

SYMBOLS

KEYNOTE REFERENCE

KEYNOTE NUMBER

HEIGHT REFERENCE

REFERENCE POINT

CEILING

ELEVATION

10'-0" A.F.F.

DETAIL REFERENCE

DRAWING NUMBER

SHEET NUMBER

12

13

REVISION INDICATOR

REVISION NUMBER

2

SECTION REFERENCE

DRAWING NUMBER

SHEET NUMBER

3

1

WALL TYPE REFERENCE

WALL TYPE

ELEVATION REFERENCE

DRAWING NUMBER

SHEET NUMBER

2

4

LINE TYPES

CENTER LINE

HIDDEN LINE

LEAVE LINE

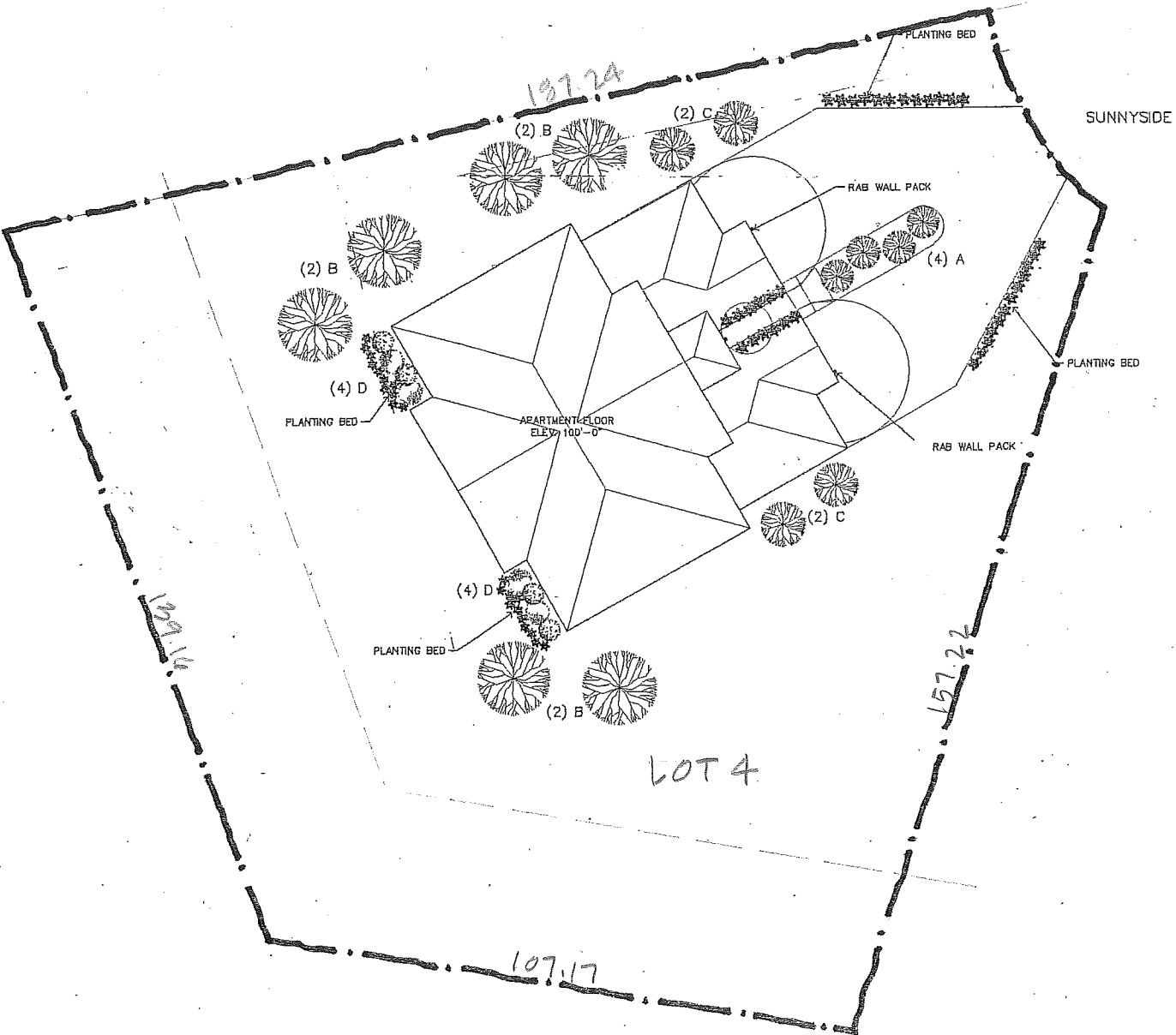
STRUCTURE C.L.

ABBREVIATIONS	
A.F.F.	ABOVE FINISHED FLOOR
ACOUST.	ACOUSTICAL
ADJ.	ADJUSTABLE
AL.	ALUMINUM
BTM.	BOTTOM
C.L.	CENTER LINE
CER.	CERAMIC
CONSTR.	CONSTRUCTION
CTR.	CENTER
CL.	CLEAR
COL.	COLUMN
CONT.	CONTINUOUS
DWG.	DRAWING
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXIST.	EXISTING
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
FTG.	FOOTING
G.C.	GENERAL CONTRACTOR
GA.	GAUGE
GEN.	GENERAL
GYP. BD.	GYPSON BOARD
HC	HOLLOW CORE
H.M.	HOLLOW METAL
LAM.	LAMINATE
MAX.	MAXIMUM
MATL.	MATERIAL
NIL.	METAL
O.C.	MINIMUM
SC	ON CENTER
STD.	SOLID CORE
V.I.F.	STANDARD
	VERIFY IN FIELD

CODE INFORMATION	
BUILDING TYPE:	R2 - APARTMENT
CONSTRUCTION TYPE:	VB - FULLY SPRINKLERED, PER NFPA 13R
BUILDING AREA AND HEIGHT:	- ALLOWABLE - 2 STORIES, 7,000 SF/ FLOOR - ACTUAL - 2 STORIES, 4,612 SF/ FLOOR
TRAVEL DISTANCE TO EXIT:	- 250' WITH SPRINKLER
NUMBER OF EXITS:	- MINIMUM 2 REQUIRED - 2 EXITS PROVIDED
EXIT WIDTH:	- 0.2' PER OCCUPANT - 72" ACTUAL
FIRE-RESISTANCE RATINGS:	- NBC TABLE 601 - TYPE VB CONSTRUCTION - 0-HR.
FIRE SEPARATION DISTANCE:	- NBC TABLE 602 - TYPE VB CONSTRUCTION - 0' ≤ X < 10' - 1-HR. - 10' ≤ X < 30' - 0-HR.
MAXIMUM AREA OF EXTERIOR WALL OPENINGS:	- NBC TABLE 705.8 - ALLOWABLE - 25' TO LESS 30' - 75%

WATERVIEW 4-PLEX

4-PLEX APARTMENT COMPLEX
30805 SUNNYSIDE DRIVE
LA CROSSE, WISCONSIN 54601



1 SITE / LANDSCAPE PLAN
1" = 16'-0"

- GENERAL NOTES
- * OCCUPANCY - R2 APARTMENT
 - * CONSTRUCTION - TYPE VB
 - * SOIL BEARING - 3000 PSF (ASSUMED)
 - * CONCRETE - 3000 PSI TO COMPLY W/ ASTM C94
 - * STEEL - TO COMPLY W/ ASTM A36
 - * LUMBER - 2 X 4 STANDARD & BETTER
2 X 6 #2 SPF
2 X 8 & LARGER - #2 D.F.
 - * STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH 2015 INTERNATIONAL BUILDING CODE, SECTION 2308 - CONVENTIONAL LIGHT-FRAME CONSTRUCTION.
 - * ALL WALLS SHOWN HATCHED TO HAVE 5/8" TYPE "X" FIRE-RATED GYPSUM BOARD BOTH SIDES AND PROVIDE 1-HR. FIRE-RESISTIVE RATING. PROVIDE 1-HR. RATED DOOR ASSEMBLIES (1-HR. FRAMES AND 20 MINUTE DOORS) IN RATED WALLS. BALANCE OF ALL OTHER INTERIOR WALLS TO HAVE 1/2" GYPSUM BOARD.
 - * FIRST FLOOR CEILING TO HAVE 5/8" TYPE "C" GWB ON CHANNELS, 16" O.C. SECOND FLOOR CEILING TO HAVE 5/8" GWB APPLIED DIRECT TO TRUSSES
 - * BATH EXHAUST - SYSTEM TO BE 50 CFM.
 - * ATTIC VENTILATION - NET FREE AREA NOT LESS THAN 1/300 OF VENTILATION AREA.
 - * ROOF TRUSSES - DESIGN FOR 40# L.L. BY REGISTERED MINNESOTA ENGINEER AND ANCHORED TO WALL ACCORDINGLY.
 - * EACH BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW COMPLYING W/ IRC SECT. 1029.2, STYLE TO BE SLIDE-BY, MIN. CLEAR OPENING WIDTH OF 20" AND HEIGHT OF 24".
 - * WALL AND FLOOR CONSTRUCTION TO MEET SOUND TRANSMISSION CLASS OR NOT LESS THAN 50 FOR AIR BORNE NOISE PER IRC 1207.2
 - * INTERIOR WALL AND CEILING FINISHES TO MEET CLASSIFICATIONS AS SPECIFIED IN IRC TABLE 803.9, CLASS C RATING FOR SPRINKLERED STRUCTURE.
 - * FIRE EXTINGUISHERS SHALL BE PROVIDED PER IRC SECT. 906 AND MAINTAINED PER NFPA 13R. LOCATION PER LOCAL FIRE MARSHAL.
 - * MANUAL FIRE ALARM SYSTEM REQUIRED THROUGHOUT STRUCTURE.
 - * PROVIDE INTERCONNECTED SMOKE ALARMS IN EACH BEDROOM, OUTSIDE EACH SLEEPING AREA AND ON EACH STORY WITHIN THE DWELLING UNIT.
 - * INTERIOR DOORS TO BE PRE-HUNG 3-PANEL DOORS.
 - * ALL INTERIOR FINISHES BY OWNER.
 - * ALL DOOR HARDWARE TO MEET ICC/ANSI A117.1 Sec. 404.2.6 FOR OPERABILITY.
 - * CONTRACTOR TO PROVIDE ADEQUATE BLOCKING FOR ALL WALL HUNG VANITIES, REQUIRED GRAB BARS AND TOWEL BARS PER OWNER'S REQUIREMENTS.
 - * FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF EACH RUN.

- SITE / LANDSCAPE NOTES
- * LANDSCAPED AREA - 5,760 S.F.
> SHADE TREES - 1 REQ'D.
> 5,760/600 = 10 TREES
100 SHRUBS
 - * FINAL PLANT MATERIAL TO BE SUBMITTED BASED ON AVAILABILITY AT TIME OF PLANTING
 - * ALL UNPAVED AREAS TO BE SODDED W/ AUTOMATIC SPRINKLER SYSTEM
 - * RECREATION AREA:
300 S.F. REQ'D. < 384 S.F. ACTUAL (DECKS)
 - * BIKE PARKING & TRASH IN GARAGES
 - * SITE LIGHTING - (3) RAB 200 WALL PACKS
 - * PARKING REQUIREMENTS:
> 2 PER UNIT - 1 GARAGE, 1 DRIVEWAY
 - * EROSION CONTROL FENCING & TRACKING PAD TO MEET CITY SPECIFICATIONS
 - * DOWNSPOUTS TO DRAIN ONLY ON PROPERTY

CONSTRUCTION NOTES

ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

THE CONTRACTOR SHALL MAINTAIN FOR ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

"TYP." SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP." ONLY ONCE WHEN THEY FIRST OCCUR.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN AND ORDERLY CONDITION UPON THE COMPLETION OF HIS WORK ON A DAILY BASIS. ALL WASTE, RUBBISH AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROMPTLY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL TRASH FOR THE DURATION OF THE PROJECT.

CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A/10BC WITHIN 75' TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING DURING CONSTRUCTION.

LANDSCAPE SCHEDULE			
MARK	NO.	PLANT SPECIES	SIZE
A	4	TECHNY ARBORVITAE	5'-0"
B	6	MAPLE, AUTUMN BLAZE	3"
C	4	ORNAMENTAL TREE	2"
D	8	GLOBE ARBORVITAE	5'-0"
E	100	ORNAMENTAL GRASS (6 PLANTING BEDS)	5 GAL.

- DRAWING INDEX
- T1 TITLE SHEET, GENERAL NOTES, SYMBOLS, ABBREVIATIONS, SITE/LANDSCAPE PLAN, DRAWING INDEX
 - A1 FIRST FLOOR PLAN
ENLARGED KITCHEN PLAN, CASEWORK ELEVATIONS
 - A2 SECOND FLOOR PLAN
ENLARGED KITCHEN PLAN, CASEWORK ELEVATIONS
 - A3 EXTERIOR ELEVATIONS
ENLARGED TOILET PLAN
STANDARD MOUNTING HEIGHTS
 - A4 BUILDING SECTIONS
 - S1 FOUNDATION PLAN
SECOND FLOOR FRAMING PLAN
ROOF FRAMING PLAN
 - MECHANICAL - DESIGN BUILD
SUBMITTED/PERMITTED UNDER SEPARATE COVER
 - ELECTRICAL - DESIGN BUILD
SUBMITTED/PERMITTED UNDER SEPARATE COVER
 - PLUMBING - DESIGN BUILD
SUBMITTED/PERMITTED UNDER SEPARATE COVER

ARCHITECTURAL DESIGN

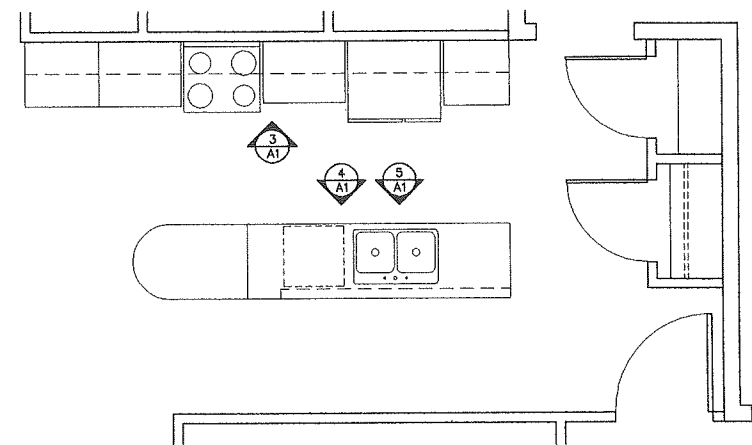
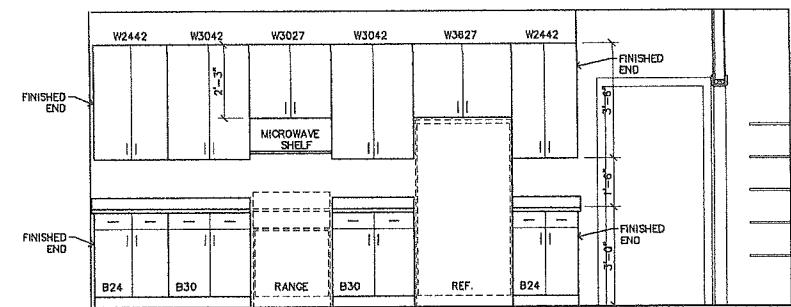
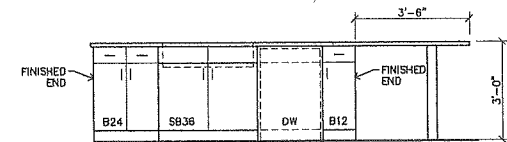
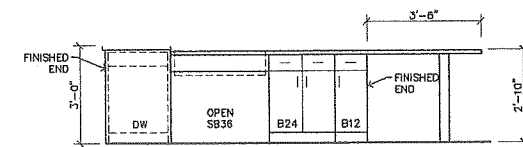
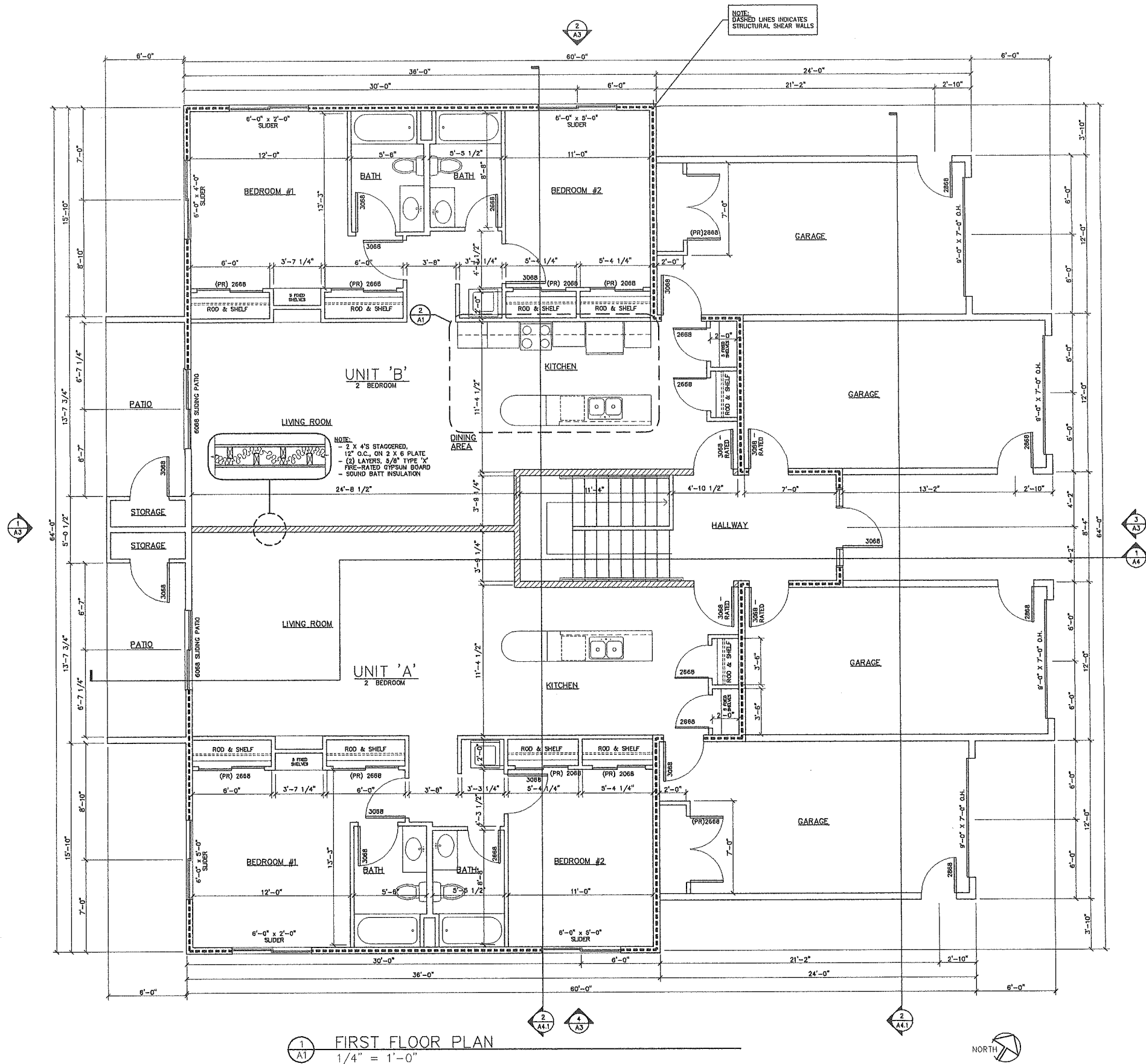
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La Crosse, WI 54601
Ph.: 608-785-1750
Fax: 608-785-1751

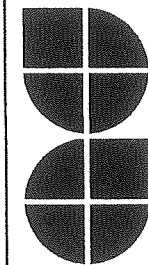
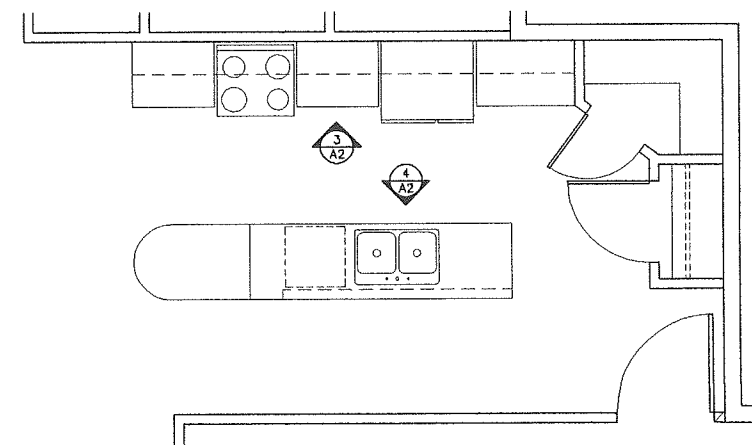
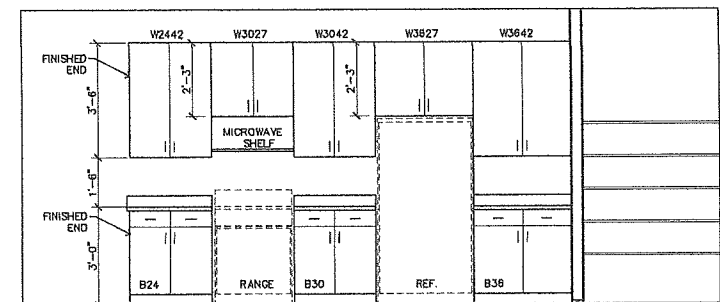
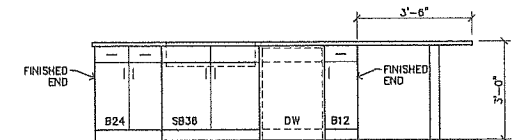
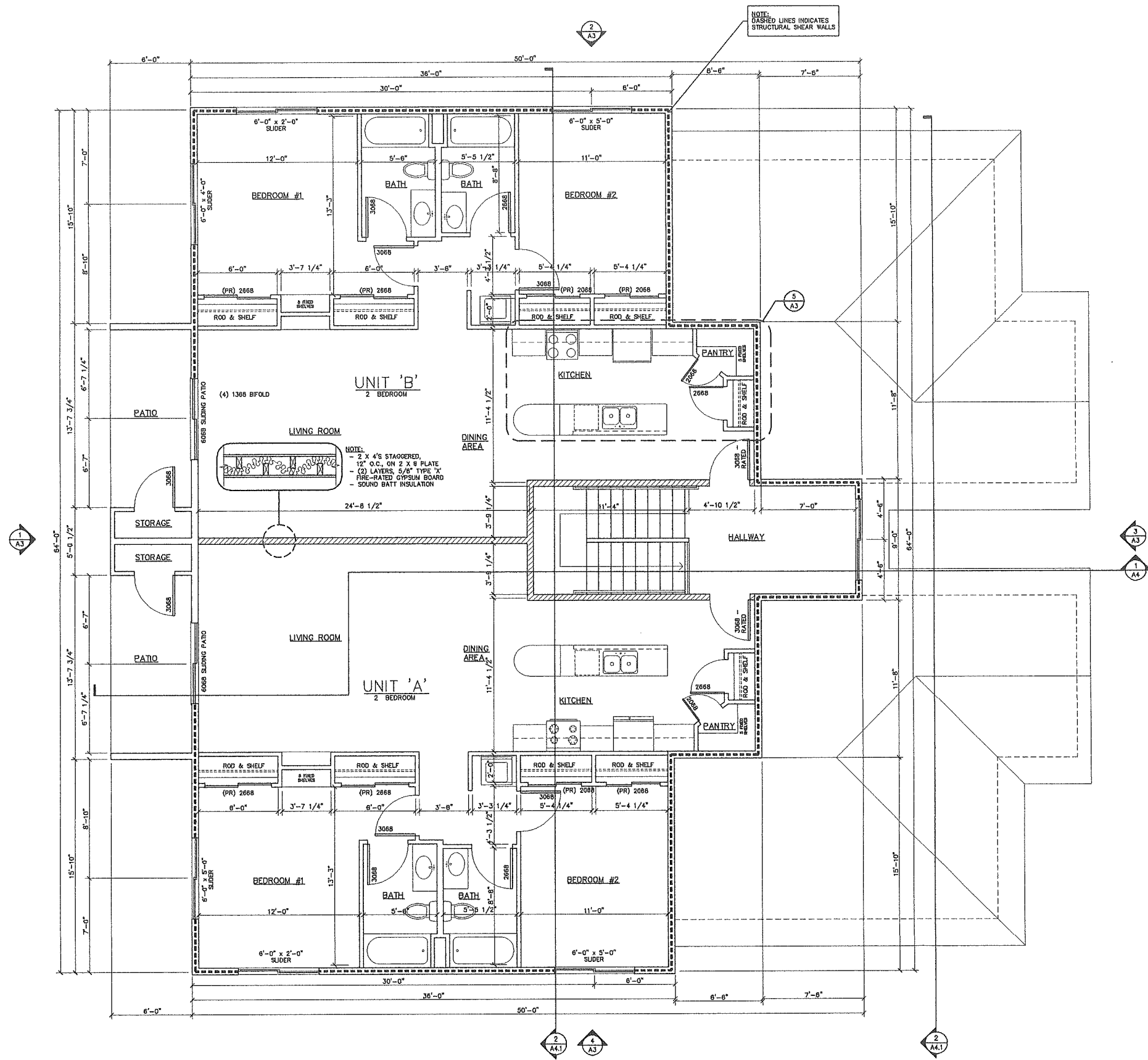
SITE PLAN & SITE NOTES
LANDSCAPE SCHEDULE & NOTES
STORM WATER RETENTION SECTION
EROSION FENCING DETAIL

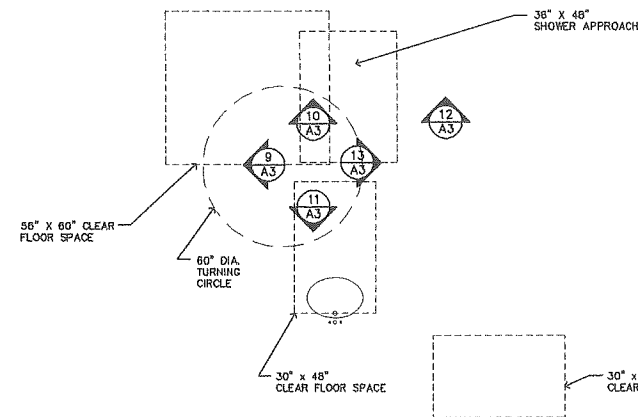
WATERVIEW
4-PLEX

30805 SUNNYSIDE
DRIVE

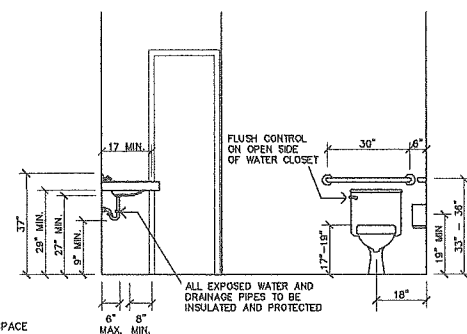
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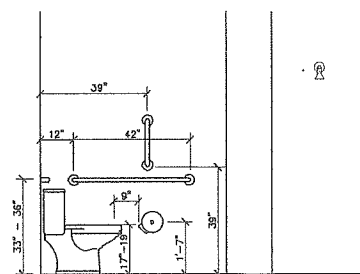




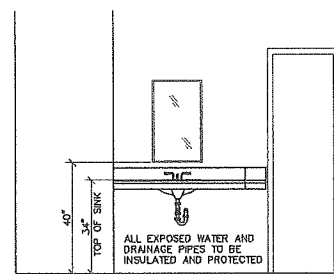
8 ENLARGED TOILET PLAN
3/8" = 1'-0"



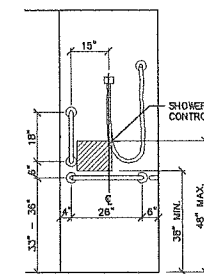
9 ELEVATION
3/8" = 1'-0"



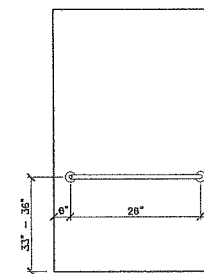
10 ELEVATION
3/8" = 1'-0"



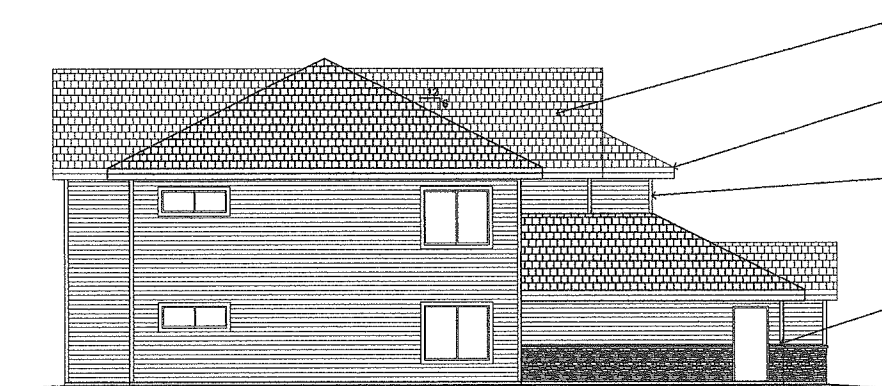
11 ELEVATION
3/8" = 1'-0"



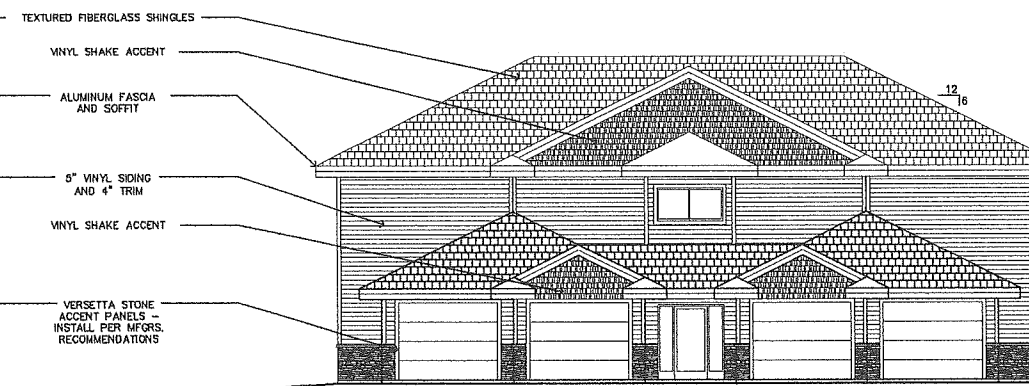
12 ELEVATION
3/8" = 1'-0"



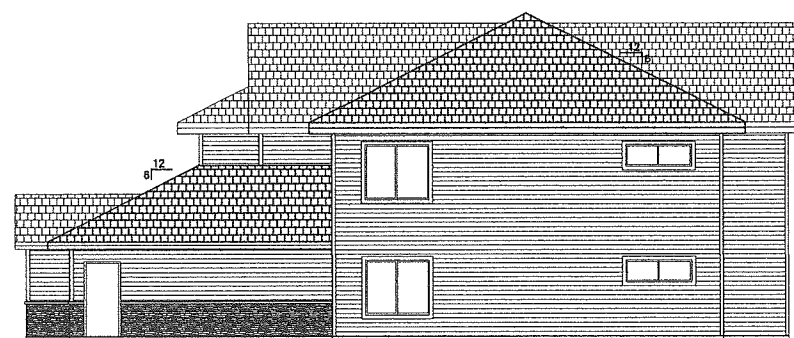
13 ELEVATION
3/8" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



12 WEST EXTERIOR ELEVATION
1/8" = 1'-0"



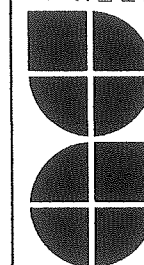
1 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"

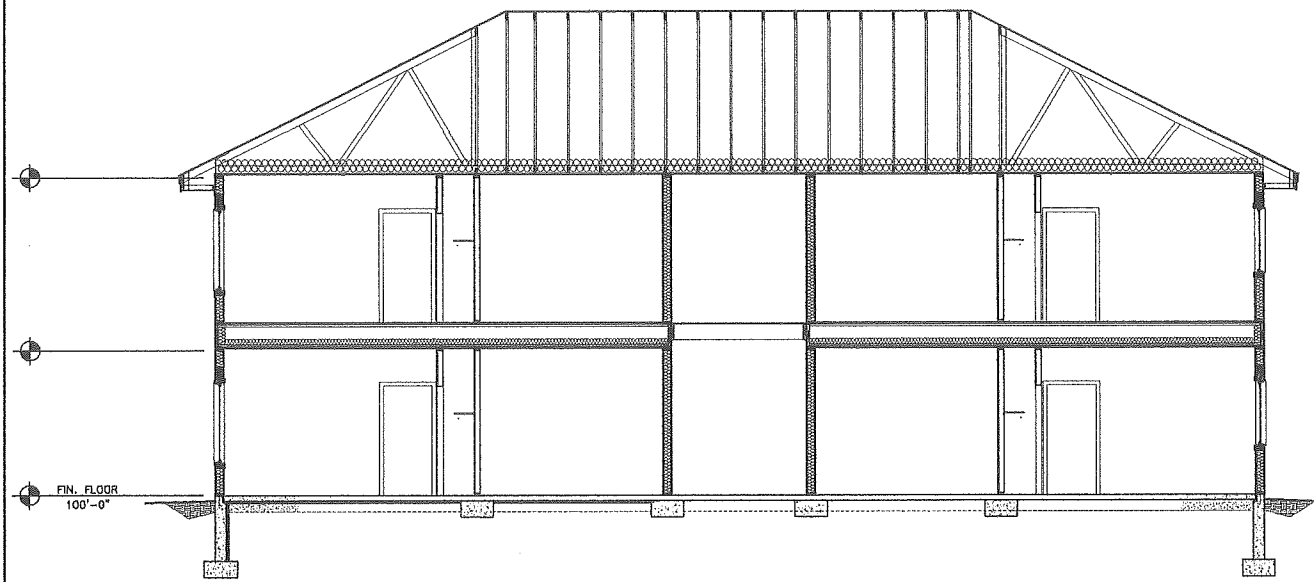
GENERAL ELEVATION NOTES:

- ALL ROOF PITCHES TO BE 8:12 UNLESS NOTED OTHERWISE.
- PROVIDE TREATED WOOD BLOCKING AND/OR VINYL TRIM AS NECESSARY AT EXTERIOR LIGHT FIXTURES AND OTHER NECESSARY MECHANICAL, ELECTRICAL OR PLUMBING PENETRATIONS.
- ALL FASCIAS AND SOFFITS TO BE PREFINISHED ALUMINUM.
- ALL ROOF SHINGLES TO BE 40 YEAR TEXTURED FIBERGLASS.
- STANDING SEAM METAL ROOF OVER ENTRANCES.
- PROVIDE CONTINUOUS SOFFIT AND SHINGLE-OVER RIDGE VENTS THROUGHOUT.

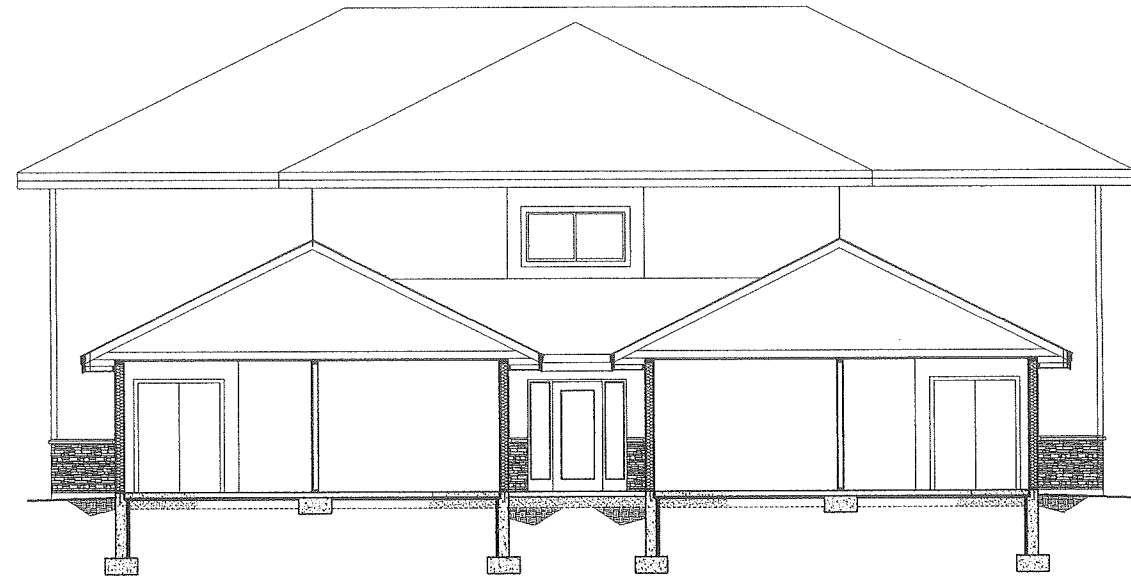


2 EAST EXTERIOR ELEVATION
1/8" = 1'-0"





2 BUILDING SECTION
3/16" = 1'-0"



3 BUILDING SECTION
3/16" = 1'-0"

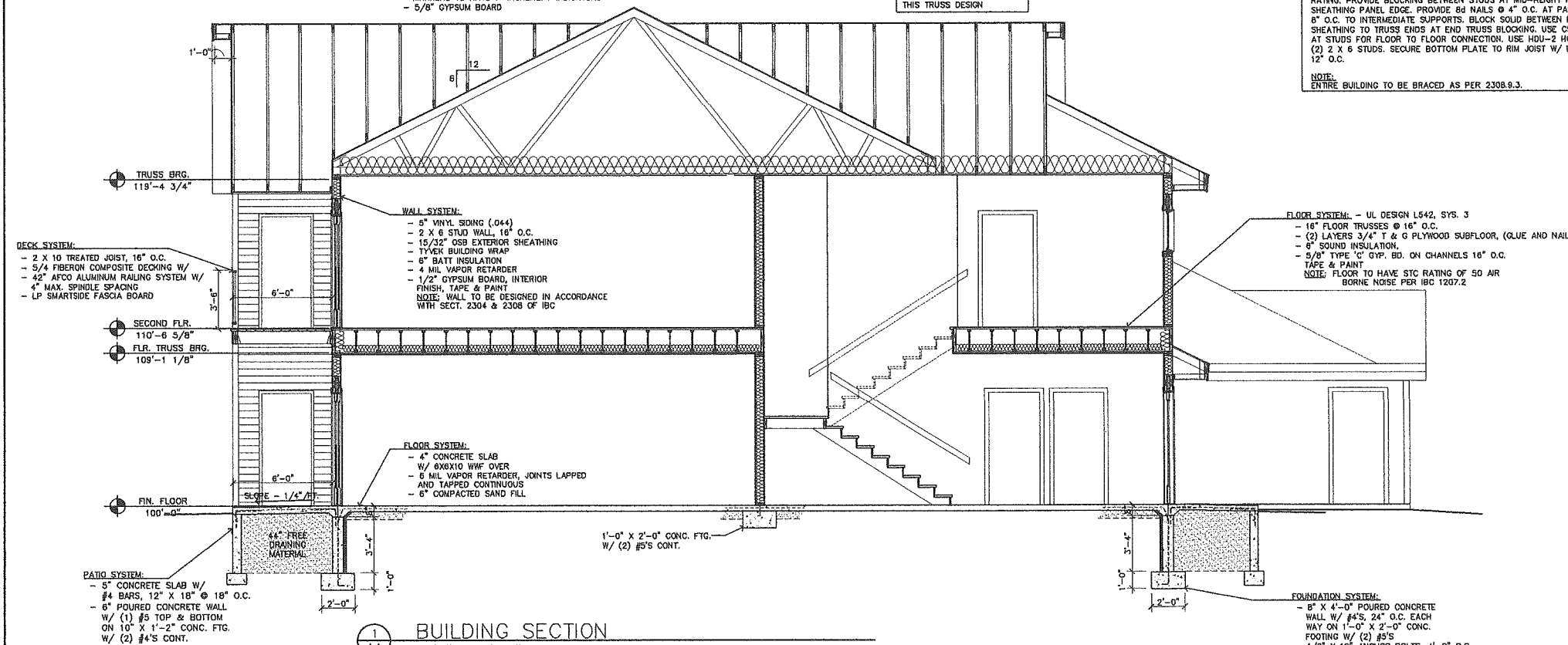
- ROOF SYSTEM:**
- PRE-ENGINEERED TRUSSES 6:12 @ 24" O.C.
 - W/ SIMPSON H1 TRUSS CLIPS AT TOP PLATE, TRUSS TO BE DESIGNED FOR 40# L.L.
 - 15/32" SPAN RATED EXT. OSB SHEATHING W/ CLIPS
 - (2) ROWS ICE AND WATER BARRIER ENTIRE PERIMETER AND ALL VALLEYS
 - 30# ROOF FELT
 - 40 YEAR TEXTURED FIBERGLASS SHINGLES
 - BLOWN INSUL., R80 MIN. W/ PROPER VENT @ END OF TRUSS, INSULATION INSTALLER TO PROVIDE DEPTH MARKERS EVERY 300 S.F., MARKERS TO HAVE 1" INCREMENT INDICATORS
 - 5/8" GYPSUM BOARD

NOTE:
UNBALANCED SNOW LOADS
HAVE BEEN CONSIDERED IN
THIS TRUSS DESIGN

SHEAR WALL DESCRIPTION

PROVIDE 1/2" APA RATED CONTINUOUS SHEATHING WITH A 24/0 SPAN RATING. PROVIDE BLOCKING BETWEEN STUDS AT MID-HEIGHT PLUS AT SHEATHING PANEL EDGE. PROVIDE 8d NAILS @ 4" O.C. AT PANEL EDGES AND 8" O.C. TO INTERMEDIATE SUPPORTS. BLOCK SOLID BETWEEN FASTENING SHEATHING TO TRUSS ENDS AT END TRUSS BLOCKING. USE C514X4" STRAP AT STUDS FOR FLOOR TO FLOOR CONNECTION. USE HDU-2 HOLDOWN W/ MIN. (2) 2 X 6 STUDS. SECURE BOTTOM PLATE TO RIM JOIST W/ LTP4 CLIPS @ 12" O.C.

NOTE:
ENTIRE BUILDING TO BE BRACED AS PER 2308.9.3.



1 BUILDING SECTION
1/4" = 1'-0"

- WALL SYSTEM:**
- 5" VINYL SIDING (.044)
 - 2 X 6 STUD WALL, 16" O.C.
 - 15/32" OSB EXTERIOR SHEATHING
 - TYVEK BUILDING WRAP
 - 6" BATT INSULATION
 - 4 MIL VAPOR RETARDER
 - 1/2" GYPSUM BOARD, INTERIOR
 - FINISH, TAPE & PAINT
 - NOTE: WALL TO BE DESIGNED IN ACCORDANCE WITH SECT. 2304 & 2308 OF IBC

- FLOOR SYSTEM:**
- 4" CONCRETE SLAB
 - W/ 6X6X10 WWF OVER
 - 6 MIL VAPOR RETARDER, JOINTS LAPPED AND TAPPED CONTINUOUS
 - 6" COMPACTED SAND FILL

- FLOOR SYSTEM:** - UL DESIGN L542, SYS. 3
- 16" FLOOR TRUSSES @ 16" O.C.
 - (2) LAYERS 3/4" T & G PLYWOOD SUBFLOOR, (QUE AND NAIL)
 - 6" SOUND INSULATION
 - 5/8" TYPE 'C' GYP. BD. ON CHANNELS 16" O.C.
 - TAPE & PAINT
 - NOTE: FLOOR TO HAVE STC RATING OF 50 AIR BORNE NOISE PER IBC 1207.2

- FOUNDATION SYSTEM:**
- 8" X 4'-0" POURED CONCRETE WALL W/ #4'S, 24" O.C. EACH WAY ON 1'-0" X 2'-0" CONC.
 - FOOTING W/ (2) #5'S
 - 1/2" X 12" ANCHOR BOLTS, 4'-0" O.C.
 - TREATED SILL PLATE & SILL SEALER
 - 2" RIGID INSULATION

