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**ELEVATION GENERAL NOTES:**

- VERIFY SIZE AND LOCATIONS OF ALL MECH. OPENINGS. GENERAL CONTRACTOR TO SEAL LOUVER PERIMETER AND PAINT - TYPICAL.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN ACTUAL AND CALLED DIMENSIONS.
- G.C. TO PROVIDE CONC EQUIPMENT PADS/CURBS AS REQUIRED FOR MECH/ELECTRICAL EQUIP. VERIFY SIZE/PROFILE/LOCATION W/ MECH/ELEC. FOR HVAC UNIT. SEE MECH/ELEC. PLANS
- ALL EXTERIOR WALLS SHALL HAVE A 2 HOUR FIRE RATING
- CLEAN MASONRY USING GENTLEST MEANS POSSIBLE.
- REMOVE ALL VEGETATIVE GROWTH, MISC ANCHORS, BOLTS, FASTENERS, SIGN REMNANTS - PATCH MASONRY.
- ALL TEMPORARY SHORING, ADDITIONAL BRICK REMOVAL AND REPLACEMENT TO ACCOMPLISH MODIFICATIONS TO OPENINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE INCLUDED IN THE BASE BID.

**MATERIAL LEGEND:**

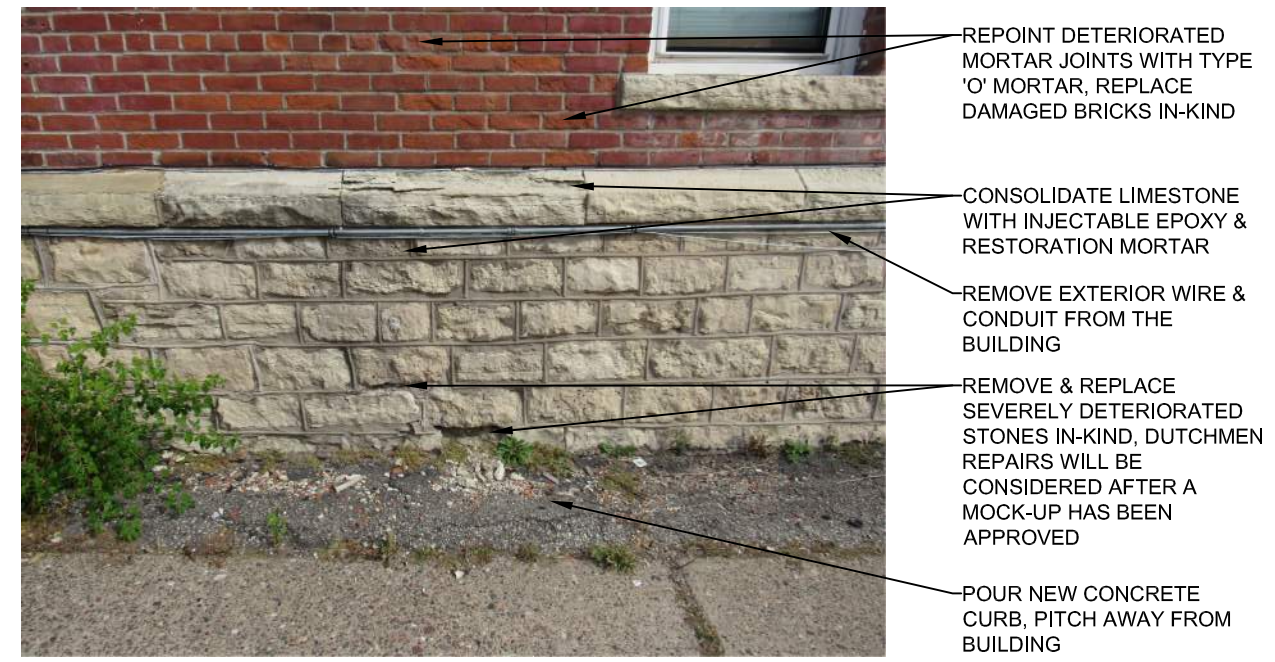
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|--|--------------------------------------|--|--|
|  | BRICK (NEW ONLY)                     |  | GLASS                                      |
|  | LIMESTONE                            |  | SHEET METAL TO BE REPAIRED                 |
|  | MASONRY AREAS TO BE REPLACED IN-KIND |  | MASONRY TO BE TUCKPOINTED, TYPE 'O' MORTAR |
|  | CMU, REPAINT                         |  | NEW ASPHALT SHINGLES                       |

BRICK SIZE: (INCHES)  
BRICK: 2" x 8" x 3" (ORANGE SMOOTH)

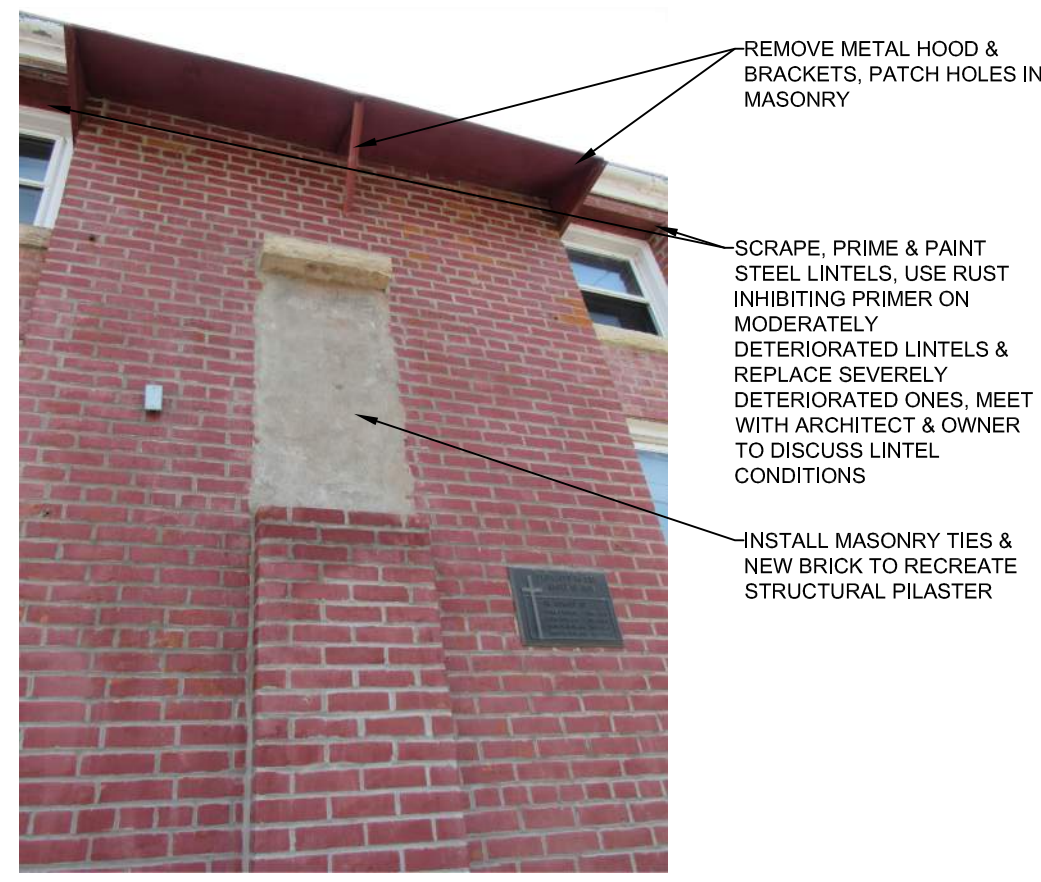
MORTAR JOINTS: (INCHES)  
ALL WALLS: 3/4" ALL, 3 COURSES = 8" (CONCAVE)  
ORIGINAL MORTAR - WHITE W/ RIVER SAND AGGREGATE  
ALL BRICK WERE STAINED WITH A PINK SLURRY AND ALL MORTAR JOINTS WERE TUCKPOINTED WITH GRAY PORTLAND CEMENT MORTAR FOR THE OUTER 3/4"

**ELEVATION KEY NOTES:**

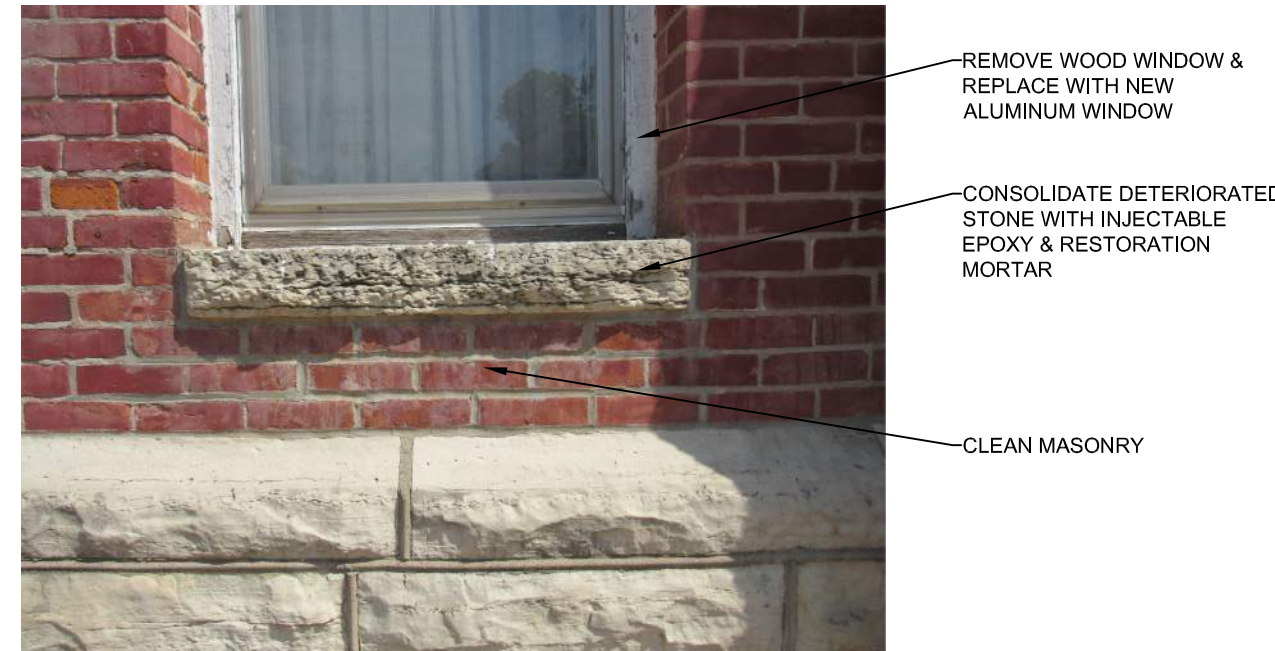
- TUCKPOINT MASONRY WITH TYPE 'O' MORTAR. MATCH HISTORIC MORTAR COLOR, TEXTURE & AGGREGATE
- REPLACE DAMAGED/MISSING BRICK/STONE IN KIND
- NEW CONCRETE FROST STOOP. SEE STRUCTURAL
- FILL CRACK WITH EPOXY AND STAINLESS STEEL STITCH TIES EVERY 8" O.C. VERTICALLY - SEE STRUCTURAL
- CLEAN MASONRY
- NEW STEEL GUARD-HANDRAIL. PAINT
- RESTORE WOOD RAILINGS WITH EPOXY & CONSOLIDANT. PRIME & PAINT - SALVAGED & REINSTALL BIRD NETTING
- CLEAN, PRIME & PAINT STEEL LINTELS. USE INTUMESCENT PAINT FOR EXPOSED PORTIONS & BOTTOM FLANGE ON SPANS OVER 6" O" (2 HOUR THICKNESS)
- NEW THERMALLY BROKEN ALUMINUM SKYLIGHT. REMOVE INFILL FROM HISTORIC SKYLIGHT OPENING & MODIFY FRAMING AS NECESSARY & ADD CURB FOR NEW SKYLIGHT INSTALLATION
- NEW METAL CLAD WOOD WINDOW IN HISTORIC MASONRY OPENING
- REMOVE WINDOW A/C UNIT. RECREATE DAMAGED/ MISSING PIECES OF THE SASH. RESTORE WINDOW
- SCRAPE, PRIME & REPAINT CMU WALL. REPOINT DETERIORATED MORTAR JOINTS WITH TYPE 'O' MORTAR
- REMOVE EXISTING SEALANT & ANY BACKER ROD. INSTALL NEW BACKER ROD & SEALANT AROUND WINDOW PERIMETER
- RESTORE WOOD WINDOW. APPLY CONSOLIDANT & EPOXY TO DETERIORATED WOOD MEMBERS. REMOVE EXISTING PAINT TO BARE WOOD. CLEAN, PRIME & PAINT. REPLACE SASH CHORDS REPAIR TRIM. APPLY BACKER ROD & SEALANT AT PERIMETER, BOTH SIDES
- RESTORE METAL CORNIC/GUTTER. REPLACE DETERIORATED AREAS WITH NEW SHEET METAL. PAINT & INSTALL HEAT TRACE CABLE IN GUTTER AREAS
- EXISTING PRE-FINISHED METAL COPING WITH DRIP
- NEW PRE-FINISHED ALUMINUM GUTTERS & DOWNSPOUTS. INSTALL NEW METAL ROOF EDGE WITH DRIP & HEAT TRACE CABLE
- RECREATE FINIALS. FABRICATE USING 16 OZ. COPPER
- RESTORE DECORATIVE PILASTERS ON FRIeze. PAINT
- NEW MEMBRANE ROOF SYSTEM ON POLYISO INSULATION (R=30 MIN.) CONTRACTOR SHALL INSPECT DECK & REPORT CONDITIONS TO ARCHITECT AND OWNER PRIOR TO REPAIRS
- REPAIR LIMESTONE WITH INJECTABLE EPOXY. CONSOLIDANT, & RESTORATION MORTAR
- NEW ASPHALT SHINGLE ROOF ON UNDERLAYMENT OVER NEW VENTED MALIBON ROOF
- RESEAL PERIMETER OF LOUVERS. FRAME SHUT INSIDE. SCRAPE, PRIME & PAINT EXTERIOR
- FIND LEAK IN EXISTING ASPHALT SHINGLE ROOF & REPAIR
- NEW RIDGE VENT AT SHINGLE ROOF



**P1 STONE DECAY**  
NO SCALE



**P6 MISSING PILASTER**  
NO SCALE



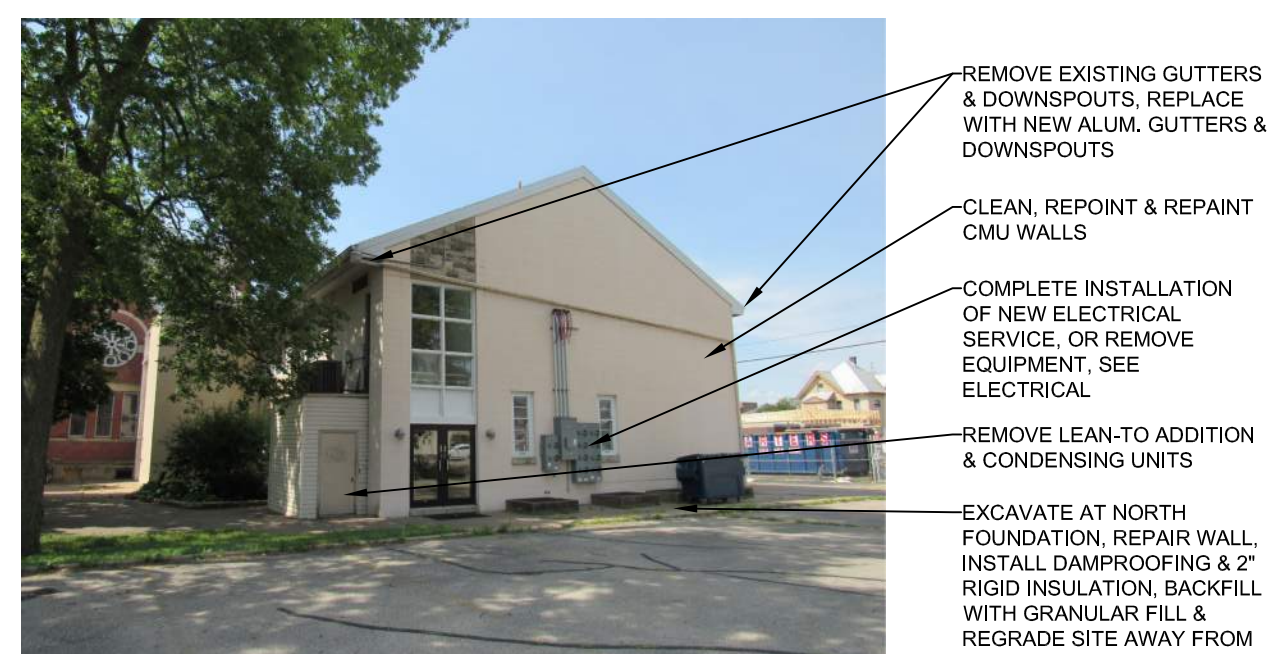
**P2 DETERIORATED SILL**  
NO SCALE



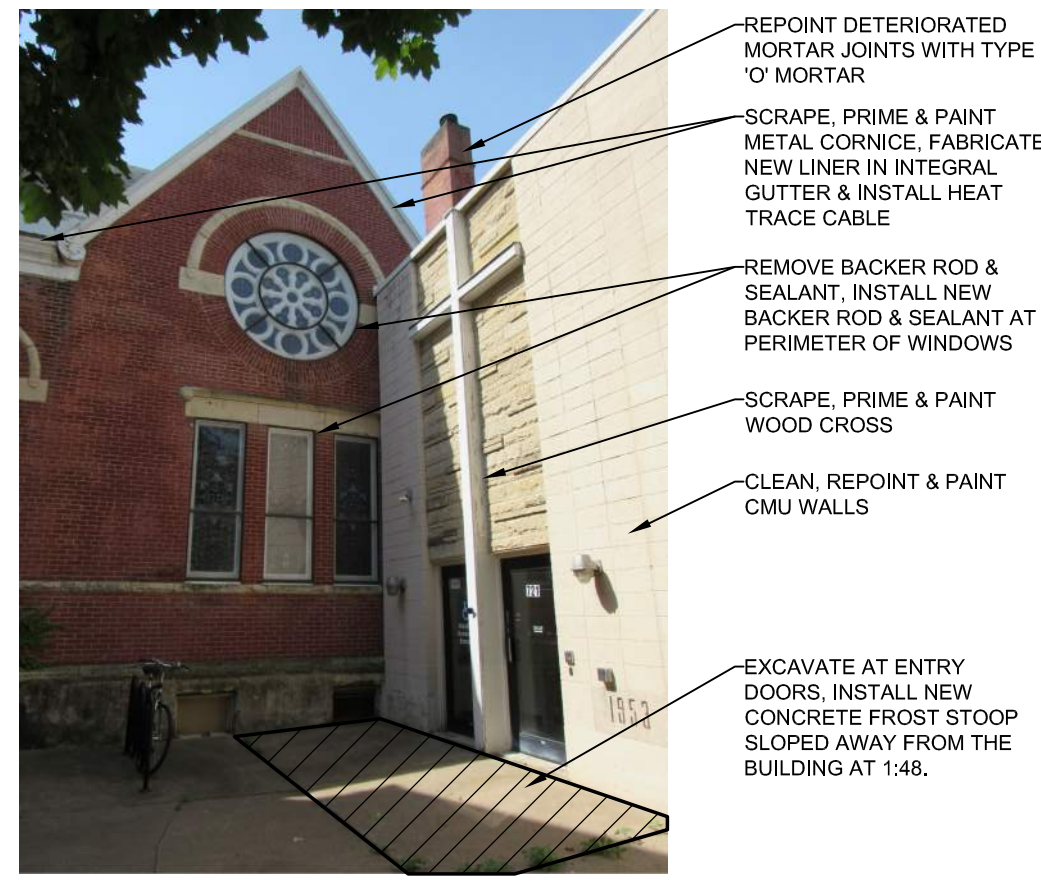
**P3 SPALLED BRICK**  
NO SCALE



**P4 EAST SCHOOL FACADE**  
NO SCALE



**P5 NORTH SCHOOL FACADE**  
NO SCALE



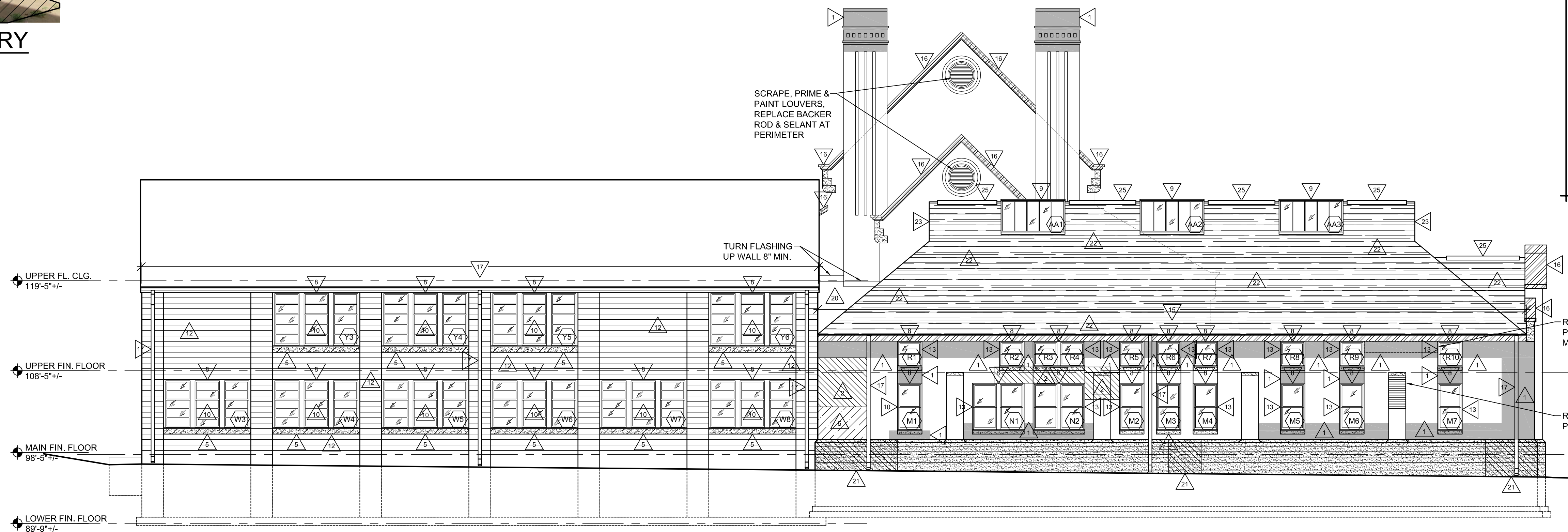
**P7 ADA ENTRY**  
NO SCALE



**P8 TYP. SCHOOL WINDOW**  
NO SCALE



**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"

PROJECT: A PROJECT FOR CAPPELLA PROPERTIES, LLC  
CAPPELLA PERFORMING ARTS CENTER ADAPTIVE REUSE - PHASE I  
721 King Street  
La Crosse, WI 54601

SHEET TITLE: BUILDING ELEVATIONS & EXTERIOR PHOTO DETAILS

PROJECT NUMBER: 22002B

CHECKED BY: M. ZETTLER  
DRAWN BY: M. ZETTLER

DATE: 03/01/2023

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SHEET NO.:

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