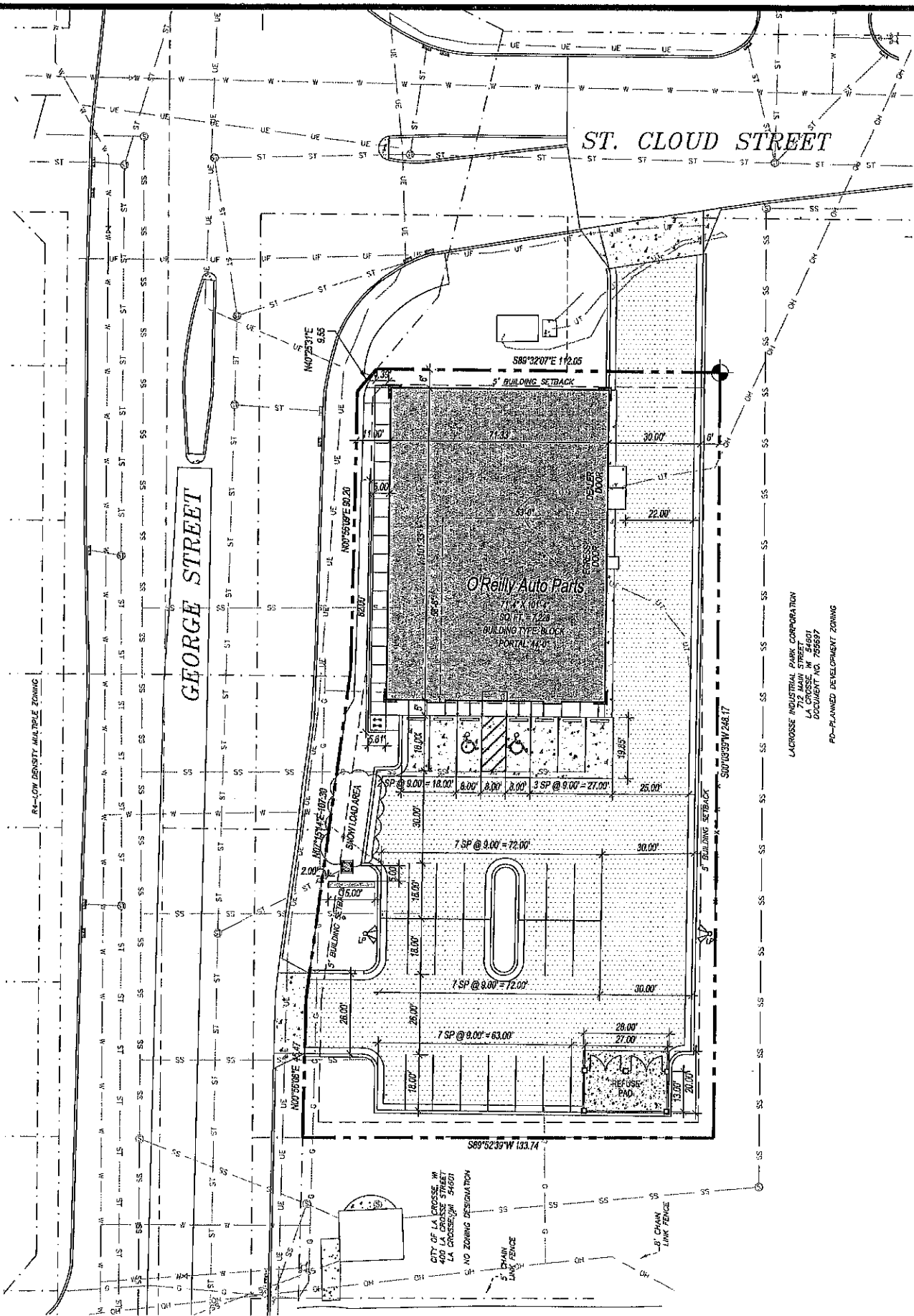


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1 SITE DEVELOPMENT PLAN
C2.1 SCALE: 1" = 20'-0"



ZONING CODE

ZONING CLASSIFICATION: C-2
PROPERTY AREA: 31,002 SF (REFER SURVEY)
PAVEMENT AREA: 17,800 SQ. FT.
PARKING SUMMARY
PARKING FORMULA: 3 SP. PER 1,000 SQ. FT. GFA
SPACE SIZE: 9' x 20'
SPACES REQUIRED: 22
SPACES PROVIDED: 30
H.C. SPACES PROVIDED: 2

SYMBOLS LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- NEW BUILDING CONSTRUCTION
 - AREA OF CONCRETE
 - AREA OF PAVING
 - NEW SIGN LOCATION
 - NEW CONCRETE PAVING BLOCK
 - NEW LIGHT POLE LOCATION
 - NEW FENCE CONSTRUCTION

DEVELOPER SPECIAL NOTE:
WHERE ASPHALT PAVING IS TO BE USED, FRONT HEAD IN PARKING SHALL BE CONCRETE AND 2' WIDE MINIMUM CONCRETE PAVING APRON PROVIDED ADJACENT TO BUILDING PERIMETER. SUBMIT GEOTECHNICAL REPORT WITH PAVEMENT DESIGN RECOMMENDATIONS FOR REVIEW AND APPROVAL.

SPECIAL NOTE:
PRIOR TO CONTRACT CLOSEOUT, CONTRACTOR SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE SITE SURVEY OF COMPLETED PROJECT CONDITIONS AND SUBMIT FOR REVIEW AND APPROVAL BY OWNER. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERE TO.

811
Know what's below
Call before you dig.

GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB OUTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
- FOR BUILDING FRONT SIDEWALK GENERAL DEVELOPMENT LAYOUT CONCEPT, REFER TO DETAIL 12/C2.2.

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10.14.16
DATE ISSUED
A-9014
REG. NO.

O'Reilly AUTO PARTS
712 GEORGE STREET
LA CROSSE, WI 54603

SHEET TITLE:
SITE DEVELOPMENT PLAN

REVISIONS:

NO.	DATE	BY:

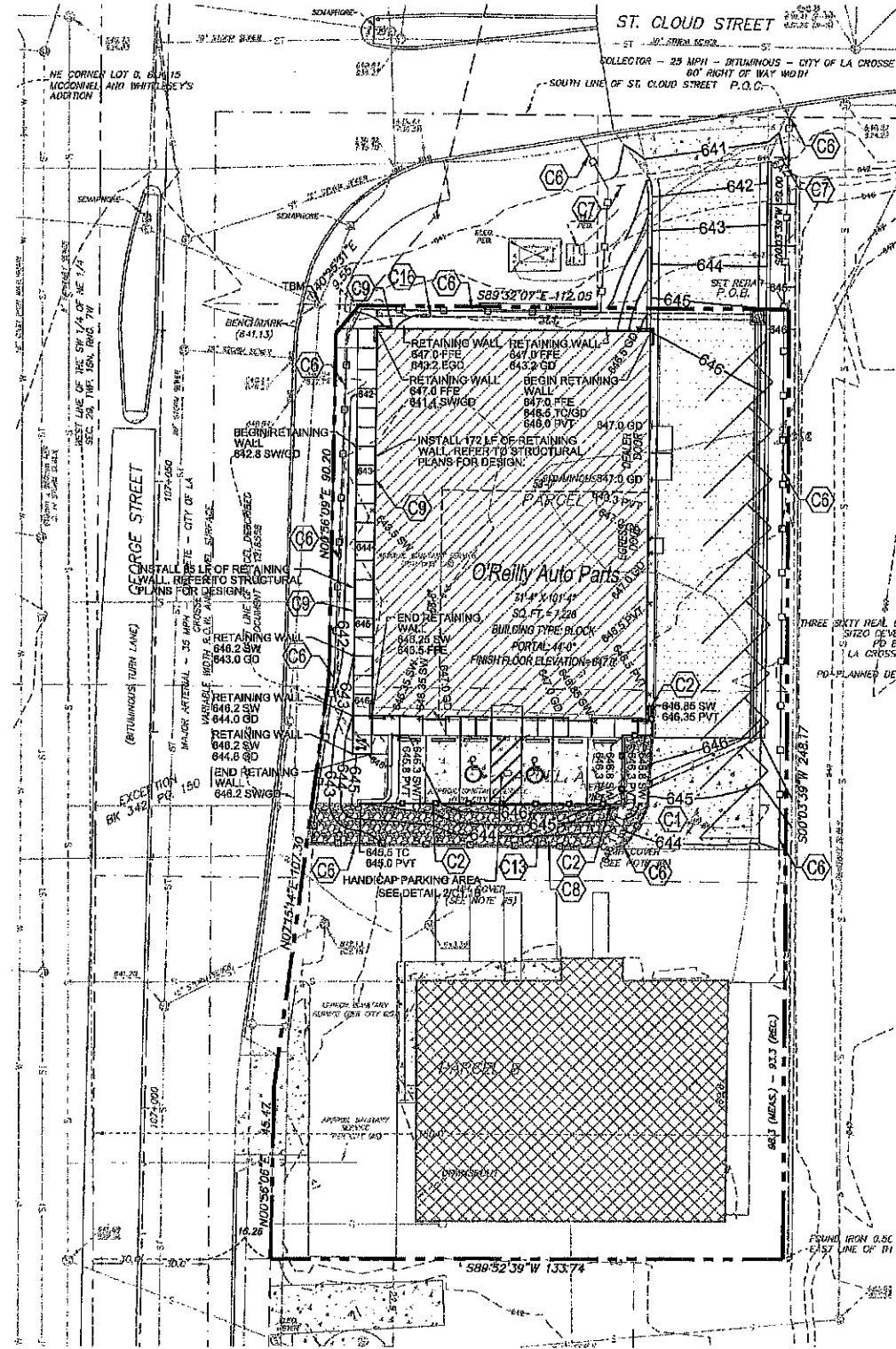
PROJECT NO: 16115.014
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C2.1
SHEET 2 OF 4

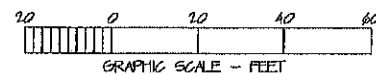
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EROSION CONTROL & MAINTENANCE PLAN NOTES:

1. RETAIN FLOODABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS ONLY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 10%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCRUSTMENT OF SEDIMENT INTO ALL STORM DRAIN APERTURES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROADPARKING AREA SURFACES) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO 301.2 FOR SILT FENCE CONSTRUCTION.
7. ALL GRADES SLOPED WHICH EXCEED 3:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MAT 430 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.



1 PHASE 2 SITE GRADING PLAN
C1.1B SCALE: 1" = 20'



PROJECT PHASE 2 SPECIAL NOTE:

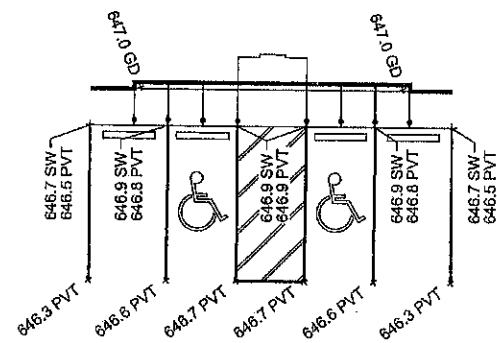
EXISTING STORE, NEW NORTHEAST DRIVEWAY & EXISTING SOUTHWEST DRIVEWAY TO REMAIN IN OPERATION DURING CONSTRUCTION OF NEW BUILDING.

SITE EXCAVATION REQUIREMENTS:

1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
2. FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATION FOR SITE EXCAVATION.

FLOOD ZONE:

ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 5806302A23, THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE AE, WHICH IS DEFINED AS AN AREA DETERMINED TO BE INSIDE THE 100-YEAR ANNUAL CHANCE FLOODPLAIN.



2 HANDICAP PARKING DETAIL
C1.1B SCALE: 1" = 10'

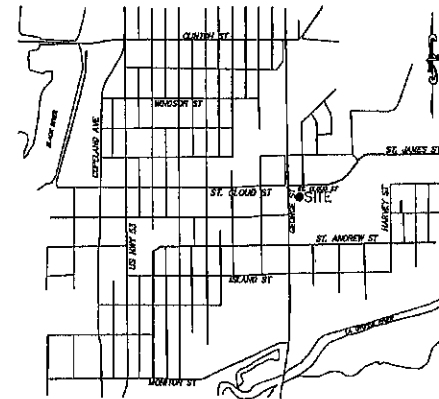
KEY NOTES:

1. INSTALL TEMPORARY ASPHALT PAVEMENT AT INDICATED AREA ON PLANS TO PROVIDE PROPER GRADING FOR TRAFFIC THROUGHOUT CONSTRUCTION OF PHASE 1 & 2.
2. INSTALL CAUTION FENCE ALONG PAVEMENT CUT.
3. NOT USED.
4. NOT USED.
5. NOT USED.
6. NOT USED.
7. LIMITS OF TEMPORARY EROSION CONTROL FENCE. REFER TO DETAIL 301.1.
8. INSTALL "DO NOT ENTER" SIGN.
9. PROVIDE TEMPORARY SLOPE STABILIZATION.
10. INSTALL RETAINING WALL. REFER TO STRUCTURAL PLANS FOR DESIGN.
11. NOT USED.
12. NOT USED.
13. NOT USED.
14. INSTALL APPROX. 30 LF OF 18" PIPE @ MIN 0.5% SLOPE. REFER TO PIPE NOTES.
15. NOT USED.
16. NOT USED.
17. NOT USED.
18. INSTALL 60 LF OF 18" PIPE TO DOWNSPOUT COLLECTOR SYSTEM @ MIN 0.5% SLOPE. REFER TO DETAIL 301.1B AND PIPE NOTES.

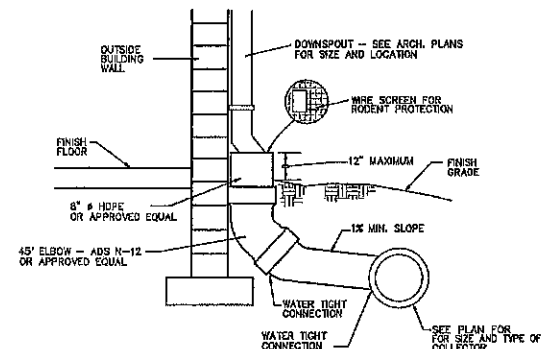
NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLEING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.

SPECIAL NOTE: FIELD VERIFY SANITARY SEWER CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. REFER TO SITE UTILITIES PLAN.

SPECIAL NOTE: CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.



VICINITY MAP
LA CROSSE, WI
"NO SCALE"



3 DOWNSPOUT COLLECTOR
C1.1B SCALE: NOT TO SCALE

SYMBOLS LEGEND

REFER TO SURVEY (SVI) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.			
SYMBOL	DESCRIPTION	NEW SPOT ELEVATIONS	ABBREVIATION
---	EXISTING GRADE LINES	LIST	None
---	PROPOSED NEW GRADE LINES	GRADE	SW
---	NEW BUILDING CONSTRUCTION	SIDEWALK	TY
---	NEW POLE SIGN LOCATION	TOP OF CURB	TO
---	NEW CONCRETE PAVING BLOCK	TOP OF PAVEMENT	PVT
---	TEMPORARY EROSION CONTROL FENCE	NEW GRADE	CO
---	SURFACE FLOW ARROW	CONCRETE	CONC
---		EXISTING TOP OF CURB	ERC
---		EXISTING GRADE	EGD
---		EXISTING PAVEMENT	EPVT
---		EXISTING SIDEWALK	ESW
---		FLOW LINE	FL
---		TOP OF BERM	TOP
---		EMERGENCY OVERFLOW	EOF
---		TEMPORARY REINFORCEMENT	None
---		ELECTRIC/PHONE CABLE NEAR CORNER OF SUBJECT PROPERTY	None
---		ELEVATION: 641.13 (MIN) 641.00 (MAX)	None



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11/11/18
DATE ISSUED: 64877
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SHEET TITLE:
PHASE 2 SITE GRADING
PLAN

REVISIONS:

NO.	DATE	BY
1	12/6/17	PLANNING
2	4/5/18	PLANNING

PROJECT NO: 16115.014
DRAWN BY: BL

C1.1B