

# 7<sup>th</sup> Street Residences



City Plan Commission  
December 4, 2023

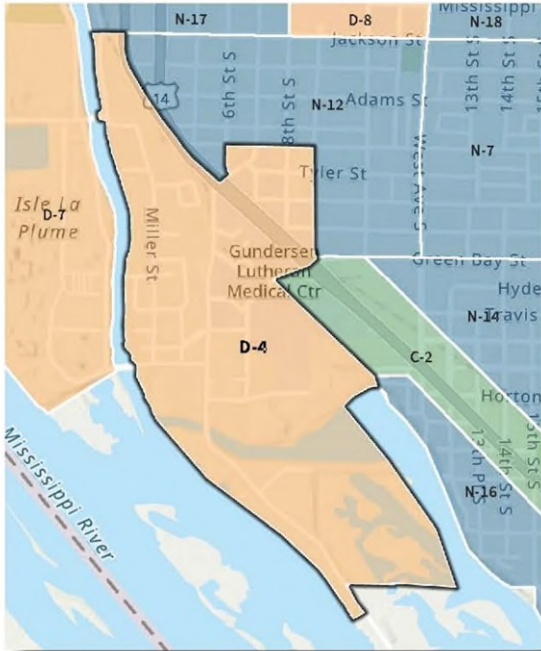
# Development Team

- **Cinnaire:** Nonprofit Developer + Long Term Owner
- **Gundersen Health:** Long Term Land Owner
- **ISG:** Architect
- **Borton Construction:** General Contractor

# 7<sup>th</sup> Street Residences: Goals

- Provide new, affordable and accessible housing for existing residents at Christopherson Apts (2121 Sims Place)
- Incorporate flex classroom-style space for Gundersen programming, including health education
- Complement Eagle Crest style while stepping down in density and intensity from surrounding uses
- Maintain open space buffer along pedestrian path
- Address goals of recent La Crosse Comprehensive Plan

# GUNDERSEN DISTRICT (D-4)



## District Description

The Gundersen district includes the Gundersen Health System campus, featuring the Gundersen-Lutheran Medical Center, a collection of diverse buildings for inpatient and outpatient care, as well as sites devoted to training and education for health care workers. The Gundersen district also includes high-intensity residential uses and active retail spaces that serve campus visitors and employees. A portion of the Gundersen campus crosses into the Powell-Poage-Hamilton neighborhood. There are also some existing industrial parcels within the district.

## Vision for Future Land Use

Future land use should prioritize continued coordination between Gundersen and nearby neighborhood associations. This will be important to minimizing land use conflicts and synergizing potential uses with shared benefits. Higher-end rental units for entry-level workers and young professionals in close proximity to the employment hub should be considered. While the current carpooling parking system appears to be working well, future land uses should be planned with a priority to enhance alternative modes of transit, particularly shuttles for staff working Downtown and safe, convenient bus transportation for those working nights. Conservancy and wetland areas along the waterfront should be restored. Existing industrial uses (commonly referred to as the "Muddy Flats" area) should be maintained as industrial, although redevelopment of existing properties within this area may be supported.

### Voices from the community

*"Green Island can be built up to a great venue! Look at the impact the Omni Center has. Housing hockey and other rec events, such as curling, broomball, and figure skating. This could also be used as an event venue, concert venue, etc."*

*"Heavy industrial is not a great use of this prime land...."*

Existing Uses	Low-Density Residential	Medium-Density Residential	High-Density Residential	Low-Intensity Mixed-Use	High-Intensity Mixed-Use	Neighborhood Retail/Commercial	Commercial	Industrial	Institutional	Parks and Open Space	Conservancy, Wetlands, Agricultural
A	A	D	D	A	U	D	U	U	A	D	D

D=Desirable

A=Allowable

U=Undesirable

# Site Context



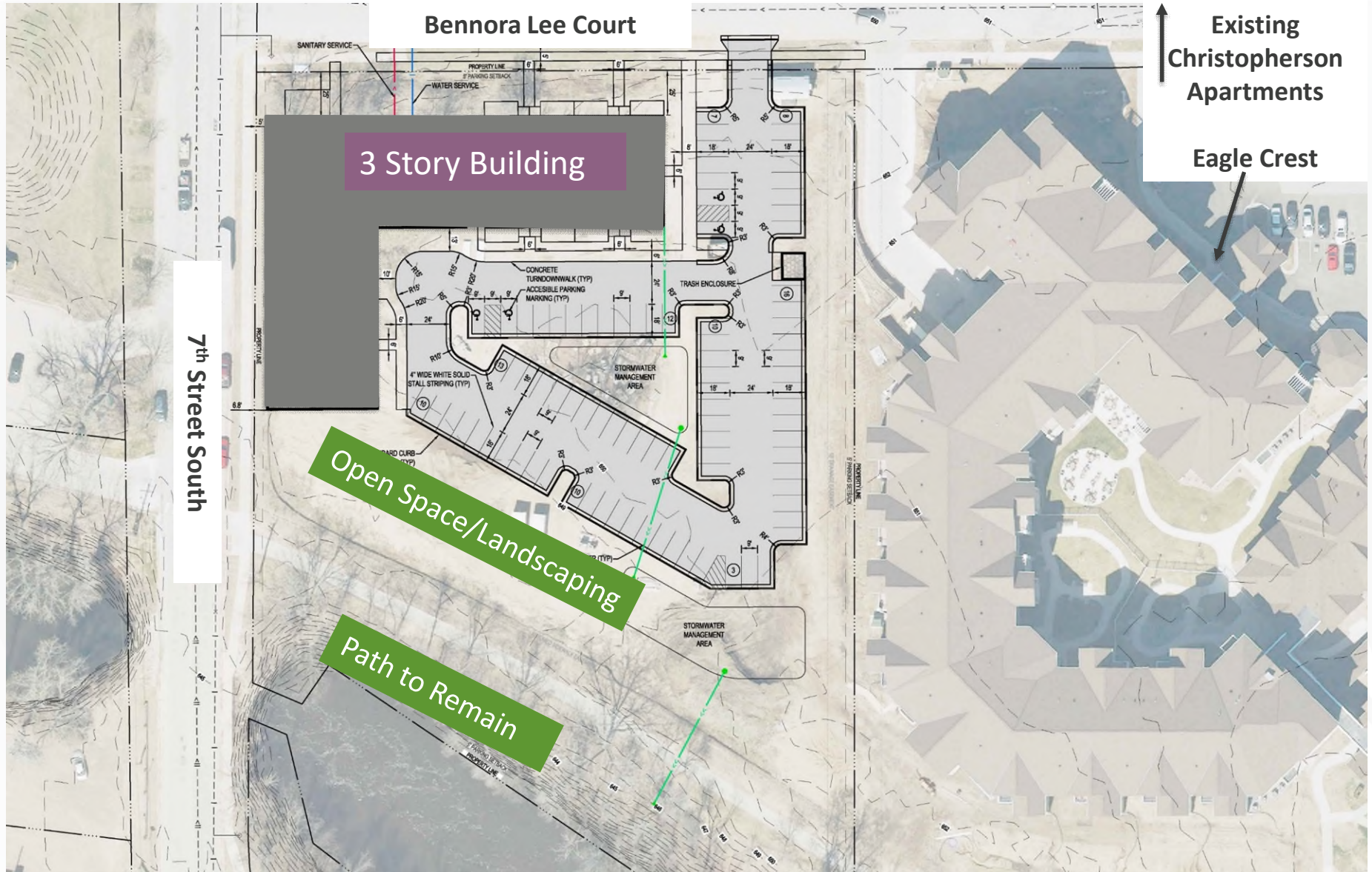
# Site Context



# 7<sup>th</sup> Street Residences: Summary

- **50 Total Residences**
  - 42 Affordable: 20 intended for Christopherson residents
  - 8 Market Rate
- **3 story height**
- **Community space on ground floor** – Gundersen programming
- **3 Bedroom Townhomes** on ground floor to activate street
- **Building Amenities:** Community Room, Fitness Room, Management Office

# Site Plan





# Next Steps + Estimated Timeline

<b>Milestone</b>	<b>Date</b>
City Review – Initial Site Plan	December 2023
WHEDA Funding Application Due	January 2024
WHEDA Award Announcement	May 2024
<i>If a WHEDA Award is Received:</i>	
Engage Design team to develop plan	June 2024
Design Review w City Staff, Neighborhood	August/September 2024
Submit Plans to City for Final Approval	October – December 2024
Construction Bids + Permitting	December – January 2025
Finalize all funding sources and budget	November – March 2025
Close & Start Construction	April 2025
Construction Completion	June 2026
Lease Up	Summer 2026



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