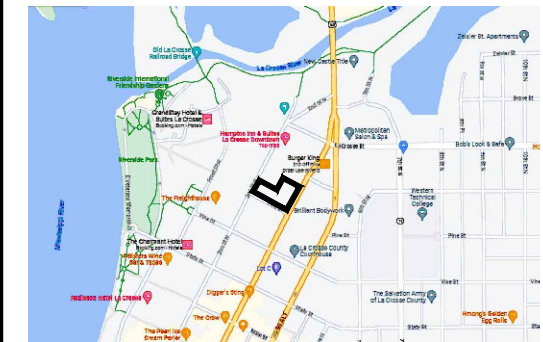


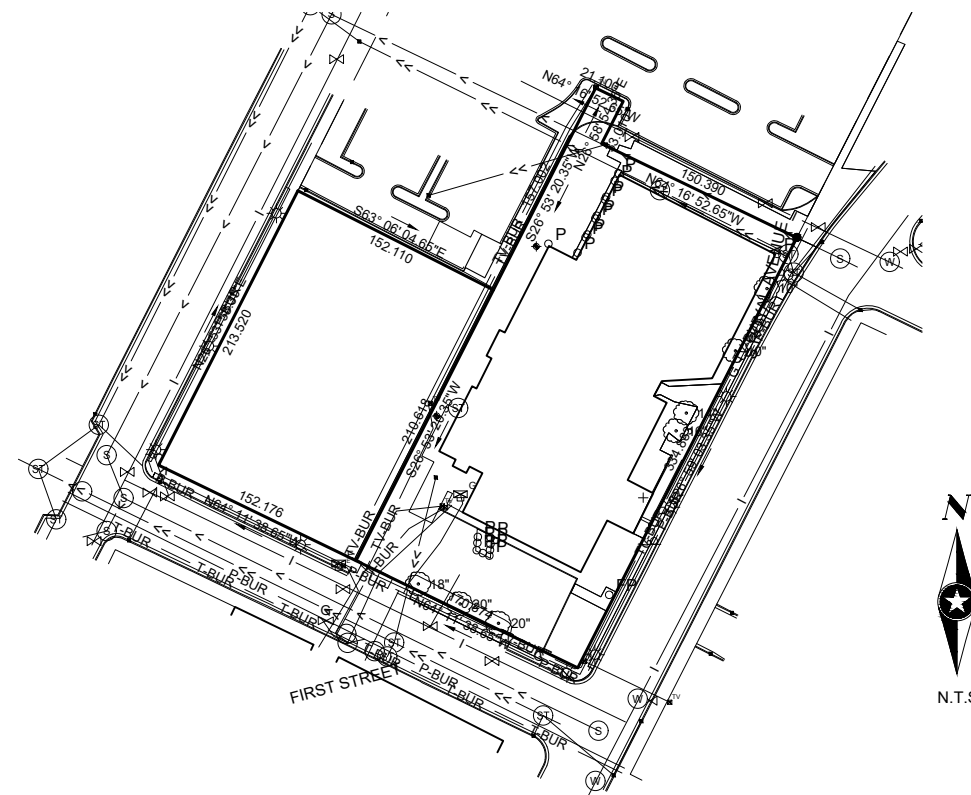
CITY OF LA CROSSE, WISCONSIN

CHALMER'S APARTMENTS

INDEX	
Sheet Number	Sheet Title
T0.01	TITLE SHEET
C1.01	GRADING & EROSION CONTROL PLAN
C2.01	UTILITY PLAN
D3.01	EROSION CONTROL DETAILS



PROJECT LOCATION



EXISTING	
---	RIGHT OF WAY
---	PERMANENT EASEMENT
---	PROPERTY LINE
△ ^{XX}	HORIZONTAL CONTROL POINT
×	BENCHMARK
●	SURVEY MARKER
○	SOIL BORING
○	SANITARY SEWER AND MANHOLE
□	FORCE MAIN AND LIFT STATION
○	SANITARY SEWER SERVICE & CLEANOUT
○	WATER MAIN, HYDRANT, VALVE AND MANHOLE
○	WATER SERVICE AND CURB STOP BOX
○	STORM SEWER, MANHOLE AND CATCH BASIN
---	CULVERT AND APRON ENDWALL
○	GAS MAIN, VALVE, VENT AND METER
○	HANDHOLE
○	BURIED FIBER OPTIC CABLE AND MANHOLE
○	BURIED PHONE CABLE, PEDESTAL AND MANHOLE
○	BURIED TV CABLE, PEDESTAL AND MANHOLE
○	BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
---	OVERHEAD WIRE, POLE AND GUY WIRE
○	LIGHT POLE
○	TRAFFIC SIGNAL
○	STREET NAME SIGN
○	SIGN (NON STREET NAME)
	RAILROAD TRACKS
○	DECIDUOUS AND CONIFEROUS TREE
○	BUSH / SHRUB AND STUMP
---	EDGE OF WOODED AREA
WET	WETLAND
---	BUILDING
X	FENCE (UNIDENTIFIED)
X	BARBED WIRE FENCE
XC	CHAIN LINK FENCE
XE	ELECTRIC WIRE FENCE
XWD	WOOD FENCE
XWW	WOVEN WIRE FENCE
---	PLATE BEAM GUARDRAIL
---	CABLE GUARDRAIL
○	POST / BOLLARD
---	RETAINING WALL
PROPOSED	
6+00	STREET CENTERLINE
---	RIGHT-OF-WAY
---	PERMANENT EASEMENT
---	TEMPORARY EASEMENT
---	CONSTRUCTION LIMITS
○	SANITARY SEWER, BULKHEAD AND MANHOLE
FM	FORCE MAIN
○	SANITARY SERVICE AND CLEANOUT
○	WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
○	WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
○	WATER SERVICE AND CURB STOP BOX
○	STORM SEWER, MANHOLE AND CATCH BASIN
---	CULVERT AND APRON ENDWALL
---	DRAIN TILE
---	DITCH / SWALE
---	RIPRAP
○	STREET NAME SIGN
○	SIGN (NON STREET NAME)
---	RETAINING WALL

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NOTE:
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.

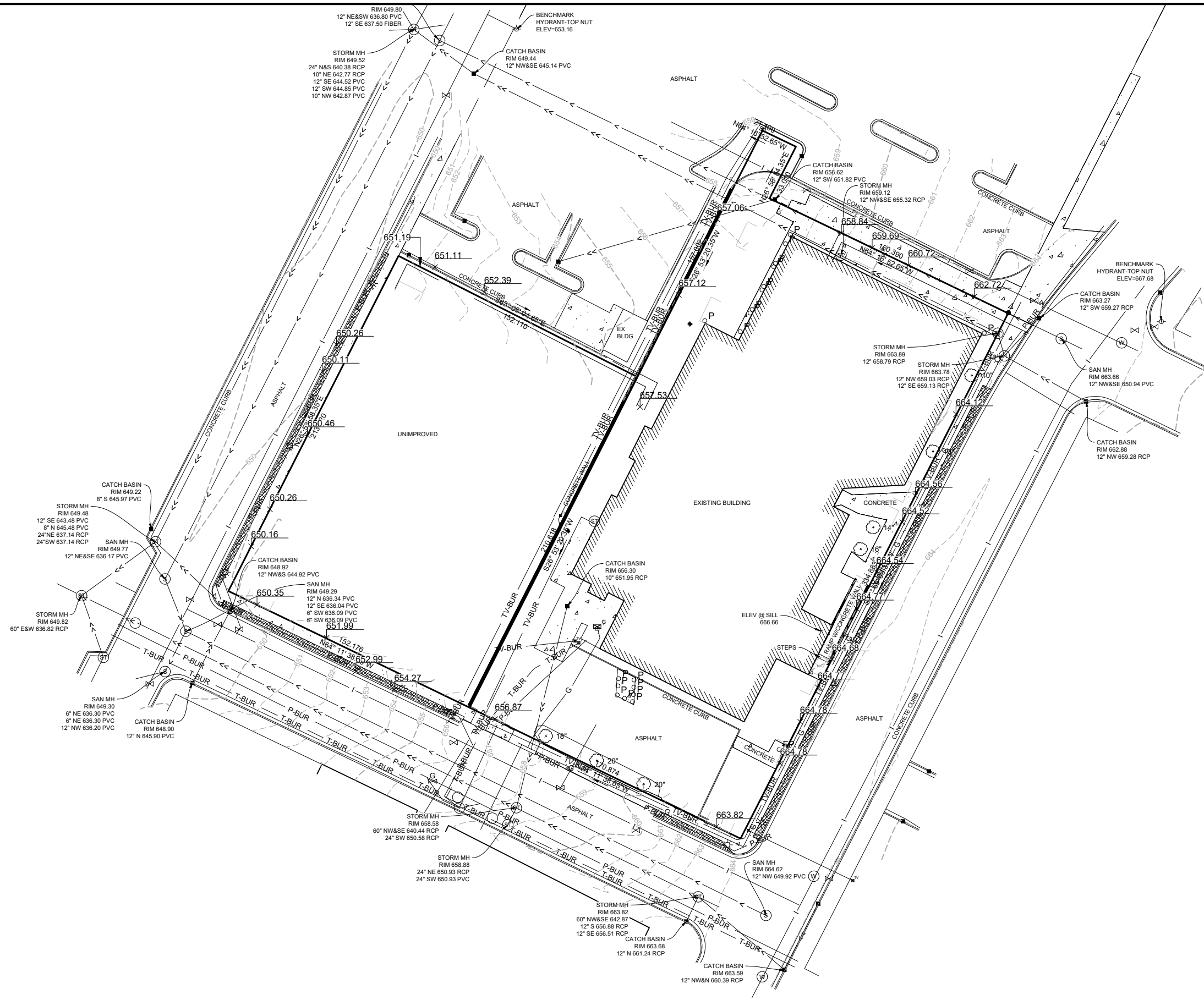
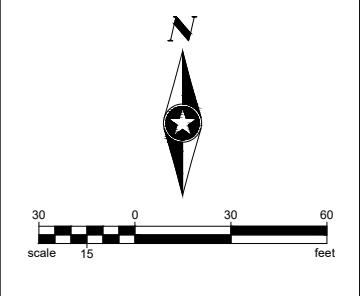


Know what's below.
Call before you dig.

CITY OF LA CROSSE, WISCONSIN



PROJECT NO.
CHALM 172741
T0.01
of 7



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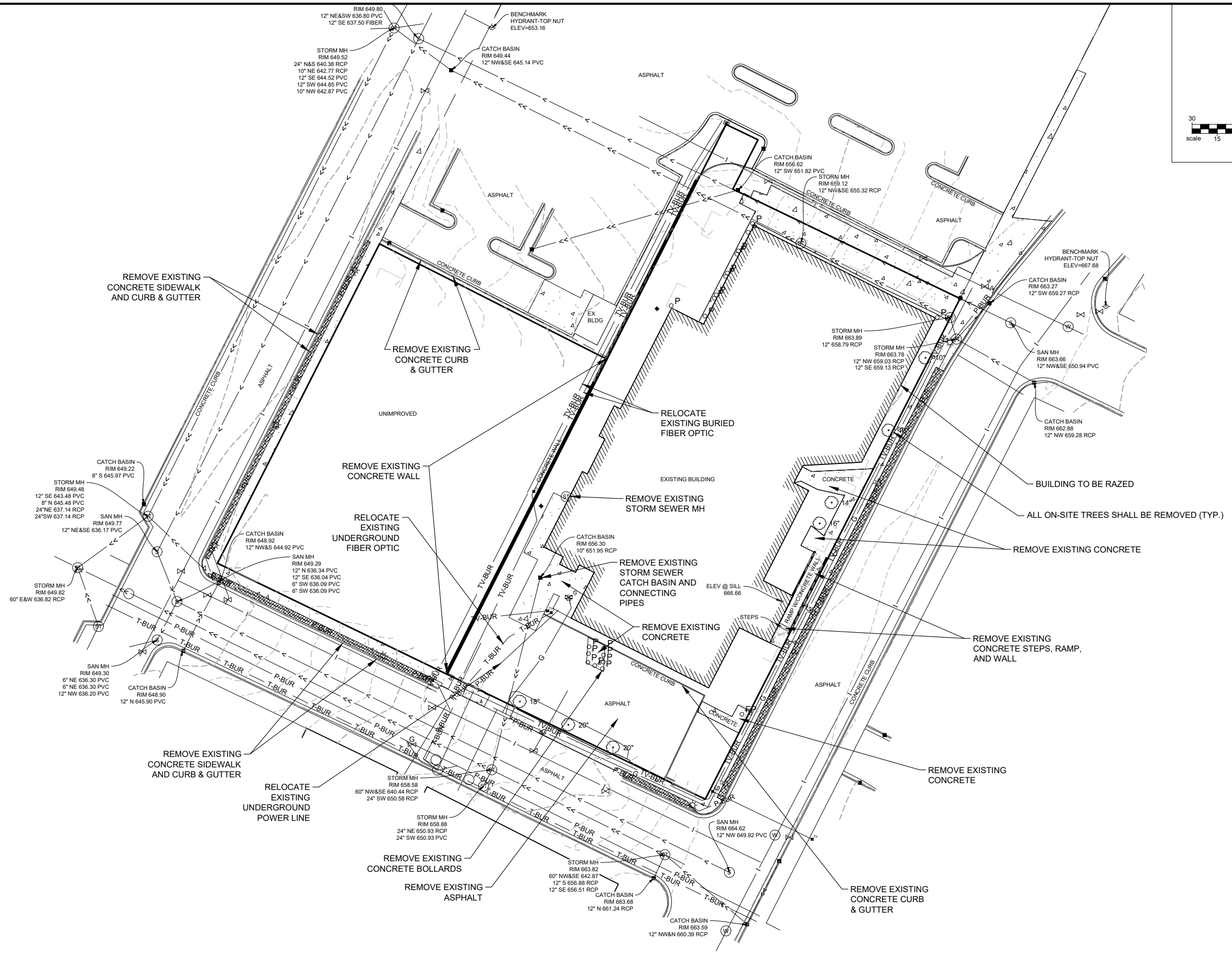
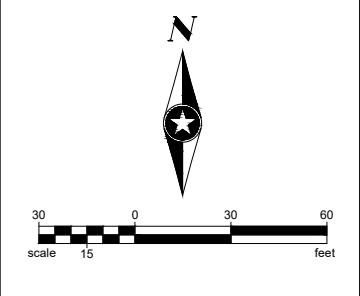
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LICENSE PROFESSIONAL UNDER THE LAWS OF THE STATE OF IOWA.

LICENSE NAME: XX
 DATE: XX-XX-XX
 LICENSE NO. LICENSE NO.

CHALMER'S APARTMENTS
 LA CROSSE, WI

EXISTING CONDITIONS

C1.01
 of 7



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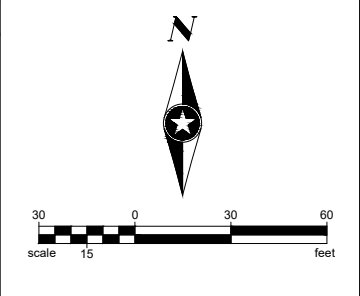
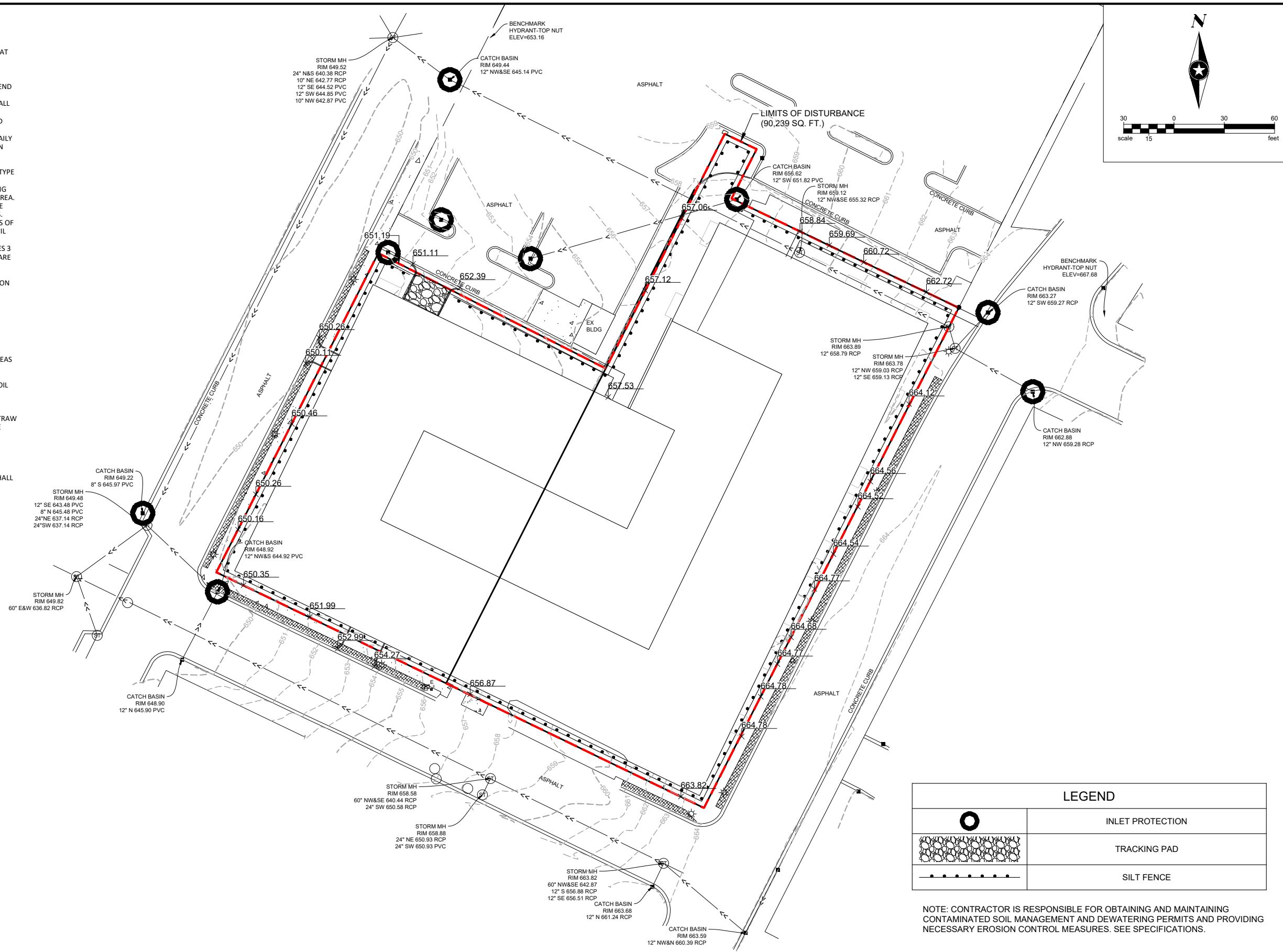
CHALMER'S APARTMENTS
LA CROSSE, WI

REMOVALS PLAN

C1.02
of 7

EROSION CONTROL:

1. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE "WISCONSIN STORMWATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS".
2. SEDIMENT CONTROL MEASURES MAY NEED TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
3. INSPECT AND MAINTAIN ALL SEDIMENT CONTROL STRUCTURES WEEKLY AND AFTER SITE RECEIVES 1/2" OR MORE OF RAIN IN A 24-HOUR PERIOD TO ENSURE PROPER WORKING CONDITION. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH DAY.
4. INSPECT SEDIMENT CONTROL STRUCTURES FOR INTEGRITY AFTER ANY SIGNIFICANT RAINFALL OF 1/2" OR MORE. **CORRECT ANY DAMAGED STRUCTURES IMMEDIATELY.**
5. DO NOT REMOVE ANY SEDIMENT/EROSION CONTROL MEASURES UNTIL THE AREAS SERVED HAVE 80% OR MORE ESTABLISHED VEGETATIVE COVER AS DETERMINED BY THE ENGINEER.
6. ALL TRACKED SOIL ON ADJACENT STREETS FROM THIS PROJECT MUST BE CLEANED ON A DAILY BASIS, MINIMUM. CONTRACTORS ARE REQUIRED TO USE THE TRACKING DRIVE SHOWN ON PLAN FOR ACCESS TO AND FROM THE SITE.
7. ALL SIDE SLOPES 5:1 OR STEEPER SHALL BE RESTORED WITH CLASS I - TYPE 'A' EROSION MATTING, AND ALL AREAS OF CONCENTRATED FLOW SHALL BE RESTORED WITH CLASS II - TYPE 'B' CHANNEL MATTING, UNLESS OTHERWISE NOTED.
8. PREVENT OVERLAND FLOW FROM LEAVING ANY PORTION OF THE WORK SITE BY INSTALLING SEDIMENT LOGS OR SILT FENCING PARALLEL TO THE SLOPE DOWNHILL FROM THE WORK AREA.
9. ALL DISTURBANCE SHALL BE SEEDED AND MATTED WITHIN 7 DAYS OF COMPLETION OF THE GRADING. GRASS MUST BE ESTABLISHED WITHIN 90 DAYS OF SEEDING IF SEASON ALLOWS.
10. STABILIZE ALL NON-ACTIVE STOCKPILES WITH TEMPORARY SEED & MULCH WITHIN 14 DAYS OF INACTIVITY. INSTALL SILT FENCING AROUND ALL DOWN SLOPE AND SIDE SLOPES OF TOPSOIL STOCKPILES. STOCKPILES NOT SHOWING ADEQUATE VEGETATION BY NOV 1 SHOULD BE DORMANT SEEDED AND COVERED WITH A WISDOT PAL TYPE A SOIL STABILIZER (FOR SLOPES 3 FEET HORIZONTAL TO 1 FOOT VERTICAL OR FLATTER) OR EROSION CONTROL MAT IF THEY ARE INACTIVE.
11. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 14 DAYS OF INACTIVITY. THIS MAY BE DONE USING TEMPORARY AND/OR PERMANENT RESTORATION TECHNIQUES, DEPENDING ON PROGRESS OF GRADING ACTIVITIES OF THE AREA(S). THIS INCLUDES AREAS OF SITE DEVELOPMENT AND UTILITY CONSTRUCTION.
12. SEDIMENT CONTROL FOR UTILITY CONSTRUCTION
 - A. PLACE EXCAVATED TRENCH MATERIAL ON HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER UTILITY INSTALLATION.
13. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MAINTAINING CONTAMINATED SOIL MANAGEMENT AND DEWATERING PERMITS. SEE SPECIFICATIONS.
14. RUNOFF FROM AREAS ADJACENT TO THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS WHERE POSSIBLE.
15. ALL LAND DISTURBANCE ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE IN ACCORDANCE WITH THE CONTROL PLAN TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ONE TIME.
16. CUTS AND FILLS SHALL BE PLANNED AND CONSTRUCTED TO MINIMIZE THE LENGTH AND STEEPNESS OF SLOPES.
17. SEDIMENT SHALL BE CONTAINED ON-SITE THROUGH THE USE OF FILTER FABRIC FENCES, STRAW BALE FENCES, SEDIMENT BASINS, OR OTHER METHODS APPROVED BY ACCEPTANCE OF THE EROSION AND SEDIMENT CONTROL PLAN BY COMMUNITY RISK MANAGEMENT.
18. EARTH STORAGE PILES SHOULD BE LOCATED NO CLOSER THAN 25 FEET FROM DRAINAGE CHANNELS OR ROADWAYS AND NO CLOSER THAN 100 FEET FROM PERENNIAL WATERS OR WETLANDS.
19. EARTH STORAGE PILES LOCATED CLOSER THAN 25 FEET TO A ROADWAY OR DRAINAGE CHANNEL OR LOCATED CLOSER THAN 100 FEET TO PERENNIAL WATERS AND WETLANDS SHALL REQUIRE SILT FENCES OR OTHER SUITABLE MEANS IF LEFT MORE THAN FIVE DAYS. EARTH STORAGE PILES LOCATED ON SLOPES OF 12 PERCENT OR GREATER SHALL MEET THE REQUIREMENTS OF SUBSECTION (D)(9)B. OR RUNOFF SHALL BE CONTAINED WITHIN A SILT FENCE OR OTHER APPROVED MEASURE.



LEGEND	
	INLET PROTECTION
	TRACKING PAD
	SILT FENCE

NOTE: CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MAINTAINING CONTAMINATED SOIL MANAGEMENT AND DEWATERING PERMITS AND PROVIDING NECESSARY EROSION CONTROL MEASURES. SEE SPECIFICATIONS.

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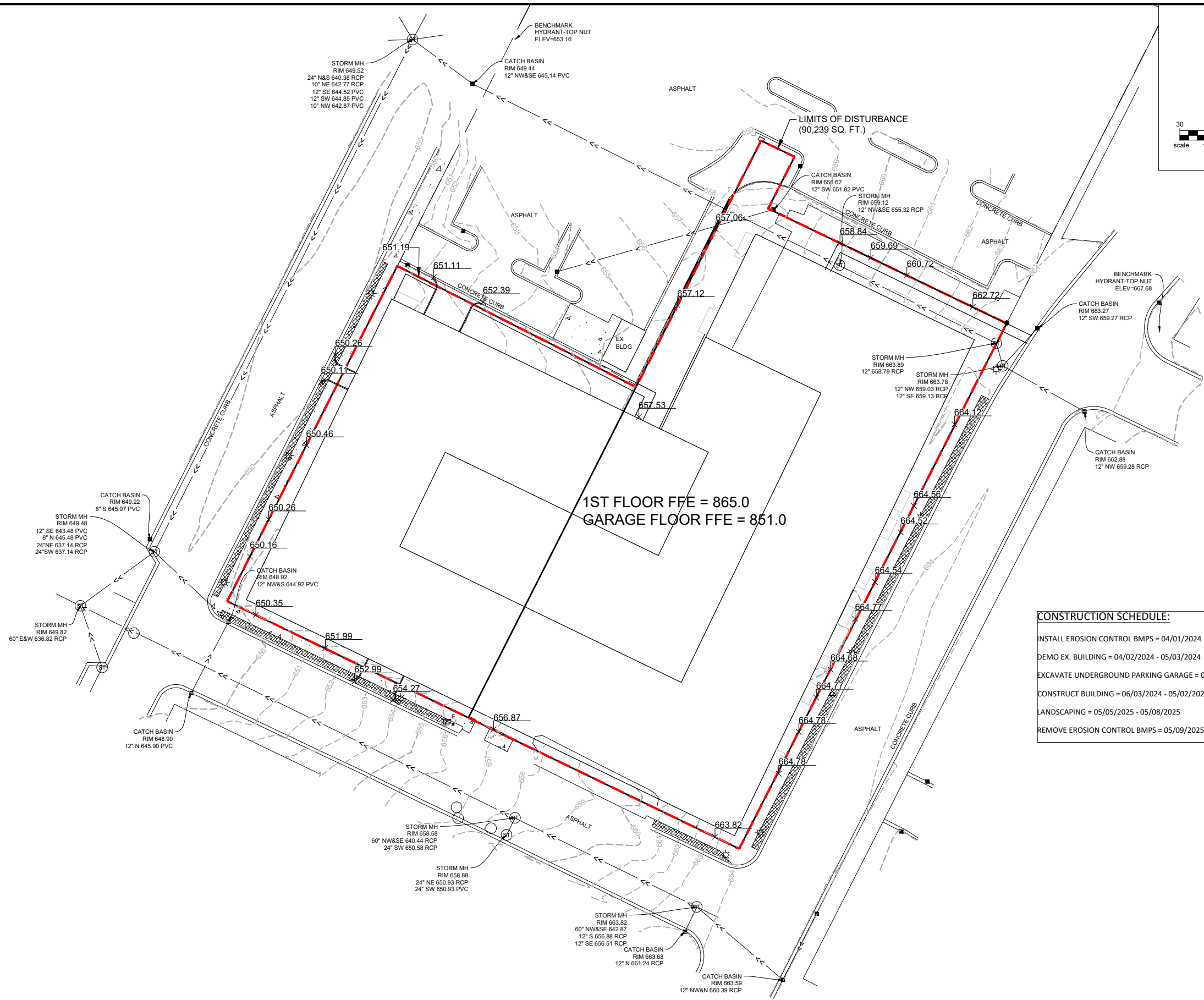
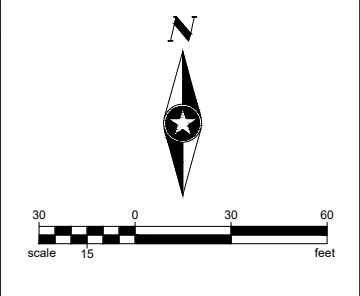
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LICENSE PROFESSIONAL UNDER THE LAWS OF THE STATE OF WISCONSIN.

LICENSE NAME: XX
 DATE: XX-XX-XX
 LICENSE NO.: _____

CHALMER'S APARTMENTS
 LA CROSSE, WI

EROSION CONTROL PLAN

C1.03
 of 7



CONSTRUCTION SCHEDULE:

- INSTALL EROSION CONTROL BMPs = 04/01/2024
- DEMO EX. BUILDING = 04/02/2024 - 05/03/2024
- EXCAVATE UNDERGROUND PARKING GARAGE = 05/07/2024 - 05/31/2024
- CONSTRUCT BUILDING = 06/03/2024 - 05/02/2025
- LANDSCAPING = 05/05/2025 - 05/08/2025
- REMOVE EROSION CONTROL BMPs = 05/09/2025

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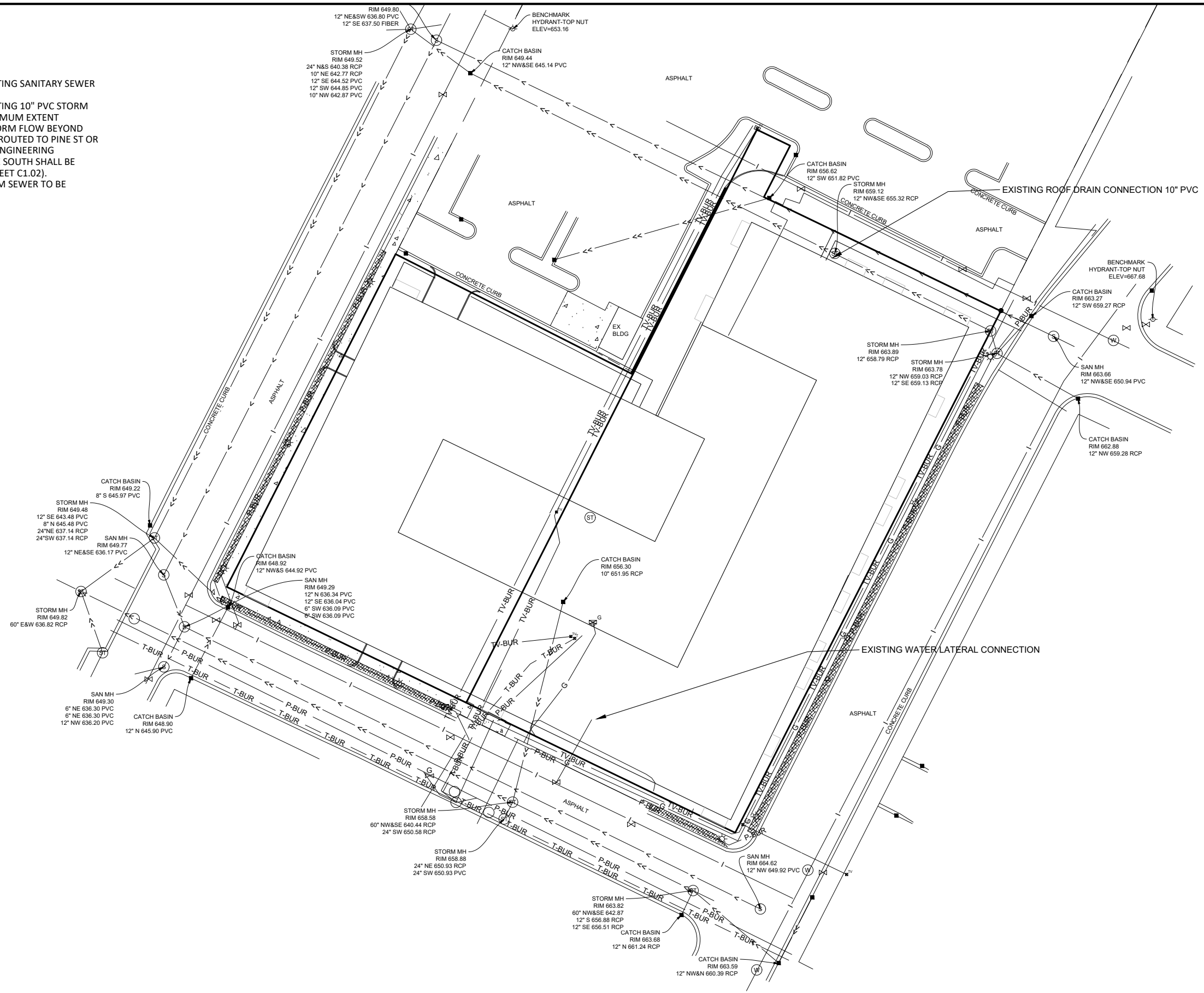
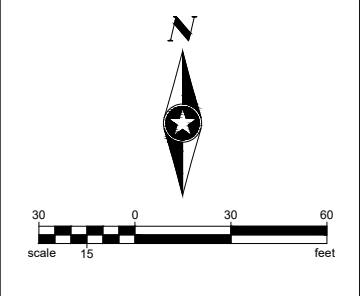
CHALMER'S APARTMENTS
LA CROSSE, WI

GRADING PLAN

C1.04
of 7

UTILITY NOTES:

1. PROPOSED BUILDING SHALL UTILIZE EXISTING SANITARY SEWER LATERAL(S) AND WATER SERVICE(S).
2. PROPOSED BUILDING SHALL UTILIZE EXISTING 10" PVC STORM SEWER LATERAL TO THE NORTH TO MAXIMUM EXTENT PRACTICABLE. ADDITIONAL ROOFTOP STORM FLOW BEYOND CAPACITY OF EXISTING LATERAL WILL BE ROUTED TO PINE ST OR 2ND ST BASED ON PREFERENCE OF CITY ENGINEERING
3. EXISTING STORM SEWER LATERAL TO THE SOUTH SHALL BE REMOVED, PER THE REMOVALS PLAN (SHEET C1.02).
4. UNDERGROUND PARKING GARAGE STORM SEWER TO BE DESIGNED BY OTHERS.



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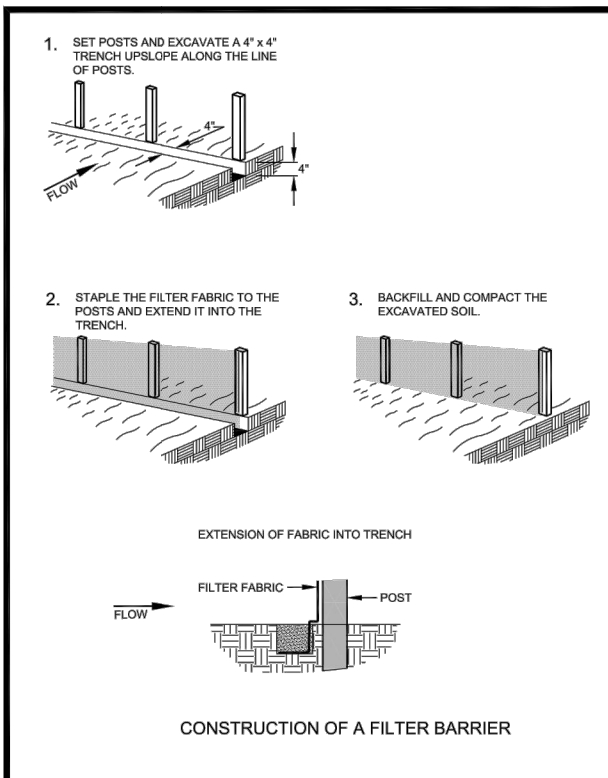
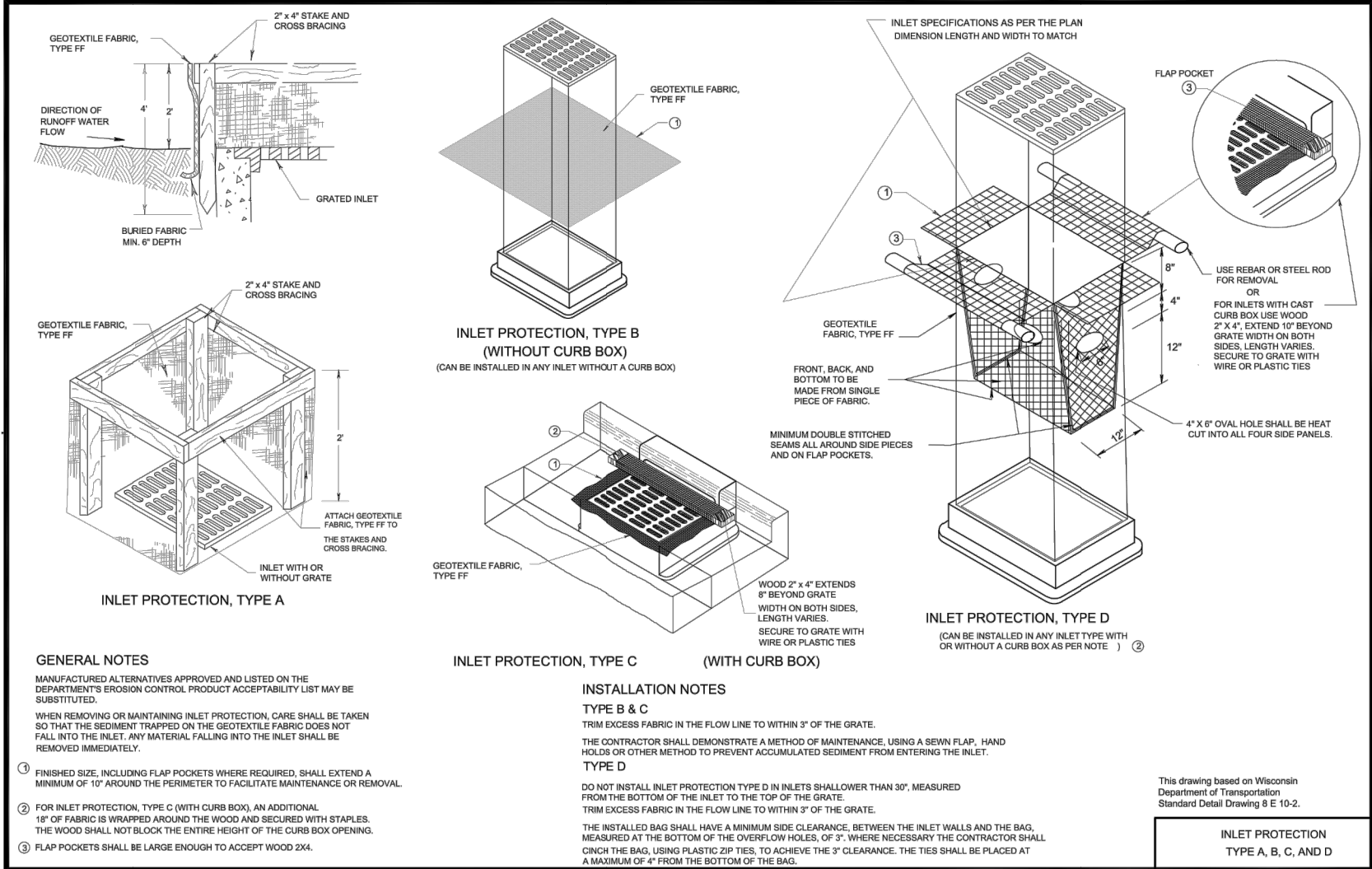
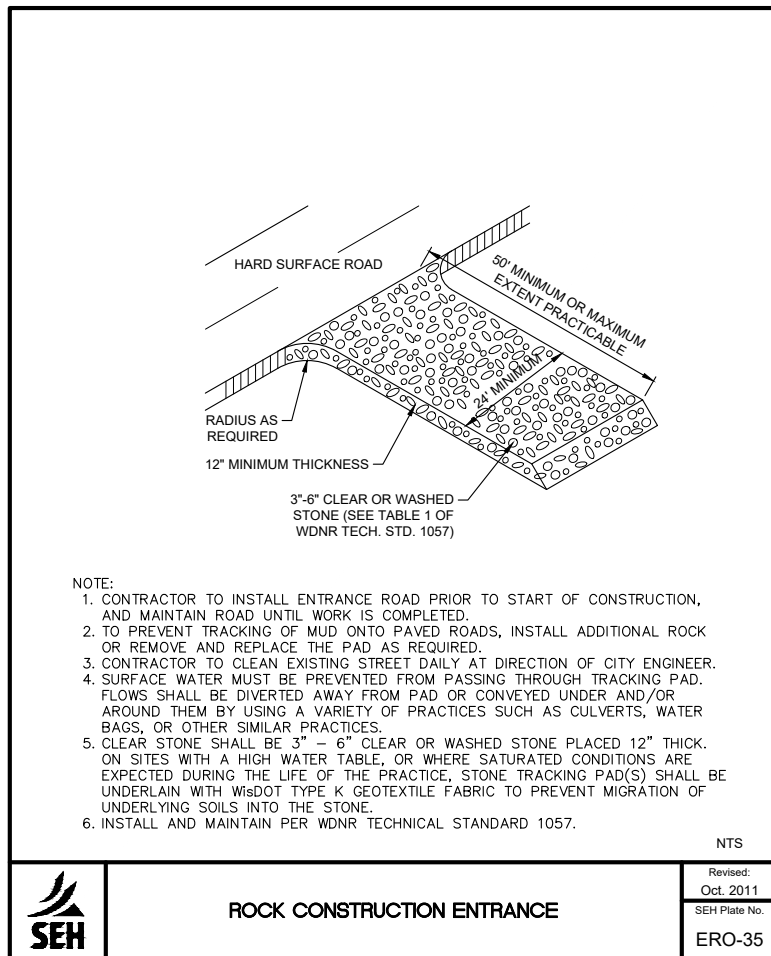
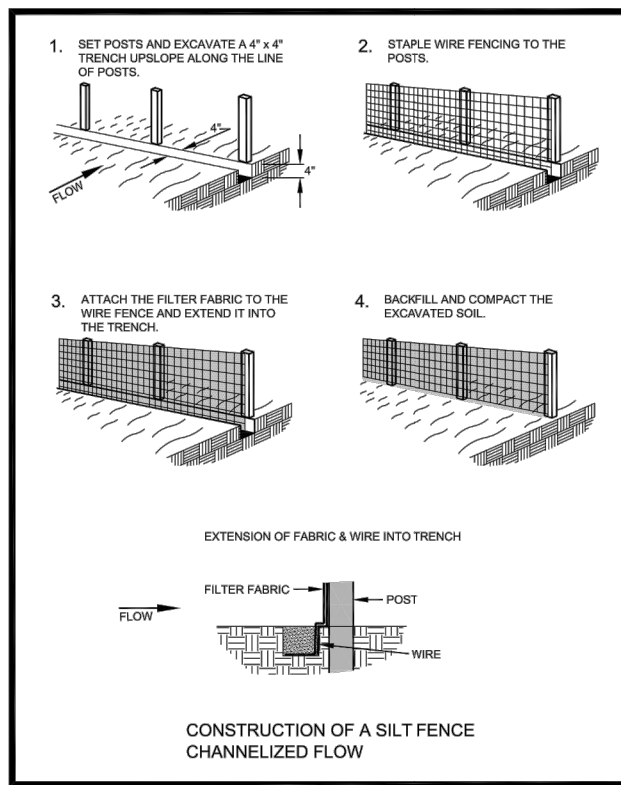
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LICENSE NAME: XX
 DATE: XX-XX-XX
 LICENSE NO. _____ LICENSE NO. _____

CHALMER'S APARTMENTS
 LA CROSSE, WI

UTILITY PLAN

C1.05
 of 7



EDF #	DWG NAME: EROSION-CONTROL DWG		
PROJECT No.	EROSION CONTROL DETAILS		
LOCATION	D-1-2		
RESOLUTION	DATE		
ENGINEERING DEPT.			
City of La Crosse, Wis.			
FIELD BOOK	SURVEYED	BY	DATE
NUMBER	DRAWN	PRELIMINARY	
	CHECKED	FINAL	JMC 2/20/09
PAGE	APPROVED		
	REVISIONS		
SHEET NO.	TOTAL SHEETS		

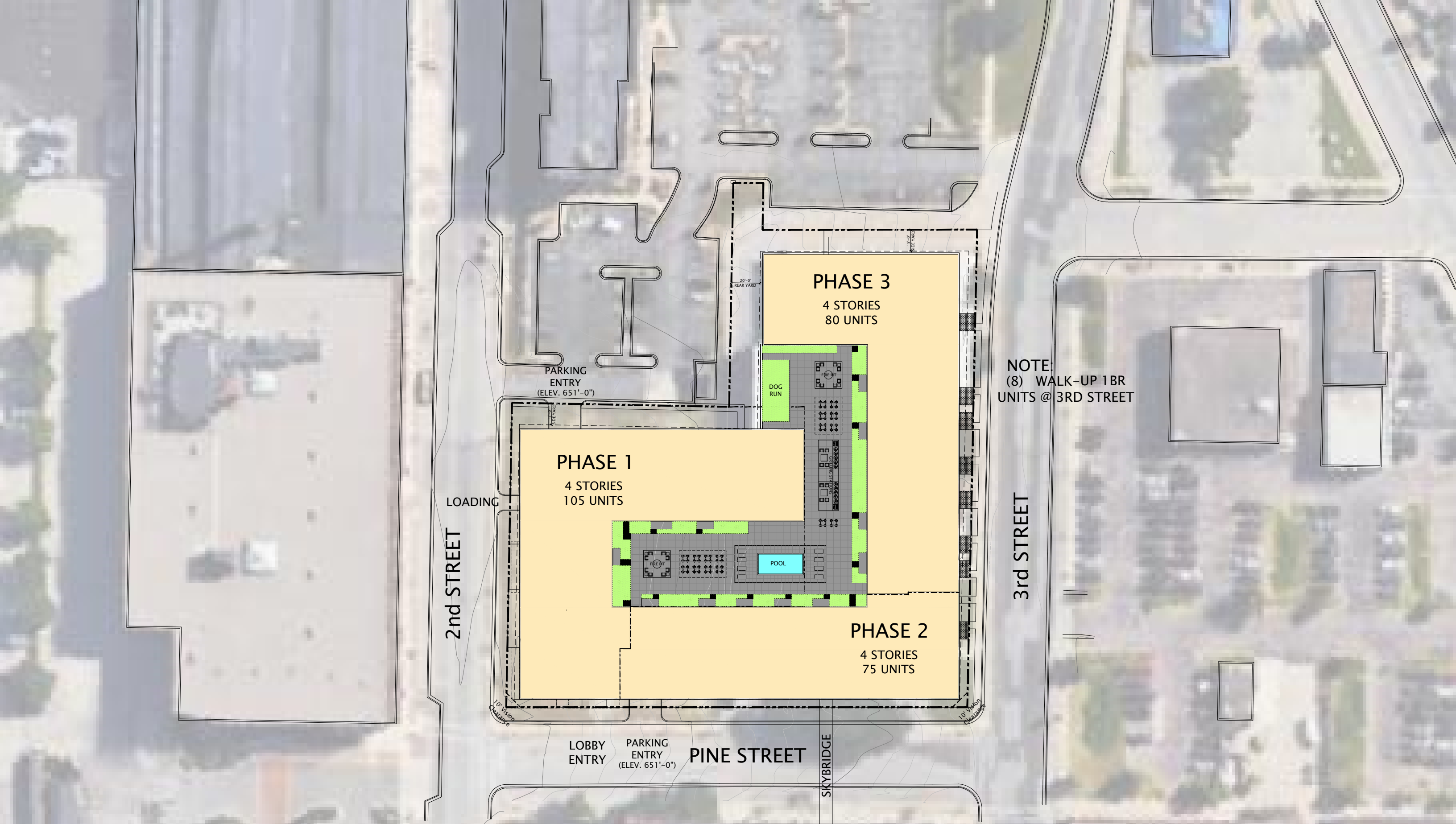
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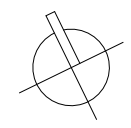
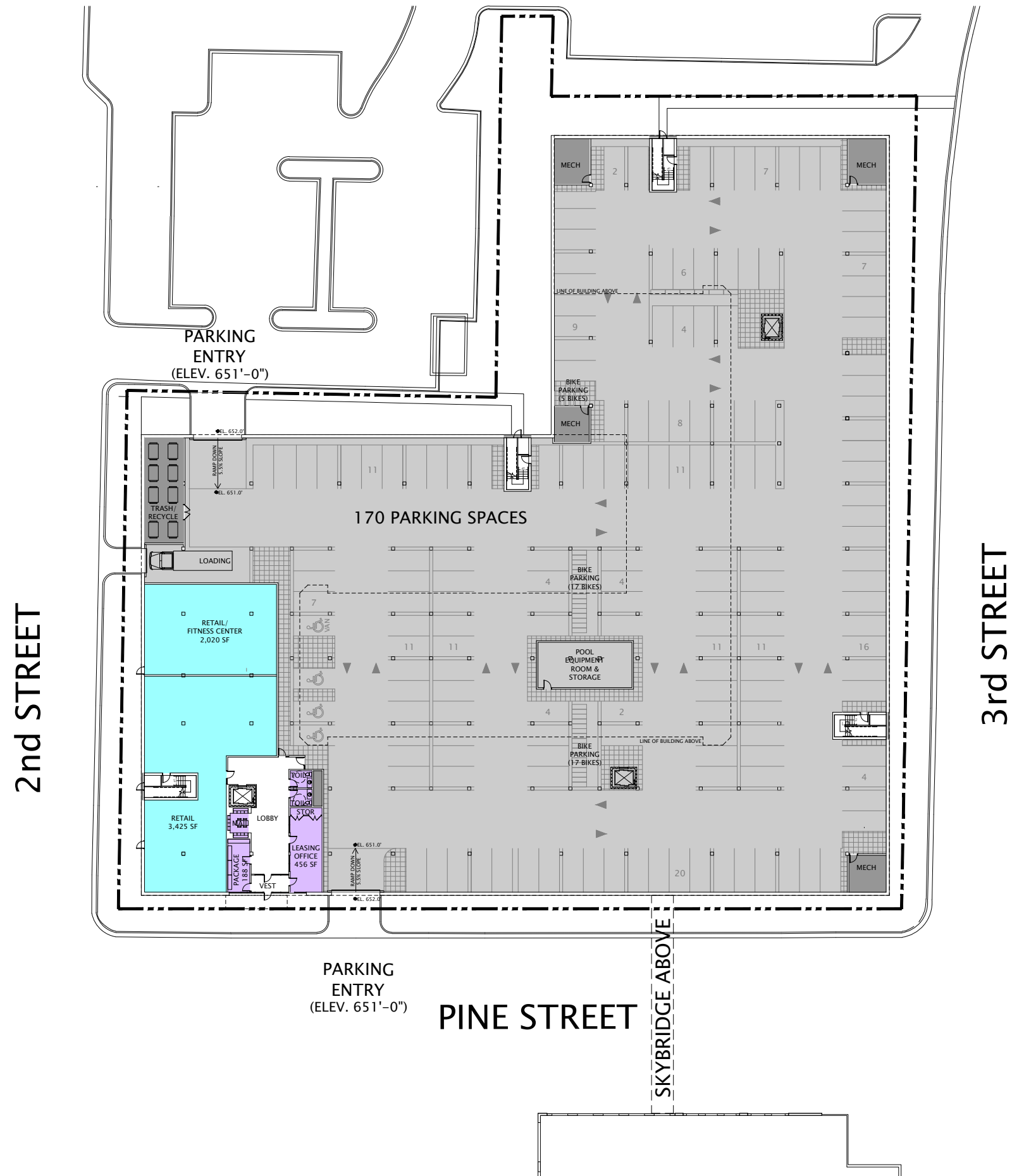
CHALMER'S APARTMENTS
LA CROSSE, WI

EROSION CONTROL DETAILS



NOTE:
 (8) WALK-UP 1BR
 UNITS @ 3RD STREET

- Executive Studio Unit
- Studio Unit
- 1BD Unit
- 1BD+ Unit
- 2BD Unit
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

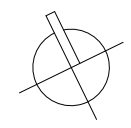


- Executive Studio Unit
- Studio Unit
- 1BD Unit
- 1BD+ Unit
- 2BD Unit
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

PHASE 1
25 UNITS

PHASE 3
20 UNITS

PHASE 2
19 UNITS



- Executive Studio Unit
- Studio Unit
- 1BD Unit
- 1BD+ Unit
- 2BD Unit
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

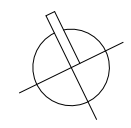
PHASE 1
26 UNITS

PHASE 3
20 UNITS

PHASE 2
19 UNITS



SKYBRIDGE ABOVE

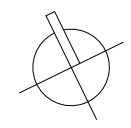


- Executive Studio Unit
- Studio Unit
- 1BD Unit
- 1BD+ Unit
- 2BD Unit
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

PHASE 1
27 UNITS

PHASE 3
20 UNITS

PHASE 2
18 UNITS

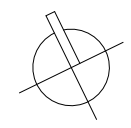


- Executive Studio Unit
- Studio Unit
- 1BD Unit
- 1BD+ Unit
- 2BD Unit
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

PHASE 1
27 UNITS

PHASE 3
20 UNITS

PHASE 2
19 UNITS



CHALMER'S APARTMENTS

September 8, 2023



UNIT NAME	STUDIO									1 BEDROOM					1BR + DEN		2 BEDROOMS					(1) TOTAL UNITS	(1) TOTAL BEDROOMS	COMMERCIAL NET AREA LEASABLE	(1,2) COMMON AMENITY SPACE	RESIDENTIAL NET AREA LEASABLE	GROSS AREA (S.F.)	EFFICIENCY	PARKING AREA (S.F.)	RESIDENTIAL PARKING			COMMERICAL PARKING			PARKING RATIOS				
	A0	A0.1	A0.2	A1.2	A1.3	A2	A2.1	A2.2	A2.3	B2	B2.2	B3	B4	B5	C1	C1.1	D1	D2	D4	D4.1	D5									COVERED	PINE STREET	TOTAL	COVERED	SURFACE	TOTAL	RESIDENTIAL	RETAIL			
BEDROOMS	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	2	2	2	2	2																			
AREA (S.F.)	359	405	370	451	497	520	551	599	538	724	759	782	844	872	910	898	1,044	1,088	1,205	1,240	1,257																			
5	4	1	2	1	1	19	1	1	1	7	4	5	0	0	1	1	3	2	4	4	4	66	82	-		48,497	57,787	83.9%												
4	4	1	2	1	1	17	1	1	1	7	4	6	0	0	1	1	3	2	4	4	4	65	81	-		48,239	57,787	83.5%												
3	4	1	2	1	1	19	1	1	1	7	4	5	0	0	1	1	3	2	4	4	3	65	80	-	1,257	47,240	57,787	83.9%												
2	5	1	2	1	1	19	1	0	1	7	4	5	1	1	1	1	2	1	2	4	4	64	76	-	2,402	45,431	57,787	82.8%												
1/P1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	5,445	2,117	-	8,291	91.2%	67,334	170	150	320	0	0	0	PER UNIT	PER BR	PER 1K SF		
TOTALS	17	4	8	4	4	74	4	3	4	28	16	21	1	1	4	4	11	7	14	16	15	260	325	5,445	5,776	189,407	239,439	83.8%	67,334	170	150	320	0	0	0	1.23	0.98	0.00		
PERCENT	6.54%	1.54%	3.08%	1.54%	1.54%	28.46%	1.54%	1.15%	1.54%	10.77%	6.15%	8.08%	0.38%	0.38%	1.54%	1.54%	4.23%	2.69%	5.38%	6.15%	5.77%	100.00%																		
	46.92%									25.77%					3.08%		24.23%					100.00%																		

728 Average N.S.F. per unit
 900 Average G.S.F per unit
 (not including commercial or parking areas)

396 Average S.F. per space

SHARED PARKING		
TOTAL SPACES	PER UNIT	PER BR
320	1.23	0.98462

NOTES:
 1 GROSS AREA DOES NOT INCLUDE PARKING / SERVICE AREAS - ONLY FINISHED PROGRAM AREAS.
 2 PARKING AREAS INCLUDE THE STAIRS & ELEVATOR.



JLA
ARCHITECTS

THE CHALMERS RESIDENCES

DESIGN INTENT IMAGERY

JUNE 2, 2023



T. Wall Enterprises LLC
Creating Places Where People Interact

