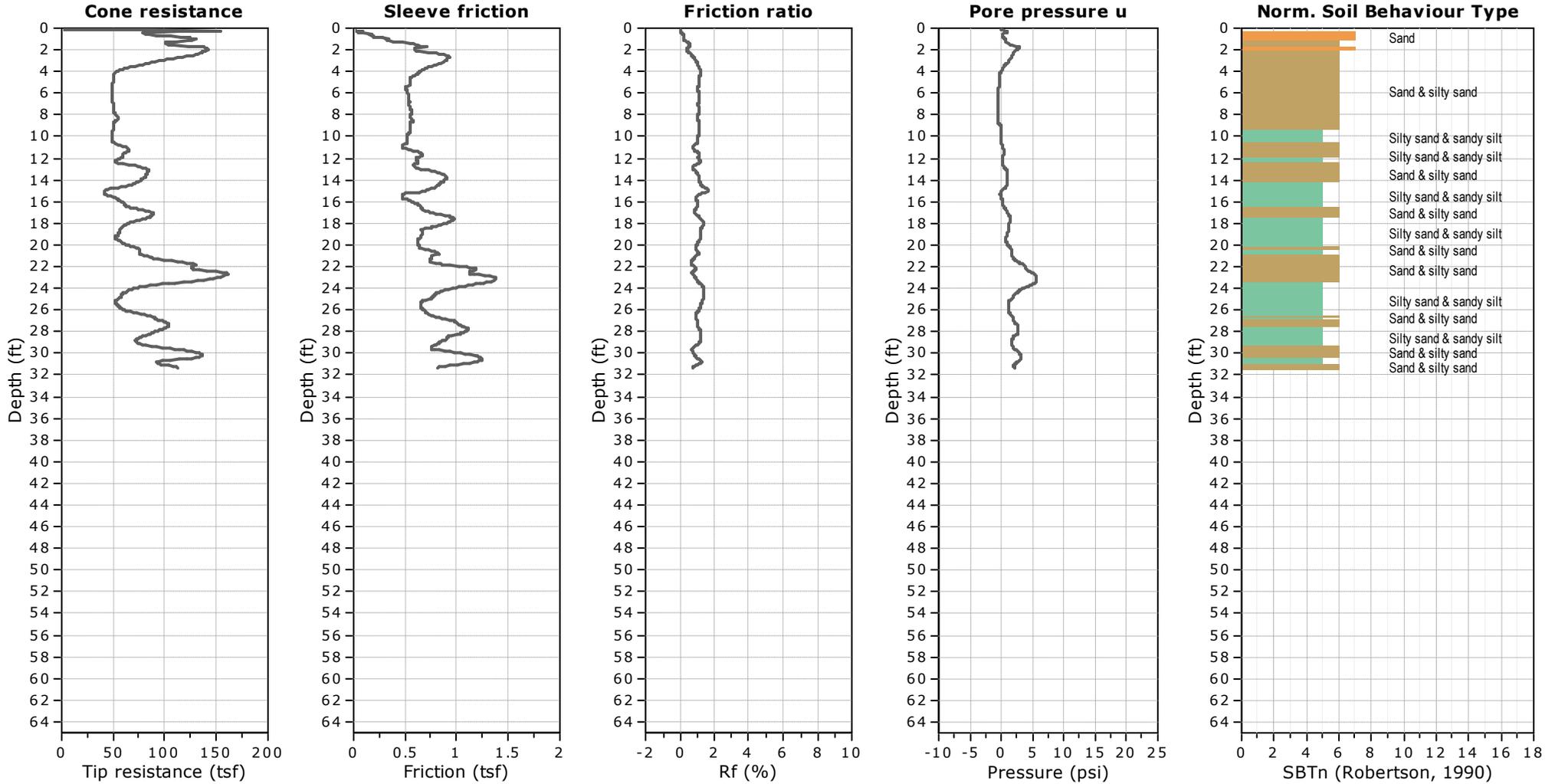
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-20

Total depth: 31.30 ft, Date: 4/8/2022
 Surface Elevation: 665.65 ft
 Coords: N 125978.434, E 453758.528
 Cone Type: 200726
 Cone Operator: Belch

Project: Copper Rocks Development

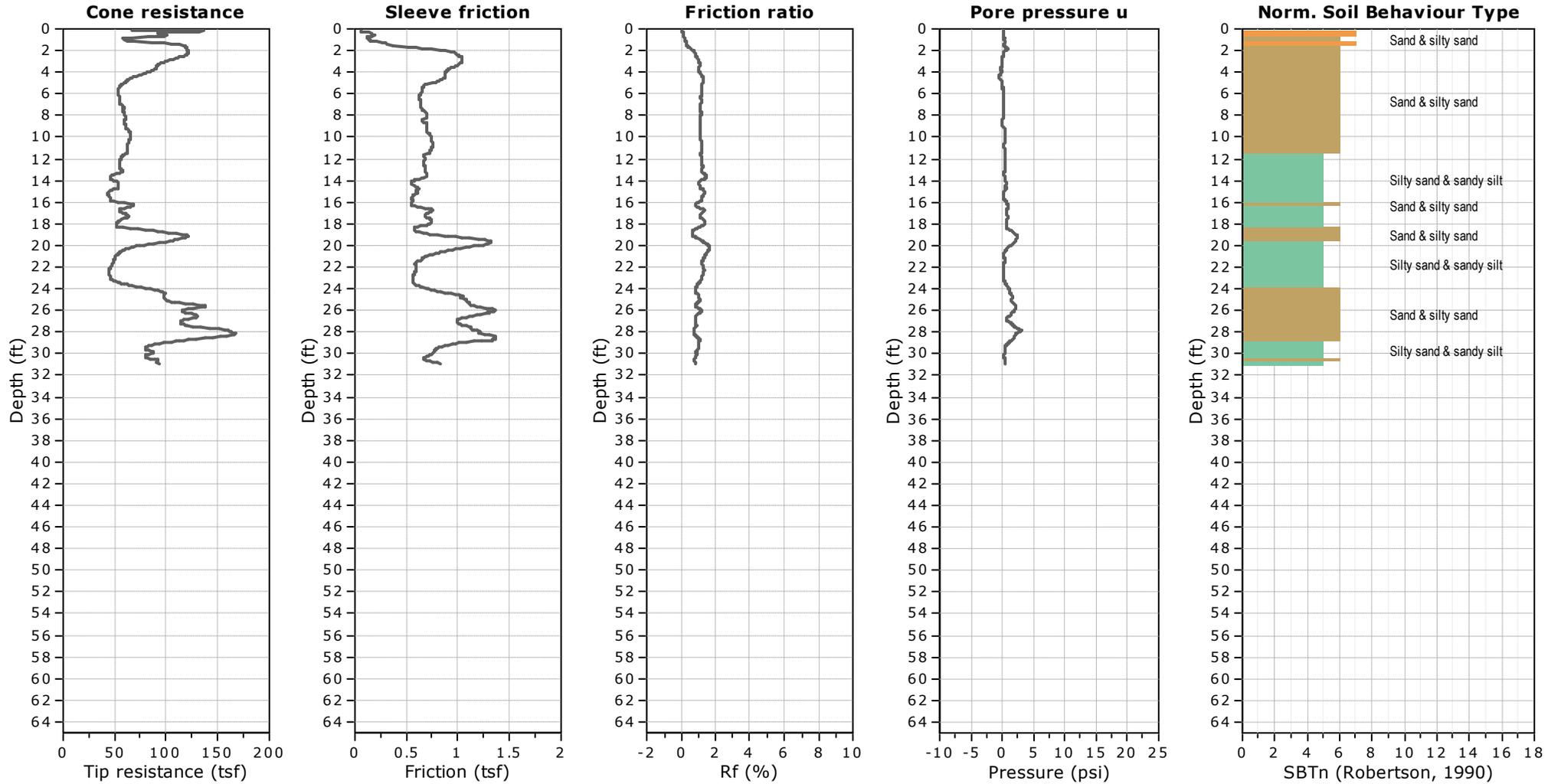
Location: La Crosse, WI Project Number: B2202146



- SBTn legend**
- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

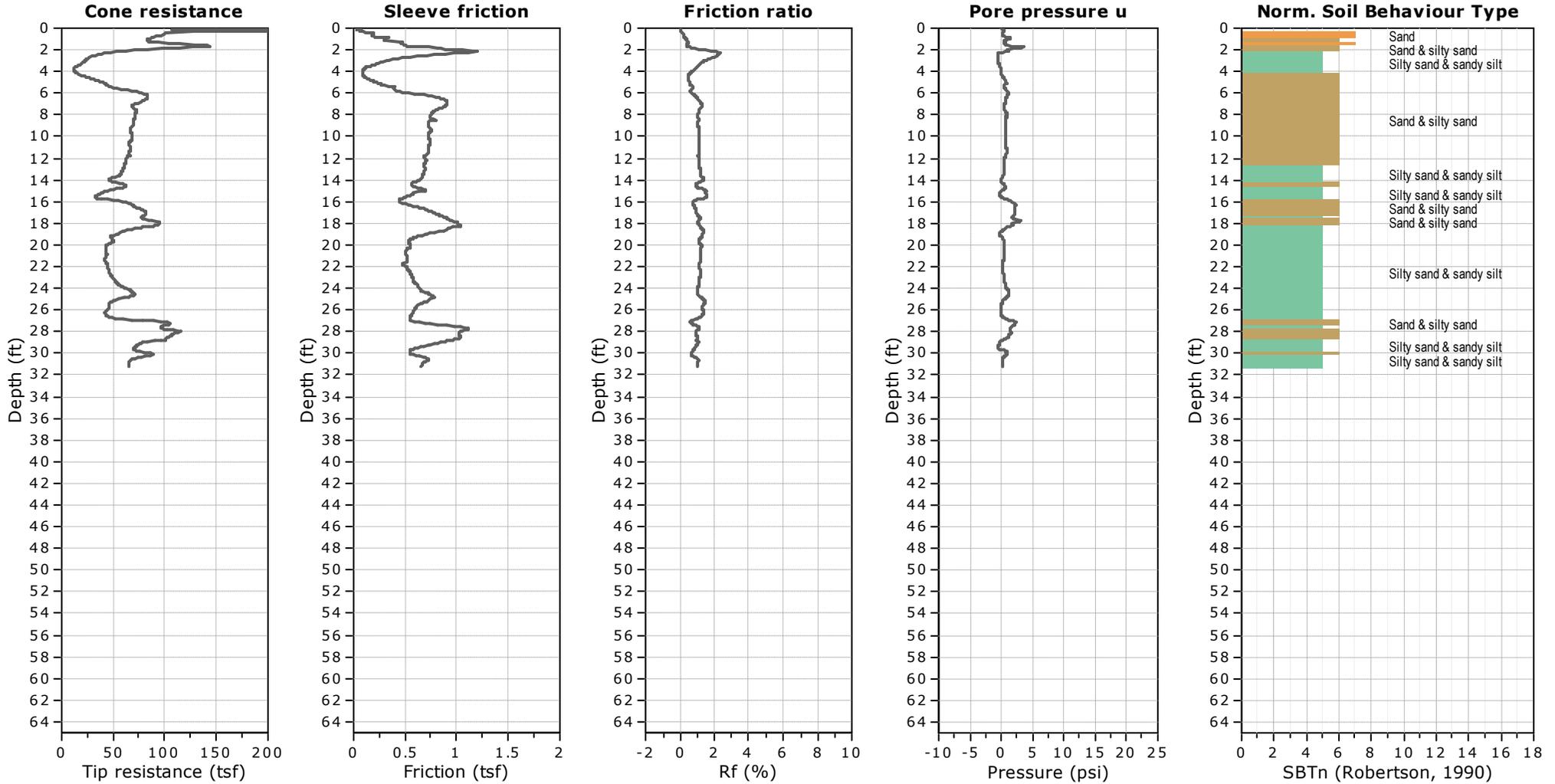


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

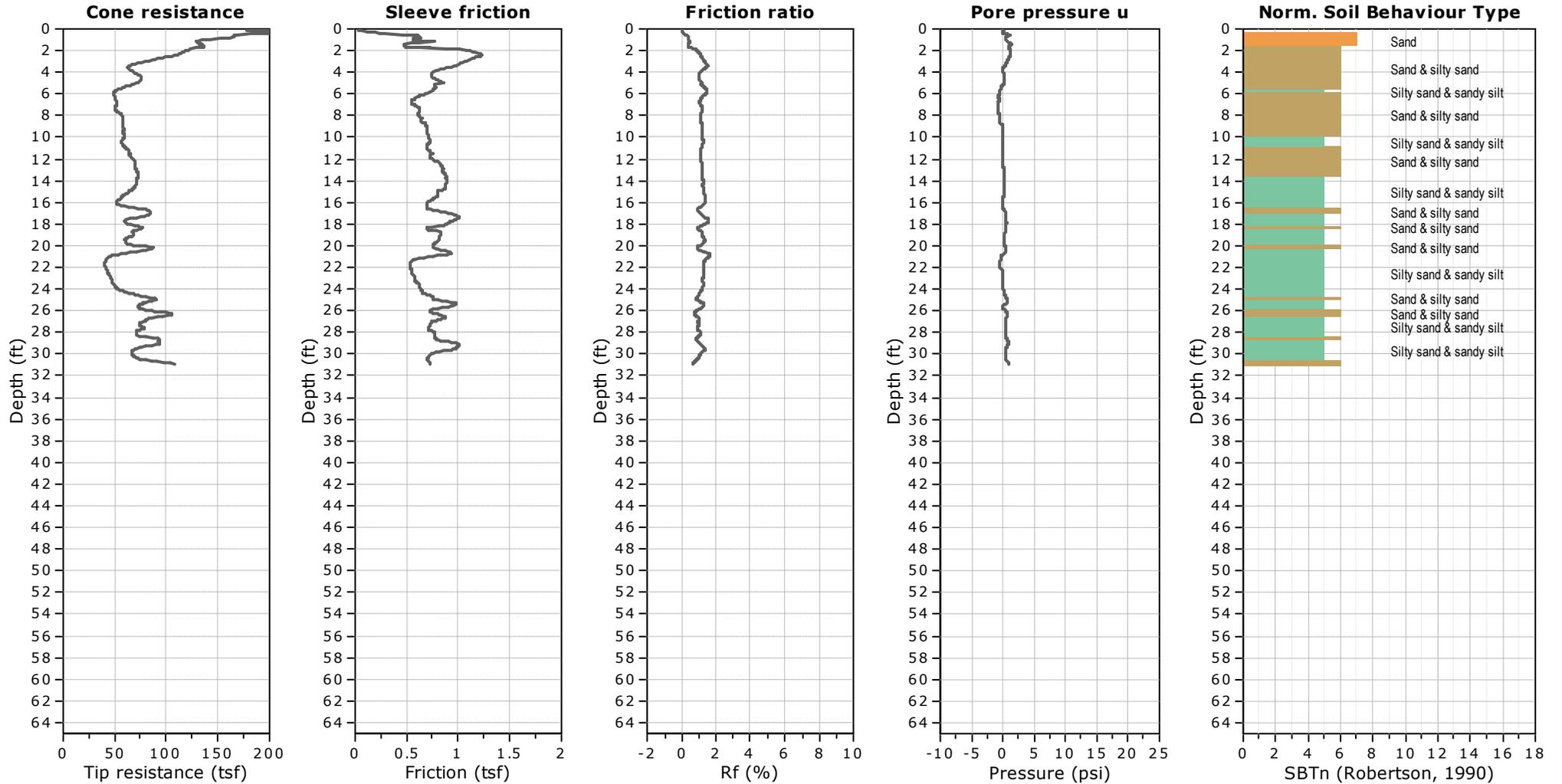


SBTn legend

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|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146



SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |



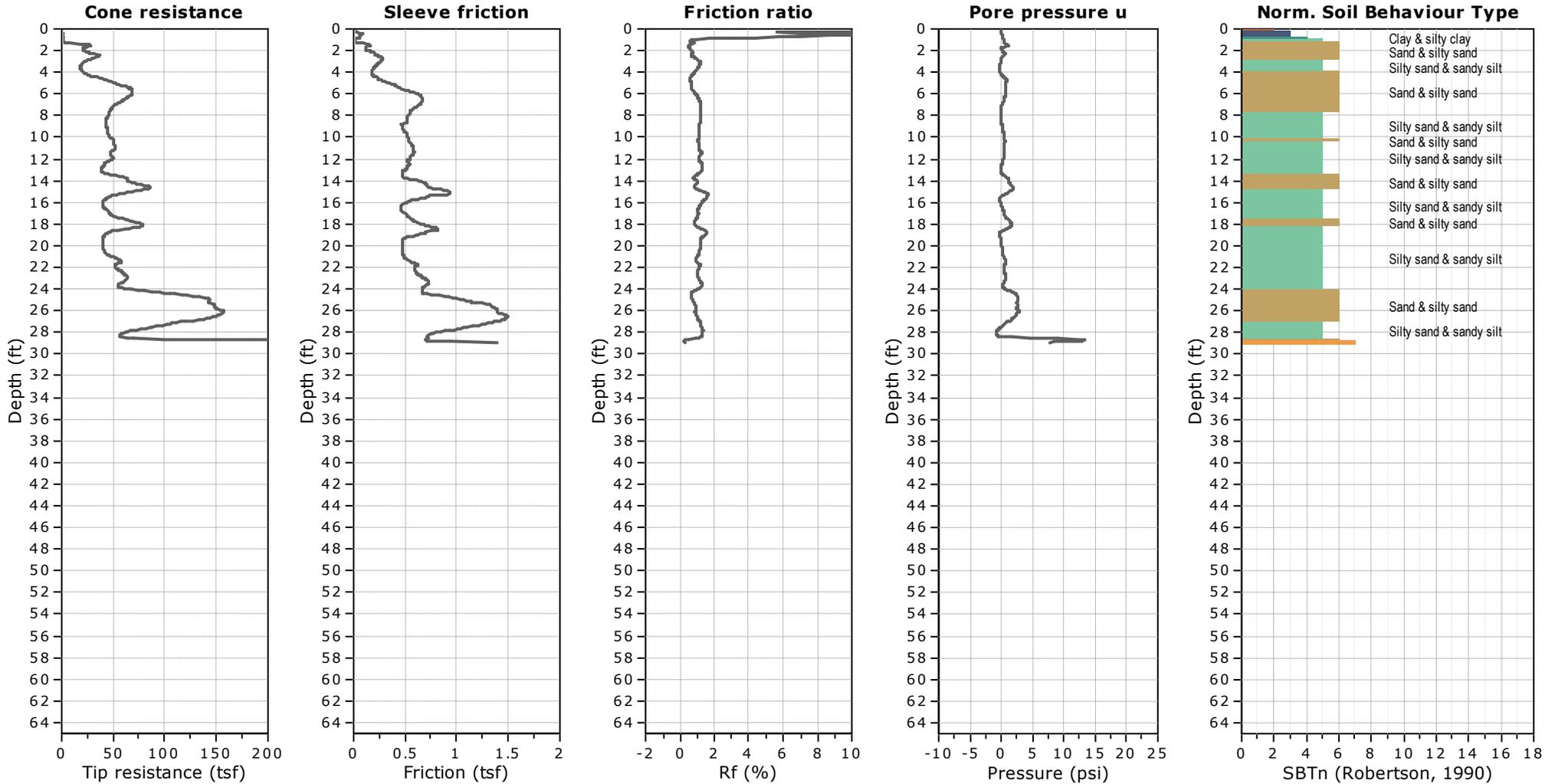
Braun Intertec Corporation
 11001 Hampshire Avenue S
 Minneapolis, MN 55438
 952.995.2000

CPT: CPT-25

Total depth: 28.94 ft, Date: 4/9/2022
 Surface Elevation: 664.45 ft
 Coords: N 126168.685, E 453688.706
 Cone Type: 200726
 Cone Operator: Belch

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

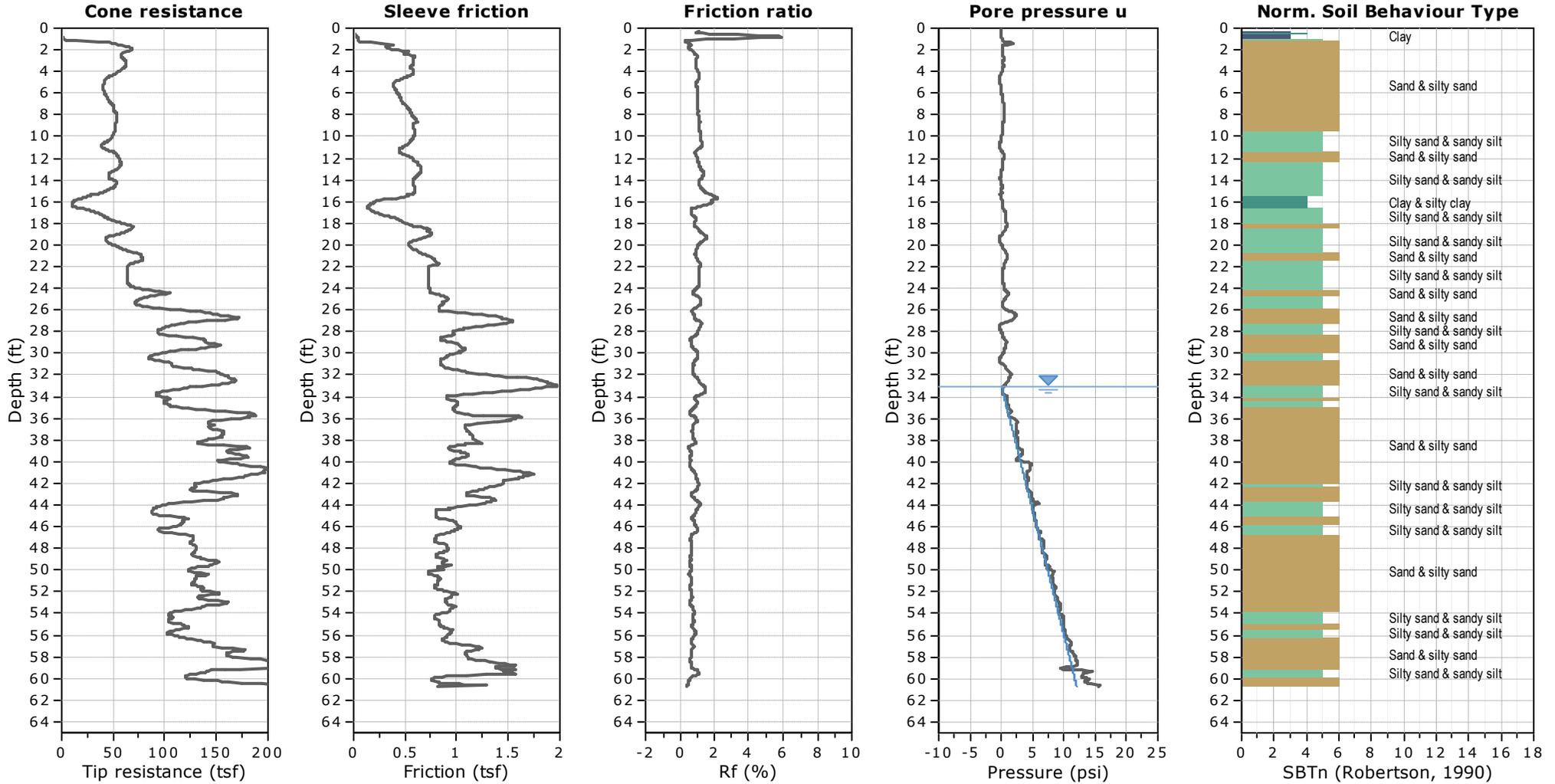


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

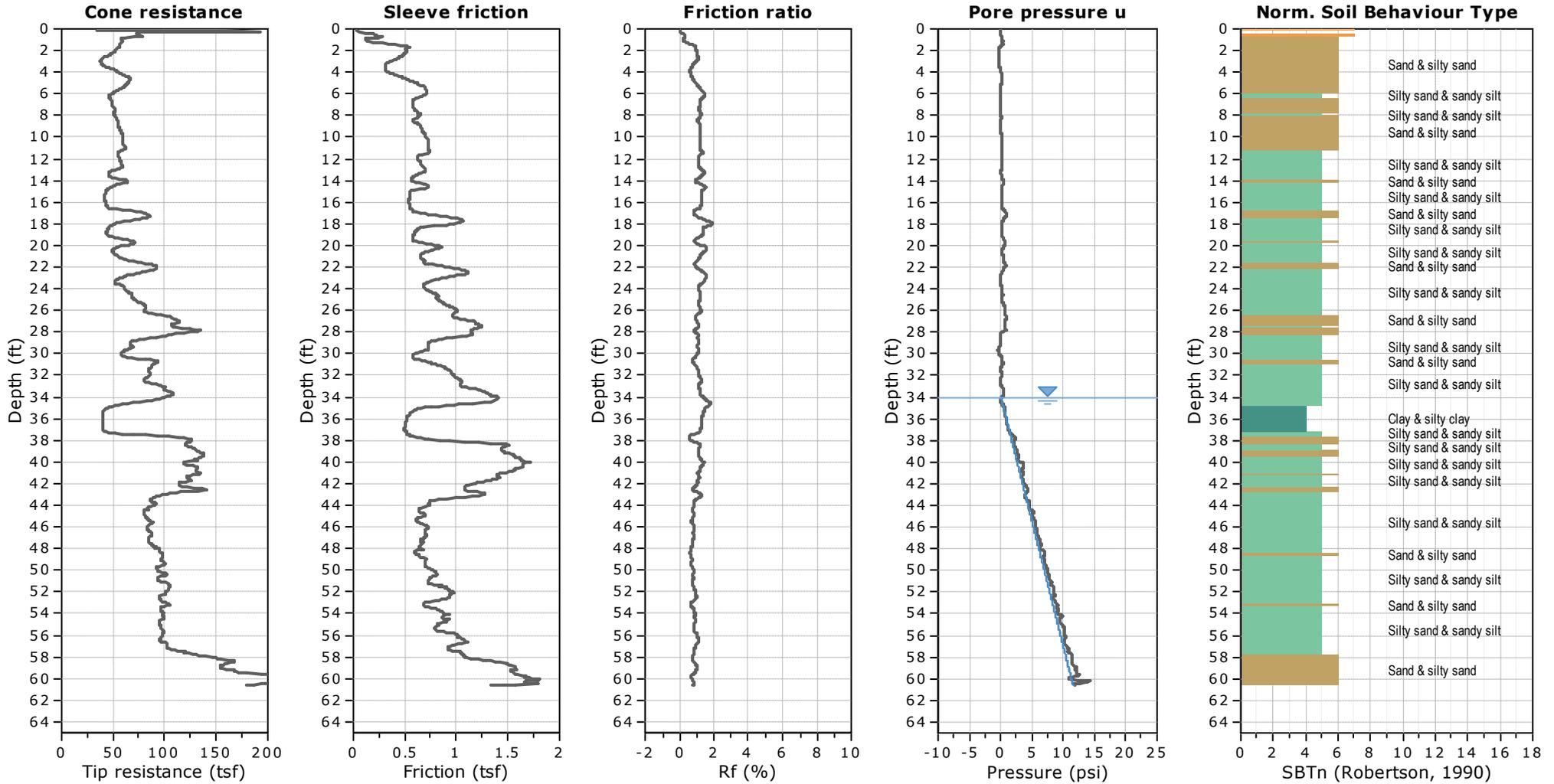


SBTn legend

1. Sensitive fine grained	4. Clayey silt to silty clay	7. Gravelly sand to sand
2. Organic material	5. Silty sand to sandy silt	8. Very stiff sand to clayey sand
3. Clay to silty clay	6. Clean sand to silty sand	9. Very stiff fine grained

Project: Copper Rocks Development

Location: La Crosse, WI Project Number: B2202146

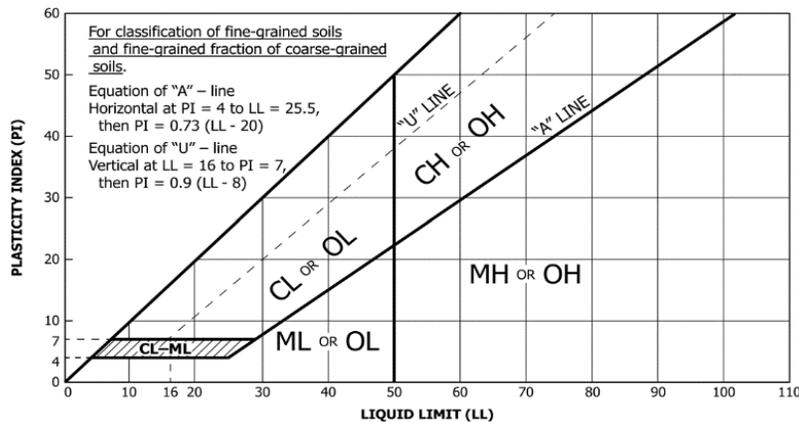


SBTn legend

- | | | |
|---------------------------|------------------------------|-----------------------------------|
| 1. Sensitive fine grained | 4. Clayey silt to silty clay | 7. Gravelly sand to sand |
| 2. Organic material | 5. Silty sand to sandy silt | 8. Very stiff sand to clayey sand |
| 3. Clay to silty clay | 6. Clean sand to silty sand | 9. Very stiff fine grained |

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests ^A				Soil Classification	
				Group Symbol	Group Name ^B
Coarse-grained Soils (more than 50% retained on No. 200 sieve)	Gravels (More than 50% of coarse fraction retained on No. 4 sieve)	Clean Gravels (Less than 5% fines ^C)	$C_u \geq 4$ and $1 \leq C_c \leq 3^D$	GW	Well-graded gravel ^E
		Gravels with Fines (More than 12% fines ^C)	Fines classify as ML or MH	GM	Silty gravel ^{EFG}
			Fines Classify as CL or CH	GC	Clayey gravel ^{EFG}
		Sands (50% or more coarse fraction passes No. 4 sieve)	Clean Sands (Less than 5% fines ^H)	$C_u \geq 6$ and $1 \leq C_c \leq 3^D$	SW
	Sands with Fines (More than 12% fines ^H)		$C_u < 6$ and/or ($C_c < 1$ or $C_c > 3$) ^D	SP	Poorly graded sand ^I
			Fines classify as ML or MH	SM	Silty sand ^{FGI}
	Fines classify as CL or CH		SC	Clayey sand ^{FGI}	
	Fine-grained Soils (50% or more passes the No. 200 sieve)	Silts and Clays (Liquid limit less than 50)	Inorganic	PI > 7 and plots on or above "A" line ^J	CL
PI < 4 or plots below "A" line ^J				ML	Silt ^{KLM}
Organic			Liquid Limit – oven dried	OH	Organic clay ^{KLMN}
			Liquid Limit – not dried <0.75		
Silts and Clays (Liquid limit 50 or more)		Inorganic	PI plots on or above "A" line	CH	Fat clay ^{KLM}
			PI plots below "A" line	MH	Elastic silt ^{KLM}
		Organic	Liquid Limit – oven dried	OH	Organic clay ^{KLMN}
			Liquid Limit – not dried <0.75		
Highly Organic Soils	Primarily organic matter, dark in color, and organic odor			PT	Peat

- A. Based on the material passing the 3-inch (75-mm) sieve.
- B. If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.
- C. Gravels with 5 to 12% fines require dual symbols:
GW-GM well-graded gravel with silt
GW-GC well-graded gravel with clay
GP-GM poorly graded gravel with silt
GP-GC poorly graded gravel with clay
- D. $C_u = D_{60} / D_{10}$ $C_c = (D_{30})^2 / (D_{10} \times D_{60})$
- E. If soil contains $\geq 15\%$ sand, add "with sand" to group name.
- F. If fines classify as CL-ML, use dual symbol GC-GM or SC-SM.
- G. If fines are organic, add "with organic fines" to group name.
- H. Sands with 5 to 12% fines require dual symbols:
SW-SM well-graded sand with silt
SW-SC well-graded sand with clay
SP-SM poorly graded sand with silt
SP-SC poorly graded sand with clay
- I. If soil contains $\geq 15\%$ gravel, add "with gravel" to group name.
- J. If Atterberg limits plot in hatched area, soil is CL-ML, silty clay.
- K. If soil contains 15 to < 30% plus No. 200, add "with sand" or "with gravel", whichever is predominant.
- L. If soil contains $\geq 30\%$ plus No. 200, predominantly sand, add "sandy" to group name.
- M. If soil contains $\geq 30\%$ plus No. 200 predominantly gravel, add "gravelly" to group name.
- N. $PI \geq 4$ and plots on or above "A" line.
- O. $PI < 4$ or plots below "A" line.
- P. PI plots on or above "A" line.
- Q. PI plots below "A" line.



DD Dry density, pcf
WD Wet density, pcf
P200 % Passing #200 sieve

Laboratory Tests
OC Organic content, %
q_p Pocket penetrometer strength, tsf
MC Moisture content, %
q_u Unconfined compression test, tsf

LL Liquid limit
PL Plastic limit
PI Plasticity index

Particle Size Identification

- Boulders..... over 12"
- Cobbles..... 3" to 12"
- Gravel
Coarse..... 3/4" to 3" (19.00 mm to 75.00 mm)
Fine..... No. 4 to 3/4" (4.75 mm to 19.00 mm)
- Sand
Coarse..... No. 10 to No. 4 (2.00 mm to 4.75 mm)
Medium..... No. 40 to No. 10 (0.425 mm to 2.00 mm)
Fine..... No. 200 to No. 40 (0.075 mm to 0.425 mm)
- Silt..... No. 200 (0.075 mm) to .005 mm
- Clay..... < .005 mm

Relative Proportions^{L-M}

- trace..... 0 to 5%
- little..... 6 to 14%
- with..... $\geq 15\%$

Inclusion Thicknesses

- lens..... 0 to 1/8"
- seam..... 1/8" to 1"
- layer..... over 1"

Apparent Relative Density of Cohesionless Soils

- Very loose 0 to 4 BPF
- Loose 5 to 10 BPF
- Medium dense..... 11 to 30 BPF
- Dense..... 31 to 50 BPF
- Very dense..... over 50 BPF

Consistency of Cohesive Soils Blows Per Foot Approximate Unconfined Compressive Strength

- Very soft..... 0 to 1 BPF..... < 0.25 tsf
- Soft..... 2 to 4 BPF..... 0.25 to 0.5 tsf
- Medium..... 5 to 8 BPF 0.5 to 1 tsf
- Stiff..... 9 to 15 BPF..... 1 to 2 tsf
- Very Stiff..... 16 to 30 BPF..... 2 to 4 tsf
- Hard..... over 30 BPF..... > 4 tsf

Moisture Content:

- Dry:** Absence of moisture, dusty, dry to the touch.
- Moist:** Damp but no visible water.
- Wet:** Visible free water, usually soil is below water table.

Drilling Notes:

Blows/N-value: Blows indicate the driving resistance recorded for each 6-inch interval. The reported N-value is the blows per foot recorded by summing the second and third interval in accordance with the Standard Penetration Test, ASTM D1586.

Partial Penetration: If the sampler could not be driven through a full 6-inch interval, the number of blows for that partial penetration is shown as #/x" (i.e. 50/2"). The N-value is reported as "REF" indicating refusal.

Recovery: Indicates the inches of sample recovered from the sampled interval. For a standard penetration test, full recovery is 18", and is 24" for a thinwall/shelby tube sample.

WOH: Indicates the sampler penetrated soil under weight of hammer and rods alone; driving not required.

WOR: Indicates the sampler penetrated soil under weight of rods alone; hammer weight and driving not required.

Water Level: Indicates the water level measured by the drillers either while drilling (∇), at the end of drilling (\blacktriangledown), or at some time after drilling (∇).

This document accompanies Cone Penetration Test Data. Please refer to the Boring Log Descriptive Terminology Sheet for information relevant to conventional v. Cone Penetration Test (CPT) boring logs.

Cone Penetration Test (CPT) sounding was performed in general accordance with ASTM D 5778 and consistent with the ordinary degree of care and skill used by reputable practitioners of the same discipline currently practicing under similar circumstances and in the same locality. No warranty, express or implied, is made.

Since subsurface conditions outside each CPT sounding are unknown, and soil, rock and pore water conditions cannot be relied upon to be consistent or uniform, no warranty is made that conditions adjacent to each sounding will necessarily be the same as or similar to those shown on this log. Braun Intertec is not responsible for any interpretations, assumptions, projections or interpolations of the data made by others.

Pore water pressure measurements and subsequently interpreted water levels shown on CPT logs should be used with discretion as they represent dynamic conditions. Dynamic pore water pressure measurements may deviate substantially from hydrostatic conditions, especially in cohesive soils. In cohesive soils, pore water pressures often take an extended time to reach equilibrium and thus reflect their true field level. Groundwater levels can be expected to vary both seasonally and yearly. The absence of notations on this log regarding water does not necessarily mean that groundwater is not present to the depth explored, or that a contractor will not encounter groundwater during excavation or construction.

CPT Terminology

- CPT..... Cone Penetration Test
- CPTU..... Cone Penetration Test with Pore Pressure measurements
- SCPTU..... Cone Penetration Test with Pore Pressure and Seismic measurements
- Piezocone...Common name for CPTU test
- Q_T normalized cone resistance
- B_q pore pressure ratio
- F_r normalized friction ratio
- σ_{vo} overburden pressure
- σ'_{vo} effective overburden pressure

q_T TIP RESISTANCE

The resistance at the cone corrected for water pressure. Data is from cone with a 60 degree apex angle and a 15 cm² end area.

f_s SLEEVE FRICTION RESISTANCE

The resistance along the sleeve of the penetrometer.

F_r Friction Ratio

Ratio of sleeve friction over corrected tip resistance.
 $F_r = f_s/q_t$

V_s Shear Wave Velocity

A measure of the speed at which a seismic wave travels through soil/rock.

SBT SOIL BEHAVIOR TYPE

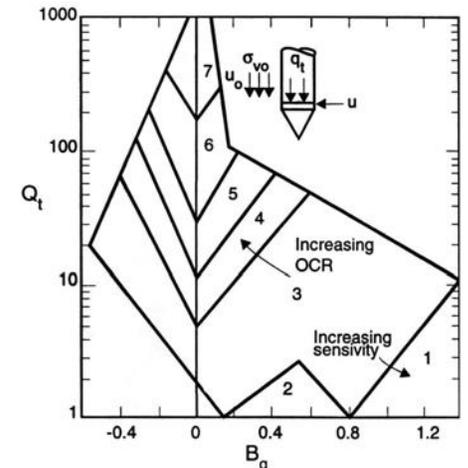
Soil Identification methods for the Cone Penetration Test are based on correlation charts developed from observations of CPT data and conventional borings. Please note that these identification charts are provided as a guide to Soil Behavior Type and should not be used to infer a soil classification based on grain size distribution.

Engineering judgment and comparison with augered borings is especially important in the proper interpretation of CPT data in certain geo-materials.

The following charts provide a Soil Behavior Type for the CPT Data. The numbers corresponding to different regions on the charts represent the following soil behavior types:

Soil Behavior Type based on pore pressure

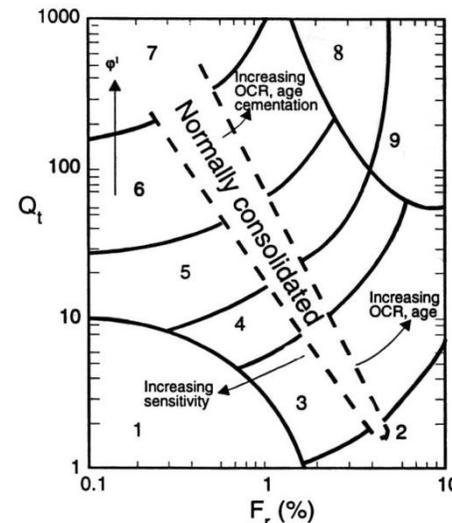
Soil Behavior Type based on pore pressure



$$Q_t = \frac{q_t - \sigma_{vo}}{\sigma'_{vo}} \quad B_q = \frac{u_2 - u_o}{q_t - \sigma_{vo}}$$

Robertson CPT 1990

- 1 Sensitive, Fine Grained
- 2 Organic Soils - Peat
- 3 Clays - Clay to Silty Clay
- 4 Silt Mixtures - Clayey Silt to Silty Clay
- 5 Sand Mixtures - Silty Sand to Sandy Silt
- 6 Sands - Clean Sand to Silty Sand
- 7 Gravelly Sand to Sand
- 8 Very Stiff Sand to Clayey Sand
- 9 Very Stiff, Fine Grained

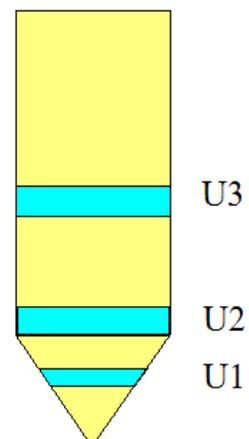


$$Q_t = \frac{q_t - \sigma_{vo}}{\sigma'_{vo}} \quad F_r = \frac{f_s}{q_t - \sigma_{vo}} \times 100\%$$

Robertson CPT 1990

U2 PORE WATER MEASUREMENTS

Pore water measurements reported on CPT logs are representative of pore water pressures measured at the U2 location, just behind the cone tip, prior to the sleeve, as shown in the figure below. These measurements are considered to represent dynamic pore water pressures due to the local disturbance caused by the cone tip. Dynamic pore water pressure decay and static pore water pressure measurements are reported on a Pore Water Pressure Dissipation Graph.





Attachment 2:

SOIL AND SITE EVALUATION - STORM

In accordance with SPS 382.365, 385, Wis. Adm. Code, and WDNR Standard 1002

Attach a complete site plan on paper not less than 8 1/2 x 11 inches in size. Plan must include, but not limited to vertical and horizontal reference point (BM), direction and percent of slope, scale or dimensions, north arrow, and BM reference to nearest road. Please print all information Personal information you provide may be used for secondary purposes [Privacy Law, s. 15.04(1)(m)]	County
	Parcel I.D.
	Reviewed by: Date:

Property Owner: MKB COPPER ROCKS, LLC	Property Location Govt. Lot 1/4 1/4 S T N R E (or) W		
Property Owner's Mailing Address: 3800 EMERALD DRIVE EAST	Lot	Block #	Subd. Name or CSM #/Address
City, State Zip LA CROSSE, WI 54601	Phone Number	<input checked="" type="checkbox"/> City <input type="checkbox"/> Village <input type="checkbox"/> Town Nearest Road 2415 STATE ROAD, LA CROSSE, WI LOSEY BLVD	
Drainage Area _____ <input type="checkbox"/> sq. ft. <input type="checkbox"/> acres Test site suitable for (check all that apply): <input type="checkbox"/> Bio-retention; <input type="checkbox"/> Subsurface Dispersal System; <input type="checkbox"/> Reuse; <input type="checkbox"/> Irrigation <input type="checkbox"/> Other	Hydraulic Application Test Method <input checked="" type="checkbox"/> Morphological Evaluation <input type="checkbox"/> Double Ring Infiltrometer Other: (specify)	Soil Moisture Date of soil Borings: APR. 4, 2022 USDA-NRCS WETS Value: <input type="checkbox"/> Dry = 1; <input checked="" type="checkbox"/> Normal = 2; <input type="checkbox"/> Wet = 3.	

TP-28 #OBS Pit Boring Ground surface Elevation 663.2 ft. Elevation of limiting factor NA ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr.
PVMT	0 - 10	---	---	---	---	---	---	---	---	---
B	10 - 32	10YR 3/2	NONE	SCL	1.GR.F	ML	A.S	0	<30	0.07
C	32 - 55	10YR 4/2	NONE	F.LS	0.SG.F	ML	A.S	0	<15	0.50
C	55 - 120	10YR 4/4	NONE	F.S	0.SG.F	ML	A.S	0	<5	0.50

Comments:

TP-29 #OBS Pit Boring Ground surface Elevation 664.4 ft. Elevation of limiting factor NA ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr.
PVMT	0 - 9	---	---	---	---	---	---	---	---	---
C	9 - 120	10YR 5/4	NONE	F.S	0.SG.F	ML	A.S	0	<5	0.50

Comments:

Name: BRANDON WRIGHT	Signature:	Credential Number: SP-041100003
Address: 2309 Palace Street, La Crosse, WI	Date of Evaluation: APRIL 4, 2022	Phone Number: 608.781.7277

TP-30 #OBS Pit Boring Ground surface Elevation 664.6 ft. Elevation of limiting factor NA ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr.
PVMT	0 – 9	---	---	---	---	---	---	---	---	---
B	9 – 32	10YR 3/2	NONE	F.LS	0.SG.F	ML	A.S	0	<15	0.50
C	32 – 120	10YR 4/4	NONE	F.S	0.SG.F	ML	A.S	0	<5	0.50
Comments:										

Overall Site Comments:

**NOTICE OF HEARING ON
AMENDMENT TO ZONING RESTRICTION**

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Local Business District to the Planned Development District - General, allowing for the construction of a mixed-use development including residential and commercial uses at 2415 State Road.

Property is presently: vacant retail building

Property is proposed to be: mixed-use residential and commercial development

Rezoning is necessary: to allow for the mix of residential and commercial uses

Tax Parcel 17-50298-32; 2415 State Road

The City Plan Commission will meet to consider such application on **Monday, March 2, 2026, at 4:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

A public hearing before the Judiciary & Administration Committee will be held on **Tuesday, March 3, 2026, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the **Common Council** on **Thursday, March 12, 2026, at 6:00 p.m.** in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The petition and/or maps relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 26-0143).

Dated this 12th day of February, 2026.

Nikki M. Elsen, City Clerk
City of La Crosse

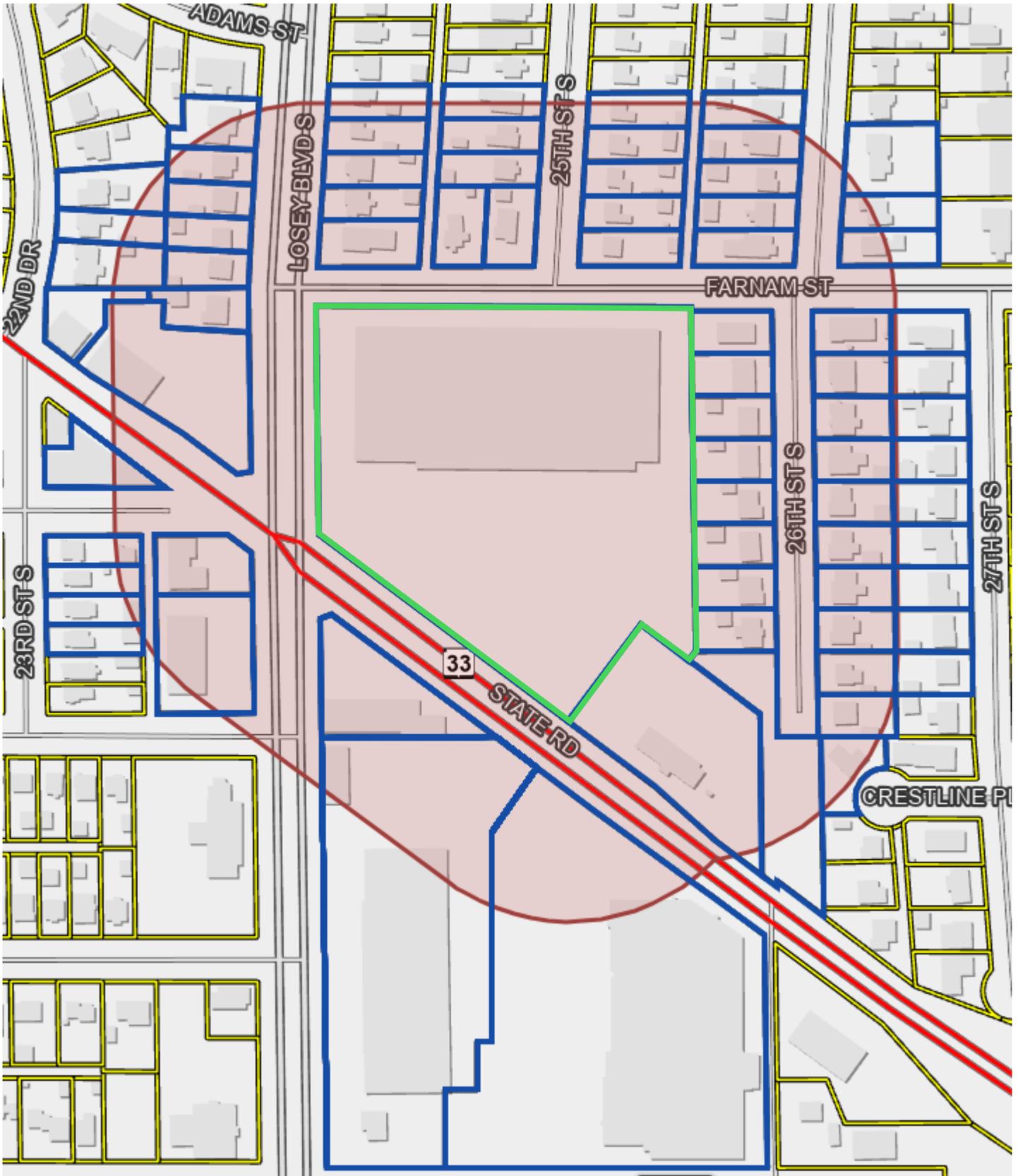
Published: February 17 & 24, 2026
One (1) Affidavit

Tax Parcel	OwnerName	Property Address	Mailing Address	MailCityStateZip
17-40087-60	3RD & MAIN LLC	1416, 1418, 1420, 1422 LOSEY BLVD S	PO BOX 609	LA CROSSE WI 54602-0609
17-40107-40	ALYSSA YEITER	1322 26TH ST S	1322 26TH ST S	LA CROSSE WI 54601-6122
17-40086-130	AMY E PERRIN, PETER G KNAPIK	2300 PARK AVE	2300 PARK AVE	LA CROSSE WI 54601
17-40070-90	ANA L PENGRA, THOMAS P PENGRA	1219 25TH ST S	13 VICTORIA WAY	MACKINAW IL 61755
17-40069-110	ANDREW SMITH	1209 LOSEY BLVD S	1209 LOSEY BLVD S	LA CROSSE WI 54601
17-40069-50	ANDY WILDT, JOHNNYRAY WILDT	2419 FARNAM ST	2419 FARNAM ST	LA CROSSE WI 54601-6136
17-40069-20	ANGELA N MCDONALD	1208 25TH ST S	1208 25TH ST S	LA CROSSE WI 54601-6092
17-40124-40	BRETT BAYLOR STRAND	1218 LOSEY BLVD S	1218 LOSEY BLVD S	LA CROSSE WI 54601-6004
17-40108-50	BRIAN T WITTENBERG	1355 26TH ST S	1355 26TH ST S	LA CROSSE WI 54601
17-40108-60	CARL W HAPPEL, HEATHER A HAPPEL	1361 26TH ST S	1361 26TH ST S	LA CROSSE WI 54601-6131
17-40109-90	CHARLES A DUTCHIN, SHAWN R DUTCHIN	1354 27TH ST S	1354 27TH ST S	LA CROSSE WI 54601
17-40069-80	CHRISTOPHER J CLARK, BARBARA CLARK	1223 LOSEY BLVD S	1223 LOSEY BLVD S	LA CROSSE WI 54601-6054
17-40070-60	CHUE S MOUA, KA THAO	1208 26TH ST S	1208 26TH ST S	LA CROSSE WI 54601-6026
17-40069-30	CLIFFORD HEIJ (LE), ILENE HEIJ (LE), SUE MILISCH	1212 25TH ST S	1212 25TH ST S	LA CROSSE WI 54601-6092
17-40069-40	D&D EARLEY LLC	1214 & 1216 25TH ST S	W3209 COUNTY ROAD N	COON VALLEY WI 54623
17-40107-130	DANIEL J ZANTER, LINDA L ZANTER	1317 26TH ST S	1317 26TH ST S	LA CROSSE WI 54601
17-40087-20	DANIELLE A FERAN	1415 23RD ST S	1415 23RD ST S	LA CROSSE WI 54601
17-40133-20	DEANNA M HART	2607 CRESTLINE PL	2607 CRESTLINE PL	LA CROSSE WI 54601
17-40108-10	DEBRA K RUBASCH	1329 26TH ST S	1329 26TH ST S	LA CROSSE WI 54601-6131
17-40109-70	DONALD N OLSON (LE), RUTH J OLSON (LE), SUSAN R KELM,	1340 27TH ST S	1340 27TH ST S	LA CROSSE WI 54601-6124
17-40109-70	MICHAELLE D LAMPING	1340 27TH ST S	1340 27TH ST S	LA CROSSE WI 54601-6124
17-40124-130	DONNA M VIGNESS, DANIEL J KAMINSKI	1239 22ND DR S	1239 22ND DR S	LA CROSSE WI 54601
17-40069-70	DOUGLAS DWYER, JENNIFER L DWYER	2405 FARNAM ST	2405 FARNAM ST	LA CROSSE WI 54601
17-40087-10	GARY D ARNESON	1411 23RD ST S	1411 23RD ST S	LA CROSSE WI 54601
17-40107-120	GREGORY J PIELHOP	1311 26TH ST S	1311 26TH ST S	LA CROSSE WI 54601-6131
17-40109-40	GRETCHEN L VOGTHENCHEN	1322 27TH ST S	1322 27TH ST S	LA CROSSE WI 54601-6124
17-40069-100	IGNACIO MORALES MORALES, MARGARITA CASTRO CUEVAS,	1213 LOSEY BLVD S	4502 MARKLE RD	LA CROSSE WI 54601
17-40109-10	EFFRAIN MORALES CASTRO	2610 FARNAM ST	120 MAPLE CT	MT HOREB WI 53572
17-50289-30	J5 PROPERTIES LLC	1302 LOSEY BLVD S	N2271 WILLOW WAY W	LA CROSSE WI 54601
17-40107-30	JACOB P WOODS	1316 26TH ST S	1316 26TH ST S	LA CROSSE WI 54601-6122
17-40108-40	JACOB T HELGERSON	1347 26TH ST S	1347 26TH ST S	LA CROSSE WI 54601-6131
17-40086-140	JEFFREY G KOSTUCH	1407 23RD ST S	1407 23RD ST S	LA CROSSE WI 54601-5921
17-40070-110	JESS B HOLLENBACK	1224 26TH ST S	1224 26TH ST S	LA CROSSE WI 54601
17-40125-30	JK DAHL REAL ESTATE LLC	1251 22ND DR S	208 17TH PL S	LA CROSSE WI 54601
17-40109-60	JOSHUA T LUETHE, LAURA B LUETHE	1334 27TH ST S	1334 27TH ST S	LA CROSSE WI 54601-6124
17-40109-80	JR PLUS PROPERTIES LLC	1348 27TH ST S	297 SOUTH MARINA DR	BROWNSVILLE MN 55919
17-40108-30	KAREN E SEGLER	1341 26TH ST S	1341 26TH ST S	LA CROSSE WI 54601-6131
17-40087-50	KEVIN BA HOANG NGUYEN	1402 LOSEY BLVD S	1402 LOSEY BLVD S	LA CROSSE WI 54601
17-40124-20	KEVIN E GRAAP	1226 LOSEY BLVD S	1226 LOSEY BLVD S	LA CROSSE WI 54601
17-40070-80	KIMBERLY J RADLOFF TEKIPPE	1215 25TH ST S	1215 25TH ST S	LA CROSSE WI 54601-6049
17-40107-50	KYLE J TERHARK, NATALIE B TERHARK	1328 26TH ST S	1328 26TH ST S	LA CROSSE WI 54601
17-40124-10	L M PROPERTIES LLC	1230 LOSEY BLVD S	333 PARK PLAZA DR	LA CROSSE WI 54601
17-40070-70	LAURA D SANBORN, JOHN A SANBORN, DAVID SANBORN	1214 26TH ST S	1214 26TH ST S	LA CROSSE WI 54601-6026
17-50289-10	LOSEY & STATE PROPERTIES LLC	2309 STATE RD	N2271 WILLOW WAY W	LA CROSSE WI 54601
17-50289-20	LOSEY & STATE PROPERTIES LLC	2311 STATE RD	N2271 WILLOW WAY W	LA CROSSE WI 54601
17-40109-30	LUKE BUSSIÈRE, EMILY BUSSIÈRE	1316 27TH ST S	1316 27TH ST S	LA CROSSE WI 54601-6124
17-40069-90	LUKE A OLSEN, JENNIFER M OLSEN	1219 LOSEY BLVD S	1219 LOSEY BLVD S	LA CROSSE WI 54601-6054
17-40070-100	MARILYNE SAND	1218 26TH ST S	1218 26TH ST S	LA CROSSE WI 54601
17-50249-10	MAUREEN HOWELL	2601 FARNAM ST	2601 FARNAM ST	LA CROSSE WI 54601-6138
17-40109-20	MCKAYLEE FERGUSON, NICOLAS COLLAR	1308 27TH ST S	1308 27TH ST S	LA CROSSE WI 54601-6124
17-40109-50	MICHELLE R KERN	1328 27TH ST S	1328 27TH ST S	LA CROSSE WI 54601-6124
17-40107-10	RAYMOND L SPIES, DELORES M SPIES	2544 FARNAM ST	2011 LIBERTY ST	LA CROSSE WI 54603-2084
17-40125-20	RICHARD A SENN, ANITA L HANSON	1245 22ND DR S	1245 22ND DR S	LA CROSSE WI 54601-5943
17-50249-20	ROBERT FUNK	1225 26TH ST S	1225 26TH ST S	LA CROSSE WI 54601
17-40108-20	ROBERT J HANCOCK, JULIE A HANCOCK	1335 26TH ST S	1335 26TH ST S	LA CROSSE WI 54601-6131
17-40070-130	ROSE MARIE CLEMENTS	1231 25TH ST S	1231 25TH ST S	LA CROSSE WI 54601-6049
17-40070-50	RUTH ANN KURINSKY	1211 25TH ST S	1211 25TH ST S	LA CROSSE WI 54601-6049
17-50249-30	RYAN D POLLESCH	1219 26TH ST S	1219 26TH ST S	LA CROSSE WI 54601
17-40124-50	SAM CHEN	1208 LOSEY BLVD S	2014 VIKING AVE	HOLMEN WI 54636
17-40124-30	SARAH R HINZE-PATASKA	1222 LOSEY BLVD S	1222 LOSEY BLVD S	LA CROSSE WI 54601-6004
17-40070-120	SETH MARTIN	1225 25TH ST S	1225 25TH ST S	LA CROSSE WI 54601-6049
17-40107-140	SHARON A HONECK	1323 26TH ST S	1323 26TH ST S	LA CROSSE WI 54601
17-50298-40	STATE ROAD LOSEY LLC	2400, 2402, 2404 STATE RD	2418 STATE RD	LA CROSSE WI 54601
17-40107-60	STEVEN P GEIER, LISA J GEIER	1334 26TH ST S	1334 26TH ST S	LA CROSSE WI 54601-6122
17-40107-110	T & J FARNAM ST LLC	2608 FARNAM ST	4008 BEVERLY DR	ONALASKA WI 54650
17-40107-80	TERRY L LUBBEN, DAWN E LUBBEN	1346 26TH ST S	1346 26TH ST S	LA CROSSE WI 54601-6122
17-40107-70	TIMOTHY L KOTERWSKI	1340 26TH ST S	1340 26TH ST S	LA CROSSE WI 54601
17-40069-60	TORYN PATROS	1226 25TH ST S	1226 25TH ST S	LA CROSSE WI 54601-6092
17-40107-20	TSS RENTALS LLC	1306 26TH ST S	1300 21ST ST S	LA CROSSE WI 54601
17-40086-120	VAARAHI LLC	1319 & 1321 23RD ST S		
17-50298-33	VSC CORPORATION	2316, 2318, 2320, 2322 STATE RD	4486 EL CAMINO REAL DR	LA CROSSE WI 54601
17-50298-34	VSC CORPORATION	2505 STATE RD	2418 STATE RD	LA CROSSE WI 54601-6151
17-50298-34	VSC CORPORATION	1352 26TH ST S	2418 STATE RD	LA CROSSE WI 54601-6151
17-50298-85	VSC CORPORATION	1421, 1502 - 1535, 1601 - 1631 LOSEY BLVD S	2418 STATE RD	LA CROSSE WI 54601-6151
17-50298-65	VSC CORPORATION	2406 - 2432 STATE RD		
17-50298-65	C/O WI FOODLINER	2500 STATE RD		
17-40070-140	WILLIAM G WARREN, ELIZABETH M WARREN	2511 GREEN BAY ST	3800 EMERALD DR E	ONALASKA WI 54650
17-40070-140	WILLIAM G WARREN, ELIZABETH M WARREN	2527 FARNAM ST	2527 FARNAM ST	LA CROSSE WI 54601-6169

Properties above are within 300 feet of 2415 State Road

Applicant/Owner	MKB COPPER ROCKS LLC C/O KIRK STOA	2415 STATE RD	3800 EMERALD DR E	ONALASKA WI 54650
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Properties within 300 feet of 2415 State Road.



CITY CLERK
400 LA CROSSE ST
LA CROSSE WI 54601-3396

RETURN SERVICE REQUESTED



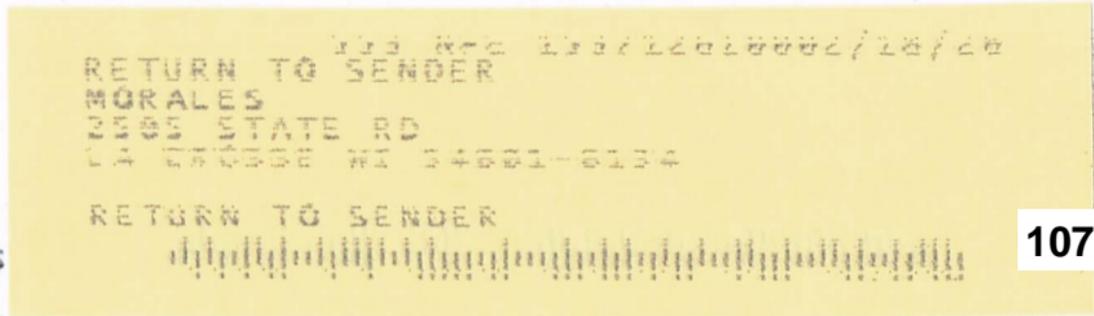
Presort
First Class Mail
ComBasPrice



US POSTAGE TM PITNEY BOWES

ZIP 54601 \$ 000.67²
02 1W
0001399329 FEB 13 2026

IGNACIO MORALES MORALES, MARGARITA CASTRO CUEVAS,
EFRAIN MORALES CASTRO
4502 MARKLE RD
LA CROSSE WI 54601



.. 94666522878648416 INT
74 BRCIN 054800

CITY CLERK
400 LA CROSSE ST
LA CROSSE WI 54601-3396

RETURN SERVICE REQUESTED



DEANNA M HART
2607 CRESTLINE PL
LA CROSSE WI 5460

Presort
First Class Mail
ComBasPrice



US POSTAGE PAID PITNEY BOWES

ZIP 54601 \$ 000.67²
02 1W
0001399329 FEB 13 2026

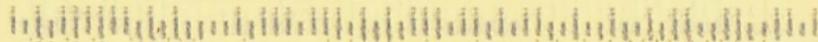
1 5 4 6 0 1 3 3 9 6

INT

74 BRCLNNE 054601

RETURN TO SENDER
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2607 CRESTLINE PL
LA CROSSE WI 54601-3396

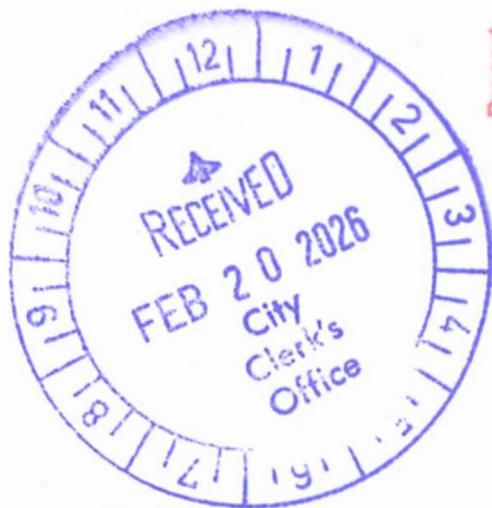
RETURN TO SENDER



109

CITY CLERK
400 LA CROSSE ST
LA CROSSE WI 54601-3396

RETURN SERVICE REQUESTED



Presort
First Class Mail
ComBasPrice



US POSTAGE SM PITNEY BOWES



ZIP 54601 \$ 000.67²
02 1W
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BRETT BAYLOR STRAND
1218 LOSEY BLVD S
LA CROSSE WI 54601

RETURN TO SENDER
STRAND BRETT BAYLOR
TEMPORARILY AWAY

RETURN TO SENDER

BC: 54661339699 2878-63333-28-12

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INT

74 BRCIN4054601

110

CITY CLERK
400 LA CROSSE ST
LA CROSSE WI 54601-3396

RETURN SERVICE REQUESTED



D&D EARLEY LLC
W3209 COUNTY ROAD N
COON VALLEY WI 54

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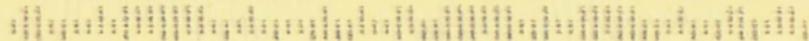
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.. 9333189782400391

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72 BRCINNE 54601



111

AFFIDAVIT OF PUBLICATION

Lacrosse Tribune
1407 St. Andrew St., La Crosse, WI 54603
(866) 735-5631

Retain this portion for your records. Please do not remit payment until you receive your advertising invoice.

State of Florida, County of Orange, ss:

Anjana Bhadoriya, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC and duly authorized agent of Lee Enterprises, publishers of Lacrosse Tribune, a newspaper at, La Crosse, for county of La Crosse, in the state of Wisconsin, and that an advertisement of which the annexed is a true copy, taken from said paper, was published, therein on the dates listed below.

PUBLICATION DATES:

February. 17 2026, February. 24 2026

NOTICE ID: vuw1yelviA62DiUDebpx

PUBLISHER ID: COL-WI-102035

NOTICE NAME: Rezoning - 2415 State Road

Publication Fee: \$171.09

Section: Legals

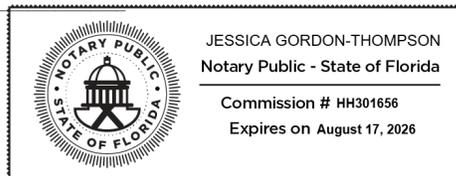
Category: 0001 Wisconsin Legals

Anjana Bhadoriya

(Signed) _____

VERIFICATION

State of Florida
County of Orange



Subscribed in my presence and sworn to before me on this: **02/24/2026**

J. Thompson

Notary Public

Notarized remotely online using communication technology via Proof.

NOTICE OF HEARING ON AMENDMENT TO ZONING RESTRICTION

TO WHOM IT MAY CONCERN:
NOTICE IS HEREBY GIVEN that the Common Council of the City of La Crosse, by its Judiciary & Administration Committee, will hold a public hearing on a proposed ordinance change in the zoning code as follows:

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Local Business District to the Planned Development District - General, allowing for the construction of a mixed-use development including residential and commercial uses at 2415 State Road.

Property is presently: vacant retail building

Property is proposed to be: mixed-use residential and commercial development

Rezoning is necessary : to allow for the mix of residential and commercial uses

Tax Parcel 17-50298-32; 2415 State Road

The City Plan Commission will meet to consider such application on Monday, March 2, 2026, at 4:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin (public speaking on such application is allowed).

A public hearing before the Judiciary & Administration Committee will be held on Tuesday, March 3, 2026, at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Final action will be determined by the Common Council on Thursday, March 12, 2026, at 6:00 p.m. in the Council Chambers of City Hall, 400 La Crosse St., in the City of La Crosse, La Crosse County, Wisconsin.

Any person interested may appear at public hearings either in person, by agent, or by attorney, and may express their approval or objection, or file a letter in the office of the City Clerk.

The petition and/or maps relating to the above referenced amendment may be examined in the Office of the City Clerk, La Crosse City Hall, between the hours of 8:00 a.m. and 4:30 p.m. on any regular business day, holidays excepted, (by appointment) or in the Legislative Information Center which can be accessed from the City website at www.cityoflacrosse.org (search for File 26-0143).

Dated this 12th day of February, 2026.

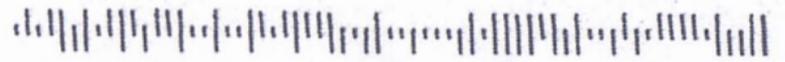
Nikki M. Elsen, City Clerk
City of La Crosse
2/17, 2/24 LAC
COL-WI-102035 WNAXLP

26-0143

JS

JR PLUS PROPERTIES LLC
297 SOUTH MARINA DR
BROWNSVILLE MN 55919

50 BRCINMB 55919



113

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UNABLE TO FORWARD
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ZIP 54601 \$ 000.67²
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0001399329 FEB 13 2026



Agenda Item 26-0143 (Tim Acklin)

AN ORDINANCE to amend Subsection 115-110 of the Code of Ordinances of the City of La Crosse by transferring certain property from the Local Business District to the Planned Development District - General, allowing for the construction of a mixed-use development including residential and commercial uses at 2415 State Road.

General Location

Council District 17 in the Bluffside Neighborhood Association. Located at the NE corner of the intersection of State Rd and Losey Blvd as depicted on attached Map PC26-0143. The property was the former K-Mart site. The property is surrounded by residential to the north and east, and commercial uses to the west and south.

Background Information

This item is also related to agenda item #26-0144.

The subject parcel (6.3 acres) was previously rezoned to the Planned Development District (PDD) in order to be redeveloped into mixed-use development consisting of 216 market-rate residential dwelling units and commercial spaces in six buildings (three townhomes and three mixed-use) with an outdoor community space. The previous PDD-Specific zoning was approved by the Common Council in July 2022. Municipal Code requires that a building permit must be pulled within 12 months or the property reverts back to the original zoning, in this case C1-Local Business. The applicant requested an extension of 18 months from the Common Council which was approved in October of 2023. No permits were applied for within the 18 months, so the property reverted back to C1-Local Business.

The applicant is requesting to be rezoned back to PPD-General with some revisions to the previous plan. They are proposing to develop five buildings with a total number of residential dwelling units to be approximately two hundred and forty (240). Their key focus is market-rate, workforce housing.

Of the five buildings, three will be mixed-use. These four-to five-story mixed-use buildings will be constructed and placed closer to the intersection to offer retail and commercial opportunities. The applicant stated that the buildings have been designed and located on the site to soften the transition to the townhomes. The three mixed-use buildings will also have underground or at-grade parking. The amount of non-residential space is estimated to be approximately 20,600 square feet.

See attached plans for more information.

Recommendation of Other Boards and Commissions

The previous Planned Development District – General zoning was approved by the Common Council at their April 14, 2022, meeting. Planned Development District-Specific zoning was approved by the Common Council at their July 14, 2022, meeting.

Consistency with Adopted Comprehensive Plan

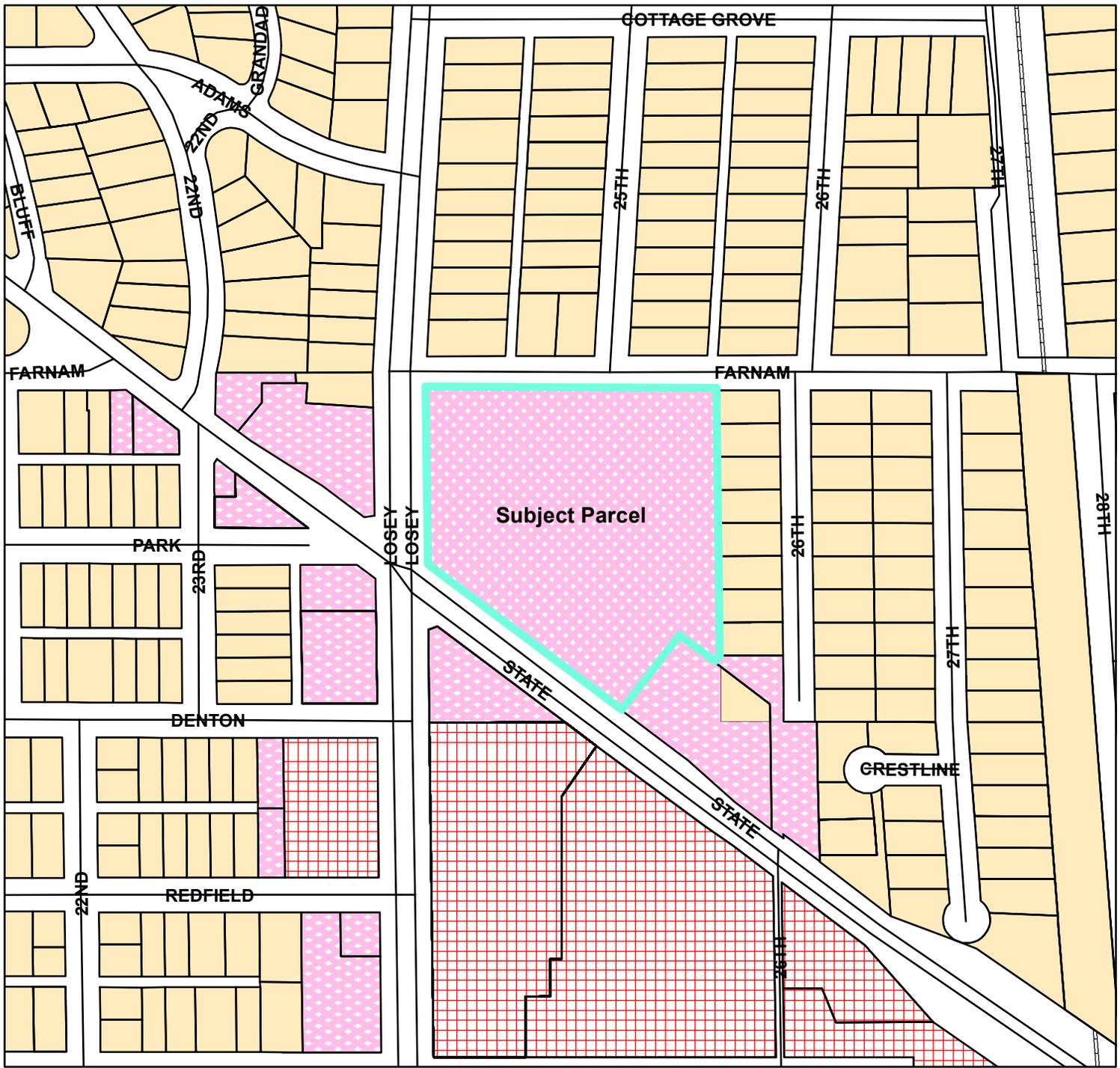
The subject property is located within the State Road Corridor (C-5) in the Land Use component of the Comprehensive Plan. The plan states that future land uses within the State Road corridor should focus on developing a mix of medium-high density residential and commercial uses that are accessible via multiple modes of transportation. The proposed development could be considered both High Density Residential and Low-Intensity Mixed-Use which are both “Desirable” land uses in this corridor making it consistent with the Comprehensive Plan.

Staff Recommendation

Staff is in receipt of the developer’s TIF Application and a Developer’s Agreement is currently being drafted. It is anticipated that both the development agreement and the PDD-Specific zoning application will be submitted before the Common Council within the next couple of months.

This item is recommended for approval.

Routing J&A 3.03.26



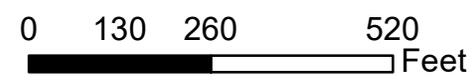
BASIC ZONING DISTRICTS

- R1 - SINGLE FAMILY
- R2 - RESIDENCE
- WR - WASHBURN RES
- R3 - SPECIAL RESIDENCE
- R4 - LOW DENSITY MULTI
- R5 - MULTIPLE DWELLING
- R6 - SPECIAL MULTIPLE
- PD- PLANNED DEVELOP
- TND - TRAD NEIGH DEV.
- C1 - LOCAL BUSINESS
- C2 - COMMERCIAL
- C3 - COMMUNITY BUSINESS
- M1 - LIGHT INDUSTRIAL
- M2 - HEAVY INDUSTRIAL
- PS - PUBLIC & SEMI-PUBLIC
- PL - PARKING LOT
- UT - PUBLIC UTILITY
- CON - CONSERVANCY
- FW - FLOODWAY
- A1 - AGRICULTURAL
- EA - EXCLUSIVE AG
- City Limits
- SUBJECT PROPERTY



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-  C1 - LOCAL BUSINESS
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-  M1 - LIGHT INDUSTRIAL
-  M2 - HEAVY INDUSTRIAL
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-  PL - PARKING LOT
-  UT - PUBLIC UTILITY
-  CON - CONSERVANCY
-  FW - FLOODWAY
-  A1 - AGRICULTURAL
-  EA - EXCLUSIVE AG
-  City Limits
-  SUBJECT PROPERTY





City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 26-0144

Agenda Date: 3/3/2026

Version: 1

Status: New Business

In Control: Judiciary & Administration Committee

File Type: Plat/Certified Survey
Map

Agenda Number: 4.



CITY OF LA CROSSE, WISCONSIN

Rev. 1/2021

CERTIFIED SURVEY MAP SUBMITTAL & REVIEW CHECK LIST

X with request for Right-of-Way designation + Waiver of Plat-Requirements
CSM located in Extra-Territorial Jurisdiction (Council Approval Required)
CSM located in the City (Department Review Only)

Extra-Territorial Review: BEFORE FILING WITH THE CITY, you must have both Town and County approvals. The Plan Commission may not consider any land division which did not have prior approval by the approving authorities for both the Town(s) and La Crosse County.

Town Board Approved: (date) La Crosse County Approved: (date)

To be completed by property owner/surveyor with submittal (*incomplete checklist may cause a delay in the review):

Current Tax Parcel Number(s): 17-50298-32

Map ID / Location: 2415 State Road

Surveyor: ISG Phone No. 608-789-2034

Property Owner: MKB Copper Rocks, LLC Phone No. 608-782-7368

**circle who should be called when CSM is ready for pick up.

I am the property owner of record, and I approve of this CSM: (signature) (property owner signature)

*In lieu of owner's signature on this submittal checklist, you may provide written communication from property owner.

Purpose of CSM and intended outcome (or attach a letter explaining):

As part of the redevelopment, the existing site will be subdivided into four separate parcels. MKB Copper Rocks, LLC and Three Sixty are requesting that the requirement for a subdivision plat per section 113-9 of the City of La Crosse Municipal Code of Ordinances be waived allowing for the use of a Certified Survey Map (CSM) to divide the existing lot as part of the PDD process.

Have you worked with any other Department/staff person with regard to this CSM? If so, who?

Previously worked with planning staff on the site rezoning and CSM.

Have you received any other decision with regard to this CSM from any City board, commission or committee?

If so, which one and when?

It was approved 4 years ago by Plan Commission, J & A and city council when the property was rezoned for PDD in 2022.

To be completed by City Clerk at time of filing:

2/9/2026 Original Document for Signature. (Clerk will make a photocopy which is distributed for review.)

2/16/2026 Review Fee (cash, check payable to City Treasurer or credit card with convenience fee)

\$300 - \$200.00 - First Application

\$150 - \$100.00 - Reapplication of the same CSM

Internal Review Routing & Email to County Surveyor. (Initiated by Clerk with complete filing.)

Original CSM Issued. (Upon approval, the original will be signed and available for pick up.)

To be completed by each Reviewing Department before the City Clerk will sign.

BUILDING AND INSPECTIONS APPROVAL

This Certified Survey Map is hereby approved by the Chief Inspector.

Dated this _____ day of _____, 20__.

_____ Chief Inspector

Comments: _____

CITY UTILITIES (WATER – STORM – SEWER) APPROVAL

This Certified Survey Map is hereby approved by the City Utilities Office.

Dated this _____ day of _____, 20__.

Water Storm Sewer

_____ Utilities Office

Comments: _____

ASSESSOR APPROVAL

This Certified Survey Map is hereby approved by the Assessor.

Dated this _____ day of _____, 20__.

_____ Assessor

Comments: _____

ENGINEERING DEPARTMENT APPROVAL

This Certified Survey Map is hereby approved by the City Surveyor.

Dated this _____ day of _____, 20__.

_____ Engineering/Surveyor

Comments: _____

PLANNING DEPARTMENT APPROVAL

This Certified Survey Map is hereby approved by the Planning Department.

Dated this _____ day of _____, 20__.

_____ Planner

Comments: _____

COMMON COUNCIL APPROVAL, if required

Resolved that this Certified Survey Map is hereby approved by the Common Council of the City of La Crosse.

Dated this _____ day of _____, 20__.

Mayor (required only if signing off prior to expiration of veto period)

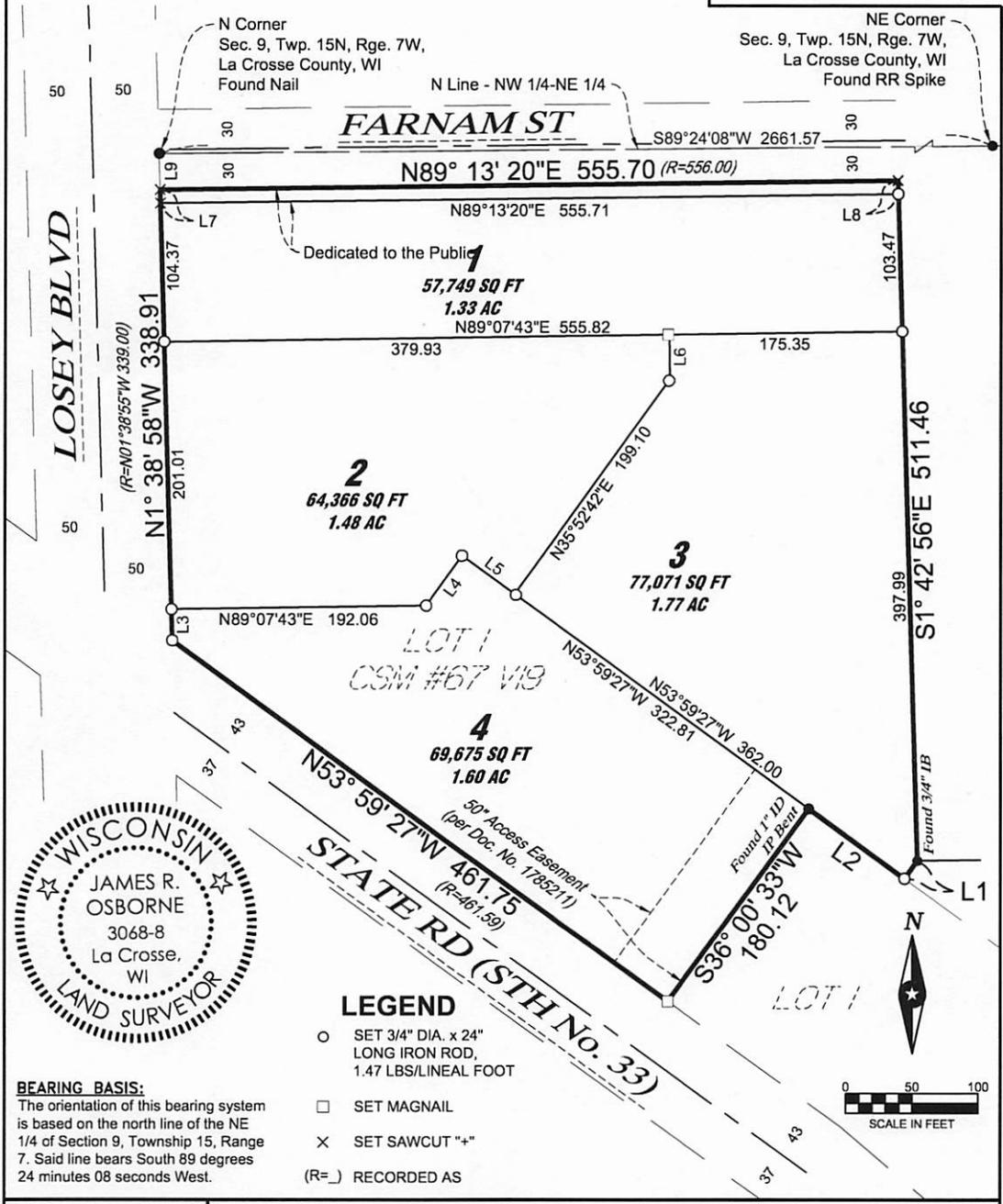
I hereby certify that the foregoing is a copy of a resolution adopted by the Common Council of the City of La Crosse.

Dated this _____ day of _____, 20__.

_____ City Clerk

CERTIFIED SURVEY MAP

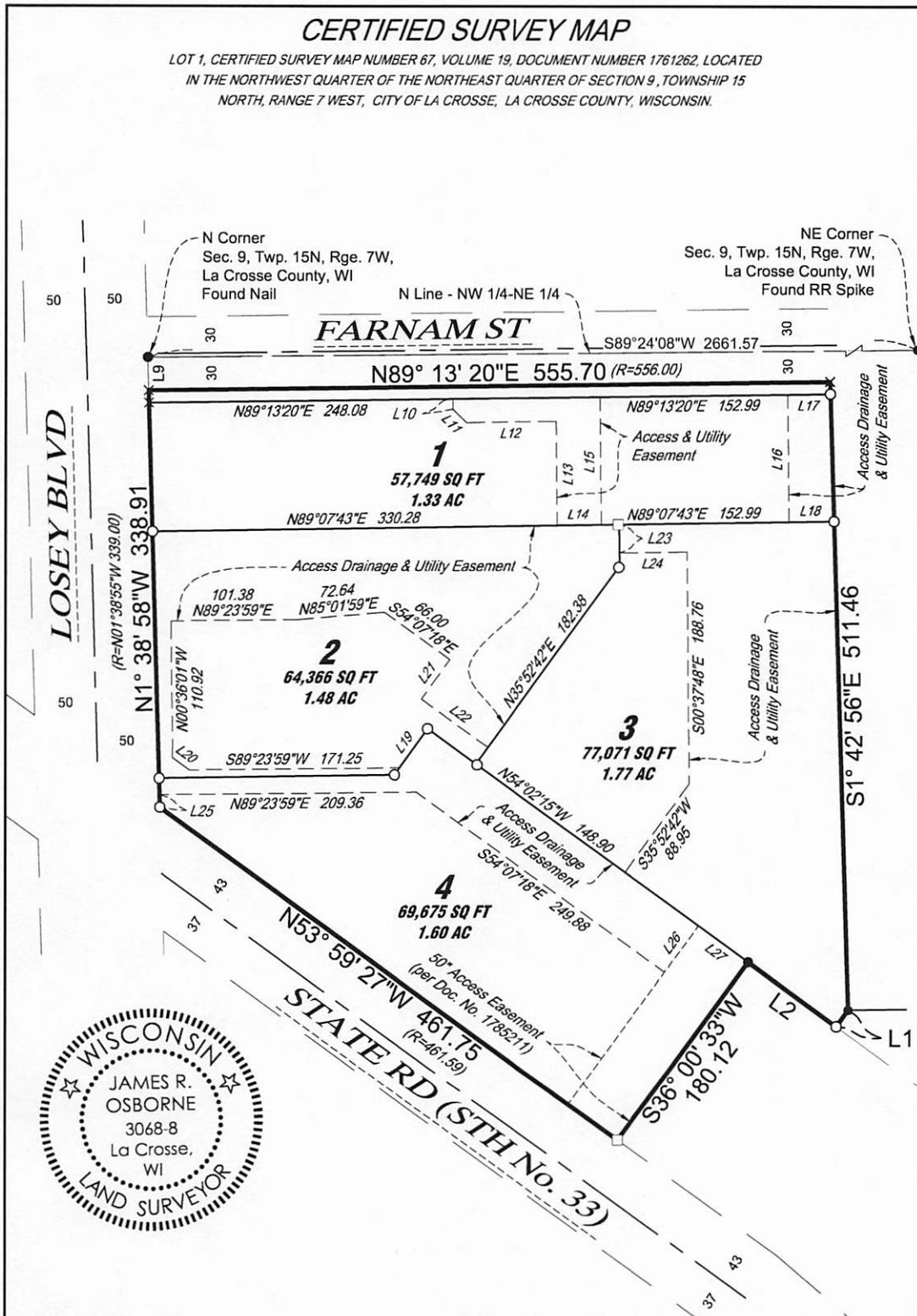
LOT 1, CERTIFIED SURVEY MAP NUMBER 67, VOLUME 19, DOCUMENT NUMBER 1761262, LOCATED
IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 15
NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.



	CERTIFIED SURVEY MAP		
	THIS DOCUMENT IS THE PROPERTY OF ISG GROUP, INC. IT MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT PRIOR WRITTEN CONSENT.	PROJECT NO.: 21-25290	SHEET 1 OF 3 SHEETS
	FILE NAME: 25290 CSM		
	DRAWN BY: JRO		
REVISED:			

CERTIFIED SURVEY MAP

LOT 1, CERTIFIED SURVEY MAP NUMBER 67, VOLUME 19, DOCUMENT NUMBER 1761262, LOCATED
IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 15
NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.



CERTIFIED SURVEY MAP



THIS DOCUMENT IS THE PROPERTY OF ISG GROUP, INC. IT IS TO BE USED, COPIED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT NO.:	21-25290
FILE NAME:	25290 CSM
DRAWN BY:	JRO
REVISED:	

SHEET 2 OF 3 SHEETS

CERTIFIED SURVEY MAP

LOT 1, CERTIFIED SURVEY MAP NUMBER 67, VOLUME 19, DOCUMENT NUMBER 1761262, LOCATED
IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 15
NORTH, RANGE 7 WEST, CITY OF LA CROSSE, LA CROSSE COUNTY, WISCONSIN.

LAND DESCRIPTION:

Lot 1 of Certified Survey Map Number 67, Volume 19, Document Number 1761262 located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin.

CERTIFICATION:

I, James R. Osborne, Professional Land Surveyor, hereby certify that I have surveyed and mapped the lands described hereon, and that this map is a representation thereof, to the best of my knowledge and that I have complied with Chapter 236.34 of the Wisconsin State Statutes as per agreement with MKB Copper Rocks LLC who has requested such survey.

CITY OF LA CROSSE APPROVAL CERTIFICATE

Resolved that this Certified Survey Map is hereby approved by the City of La Crosse.

Dated this ____ day of _____, 20__.

City Clerk

OWNERS CERTIFICATE

As owner, I hereby certify that I caused the land described herein to be surveyed, divided, mapped and dedicated as represented on the Certified Survey Map. I also certify that this Certified Survey Map is required to be submitted to the following for approval, the City of La Crosse.

Dated this ____ day of _____, 20__.

Name Title

State of Wisconsin)

County of _____) SS

Personally came before me this ____ day of _____, 20__, the above named Owner to me known to be the same person who executed the foregoing instrument and acknowledged the same.

(Notary Seal) _____ Notary Public, _____ County, Wisconsin

My commission expires: _____

NOTE: Field work was completed on February 21, 2022.



LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	16.41	S36°00'33"W
L2	89.18	N53°59'27"W
L3	23.52	N1°38'58"W
L4	46.23	N35°36'26"E
L5	48.83	S53°59'27"E
L6	33.59	N0°52'17"W
L7	10.00	N1°38'58"W
L8	10.00	S1°42'56"E
L9	26.95	S1°38'58"E
L10	8.26	S0°36'01"E
L11	15.36	S45°36'01"E
L12	73.25	N89°23'59"E
L13	84.45	S0°36'01"E
L14	35.75	N89°07'43"E
L15	103.76	N0°36'01"W
L16	103.51	N0°36'01"W
L17	34.77	N89°13'20"E
L18	36.79	N89°07'43"E
L19	39.17	S35°36'26"W
L20	17.18	N54°07'18"W
L21	39.36	S35°52'42"W
L22	67.01	S54°07'18"E
L23	22.80	S0°52'17"E
L24	55.00	N89°23'59"E
L25	10.13	N1°38'58"W
L26	46.68	N36°00'33"E
L27	50.00	S53°59'27"E

	THIS DOCUMENT IS THE PROPERTY OF ISG GROUP, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT BE LOANED, COPIED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.	PROJECT NO.: 21-25290	SHEET 3 OF 3 SHEETS
	FILE NAME: 25290 CSM		
	DRAWN BY: JRO		
	REVISED:		

Memorandum

Copper Rocks Waiver Request



To: City of La Crosse Common Council
Date: February 6, 2026
Subject: Copper Rocks Waiver Request

MKB Copper Rocks, LLC (MKB) and Three Sixty Real Estate Solutions, LLC (Three Sixty) are working on a joint venture agreement to develop the former “Kmart” Site located at 2415 State Road, La Crosse. The proposed “Copper Rocks” project will consist of two townhome buildings and three mixed-use buildings. As part of the project, the existing lot will be subdivided into 4 separate parcels and a rezoning request to Planned Development District (PDD) will be made. MKB and Three Sixty are requesting a waiver of the requirement of a subdivision plat per 113-09, Waiver of Requirements, and request to use a Certified Survey Map in its place.



February 17, 2026

MKB COPPER ROCKS LLC
C/O KIRK STOA
3800 EMERALD DR E
ONALASKA WI 54650

JAMES OSBORNE, SURVEYOR
201 MAIN ST, STE 1020
LA CROSSE WI 54601

Re: Certified Survey Map

We are in receipt of the *Certified Survey Map - Lot 1, Certified Survey Map Number 67, Volume 19, Document Number 1761262, Located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way and waiver of platting requirements.*

The CSM will be considered at the following meetings:

City Plan Commission

**Monday, March 2, 2026 at 4:00 p.m.
Council Chambers, City Hall – first floor**

Judiciary & Administration Committee

**Tuesday, March 3, 2026, at 6:00 p.m.
Council Chambers, City Hall – first floor**

Common Council

**Thursday, March 12, 2026 at 6:00 p.m.
Council Chambers, City Hall – first floor**

We recommend someone attend the CPC and J&A meetings where public hearing is allowed; there may be questions or comments from a committee or council member or another citizen. Public hearing is not allowed at the Council meeting, although you are welcome to attend. The CSM will appear on the agendas as file 26-0144 (the associated rezoning petition is file 26-0143 and is also scheduled for the meetings above).

Attendance at the meetings is allowed either in person or virtually. I will also be sending an email with the links to the agenda and Zoom meeting. If you have any questions, comments, or concerns; do not hesitate to contact me.

Sincerely,

Sondra Craig, Deputy City Clerk
(608) 789-7549
craigs@cityoflacrosse.org

Craig, Sondra

From: Reinhart, David
Sent: Tuesday, February 17, 2026 10:18 AM
To: Craig, Sondra
Subject: RE: For Review: CSM - 2415 State Road (Copper Rocks)

Sondra,

B&I cannot approve until the existing building is removed and the zoning approved.

Thanks,

David Reinhart

Chief Building Inspector

Building & Inspections

400 La Crosse St., La Crosse, WI 54601

Office: 608-789-7564

From: Craig, Sondra <craigs@cityoflacrosse.org>

Sent: Tuesday, February 17, 2026 9:35 AM

To: Hewitt, Dale <DHewitt@lacrossecounty.org>; Meyer, Bryan <bmeyer@lacrossecounty.org>; Acklin, Tim <Acklint@cityoflacrosse.org>; Asp, Brian <aspb@cityoflacrosse.org>; Coman, Kyle <comank@cityoflacrosse.org>; Crandall, Jay <CrandallJ@cityoflacrosse.org>; Erickson, Tina <ericksont@cityoflacrosse.org>; Gallagher, Matthew <gallagerm@cityoflacrosse.org>; Holland, Michelle <hollandm@cityoflacrosse.org>; Neumann, Shannon <Neumanns@cityoflacrosse.org>; Reinhart, David <Reinhartd@cityoflacrosse.org>; Trane, Andrea <tranea@cityoflacrosse.org>

Subject: For Review: CSM - 2415 State Road (Copper Rocks)

Good morning,

Attached for your review is a CSM for 2415 State Road. They are requesting a waiver of City platting requirements and dedicating public right-of-way, so this will be routed through Council for approval as well as your review (March meetings). Waiver request is attached just for additional information, if needed for some of you.

Please let me know if you approve or have any comments that I can pass on to the owner/surveyor.

Thank you,

SONDRA CRAIG, WCMC (she/her)

Deputy City Clerk

City Clerk's Office

City of La Crosse

400 La Crosse Street

La Crosse WI 54601

craigs@cityoflacrosse.org

Direct: 608.789.7549 | Office: 608.789.7510

Visit the City Clerk webpage: <https://www.cityoflacrosse.org/your-government/departments/city-clerk>

City Clerk's Office hours:

8:00 a.m. to 4:30 p.m., Monday through Thursday

8:00 a.m. to 2:00 p.m., Friday

Public Service (walk in) hours 8:00 a.m. to 4:00 p.m. Monday through Thursday & 8:00 a.m. to 12:00 p.m. on Friday in the City Hall Lobby

Agenda Item 26-0144 (Tim Acklin)

Certified Survey Map - Lot 1, Certified Survey Map Number 67, Volume 19, Document Number 1761262, Located in the Northwest Quarter of the Northeast Quarter of Section 9, Township 15 North, Range 7 West, City of La Crosse, La Crosse County, Wisconsin and request for dedication of right-of-way and waiver of platting requirements.

General Location

Council District 17 in the Bluffside Neighborhood Association. Located at the NE corner of the intersection of State Rd and Losey Blvd as depicted on attached Map PC26-0144. The property was the former K-Mart site. The property is surrounded by residential to the north and east, and commercial uses to the west and south.

Background Information

This item is also related to agenda item #26-0143.

The subject CSM is part of the Copper Rocks Development. The applicant is requesting to subdivide the existing lot the former KMart building was located on into four separate parcels as part of the proposed, new development. The new development consists of five buildings that include three multi-story, mixed-use buildings and two townhome buildings. The townhome buildings are proposed to be located on one of the lots and each of the other three buildings will each be located on the other three.

Subdividing the parcel in this way will likely require drainage, utility and access agreements as part of the final approval of the CSM.

Recommendation of Other Boards and Commissions N/A

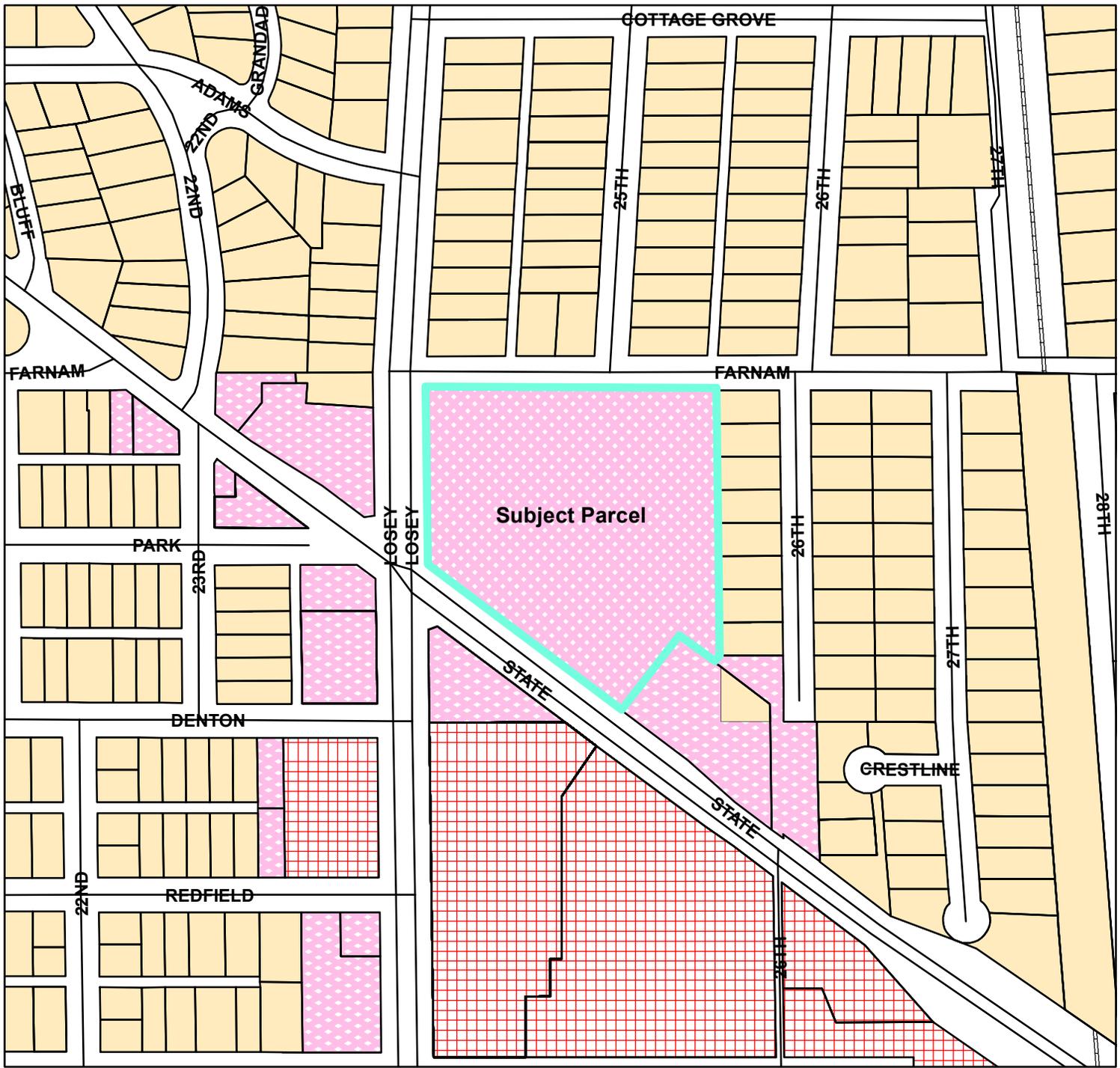
Consistency with Adopted Comprehensive Plan

This item is part of the Copper Rocks Development. The subject property is located within the State Road Corridor (C-5) in the Land Use component of the Comprehensive Plan. The plan states that future land uses within the State Road corridor should focus on developing a mix of medium-high density residential and commercial uses that are accessible via multiple modes of transportation. The proposed development could be considered both High Density Residential and Low-Intensity Mixed-Use which are both "Desirable" land uses in this corridor making it consistent with the Comprehensive Plan.

Staff Recommendation

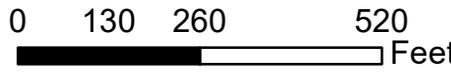
Since submittal of this item staff have been made aware by the applicant's design team that the submitted CSM was not the current version. As of February 25, 2026, an updated CSM had not been submitted to staff for review. **Until staff has the correct information to review this item is recommended for referral to the April cycle.**

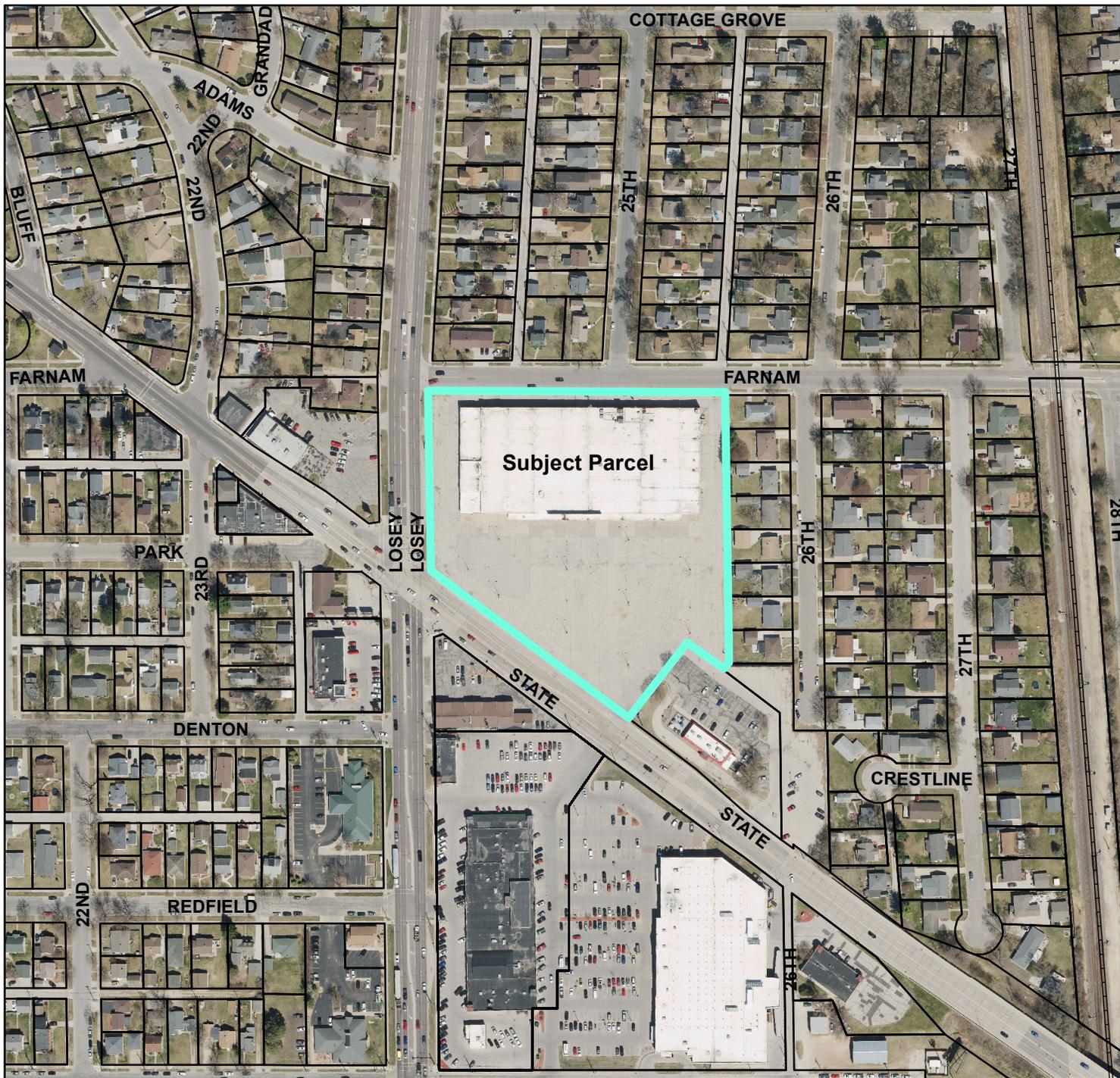
Routing J&A 3.03.26



BASIC ZONING DISTRICTS

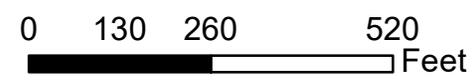
- R1 - SINGLE FAMILY
- R2 - RESIDENCE
- WR - WASHBURN RES
- R3 - SPECIAL RESIDENCE
- R4 - LOW DENSITY MULTI
- R5 - MULTIPLE DWELLING
- R6 - SPECIAL MULTIPLE
- PD- PLANNED DEVELOP
- TND - TRAD NEIGH DEV.
- C1 - LOCAL BUSINESS
- C2 - COMMERCIAL
- C3 - COMMUNITY BUSINESS
- M1 - LIGHT INDUSTRIAL
- M2 - HEAVY INDUSTRIAL
- PS - PUBLIC & SEMI-PUBLIC
- PL - PARKING LOT
- UT - PUBLIC UTILITY
- CON - CONSERVANCY
- FW - FLOODWAY
- A1 - AGRICULTURAL
- EA - EXCLUSIVE AG
- City Limits
- SUBJECT PROPERTY





BASIC ZONING DISTRICTS

-  R1 - SINGLE FAMILY
-  R2 - RESIDENCE
-  WR - WASHBURN RES
-  R3 - SPECIAL RESIDENCE
-  R4 - LOW DENSITY MULTI
-  R5 - MULTIPLE DWELLING
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-  SUBJECT PROPERTY





City of La Crosse, Wisconsin

City Hall
400 La Crosse Street
La Crosse, WI 54601

Text File

File Number: 25-0143

Agenda Date:

Version: 1

Status: Agenda Ready

In Control: City Plan Commission

File Type: General Item

Agenda Number: 5.



Forward La Crosse: 2025 Zoning Code Update Promotion

www.forwardlacrosse.org

Campaign Timeline: Kick Off February 2025

Overview

The City of La Crosse is updating its Zoning and Subdivision code, an 18-month initiative to help shape a more vibrant, resilient, and livable city for the residents of La Crosse, Wisconsin. This collaborative effort will build on the efforts of past City plans, including the most recently adopted 2040 Comprehensive Plan and the La Crosse 2024 Housing Study.

ForwardLacrosse.org

Since the launch of the 2025 Zoning Code Update in February, the website <https://forwardlacrosse.org> has recorded 3,896 users and 14,952 page views.

Social Media

Since February 2025, the Forward La Crosse Facebook page has received 17,570 views, with 80.3% of the audience located in La Crosse, WI, followed by viewers in Onalaska and Holmen. The strongest age group is 35–64 (women), with the 35–44 range accounting for 29% of total viewership.

On Instagram, over the past 30 days, Forward La Crosse received 248 views.

Regional Press Releases

May 7, 2025 - [City of La Crosse Launches Zoning Survey to Gather Input on Future Development and Neighborhood Character](#)

March 20, 2025 - [La Crosse Housing Week Returns! April 28 – May 3, 2025: Join the Conversation on the Future of Housing](#)

Feb 17, 2025 - [The City of La Crosse Announces an Update to their Zoning and Subdivision Code and Upcoming](#)

E-newsletters

July 14, 2024 - [Submit Your Comments: info@forwardlacrosse.org – We're Listening](mailto:info@forwardlacrosse.org)

- Zoning Comments - [LINK](#)

June 16, 2025 - [Survey Deadline June 30: Shape La Crosse's Future!](#)

June 9, 2025 - [Zoning Code 101 – Join Us June 9th & 23rd! \\$20 gift card!](#)

May 21, 2025 - [Zoning Code 101 – Join Us This Thursday!](#)

May 9, 2025 - [Help Shape La Crosse's Future—Take the Zoning Code Survey Today!](#)

April 24, 2025 - [NEXT WEEK! La Crosse Housing Week April 28 – May 3, 2025!](#)

April 3, 2025 - [Forward La Crosse News: La Crosse Housing Week April 28 – May 3, 2025!](#)

In the News

2025



1. Feb 17, 2025 (Around River City - Online Print) - [La Crosse Seeks Community Input for Zoning and Subdivision Code Update](#)
2. March 14, 2025 (WIZM News - Radio) [Women Build, Housing Week and Neighbor's Day with Habitat La Crosse's Kahya Fox](#)
3. March 24, 2025 (AARP Local) - [Join La Crosse Housing Week April 28 through May 3](#)
4. Apr 17, 2025 (WIZM News+Podcast) - [Habitat's Kahya Fox previews La Crosse Housing Week](#)
5. Apr 21, 2025 (wiproud.com) - [La Crosse organizations to launch first-ever La Crosse Housing Week April 28 to May 3](#)
6. April 21, 2025 (Yahoo News) - [La Crosse organizations to launch first-ever La Crosse Housing Week April 28 to May 3](#)
7. Apr 23, 2025 - (La Crosse Tribune) - [Housing Week aims to engage La Crosse on affordable housing issues](#)
8. Apr 23, 2025 - (La Crosse Tribune) - [La Crosse Housing Week: Affordable housing..](#)
9. Apr. 28, 2025 (WEAU 13) - [Local organizations launch first La Crosse Housing Week](#)
10. April 29, 2025 (Yahoo News) - [Housing Week kicks off in La Crosse](#)
11. Apr 29, 2025 - (wiproud.com) [Housing Week kicks off in La Crosse](#)
12. Apr 30, 2025 (News 8) - [La Crosse Housing Week aims to address community...](#)
13. May 7, 2025 (WXOW 19) - [City of La Crosse is seeking input on future development and neighborhood character](#)
14. June 30, 2025 (WIZM News) - [Zoning and neighborhood needs are top priorities for new development in La Crosse, for city plan commission](#)
15. June 09, 2025 (News 8) - [City of La Crosse educates residents on the importance of zoning](#)

Event Calendars Submissions

- La Crosse Tribune
- WXOW News 19
- [News 8](#)
- [Next Door](#)
- WI Proud (Fox 25/48)
- Good Morning Coulee
- La Crosse Local
- City of La Crosse Event Calendar
- Around River City

Physical Media – Posters

Forty posters were distributed across locations in La Crosse, including Viterbo University, UW-La Crosse, the public library, City Hall, and various spots throughout downtown for Housing Week.

In Person Presentations/Discussions



2025

- June 23, 2025 - [Zoning Code 101](#) - Bluffside and Grandview Emerson Neighborhood Associations
June 9, 2025 - [Zoning Code 101](#) - Weigent-Hogan, Holy Trinity-Longfellow, and Hintgen Neighborhood Associations
May 27, 2025 - [Zoning Code 101](#) - Logan-Northside Neighborhood Association and Lower Northside Depot Neighborhood
May 22, 2025 - [Zoning Code 101](#) - Washburn, Downtown, and Powell-Poage-Hamilton Neighborhood Associations
May 5 - La Crosse Chamber - [The Forum: La Crosse Housing & Zoning Changes](#)
April 30, 2025 - [Zoning & Beyond: Forward La Crosse](#) - La Crosse Public Library Main Branch
May 1, 2025 - [Zoning & Beyond: Forward La Crosse](#) - La Crosse Public Library Main Branch

Housing Week April 30- May 2, 2024

Wednesday, April 30

- **12:00–1:00 PM** – *Zoning & Beyond*
La Crosse Public Library (*City Standalone Event*)
- **2:00–3:30 PM** – *Riverside Park (Pop-up Table)*
- **6:30–8:00 PM** – *Housing on Tap*
Cappella Events Center (*Pop-up Table*)

Thursday, May 1

- **8:30–10:00 AM** – *Grounded Patio Cafe (Pop-up Table)*
- **12:00–1:00 PM** – *Let's 'Taco Boat' Housing Lunch*
Pump House Regional Arts Center (*Pop-up Table*)
- **2:00–3:30 PM** – (*Pop-up Table*)
- **5:00–6:00 PM** – *Zoning & Beyond: Forward La Crosse*
La Crosse Public Library (*City Standalone Event*)

Friday, May 2

- **9:30–11:30 AM** – *Then & Now History Exhibit*
La Crosse Public Library (*Pop-up Table*)
- **1:00–3:00 PM** – *The Economics of Redevelopment*
Black River Beach Neighborhood Center (*Pop-up Table*)

Organizational Media Inclusion

May 25, 2025 – The Bluffside Neighborhood Association shared the Forward La Crosse newsletter with their network.



Before and during Housing Week- Habitat for Humanity of the Greater La Crosse Region - including outreach through social media, newsletters, and other communication channels.

April 18, 2025 - (Couleecap, Inc. FB Page) - [Don't miss La Crosse Housing Week! April 28th...](#)

April 30, 2025 - (Extension La Crosse County FB Page) - ["Get ready, La Crosse! The first-ever Housing Week is happening this spring.](#)

City of La Crosse, Wisconsin

PROJECT TEAM:

Claire Stickler, Project Manager MSA Professional Services
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Emily Soderberg, Engagement Manager MSA Professional Services
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Mike Lamb, Mike Lamb Consulting mlambnet@gmail.com



DATE:

May 29th , 2025

LA CROSSE ZONING AND SUBDIVISION CODE UPDATE

Housing Week

La Crosse Housing Week was a major success, generating strong community interest and engagement around housing, zoning, and the future of development in the city. Thank you to all the partners for allowing our presentation to be apart of the week.

Events throughout the week were well-attended by a diverse group of residents, stakeholders, and community leaders. Our presentation encouraged dialogue, with many participants contributing thoughtful questions, comments and personal insights.

Survey Update

As of Tuesday 5/27, we have received 617 responses to Community Survey #1. The survey will be open until June 30th. Please share the survey with your connections throughout the community. The survey is available on forwardlacrosse.org.

Below is a brief analysis of the responses so far. This is very high level as we will provide a full analysis when the survey closes. Thus far -

- 73% of respondents are homeowners, with many having lived in the city for 11 or more years.
- We're seeing a broad range of age groups represented.
- Most respondents agree or strongly agree with statements regarding high-density and low-density residential buildings, as well as neighborhood-related questions.
- The only statements with less agreement were:
 - "Situating closer to the street than they typically are today"
 - "Set back the top stories of the building to better improve compatibility with the surrounding neighborhoods" (in reference to multi-family/high-density residential buildings).
- Open-Ended Question Themes
The open-ended question asked about concerns related to property regulations (e.g.,

PROJECT UPDATE

setbacks, height, landscaping, stormwater, lighting, parking, noise). A quick tally of common themes shows top concerns include:

- Parking
- Noise
- Overly burdensome regulations
- Restrictions limiting density and housing flexibility
- Stormwater infrastructure
- Building heights

Focus Groups and Interviews

These will primarily take place throughout June.

For any in-person focus groups or interviews, we're tentatively looking at June 30 and July 1st, as our project team will be in town for the Planning Commission Meeting.

Project Next Steps

- Stakeholder Interview Discussions
- Code Diagnostics
- Specific Code Approaches

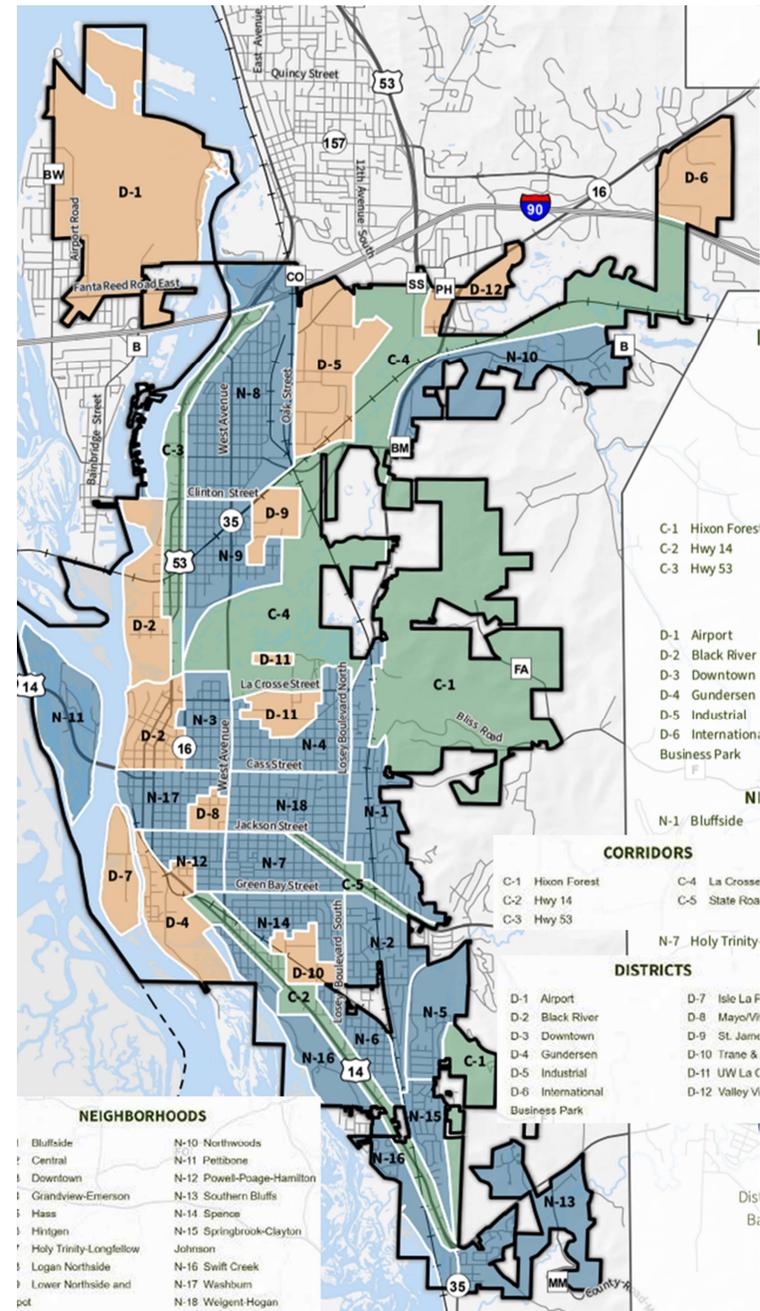
Built Form Study | Districts

Based on the Comprehensive Plan NDC framework, the Built Form Study samples the typical development pattern for each of the neighborhoods, districts and corridors as identified in the comp plan to better understand the physical dimensions of building type, site plan, street frontage and block pattern as well as other conditions.

Districts

D-1 thru D-12

D-1 Airport and D-12 Valley View Mall not included



Built Form Study | Plate D-2: Black River

NDC Framework: District



Urban Pattern



Built Form Examples



Notes

- Existing zoning: M1 Light Industrial, M2 Heavy Industrial, R1 Single Family, C1 Local Commercial, C2 Commercial
- Character area: Industrial small lot
- Key intersection: Hwy 53 & Monitor St, Hwy 53 & Copeland Ave
- Parcel pattern: Large rectangular lots fronting side streets; small rectangular residential/commercial lots with alley fronting Hwy 53, most lots are 25-50 feet wide and 140 feet deep
- Scale: Industrial area has medium to large 1-2 story structures
- Yards: Buildings on streets off of Hwy 53 generally have 20-foot setbacks (40 feet from road)
- Parking: Surface lots (paved and gravel) for industrial/commercial
- Materials: Lap siding (vinyl and wood), concrete, stucco
- Street: 50-65 foot ROW with limited sidewalk coverage on side streets, with no sidewalks; Hwy 53 has 70-100 foot ROW with 6-foot sidewalks on one or both sides
- Alley/Service Drive: N/A



Built Form Study | Plate D-4: Gundersen

NDC Framework: District



Urban Pattern



Built Form Examples



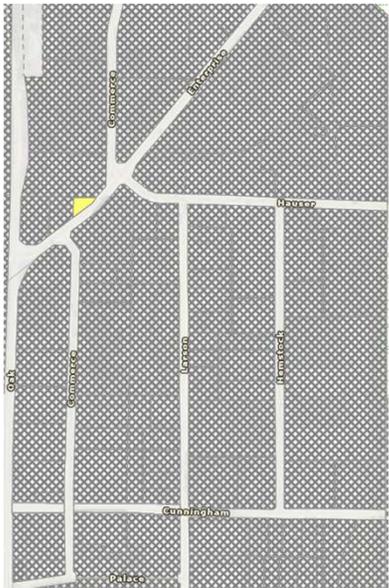
Notes

- Existing zoning: Public and Semi-Public & PD Planned Development
- Character area: Campus/medical
- Key intersection: South Ave & 7th St
- Parcel pattern: Large irregular lots abutting an access road on at least one edge; Main hospital is 50 ft from road,
- Scale: 5-7 story medical buildings and residential halls
- Yards: Most building are placed near property line with setbacks of at least 25-30 feet (with deeper setbacks on sides with large parking lots)
- Parking: Surface parking, parking ramps, limited street parking
- Materials: Masonry, glass
- Street: 100-foot ROW width for 7th street with 8-foot sidewalks on both sides, 90-foot ROW width for South Ave with 10-foot sidewalks on both sides; limited sidewalk coverage on side streets
- Alley/Service Drive: Sidewalk network that can be used between buildings (most sidewalks are 8 feet wide)



Built Form Study | Plate D-5: Industrial

NDC Framework: District



Urban Pattern



Built Form Examples

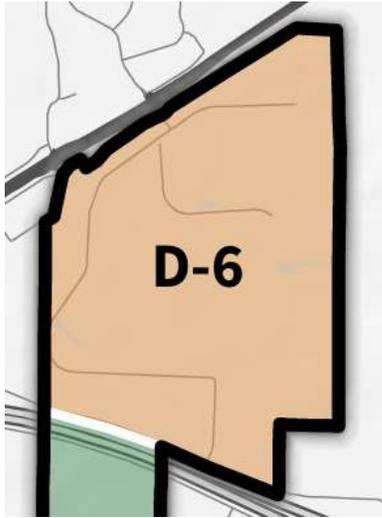


Notes

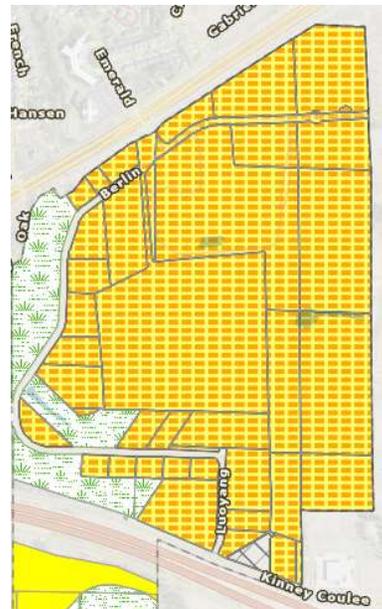
- Existing zoning: M2 Heavy Industrial
- Character area: Industrial large lot
- Key intersection: Oak St & Enterprise Ave
- Parcel pattern: Large irregular lots fronting Enterprise Ave and side streets
- Scale: Large floor plate buildings not exceeding 100 feet in height
- Yards: Shallow setbacks from roads and neighboring buildings
- Parking: Large surface parking lots, some parallel parking on each side of street
- Materials: Vinyl lap siding, masonry, metal panel
- Street: all streets have 60-65 foot ROW; Enterprise Ave and Larson St have 6-foot sidewalk on one side with 3-foot grass road verges
- Alley/Service Drive: N/A

Built Form Study | Plate D-6: International

NDC Framework: District



Urban Pattern



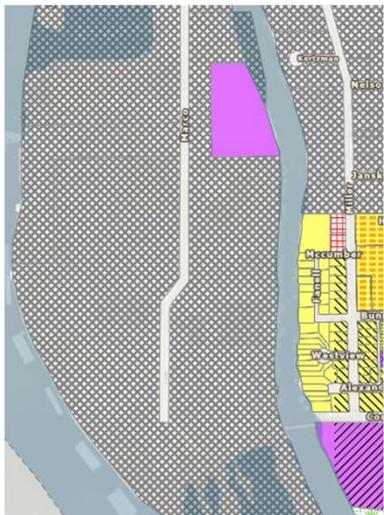
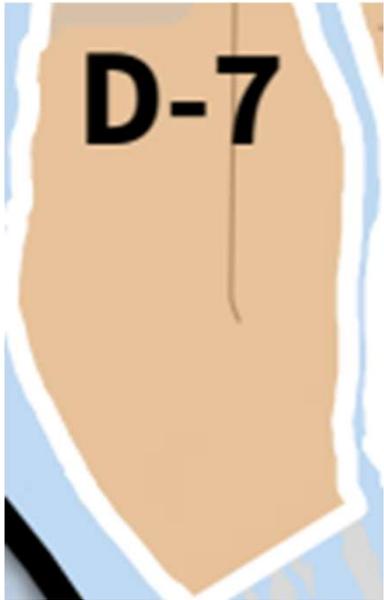
Built Form Examples



Notes

- Existing zoning: PD Planned Development
- Character area: Industrial large lot
- Key intersection: WI-16 & Berlin Dr
- Parcel pattern: Large irregular lots fronting Berlin Dr
- Scale: Large floor plate buildings not exceeding 2-3 stories
- Yards: Buildings with parking behind/beside have shallow setbacks fronting Berlin Dr; some buildings have surface lots in front
- Parking: Surface lots for all buildings, no street parking
- Materials: Masonry, metal panel
- Street: 65-foot ROW with no sidewalks; apparent 10-foot walking paths running through center of business parking and connecting to sidewalk on WI-16 & N Kinney Coulee Rd
- Alley/Service Drive: N/A

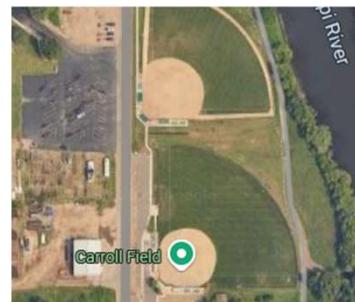
NDC Framework: District



Urban Pattern



Built Form Examples



Notes

- Existing zoning: M2 Heavy Industrial & Public & Semi-Public
- Character area: Industrial large lot
- Key intersection: N/A
- Parcel pattern: Large irregular lots fronting Marco Dr
- Scale: Large floor plate 1-4-story buildings
- Yards: Buildings on streets off Marco Dr setback 10-20 feet from ROW (parking of cars in the setback area)
- Parking: Large gravel surface lots (except two large paved lots)
- Materials: Vinyl lap siding, masonry, metal panel
- Street: 60-foot ROW with no sidewalk coverage
- Alley/Service Drive: N/A

Built Form Study | Plate D-8: Mayo/Viterbo/FSPA

NDC Framework: District



Urban Pattern



Built Form Examples



Notes

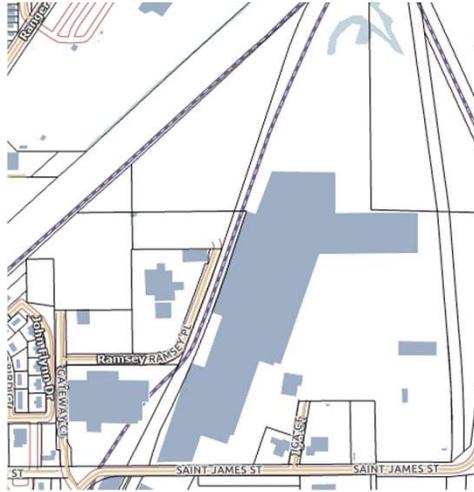
- Existing zoning: PS Public and Semi-Public, C1 Local Business
- Character area: Campus/medical & educational
- Key intersection: West Ave & Jackson St, West Ave & Market St
- Parcel pattern: Large rectangular lots fronting side streets abutting an access road on at least one edge; large commercial lots along West Ave
- Scale: 5-15 stories medical buildings; 3-5 story academic buildings; Few 1-story commercial buildings
- Yards: 50-80 feet from West Ave ROW; 10-15 feet from other side streets ROW
- Parking: Surface parking, parking ramps, street parking on side streets
- Materials: Masonry, glass
- Street: West Ave 80-foot ROW with 6-foot sidewalks on both sides; 65-70-foot ROW on other roads in district with 6-foot sidewalks on both sides
- Alley/Service Drive: Several driveways into parking lots off side streets; extensive sidewalk network in both medical and academic campuses (most sidewalks 10-15 feet wide)

Built Form Study | Plate D-9: St. James Industrial

NDC Framework: District



Urban Pattern

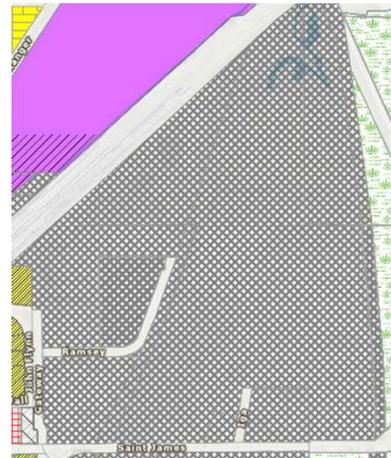


Built Form Examples



Notes

- Existing zoning: M2 Heavy Industrial
- Character area: Industrial large Lot
- Key intersection: N/A
- Parcel pattern: Large irregular lots fronting Saint James St
- Scale: Large floor plate 1-2-story industrial buildings
- Yards: Large building set back 0 feet, others between 30-175 feet with parking lot in front or behind buildings
- Parking: Large paved surface lots
- Materials: Vinyl lap siding, masonry, metal panel
- Street: 60-foot ROW with no sidewalk coverage
- Alley/Service Drive: N/A

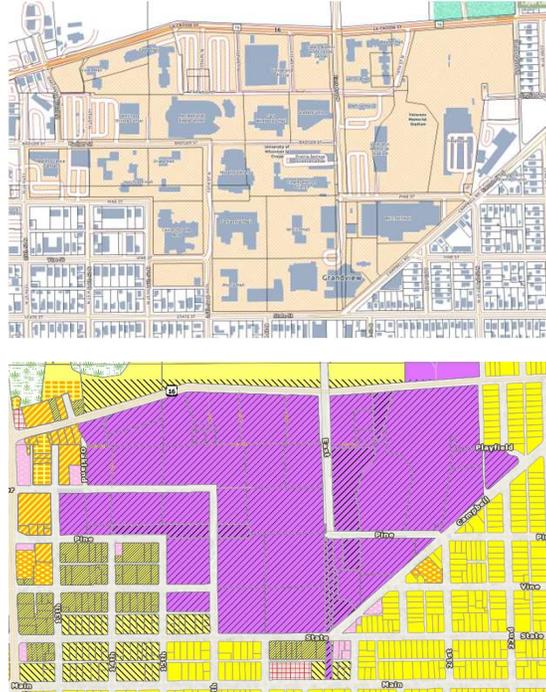


Built Form Study | Plate D-11: UW La Crosse

NDC Framework: District



Urban Pattern



Built Form Examples



Notes

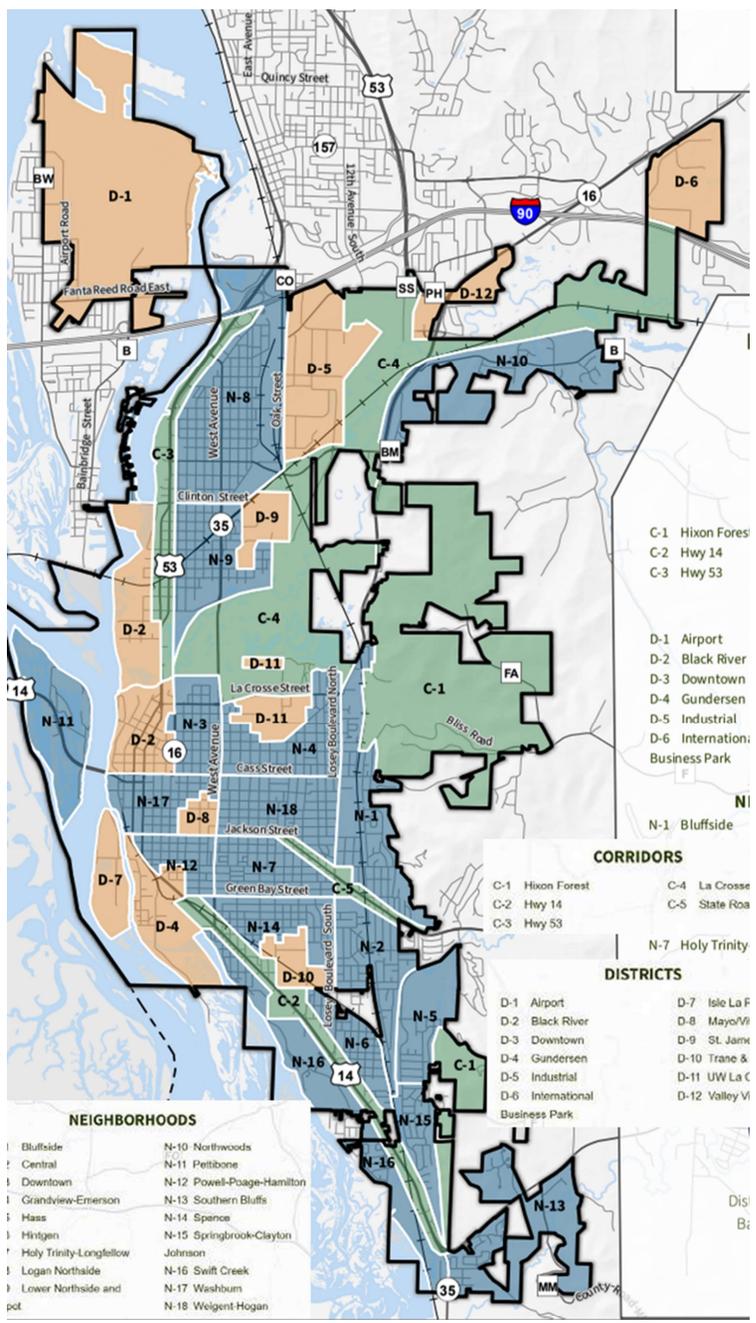
- Existing zoning: Public and Semi-Public
- Character area: Campus/educational
- Key intersection: La Crosse St & East Ave, La Crosse St & Losey Blvd
- Parcel pattern: Large rectangular lots abutting an access road on at least one edge; most lots are 300-370 feet deep
- Scale: 2-5 story academic buildings and residential halls
- Yards: Most buildings are placed in center of parcel with setbacks of 30-40 feet from each property line
- Parking: Surface parking, parking ramps, limited street parking
- Materials: Masonry, glass
- Street: 65-foot ROW with 7-13 foot sidewalks on each side; curb cuts for surface lots and drop-off points
- Alley/Service Drive: Extensive sidewalk network that can be used by university vehicles (most sidewalks are 10-20 feet wide)

Built Form Study | Neighborhoods

Based on the Comprehensive Plan NDC framework, the Built Form Study samples the typical development pattern for each of the neighborhoods, districts and corridors as identified in the comp plan to better understand the physical dimensions of building type, site plan, street frontage and block pattern as well as other conditions.

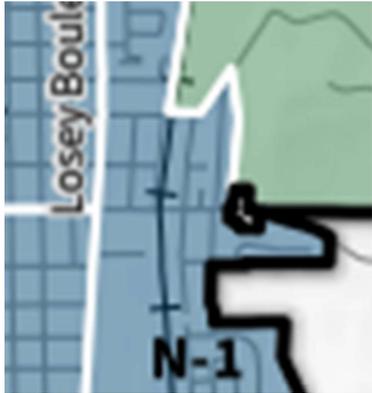
Neighborhoods

- N-1 thru N-18
- N-2 Central, N-3 Downtown and N-11 Pettibone are addressed in the Character Areas analysis



Built Form Study | Plate N-1: R1 Neighborhood East of Losey Blvd N

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



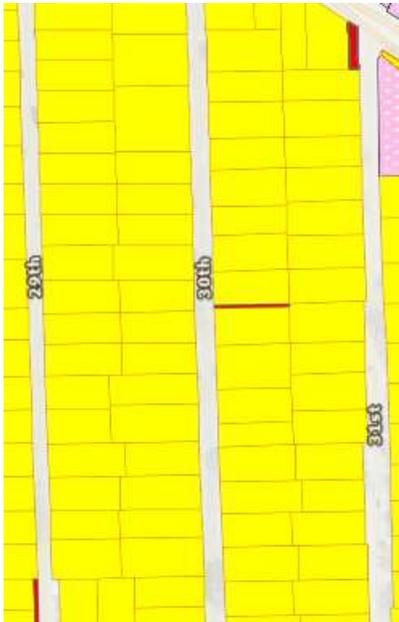
Notes

- Existing zoning: R1 Single Family
- Character area: contemporary neighborhood
- Key intersection: Losey Blvd & State St
- Parcel pattern: Residential lots in warped-grid layout and cul-de-sacs; most lots are 60-100 feet wide and <0.5 acres
- Scale: 1-2 story single-family buildings
- Yards: 35-foot front yard setback
- Parking: Private off-street
- Materials: Lap siding (vinyl and wood), brick, stone veneer
- Street: Losey Blvd has 100-foot ROW with 6-foot sidewalks on each side and 12-foot road verges; roads have no sidewalks
- Service Drive: Front-loaded
- Bluffside Tavern embedded in the SF neighborhood



Built Form Study | Plate N-2: Central

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



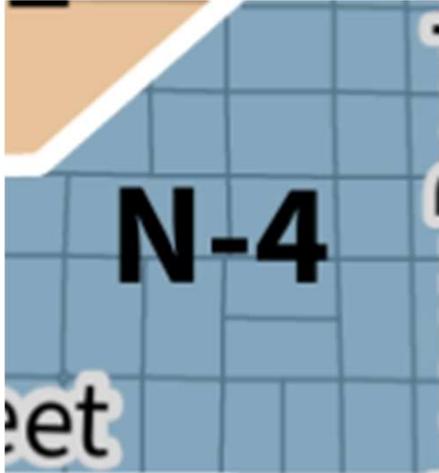
Notes

- Existing zoning: R1 Single Family
- Character area: Traditional neighborhood
- Key intersection: State Rd & 31st St
- Parcel pattern: Small rectangular lots; most lots are 70-85 feet wide and 140-150 feet deep
- Scale: 1-2 story single-family buildings with a few 2-story multi-family duplexes
- Yards: 15-30 foot front yard setback (from front property line); small rear yards
- Parking: Garages and driveways accessible from main streets; parallel parking on each side of street
- Materials: Lap siding (vinyl and wood), masonry
- Street: 40-foot ROW with no sidewalks; curb cuts for driveways with 5-foot grass road verges
- Service Drive: Front-loaded

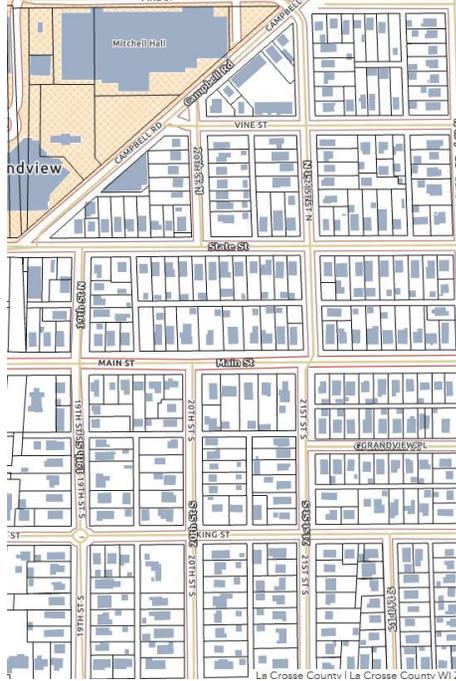


Built Form Study | Plate N-4: Grandview Emerson

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples

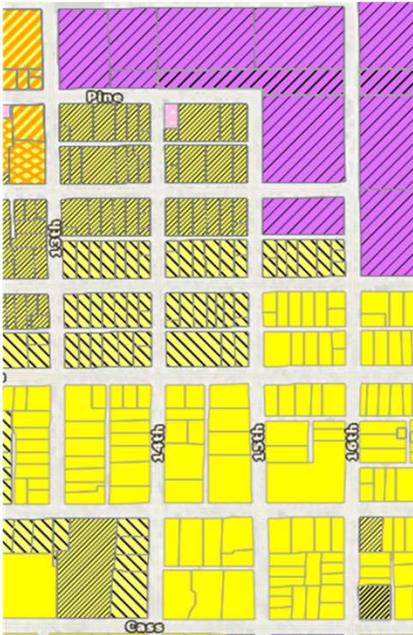


Notes

- Existing zoning: R1 Single Family
- Character area: Traditional neighborhood
- Key intersection: N/A
- Parcel pattern: Small rectangular lots with alley access in rear; most lots are 30-50 feet wide and 140-150 feet deep
- Scale: 1-3 story multi-tenant rental homes; 1-2 story single-family homes
- Yards: 20-foot front yard setback (from sidewalk); small rear yards (or additional parking) with garages on alley
- Parking: Garages and driveways accessible from main streets and alleys; parallel parking on each side of street
- Materials: Vinyl lap siding, brick
- Street: 65-foot ROW with 6-foot sidewalk on each side; curb cuts for driveways with 8-foot grass road verges
- Alley/Service Drive: 20 ft ROW, paved concrete typ.

Built Form Study | Plate N-4.1: Grandview Emerson

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



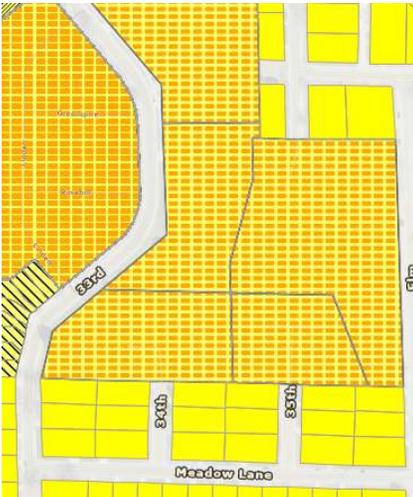
Notes

- Existing zoning: R1 Single Family, R2 Residence, R5 Multiple Dwelling, C1 Local Business, TND Traditional Neighborhood Development
- Character area: Student housing and neighborhood retail/restaurants
- Key intersection: State St & Campbell Rd
- Parcel pattern: Small rectangular lots with alley access in rear; most lots are 50-60 feet wide and 150 feet deep; some lots are divided width-wise into halves/thirds with depths of 50-100 feet each; neighborhood commercial fronting State St and Campbell Rd
- Scale: 2-3 story multi-tenant rental homes and apartment buildings; 1-2 story single-family homes, 1 story commercial with flat roofs
- Yards: 15-foot front yard setback (from sidewalk); small rear yards (or additional parking) with garages on alley
- Parking: Garages and driveways accessible from main streets and alleys; parallel parking on each side of street, surface parking behind multi-tenant buildings
- Materials: Vinyl lap siding, brick, stucco
- Street: 65-foot ROW with 6-foot sidewalk on each side; curb cuts for driveways with 8-foot grass road verges
- Alley/Service Drive: 20 ft ROW, paved concrete typ.

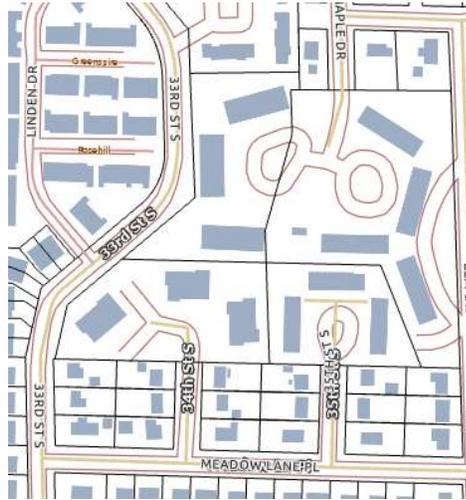


Built Form Study | Plate N-5: Hass

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples

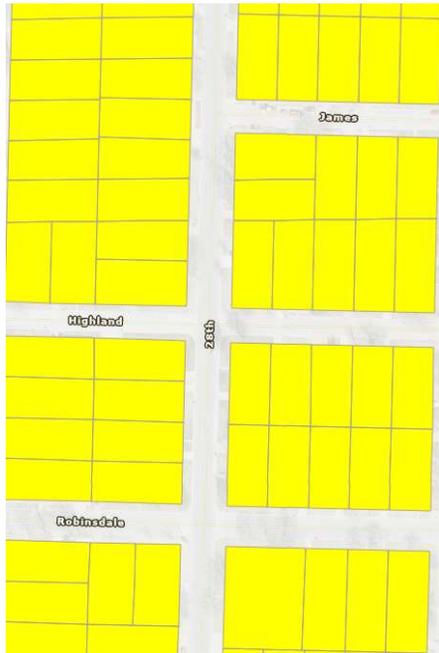


Notes

- Existing zoning: PD Planned Development
- Character area: Contemporary neighborhood
- Key intersection: N/A
- Parcel pattern: Large multi-structure lots fronting public/private roads and surface parking lots
- Scale: 2-story multi-family residential buildings and twinhomes
- Yards: 15-20 foot structure setback from road frontage or shared surface parking
- Parking: Surface lots for multi-family structures, private driveways for twinhomes
- Materials: Lap siding (vinyl and wood), brick
- Street: Most streets have 60-foot ROW with no sidewalks; 33rd St S has 6-foot sidewalk on western side and 8-foot road verge
- Service Drive: Front-loaded for twinhomes

Built Form Study | Plate N-6: Hingten

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



Notes

- Existing zoning: R1 Single Family
- Character area: Traditional neighborhood
- Key intersection: N/A
- Parcel pattern: Small rectangular lots that are 60 feet wide and 120-135 feet deep
- Scale: 1-2 story single-family buildings
- Yards: 20-25 foot front yard setback (from front property line); small rear yards
- Parking: Garages and driveways accessible from main; parallel parking on each side of street
- Materials: Lap siding (vinyl and wood), masonry
- Street: Highland St has 50-foot ROW and north-south streets have 65-foot ROW; inconsistent sidewalk coverage from property to property
- Service Drive: Front-loaded

Built Form Study | Plate N-7 : Holy Trinity-Longfellow

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



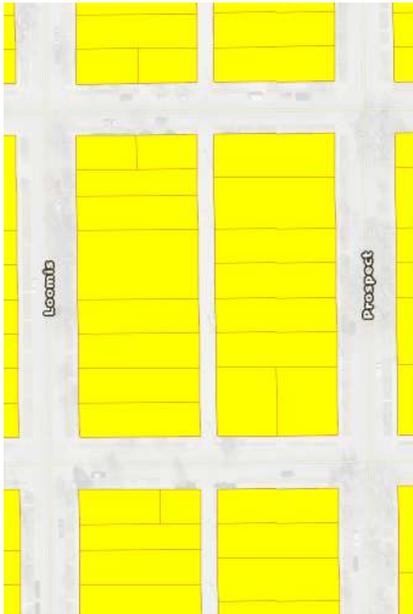
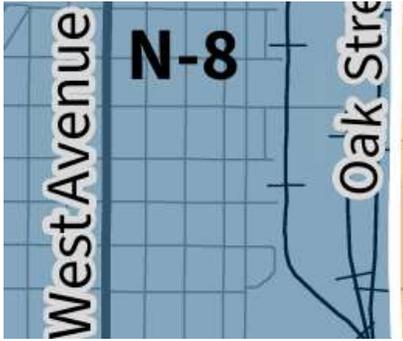
Notes

- Existing zoning: R1 Single Family, R2 Residence, PS Public and Semi-Public
- Character area: Traditional neighborhood
- Key intersection: N/A
- Parcel pattern: Small rectangular lots that are 50 feet wide and 130-170 feet deep
- Scale: 1-2 story single-family buildings
- Yards: 15-foot front yard setback (from sidewalk, if applicable); small rear yards with garages on alley
- Parking: Garages and driveways accessible from main streets and alleys; parallel parking on each side of street
- Materials: Lap siding (vinyl and wood), masonry
- Street: 65-foot ROW with 6-foot sidewalk on each side; curb cuts for driveways with 9-foot grass road verges
- Service Drive: 20 ft ROW, paved concrete typ.



Built Form Study | Plate N-8: Logan Northside

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



Notes

- Existing zoning: R1 Single Family
- Character area: Traditional neighborhood
- Key intersection: N/A
- Parcel pattern: Small rectangular lots with alley access in rear; most lots are 40-60 feet wide and 140 feet deep; some lots are double-wide (80 feet); some lots are divided width-wise with depths of 70 feet each
- Scale: 1-2 story single-family buildings
- Yards: 10-foot front yard setback (from sidewalk); small rear yards with garages on alley
- Parking: Garages and driveways accessible from main streets and alleys; parallel parking on each side of street
- Materials: Lap siding (vinyl and wood)
- Street: 70-foot ROW with 6-foot sidewalk on each side; curb cuts for driveways with 10-foot grass road verges
- Alley/Service Drive: 20 ft ROW, paved concrete typ.

Built Form Study | Plate N-8.1: Logan Northside (George St Commercial)

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples

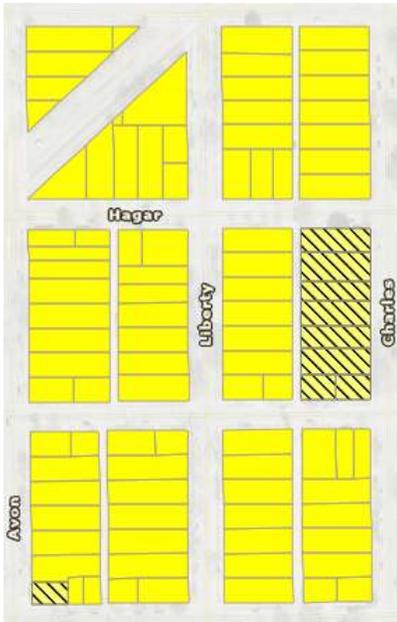


Notes

- Existing zoning: C1 Local Business
- Character area: Traditional shopping street
- Key intersection: George St & Gillette St
- Parcel pattern: incremental, small lot typically alley loaded; some curb cuts from George; common residential lots are 50 feet wide; some residential lots measure 30 feet wide
- Scale: 1 and 2 story retail and residential buildings; commercial buildings tend to have flat roofs and transparent shopfronts
- Yards: Zero lot line for commercial structures; shallow setback for residential along George
- Parking: several surface lots front onto George
- Materials: brick, stucco, lap siding—vinyl and wood
- Street: 64 foot ROW; curb and gutter with sidewalk back of curb; narrow grassed boulevards here and there
- Alley/Service Drive: 20 ft ROW, paved concrete typ.

Built Form Study | Plate N-9: Lower Northside and Depot

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



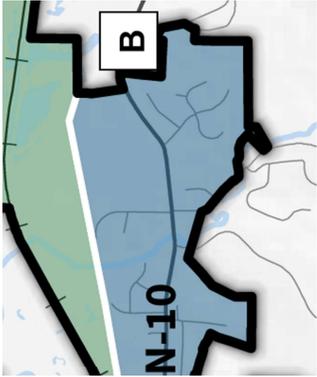
Notes

- Existing zoning: R1 Single Family, R2 Residential
- Character area: Traditional neighborhood
- Key intersection: Hagar St & Avon St
- Parcel pattern: Small rectangular lots with alley access in rear; most lots are 40-55 feet wide and 140 feet deep; some lots are divided width-wise with depths of 70 feet each
- Scale: 1-2 story single-family buildings
- Yards: 15-25 foot front yard setback (from sidewalk); small rear yards with garages on alley
- Parking: Garages and driveways accessible from main streets and alleys; parallel parking on each side of street
- Materials: Lap siding (vinyl and wood), masonry
- Street: 60-foot ROW with 6-foot sidewalk on each side; curb cuts for driveways with 5-foot grass road verges
- Alley/Service Drive: 15-20 foot ROW, paved concrete typ.

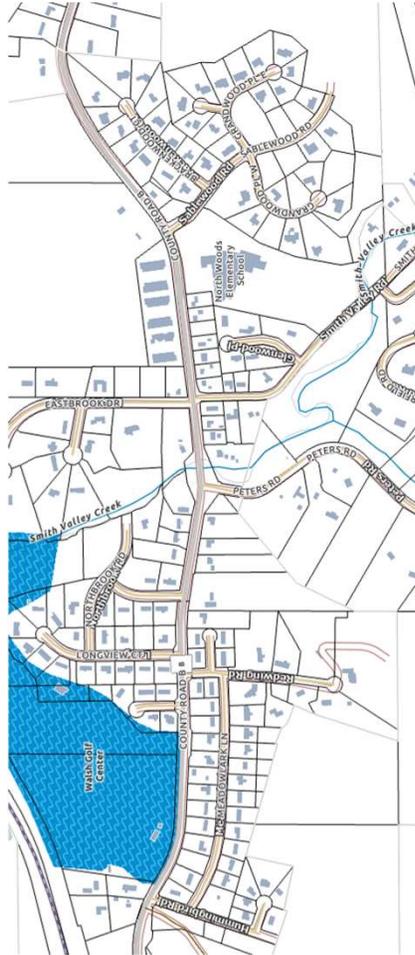


Built Form Study | Plate N-10: Northwoods

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples

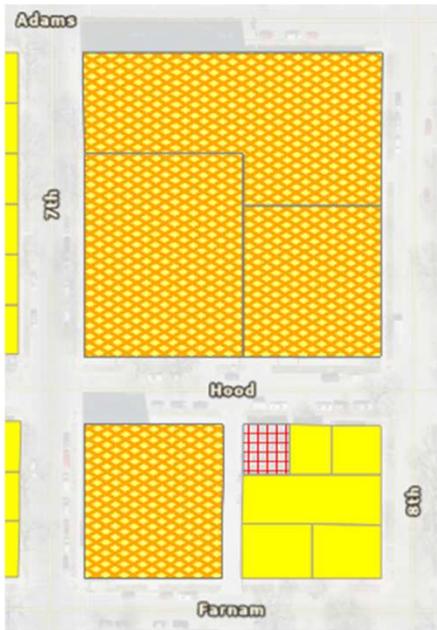


Notes

- Existing zoning: R1 Single Family
- Character area: Contemporary neighborhood
- Key intersection: CH B & Sablewood Rd
- Parcel pattern: Residential lots in dendritic layout
- Scale: 1-2 story single-family homes
- Yards: 40-foot front yard setback
- Parking: Driveways accessible from subdivision roads
- Materials: Vinyl lap siding, brick, stone veneer
- Street: 65-foot ROW with 6-foot sidewalk on one side; curb cuts for driveways with grass road verges
- Service: Front loaded

Built Form Study | Plate N-12: Powell-Poage Hamilton

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



Notes

- Existing zoning: TND Traditional Neighborhood Development, C2 Commercial, & R1 Single Family
- Character area: Urban Mixed
- Key intersection: 7th St & Farnam St
- Parcel pattern: Large lots with apartment buildings with large parking lots and small rectangular and square single-family residential lots
- Scale: 3-4 story apartment buildings; 1-2 story single-family buildings; 1-story commercial buildings with flat roofs
- Yards: 5-15 feet front yard setback (from sidewalk for apartments); large surface parking lots behind apartments
- Parking: Several large surface lots front onto Hood St and 8th St and garages and driveways accessible from main streets and alleys; parallel parking on each side of street
- Materials: Vinyl lap siding, brick, stucco
- Street: 65-foot ROW with 6-foot sidewalk on each side; curb cuts for driveways with 7-8-foot grass road verges
- Alley/Service Drive: 20-foot ROW alley, paved concrete typ and service drives off Hood st (see top 3 images)

Built Form Study | Plate N-14: Spence

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



Notes

- Existing zoning: R1 Single Family
- Character area: Traditional neighborhood
- Key intersection: N/A
- Parcel pattern: Small rectangular lots that are 50-60 feet wide and 100-130 feet deep from ROW line
- Scale: 1-2 story single-family buildings
- Yards: 15-25 front yard setback (from sidewalk, if applicable); small rear yards with garages on alley
- Parking: Garages and driveways accessible from main streets and alleys; parallel parking on each side of street
- Materials: Lap siding (vinyl and wood), masonry
- Street: 65-foot ROW with 6-foot sidewalk on each side; curb cuts for driveways with 9-foot grass road verges
- Alley/Service Drive: 16-foot ROW, paved concrete typ a few gravel and a few front-loaded

Built Form Study | Plate N-15: Springbrook-Clayton Johnson

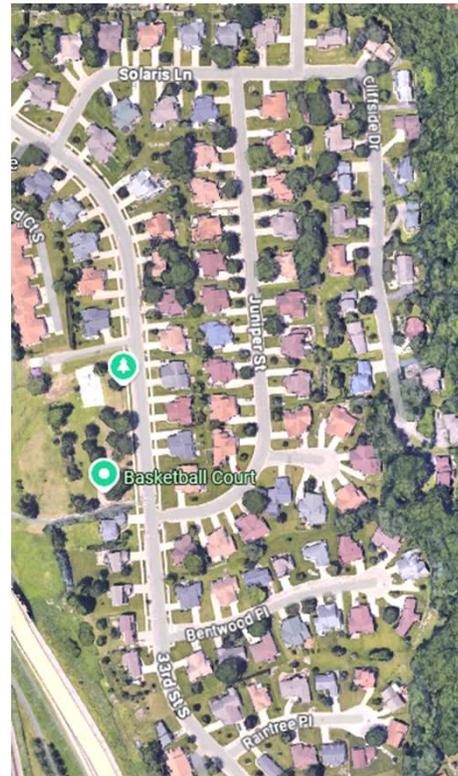
NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



Notes

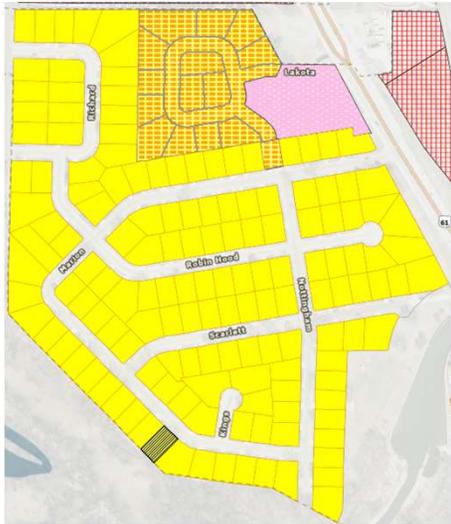
- Existing zoning: N/A
- Character area: contemporary neighborhood
- Key intersection: 33rd St S and Solaris
- Parcel pattern: 85 ft wide lots typical
- Scale: 1 story; some taller
- Yards: 25 foot front yard setback (from front property line)
- Parking: Driveways accessible from streets; parallel parking on each side of streets
- Materials: Lap siding (vinyl and wood), masonry
- Street: 60 foot ROW with sidewalks on most streets but not all;
- Service Drive: Front-loaded

Built Form Study | Plate N-16: Swift Creek

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



Notes

- Existing zoning: R1 Single Family, PD Planned Development, & C1 Local Business
- Character area: Contemporary neighborhood
- Key intersection: US-35 & N Marion Rd
- Parcel pattern: Small rectangular lots; most lots are 75-85 feet wide and 95-115 feet deep from ROW line
- Scale: 1-2 story single-family buildings with 11 1-story multi-family duplexes/triplexes/quadplexes in Lakota PI development area
- Yards: 15-30 foot front yard setback (from ROW line); rear yards varying between 30-50 feet; 20 foot front yard setback (from ROW line) and 10-15 feet rear yard setback in Lakota PI duplexes/triplex/quadplex
- Parking: Garages and driveways accessible from main streets; parallel parking on each side of street
- Materials: Lap siding (vinyl and wood), masonry
- Street: 40-foot ROW with no sidewalks; curb cuts for driveways with 5-foot grass road verges
- Service Drive: Front-loaded

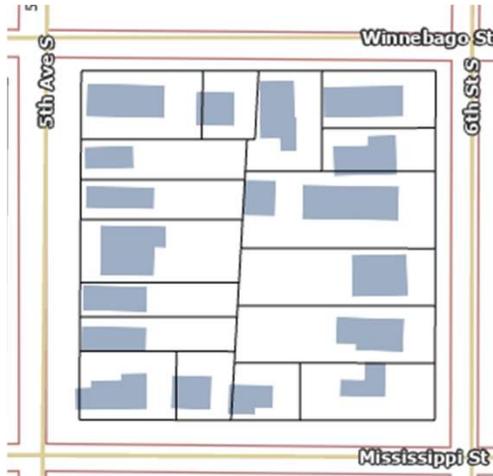
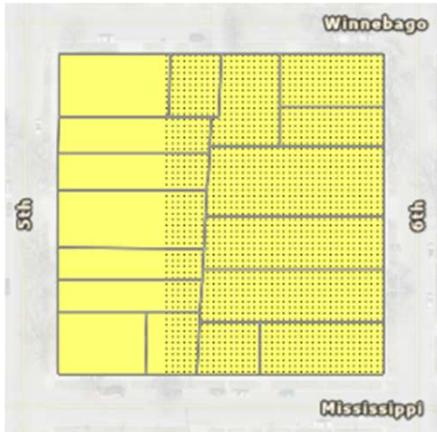


Built Form Study | Plate N-17: Washburn

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



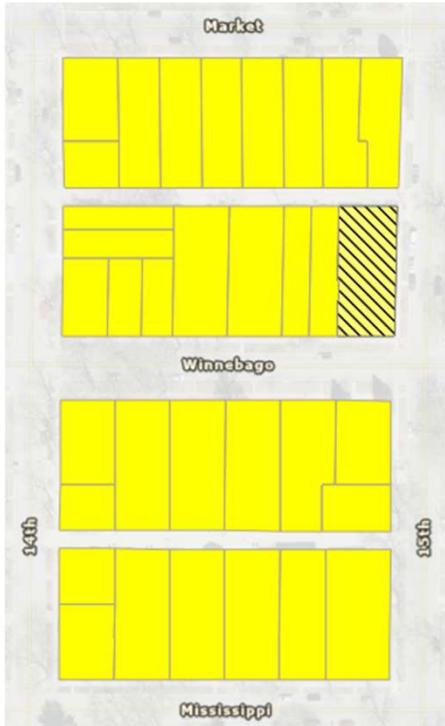
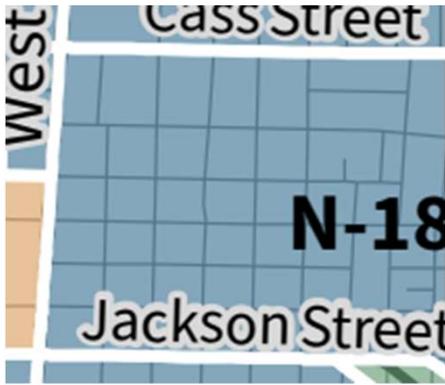
Notes

- Existing zoning: R1 Single Family & WR Washburn Residential
- Character area: Traditional neighborhood
- Key intersection: N/A
- Parcel pattern: Small rectangular lots that are 50-60 feet wide and 140-145 feet deep from ROW line
- Scale: 1-2 story single-family buildings, two 2-story apartments, and scattered 1-2 story commercial buildings
- Yards: 10-20 front yard setback (from sidewalk, if applicable); 100 foot rear yard setback (on average)
- Parking: Garages and driveways accessible from main streets; parallel parking on each side of street
- Materials: Lap siding (vinyl and wood), masonry
- Street: 65-foot ROW with 6-foot sidewalk on each side; curb cuts for driveways with 8-foot grass road verges
- Service Drive: Front-loaded



Built Form Study | Plate N-18: Weigent Hogan

NDC Framework: Neighborhoods



Urban Pattern



Built Form Examples



Notes

- Existing zoning: R1 Single Family & WR Washburn Residential
- Character area: Traditional neighborhood
- Key intersection: N/A
- Parcel pattern: Small rectangular lots that are 60 feet wide and 140 feet deep from ROW line
- Scale: 2-3 story single-family buildings
- Yards: 10-20 front yard setback (from sidewalk, if applicable); 50-70 foot rear yard setback (70 foot on average)
- Parking: Garages and driveways accessible from main streets and alleys; parallel parking on each side of street
- Materials: Lap siding (vinyl and wood), masonry
- Street: 65-70-foot ROW with 6-foot sidewalk on each side; curb cuts for driveways with 8-10-foot grass road verges
- Alley/Service Drive: 20-foot ROW, paved concrete top a few gravel and a few front-loaded



Character Area Definitions

Zoning Update using a Context Sensitive, Character-based Approach

A character-based approach to the zoning code update is based on the NDC Framework used in the Comprehensive Plan. The Built Form Study sampled all of the identified areas to better understand typical character, context, building, lot and street types. This analysis will then be used to confirm particular “character” areas of the city that will be used to calibrate applicable urban standards and dimensions.

The Comprehensive Plan sets forth the vision for future land uses across all properties within the City of La Crosse. Future land use identifies the mix of uses which may become appropriate for a given property over the next twenty years. This concept takes into account the larger context of neighboring properties and how they interact together to serve residents. Future land use is based on the "Neighborhood, District, and Corridor Framework" (NDC), a system devised by the Congress for New Urbanism (CNU). *Source: 2040 Comprehensive Plan*

The intent of the NDC Framework model is to encourage walkable, compact communities that are rich with amenities and celebrate the history of the built environment and the preservation of natural features, all while respecting the fabric of communities. NDC proposes three fundamental classifications that organize La Crosse into a mix of uses rather than isolated land uses. NDC does not replace the adopted zoning code, but instead paints a broad and cohesive long-term picture for the built environment. The NDC model can pair well with form-based codes, a land development regulation that focuses on the physical form of the built environment in relation to the public realm as the code's overarching principle. If the City decides to integrate a form-based code in the future, the NDC model can be used to guide a cohesive urban form. *Source: 2040 Comprehensive Plan*

A character-based code guides development to build upon and strengthen the unique characteristics of a community, helping to preserve desired character. A character-based code is organized around the unique physical features of the built environment by documenting and analyzing the community’s existing urban form at different scales, from the broad characteristics of a community’s neighborhoods to particular building types.

Neighborhoods, which usually are areas that contain blocks or buildings that are unified in character or style. A neighborhood is often walkable and may have a clearly defined center or edge.

Districts, which are areas typically defined by a particular use or activity, such as light industrial districts.

Corridors, which can be man-made elements relating to movement, such as roads or railways, or natural elements such as rivers. Whether man-made or natural, these corridors often define boundaries within and between neighborhoods. However, roads that function as commercial corridors often serve as the center of many communities. *Source: adapted from “Form-based Codes: A Step by Step Guide for Communities”, Chicago Metropolitan Agency for Planning & the Form Based Codes Institute*

NDC Boundaries

City of La Crosse

Comprehensive Plan 2040

LEGEND

- Corridor
- District
- Neighborhood

CORRIDORS

- | | |
|------------------|---------------------|
| C-1 Hixon Forest | C-4 La Crosse Marsh |
| C-2 Hwy 14 | C-5 State Road |
| C-3 Hwy 53 | |

DISTRICTS

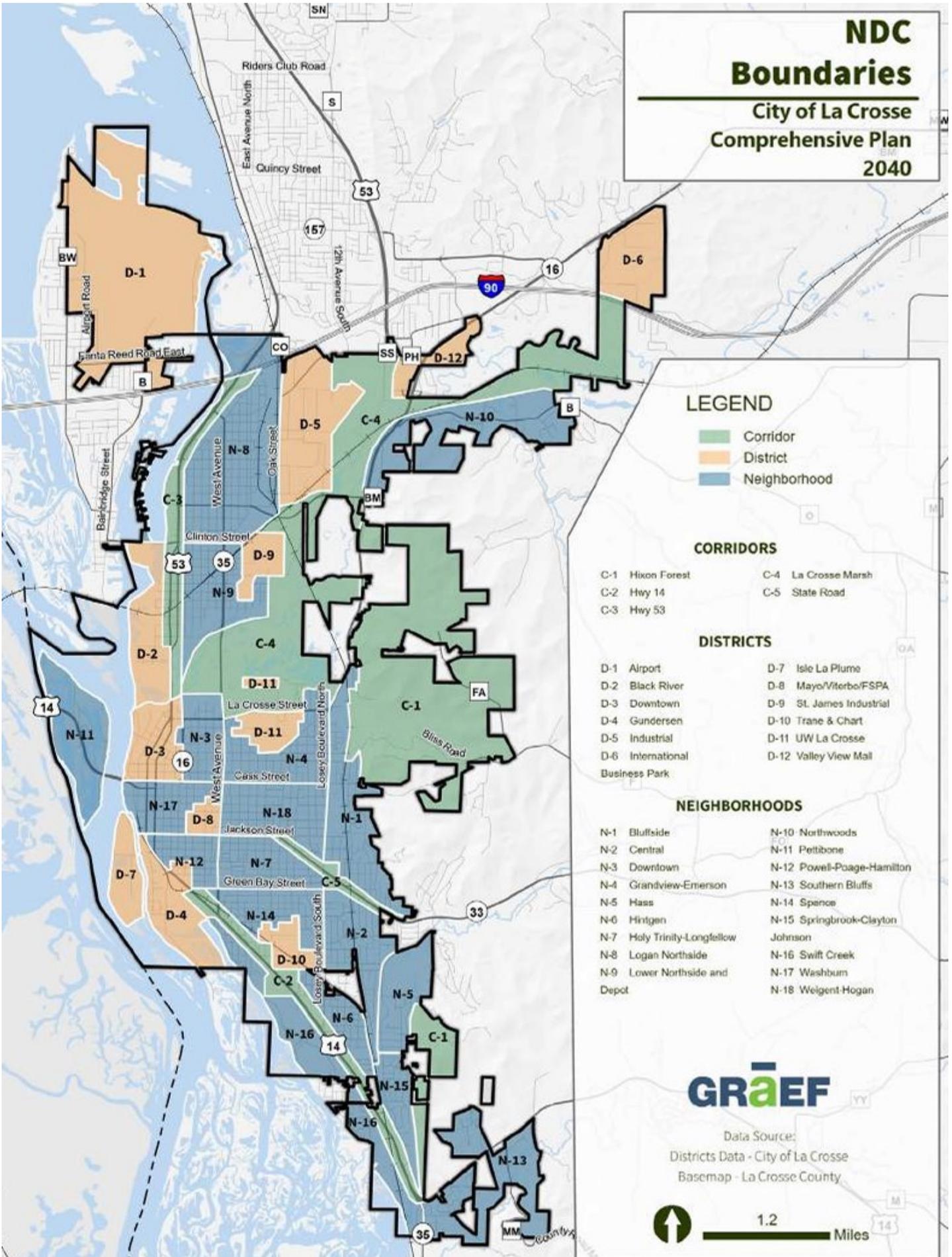
- | | |
|---------------------------------|--------------------------|
| D-1 Airport | D-7 Isle La Plume |
| D-2 Black River | D-8 Mayo/Viterbo/FSPA |
| D-3 Downtown | D-9 St. James Industrial |
| D-4 Gunderson | D-10 Trane & Chart |
| D-5 Industrial | D-11 UW La Crosse |
| D-6 International Business Park | D-12 Valley View Mall |

NEIGHBORHOODS

- | | |
|-------------------------------|----------------------------------|
| N-1 Bluffside | N-10 Northwoods |
| N-2 Central | N-11 Pettibone |
| N-3 Downtown | N-12 Powell-Poage-Hamilton |
| N-4 Grandview-Emerson | N-13 Southern Bluffs |
| N-5 Hass | N-14 Spence |
| N-6 Hintgen | N-15 Springbrook-Clayton Johnson |
| N-7 Holy Trinity-Longfellow | N-16 Swift Creek |
| N-8 Logan Northside | N-17 Washburn |
| N-9 Lower Northside and Depot | N-18 Weigent-Hogan |

GRaEF

Data Source:
Districts Data - City of La Crosse
Basemap - La Crosse County





Traditional neighborhoods—residential areas that are mostly historic with fine grain block and street pattern, alley service, prominent parks and walkable streets that connect to neighborhood destinations. Physical features: compact lots, 1.5– 2.5 stories in height, shallow front yards, sidewalks and alley loaded parking.



Traditional neighborhoods/ varied - residential areas that mostly contain smaller lots with connected streets and alley service but also include a mix of contemporary, front-loaded building types. historic with fine grain block and street pattern, alley service, prominent parks and walkable streets that connect to neighborhood destinations. Physical features: 1 to 1.5 stories in height, common front yards and some lots that area wider.



Traditional shopping street—a walkable, retail environment located in traditional neighborhoods that contain commercial sales and services more scaled and compatible with existing residential development.

Physical features: compact lots, 1-2 stories in height, zero front yards, shopfront frontage common with alley loaded service and on-street parking.



Urban Mixed Residential—an area that contains a mix residential building types from detached single family to larger multi-family apartments.

Physical features: compact lots, 1-stories in height, shallow front yards; alley loaded and on-street parking.



Modular neighborhood—residential areas that are composed mobile and manufactured building types. Urban pattern is usually tight (narrow) sites with generous streets; lot is often in single ownership

Physical features: 1 stories in height, shallow front yards, parking in front or the side of the unit



Corridor mixed— typically corridors that contain a mix of commercial, residential and institutional buildings within the same block and/or across the street from each other; common in traditional neighborhoods that are transitioning or growing. service, prominent parks and walkable streets that connect to neighborhood destinations.

Physical features: 1-2 stories but other physical features vary depending on building type



Commercial Corridor/Small Format— most commercial corridors in the city contain a mix of building types and sizes; the small format commercial corridor is common in several areas

Physical features: wide lots, 1-2 stories in height, generous setbacks with parking common in front of the entrance



Commercial Corridor/Large Format— most commercial corridors in the city contain a mix of building types and sizes; the large format commercial corridor is common in several areas such as the Valley View Mall.

Physical features: wide and deep lots, 1-2 stories in height, generous setbacks with parking common in front of the entrance



Downtown—The downtown is made up of a larger “core” area that contains a number “main street” blocks that are highly walkable and characterized by transparent storefronts. The downtown also includes a historic district which overlaps much of the “main street” blocks.

Physical features: “main street” blocks are multiple stories with highly defined shopfronts; masonry construction is typical; the periphery of the core contains more and larger surface parking areas.



Downtown/“Main Street”– the heart of downtown contains a well defined walkable district with retail shop fronts set at the back of the sidewalk creating a very intimate, human scaled environment;

Physical features: high level of shopfront transparency at the street level, common exterior is brick; alley service to the block interiors; parking on-street



District — a number of districts occur in the city—these can be education, health or recreation in use; they tend to include larger buildings arranged to form an identity or sense of spaces but also can include large parking areas.

Physical features: wide lots, buildings often more than 3 stories in height, setbacks and yard vary



Industrial small format— there area multiple areas characterized as ‘industrial’ with these building types arranged into small formats where they respond to a connected street and block pattern, alley loaded and small operationa areas

Physical features: typical traditional small lots, 1-2 stories in height, common material is metal siding and some masonry finishes at the building base



Industrial large format— there are multiple areas characterized as 'large format industrial' that include very large floorplate buildings including large outdoor storage areas, loading and large surface parking areas

Physical features: multiple stories in height depending on functions and use; typical flat roofs, common material is metal siding and some masonry finishes at the building base

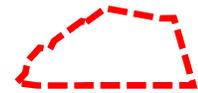
Character Area: *Downtown* – *Three Distinct Areas*



Three distinct areas assume that the zoning districts may also be more responsive to the character of each with the “main street” area requiring the most rigorous standards and regulations.



Downtown Area



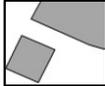
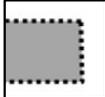
Core



“Main street”

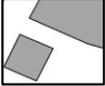
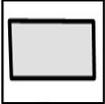
Character Areas: Downtown Core/Building Frontage & Parking



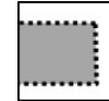
-  Active building frontage
-  Blank building wall
-  Surface parking
-  Structured parking

Character Areas: *Downtown Core/Parking Diagram*

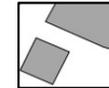


-  Surface parking
-  Structured parking

Character Areas: "Main Street"/Frontage & Parking Diagram



Structured parking



Surface parking



Active building frontage

Character Areas: *Main Street/Frontage & Parking Diagram*



The building frontage and parking diagram illustrates the key blocks of the downtown “main street” area. These block faces are the most walkable and pedestrian friendly places in downtown; zoning standards can be more specific about this built environment character and regulate future development to recognize these conditions and respond in similar ways.

Character Areas: *Building Standards*



Newer buildings at Jay and Front St share common design features and materials.



A recent residential building uses more clean, modern materials that are compatible with traditional buildings.



Renovations highlight the historic character of street level shopfronts; graphics obscure window transparency.



Street level façade works with the bay and window design but presents exposed parking to the street.



Super graphics that may or may not be appropriate for some "main street" building locations.



Recent residential building includes large setback from the street.



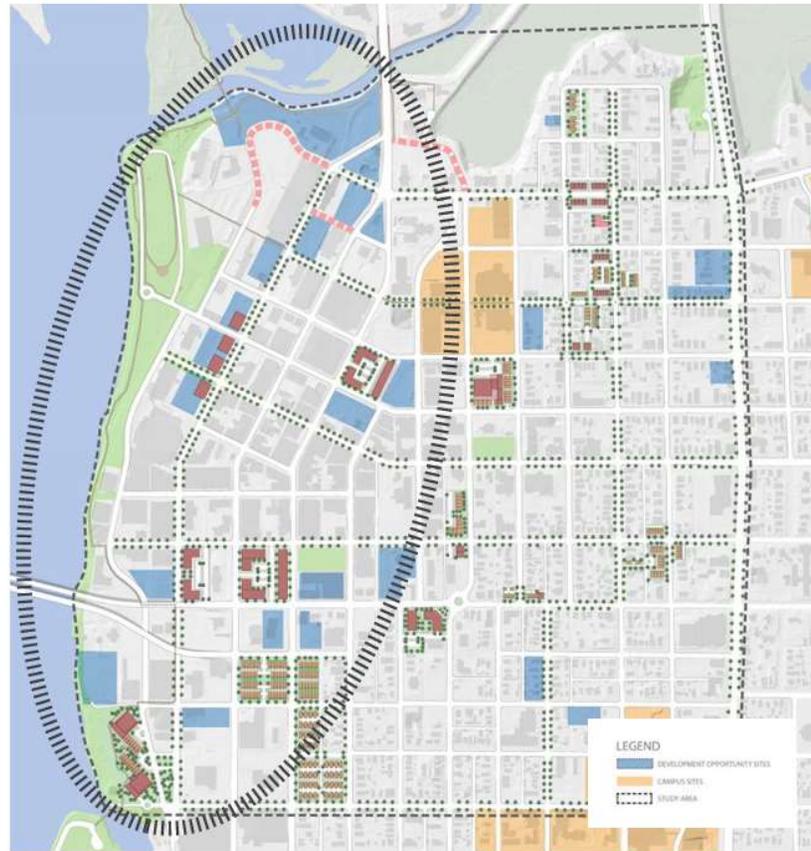
Character Areas: *Downtown Development Opportunities*

CORE CLUSTER CONCEPTS

This plan recognizes that sites may redevelop entirely differently than imagined in this plan, yet the plan illustrates possibilities that may complement downtown as a place to work, live, and visit.

1. **Surface Parking Lots.** Privately owned parking lots could be redeveloped into a vertical mixed use. These sites are subject to concepts in the prototypical development diagrams.
2. **US Post Office Site.** Redeveloping the US Post Office site for a project that better contributes to the culture of downtown is a high-priority from the planning participants.
3. **Core Gateway.** Blocks located north of the bridge are candidates for signature projects like Belle Square.
4. **Houska Village.** A long-term vision for this area should protect the site until the market can support the project. The concept leverages the views of the Mississippi River and proximity to downtown.
5. **La Crosse River Area.** Sites near the La Crosse River can become prime for development by connecting La Crosse Street to Front Street.
6. **Salvation Army.** A redevelopment concept for a block that straddles the core of downtown and traditional neighborhood.

DEVELOPMENT CONCEPT MAP

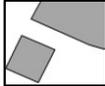
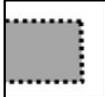


↑ NORTH



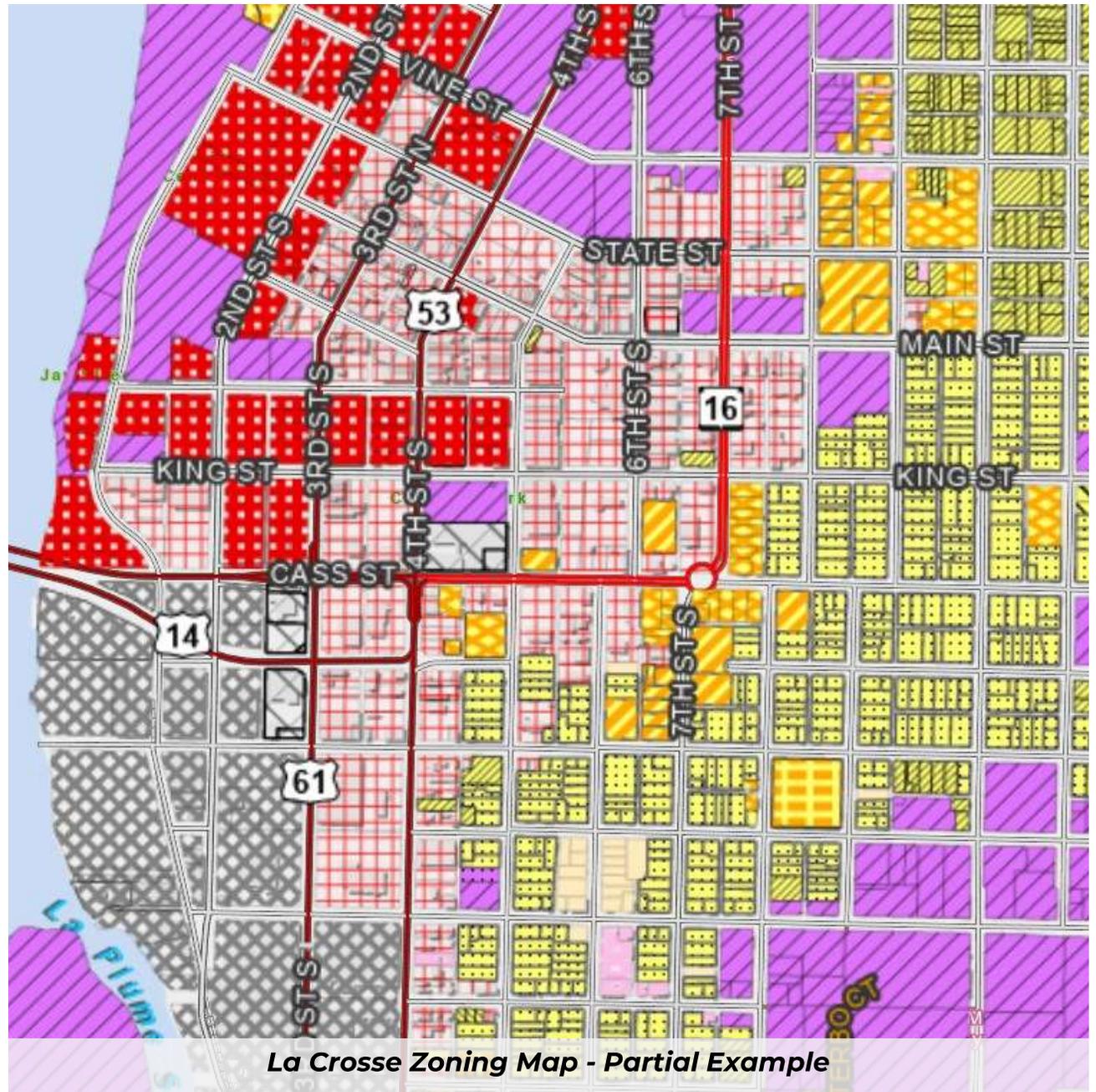
Character Areas: *Downtown Core/Frontage & Parking*



-  Active building frontage
-  Blank building wall
-  Surface parking
-  Structured parking

Contents

- 1) Cover/Map
- 2) Introduction & History
- 3) Scope of Work/Organization
- 4) Schedule
- 5) Comprehensive Plan
- 6) Typical Urban Standards
- 7) Possible Housing Types
- 8) Subdivision of Land
- 9) Contact Information



Zoning is one of the most common methods of land use control used by local governments. Zoning works by defining a community into districts, regulating uses that are allowed within those districts, and prescribing allowable dimensions such as lot sizes, setbacks and building height. Zoning can help a community to achieve goals outlined in a comprehensive plan including:

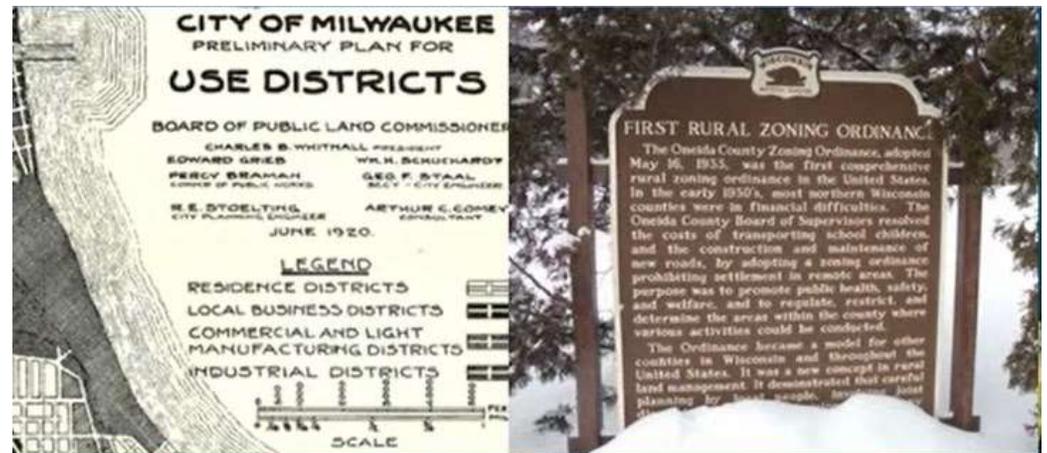
- Protecting public health, safety and general welfare.
- Promoting desirable patterns of development.
- Separating incompatible land uses.
- Maintaining community character and aesthetics.
- Protecting community resources such as farmland, woodlands, groundwater, surface water, and historic and cultural resources.
- Providing public services and infrastructure in an economical and efficient manner.
- Protecting public and private investments.

Additional Forms of Zoning

State statutes require communities to administer certain types of zoning as described below:

- **Shoreland zoning**
- **Shoreland-wetland zoning**
- **Floodplain zoning**

Source: UW- Madison Division of Extension



- 1920 - First Wisconsin zoning ordinance created by City of Milwaukee
- 1923 - Zoning upheld by the Wisconsin Supreme Court
- 1929 - Wisconsin Legislature authorizes zoning to regulate all uses in rural areas
- 1933 - Oneida County adopts first comprehensive rural zoning ordinance in the U.S.
- 1966 - Wisconsin Legislature adopts the Water Resources Act
- 1968 - Local governments required to administer minimum shoreland and floodplain zoning regulations
- 1999 - Wisconsin adopts Comprehensive Planning Act and establishes grant program
- 2010 - Zoning must be consistent with a local comprehensive plan

Scope of Work & Organization



- 1) **Review of Current Municipal Code**— Review, familiarize, analyze, and critique Municipal Code Chapter 113- Subdivisions and Chapter 115- Zoning and any other related codes.
- 2) **Review of Comprehensive Plan and other related plans:** The consultant will review the plans, goals, objectives, and recommendations of the comprehensive plan and other related plans identified by planning staff and the steering committee to ensure the new code will be consistent with current planning documents.
- 3) **Public Outreach:** The consultant will provide a public participation plan designed to receive input from community stakeholders, staff, and the public as well as educate and inform them on the process.
- 4) **Analysis and Recommendations.** Provide an analysis of the City’s existing code, highlighting its strengths and shortcomings based on the consultant’s review of existing code, review of current plans, and community and stakeholder input. Include recommended approach for potential revisions that include best practices/example codes as related to low-carbon sustainable development, form base designs, affordable/attainable housing, missing middle housing, mixed housing integration, parking reductions, multi-modal transportation, performance standards for various uses, equity, accessibility, etc.
- 5) **Documents:** The consultant will prepare drafts of the zoning ordinance for review by staff, the steering committee, and the public culminating in a final version to be acted upon by the City Plan Commission and adopted by the Common Council.

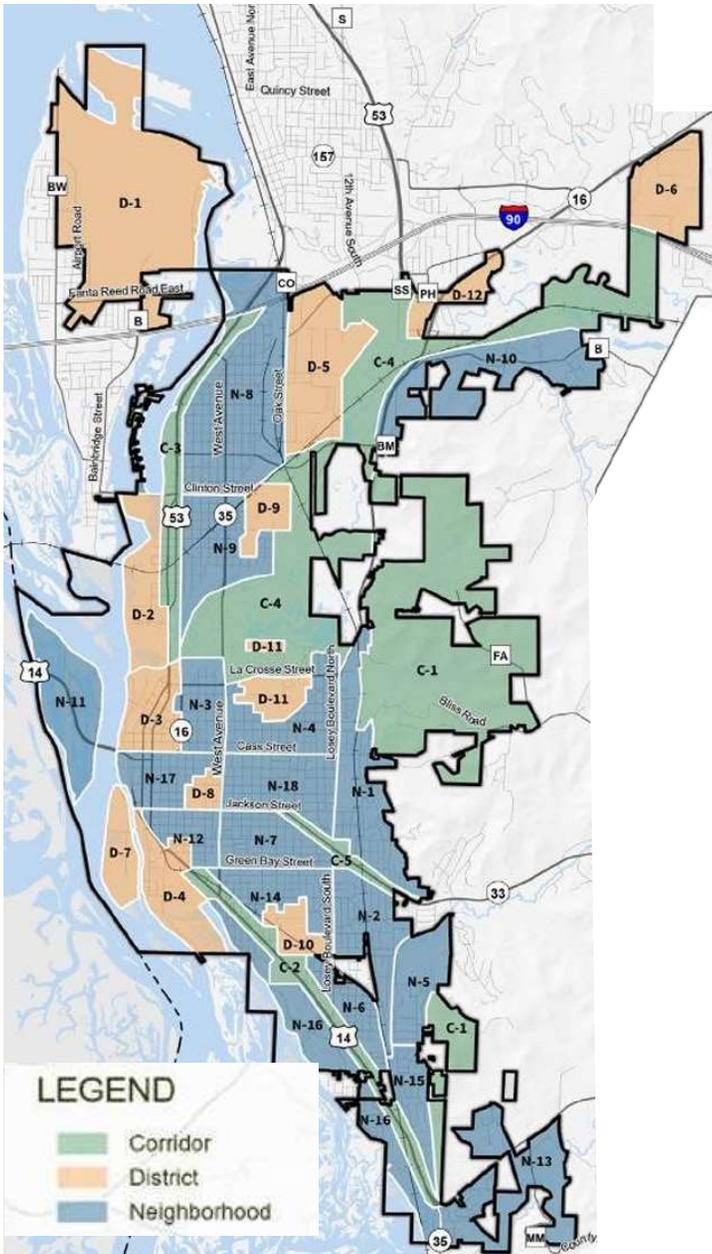
Organization of a Zoning Code

Most zoning ordinances are organized in the following manner:

- **Title, Authority and Purpose**
- **General Provisions**
- **Zoning Districts and Regulations**
- **Zoning Nonconformities**
- **Impact Regulations**
- **Administration and Enforcement**

Schedule

	1	2	2025	4	5	6	7	8	9	10	11	12	13	14	2026	16	17	18	19	20	21
	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul
Project Kickoff		Dec 18																			
P1 Review Plans/Conditions																					
Review Plans & Policies																					
Technical Memo 1																					
Document Conditions																					
Technical Memo 2																					
P2 Analyze & Recommend																					
Diagnose																					
GIS Analysis																					
Technical Memo 3																					
Recommendations																					
Technical Memo 4																					
Annotated Outline																					
P3 Codify & Adopt																					
Districts & Standards																					
Subdivision Regs.																					
Review Draft																					
Final Draft																					
Adoption Process																					
P4 Outreach & Participation																					
Public Meetings																					
Stakeholder Meetings																					
Media Company Coord.																					
P5 Meetings & Management																					
Staff Coordination																					
Dept Working Group																					
Steering Committee (PC)																					
Common Council																					
Public Hearing																					



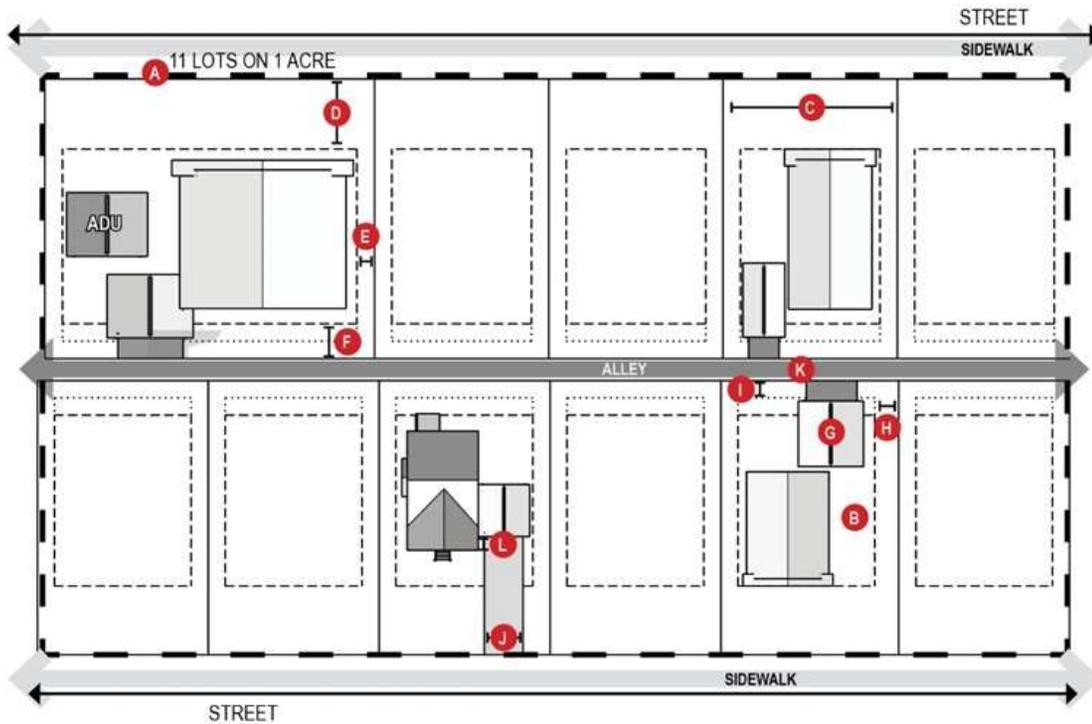
The **Comprehensive Plan** sets forth the vision of future land uses within the City of La Crosse. Future land use is based on the “Neighborhood, District and Corridor Framework” (NDC), a system devised by the Congress for New Urbanism (CNU).

How does NDC Work? The intent of the NDC model is to encourage walkable, compact communities that are rich with amenities and celebrate the history of the built environment and the preservation of natural features, all while respecting the fabric of communities. NDC proposes three fundamental classifications that organize La Crosse into a mix of uses rather than isolated land uses.

Neighborhoods:
 La Crosse neighborhoods have distinct identities, housing characteristics, unique history, and geographic features. They are typically compact, pedestrian-friendly, and mixed-use. Neighborhoods may contain a number of supporting uses and activities that serve residents, such as parks, schools, libraries, small-scale retail, and other services. Neighborhood associations were consulted during the creation of this comprehensive plan to help identify the vision and land uses within La Crosse’s neighborhoods.

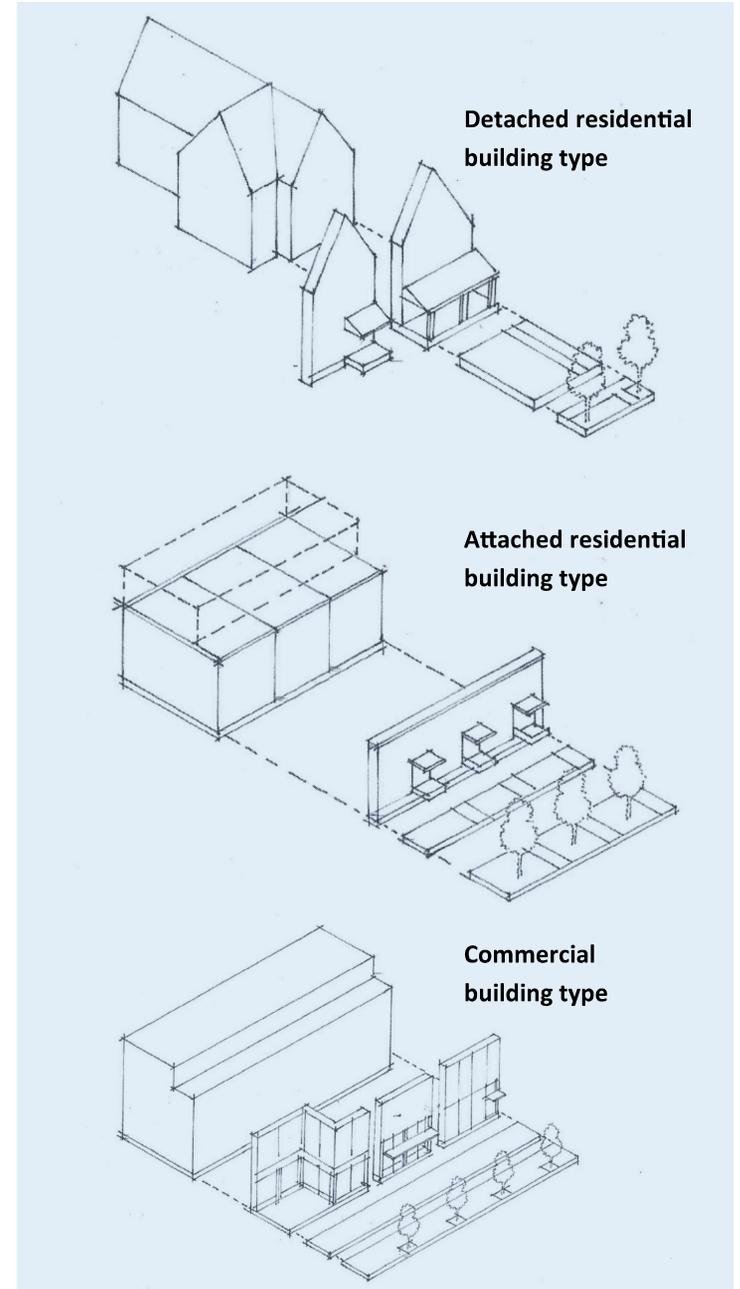
Districts:
 Districts are larger areas where the City, property owners, developers, and investors should concentrate business, commercial, and industrial activity and expansion over the next twenty years. Districts may emphasize a special single use or purpose, but may contain a variety of other uses and activities. For example, a shopping district may have primarily commercial uses with a few small-scale industrial uses mixed in. La Crosse’s districts are based on types of dominant uses, include overlapping neighborhoods, and have generally larger geographic extents.

Corridors:
 Corridors are linear areas that provide connectivity between the neighborhoods and districts. Corridors can accommodate a variety of land uses, including natural, recreational, and cultural uses. They can range from boulevards and rail lines to rivers and parkways. La Crosse has several major corridors identified based on transportation and environmental features.



Typical Lot Regulations

- A: Lot area
- B: Buildable area
- C: Lot width
- D: Front yard/setback
- E: Side yard/setback
- F: Rear yard/setback
- G: Accessory building
- H/I: Parking setback
- J: Driveway width
- K: Alley width
- L: Garage stepback from main house



Possible Housing Types

HOUSE HACKS
Entrepreneurial adaptations to an existing home that diversify housing options or generate an income.

COMMERCIAL INCUBATION
Low-cost ways to grow and validate an early-stage business.

COMPACT SINGLES
One-unit dwellings that fit on small infill lots alone or in combination with other buildings.

MIDDLE HOUSING
Multi-unit residential buildings that blend well with detached homes.

NEIGHBORHOOD NODE
Walkable neighborhood destinations like corner stores and workspaces, 1-3 storeys, mixed-use or commercial.

COMBO
Creative tactics or building combinations that solve for a common development scenario.

STEP BUILDINGS
Small-scale
Time-enhanced
Entrepreneurial
Purposeful

Designed by GreenSource and the
Innovative Development Alliance

ATTACHED ADU DETACHED ADU SHARED HOUSE GUEST SUITE GUEST HOUSE HOUSE ON WHEELS FLEX SHED

HOME OFFICE / WORKSHOP MARKET TENT PUSH CART TRAILER TRUCK TEMPORARY EVENT POP-UP SHOP

KIOSK MAKERSPACE SKINNY HOUSE COTTAGE SEMI-DETACHED ROWHOUSE TOWNHOUSE

STACKED DUPLEX SIDE-BY-SIDE DUPLEX FRONT-BACK DUPLEX APT HOUSE (RENO) HOME CONVERSION APT HOUSE (NEW) SMALL APT

STACKED FLATS WALK-UP APT COURTYARD APT ALLEY TOWNHOUSES SHOPHOUSE (GRANDFATHERED) LIVE/WORK MAINSTREET LITE

MAINSTREET (GRANDFATHERED) SHOP MULTI-TENANT COMMERCIAL SMALL MAINSTREET MIXED LARGE MAINSTREET MIXED PARKING LOT MARKET BOOTLEG SHOPHOUSE

BOOTLEG TRIPLEX DETACHED TRIPLEX GUEST VILLAGE DOUBLE DUPLEX DUPLEX COURT COTTAGE SQUARE COTTAGE COURT

Subdivision of Land

Much of the form and character of a community is determined by the design of subdivisions and the standards by which they are built. State statutes regulate the technical and procedural aspects of dividing land for development and provide minimum standards for subdivisions related to sanitation, street access and layout. Among its many purposes, land division regulations can help a community to:

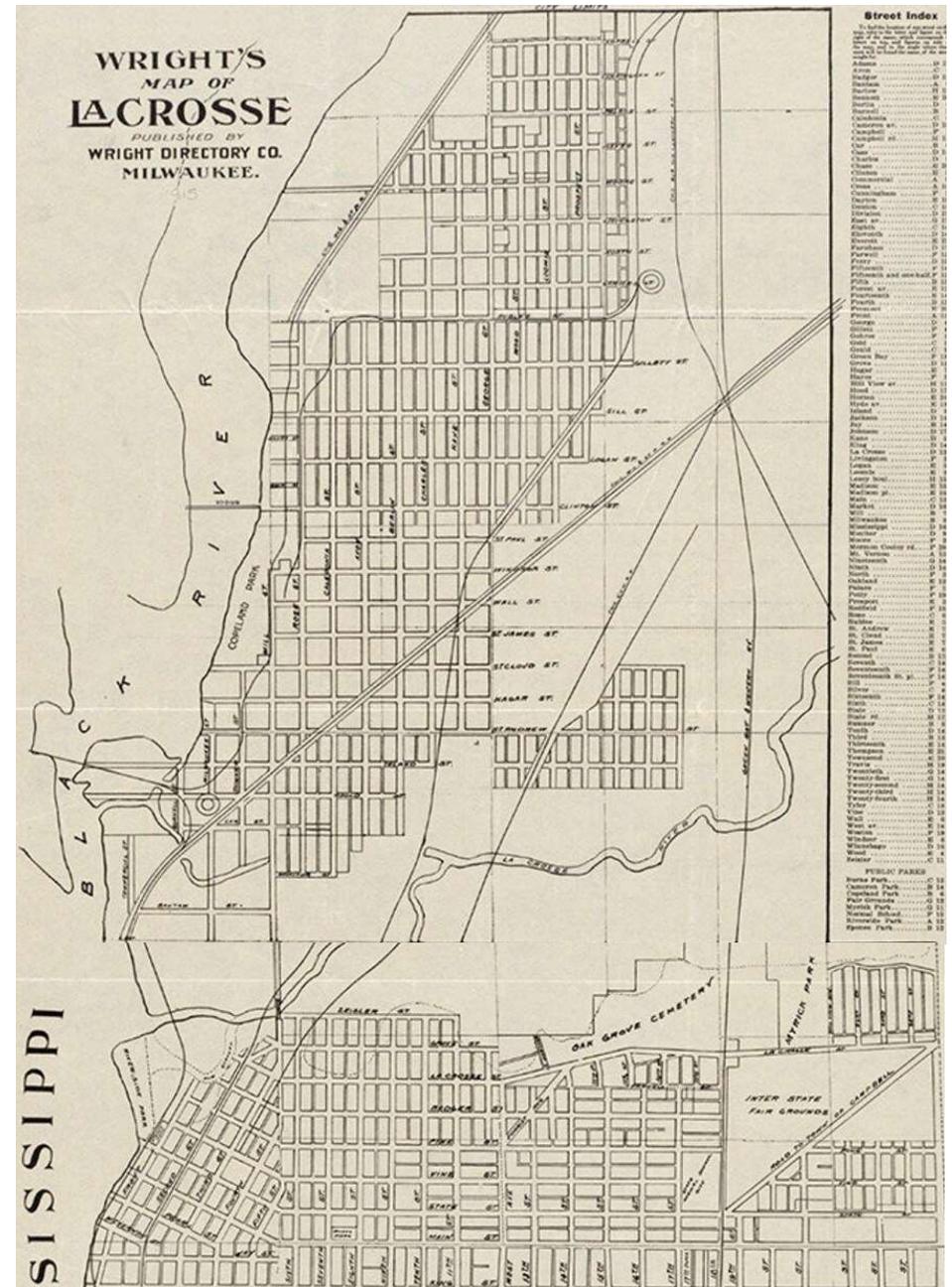
- Address health and safety issues such as stormwater runoff and emergency access.
- Ensure new development is adequately served by public facilities such as roads and parks.
- Provide for the efficient placement and delivery of public services and facilities.
- Promote neighborhood designs that meet the needs of residents.
- Ensure accurate legal descriptions of properties.
- Avoid disputes regarding the sale, transfer or subdivision of land.
- Protect other community interests outlined in a comprehensive plan or local ordinance.

State Defined “Subdivision” – a division of a lot, parcel or tract of land by the same owner that creates 5 or more parcels or building sites of 1½ acre or less, *or* successive divisions of land by the same owner within a five year period that result in 5 or more parcels of 1½ acre or less.

Wis. Stat. § 236.02(12)

Local “Land Division” – local ordinances may be more restrictive than the state definition with regard to the number or size of lots regulated. This publication will generally use the term “land division” to refer to all such developments.

Wis. Stat. § 236.45



Contact Information



ZONING
CODE
UPDATE



City of La Crosse City Hall

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La Crosse, WI 54601

Contact Us

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(608) 789-7512
www.cityoflacrosse.org



**Housing Week
Pop-ups**



**Community
Survey #1**



**Project
Website**



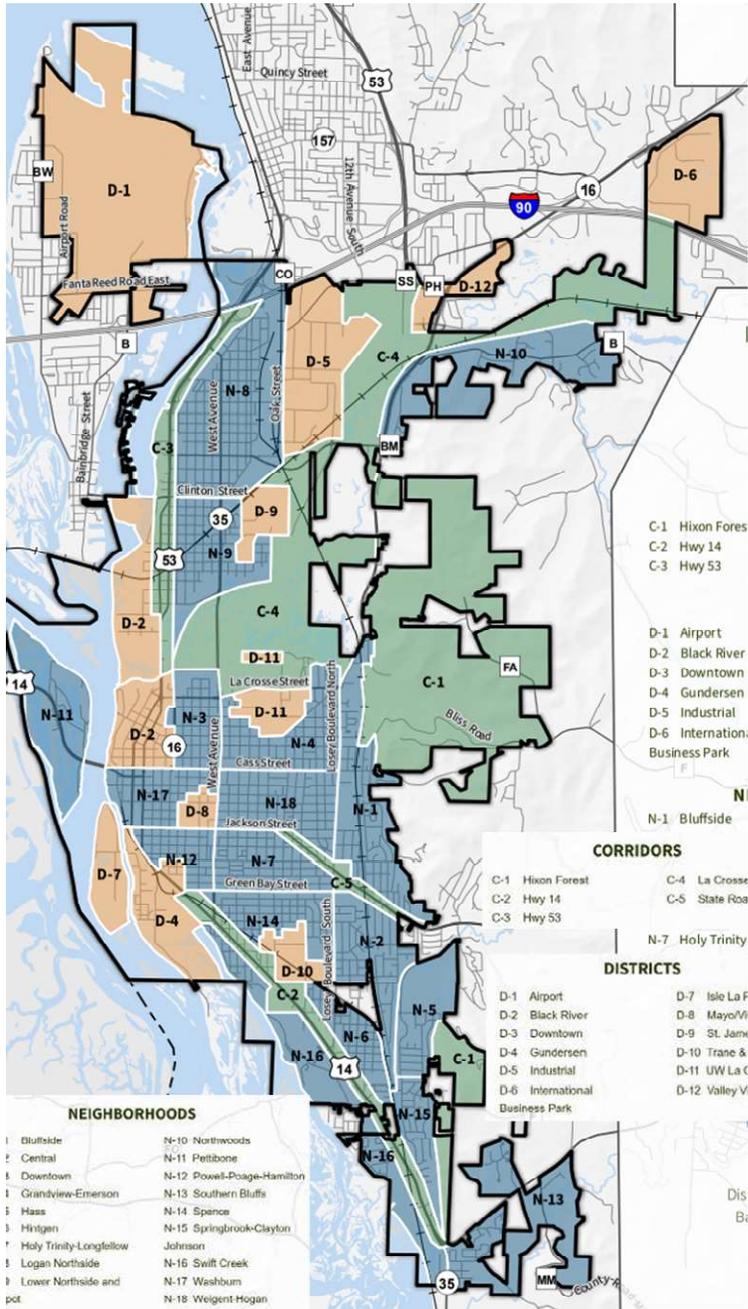
Workshops

Built Form Study | Corridors

Based on the Comprehensive Plan NDC framework, the Built Form Study samples the typical development pattern for each of the neighborhoods, districts and corridors as identified in the comp plan to better understand the physical dimensions of building type, site plan, street frontage and block pattern as well as other conditions.

Corridors

- C-1 thru C-5
- C-1 Hixson Forest and C-4 La Crosse Marsh not included



Built Form Study | Plate C-2: Highway 14

NDC Framework: Corridor



Urban Pattern



Built Form Examples

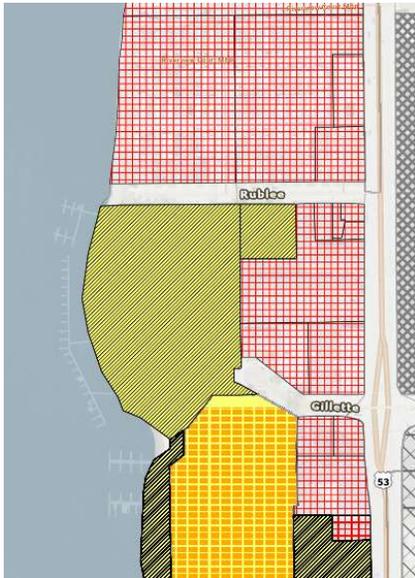
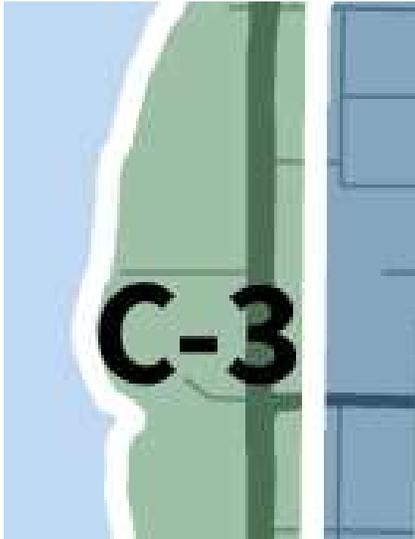


Notes

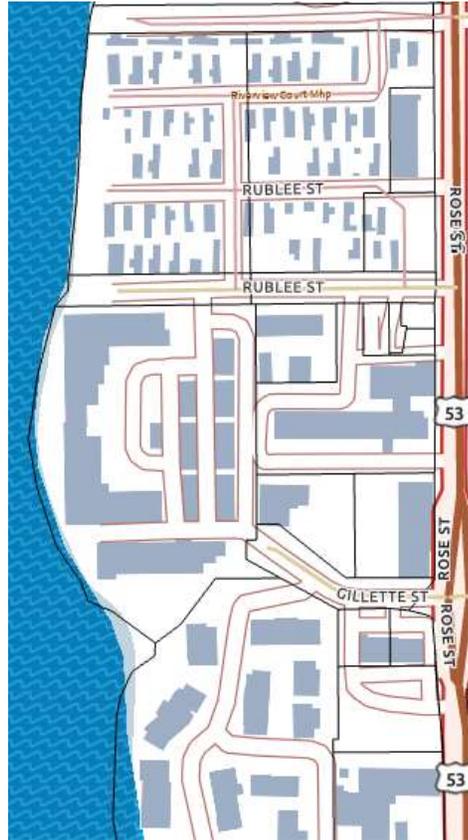
- Existing zoning: C2 Commercial
- Character area: Commercial Corridor
- Key intersection: US-14 & Ward Ave/S East Ave
- Parcel pattern: Large irregular lots fronting US-14 & Ward Ave/S East Ave
- Scale: Standalone 1-story commercial structures
- Yards: Deep setback for commercial buildings; large surface parking lots
- Parking: several surface lots front onto Hwy 14 and Ward Ave/S East Ave
- Materials: Brick, metal panel, glass
- Street: US-53 has 85-foot ROW with 9-foot sidewalk on both sides, 5 lanes including two-way left-turn lane in center; Ward Ave/S East Ave are 90-100 feet in width
- Service Drive:

Built Form Study | Plate C-3: Highway 53

NDC Framework: Corridor



Urban Pattern



Built Form Examples



Notes

- Existing zoning: C2 Commercial, R5 Multiple Dwelling, PD Planned Development
- Character area: Urban mixed
- Key intersection: US-53 & Gillette St
- Parcel pattern: Irregular lots fronting US-53 and side streets
- Scale: 1 story manufactured homes and retail, 2 story hotels, townhomes; multi-family buildings
- Yards: Shallow setbacks fronting US-53 with parking behind or beside buildings, shallow setbacks between manufactured homes
- Parking: Surface lots for commercial along US-53, wide roads with street parking for manufactured homes
- Materials: Wood siding, masonry, metal structure
- Street: US-53 has 90-foot ROW with 9-foot sidewalk on both sides, 5 lanes including two-way left-turn lane in center; Riverview Court roads are 40 feet in width
- Service Drive: n/a

Built Form Study | Plate C-3.1: Highway 53

NDC Framework: Corridor



Urban Pattern



Built Form Examples



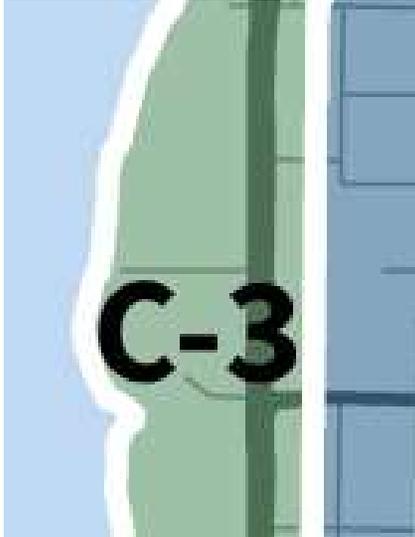
Notes

- Existing zoning: C2 Commercial, C1 Local Business
- Character area: Commercial corridor
- Key intersection: US-53 & W George St
- Parcel pattern: Large lots fronting US-53
- Scale: 1 story strip mall and standalone commercial buildings; commercial structures tend to have flat roofs and tall pylon signs along highway
- Yards: Deep setback for commercial buildings; large surface parking lots with buildings set behind
- Parking: Several large surface lots front onto US-53 or W George St
- Materials: Brick, lap siding (vinyl and wood), glass
- Street: 150-foot ROW with 6-10 foot sidewalk on both sides; US-53 has grassed boulevards and 7 lanes (including turn lanes); W George St has paved median and island for pedestrian crossing
- Alley/Service Drive: Service drive behind strip mall, built around existing Badger Hickey Park (see image)



Built Form Study | Plate C-3.2: Highway 53

NDC Framework: Corridor



Urban Pattern

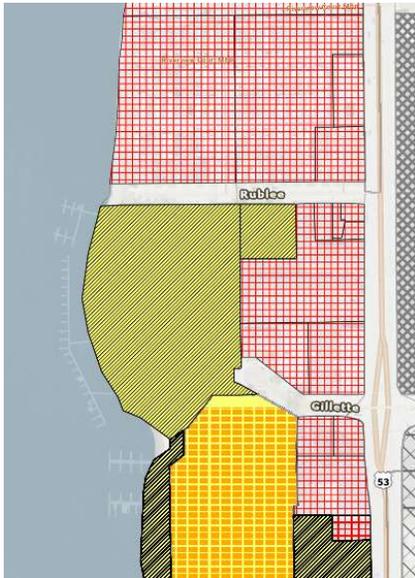


Built Form Example



Notes

- Existing zoning: R5 Multiple Dwelling,
- Character area: Modular neighborhood
- Key intersection: US-53 & Gillette St
- Parcel pattern: Irregular lots fronting US-53 and side streets
- Scale: 1 story manufactured homes
- Yards: Shallow setbacks with parking behind or beside buildings, shallow setbacks between manufactured homes
- Parking: wide roads with street parking for manufactured homes
- Materials: metal siding
- Street: US-53 has 90-foot ROW with 9-foot sidewalk on both sides, 5 lanes including two-way left-turn lane in center; Riverview Court roads are 40 feet in width
- Service Drive: n/a

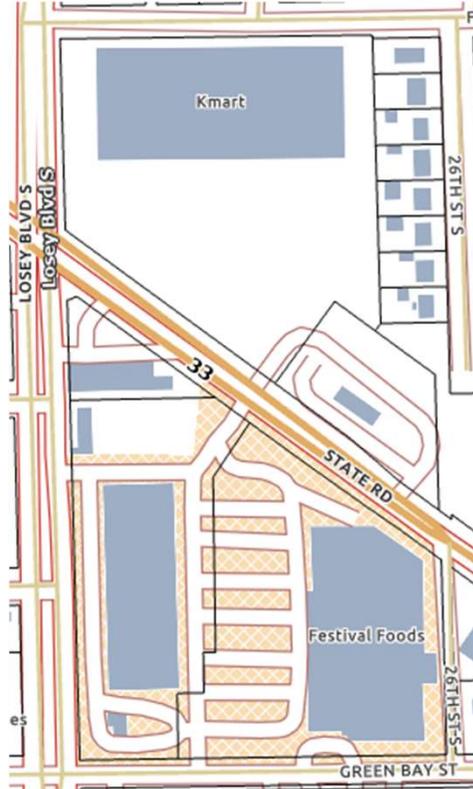


Built Form Study | Plate C-5 : State Rd

NDC Framework: Corridor



Urban Pattern



Built Form Examples



Notes

- Existing zoning: C2 Commercial, PD Planned Development, C1 Local Business, & R1 Single Family
- Character area: Commercial Corridor
- Key intersection: State Rd & S Losey Blvd
- Parcel pattern: Large irregular lots fronting State Rd & S Losey Blvd
- Scale: 1-story in-line commercial and standalone buildings
- Yards: Deep setback for commercial buildings; large surface parking lots
- Parking: Several surface lots front onto State Rd and S Losey Blvd
- Materials: Brick, glass, common masonry
- Street: State Rd has 85-foot ROW with 9-foot sidewalk on both sides, 4 lanes with left-turn lanes in both directions at intersection; S Losey Blvd is 100 feet in width and has 6-foot sidewalk on both sides, 4-lanes including occasional left-turn lanes in both directions
- Service Drive: rear & front loaded



Memo 2

To: City of La Crosse
From: MSA Zoning Code team
Subject: Diagnostic Summary
Date: February 21, 2025 (Residential Districts: pages 1-4)
Date: March 25, 2025 (Commercial & Industrial Districts; Subdivision Regulations: pages 5-9)

The La Crosse Zoning Code is found in Chapter 115 of the Municipal Code and is defined by seven articles and contains the following:

- A total of 211 pages
- 21 districts and 2 overlay districts
- Definitions, penalties, administration, appeals and amendments are found in Articles I and II
- District regulations are found in Article IV; dimensional standards that apply for each district begin on page 26.
- Overlay regulations are defined in Article V.
- A generous list of conditional uses is defined in Article VI that covers 23 pages of address additional standards and regulations. We will provide an additional analysis just focused on conditional uses.
- Article VII cover supplemental regulations including design standards for multi-family housing and commercial uses and the traditional neighborhood development (section 115-403).
- Generally, urban standards (and dimensional requirements) are written out in extended sentences and are often difficult to follow.
- It seems, in general, that most of the residential districts share dimensional standards and regulations subject to different time periods, going back to the 1938 edition of the code.
- The word 'special' is used in the title for the R-3 and R-6 districts but it isn't clear exactly what this means or designates.

Residential

A high level review of the R districts follows; titles are spelled out as they appear in the body of the code.

Agriculture (A-1) and Exclusive Agriculture (EA) Districts

The code includes an Agricultural district and an Exclusive Agricultural district. The A-1 district's purpose is to act as a preserve for future urban development. The Exclusive Ag district is intended to preserve lands for food and fiber production. In either case not many areas/parcels zoned are A-1 or EA; it appears the only active agricultural use is in the southern part of the city along Old Town Hall Rd.

R1 District

Unlike the A-1 and EA districts, the R1 district does not include a direct purpose statement. The R1 Single Family district does allow two-family dwellings provided they were in existence on September 13, 1984 with an odd requirement that a new two family dwelling can replace an existing two family dwelling if it is limited to 2 bedrooms in each unit; no additional bedrooms can be added in any case.

There is no direct mention of lot area and dimensional standards except for the reference to the 'Residence District' (this is a reference to the 1938 zoning code which included two residential districts: Residence and Multiple Dwelling) - apparently this is assumed to refer to the R2 District and these standards apply to R1.

Language and requirements like the following paragraph will need to be resolved regarding the uses in the R1 district:

- *Two or more family dwellings provided that such were in existence on April 10, 1997, have not discontinued the number of dwelling units for a period of 12 months or more, and are located within the area bounded by 9th Street-Farnam Street-east-west alley north of Green Bay Street-West Avenue, and provided further that such two or more family dwellings may be replaced by another two or more family dwellings as long as such replacement shall not contain more units or bedrooms than existed on April 10, 1997 and other applicable building and zoning code requirements for the R-1 District are met.*

R2 District

Like the R1 District, the R2 District does not have a specific purpose statement. It allows two family dwellings but only if they contain no more than three bedrooms per unit. It allows churches that were in existence on August 10, 1989. As in other districts, language makes multiple references to specific dates in time that provide a threshold for permitted uses.

Language and requirements like this this will need to be resolved regarding the uses in the R1 district:

- *The side yard regulations in subsections (3)a. and b. of this section shall apply to all lots including corner lots, except that in the case of a reversed corner lot which faces intersecting streets, the side yard on the street side of such reversed corner lot shall have a width of not less than 50 percent of the front yard depth required on the lots in the rear of such reversed corner lot, and no accessory building on such reversed corner lot shall project beyond the front building line of the lots in the rear of such reversed corner lot; provided, however, that this regulation for reversed corner lots shall not have the effect of reducing the buildable width for the main building to less than 26 feet, or for an accessory building to less than 20 feet, on any lot of record August 27, 1938.*

R3 Special Residence District

This district is meant to allow single family, two-family and up to four or more dwellings provided they were in existence on April 10, 1997. Lot and dimensional standards are the same or similar to R1 and R2.

Standards for yards are laboriously overwritten (similar to R1 and R2) and difficult to interpret in a single reading. These will benefit from summary and simplification:

- a. *On every lot in the Special Residence District, there shall be two side yards, one on each side of the building, and except as hereinafter provided, neither of such side yards shall be less than six feet in width, and provided further that for any main building other than a one-family dwelling neither of such side yards shall be less than seven feet in width, except that lots occupied by each attached dwelling unit which is located within a single structure, which is attached along a lot line which is approximately perpendicular to the street right-of-way line, shall not be required to meet this requirement other than the outer side yards of the structure in which the two attached dwelling units are located shall not be less than seven feet in width.*
- b. *On any lot having a width of less than 44 feet, and of record on August 27, 1938, the width of no side yard shall be less than that heretofore prescribed less one-fourth foot for each foot said lot is less than 44 feet in width; provided further, however, that no side yard shall be less than four feet in width in any case.*
- c. *The side yard regulations in subsections (2)a and b of this section shall apply to all lots including corner lots, except that in the case of a reversed corner lot which faces intersecting streets, the side yard on the street side of such reversed corner lot shall have a width of not less than 50 percent of the front yard depth required on the lots in the rear of such reversed corner lot, and no accessory building on such reversed corner lot shall project beyond the front building line of the lots in the rear of such reversed corner lot; provided, however, that this regulation for reversed corner lots shall not have the effect of*

reducing the buildable width for the main building to less than 26 feet, or for an accessory building to less than 20 feet, on any lot of record August 27, 1938.

Low Density Multiple Dwelling District (R4)

This district is shown as the R4 district on the map but is not titled as that in the body of the code and allows multiple dwelling buildings that contain more than 4 units. Similar to the other R districts language and standards regarding lot area and yards are very overwritten and can benefit from simplification and more direct language.

Multiple Dwelling District (R5)

This district is “nested” into the R4 and thus any use allowed in R4 is permitted in this district. Uses include boarding house, room houses, fraternities and sororities (occupied by less than 6 persons). Height is allowed up to 55 feet and may exceed this per section 115-390 (Art. VII Supplemental Regulations).

R-6 Special Multiple Dwelling District

This district is “nested” into the R5 and thus any use allowed in R5 is permitted in this district. Uses include boarding house, room houses, fraternities and sororities (occupied by less than 6 persons). Height is allowed up to 55 feet and may exceed this per section 115-390 (Art. VII Supplemental Regulations).

Washburn Neighborhood District (R-7)

The purpose of the district is to encourage people to work and live in the City of La Crosse and will encourage single family dwellings. The district standards and regulations are “nested” in the R1 district (but excludes section 114-142(a) (10). A unique condition in this district is the requirement of Architectural Control that is to encourage physical development to a higher degree of aesthetic satisfaction per approval of the Design Review Board.

MEMO

March 18, 2025/rev March25, 2025

Map Diagrams

In a separate document we reviewed lot sizes for R-1, R-2, R-3 and the Washburn zoning districts based on the threshold of 5000 sf, lots that fall between 5000 -7200 sf and lots over 7200 sf. Lots under 5000 sf are shown in red and based on how the districts are defined many of these lots, we assume, were platted in 1938 or earlier so are not technically nonconforming. Nevertheless there is a distinct pattern (and a significant number) of smaller lots that seem to be functioning well today. More analysis is needed which will help determine how best to define standards.

R-1 = 10,833 Parcels

>7,200 sqft = 4,878 Parcels (45%)
5,000-7,200 sqft = 4,454 Parcels (41%)
<5,000 sqft = 1,501 Parcels (13.9%)

R-2 = 1,298 Parcels

>7,200 sqft = 504 Parcels (38.8%)
5,000-7,200 sqft = 522 Parcels (40.2%)
<5,000 sqft = 272 Parcels (20.9%)

R-3 = 4 Parcels

>7,200 sqft = 1 Parcel (25%)
5,000-7,200 sqft = 2 Parcels (50%)
<5,000 sqft = 1 Parcel (25%)

Washburn Neighborhood District = 451 Parcels

>7,200 sqft = 185 Parcels (41%)
5,000-7,200 sqft = 111 Parcels (24.6%)
<5,000 sqft = 155 Parcels (34.4%)

R-4 = 169 parcels

>7,200 sqft = 68 (40.2%)
5,000-7,200 sqft = 68 (40.2%)
<5,000 sqft = 33 (19.6%)

R-5 = 941 parcels

>7,200 sqft = 592 (62.9%)
5,000-7,200 sqft = 159 (16.9%)
<5,000 sqft = 190 (20.2%)

R-6 = 117 parcels

>7,200 sqft = 65 (55.6%)
5,000-7,200 sqft = 11 (9.4%)
<5,000 sqft = 41 (35%)

Total = 13,813

<5,000 sqft = 2,193 (15.8%)

Commercial Districts

There are three (3) commercial districts that are closely related to each other relative to dimensional standards, with distinctions for building heights and certain uses.

- Local Business: C-1
- Commercial District: C-2
- Community Business: C-3

The code is written to identify uses that are not allowed in the C-1; and C-2 and C-3 are written that list what uses are allowed. It appears that the Local Business District (C-1) provides the basis for most commercial uses in the city; any use in this district is also permitted in the Commercial District (C-2) . The Community Business (C-3) district is mostly focused on blocks and parcels in the downtown area and includes a more narrow range of uses. All of the commercial districts allow some type of residential use and appear to rely on bulk standards based in the Residence (clarified to refer to the current R2 District) and Multiple Dwelling (the R-5 District) districts.

Conditional uses are coded in Article VI; we will provide an additional analysis just focused on conditional uses.

Local Business C-1

Despite its title this district regulates a broad range of uses throughout the city and also provides the basis for allowed uses in the Commercial district (C-2). The title, which dates back to the 1938 code, may have regulated smaller size commercial parcels and allowed uses more related to neighborhoods in the city at a point in history. Among the dimensional standards are references to 'outer' and 'inner' courts, a very specific outdoor space that we have not found a local example of from our current analysis.

Commercial District C-2

This district functions as the general and 'highway' commercial district throughout the city and as such regulates a wide range of commercial buildings from enclosed malls to small franchise operations to less intensive uses surrounding the downtown core. It regulates large commercial areas like Valley View Mall, in -line and shopping center uses along Hwy 53, commercial uses along Hwy 61 and a number of blocks and partial blocks surrounding the downtown core. The language, unlike language in the C-1 district, defines uses that are allowed Like the Local Business District, C-2 defines regulations for 'outer' and 'inner' courts as well as residential uses.

Community Business C-3

This district is mainly concentrated on the downtown core that is defined by walkable streets, urban storefronts, on-street and structured parking as well as a mix of uses including historic districts and properties.

Page 41 of the code under 'Vision Clearance' refers to properties in the Central Business District (capitalized) and defines a specific boundary (Cameron Ave, Mississippi River, La Crosse St and Sevent St) but there is no Central Business District in the code or zoning map. This appears to be a generic reference but it's capitalized spelling is confusing.

Industrial

There are two industrial districts, Light M-1 and Heavy M-2, both of which operate from a similar set of uses. Both of these districts declare particular uses that are not allowed as a distinction for what is allowed. The Heavy Industrial district includes a majority of the land mapped; Light Industrial zoning tends to be smaller lots and parcels in discrete locations.

Other Districts

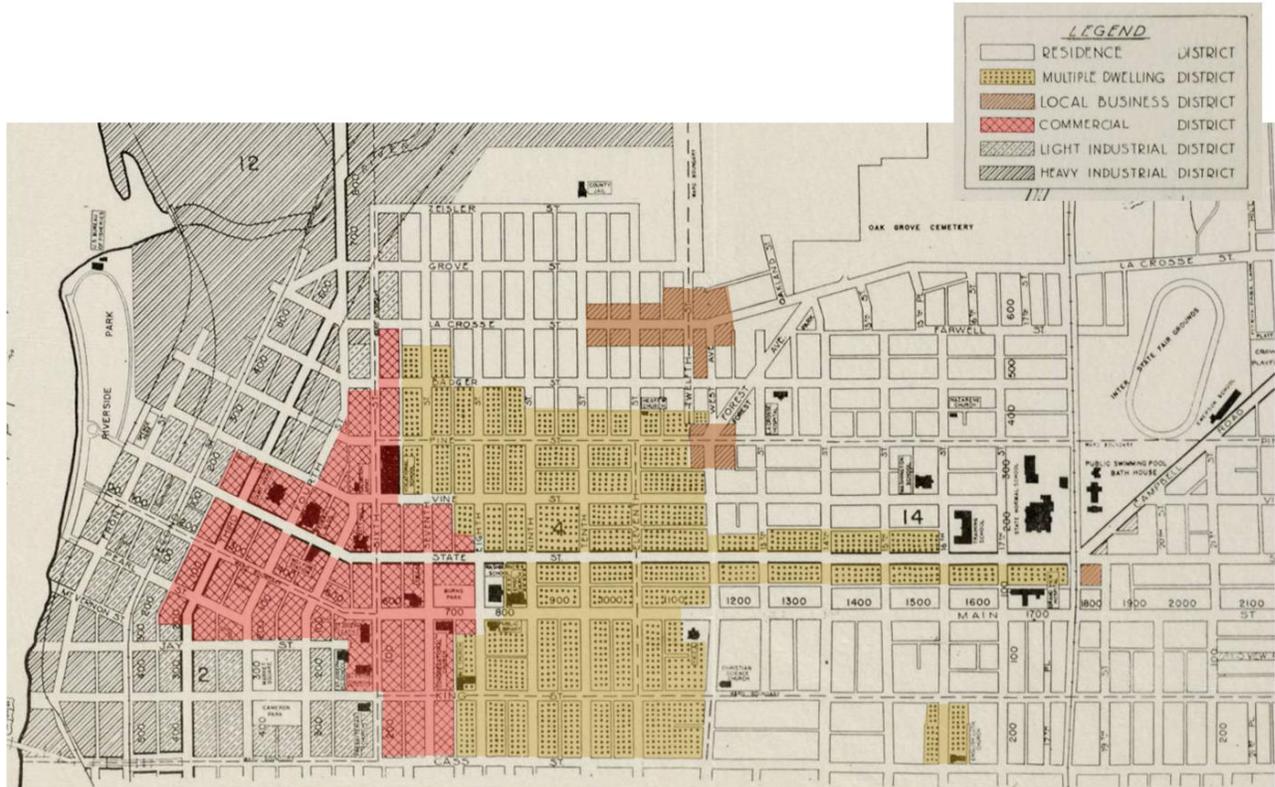
- Public utility (Sec. 115-154) – a very few specific locations
- Parking (Sec. 115-155) – mainly focused on downtown but this district is not mapped
- Planned Development (Sec. 115-156) – strategic locations throughout the city that requires a minimum 2 acre site; a recent example is the River North development.
- Public and Semi-Public (Sec. 115-157) -large parts of the city are zoned including the airport and parts of Barron Island.
- Conservancy (Sec. 115-158) – this district covers one of the largest land areas of the city including wetlands, marshes, lakes, waterways and bluffs.
- Traditional Neighborhood Development (Sec. 115-403) – this district is located in Article VII Supplement Regulations and regulates compact traditional mixed use development pattern. This is no minimum acreage for this district and no requirements for lot dimensional standards.

Overlay Districts (Article V)

- Neighborhood Center (Sec. 15-185) – there is one district defined in the code for this overlay, located in the Logan Northside neighborhood but it is not officially mapped.
- Floodplain (Div. 2: Sec. 115-207)
- Historic Zoning Overlay (Div. 3: Sec 115-313) – contains an abundance of requirements and regulations related to the city’s historic districts and properties. Design standards are very specific about renovation, rehabilitation and demolition for each historic district.

Attachment 2.2 Historic Zoning Map

Attached is part of the zoning map from 1938 that shows the very simple zoning organization of industrial, commercial, multi-family and single family zoning districts. This simplistic approach may have some benefits as we continue to consider regulations and how best to apply them.



Chapter 113 Subdivisions

The Subdivisions chapter covers 23 pages spelled out over four Articles:

- Article I, In General – includes definitions, purpose, intent, compliance, jurisdiction, improvements, fees and a few other administrative rules;
- Article II, Platting – includes Div. 1 Generally, Div. 2 Preliminary Plats, Div. 3 Final Plats;
- Article III, Design Standards – includes street arrangement, street design standards, blocks, lots, easements, public open space, etc;
- Article IV Required Improvements – includes grading, surfaces, curb & gutter, sidewalks, stormwater, other utilities, etc.

Some highlights:

- Cul de sac streets to be no less than 500 ft long.
- A reference to 'green complete streets'; must be reviewed by City Traffic Engineer, City Engineer, City Planner and approved by the Board of Public Works prior to any preliminary or final plat. More detail is found in Chapter 40 Street and Sidewalks.
- Blocks shall not be less than 500 ft long and no longer than 1200 ft long (with exceptions) (as an example the Riverpoint North Planned Development District street and block layout do not meet these standards and this may also conflict with the purpose and intent of the TND ordinance).
- Mid block crossings are required for a street if over 900 ft in length
- Regarding access every lot shall not be less than 60 ft wide and lot depth should not be less than 100 ft.
- Street names must refer to the use of 'courts', 'places' or 'lanes' in certain conditions.
- Local Residential Streets shall have a pavement width of 36 ft.
- Street trees shall be planted at least one per every 50 ft on all streets to be dedicated.
- Reference is made to 'Confluence The La Crosse Comprehensive Plan' (Dec. 2002).
- Plat shall be prepared on tracing cloth or paper of good quality – state statutes (WI 236.12) refer to submitting an electronic copy.



DRAFT - City of La Crosse Zoning Code Update

Community Survey #1

Zoning is a powerful tool that significantly impacts our daily lives, from the streets we travel on to the buildings we live in and the parks we enjoy. However, zoning regulations can often be confusing and impose barriers to necessary community changes.

Forward La Crosse Zoning Code Update is a collaborative initiative aimed at rewriting the city of La Crosse's Zoning Code and Subdivision Ordinance. The update aims to modernize regulations to better reflect current community needs and growth patterns.

This survey is one of many opportunities for you to provide feedback and influence the new code. Please take a few moments to share your thoughts by completing this quick 10-minute survey.

Learn more about the planning process and get updates at <https://forwardlacrosse.org/>

1. What is your age?

Under 18

45-54

18-24

55-64

25-34

65+

35-44

Prefer not to answer

2. How do you identify your race and/or ethnicity? Select all that apply.

- Native American/Alaska Native
- Asian/Asian American
- Black/African American
- Hispanic/Latino
- Native Hawaiian or other Pacific Islander
- White
- Prefer not to say
- Other, or prefer to self-describe:

* 3. Do you own or rent property in the City of La Crosse? Check all that apply.

- I'm a renter
- I own my home (owner-occupied)
- I own rental property (landlord)
- Other (please specify)



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4. How long have you lived in the City of La Crosse?

- Less than a year
- 1-5 years
- 6-10 years
- 11-20 years
- 21+ years
- I do not live in La Crosse.

5. How long have you lived in your current residence?

- Less than a year
- 1-5 years
- 6-10 years
- Other (please specify)
- 11-20 years
- 21+ years

6. In what type of dwelling do you live?

- Detached (single-dwelling) home
- 2-unit Building or Duplex
- 3-4 unit Building
- 5-19 unit Building
- 20+ unit Building
- Accessory Dwelling Unit (secondary unit in or outside of the principal structure)
- Shelter/transitional facility
- Assisted living/other group facility
- Unhoused
- Other (please specify)

7. How do the members of your household park their personal vehicles at your residence?

- I don't own a vehicle.
- Outside in a parking lot or driveway.
- Inside a garage structure.
- On the street.
- Some vehicles are parked inside a garage and others are parked outside in a driveway, parking lot, or on the street.
- Other (please specify)



DRAFT - City of La Crosse Zoning Code Update

8. Do you think La Crosse has enough of the following housing types?

	Not enough	Right amount	Too much
Freestanding single-dwelling houses	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Two-unit building (Twinhome/Duplex)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
3-4 unit building (Triplex/Quadplexes)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Townhomes/Row housing	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Multi-building complex (multiple 3-19 unit buildings in a group or cluster on one property)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Apartment/condo building with 4-19 units	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Apartment/condo building with 20+ units	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Units above commercial uses (mixed-use buildings)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

9. Share how you feel about the following statements regarding new **large (20+ unit) residential buildings**.

	Strongly Agree	Agree	Neutral	Disagree	Strongly Disagree
Create screening when adjacent to lower-intensity residential uses.	<input type="radio"/>				
Provide outdoor common areas for the residents.	<input type="radio"/>				
Be situated closer to the street than they typically are today.	<input type="radio"/>				
Maximize the use of the lot area.	<input type="radio"/>				
Locate parking in well-screened areas behind the building or in a garage structure.	<input type="radio"/>				
Meet pedestrian-friendly neighborhood standards for building entrance locations, landscaping, and frontage features such as patios and seating, ample windows, overhangs and awnings, architectural details, etc.	<input type="radio"/>				
Set back the top stories of the building to better improve compatibility with surrounding neighborhoods.	<input type="radio"/>				

10. Share how you feel about the following statements regarding **low-density residential uses (free-standing house, duplex, triplex, fourplex)**.

	Strongly Agree	Agree	Neutral	Disagree	Strongly Disagree
Entrances should face the street and have front porches or covered entries.	<input type="radio"/>				
Side entry garages look better than front entry garages.	<input type="radio"/>				
It is acceptable for a garage to be the prominent feature of a residence from the street.	<input type="radio"/>				
Alleyways should be incorporated in new subdivisions for garage access.	<input type="radio"/>				
An Accessory Dwelling Unit (secondary unit in or outside of the principal structure) is acceptable on a property.	<input type="radio"/>				
Limits should be placed on impervious surfaces such as pavement.	<input type="radio"/>				



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11. Share how you feel about the following statements.

	Strongly Agree	Agree	Neutral	Disagree	Strongly Disagree
Neighborhoods should incorporate small retail, food, and service businesses.	<input type="radio"/>				
Neighborhoods should incorporate a range of housing types, sizes, and price points.	<input type="radio"/>				
Neighborhood design should emphasize and enable people to safely and enjoyably meet most of their needs within a 15-minute walk or bike (employment, recreation, services, grocery, school, etc.)	<input type="radio"/>				
Proximity between homes and services/retail is	<input type="radio"/>				

important.

Proximity to parks and open spaces is important.	<input type="radio"/>				
--	-----------------------	-----------------------	-----------------------	-----------------------	-----------------------

New development must promote environmental stewardship through environmentally friendly design practices.

<input type="radio"/>				
-----------------------	-----------------------	-----------------------	-----------------------	-----------------------

It is easy to find parking in the downtown within three blocks of my destination.	<input type="radio"/>				
---	-----------------------	-----------------------	-----------------------	-----------------------	-----------------------



DRAFT - City of La Crosse Zoning Code Update

12. Select your top THREE property regulations that you are most concerned about.

- | | |
|--|--|
| <input type="checkbox"/> No specific concerns / Not sure | <input type="checkbox"/> Frontages / Streetscape |
| <input type="checkbox"/> Parking | <input type="checkbox"/> Stormwater / Green Infrastructure |
| <input type="checkbox"/> Building Height | <input type="checkbox"/> Exterior Lighting |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Noise / Nuisances |
| <input type="checkbox"/> Building Setbacks | <input type="checkbox"/> Large Retail Sites |
| <input type="checkbox"/> Incompatible Uses | <input type="checkbox"/> Drive-through Businesses |
| <input type="checkbox"/> Building Design Standards | <input type="checkbox"/> Property Maintenance / Upkeep |
| <input type="checkbox"/> Other (please specify) | |

13. In your experience, La Crosse's zoning code is:

- Too restrictive
- Fair
- Too flexible
- Not sure- no experience

14. How informed do you feel about zoning decisions and their potential impact on your neighborhood?

- Very
- Neutral
- Not at all
- Not sure - no experience

15. Have you been involved in zoning discussions or decisions affecting your neighborhood?

- Yes
- No
- Not sure

16. How concerned are you about environmental risks and hazards in your neighborhood?

- Very
- Neutral
- Not at all
- Not sure

17. Any other comments about anything related to existing or future developments in La Crosse or the current zoning code?

Thank you for your time and valuable feedback!

To learn more about the project and get involved, visit <https://forwardlacrosse.org/>

Zoning 101



Contents

- 1) Cover
- 2) Introduction
- 3) History
- 4) Typical Organization
- 5) Terms & Definitions
- 6) Future Land Use Categories
- 7) Building Types
- 8) Neighborhood, District & Corridor Framework
- 9) Zoning Map—Partial Example
- 10) Typical Standards & Regulations
- 11) Possible Housing Types
- 12) Subdivisions
- 13) Contact Information



Introduction



Zoning is one of the most common methods of land use control used by local governments. Zoning works by defining a community into districts, regulating uses that are allowed within those districts, and prescribing allowable dimensions such as lot sizes, setbacks and building height. Zoning can help a community to achieve goals outlined in a comprehensive plan including:

- Protecting public health, safety and general welfare.
- Promoting desirable patterns of development.
- Separating incompatible land uses.
- Maintaining community character and aesthetics.
- Protecting community resources such as farmland, woodlands, groundwater, surface water, and historic and cultural resources.
- Providing public services and infrastructure in an economical and efficient manner.
- Protecting public and private investments.

Local governments in Wisconsin decide for themselves whether or not to adopt general zoning, also known as comprehensive zoning. Authority to adopt general zoning is outlined in state statutes and summarized below:

- Cities and villages may adopt general zoning which applies to lands within their municipal boundaries.¹ Cities and villages may also adopt extraterritorial zoning which applies to land in surrounding unincorporated areas.²
- The zoning ordinance and map describe uses that are allowed within each zoning district.

Additional Forms of Zoning

State statutes require communities to administer certain types of zoning as described below:

- **Shoreland zoning** provides development standards near waterways to protect water quality, aquatic and wildlife habitat, shore cover and natural scenic beauty. Wisconsin statutes require counties to exercise shoreland zoning in unincorporated areas.⁶
- **Shoreland-wetland zoning** generally prohibits or severely restricts development in wetlands near waterways. It has the same objectives as shoreland zoning and is required of counties, cities and villages that have received wetland maps from the state.⁷
- **Floodplain zoning** provides location and development standards to protect human life, health and property from flooding. It is required of counties, cities and villages that have been issued maps designating flood prone areas.⁸

Source: UW- Madison Division of Extension

History



1920 – First Wisconsin zoning ordinance created by City of Milwaukee

1923 – Zoning upheld by Wisconsin Supreme Court

1929 – Wisconsin Legislature authorizes zoning to regulate all uses in rural areas

1933 – Oneida County adopts first comprehensive rural zoning ordinance in the United States

1966 – Wisconsin Legislature adopts the Water Resources Act

1968 – Local governments required to administer minimum shoreland and floodplain zoning regulations

1999 – Wisconsin adopts Comprehensive Planning Law and establishes grant program

2010 – Zoning must be consistent with a comprehensive plan

Source: UW- Madison Division of Extension



Organization of a Zoning Ordinance

Most zoning ordinances are organized in the following manner:

Title, Authority and Purpose. This section lists the state enabling legislation which empowers the community to adopt zoning and outlines the community’s “statements of purpose” or reasons for having zoning.

General Provisions. This section includes definitions of terms and describes the area affected by the ordinance.

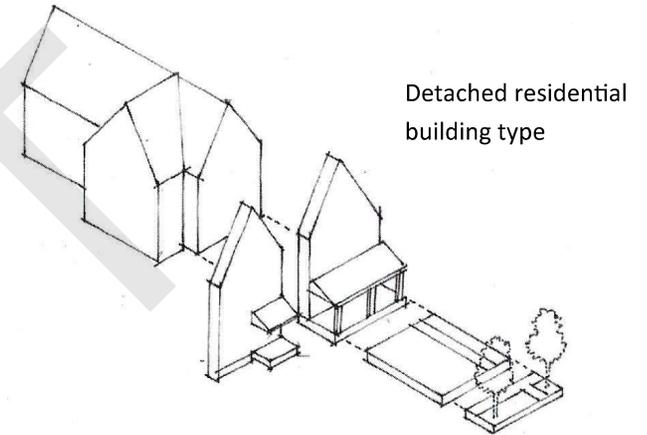
Zoning Districts and Regulations. This section lists and defines each zoning district and sets out rules that apply to land in each district. These rules may include permitted and conditional uses, the density of structural development, dimensions of structures and setbacks, and provisions for open space.

Zoning Nonconformities. This section describes limitations associated with nonconforming uses, structures and lots.

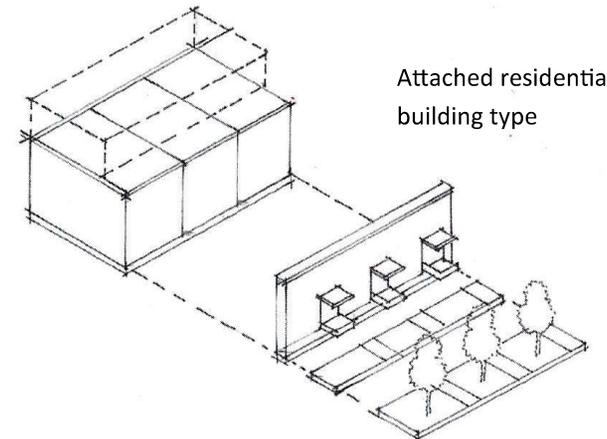
Impact Regulations. This section describes parking, landscaping, signage, historic preservation, environmental and other development regulations designed to mitigate the impacts of development.

Administration and Enforcement. This section outlines the duties of those involved in administering the zoning ordinance, specifies procedures for amending the ordinance, and sets fines for zoning violations. Enforcement techniques generally include refusal of building or occupancy permits, remediation, fines and forfeitures, or court action to force compliance.² Enforcement actions may be initiated by the governing body or an affected landowner.³

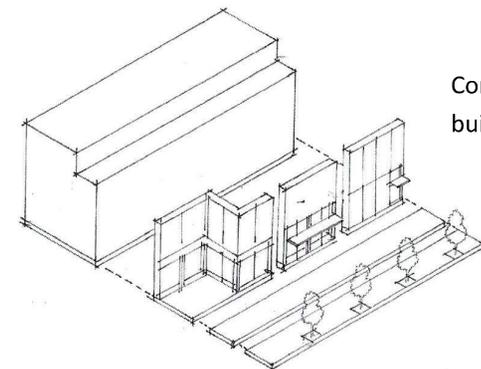
Source: UW- Madison Division of Extension



Detached residential building type



Attached residential building type



Commercial building type

Words, Definitions & Terms



ACCESSORY DWELLING UNITS (ADUs) a small home that is ancillary to a principal dwelling unit on a property.

ARCADE a feature for Retail use where the Facade is a colonnade that overhangs the Sidewalk.

ARCHITECTURAL DESIGN STANDARDS Requirements that specify building materials, details and facade variations.

BLANK WALLS a blank wall is a length of 30 or more feet without openings.

BLOCK FACE all the building Facades on one side of a block

BUILD-TO LINE A horizontal regulation on the lot for where a building must be located.

BY RIGHT a proposal that complies with the code and is permitted and processed administratively, without public hearing.

CIVIC SPACE an outdoor area dedicated for public use.

CONFIGURATION the form of a building, based on its massing, frontage and height.

ENCROACHMENT A structural feature that extends into a yard, space or above a height limit; often used to describe awnings, signs and balconies that project over sidewalks.

FLOOR AREA RATIO (FAR) The ratio of a building's floor area to the size of the lot.

HOME OCCUPATION When a business is located within a residence.

LINER BUILDING A shallow building that is sited in front of parking and service areas.

LIVE WORK a mixed use unit consisting of a commercial and residential uses; intended to be occupied by a business operator who lives in the same structure.

LOT means land occupied by a permitted use including one main building together with its accessory buildings, and the yards and parking spaces and having its principal frontage on a public street.

LOT LINE the boundary that legally and geometrically defines a lot.

MISSING MIDDLE HOUSING A term that refers to small multifamily, live/work and cottage-like residences that are generally more affordable, and their neighborhoods more walkable.

MIXED USE multiple uses within the same building or in multiple adjacent buildings

NONCONFORMING USE means any building or land lawfully occupied by a use per the regulations of the district it is in. type.

PUBLIC REALM Areas that are not privately owned — including streets, sidewalks, other rights-of-way, open spaces, and public facilities such as parks, green spaces and municipal buildings.

REGULATING PLAN a Zoning Map or set of maps that shows the special requirements subject to, particular regulations, often in response to a well defined context.

2040 Comprehensive Plan Land Use



Future Land Use includes twelve (12) categories (*summarized from the 2040 Comprehensive Plan*):

- **Existing Uses:** Existing Uses are noted within each Future Land Use Category to specify that an existing use is always “Allowable” on any property in La Crosse and that no existing property must be changed in order to comply with the Future Land Use Plan.
- **Low-Density Residential:** Low-Density Residential land uses are predominantly made up of one-two story single-family structures but may also include two- and three-unit dwellings that may have been converted from single-family structures. Other housing types such as townhomes and rowhomes may be compatible, especially if developed to fit a single-family mold.
- **Medium-Density Residential:** Medium Density Residential may include more variety of housing types than Low-Density Residential, including townhomes, rowhomes, small multi-family buildings, and large multi family buildings of two-four stories. The uses in this category are interconnected within surrounding neighborhoods as part of a complete neighborhood, providing access to a variety of uses and amenities through enhanced walkability and connectivity.
- **High-Density Residential:** High-Density Residential typically includes multi-family owner-occupied and rental units in structures taller than three stories. Similar to medium- density, high-density is interconnected within surrounding neighborhoods and may be concentrated in areas with major streets connections and employment and commercial areas.
- **Low-Intensity Mixed-Use:** Low-Intensity Mixed-Use may include relatively small existing and planned activity centers that include a variety of uses such as residential, retail, restaurant, service, institutional, and civic uses primarily serving existing neighborhoods and their residents. The design and layout is typically compact, walkable, and nearby transit.
- **High-Intensity Mixed-Use:** High-Intensity Mixed-Use was included to delineate areas of higher-intensity mixed-uses that support an active and vibrant street life. These can be located within the core of Downtown La Crosse, as well as outside of the Downtown core in areas still appropriate for a higher intensity mix of uses.
- **Neighborhood Retail/Commercial:** These areas include walkable, small-business, small format, independent businesses primarily serving walk-up customers from within the neighborhood.
- **Commercial:** Commercial includes professional service uses, corporate, retail, services, and other commercial/consumer based land uses providing consumer and employment opportunities. Commercial can also feature businesses considered “big box” stores, drive-ups, and large format services such as car dealerships.
- **Industrial:** Industrial includes uses involved in manufacturing, wholesale, storage, distribution, transportation, repair/ maintenance, and utilities. These can also include uses typically identified as “nuisance” uses that should not be located in proximity to residential, neighborhood mixed-use, or other non-residential uses due to noise, odor, appearance, traffic, or other potentially adverse impacts. Screening, buffering, and securitization should be deployed to protect surrounding uses wherever possible.
- **Institutional:** Institutional includes government buildings, structures, and campuses, as well as public community.
- **Parks & Open Space:** This category includes public parks, trails, and recreation areas, private recreation uses (such as golf courses), cemeteries, and other natural features that create a park-like setting. The emphasis is on natural and open spaces that provide for recreation and environmental uses.
- **Conservancy, Wetland, & Agricultural:** This category includes wetlands and marshes, greenways and environmental corridors, and other natural areas. These may function as natural drainage or expansion of the Mississippi River corridor. This category includes areas of the City identified as wooded and steep slope areas and also includes any land or parcel used for agricultural purposes. Agricultural uses are typically located at the periphery of the City.

Refer to the 2040 Comprehensive Plan: <https://www.cityoflacrosse.org/home/showpublisheddocument/7655/638345999839030000>

Future Land Use & Building Types



Low-Density Residential



High-Density Residential



Neighborhood Retail/Commercial (Credit: City)



Low-Density Residential



High-Density Residential



Commercial (credit: La Crosse Chamber)



Medium-Density Residential



Low-Intensity Mixed-Use



Institutional (Credit: City)



Medium-Density Residential

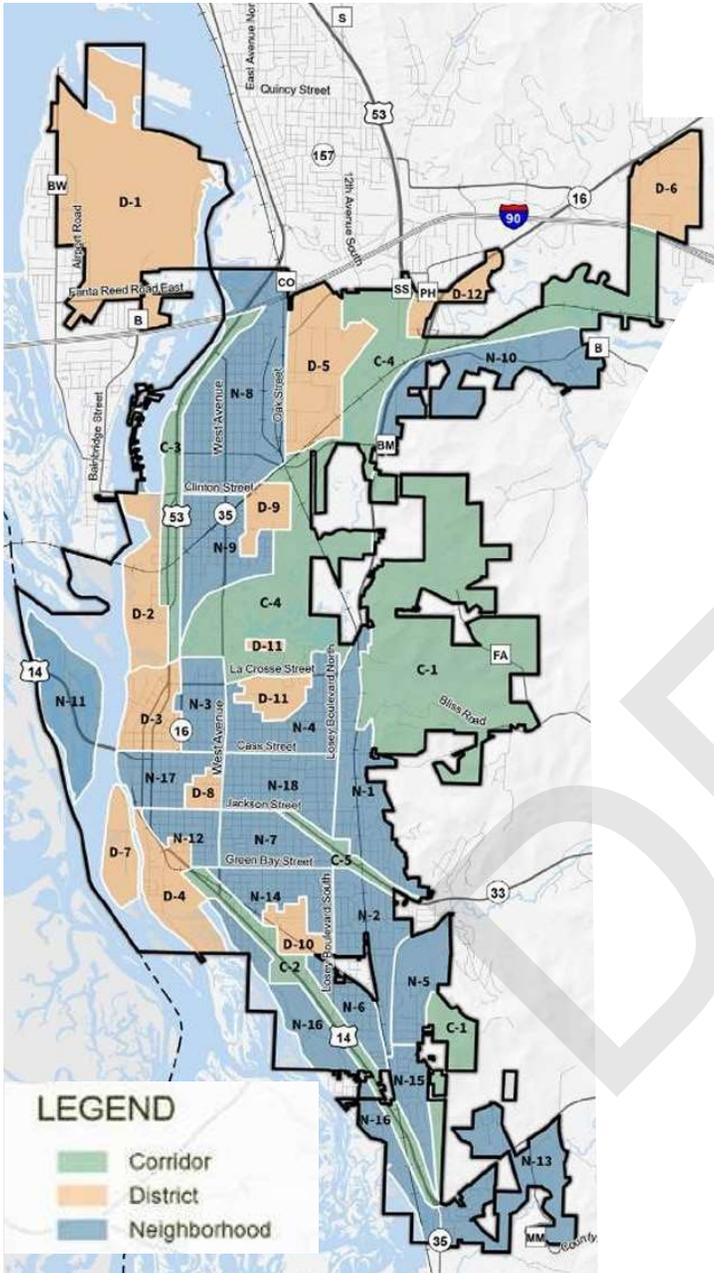


High-Intensity Mixed-Use



Industrial

2040 Comprehensive Plan



The **Comprehensive Plan** sets forth the vision of future land uses within the City of La Crosse. Future land use is based on the “Neighborhood, District and Corridor Framework” (NDC), a system devised by the Congress for New Urbanism (CNU).

How does NDC Work? The intent of the NDC model is to encourage walkable, compact communities that are rich with amenities and celebrate the history of the built environment and the preservation of natural features, all while respecting the fabric of communities. NDC proposes three fundamental classifications that organize La Crosse into a mix of uses rather than isolated land uses.

Neighborhoods:

La Crosse neighborhoods have distinct identities, housing characteristics, unique history, and geographic features. They are typically compact, pedestrian-friendly, and mixed-use. Neighborhoods may contain a number of supporting uses and activities that serve residents, such as parks, schools, libraries, small-scale retail, and other services. Neighborhood associations were consulted during the creation of this comprehensive plan to help identify the vision and land uses within La Crosse's neighborhoods.

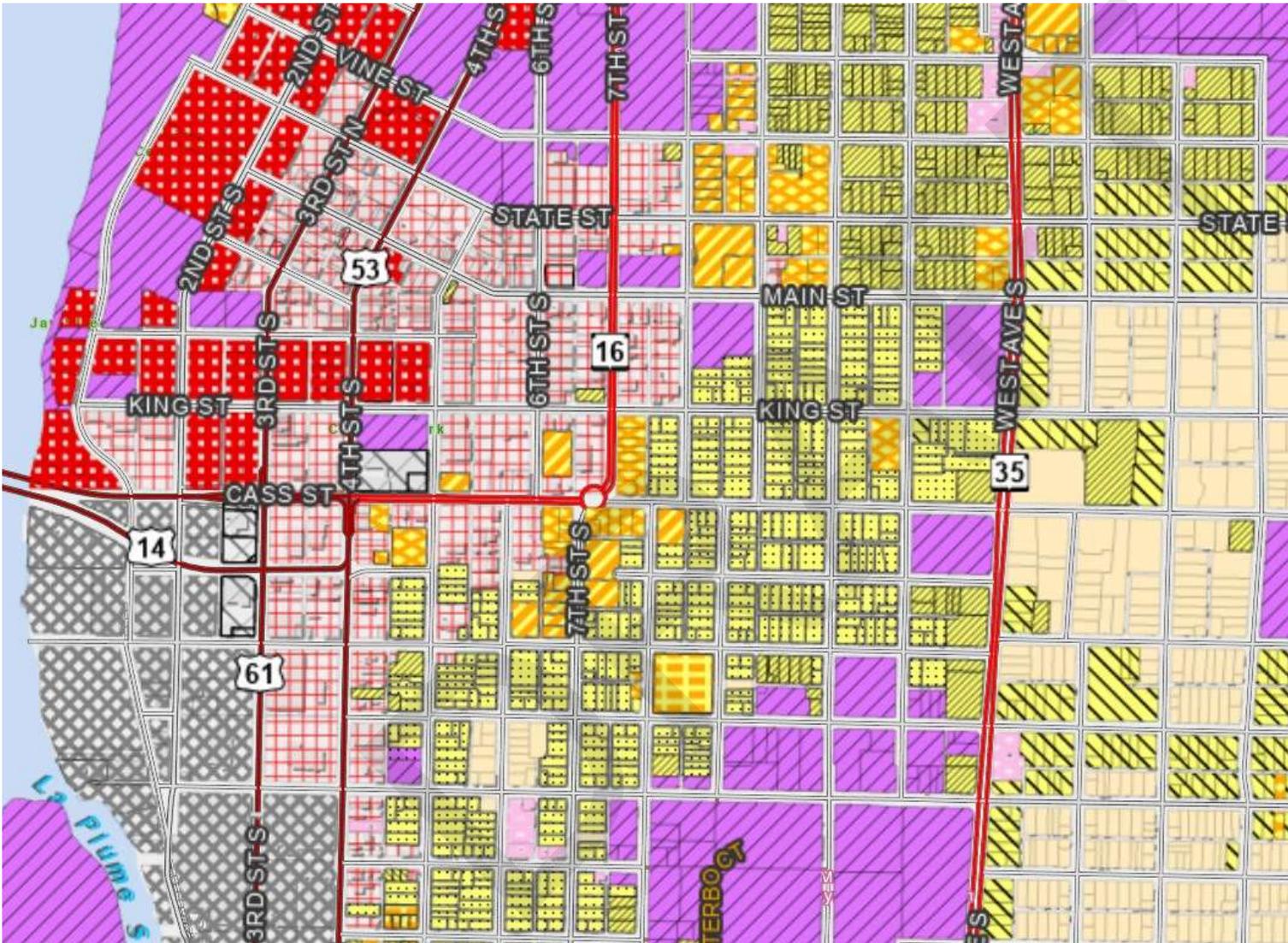
Districts:

Districts are larger areas where the City, property owners, developers, and investors should concentrate business, commercial, and industrial activity and expansion over the next twenty years. Districts may emphasize a special single use or purpose, but may contain a variety of other uses and activities. For example, a shopping district may have primarily commercial uses with a few small-scale industrial uses mixed in. La Crosse's districts are based on types of dominant uses, include overlapping neighborhoods, and have generally larger geographic extents.

Corridors:

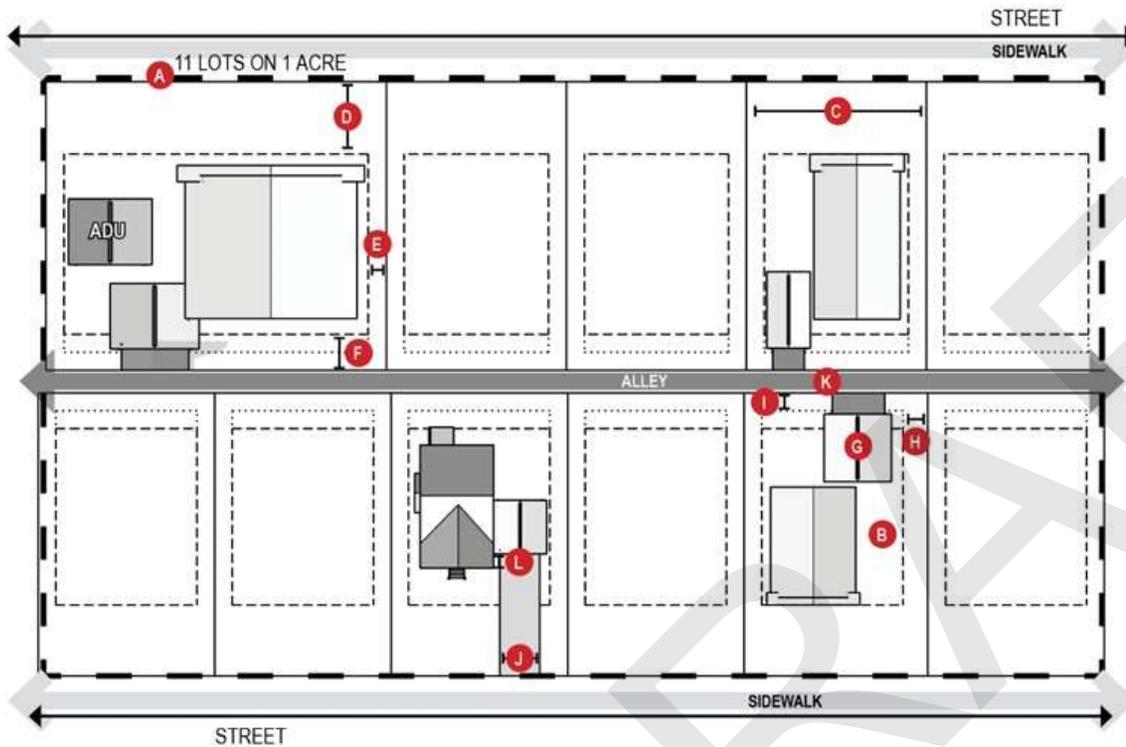
Corridors are linear areas that provide connectivity between the neighborhoods and districts. Corridors can accommodate a variety of land uses, including natural, recreational, and cultural uses. They can range from boulevards and rail lines to rivers and parkways. La Crosse has several major corridors identified based on transportation and environmental features.

Zoning Map—Partial Example



- Zoning**
- Zoning Information
- R1 - SINGLE FAMILY
 - R2 - RESIDENCE
 - WR - WASHBURN RESIDENTIAL
 - R3 - SPECIAL RESIDENCE
 - R4 - LOW DENSITY MULTIPLE
 - R5 - MULTIPLE DWELLING
 - R6 - SPECIAL MULTIPLE
 - PD- PLANNED DEVELOPMENT
 - TND - TRADITIONAL NEIGHBORHOOD
 - C1 - LOCAL BUSINESS
 - C2 - COMMERCIAL
 - C3 - COMMUNITY BUSINESS
 - M1 - LIGHT INDUSTRIAL
 - M2 - HEAVY INDUSTRIAL
 - PS - PUBLIC AND SEMI-PUBLIC
 - PL - PARKING LOT
 - UT - PUBLIC UTILITY
 - CON - CONSERVANCY
 - FW - FLOODWAY
 - A1 - AGRICULTURAL
 - EA

Dimensional Standards



Typical Lot Regulations

- A: Lot area
- B: Buildable area
- C: Lot width
- D: Front yard/setback
- E: Side yard/setback
- F: Rear yard/setback
- G: Accessory building
- H/I: Parking setback
- J: Driveway width
- K: Alley width
- L: Front loaded garage stepback from main structure



Possible Housing Types



HOUSE HACKS
Entrepreneurial adaptations to an existing home that diversify housing options or generate an income.

COMMERCIAL INCUBATION
Low-cost ways to grow and validate an early-stage business.

COMPACT SINGLES
One-unit dwellings that fit on small infill lots alone or in combination with other buildings.

MIDDLE HOUSING
Multi-unit residential buildings that blend well with detached homes.

NEIGHBORHOOD NODE
Walkable neighborhood destinations like corner stores and workspaces, 1-3 storeys, mixed-use or commercial.

COMBO
Creative tactics or building combinations that solve for a common development scenario.

STEP BUILDINGS
Small-scale
Time-enhanced
Entrepreneurial
Purposeful

Designed by GreenSource and the
Innovational Development Alliance.

ATTACHED ADU, DETACHED ADU, SHARED HOUSE, GUEST SUITE, GUEST HOUSE, HOUSE ON WHEELS, FLEX SHED, HOME OFFICE / WORKSHOP, MARKET TENT, PUSH CART, TRAILER, TRUCK, TEMPORARY EVENT, POP-UP SHOP, KIOSK, MAKERSPACE, SKINNY HOUSE, COTTAGE, SEMI-DETACHED, ROWHOUSE, TOWNHOUSE, STACKED DUPLEX, SIDE-BY-SIDE DUPLEX, FRONT-BACK DUPLEX, APT HOUSE (RENO), HOME CONVERSION, APT HOUSE (NEW), SMALL APT, STACKED FLATS, WALK-UP APT, COURTYARD APT, ALLEY TOWNHOUSES, SHOPHOUSE (GRANDFATHERED), LIVE/WORK, MAINSTREET LITE, MAINSTREET (GRANDFATHERED), SHOP, MULTI-TENANT COMMERCIAL, SMALL MAINSTREET MIXED, LARGE MAINSTREET MIXED, PARKING LOT MARKET, BOOTLEG SHOPHOUSE, BOOTLEG TRIPLEX, DETACHED TRIPLEX, GUEST VILLAGE, DOUBLE DUPLEX, DUPLEX COURT, COTTAGE SQUARE, COTTAGE COURT



Much of the form and character of a community is determined by the design of subdivisions and the standards by which they are built. State statutes regulate the technical and procedural aspects of dividing land for development and provide minimum standards for subdivisions related to sanitation, street access and layout.

Local communities (counties, towns, cities and villages) may also adopt local land division or subdivision regulations. Local ordinances may be more restrictive than the state with regard to the number or size of lots regulated. Local ordinances tend to focus on the density, layout and design of new developments. They may also require developers to provide public improvements such as roads, storm sewers, water supply systems, landscaping or signage. If a local community does not exert control over local land divisions, the result may be excessive or premature division of land, poor quality or substandard development, or partial or inadequate infrastructure development.

Among its many purposes, land division regulations can help a community to:

- Address health and safety issues such as stormwater runoff and emergency access.
- Ensure new development is adequately served by public facilities such as roads and parks.
- Provide for the efficient placement and delivery of public services and facilities.
- Promote neighborhood designs that meet the needs of residents.
- Ensure accurate legal descriptions of properties.
- Avoid disputes regarding the sale, transfer or subdivision of land.
- Protect other community interests outlined in a comprehensive plan or local ordinance.



State Defined “Subdivision” – a division of a lot, parcel or tract of land by the same owner that creates 5 or more parcels or building sites of 1½ acre or less, *or* successive divisions of land by the same owner within a five year period that result in 5 or more parcels of 1½ acre or less.

Wis. Stat. § 236.02(12)

Local “Land Division” – local ordinances may be more restrictive than the state definition with regard to the number or size of lots regulated. This publication will generally use the term “land division” to refer to all such developments.

Wis. Stat. § 236.45

Contact Information



Contact Us

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La Crosse, WI 54601

Contact Us

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www.cityoflacrosse.org



ZONING
CODE
UPDATE

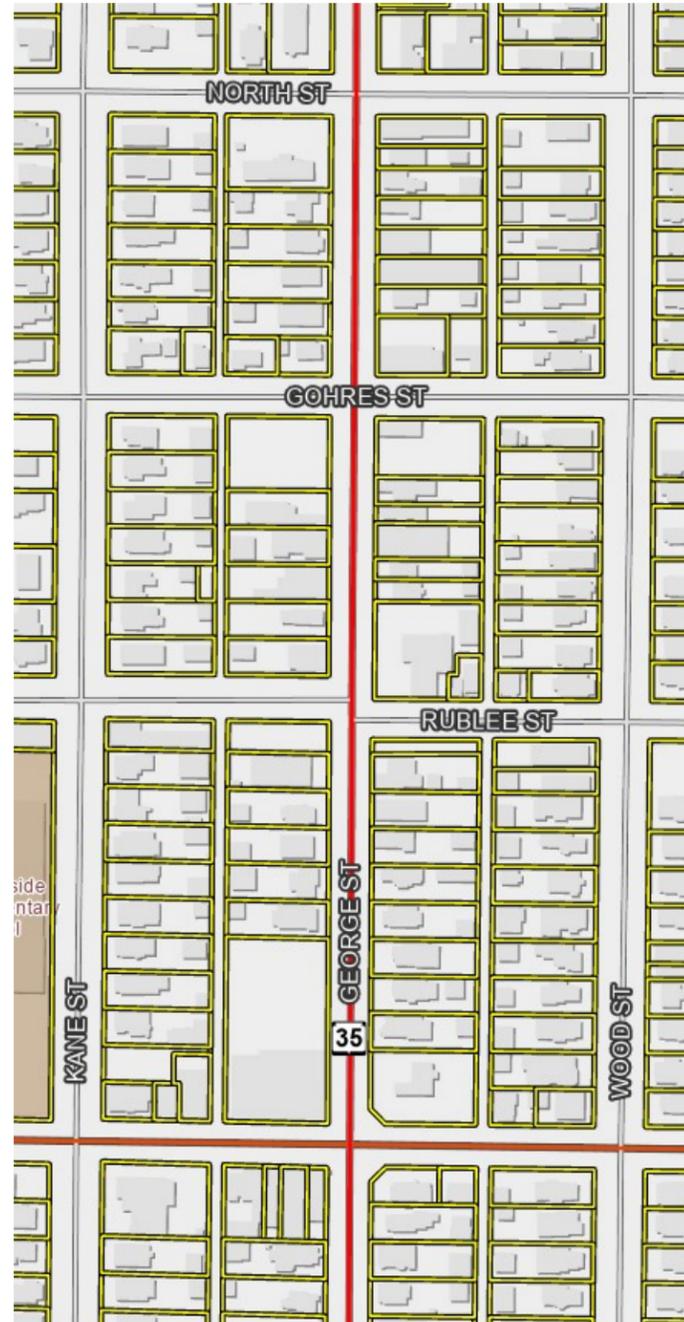


Built Form Study | Plate 1: Logan Northside - George St Commercial

NDC Framework: Neighborhood



Urban Pattern



Built Form Examples



Notes

- Existing zoning: C1 Local Business
- Character area: small scale neighborhood retail street embedded in predominant traditional residential pattern
- Key intersection: George & Gillette
- Parcel pattern: incremental, small lot typically alley loaded; some curb cuts from George; common residential lots are 50 feet wide; some residential lots measure 30 feet wide
- Scale: 1 and 2 story retail and residential buildings; commercial buildings tend to have flat roofs and transparent shopfronts
- Yards: Zero lot line for commercial structures; shallow setback for residential along George
- Parking: several surface lots front onto George
- Materials: brick, stucco, lap siding—vinyl and wood
- Street: 64 foot ROW; curb and gutter with sidewalk back of curb; narrow grassed boulevards here and there
- Alley: 20 ft ROW, paved concrete typ.



City of La Crosse, Wisconsin

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DATE:

February 26, 2025

LA CROSSE ZONING AND SUBDIVISION CODE UPDATE

Overview

The project team has started the existing conditions analysis. This covers a review of existing City plans and policies, as well as an analysis of the existing code.

The project had its first engagement push on the Forward La Crosse website. River Travel Media saw great engagement with the post. There was an excellent open rate, engagement, and click-throughs, and an increase in web traffic to the site. The next pushes will include zoning 101 content to start educating the community about the importance of zoning and this update.

The engagement team is still collaborating with Habitat for Humanity and will have two scheduled events, during housing week. They are scheduled for 12-1 on April 30th and 5pm-6pm on May 1st. In-between those scheduled events we are planning on hosting some pop-up events around town, and having stakeholder discussions. More information to come on the programming of the events.

Attached for the commissions review is a short summary of the existing conditions review and a diagnostic summary of the residential zoning districts.

Project Next Steps

- Finalize zoning 101 content for public engagement pushes.
- Finalize community survey
- Continuation of Existing Conditions Analysis



MSA Memo 1

To: City of La Crosse
From: MSA Zoning Code team
Subject: Existing Conditions Analysis Summary
Date: February 26, 2025

The City of La Crosse has several plans with goals and policies pertaining to zoning. Our analysis of these plans allows us to ensure continuity between policy plans and the code. This memo provides a very brief summary of our analysis of the 2040 Comprehensive Plan, Imagine 2040 La Crosse Downtown Plan, and the 2024 Housing Study.

The Comprehensive Plan outlines the importance of aligning the updated code with the Future Land Use (Neighborhood, Districts, Corridors) Map. The NDC organizes the City into a mix of uses rather than isolated land uses, which opens the opportunity for this code update to integrate form based sections. The form-based approach focuses on the physical relationship of development as the existing built form and how it interacts with the public.

There were several elements of the comprehensive plan that had recommendations relevant to the code update.

1. Environmental
 - a. Urban Agriculture and having code amendments that allow for community gardens, local food production and urban farming.
 - b. Wellhead protection and code amendments for setbacks
 - c. Stormwater Management and Impervious Surface Coverage – amending ordinances decrease allowed impervious coverage.
 - d. Shoreland and Floodplain regulation updates to align with State Statute.
2. Historic Preservation (also a big theme in the Imagine 2040 La Crosse Downtown Plan)
 - a. Update ordinances to prevent demolition and establish design standards to integrate new construction in those areas.
 - b. “the maintenance and care of older buildings should continue to remain a priority for preserving the history of La Crosse” – Community Engagement from Imagine 2040 La Crosse Downtown Plan
3. Housing
 - a. Affordability
 - b. Infill Development (also theme in Imagine 2040 La Crosse Downtown Plan)
 - i. Surface lot re-use
 - ii. Neighborhood infill
 - iii. Allow for mix of housing types
 - c. Property conditions

The City of La Crosse Housing Study from 2024 also outlines several very specific code updates, and provides great direction. In summary.

1. Allowing two-unit homes by right in R-1 and amend the # of bedrooms rule.
2. Provide a better understanding in the code of what mix use is and allow them by right in commercial and high density areas.
3. Provide clearer language in the code update.
4. Reduce minimum lot sizes in R-1, R-2, R-3
5. Reduce residential parking to one space per unit
6. Allow more options for Accessory Dwelling Units.



MSA Memo 2

To: City of La Crosse
From: MSA Zoning Code team
Subject: Diagnostic Summary: Residential Zoning Districts
(Commercial, Industrial and Subdivision review pending)
Date: February 21, 2025

The La Crosse Zoning Code is found in Chapter 115 of the Municipal Code and is defined by seven articles and contains the following:

- A total of 211 pages
- 21 districts and 2 overlay districts
- Definitions, penalties, administration, appeals and amendments are found in Articles I and II
- District regulations are found in Article IV; dimensional standards that apply for each district begin on page 26.
- Overlay regulations are defined in Article V.
- Generally, urban standards (and dimensional requirements) are written out in extended sentences and are often difficult to follow.
- It seems, in general, that most of the residential districts share dimensional standards and regulations subject to different time periods, going back to the 1938 edition of the code.
- The word 'special' is used in the title for the R-3 and R-6 districts but it isn't clear exactly what this means or designates.

A high level review of the R districts follows; titles are spelled out as they appear in the body of the code.

Agriculture and Exclusive Agriculture Districts

The code includes an AG district and an Exclusive AG district. The AG district's purpose is to act as a preserve for future urban development. The Exclusive AG district is intended to preserve lands for food and fiber production.

R1 District

Unlike the AG and EX AG districts, the R1 district does not include a direct purpose statement. The R1 Single Family district does allow two-family dwellings provided they were in existence on September 13, 1984 with an odd requirement that a new two family dwelling can replace an existing two family dwelling if it is limited to 2 bedrooms in each unit; no additional bedrooms can be added in any case.

There is no direct mention of lot area and dimensional standards except for the reference to the 'Residence District' (this is a reference to the 1938 zoning code which included two residential districts: Residence and Multiple Dwelling) - apparently this is assumed to refer to the R2 District and these standards apply to R1.

Language and requirements like this this will need to be resolved regarding the uses in the R1 district:

- *Two or more family dwellings provided that such were in existence on April 10, 1997, have not discontinued the number of dwelling units for a period of 12 months or more, and are located within the area bounded by 9th Street-Farnam Street-east-west alley north of Green Bay Street-West Avenue, and*

provided further that such two or more family dwellings may be replaced by another two or more family dwellings as long as such replacement shall not contain more units or bedrooms than existed on April 10, 1997 and other applicable building and zoning code requirements for the R-1 District are met.

R2 District

Like the R1 District, the R2 District does not have a specific purpose statement. It allows two family dwellings but only if they contain no more than three bedrooms per unit. It allows churches that were in existence on August 10, 1989. As in other districts, language makes multiple references to specific dates in time that provide a threshold for permitted uses.

Language and requirements like this this will need to be resolved regarding the uses in the R1 district:

- *The side yard regulations in subsections (3)a. and b. of this section shall apply to all lots including corner lots, except that in the case of a reversed corner lot which faces intersecting streets, the side yard on the street side of such reversed corner lot shall have a width of not less than 50 percent of the front yard depth required on the lots in the rear of such reversed corner lot, and no accessory building on such reversed corner lot shall project beyond the front building line of the lots in the rear of such reversed corner lot; provided, however, that this regulation for reversed corner lots shall not have the effect of reducing the buildable width for the main building to less than 26 feet, or for an accessory building to less than 20 feet, on any lot of record August 27, 1938.*

R3 Special Residence District

This district is meant to allow single family, two-family and up to four or more dwellings provided they were in existence on April 10, 1997. Lot and dimensional standards are the same or similar to R1 and R2.

Standards for yards are laboriously overwritten (similar to R1 and R2) and difficult to interpret in a single reading. These will benefit from summary and simplification:

- a. *On every lot in the Special Residence District, there shall be two side yards, one on each side of the building, and except as hereinafter provided, neither of such side yards shall be less than six feet in width, and provided further that for any main building other than a one-family dwelling neither of such side yards shall be less than seven feet in width, except that lots occupied by each attached dwelling unit which is located within a single structure, which is attached along a lot line which is approximately perpendicular to the street right-of-way line, shall not be required to meet this requirement other than the outer side yards of the structure in which the two attached dwelling units are located shall not be less than seven feet in width.*
- b. *On any lot having a width of less than 44 feet, and of record on August 27, 1938, the width of no side yard shall be less than that heretofore prescribed less one-fourth foot for each foot said lot is less than 44 feet in width; provided further, however, that no side yard shall be less than four feet in width in any case.*
- c. *The side yard regulations in subsections (2)a and b of this section shall apply to all lots including corner lots, except that in the case of a reversed corner lot which faces intersecting streets, the side yard on the street side of such reversed corner lot shall have a width of not less than 50 percent of the front yard depth required on the lots in the rear of such reversed corner lot, and no accessory building on such reversed corner lot shall project beyond the front building line of the lots in the rear of such reversed corner lot; provided, however, that this regulation for reversed corner lots shall not have the effect of reducing the buildable width for the main building to less than 26 feet, or for an accessory building to less than 20 feet, on any lot of record August 27, 1938.*

Low Density Multiple Dwelling District (R4)

This district is shown as the R4 district on the map but is not titled as that in the body of the code and allows multiple dwelling buildings that contain more than 4 units. Similar to the other R districts language and standards regarding lot area and yards are very overwritten and can benefit from simplification and more direct language.

Multiple Dwelling District (R5)

This district is “nested” into the R4 and thus any use allowed in R4 is permitted in this district. Uses include boarding house, room houses, fraternities and sororities (occupied by less than 6 persons). Height is allowed up to 55 feet and may exceed this per section 115-390 (Art. VII Supplemental Regulations).

R-6 Special Multiple Dwelling District

This district is “nested” into the R5 and thus any use allowed in R5 is permitted in this district. Uses include boarding house, room houses, fraternities and sororities (occupied by less than 6 persons). Height is allowed up to 55 feet and may exceed this per section 115-390 (Art. VII Supplemental Regulations).

Washburn Neighborhood District (R-7)

The purpose of the district is to encourage people to work and live in the City of La Crosse and will encourage single family dwellings. The district standards and regulations are “nested” in the R1 district (but excludes section 114-142(a) (10). A unique condition in this district is the requirement of Architectural Control that is to encourage physical development to a higher degree of aesthetic satisfaction per approval of the Design Review Board.

Map Diagrams

In a separate document we reviewed lot sizes for R-1, R-2, R-3 and the Washburn zoning districts based on the threshold of 5000 sf, lots that fall between 5000 -7200 sf and lots over 7200 sf. Lots under 5000 sf are shown in red and based on how the districts are defined many of these lots, we assume, were platted in 1938 or earlier so are not technically nonconforming. Nevertheless there is a distinct pattern (and a significant number) of smaller lots that seem to be functioning well today. More analysis is needed which will help determine how best to define appropriate standards.

R-1 = 10,833 Parcels

>7,200 sqft = 4,878 Parcels (45%)
5,000-7,200 sqft = 4,454 Parcels (41%)
<5,000 sqft = 1,501 Parcels (13.9%)

R-2 = 1,298 Parcels

>7,200 sqft = 504 Parcels (38.8%)
5,000-7,200 sqft = 522 Parcels (40.2%)
<5,000 sqft = 272 Parcels (20.9%)

R-3 = 4 Parcels

>7,200 sqft = 1 Parcel (25%)
5,000-7,200 sqft = 2 Parcels (50%)
<5,000 sqft = 1 Parcel (25%)

Washburn Neighborhood District = 451 Parcels

>7,200 sqft = 185 Parcels (41%)
5,000-7,200 sqft = 111 Parcels (24.6%)
<5,000 sqft = 155 Parcels (34.4%)

Attachments

Attachment 2.1 - Summary Table of Dimensional Standards

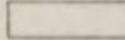
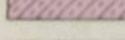
Attachment 2.2 Historic Zoning Map

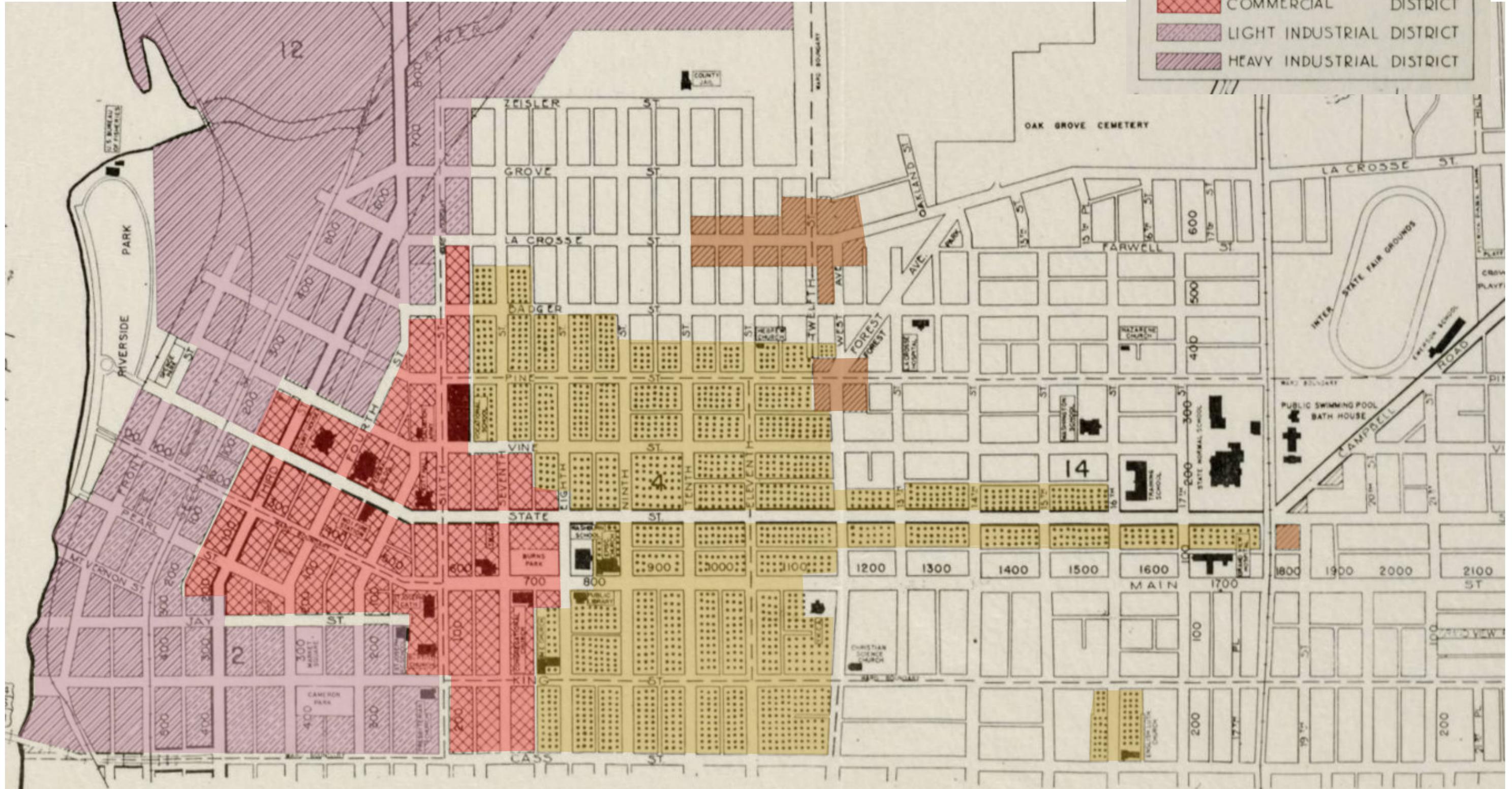
Also attached as a zoning map from 1938 that shows the very simple zoning organization of industrial, commercial, multi-family and single family zoning districts. This simplistic approach may have some benefits as we continue to consider regulations and how best to apply them.

Attachment 2.1: Summary of Dimensional Standards

	AG	EX AG	R1	R2	R3	R4	R5	R6	Washburn
lot area	7200	35ac							
before 1938 less than:	5000sf		5000sf	5000sf	5000 sf	5000 sf	5000 sf	5000sf	5000sf
between 1938 & 1966:	5000+sf		5000+sf	5000+sf	5000+ sf	5000 sf	5000+ sf	5000+sf	5000+sf
after 1966:	7200sf		7200sf	7200sf	7200 sf	7200 sf	7200 sf	7200 sf	7200sf
other		20,000sf							
lot area per per family					1800 sf/unit	1800sf/unit	1500sf/unit	400sf/unit	
front yard			25 fyt	25 ft	25 ft	20 ft	20ft	15 ft	25 ft
side yard		6 ft	6 ft	6 ft	6 ft	6 ft	6 ft	6 ft	6 ft
lots as of 1938 or before			4 ft	4 ft					4 ft
rear yard		6 ft	20% depth	20% depth	20 % depth	20% depth	20% depth	20% depth	20% depth
max. height		35 ft	35 ft	35 ft	35 ft	35 ft	55 ft	100 ft	35 ft
max. height, other		2x fr nearest lot line					55ft		
public street frontage	min 30 ft	none	min. 30 ft	min. 30 ft	min 30 ft	none	min 30 st	min 30 ft	min 30 ft
court width not to exceed							24 ft	24 ft	
architectural control									Design Rev Bd.

Attachment 2.2: Excerpt from 1938 Zoning Map

LEGEND	
	RESIDENCE DISTRICT
	MULTIPLE DWELLING DISTRICT
	LOCAL BUSINESS DISTRICT
	COMMERCIAL DISTRICT
	LIGHT INDUSTRIAL DISTRICT
	HEAVY INDUSTRIAL DISTRICT



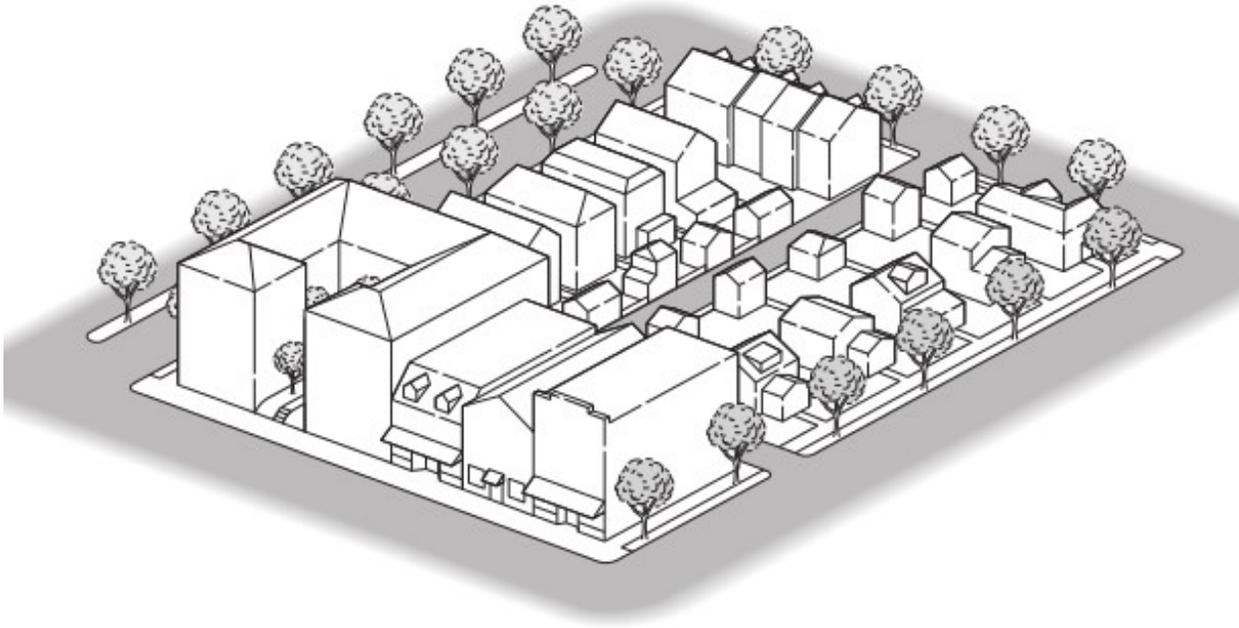
Summary of lot standards

	AG	EX AG	R1	R2	R3	R4	R5	R6	Washburn
lot area	7200	35ac							
before 1938 less than:	5000sf		5000sf	5000sf	5000 sf	5000 sf	5000 sf	5000sf	5000sf
between 1938 & 1966:	5000+sf		5000+sf	5000+sf	5000+ sf	5000 sf	5000+ sf	5000+sf	5000+sf
after 1966:	7200sf		7200sf	7200sf	7200 sf	7200 sf	7200 sf	7200 sf	7200sf
other		20,000sf							
lot area per per family					1800 sf/unit	1800sf/unit	1500sf/unit	400sf/unit	
front yard			25 fyt	25 ft	25 ft	20 ft	20ft	15 ft	25 ft
side yard		6 ft	6 ft	6 ft	6 ft	6 ft	6 ft	6 ft	6 ft
lots as of 1938 or before			4 ft	4 ft					4 ft
rear yard		6 ft	20% depth	20% depth	20 % depth	20% depth	20% depth	20% depth	20% depth
max. height	Mf district	35 ft	35 ft	35 ft	35 ft	35 ft	55 ft	100 ft	35 ft
max. height, other		2x fr nearest lot line					55ft		
public street frontage	min 30 ft	none	min. 30 ft	min. 30 ft	min 30 ft	none	min 30 st	min 30 ft	min 30 ft
court width not to exceed							24 ft	24 ft	
architectural control									Design Rev Bd.



LEGEND

[Empty box]	RESIDENCE DISTRICT
[Cross-hatched box]	MULTIPLE DWELLING DISTRICT
[Diagonal lines, top-left to bottom-right]	LOCAL BUSINESS DISTRICT
[Diagonal lines, top-right to bottom-left]	COMMERCIAL DISTRICT
[Diagonal lines, top-left to bottom-right, steeper]	LIGHT INDUSTRIAL DISTRICT
[Diagonal lines, top-right to bottom-left, steeper]	HEAVY INDUSTRIAL DISTRICT
[Dotted box]	SP MULT-DWEL. DISTRICT
[Dashed line]	WARD BOUNDARY
[Solid line]	CITY LIMITS
[Thick solid line]	THROUGH TRAFFIC STREETS



Zoning & Subdivision Update

City Plan Commission

Study Guide | *June 30, 2025*



ZONING
CODE
UPDATE

Memo 1: Existing Conditions

- a) 2040 Comprehensive Plan
- b) 2024 Housing Study Summary
- c) Analysis to Impediments to Fair Housing Choice
- d) Imagine 2040 Downtown Plan
- e) History of Variances
- f) History of Conditional Use Permits
- g) Other adopted plans & policies



Population information from the Comp Plan:

- *Population is projected to moderately increase from 50,869 (2021) to 53,480 (2050)*
- *As of Jan 1, 2024 the population was 52,115 (WI Department of Admin. Estimate)*

Residential land use makes up about 19% of the total land area in the City. Residential definitions from the Comp Plan (p. 32):

- **Low-Density Residential**—*mostly one-two story single-family structures but may also include two- and three-unit dwellings; other housing types such as townhomes and rowhomes may be compatible, especially if developed to fit a single-family mold*
- **Medium Density Residential** - *may include a variety of housing types including townhomes, rowhomes, small multi-family buildings, and large multi family buildings of two-four stories*
- **High-Density Residential** - *includes multi-family units in structures taller than three stories; interconnected within surrounding neighborhoods and as well as near major streets connections and employment/commercial areas.*



- *What are the key policies from the Comp Plan driving the zoning and subdivision updates?*
- *Review the Housing Study recommendations relative to zoning code content.*

Notes

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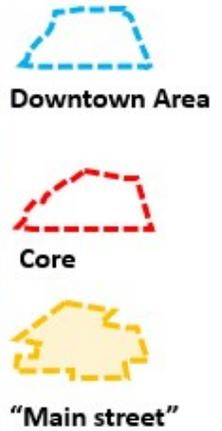
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Downtown Character Areas

- a) Downtown Area
- b) Core
- c) Main Street



- Note distinctions between the “main street” area and the larger downtown boundary.
- Some new development have included parking on the ground floor (within the building envelope) fronting the pedestrian public realm. Should this condition be differentiated in the “main street” area vs. other areas of downtown.

Notes

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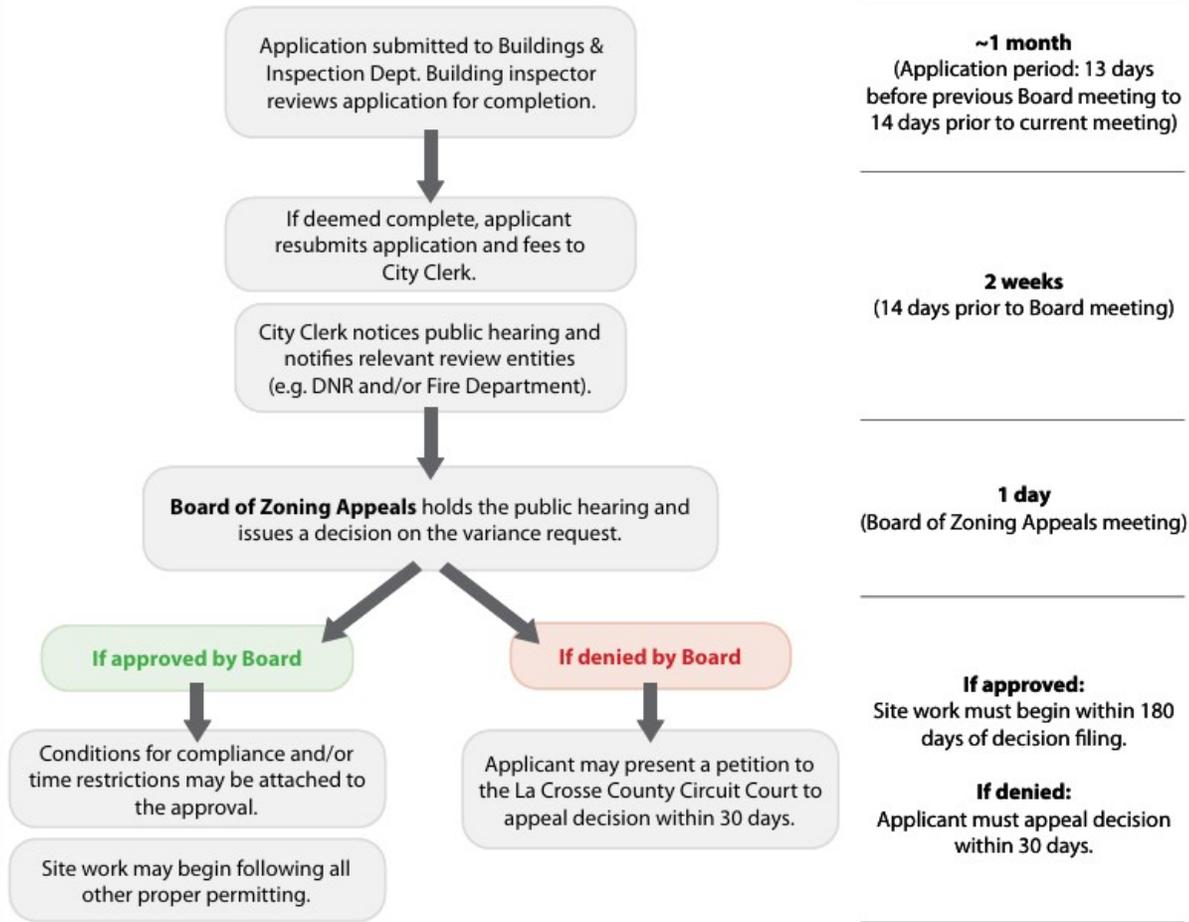
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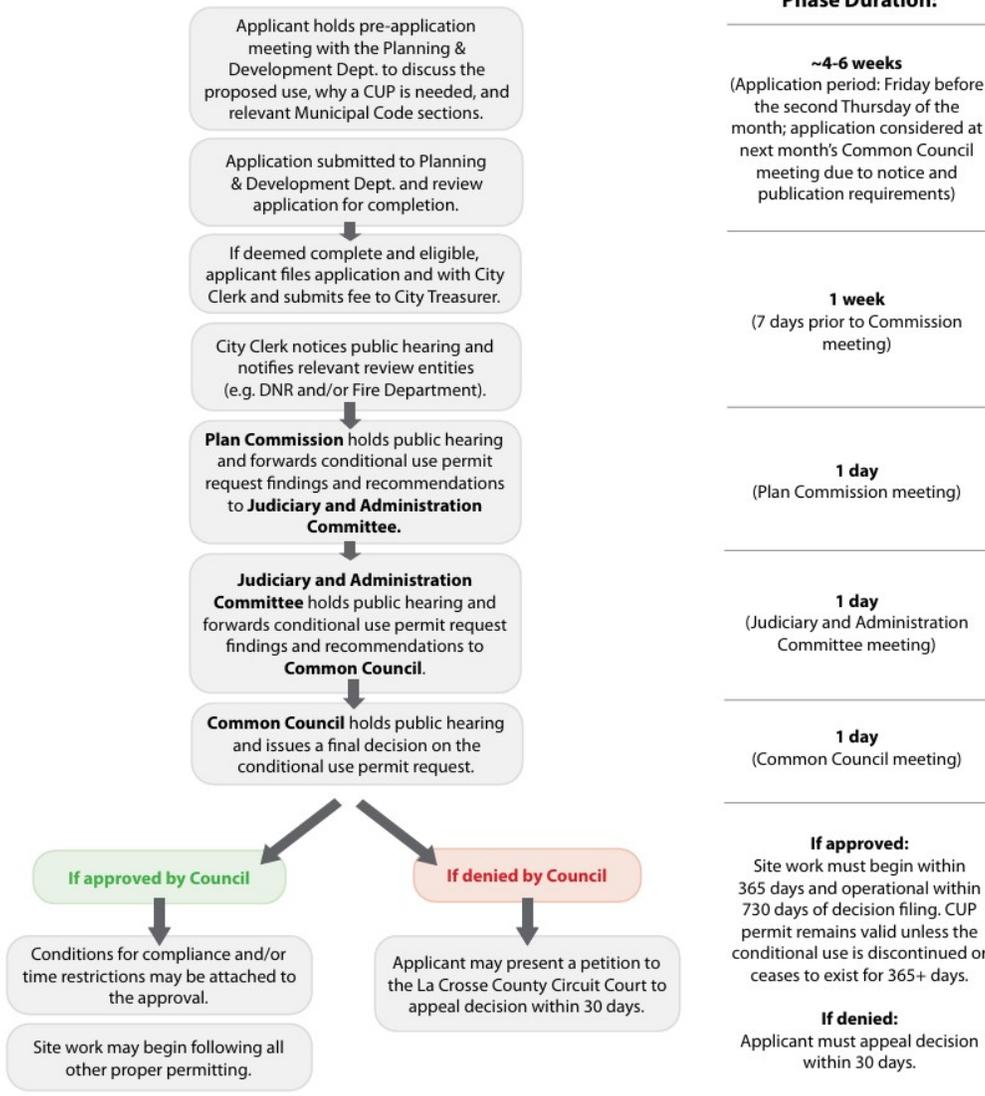
Approval Process Diagrams: Variance (Board of Zoning Appeals)



Notes

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SUBJECT TO EDITS/CHANGES

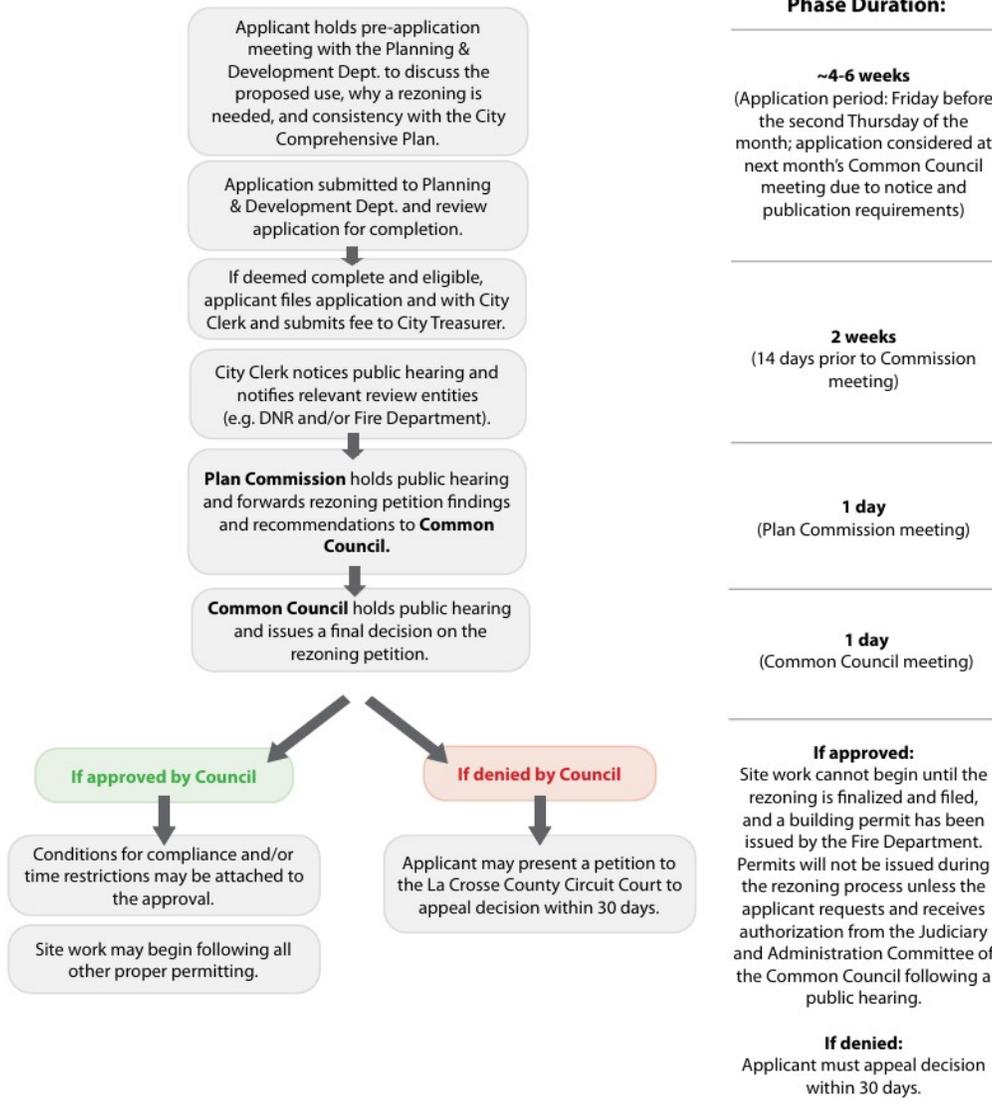
Approval Process Diagrams: Conditional Use Permit



Notes

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SUBJECT TO EDITS/CHANGES

Approval Process Diagrams: Zoning Amendment (Rezoning)



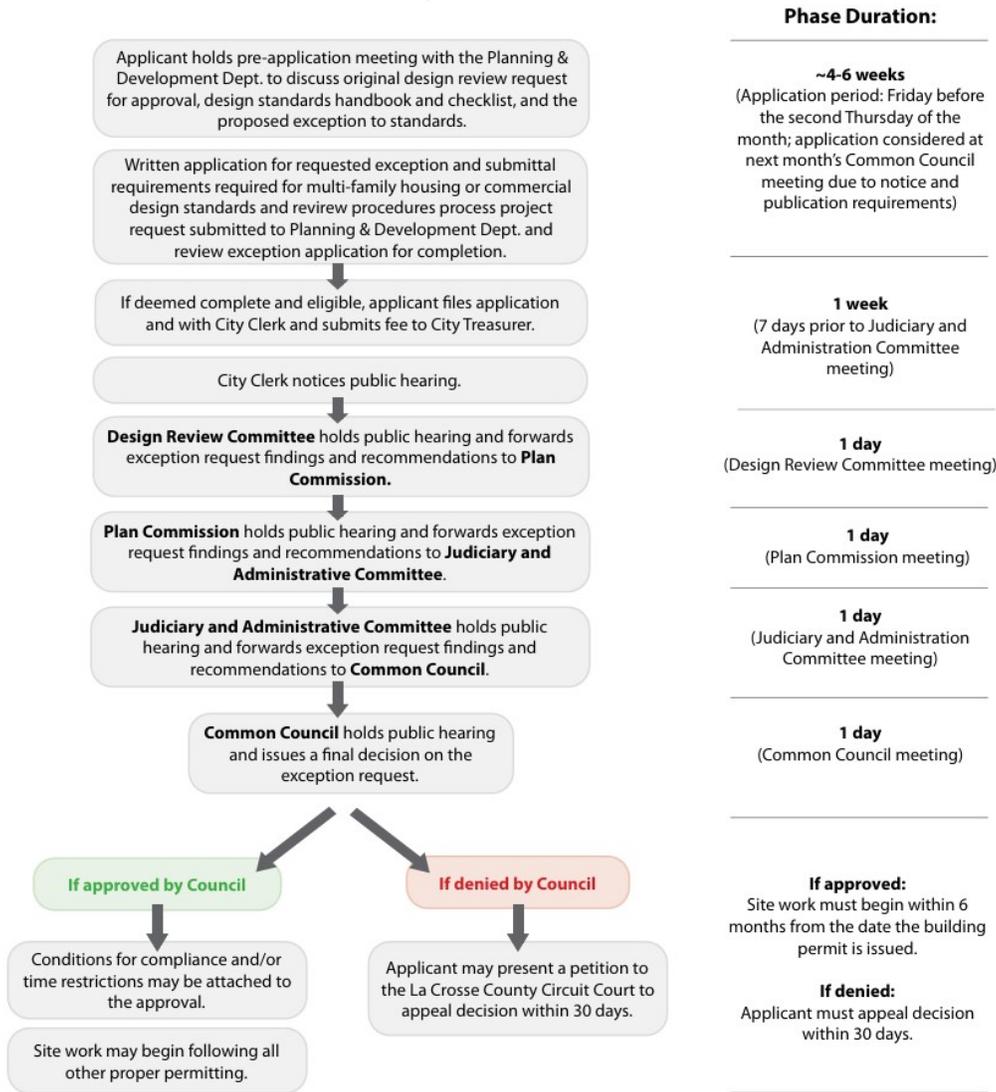
Note:

1. Petition for zoning amendment may be initiated by one or more property owners of the property within the area proposed to be changed.
2. Petitions to change any flood district boundary or floodplain regulation may require technical data, including aerial maps, flood elevations, and development details, as determined by the Fire Department - Division of Fire Prevention and Building Safety and DNR.
3. Floodplain zoning amendments require approval from the DNR and FEMA before becoming effective, except for map changes tied to the La Crosse River Valley Floodplain Study.

Notes

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SUBJECT TO EDITS/CHANGES

Approval Process Diagrams: Request for Exemption to Design Standards



Phase Duration:

~4-6 weeks
 (Application period: Friday before the second Thursday of the month; application considered at next month's Common Council meeting due to notice and publication requirements)

1 week
 (7 days prior to Judiciary and Administration Committee meeting)

1 day
 (Design Review Committee meeting)

1 day
 (Plan Commission meeting)

1 day
 (Judiciary and Administration Committee meeting)

1 day
 (Common Council meeting)

If approved:
 Site work must begin within 6 months from the date the building permit is issued.

If denied:
 Applicant must appeal decision within 30 days.

Note:

1. Ch. 11 Art. VII Div. 3. Multi-Family Housing Design Standards.
2. Ch. 11 Art. VII Div. 4. Commercial Design Standards. The applicant is encouraged to meet with City staff at the schematic stage, the design stage, and at the submittal stage. Members of the Design Review Committee will be encouraged to attend the pre-application meeting to facilitate the development review process. Developers are strongly encouraged to obtain Design Review Committee approval prior to submitting plans to the State for State review and approval.

Notes

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SUBJECT TO EDITS/CHANGES



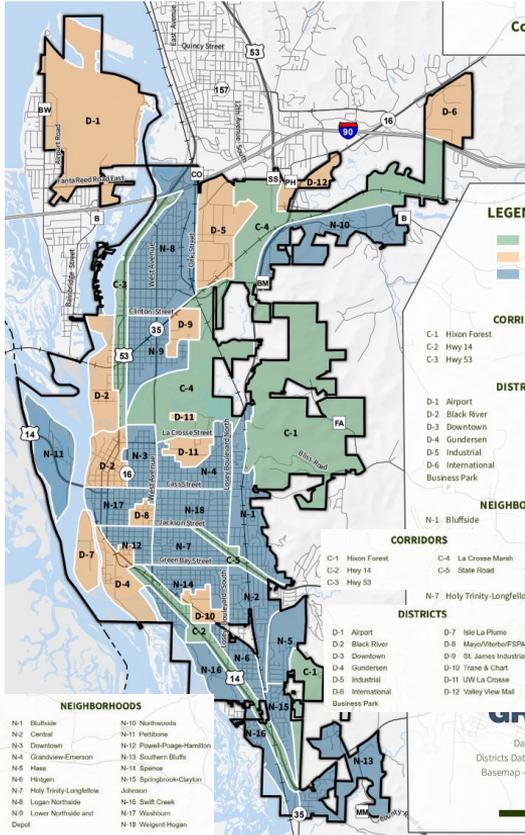
City Plan Commission Meeting

June 30, 2025

Agenda

- a. Introduction & April recap
- b. Scope, Schedule & Progress
- c. Update Process
- d. Study Guide
- e. General Ideas: Residential, Commercial & Industrial
- f. Next steps

Comprehensive Plan - NDC Framework



Neighborhoods:

La Crosse neighborhoods have distinct identities, housing characteristics, unique history, and geographic features. They are typically compact, pedestrian-friendly, and mixed-use. Neighborhoods may contain a number of supporting uses and activities that serve residents, such as parks, schools, libraries, small-scale retail, and other services. Neighborhood associations were consulted during the creation of this comprehensive plan to help identify the vision and land uses within La Crosse's neighborhoods.

Districts:

Districts are larger areas where the City, property owners, developers, and investors should concentrate business, commercial, and industrial activity and expansion over the next twenty years. Districts may emphasize a special single use or purpose, but may contain a variety of other uses and activities. For example, a shopping district may have primarily commercial uses with a few small-scale industrial uses mixed in. La Crosse's districts are based on types of dominant uses, include overlapping neighborhoods, and have generally larger geographic extents.

Corridors:

Corridors are linear areas that provide connectivity between the neighborhoods and districts. Corridors can accommodate a variety of land uses, including natural, recreational, and cultural uses. They can range from boulevards and rail lines to rivers and parkways. La Crosse has several major corridors identified based on transportation and environmental features.

NDC Framework >>> Built Form Study

The Built Form Study:

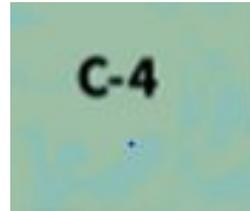
- samples the typical development pattern for each of the neighborhoods, districts and corridors
- better understand the physical dimensions of building type, site plan, street frontage and block pattern as well as other conditions.



18 Neighborhoods



12 Districts



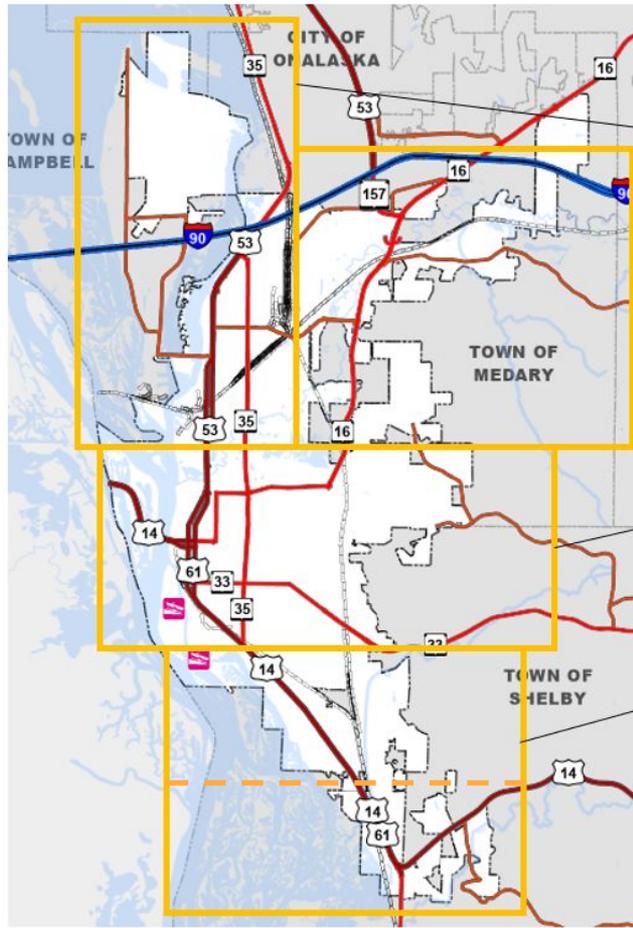
5 Corridors

General Character Areas

Map Key

Character Areas

- TN – Traditional Neighborhood
- TNV – Traditional Neighborhood Varied
- TSS – Traditional Shopping Street
- CN – Contemporary Neighborhood
- UMX – Urban Mixed Residential
- MN – Modular Neighborhood
- CMX – Corridor Mixed
- CSF – Commercial Small Format
- CLF – Commercial Large Format
- C/E/M – Campus/Ed./Med.
- DT- Downtown
- DC- Downtown Core/Main Street
- ISL – Industrial Small Lot
- ILL – Industrial Large Lot



North Area

East Area

Central Area

South Area: 1 & 2

General Character Areas



Traditional neighborhood



Traditional neighborhood varied



Contemporary neighborhood



Urban mixed residential



Modular neighborhood



Traditional shopping street



Corridor mixed



Corridor commercial: large & small format



District (medical/ed)



Downtown



Downtown Core (Main Street)



Industrial large lot

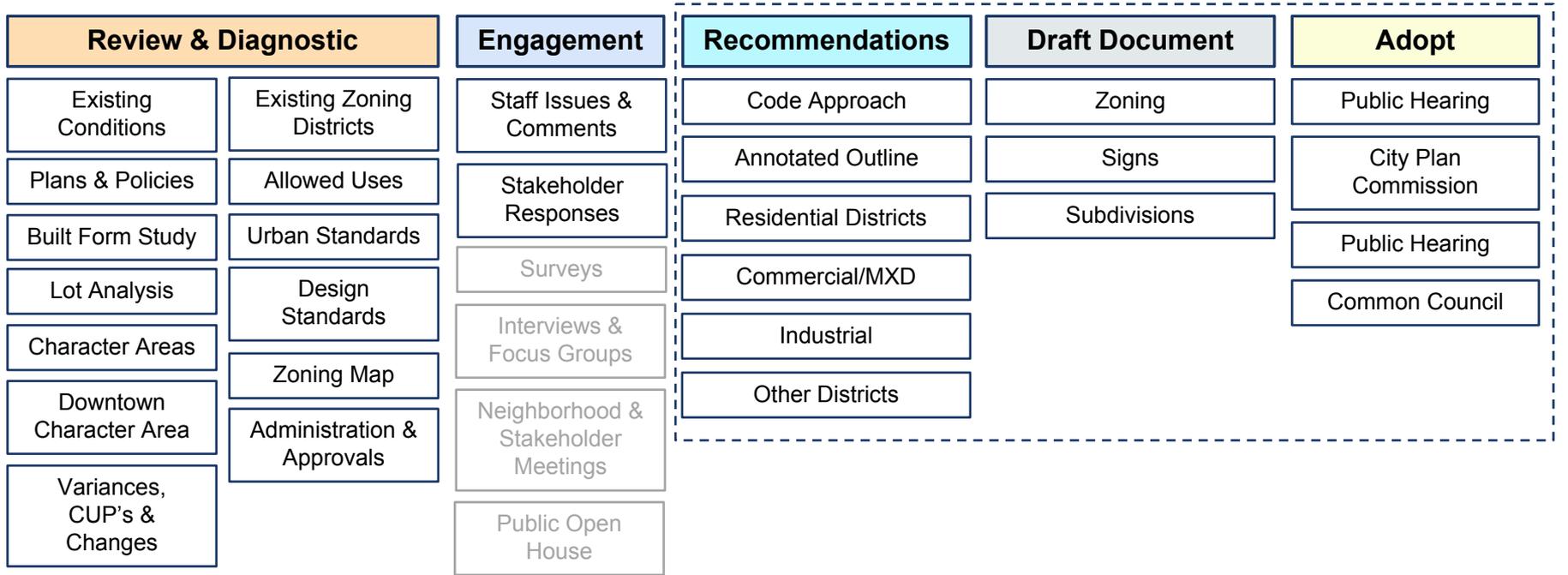


Industrial small lot

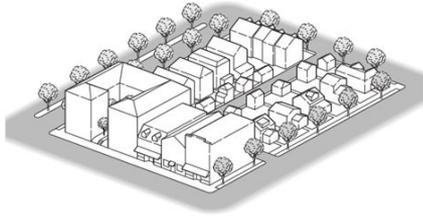
Scope, Schedule & Progress

	1	2	2025	4	5	6	7	8	9	10	11	12	13	14	2026	16	17	18	19	20	21
	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul
Project Kickoff		📍 Dec 18																			
P1 Review Plans/Conditions																					
Review Plans & Policies																					
Technical Memo 1					■																
Document Conditions																					
Technical Memo 2						■															
P2 Analyze & Recommend																					
Diagnose																					
GIS Analysis																					
Technical Memo 3							■														
Recommendations									◆	◆	◆	◆	◆	◆							
Technical Memo 4										■											
Annotated Outline									◆	◆	◆	◆	◆	◆							
P3 Codify & Adopt																					
Districts & Standards																					
Subdivision Regs.																					
Review Draft																					
Final Draft																					
Adoption Process																					
P4 Outreach & Participation																					
Public Meetings							◆				◆					◆					
Stakeholder Meetings							●●●				●●●					●●●					
Media Company Coord.																					
P5 Meetings & Management																					
Staff Coordination																					
Dept Working Group							■				■					■					
Steering Committee (PC)				■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■	■
Common Council							●				●					●					
Public Hearing																					

Process



Study Guide



Zoning & Subdivision Update City Plan Commission

Study Guide | June 30, 2025



Study Guide



Introduction

Use this study guide to help organize the information, analysis and steps to better understand the content of the zoning code and subdivision regulations including existing conditions, code diagnostics, applicable plans and polides, built form and character analysis. Below is the general process for how the code and subdivision regulations will be updated based on direction and input from community stakeholders, staff comments and guidance from the City Plan Commission.

Topics to Review

- 1) Memo 1 - Conditions & Plans
- 2) Memo 2 - District Summaries & Subdivisions
- 3) Built Form Study
- 4) Character Areas
- 5) Downtown Character Areas
- 6) Lot Size Study
- 7) Memo 3—Administration
- 8) Approval Flowchart Diagrams

Process



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Study Guide



Memo 1: Existing Conditions

- a) 2040 Comprehensive Plan
- b) 2024 Housing Study Summary
- c) Analysis to Impediments to Fair Housing Choice
- d) Imagine 2040 Downtown Plan
- e) History of Variances
- f) History of Conditional Use Permits
- g) Other adopted plans & polides

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- Population is projected to moderately increase from 50,869 (2021) to 53,480 (2050)
- As of Jan 1, 2024 the population was 52,115 (WI Department of Admin. Estimate)

Residential land use makes up about 19% of the total land area in the City. Residential definitions from the Comp Plan (p. 32):

1/?

- What are the key policies from the Comp Plan driving the zoning and subdivision updates?
- Review the Housing Study recommendations relative to zoning code content.

• **Low-Density Residential**—mostly one-two story single-family structures but may also include two- and three-unit dwellings; other housing types such as townhomes and rowhomes may be compatible, especially if developed to fit a single-family mold

• **Medium-Density Residential** - may include a variety of housing types including townhomes, rowhomes, small multi-family buildings, and large multi-family buildings of two-four stories

• **High-Density Residential** - includes multi-family units in structures taller than three stories; interconnected within surrounding neighborhoods and as well as near major streets connections and employment/commercial areas.

Notes

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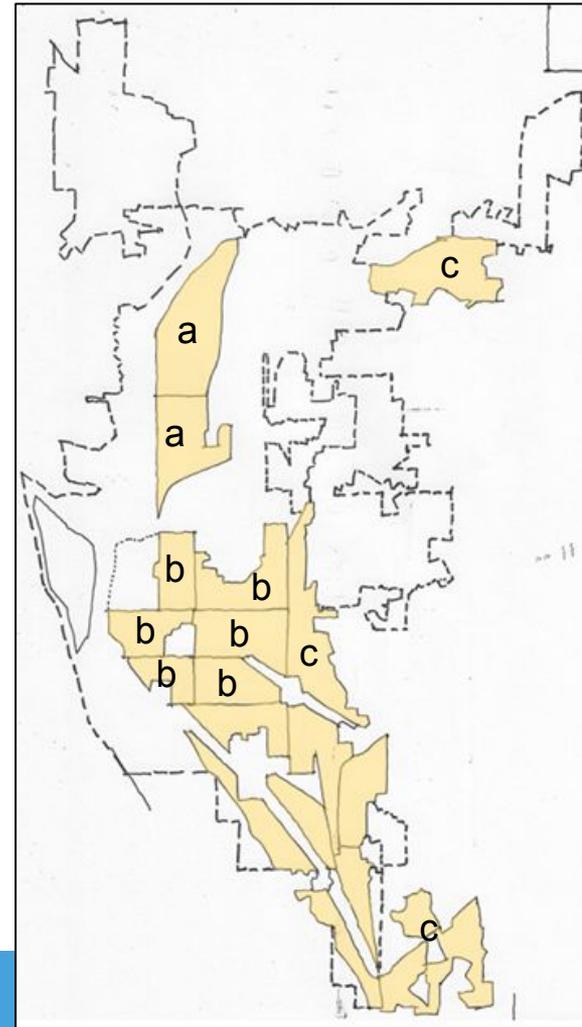
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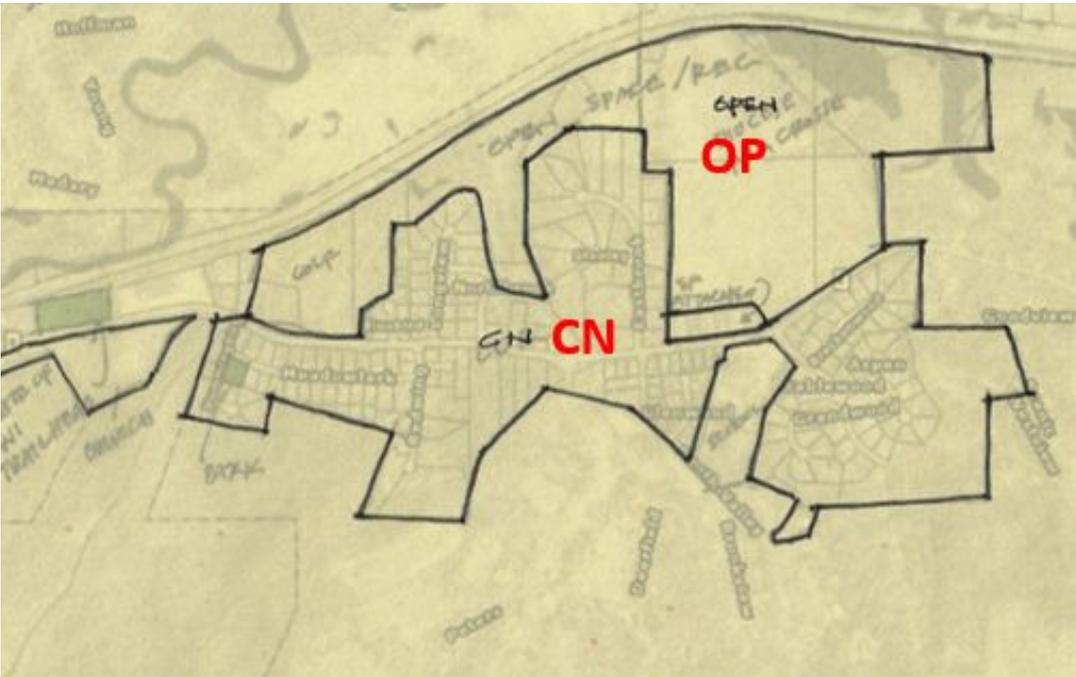
General Ideas for Districts: Residential

- Residential neighborhood boundaries are shown in yellow at right
- (a) The Logan Northside and Lower Northside neighborhoods contain a more consistent low density, detached residential pattern
- (b) Neighborhoods in the central part of the city (e.g., Downtown, Grandview-Emerson, Washburn, Weigent-Hogan, Powell-Poage-Hamilton and Holy Trinity-Longfellow) include more corridors and districts that tend to influence greater housing development changes, density and diversity
- (c) Typical large lot, single family zoning would pretty much remain as is



General Ideas for Districts: Residential

Garden District – single unit, detached, larger lots: 10,000 SF or more



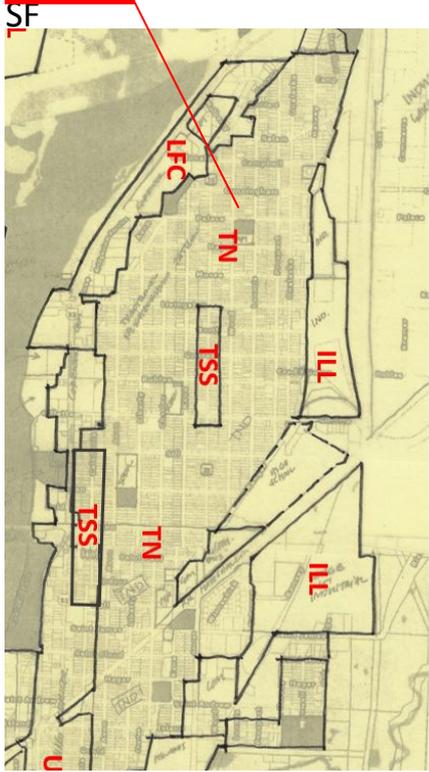
29,620 SF



28,750 SF

General Ideas for Districts: Residential

Neighborhood District North – attached, detached & small cluster types, lot range from 2500-7500

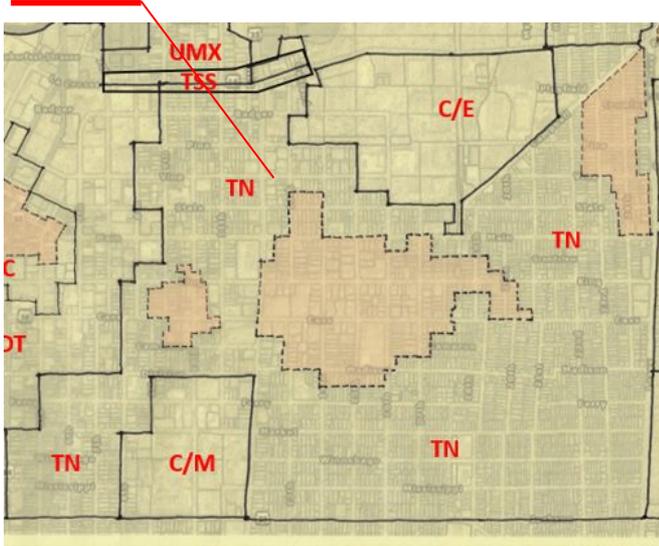


- Building types should respond to the scale and character of the neighborhood
- Can include detached types, 2 unit/lot & duplex types.
- Other building types: small residential court, pocket neighborhood, attached townhouses and accessory dwelling units.
- Lot size range from 2500 sf to 7500 sf

General Ideas for Districts: *Residential*

Neighborhood District Central – attached, detached & smaller multi-family types

Neighborhood Mixed Use – range of residential types & small commercial shops



- Building types should respond to the scale and character of the neighborhood
- Building types include: attached, detached units, and neighborhood scale multi-family & mixed use buildings
- Lot size range from 5000 sf

General Ideas for Districts: *Residential*

Traditional Neighborhood Development District

WI Model Ordinance

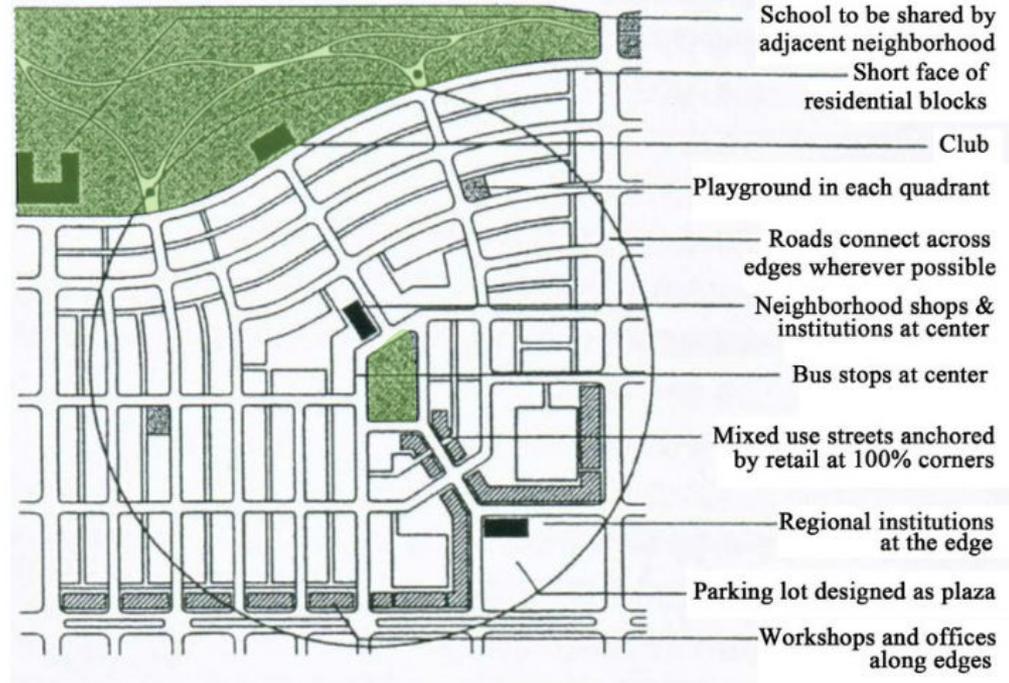
1.3 Applicability. The traditional neighborhood development ordinance is an alternative set of standards for development within the [City/Village] for new development of [15 acres or more] contiguous to existing development, redevelopment or infill development of [10 acres or more].

Source: A Model Ordinance for a Traditional Neighborhood Development, UW Extension, April 2001

La Crosse Zoning

(b) *Applicability.*

(1) Traditional Neighborhood Development is for lot sizes less than two acres.



General Ideas for Districts: *Commercial Corridor & Large Format*

Commercial Corridor – auto-oriented pattern common to local corridors today; mainly commercial/service uses (re: Hwy 14 & Losey Blvd)



Urban Corridor/MXD – range of commercial uses & larger multi-family units in a walkable pattern; use of regulating plan (re: Hwy 53 Plan)



General Ideas for Districts: *Industrial*

General Industrial – addresses most industrial/large lots * & large format buildings in current use



Crafters & Makers District – smaller lot industrial, assembly, & employment that fits into existing neighborhood/corridor character



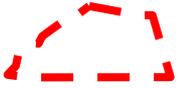
Character Area: *Downtown – Three Distinct Areas*



Three distinct areas assume that the zoning districts may also be more responsive to the character of each with the “main street” area requiring the most rigorous standards and regulations.



Downtown Area

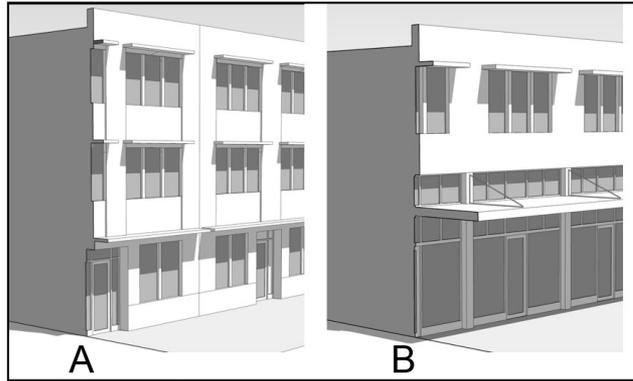


Core



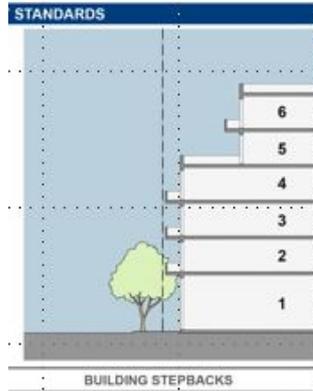
“Main street”

Downtown “Main Street” - Coding for Frontage



“Main Street” district would be regulated by two frontage types:

- common entry (A)
- Shopfront (B)



Dimensional & urban standards would use simple graphics to communicate regulations



Active building frontage

Next Steps: July, August.....

- Engagement – Interviews and Focus Groups
- Compile and summarize survey
- Approach & Recommendations
- Annotated Outline



Questions & Comments



To learn more & get involved, visit:

www.forwardlacrosse.org

To: Tim Acklin, City Planning Department, Mayor Washington-Spivey, Council Members

From: Friends of the La Crosse River Marsh

Re: City Council Planning Meeting September 16, 2025. Potential Zoning District Recommendations

Date: September 12, 2025

The Friends of the Marsh have met with Tim Acklin regarding the city re-zoning process at one of our monthly Enviro-Wednesday meetings and more recently we were pleased to sit down, online, as a board with the re-zoning consultants to discuss our concerns regarding comprehensive re-zoning. We have now reviewed the materials available online in advance of the Council Planning Meeting scheduled for Tuesday September 16, 2025. We have the following comments:

1. Our basic interest can be stated simply. We would like the highest level of zoning protection possible for the La Crosse River Marsh, wetland, floodplain, flood fringe. Conservancy District zoning accomplishes that objective. We are pleased to see that the proposal includes no changes to Conservancy criteria.

2. Breaking our objective down into component parts, though, It does not appear Conservancy District zoning has been expanded to include all of the northern portion of the marsh. If we are misreading the maps, please correct us. Heavy industrial zoning for the northern part of the marsh reflects the historic predisposition to develop the wetland and floodplain, something that law and practice now limit. We ask that the entire marsh be Conservancy District.

3. A twenty-acre section of what is called the River Point District situated at the mouth of the La Crosse River is not included in the proposed Conservancy District, although that property has been transferred to the Parks, Recreation, and Forestry Department. it includes a perched wetland, and the property is planned as minimum maintenance floodplain forest.

4. At our meeting with the consultants we spoke about the need for what I would now call a new Overlay District; a Conservation Overlay District that will extend perpendicular to the high-water mark around the entire marsh. This proposed new district would extend 500 feet from the edge of the marsh, all the way around, include all properties and have the following provisions: all new or re-constructed surfaces within that zone will include permeable pavement; the application of nitrogen, phosphorous and chloride will be limited; rain garden and retention basin structures will be encouraged through the use of property or water tax credits; and canopy trees will be protected and planted. An overlay district like this will extend some of the positive services of the marsh into adjacent areas of the city. It will also enhance environmental sustainability. Finally, it will contribute to the Climate Action Plan. The long-standing trend has been for the marsh to be encircled by concrete, streets, highways, parking lots, buildings.. Each of these things defeat at least some of the environmental benefits of the marsh. It's time to make good on one of our best community features.

In sum, we see this re-zoning process not as work designed to confirm past practice, to stand pat, but to make some improvements not only in the built environment of our community but in our natural environment as well. Working with our landscape, not against it.

Thanks for the work you have done so far. The opportunities for community input have been very welcome. We'll be happy to respond to questions or comments.

Chuck Lee, President of the Board
Friends of the La Crosse River Marsh