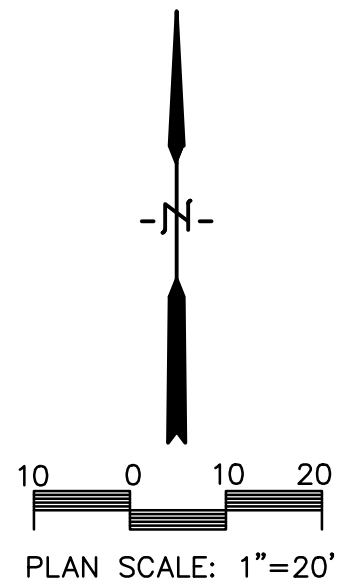
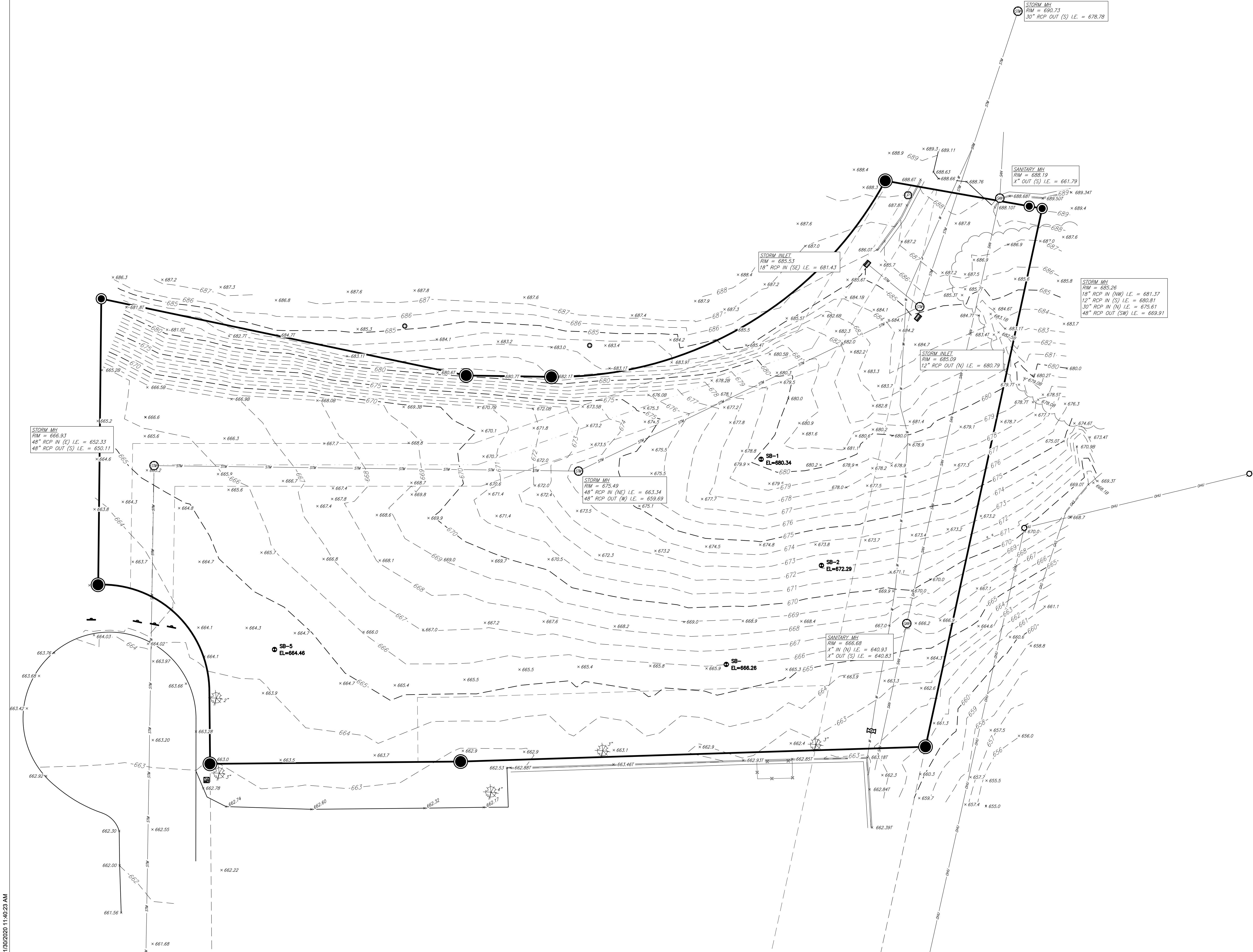


1/30/2020 11:40:23 AM



SITE NOTES

-The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the owner or its representatives. The contractor shall be responsible for determining the exact location of all existing utilities, whether shown on these plans or not, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and preserve any and all utilities. CALL DIGGERS HOTLINE (800) 242-8511

-The underground locations of the Public Utilities were marked by representatives of those companies. The locations of the privately owned underground utilities were not marked.

-There may be more underground utility installations within the project area that are not shown.

-It shall be the contractors responsibility to arrange for any necessary inspections by local government that may be required.

-Any and all parties utilizing vertical datum shall always check into at least two (2) benchmarks to avoid mistakes due to hydrant adjustments or transpositional errors. Failure to do so will be considered tantamount to gross negligence and subject the offending party to any damages resulting therefrom.

SITE NOTES

- 1 SEE DETAIL (A) FOR ASPHALT PAVEMENT
- 2 SEE DETAIL (B) FOR CONCRETE PAVEMENT SECTION
- 3 SEE DETAIL (C) FOR TYPICAL 24" CURB AND GUTTER SECTION
- 4 SEE DETAIL (D) FOR 24" CURB AND GUTTER SECTION - REVERSE SLOPE
- 5 SEE DETAIL (E) FOR INTEGRAL CURB/SIDEWALK SECTION
- 6 SEE DETAIL (F) FOR END SECTION CURB AND GUTTER
- 7 SEE DETAIL (G) FOR CONCRETE PAVING AND JOINTING
- 8 SEE DETAIL (H) FOR STANDARD CONCRETE APRON
- 9 SEE DETAIL (I) FOR SIDEWALK RAMP
- 10 SEE DETAILS (J) AND (K) FOR CURB CUT AND SPLASH PAD SECTION
- 11 SEE DETAIL (L) FOR DISABLED PARKING SIGN
- 12 SEE ARCHITECTURAL FOR REFUSE/RECYCLING

COMMERCIAL DESIGN STANDARDS

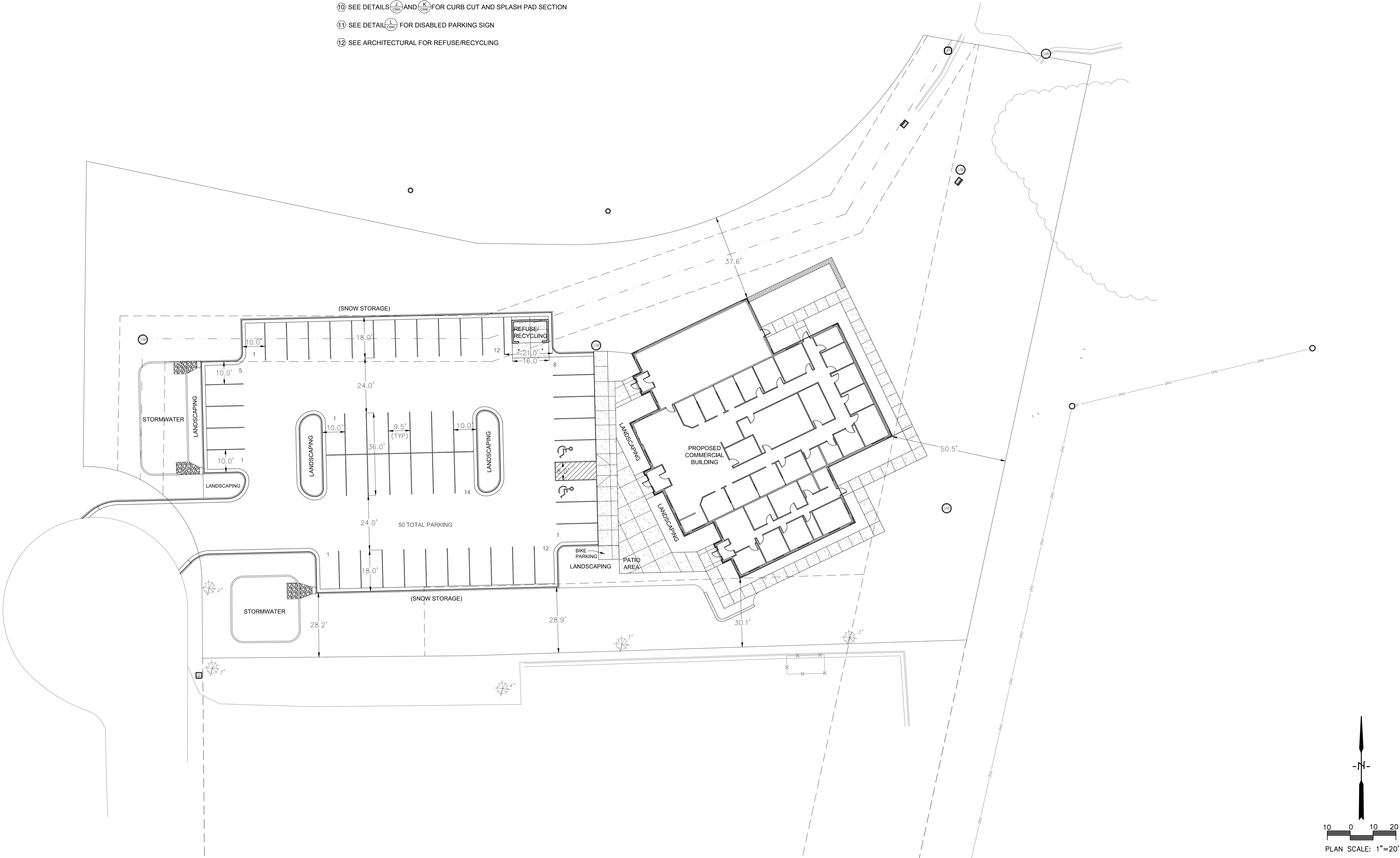
REQUIRED PARKING (CURRENT PROPOSED USAGE) :
4 DOCTORS = 12 STALLS
1534 SF PROFESSIONAL OFFICE = 5 STALLS
TOTAL REQUIRED: 17 STALLS

POTENTIAL REQUIRED PARKING (CHANGE OF USAGE):
8480 SF TOTAL PROFESSIONAL OFFICE = 28 STALLS
-OR-
8480 SF TOTAL RETAIN = 57 STALLS

PROPOSED PARKING:
50 STALLS

REQUIRED PLANTING ISLANDS:
50 PARKING STALLS = 864 SF (43 SF INTERIOR MIN.)

PROPOSED PLANTING ISLANDS:
1,120 SF (673 SF INTERIOR)



- WHERE FLOOR FINISH CHANGES FROM ONE ROOM TO ANOTHER, SET JOINT OF THE FLOOR MATERIALS AT THE CENTER OF THE COMMUNICATING DOOR.
- CERAMIC TILE/QUARRY TILE TO BE INSTALLED SO CUT TILES ARE NOT LESS THAN HALF OF A TILE.
- ALL DIMENSIONS TO FACE OF SHEATHING OR STUD TO STUD.
- INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
- PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
- GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
- SEE A-540 FOR WALL TYPES.

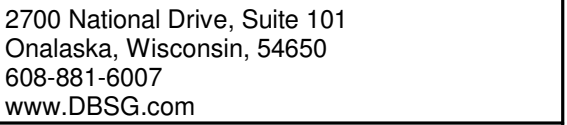
- ALL SIGNS ARE TO BE SUBMITTED TO CITY UNDER SEPERATE REVIEW
- PROVIDE LOCKED KEY BOX. COORDINATE WITH FIRE DEPARTMENT.
- PROVIDE ADDRESS NUMBERS FOR EACH TENANT PER CITY REQUIREMENTS

TENANT 1:	1,534 S.F.
TENANT 2:	5,412 S.F.
TENANT 3:	1,534 S.F.
TOTAL S.F. :	8,480 S.F.

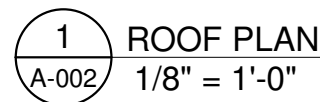


1 FLOOR PLAN
A-001 1/8" = 1'-0"

MY LIFE HEALTH CENTER Darling Court La Crosse, WI 54601		FLOOR PLAN
#	DATE	DESCRIPTION
DRAWN BY: BLK		PROJECT # 19055
A-001		
SHEET #		
PRELIMINARY		



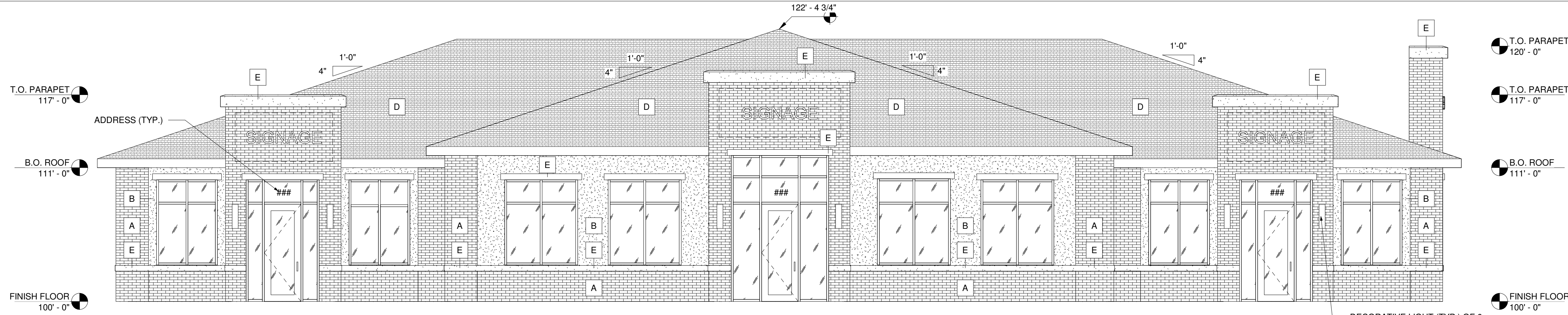
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ROOF PLAN

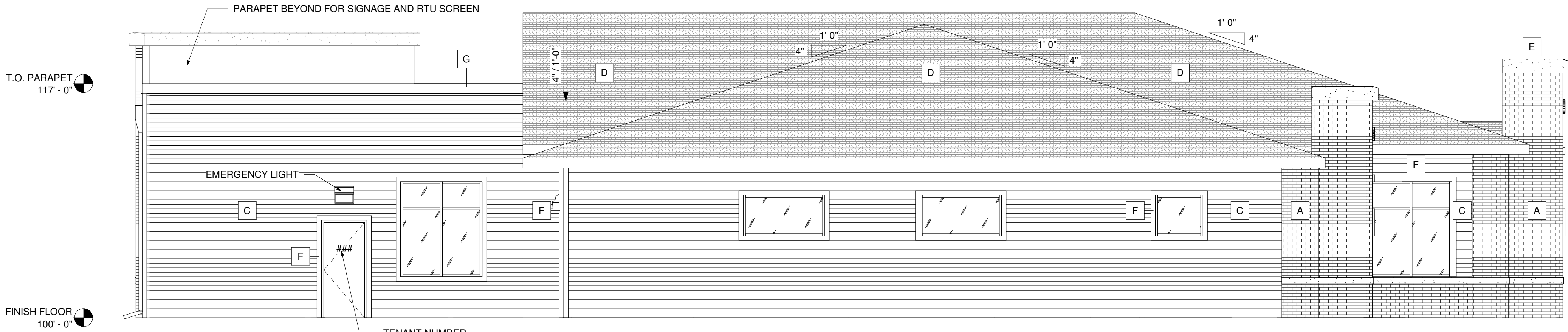
DRAWN BY: BLK	PROJECT # 19055
SHEET #	

PRELIMINARY

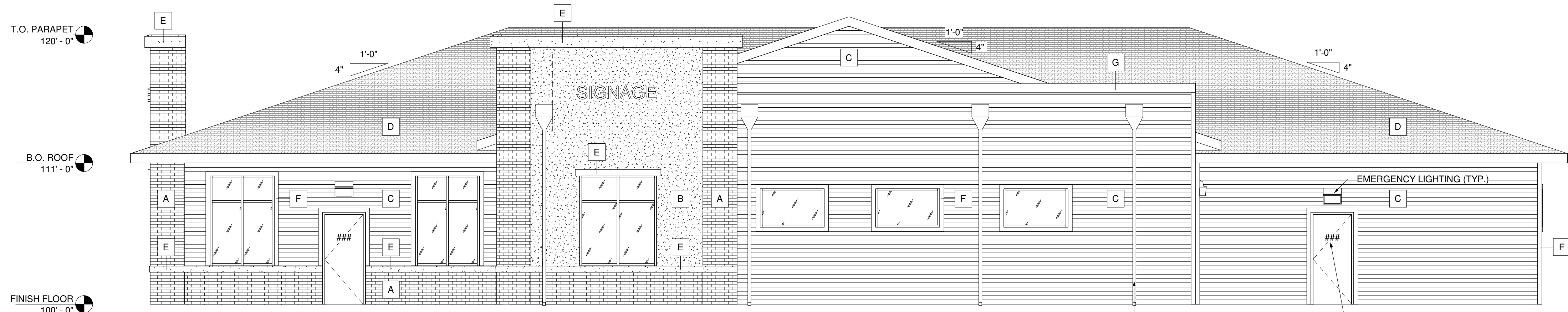


1 ELEVATION - 1
A-003 3/16" = 1'-0"

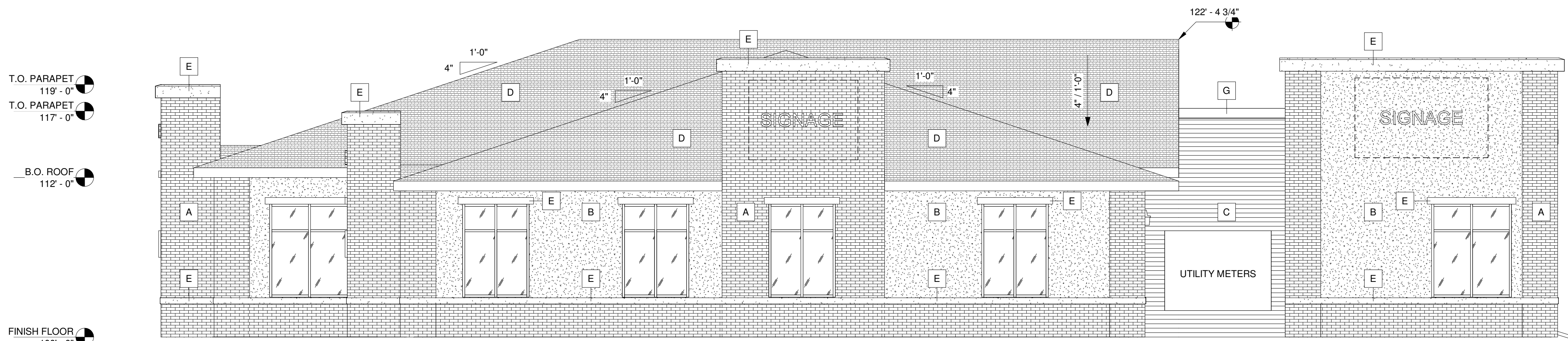
37% GLAZING PRIMARY STOREFRONT



2 ELEVATION - 2
A-003 3/16" = 1'-0"



3 ELEVATION - 3
A-003 3/16" = 1'-0"



4 ELEVATION - 4
A-003 3/16" = 1'-0"

GENERAL NOTES - ELEVATIONS

- A - FINISH KEY, SEE SHEET A-200
- A - KEY NOTES
- XX - WINDOW TYPES
- C.J. - CONTROL JOINT - SEE A-200 FOR LOCATIONS

LEGEND - EXTERIOR FINISHES

CODE	MATERIAL	MANUFACTURER AND COLOR
A	BRICK	TBD
B	EIFS	TBD
C	SIDING	TBD
D	ARCHITECTURAL SHINGLES	TBD
E	PRE-CAST	TBD
F	TRIM	TBD
G	METAL CAP FLASHING	TBD

NOTES:

- ALL SIGNS ARE TO BE SUBMITTED TO CITY UNDER SEPERATE REVIEW
- PROVIDE LOCKED KEY BOX. COORDINATE WITH FIRE DEPARTMENT.
- PROVIDE ADDRESS NUMBERS FOR EACH TENANT PER CITY REQUIREMENTS



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MY LIFE HEALTH CENTER
Darling Court
La Crosse, WI 54601

ELEVATIONS

#	DATE	DESCRIPTION

DRAWN BY: BLK PROJECT # 19055
SHEET #

A-003

PRELIMINARY

PROJECT ISSUE DATE:02/06/2020