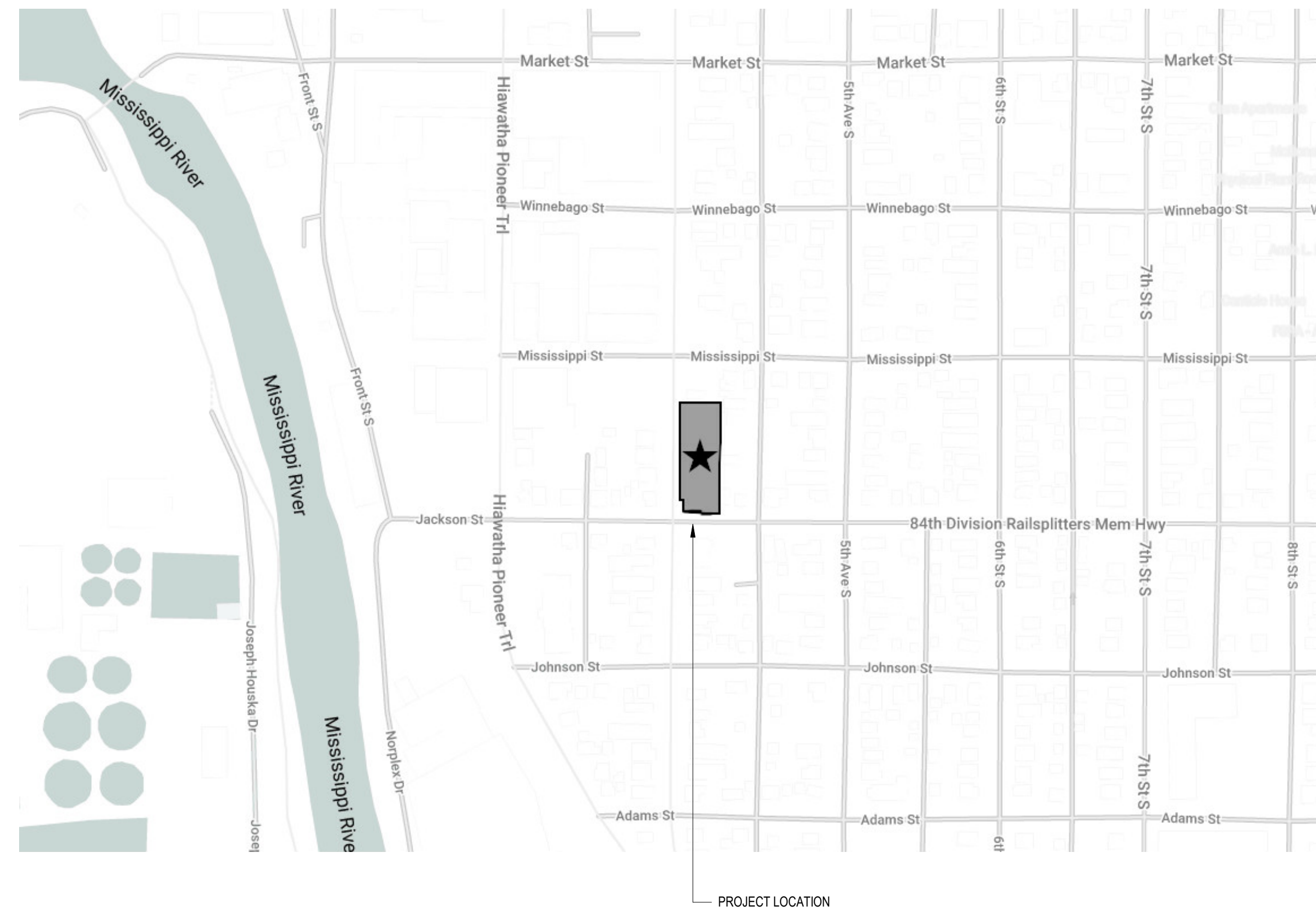
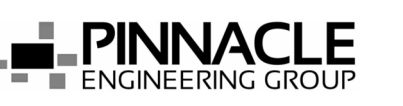


# 403 JACKSON

403 JACKSON ST  
LA CROSSE, WI 54601

ZONING SET - 11/03/2023



PROJECT:  
403 JACKSON  
403 JACKSON ST  
LA CROSSE, WI 54601

OWNER:  
CINNAIRE  
10 E. DOTY STREET  
SUITE 617  
MADISON, WI 53703

ARCHITECT:  
KORB + ASSOCIATES  
ARCHITECTS  
648 N. PLANKINTON AVE  
SUITE 240  
MILWAUKEE, WI 53203

CONSTRUCTION MANAGER:  
BORTON CONSTRUCTION  
2 COPELAND AVE, SUITE 201  
LA CROSSE, WI 54603

CIVIL ENGINEER:  
PINNACLE ENGINEERING  
GROUP  
20725 WATERTOWN ROAD,  
SUITE 100  
BROOKFIELD, WI 53186

STRUCTURAL ENGINEER:  
SPIRE ENGINEERING  
305 N PLANKINTON AVENUE  
SUITE 101  
MILWAUKEE, WI 53203

OWNER	ARCHITECT	CONSTRUCTION MANAGER:	CIVIL ENGINEER	STRUCTURAL ENGINEER:
CINNAIRE 10 E. DOTY STREET SUITE 617 MADISON, WI 53703	KORB + ASSOCIATES ARCHITECTS 648 N. PLANKINTON AVE SUITE 240 MILWAUKEE, WI 53203	BORTON CONSTRUCTION 2 COPELAND AVE, SUITE 201 LA CROSSE, WI 54603	PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186	SPIRE ENGINEERING 305 N PLANKINTON AVENUE SUITE 101 MILWAUKEE, WI 53203
CONTACT: NICOLE SOLHEIM	CONTACT: ALI KOPYT	CONTACT: PAUL BORSHEIM	CONTACT: MARK SEIDL	CONTACT: AARON HUBERTY

## DRAWING INDEX

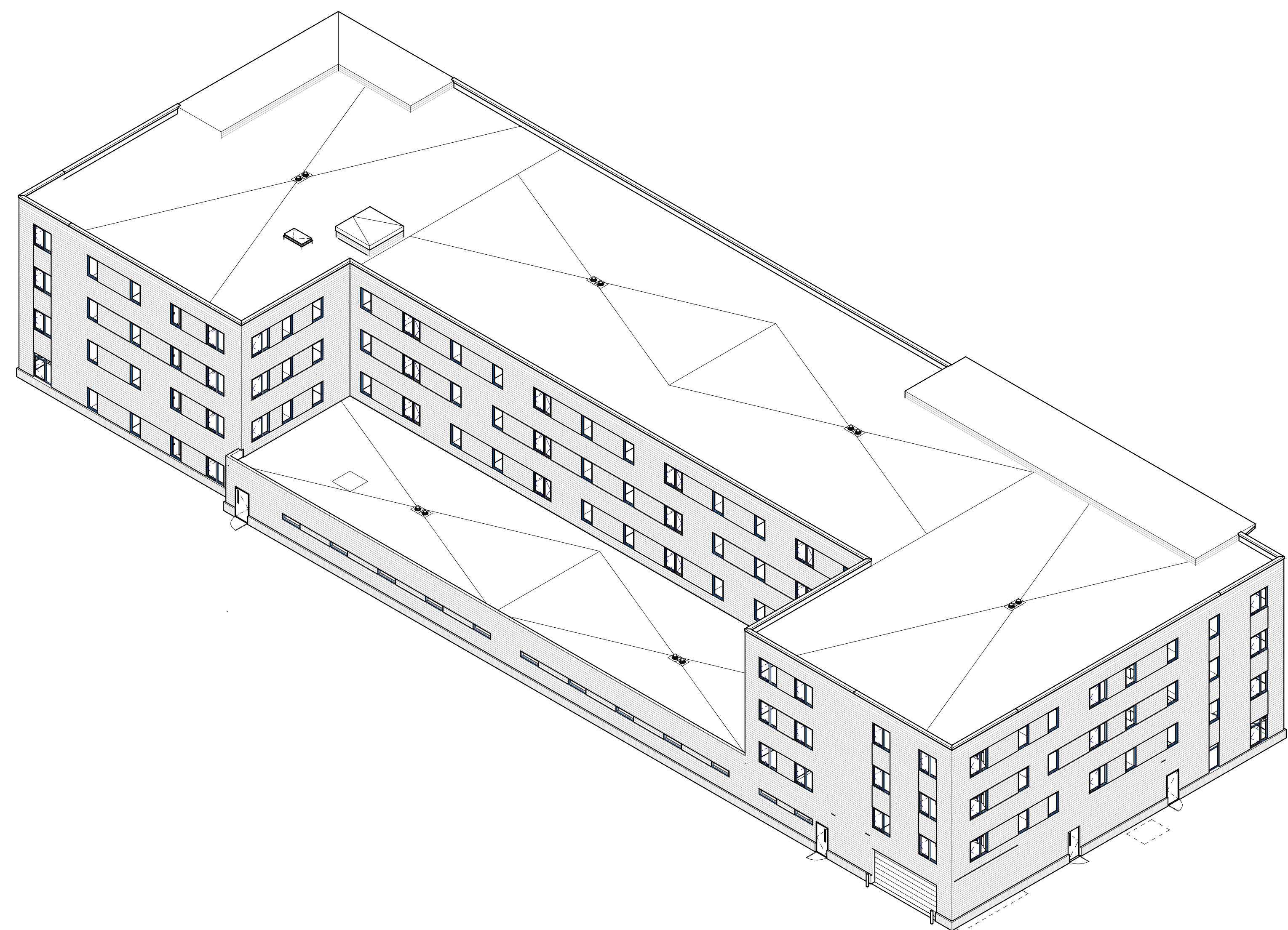
00-GENERAL	01-CIVIL	02-LANDSCAPE	04-ARCHITECTURAL
G000 COVER SHEET	C101 EXISTING CONDITIONS & DEMOLITION PLAN	L100 LANDSCAPE OVERVIEW	A100 ARCHITECTURAL SITE PLAN
G001 AXONOMETRICS	C102 SITE DIMENSIONAL & PAVING PLAN	L200 LANDSCAPE ENLARGEMENT	A101 FLOOR 01 PLAN
	C103 GRADING & EROSION CONTROL PLAN	L201 LANDSCAPE ENLARGEMENT	A102 FLOOR 02 PLAN
	C104 UTILITY PLAN	L300 LANDSCAPE GENERAL NOTES & DETAILS	A103 FLOOR 03 PLAN
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	C106 GENERAL NOTES		A105 ROOF PLAN
			A200 ELEVATIONS
			A201 ELEVATIONS

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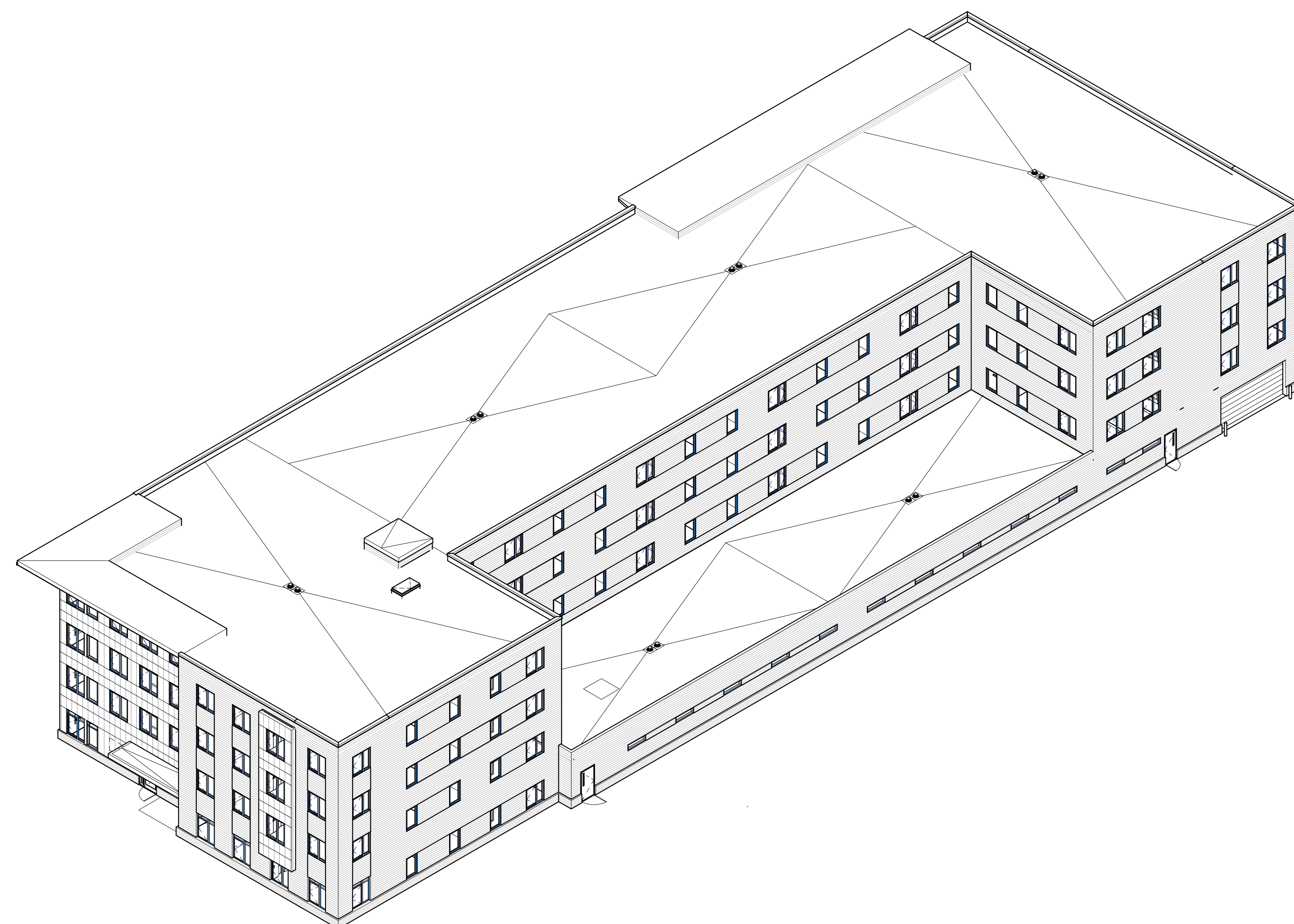
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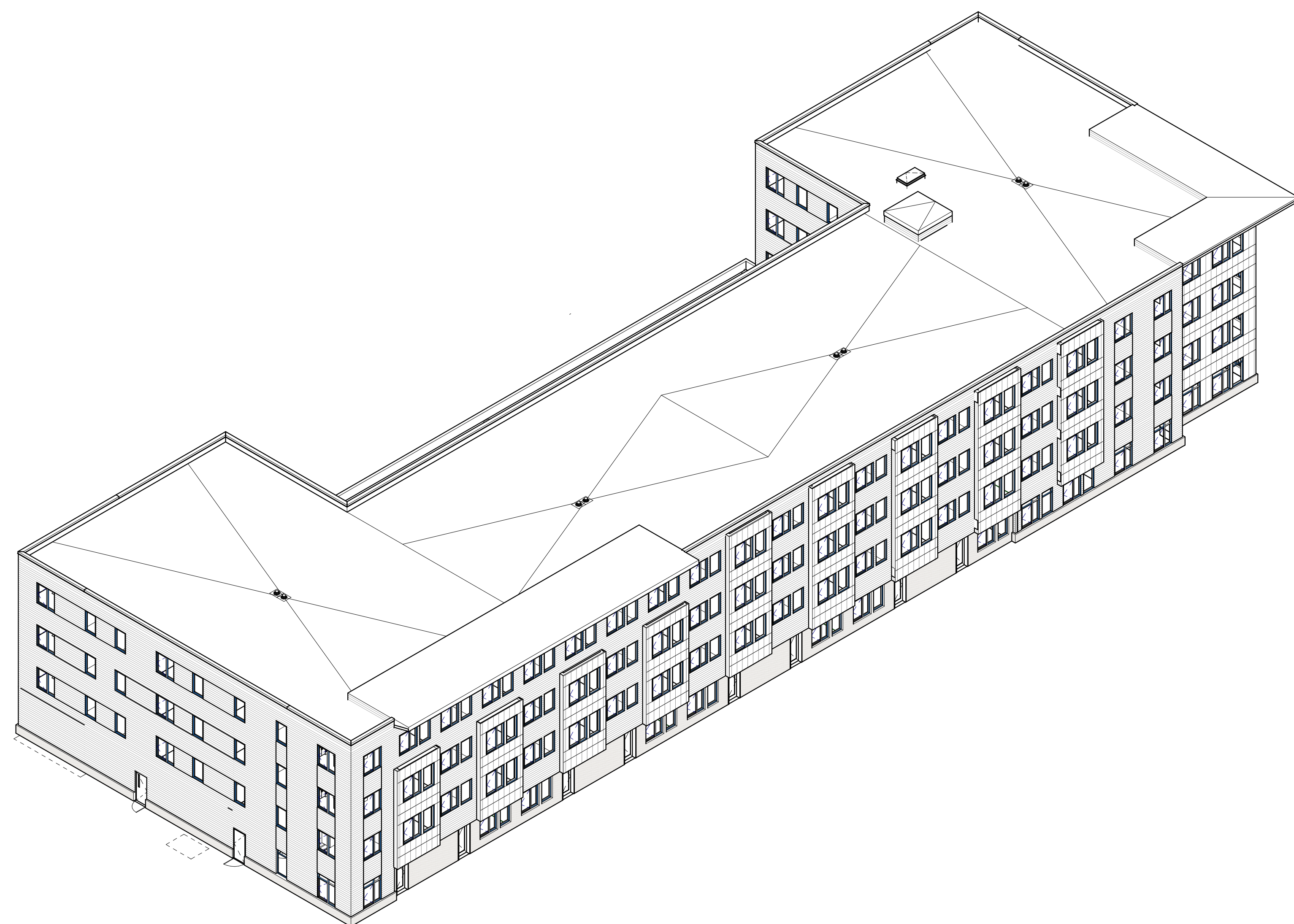
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**G000**  
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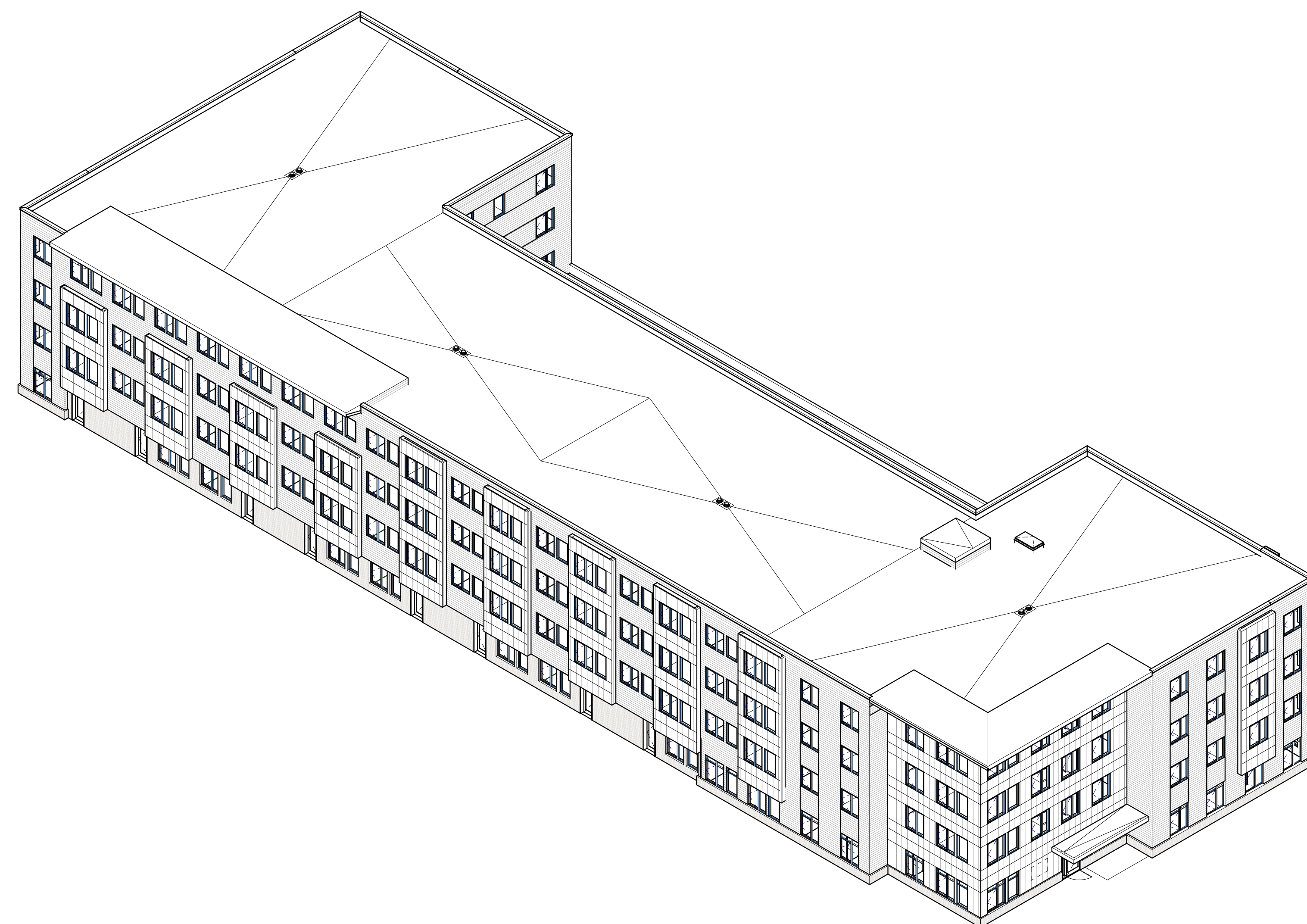
4 NE AXON  
G001



2 SE AXON  
G001



3 NW AXON  
G001



1 SW AXON  
G001

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AXONOMETRICS

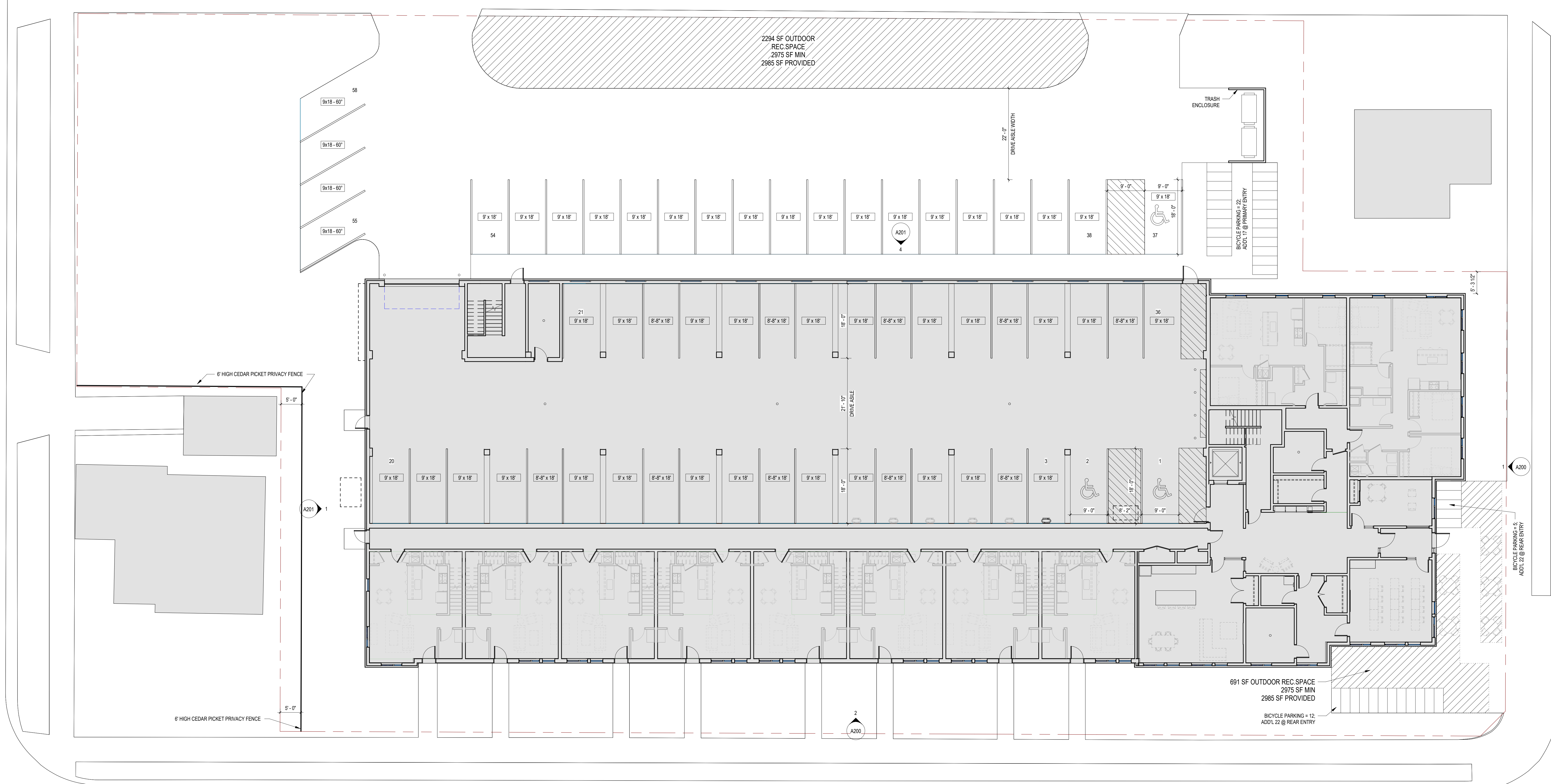
**G001**

**SITE PLAN GENERAL NOTES**

- A. CALL DIGGERS HOTLINE THREE (3) WORKING DAYS PRIOR TO THE START OF ANY WORK. (800) 242-8511.
- B. EXISTING TOPOGRAPHIC INFORMATION OBTAINED FROM XXXX.
- C. EXISTING UTILITIES ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. HOWEVER, LOCATIONS MAY NOT BE ACCURATE OR COMPLETE. CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO INITIATING EXCAVATION. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES AS NECESSARY TO PROVIDE SERVICE TO THE SITE AND TO PERFORM WORK.
- D. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
- E. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION.
- F. CONTRACTOR SHALL REVIEW TOPSOIL SALVAGE AND REVIEW WITH ARCHITECT PRIOR TO STARTING WORK.
- G. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION, INCLUDING CURB/CURB CUT, PAVING, GRADING, UTILITIES HANDICAP SIGNAGE, PARKING LOCATIONS, AND EROSION CONTROL PLAN.
- H. SEE STRUCTURAL DRAWINGS FOR PLACEMENT OF STOODS.
- I. SEE MECHANICAL DRAWINGS FOR LOCATION OF ON GRADE EQUIPMENT.
- J. SEE ELECTRICAL PLANS FOR LOCATIONS OF SITE ELECTRICAL ITEMS, INCLUDING ON GRADE EQUIPMENT, CONDUITS AND ELECTRICAL LINES, AND LIGHTING.
- K. SEE LANDSCAPE DRAWINGS FOR LOCATION OF LANDSCAPE ITEMS AND FOR ADDITIONAL PAVING INFORMATION.

**SCHEDULE - PARKING**

8'-0" x 18'	10
9' x 18'	41
9' x 18' ADA VAN	3
9' x 18' - 60"	4
<b>Grand total</b>	<b>58</b>



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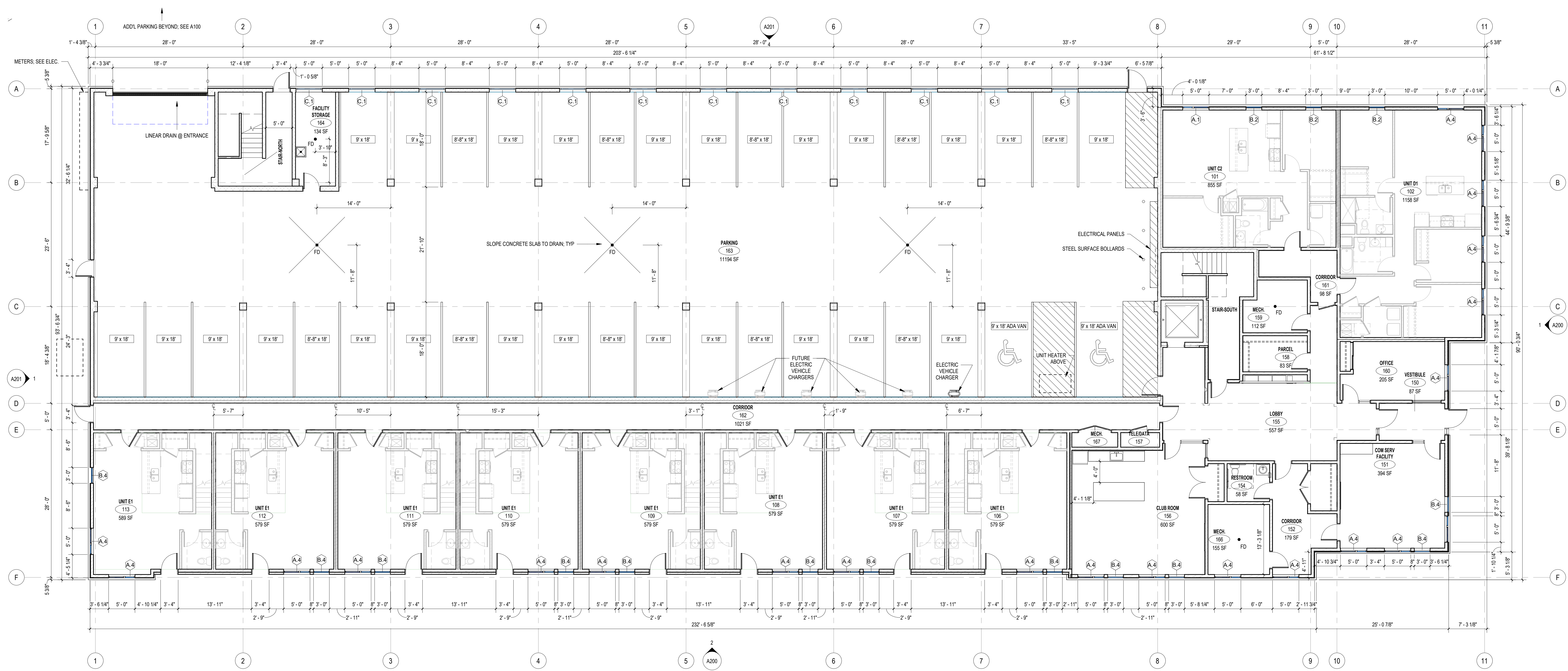
ARCHITECTURAL SITE PLAN

**A100**

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**FLOOR PLAN GENERAL NOTES**

- A. DO NOT SCALE THE DRAWINGS. VERIFY ALL CONDITIONS ON-SITE BEFORE PROCEEDING WITH WORK. ANY CONFLICT OR DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD CONDITIONS SHOULD BE BROUGHT TO ARCHITECT'S ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WORK.
- B. SEE SHEET G300 FOR INTERIOR PARTITION TYPES AND WALL ASSEMBLY INFORMATION. SEE CODE PLANS FOR LOCATIONS OF RATED WALLS. ALL WALLS REQUIRING SMOKE PROTECTION REQUIRE TYPE 'X' GWB TO THE CEILING.
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  - b. FLOORS 2-4:
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    - ALL UNIT TO CORRIDOR DEMISING WALLS TO BE W06-10-1A U.N.O.
    - ALL UNIT TO UNIT DEMISING WALLS TO BE W44-11-A U.N.O.
- C. ALL STRUCTURAL COLUMNS AND POSTS ARE REQUIRED TO HAVE INDIVIDUAL ENCASEMENT PROTECTION TO ACHIEVE A FIRE-RESISTANCE RATING. SEE TYPICAL DETAIL.
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- O. SINK SPECIFICATIONS ARE GENERAL REPRESENTATIONS ONLY. SEE THE PLUMBING DRAWINGS AND SPECIFICATIONS FOR SINK PRODUCT AND SIZE INFORMATION.
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- Q. COORDINATE INSTALLATION OF BOLLARDS WITH FINAL LOCATION OF EQUIPMENT AS REQUIRED.



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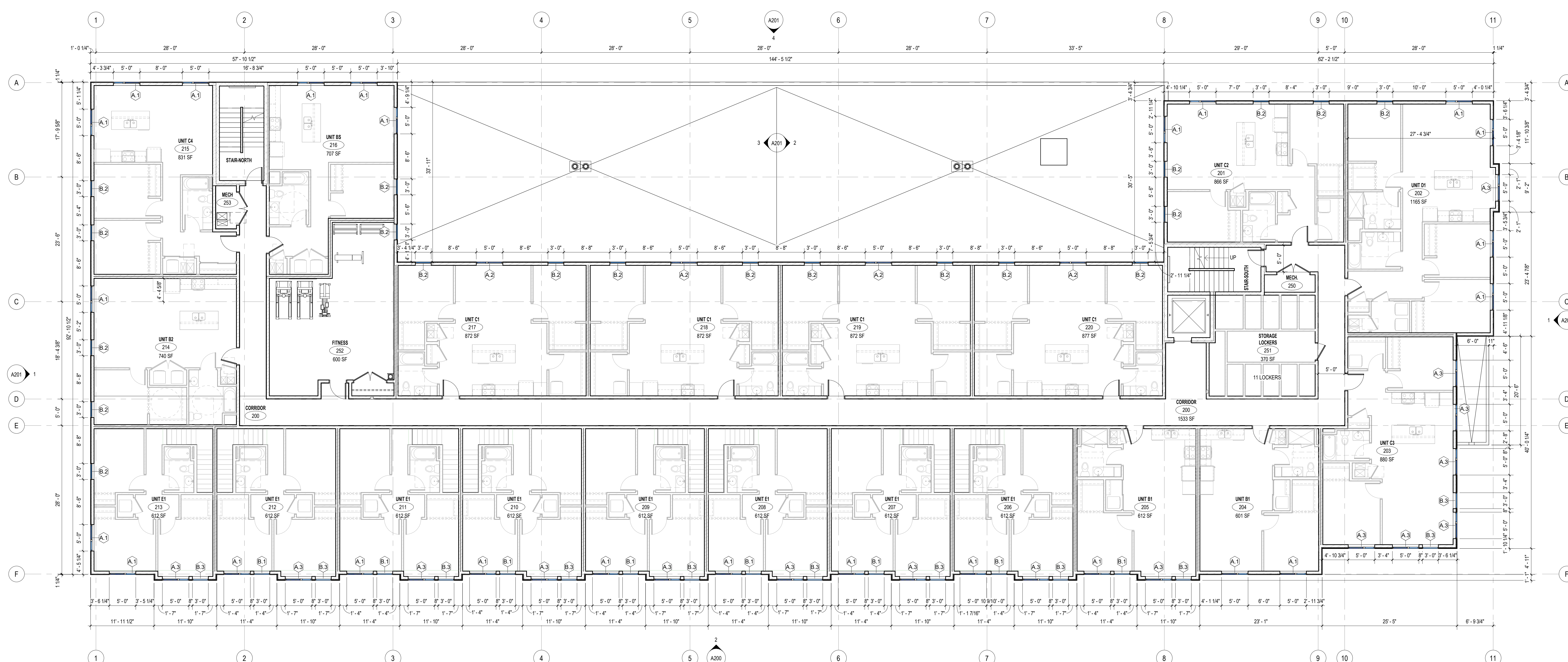
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FLOOR 01 PLAN

**A101**

- FLOOR PLAN GENERAL NOTES**
- A. DO NOT SCALE THE DRAWINGS. VERIFY ALL CONDITIONS ON-SITE BEFORE PROCEEDING WITH WORK. ANY CONFLICT OR DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD CONDITIONS SHOULD BE BROUGHT TO ARCHITECT'S ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WORK.
  - B. SEE SHEET G500 FOR INTERIOR PARTITION TYPES AND WALL ASSEMBLY INFORMATION. SEE CODE PLANS FOR LOCATIONS OF RATED WALLS. ALL WALLS REQUIRING SMOKE PROTECTION REQUIRE TYPE 'X' GWB TO THE CEILING.
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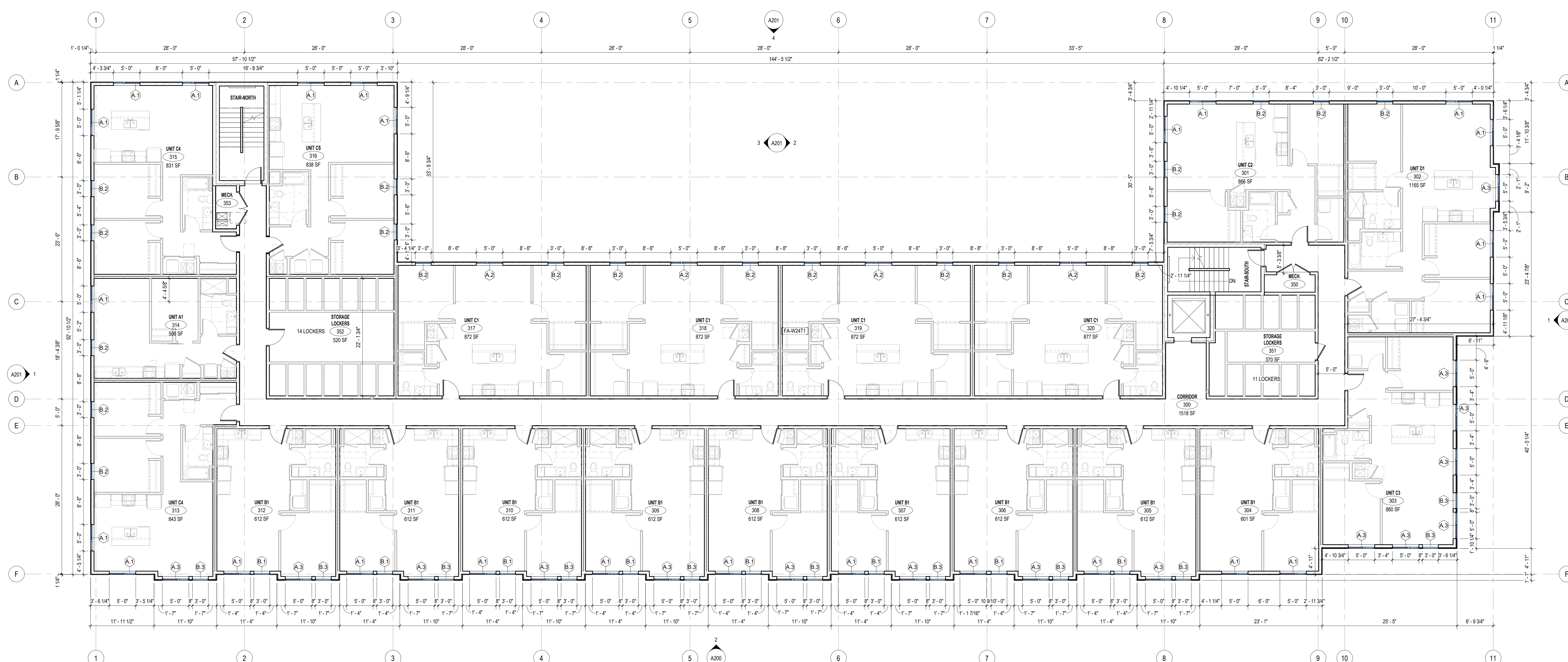
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1 FLOOR 02  
A102 1/8" = 1'-0"

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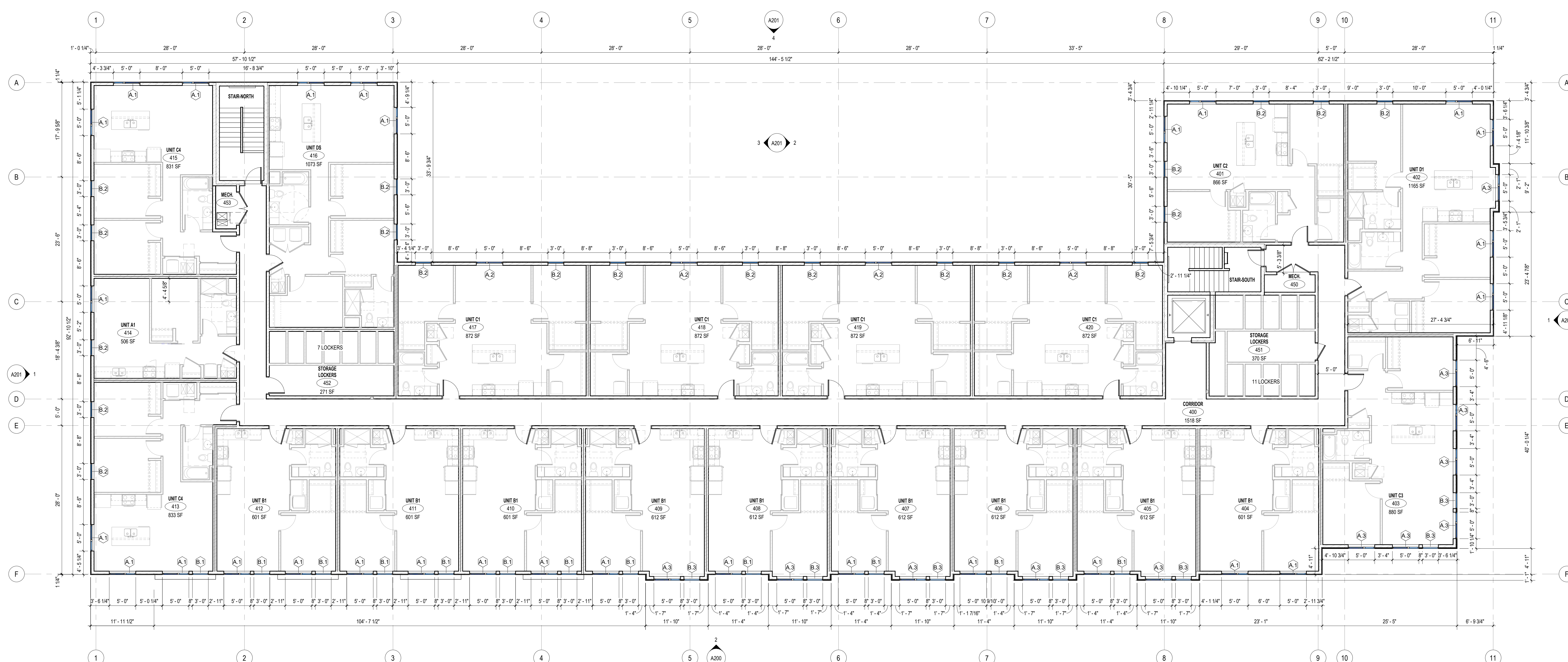
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FLOOR 03 PLAN

**A103**

**1 FLOOR 03**  
A103 1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES**
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  - SEE THE ROOM FINISH SCHEDULE & PLAN FOR FURTHER FINISH AND MATERIAL INFORMATION.
  - WHERE DIMENSIONS ARE SHOWN TO WALLS OR CASEWORK, THE DIMENSIONS ARE TO FINISHED FACE OF WALL OR CABINET UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE INDICATED ON THE DRAWINGS, CASEWORK SHALL BE 24" DEEP FOR BASE CABINETS AND 12" DEEP FOR UPPER CABINETS. COUNTERTOPS SHALL BE 25" DEEP. BATHROOM VANITIES TO BE 21.5" DEEP WITH 22" DEEP COUNTERTOP. PROVIDE A 4" HIGH BACK AND SIDESPLASH WHERE NO WALL TILEBACKSPLASH IS SHOWN ON ELEVATIONS.
  - PROVIDE FINISHED CABINET END PANELS, INCLUDING AT KNEE SPACES OR REMOVABLE CASEWORK, WHERE EXPOSED TO VIEW. FLOORING TO CONTINUE UNDER ALL REMOVABLE CASEWORK.
  - SINK SIZES SHOWN ARE GENERAL REPRESENTATIONS ONLY. SEE THE PLUMBING DRAWINGS AND SPECIFICATIONS FOR SINK PRODUCT AND SIZE INFORMATION.
  - ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED & BRACED & SEALED AS REQUIRED.
  - COORDINATE INSTALLATION OF BOLLARDS WITH FINAL LOCATION OF EQUIPMENT AS REQUIRED.



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LA CROSSE, WI 54601

**OWNER:**  
CINNAIRE  
10 E. DOTY STREET  
SUITE 617  
MADISON, WI 53703

**ARCHITECT:**  
KORB + ASSOCIATES  
ARCHITECTS  
648 N. PLANKINTON AVE  
SUITE 240  
MILWAUKEE, WI 53203

**CIVIL ENGINEER:**  
PINNACLE ENGINEERING  
GROUP  
20725 WATERTOWN ROAD,  
SUITE 100  
BROOKFIELD, WI 53186

**STRUCTURAL ENGINEER:**  
SPIRE ENGINEERING  
305 N PLANKINTON AVENUE  
SUITE 101  
MILWAUKEE, WI 53203

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PROJ. NO. 23017
SCALE: 1/8" = 1'-0"
PHASE: ZONING SET
DATE: 11/03/2023

FLOOR 04 PLAN

**A104**

**1 FLOOR 04**  
A104 1/8" = 1'-0"

**ROOF PLAN GENERAL NOTES**

A. SEE G300 FOR ROOF ASSEMBLY.

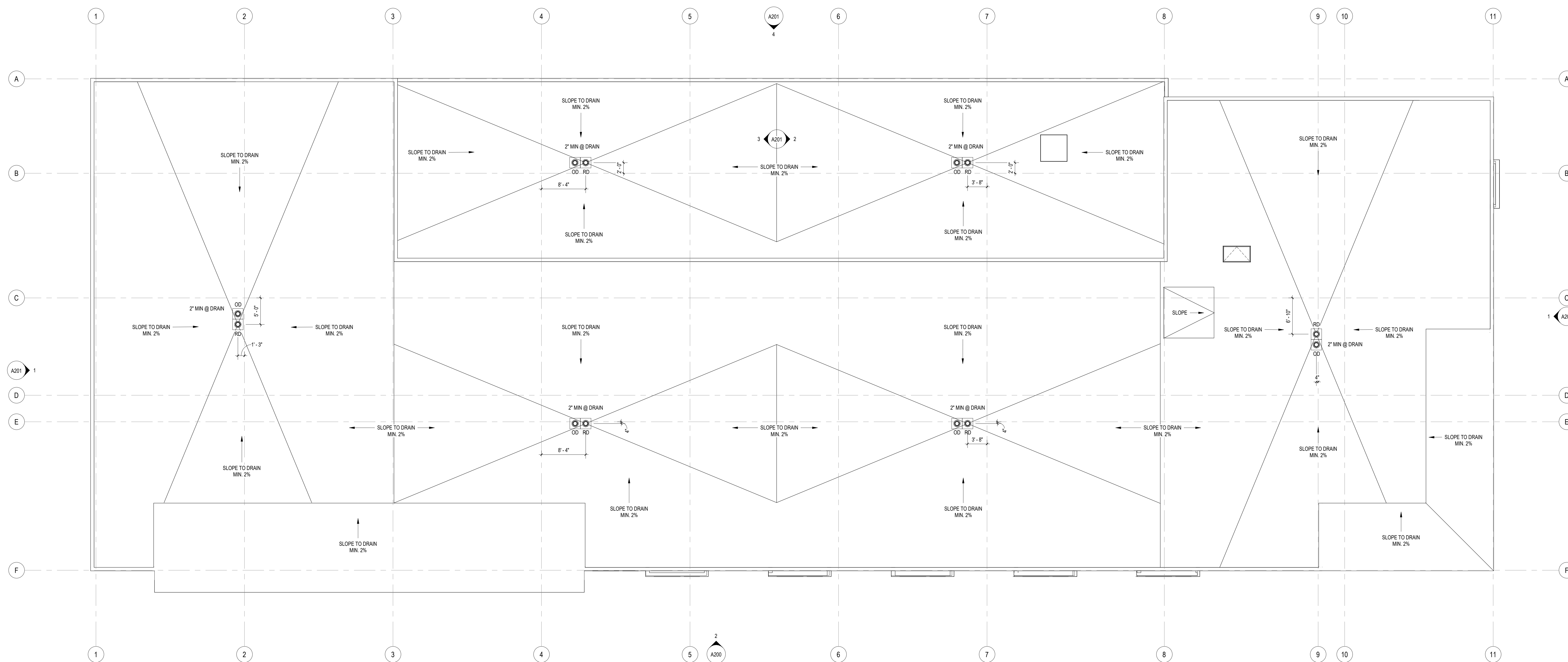
B. CONTRACTOR SHALL COORDINATE ROOFING INSTALLATION WITH MECHANICAL DRAWINGS. PROVIDE CURBING AND FLASHING AS REQUIRED AT ROOF PENETRATIONS TO MAINTAIN INTEGRITY OF ROOF MEMBRANE.

C. ARROWS INDICATE SLOPED SADDLES TO ROOF DRAIN, TYP.

D. PAINT ROOF PENETRATIONS TO MATCH ROOF COLOR.

E. AT SHINGLE ROOFING, PROVIDE "ICE AND WATER SHIELD" AT ALL ROOF VALLEYS, AND TO 2'-0" INSIDE FROM FACE OF WALL AT ROOF EAVES, AND AS SPECIFICALLY NOTED ON THE DRAWINGS.

F. PROVIDE APPROVED TRANSITIONS BETWEEN EXISTING ROOFING AND NEW ROOFING TO MAINTAIN EXISTING ROOF WARRANTY.



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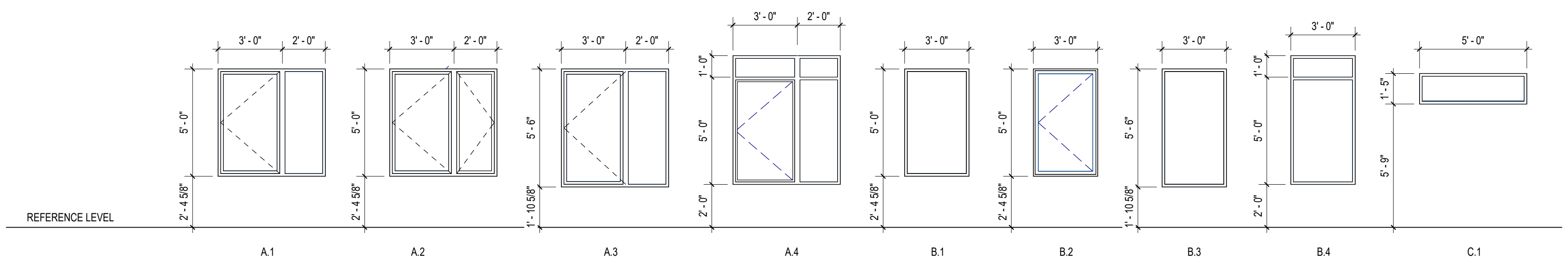
ROOF PLAN

**A105**



**MATERIAL KEY**

	FSS-1 - FIBER SUBSTRATE SIDING MFR: LP SMARTSIDE EXPOSURE: 6" COLOR: CAVERN STEEL
	FSS-2 - FIBER SUBSTRATE SIDING MFR: LP SMARTSIDE EXPOSURE: 6" COLOR: TERRA BROWN
	FCS-1 - FIBER CEMENT SIDING MFR: NICHHA ORIENTATION: 18" VERTICAL PANELS COLOR: SW FUTON (CUSTOM)
	FBR-1 MFR: GLEN GERY SIZE: COMMON COLOR: ASPEN WHITE



**LEGEND - WINDOW TYPES**  
1/4" = 1'-0"



**2 WEST ELEVATION**  
A200 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
A200 1/8" = 1'-0"

KEYNOTE	DESCRIPTION
FBR-1	04 26 13 / MASONRY VENEER - FACE BRICK
FCS-1	07 46 46 / FIBER CEMENT SIDING - RAINSCREEN
FSS-1	07 46 26 / FIBER SUBSTRATE SIDING - RAINSCREEN
FSS-2	07 46 26 / FIBER SUBSTRATE SIDING - RAINSCREEN
FSS-3	07 46 26 / FIBER SUBSTRATE SIDING - SOFFIT
SMF-2	07 62 00 / SHEET METAL FLASHING - PREFINISHED ALUMINUM

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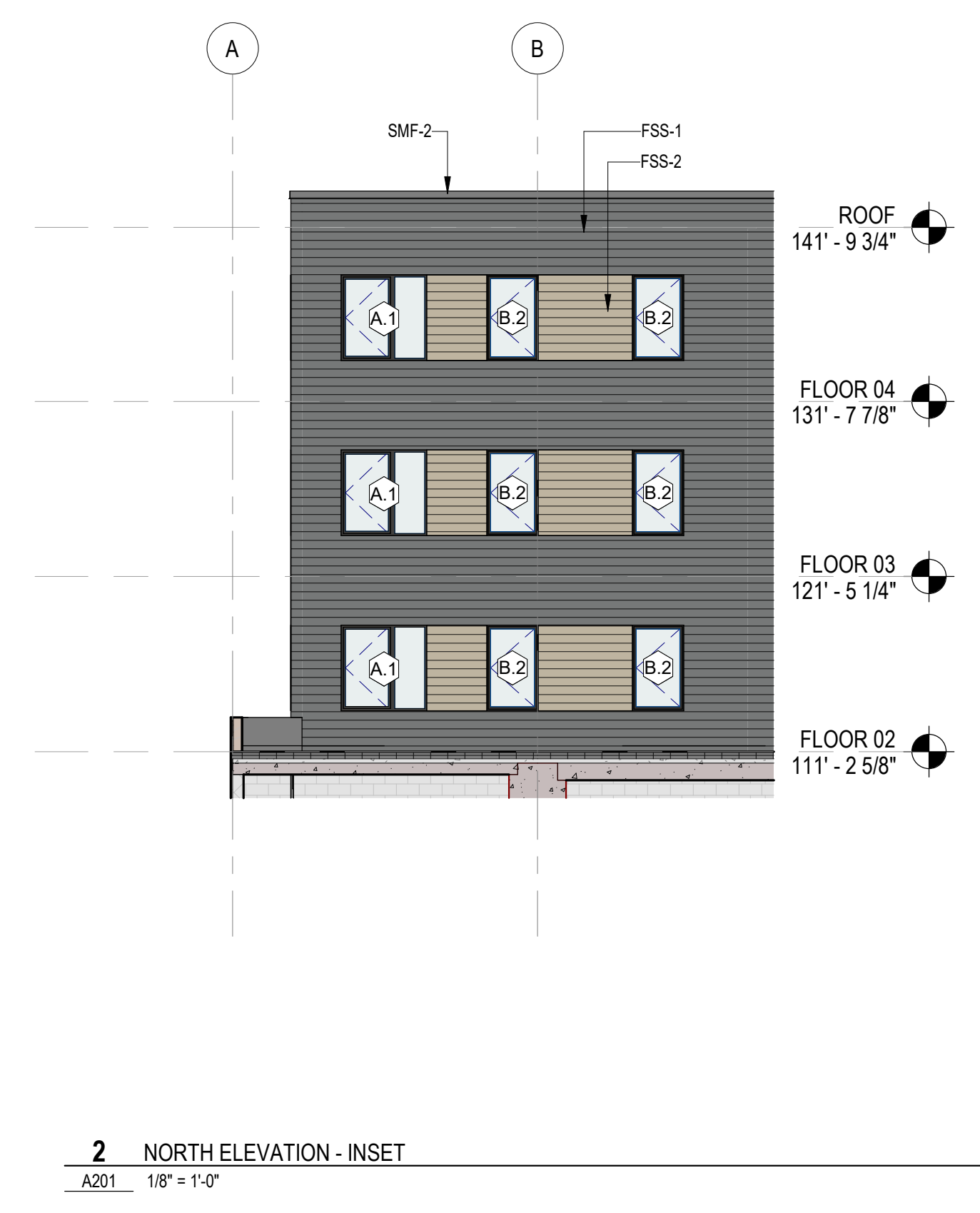
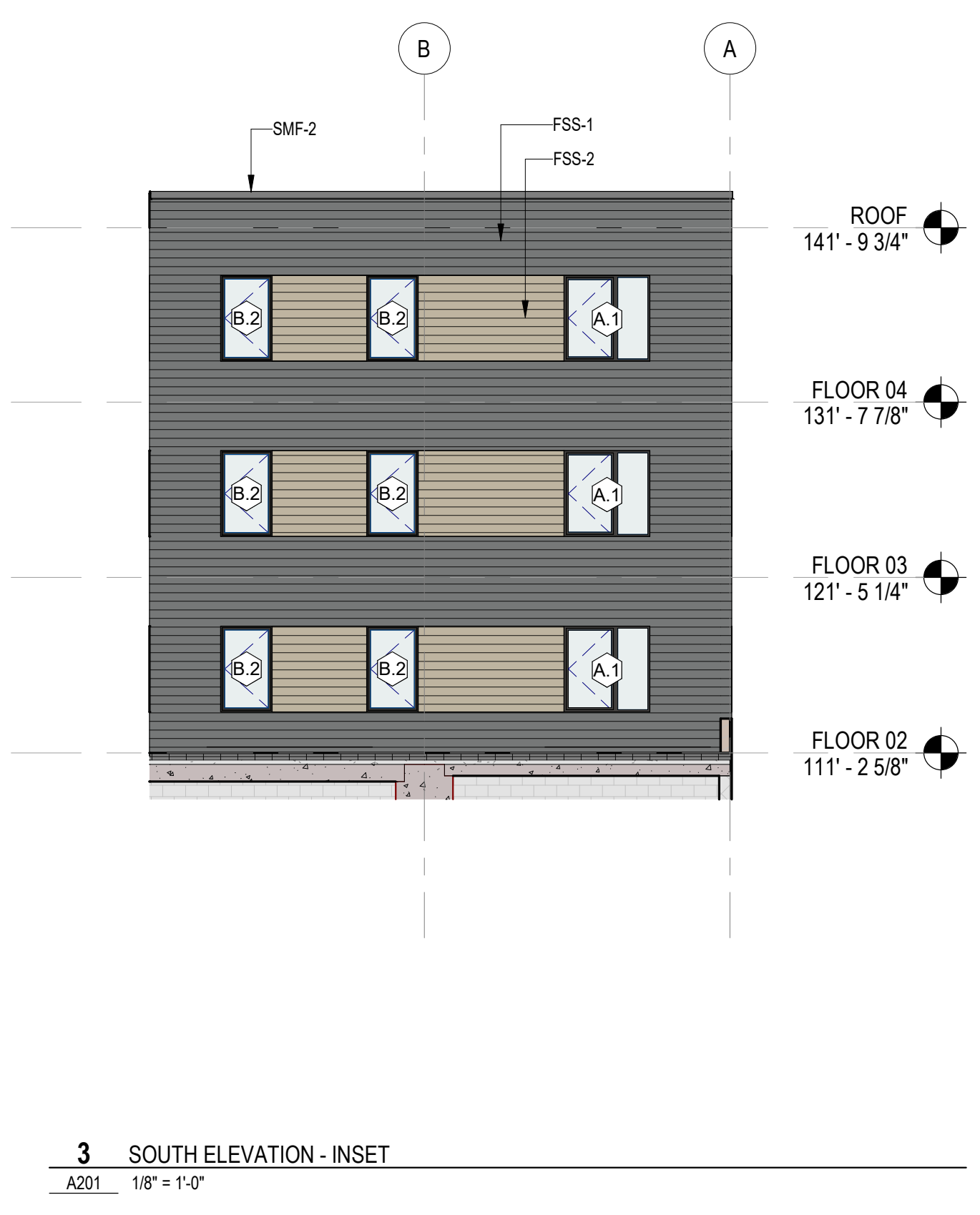
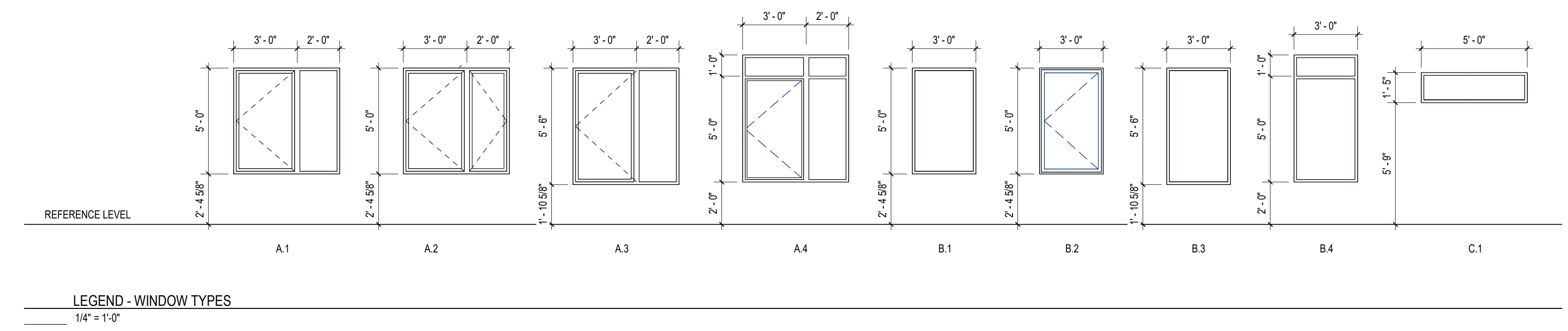
ELEVATIONS

**A200**

**DESIGN REVIEW - NOT FOR CONSTRUCTION -**

**MATERIAL KEY**

	FSS-1 - FIBER SUBSTRATE SIDING MFR: LP SMARTSIDE EXPOSURE: 6" COLOR: CAVERN STEEL
	FSS-2 - FIBER SUBSTRATE SIDING MFR: LP SMARTSIDE EXPOSURE: 6" COLOR: TERRA BROWN
	FCS-1 - FIBER CEMENT SIDING MFR: NICHHA ORIENTATION: 18" VERTICAL PANELS COLOR: SW FUTON (CUSTOM)
	FBR-1 MFR: GLEN GERY SIZE: COMMON COLOR: ASPEN WHITE



KEYNOTE	DESCRIPTION
FBR-1	04 26 13 / MASONRY VENEER - FACE BRICK
FSS-1	07 46 26 / FIBER SUBSTRATE SIDING - RAINSCREEN
FSS-2	07 46 26 / FIBER SUBSTRATE SIDING - RAINSCREEN
FSS-3	07 46 26 / FIBER SUBSTRATE SIDING - SOFFIT
SMF-2	07 62 00 / SHEET METAL FLASHING - PREFINISHED ALUMINUM

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ELEVATIONS

**A201**

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